



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

RENDERING

HISTORIC DISTRICT COMMISSION WORK SESSION 5: JUNE 2, 2021

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EMBARC



1.0



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1.1



TANGRAM 3DS

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

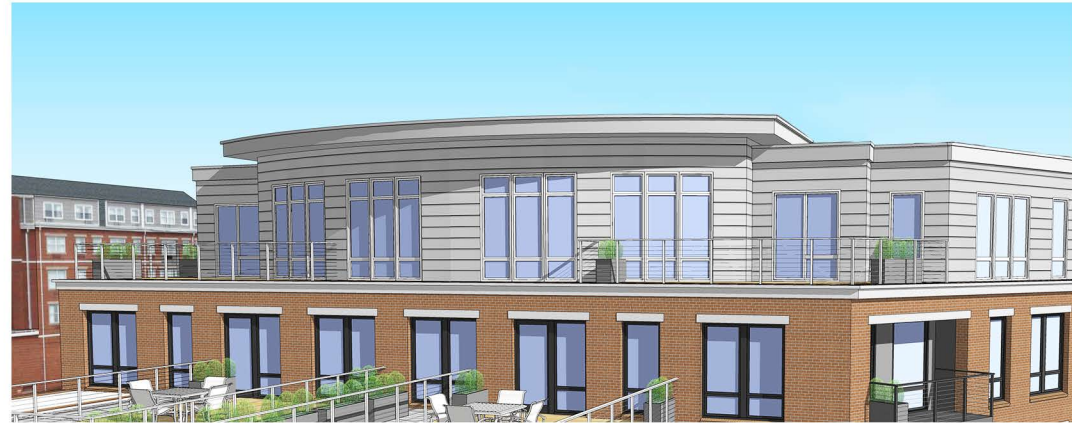
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1.2



THIS CURVED NAUTICAL FOCAL POINT HAS BEEN UPDATED WITH HORIZONTAL SIDING IN A DOVE GRAY FINISH FOR A MORE RESIDENTIAL SCALE AND TEXTURE. THE OVERHANG AND CAP ON THE RADIAL FORMS AND BUILDING SETBACK HAVE BEEN FURTHER DEVELOPED TO PROVIDE A UNIFIED PROFILE AND DETAILING.



HORIZONTAL SIDING THEME CONTINUES AROUND THE FRONT, AND LINTEL DETAILS WRAP CORNER BALCONIES. BRICK CORBELING HAS BEEN ADDED TO THE TOP FLOOR TO COMPLEMENT THE TOP FLOOR SOLDIER COURSE AT THE WINDOW HEADS.



RESIDENTIAL AND COMMERCIAL BASE FORMS ARE DEFINED BY TWO DISTINCTLY DIFFERENT DESIGN STYLES. HORIZONTAL BRICK DETAILING HAS BEEN ADDED TO REFLECT THE HORIZONTAL SIDING ABOVE



THE CURVED NAUTICAL THEME CONTINUES TO STEP TOWARD NORTH MILL POND AND IS SET BACK FROM THE MASONRY PILARS BELOW. THE BRICK OPENINGS HAVE BEEN CAPPED WITH PRECAST LINTELS TO ADD DETAIL AND DIMENSION.



CORNER BALCONIES STEP BACK TO PROVIDE STRONG SUPPORT ON THE SIDES AND REVEAL A LIGHTER CURVED FACADE.



RECESSED BALCONY RIBBONS EXTEND THE VERTICAL SIDING ELEMENT DOWN TO REST ON A SOLID ARCHED BASE. DECORATIVE GRILLWORK PROVIDES A BACKDROP FOR THE LANDSCAPED EARTH BERM AND LOW SEATING WALL.



STRONG HORIZONTAL PRECAST BAND CAPS OFF THE FIRST FLOOR. A SUBORDINATE BAND SEPARATES THE TOP FLOOR AND THE NEW PRECAST LINTELS SOFTEN THE FACADE. SYMMETRICAL WINDOW PATTERNS WITH SINGLE AND DOUBLE OPENINGS HAVE A DECIDEDLY RESIDENTIAL FEEL



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MARKET STREET BUILDING VIEW
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MARKET STREET SITE CONTEXT VIEW
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RUSSELL STREET BUILDING VIEW
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GREEN STREET BUILDING VIEW

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GREEN STREET VIEW FROM VAUGAHN STREET

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PARK BUILDING VIEW

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PARK BUILDING VIEW RENDER

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VIEW FROM AC HOTEL

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3.7



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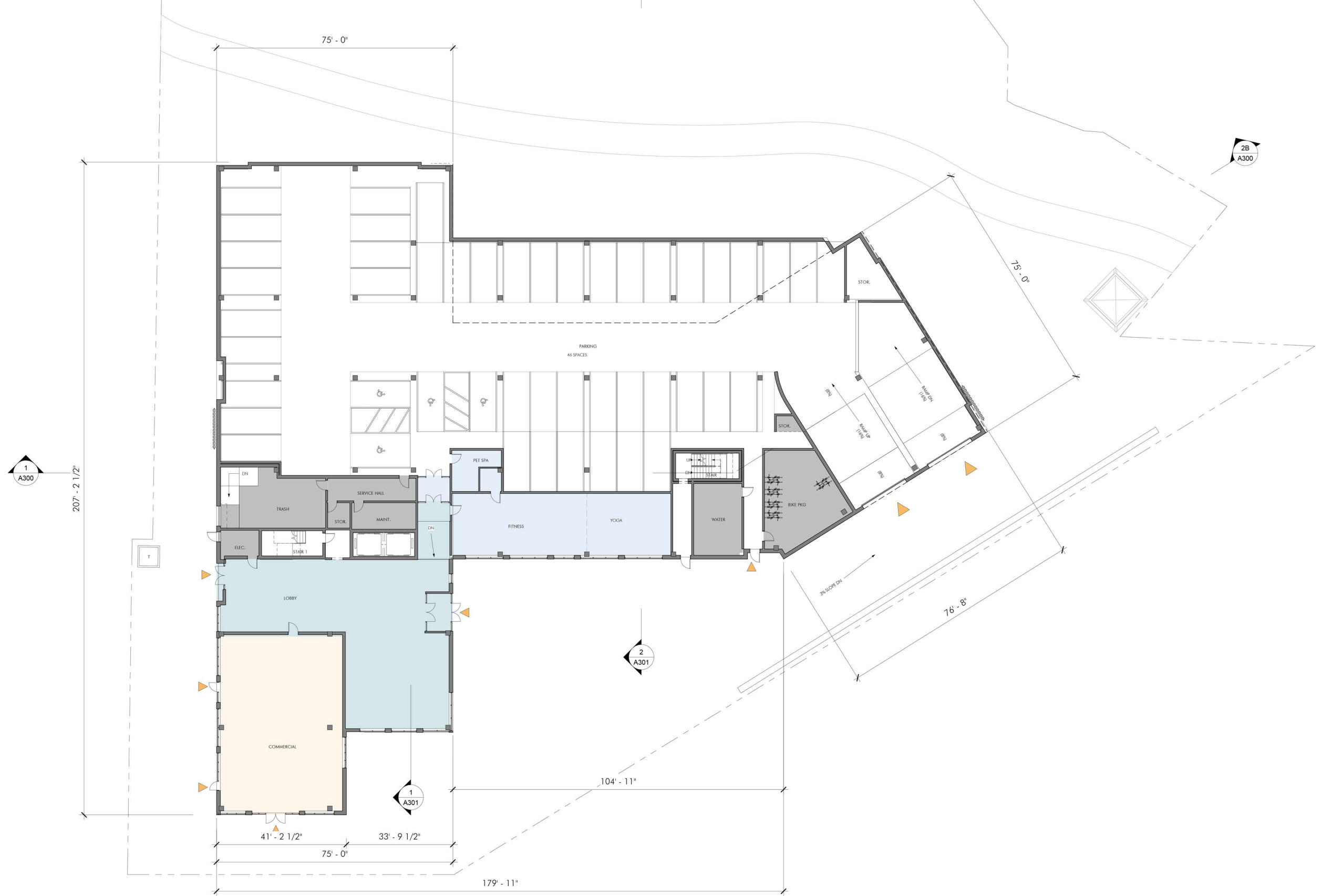
PARK SITE CONTEXT VIEW

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3.8



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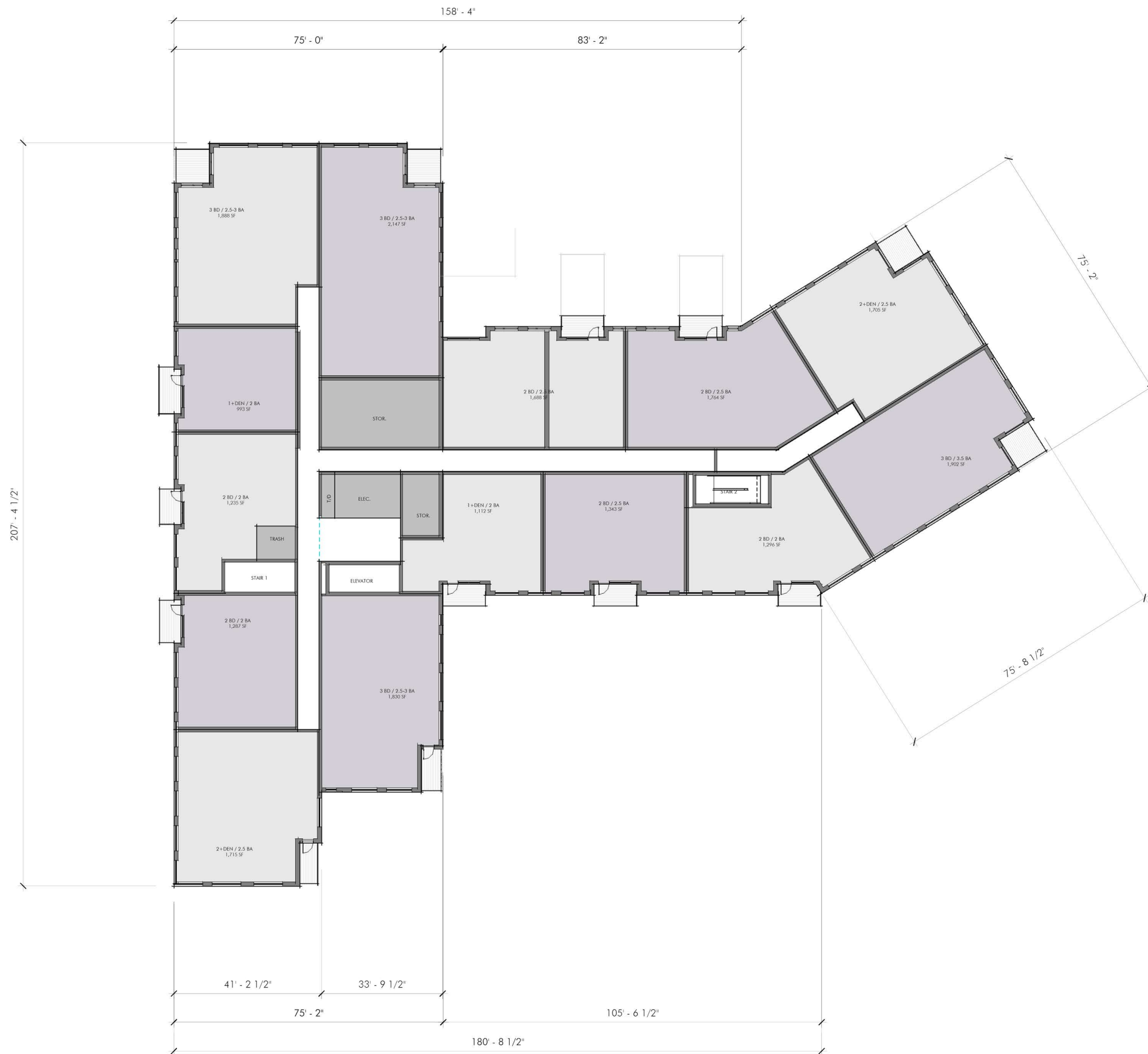
PROPOSED FIRST FLOOR PLAN

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4.1



53 GREEN STREET
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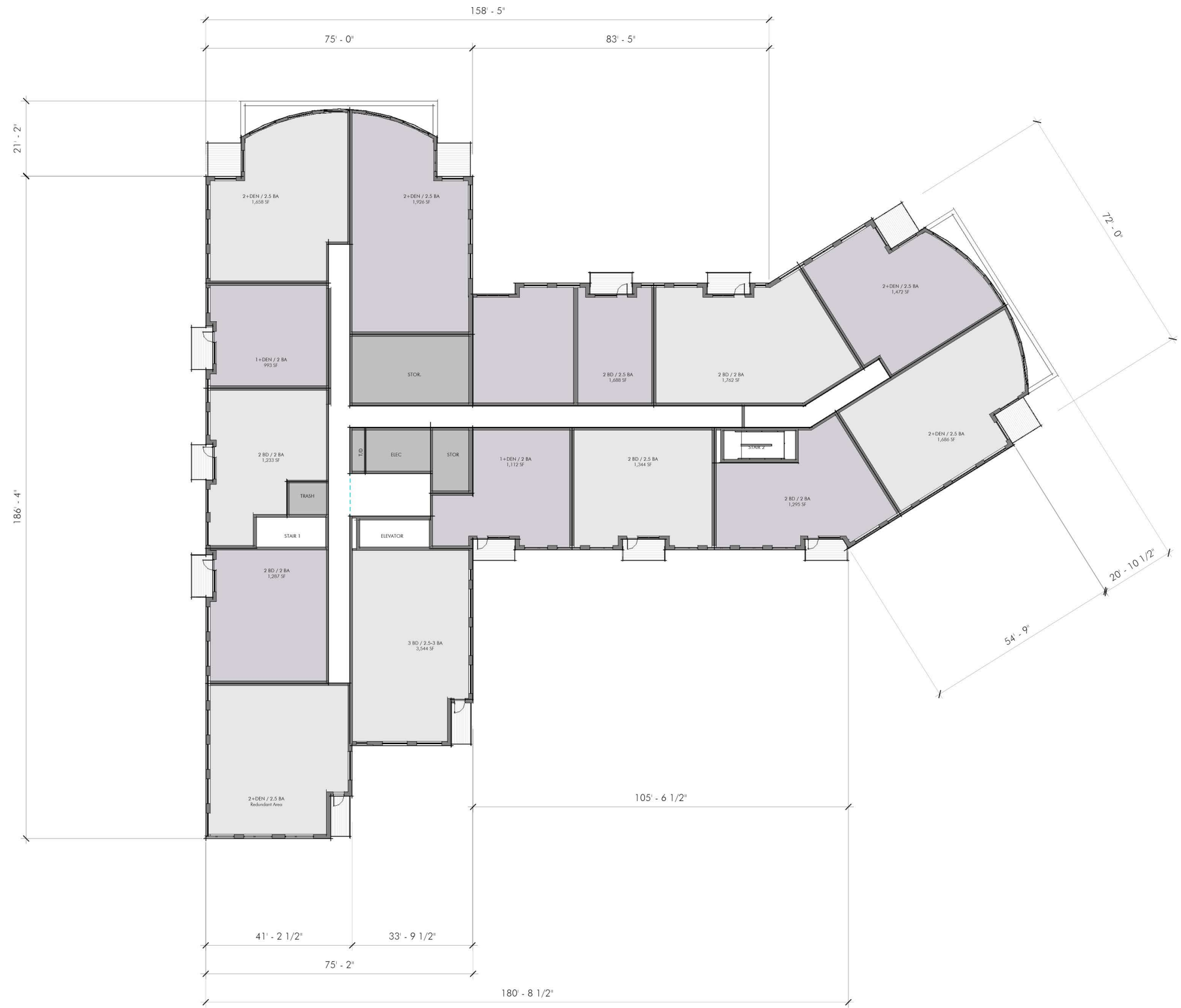
PROPOSED SECOND FLOOR PLAN

HISTORIC DISTRICT COMMISSION WORK SESSION 5: JUNE 2, 2021

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4.2



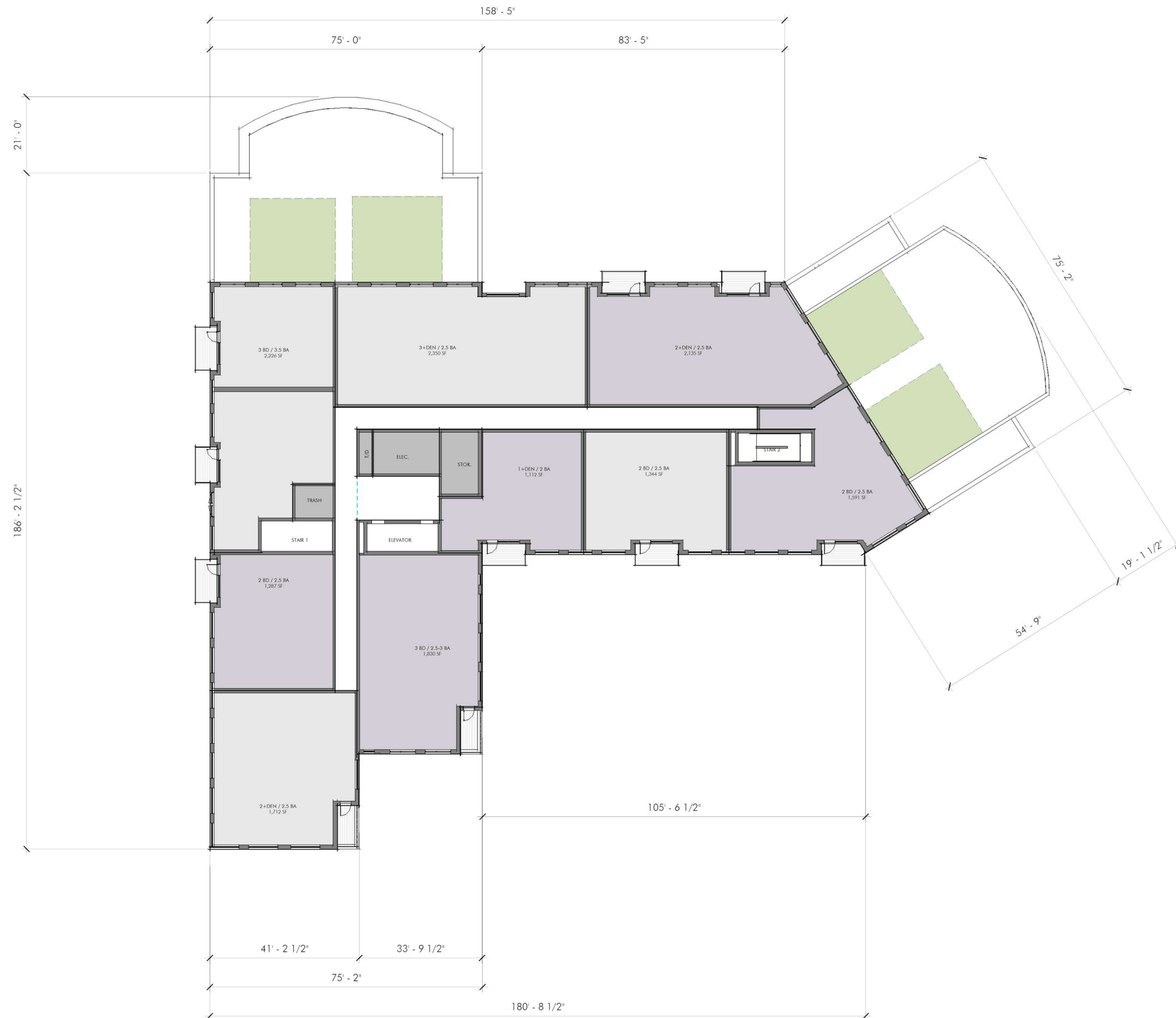
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PROPOSED THIRD FLOOR PLAN

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PROPOSED FOURTH FLOOR PLAN

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PROPOSED FIFTH FLOOR PLAN

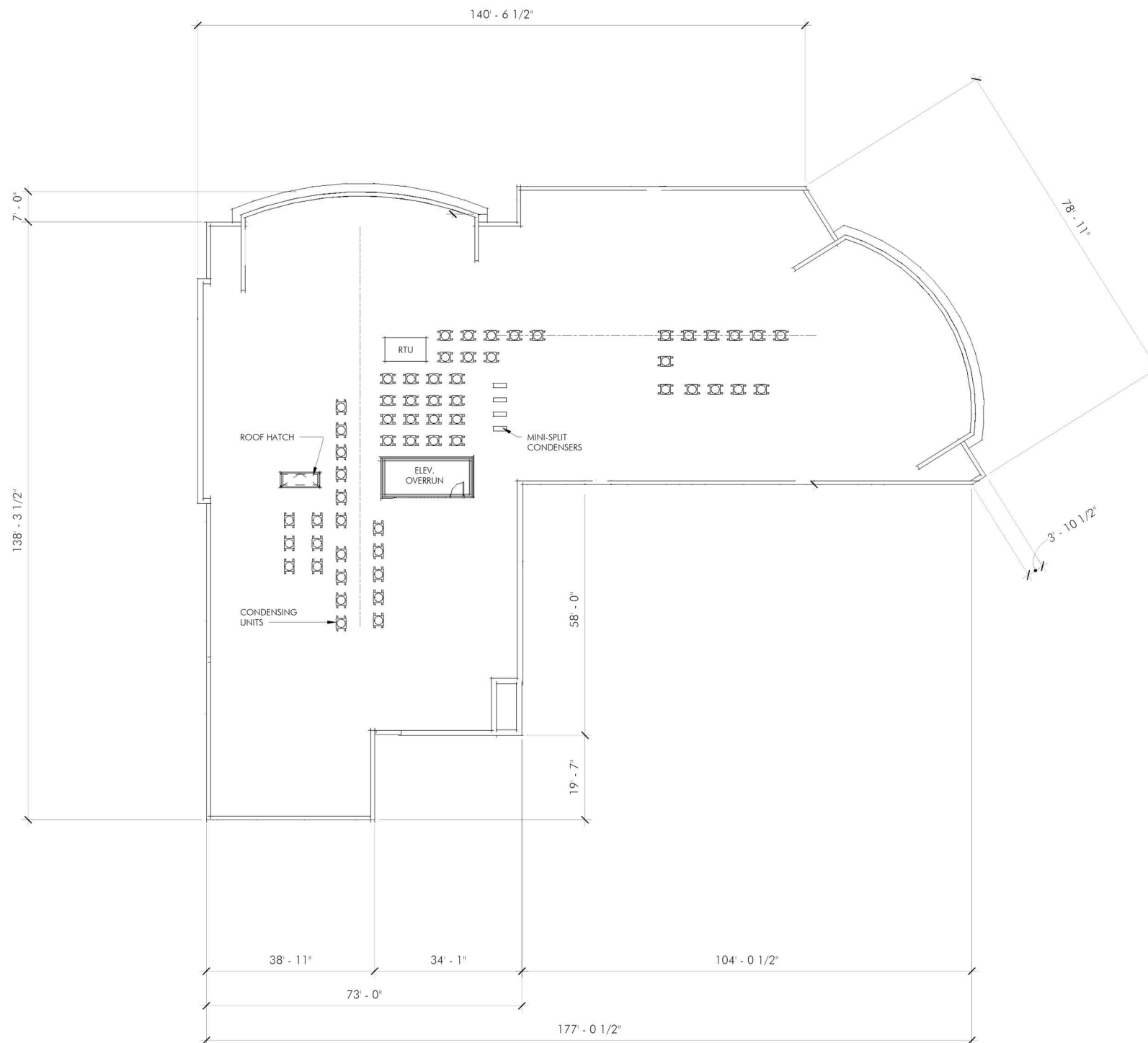
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PROPOSED ROOF PLAN

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MINI-SPLIT CONDENSERS



ELEVATOR OVERRUN AND VENT



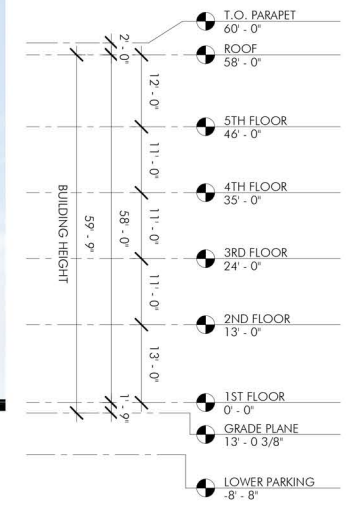
CONDENSING UNITS



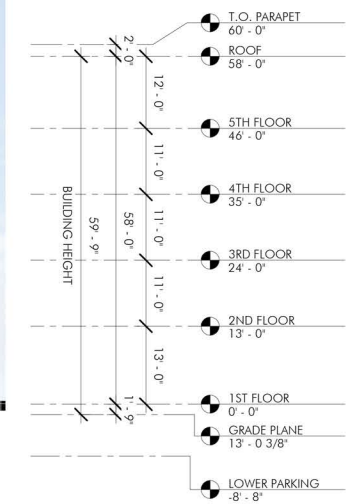
ROOF TOP UNIT

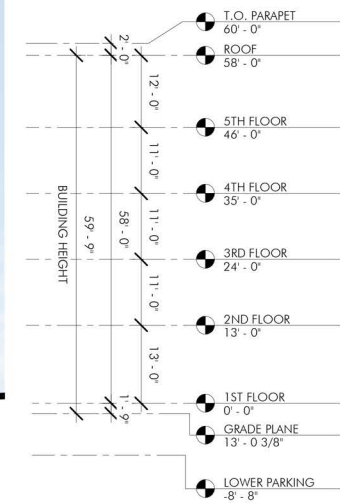


GREEN STREET ELEVATION

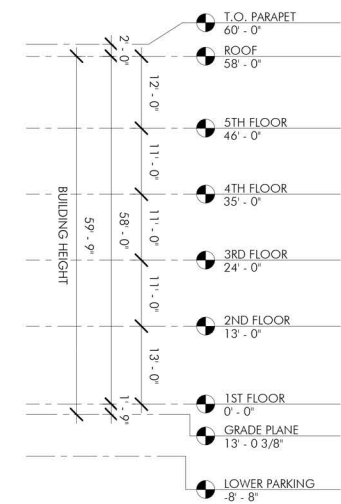


ENTRY PLAZA ELEVATION

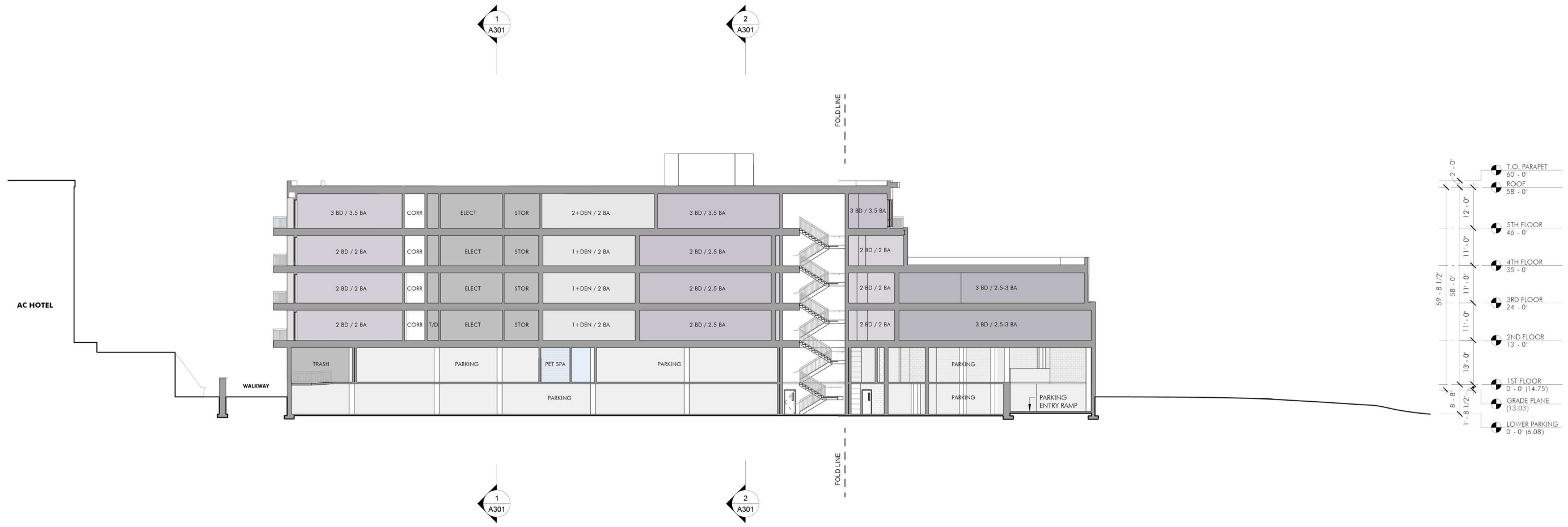




WEST ELEVATION



REAR (WATERFRONT) ELEVATION



1 SITE SECTION - NORTH / SOUTH
1/16" = 1'-0"

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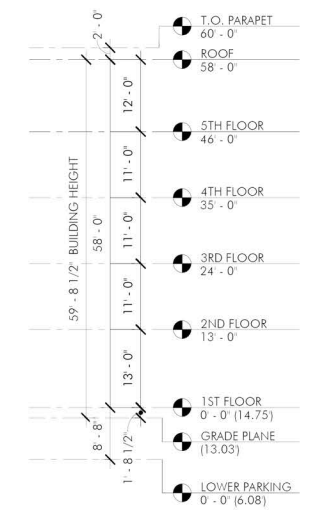
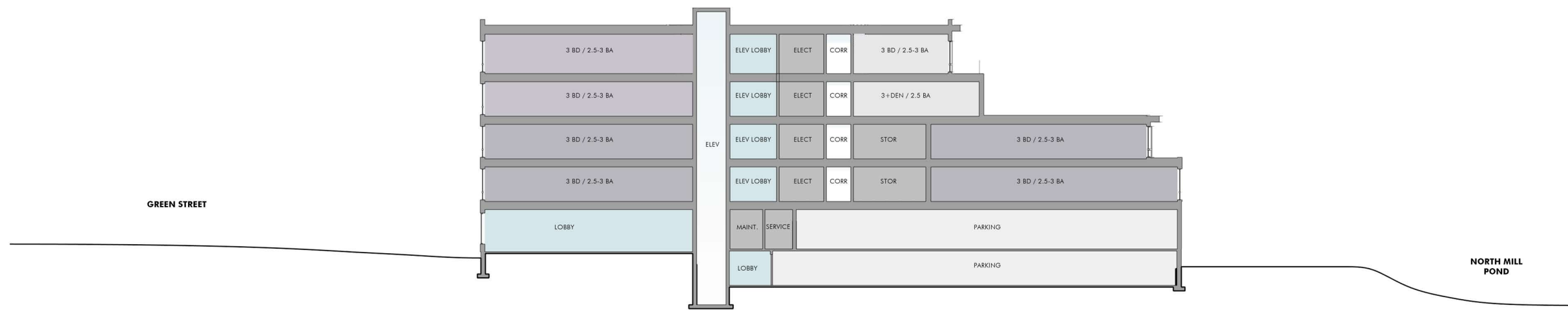
PROPOSED SECTIONS

HISTORIC DISTRICT COMMISSION WORK SESSION 5: JUNE 2, 2021

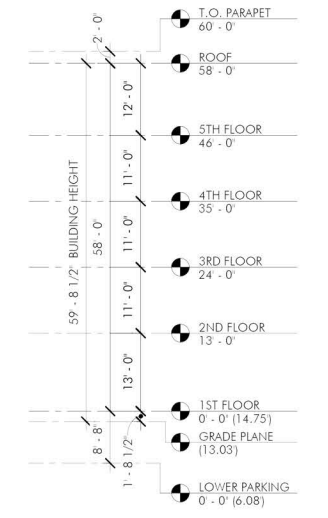
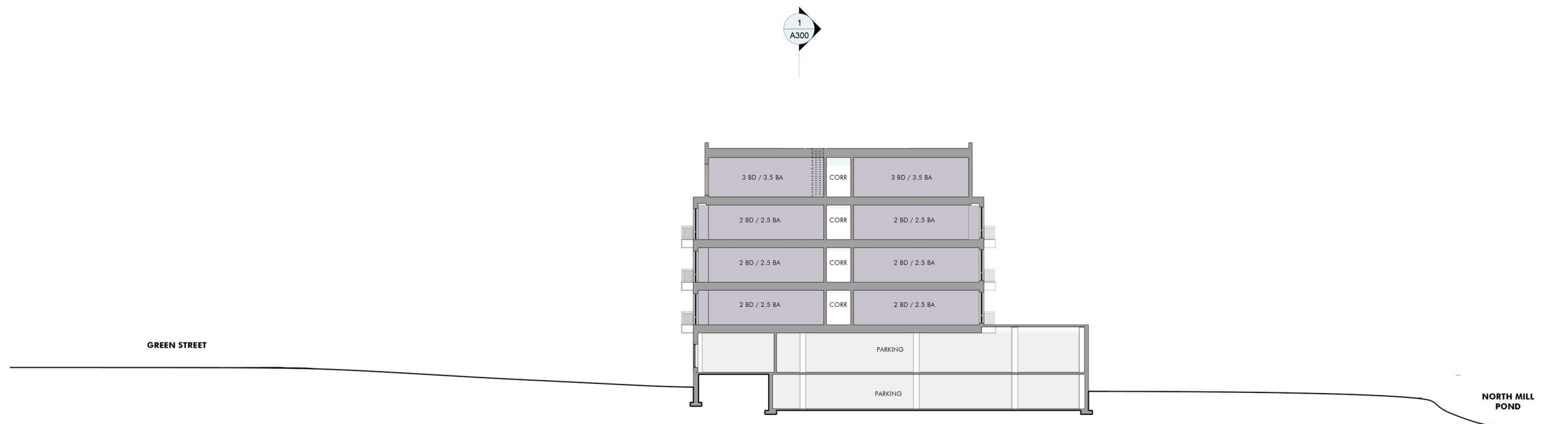
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6.0



1 SITE SECTION - EAST / WEST
1/16" = 1'-0"



2 SITE SECTION - EAST WEST1
1/16" = 1'-0"

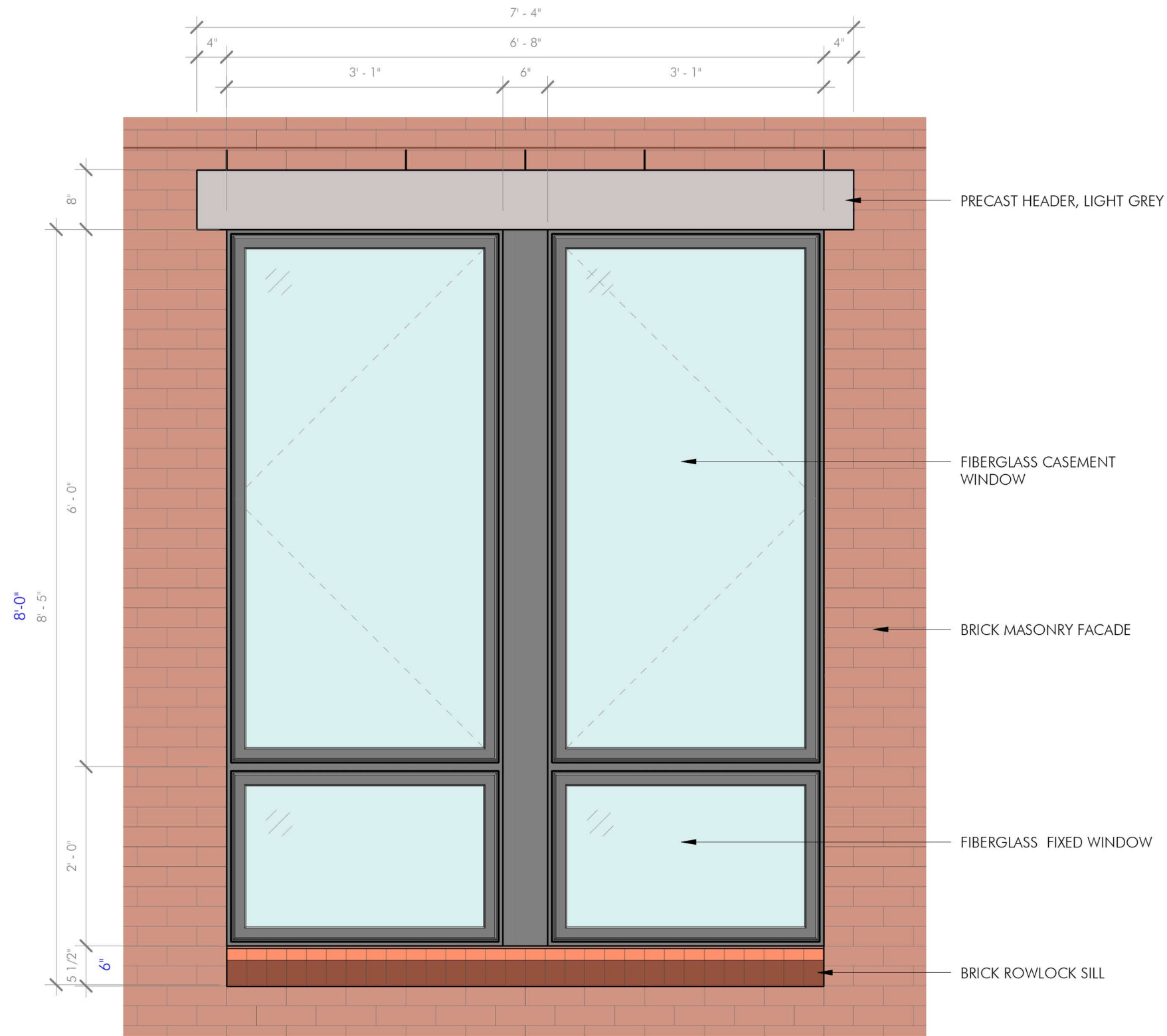


53 GREEN STREET
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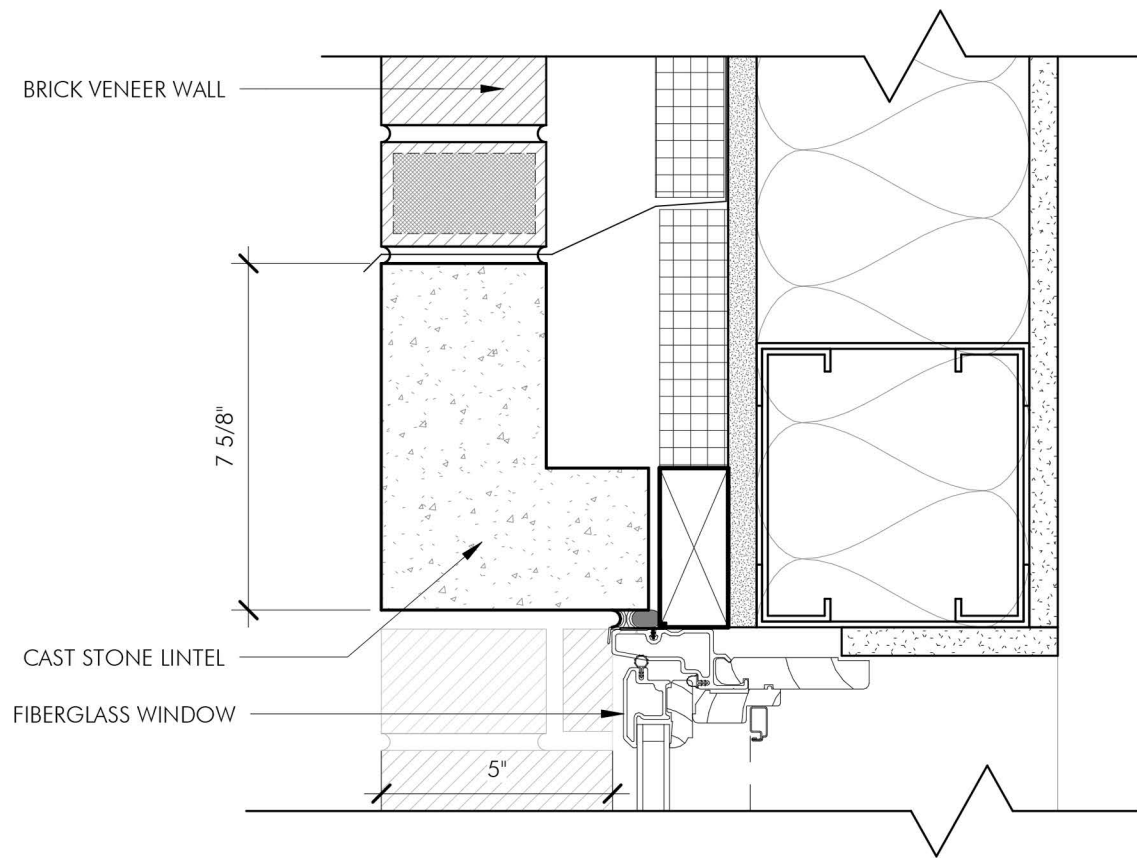
PROPOSED SECTIONS

HISTORIC DISTRICT COMMISSION WORK SESSION 5: JUNE 2, 2021

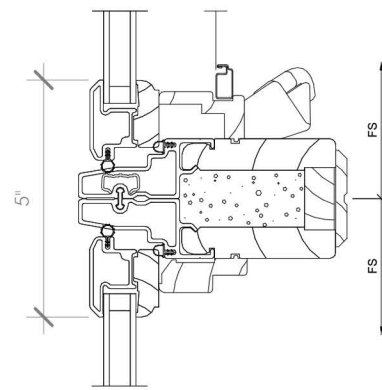




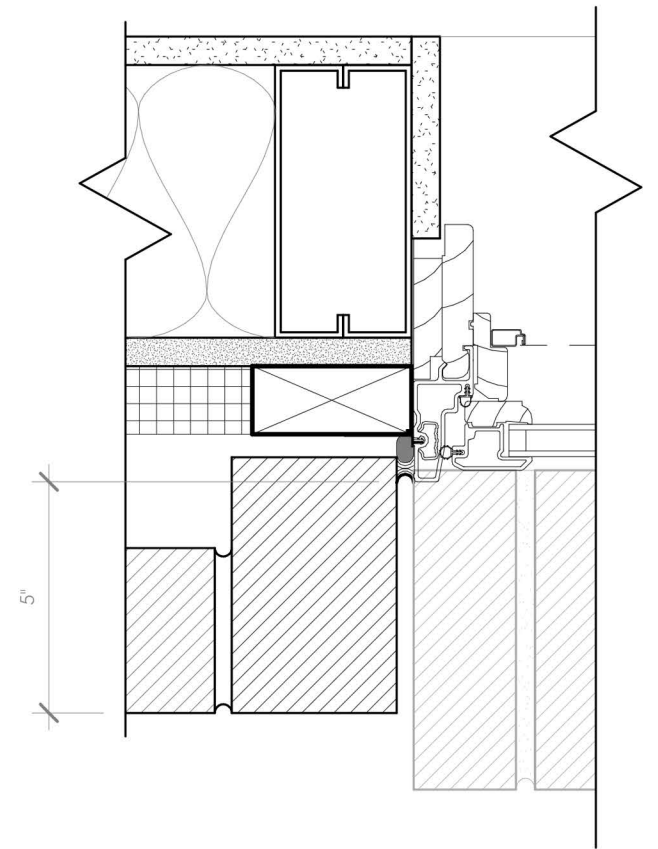
1 WINDOW ELEVATION
 3/4" = 1'-0"



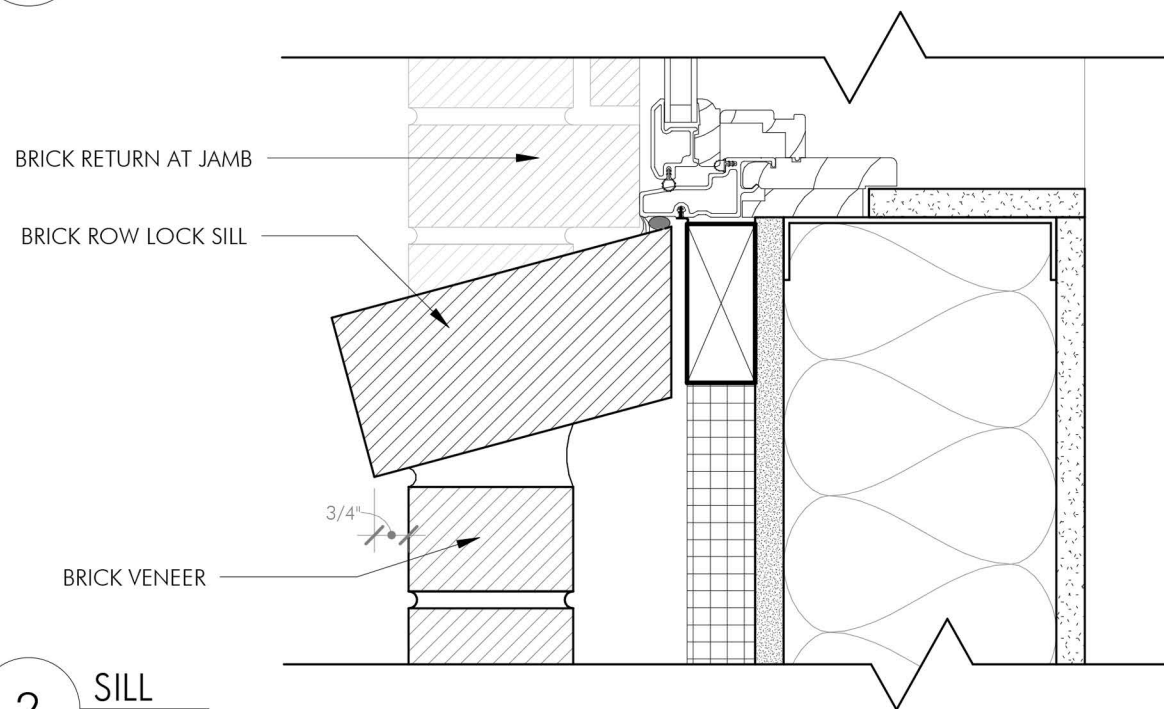
1 HEAD
3" = 1'-0"



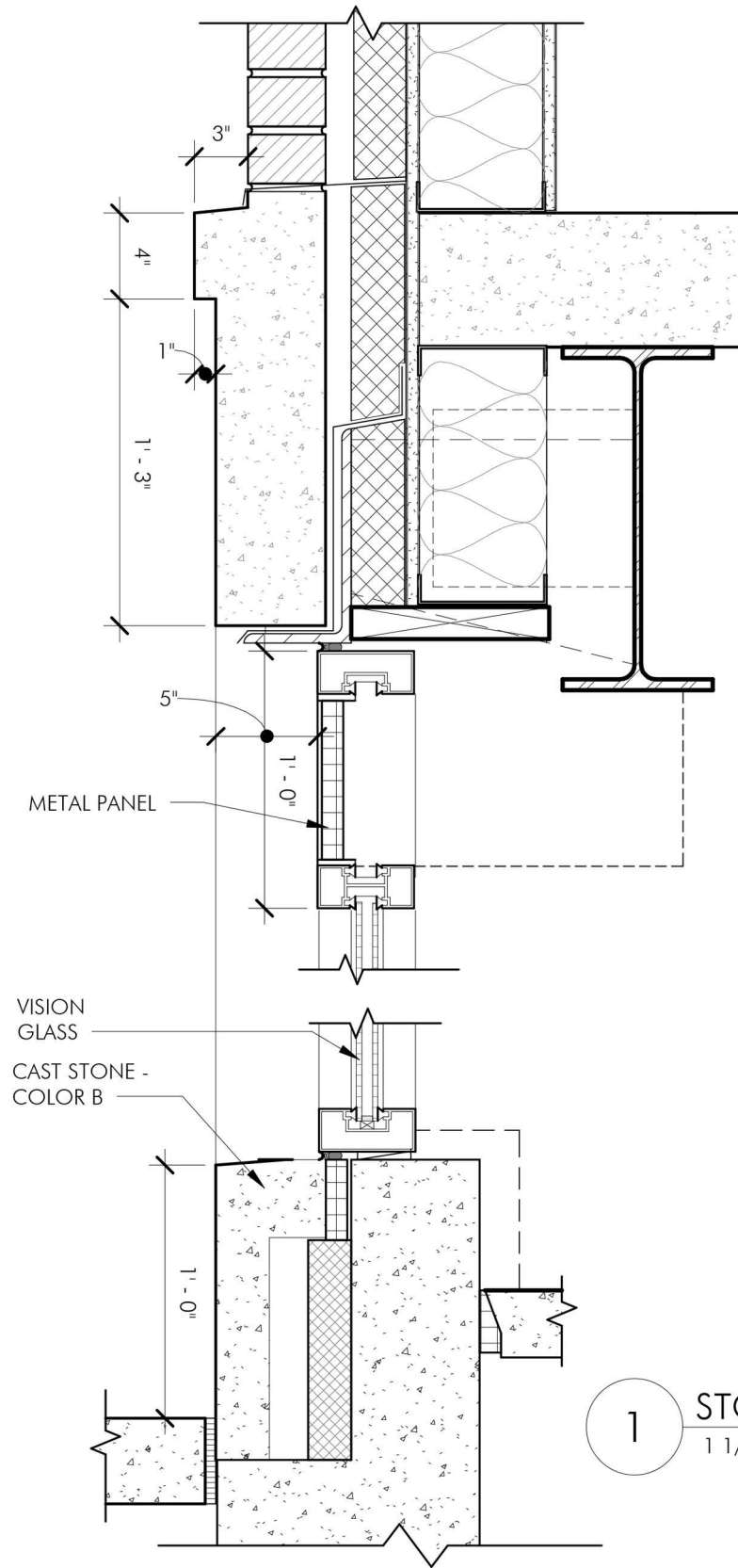
3 HORIZONTAL MULLION
3" = 1'-0"



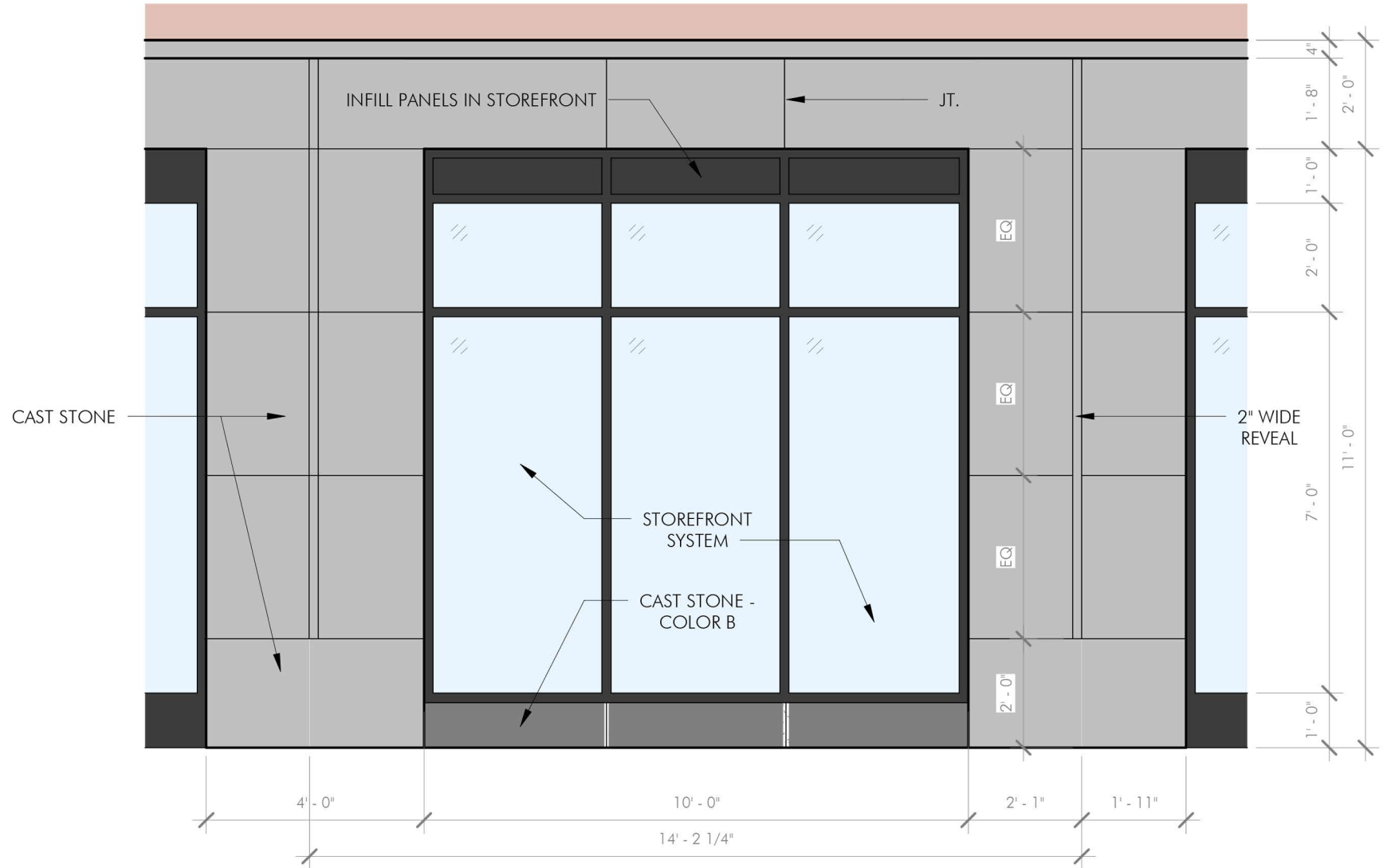
4 JAMB
3" = 1'-0"



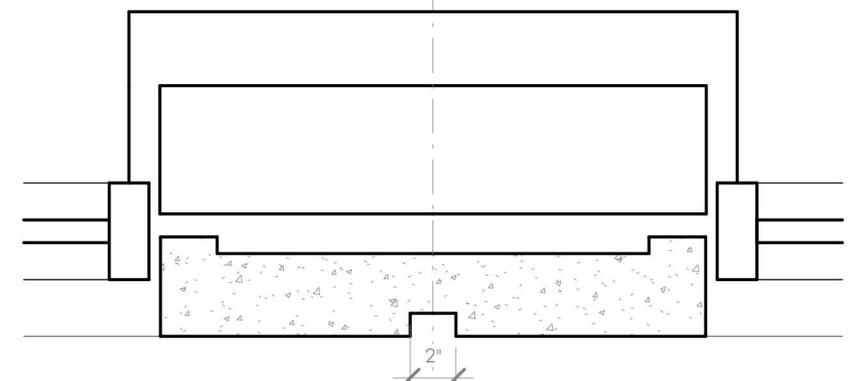
2 SILL
3" = 1'-0"



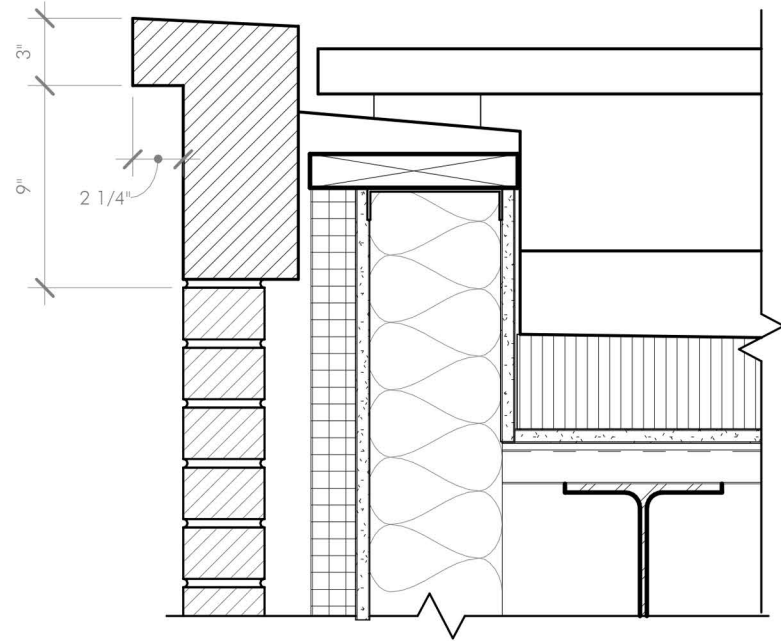
1 STOREFRONT HEAD & SILL
1 1/2" = 1'-0"



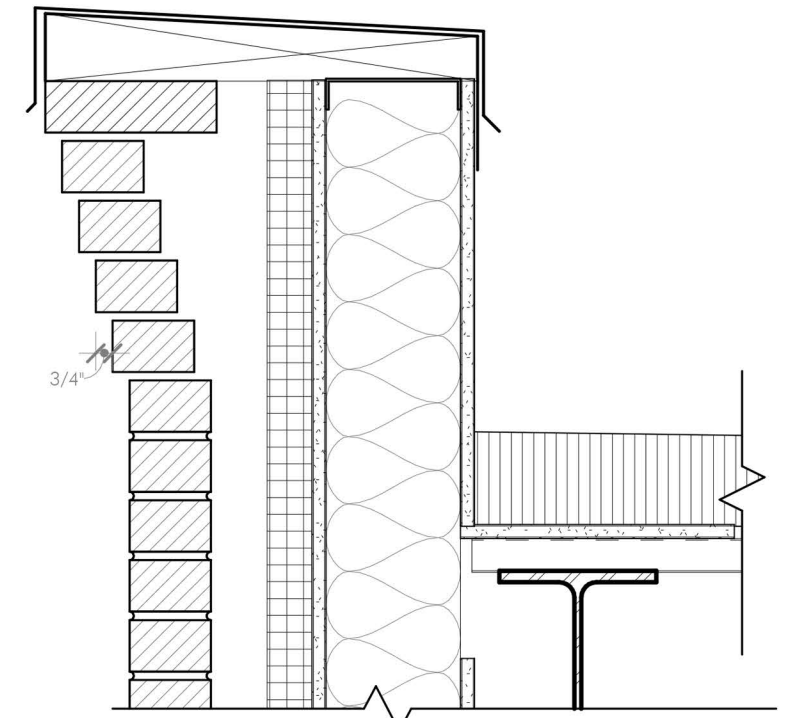
2 STOREFRONT ELEVATION
3/8" = 1'-0"



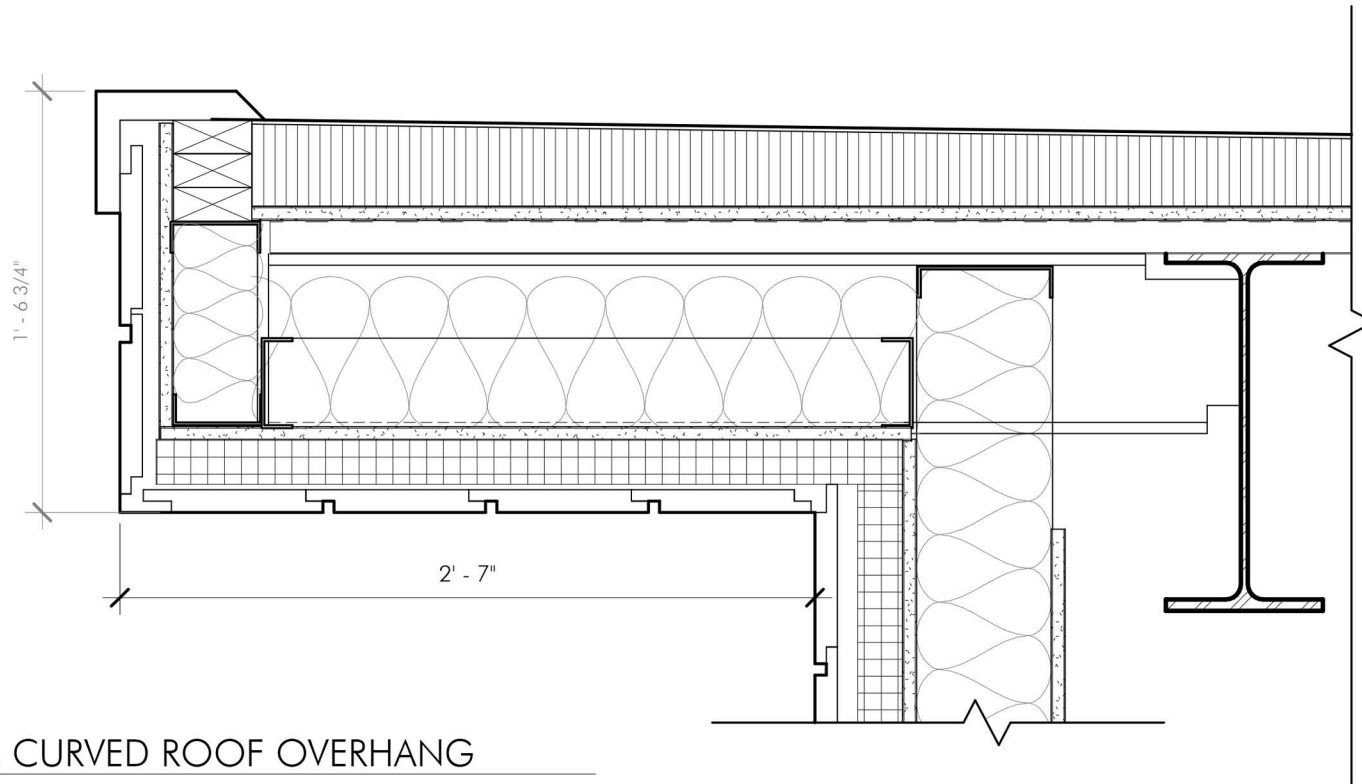
3 STOREFRONT JAMBS @ PIERS
1 1/2" = 1'-0"



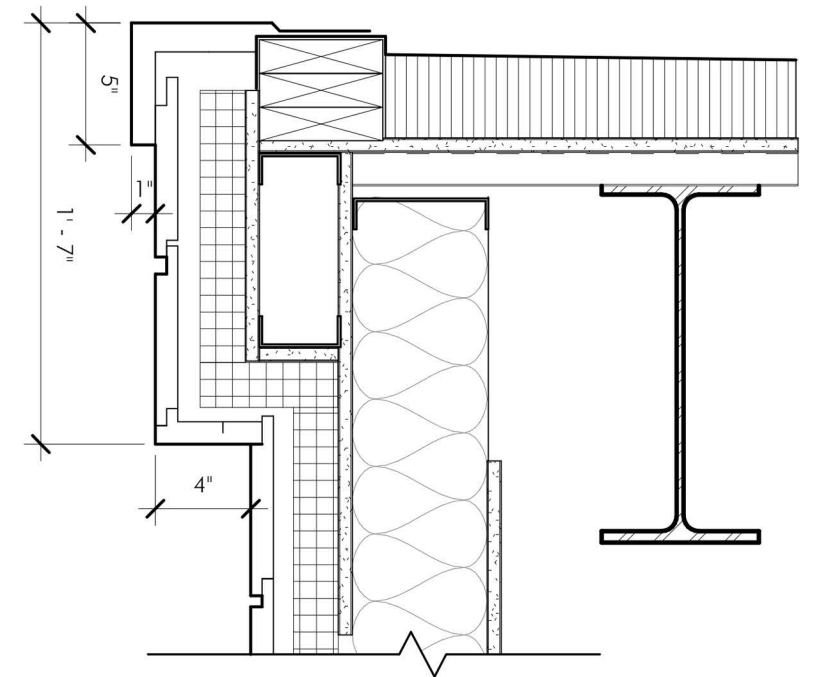
2 CAST STONE CORNICE @ 4TH FLOOR
1 1/2" = 1'-0"



3 BRICK CORBEL CORNICE
1 1/2" = 1'-0"



1 CURVED ROOF OVERHANG
1 1/2" = 1'-0"

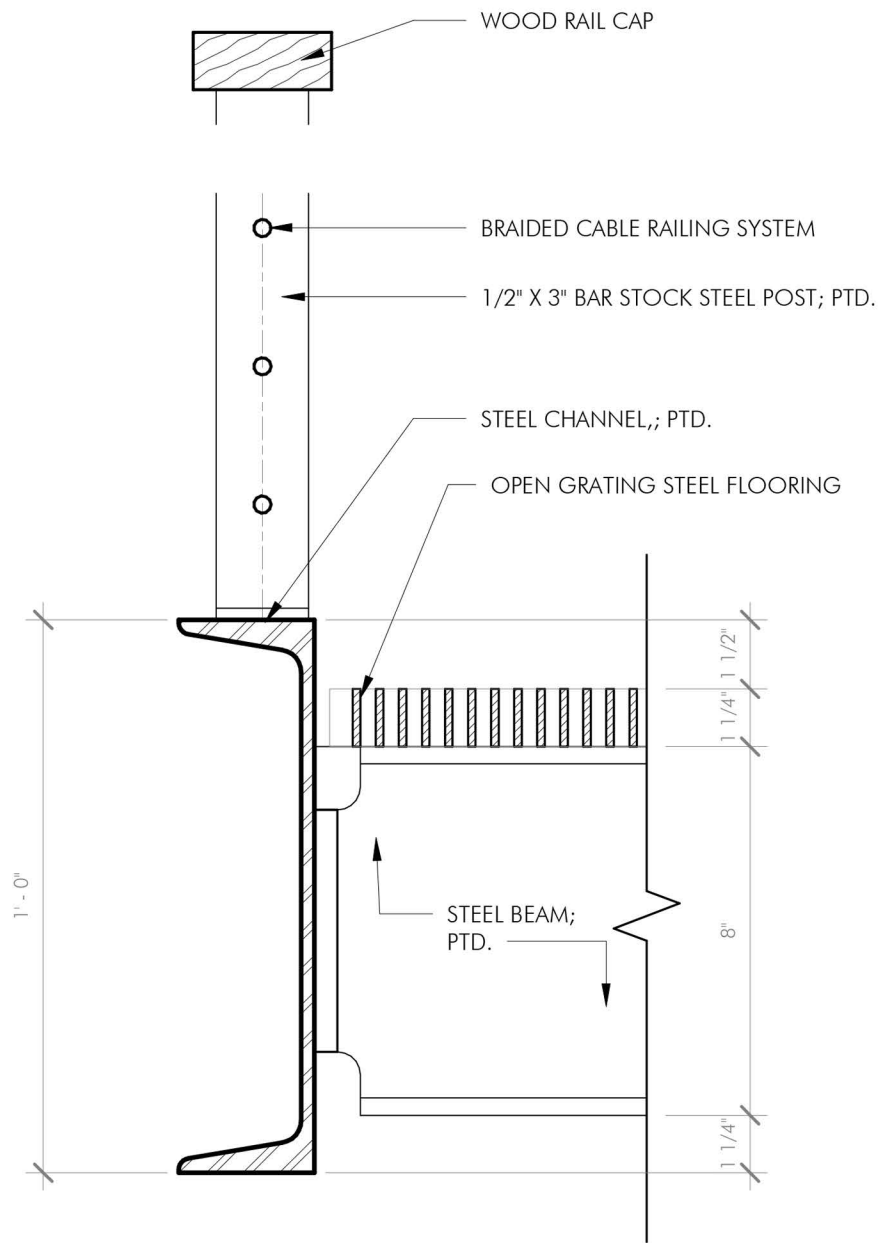


4 CORNICE PANEL SIDING
1 1/2" = 1'-0"

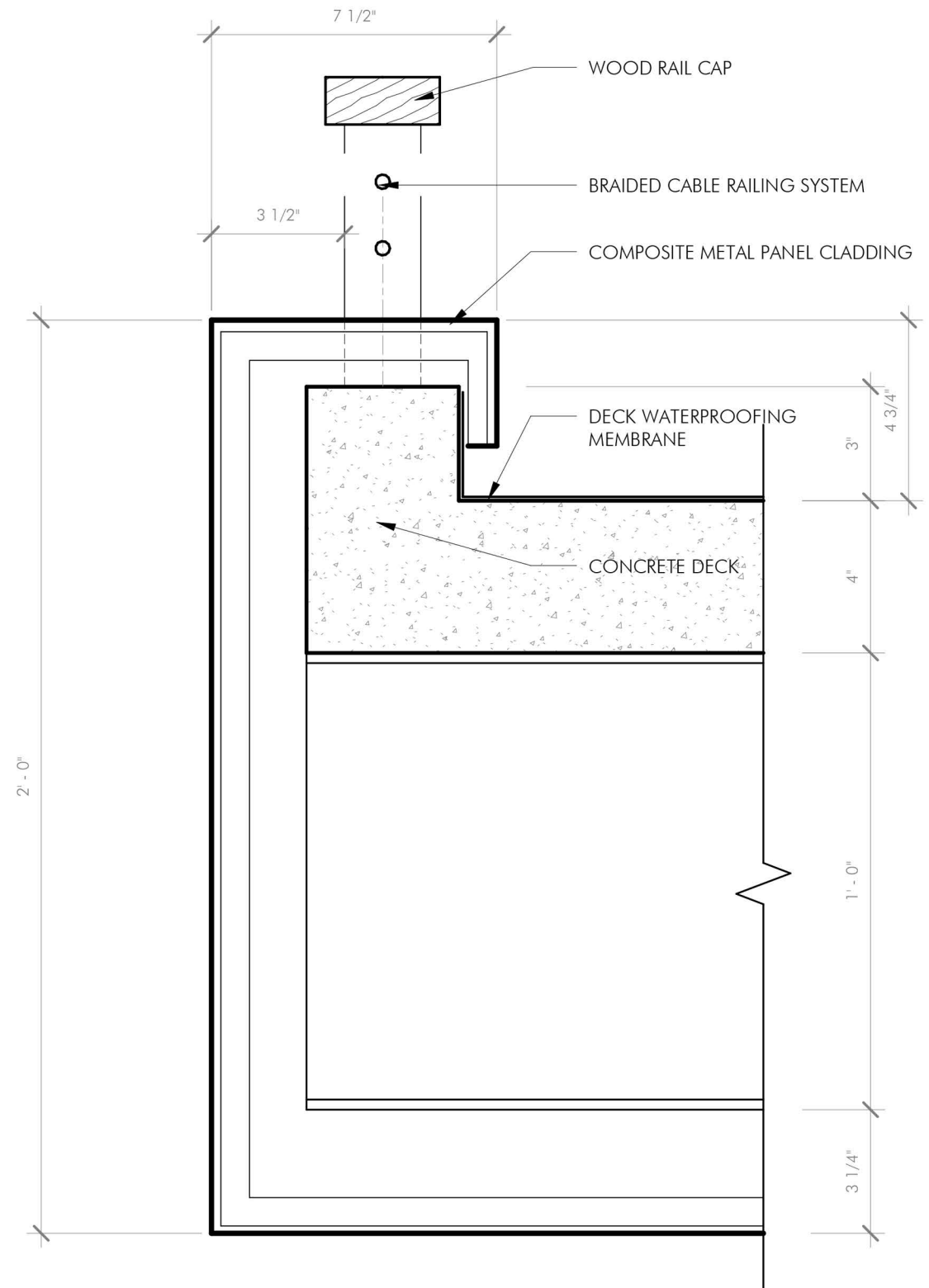
PROPOSED DETAILS

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PORTSMOUTH, NEW HAMPSHIRE

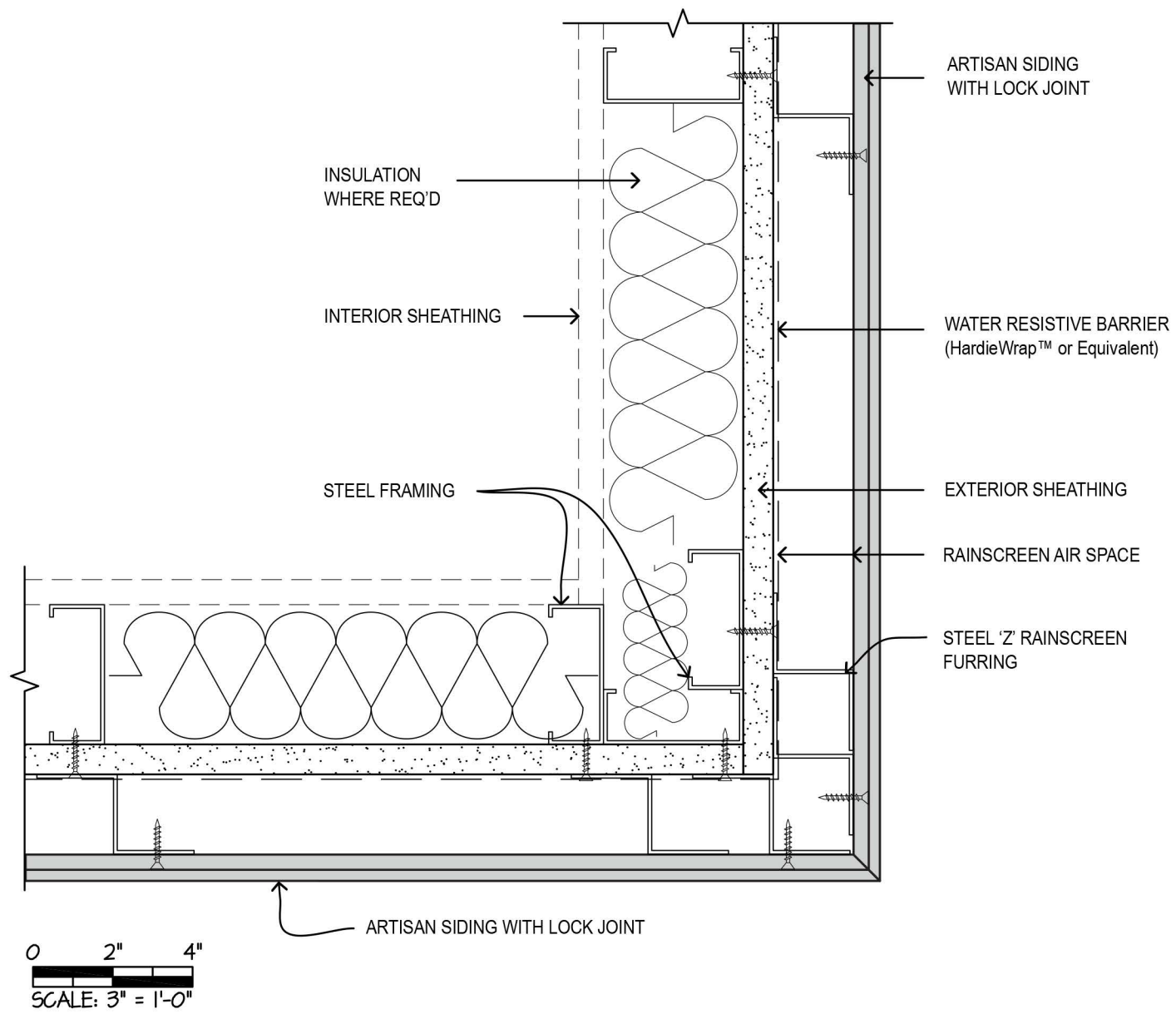
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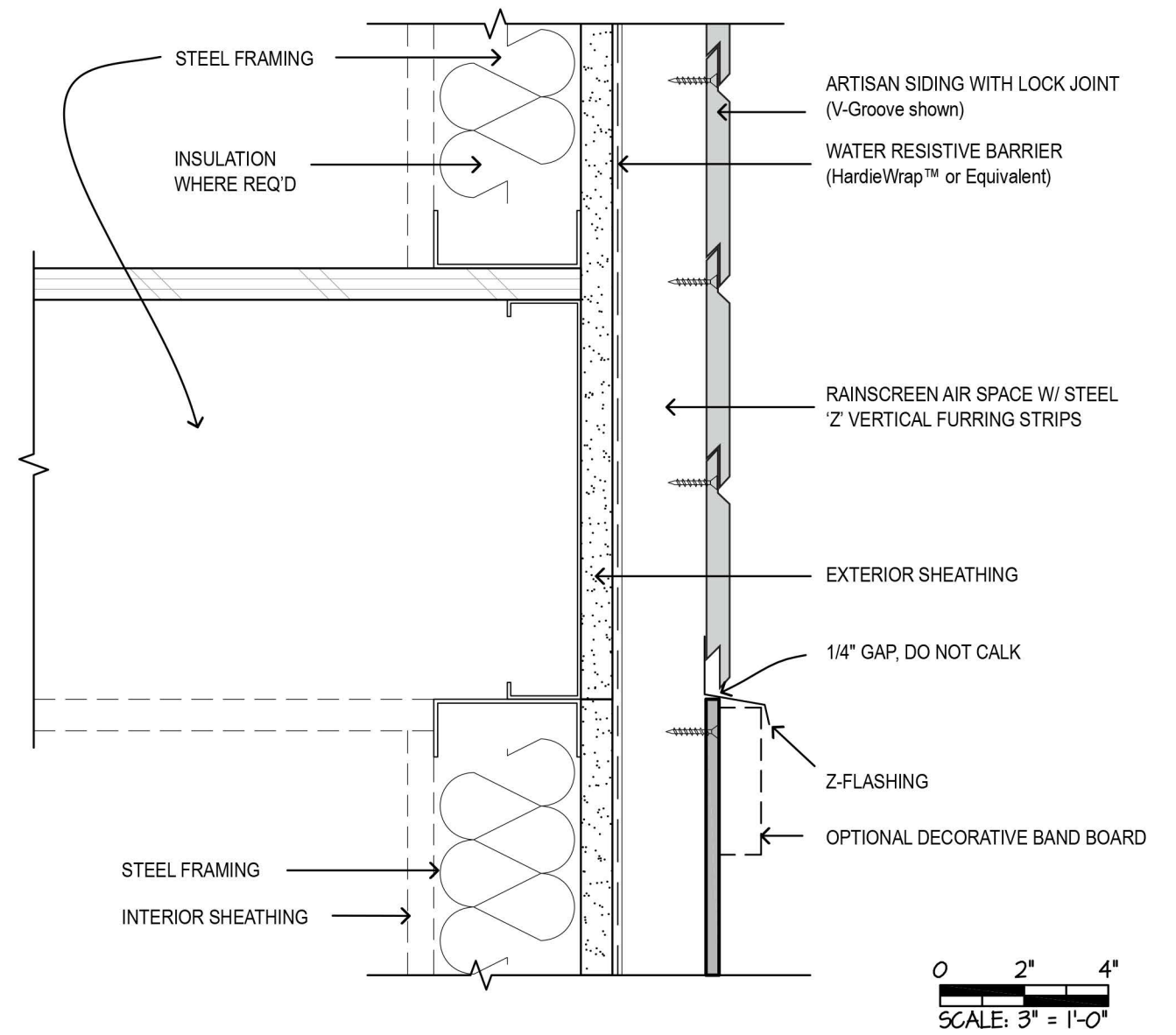
1 BALCONY EDGE 1
3" = 1'-0"



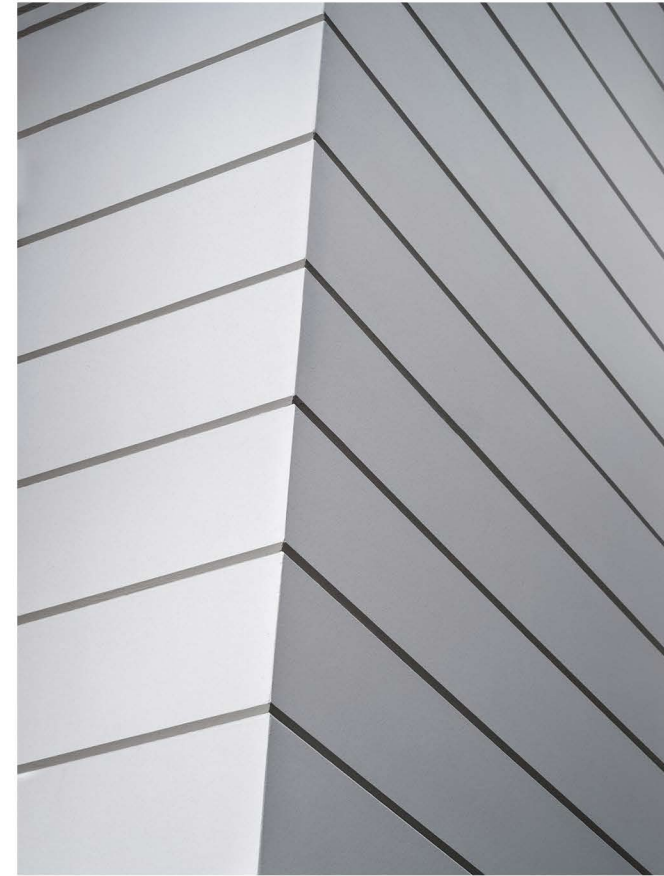
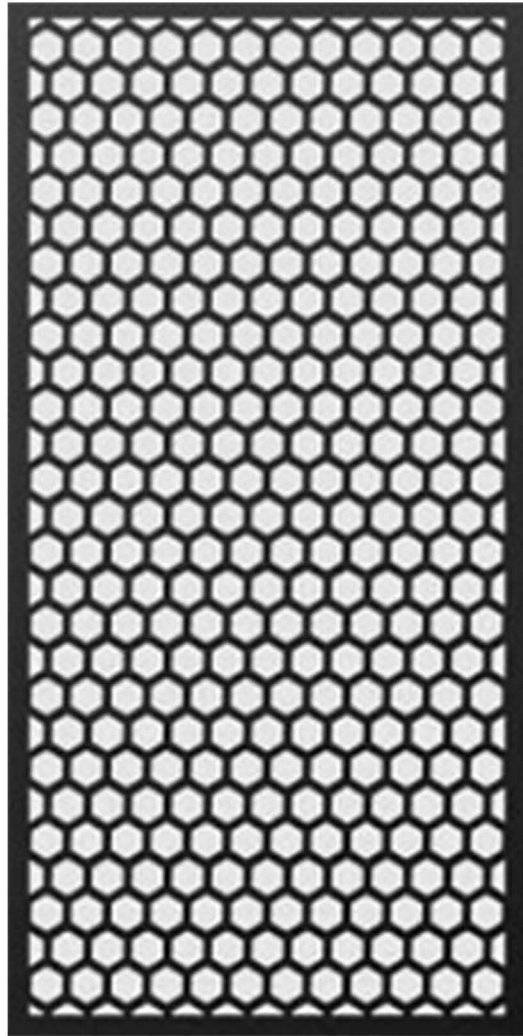
2 BALCONY EDGE 2
3" = 1'-0"



OUTSIDE CORNER - RAINSCREEN



HORIZONTAL VIEW - RAINSCREEN



COLOR: DOVE GREY

GARAGE SCREEN

MANUFACTURER: PARASOLEIL
PATTERN/COLOR: AT ARCHED OPENINGS: NUKUBALAVU / BLACK LICORICE
AT BRICK OPENINGS: HIVE / BLACK LICORICE

FIBER CEMENT SIDING

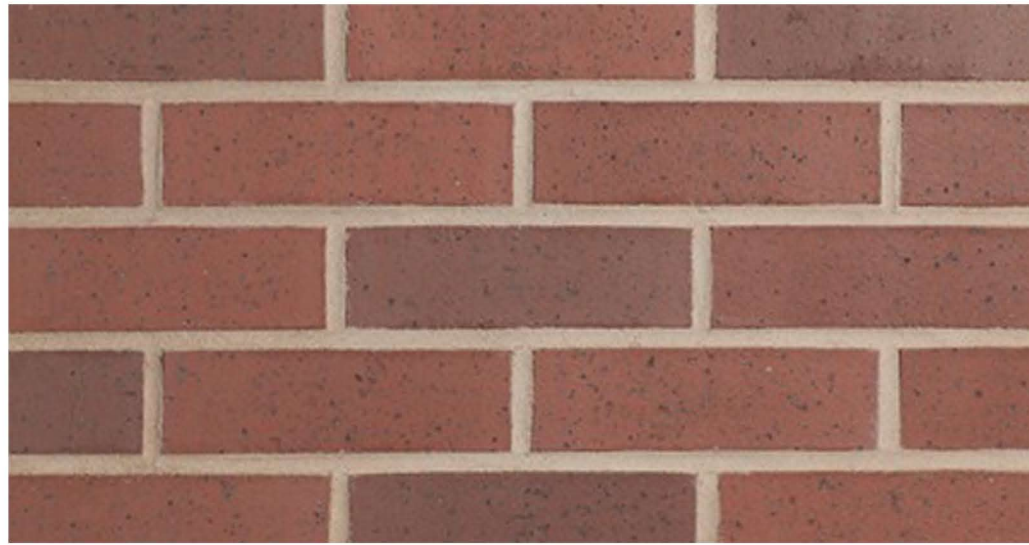
MANUFACTURER: ARTISAN SIDING
STYLE/COLOR: V-GROOVE / DOVE GREY

53 GREEN STREET

PORTSMOUTH, NEW HAMPSHIRE

MATERIALS

HISTORIC DISTRICT COMMISSION WORK SESSION 5: JUNE 2, 2021



1



2



BRICK

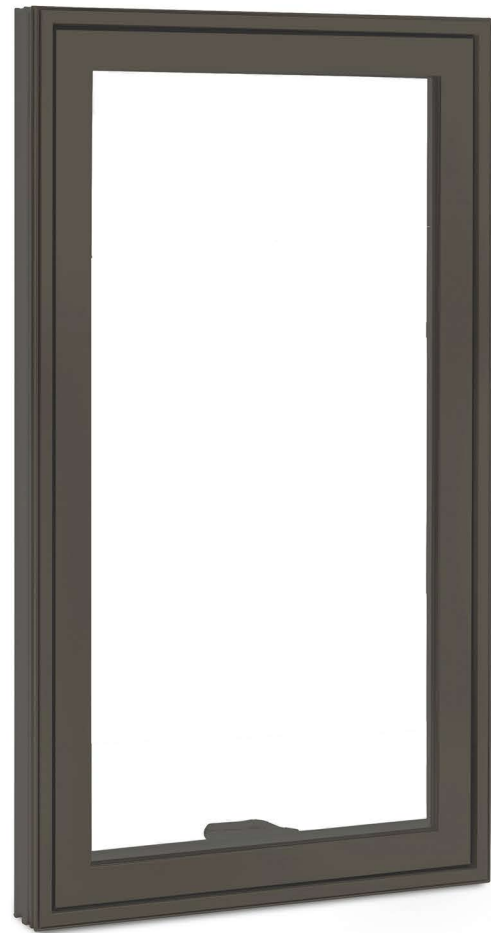
MANUFACTURER: GLEN-GERY
 COLOR: NAPA VALLEY SMOOTH IRONSPOT
 SPECIAL INSTRUCTIONS: RUNNING BOND

CAST STONE

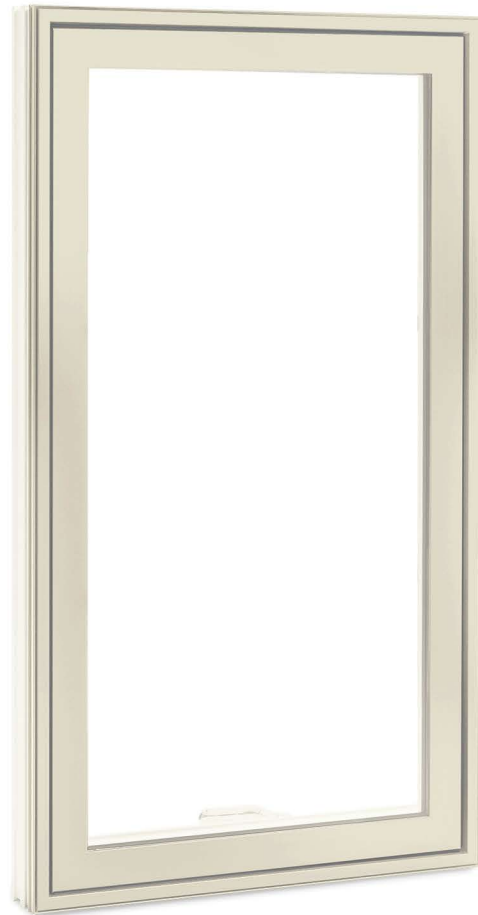
MANUFACTURER: NORTHERN DESIGN ARCHITECTURAL PRECAST & STONE
 COLOR 1: NATURAL LIMESTONE / LIGHT ETCH
 COLOR 2: SLATE / LIGHT ETCH

RAILINGS

MANUFACTURER: JAKOB ROPE SYSTEMS
 COLOR: VARIES



COLOR: BRONZE



COLOR: STONE WHITE



#40

DARK BRONZE

AA-M10C21A44 /
AA-M45C22A44

Architectural Class I
(.7 mils minimum)

CASEMENT AND AWNING WINDOWS

MANUFACTURER: MARVIN
SERIES: ESSENTIAL

STOREFRONT

MANUFACTURER: TRIFAB
SERIES: 451UT - DARK BRONZE



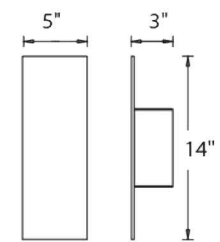
XW1- ICON



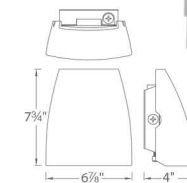
FINISHES:



LINE DRAWING:



XW2- FIN



PRODUCT DESCRIPTION

Die cast aluminum factory sealed housings with patent pending design for a water and dust proof IP66 rated outdoor luminaire

FINISH: BRONZE

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

MATERIALS

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8.3

Landscape Notes

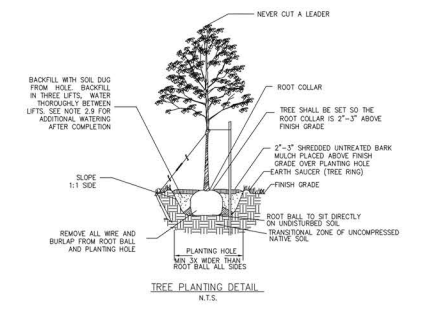
- Design is based on drawings by Tighe & Bond dated 5/19/2021 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portables within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage conditions, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with the following:
 - Outside hose attachments spaced a maximum of 150 feet apart, and
 - An underground irrigation system, or
 - A temporary irrigation system designed for a two-year period of plant establishment.
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide clean water suitable for plant health from off site, should it not be available on site.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy. Within the sight distance triangles at vehicle intersections the canopies shall be raised to 8' min.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

PART 1 - GENERAL

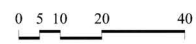
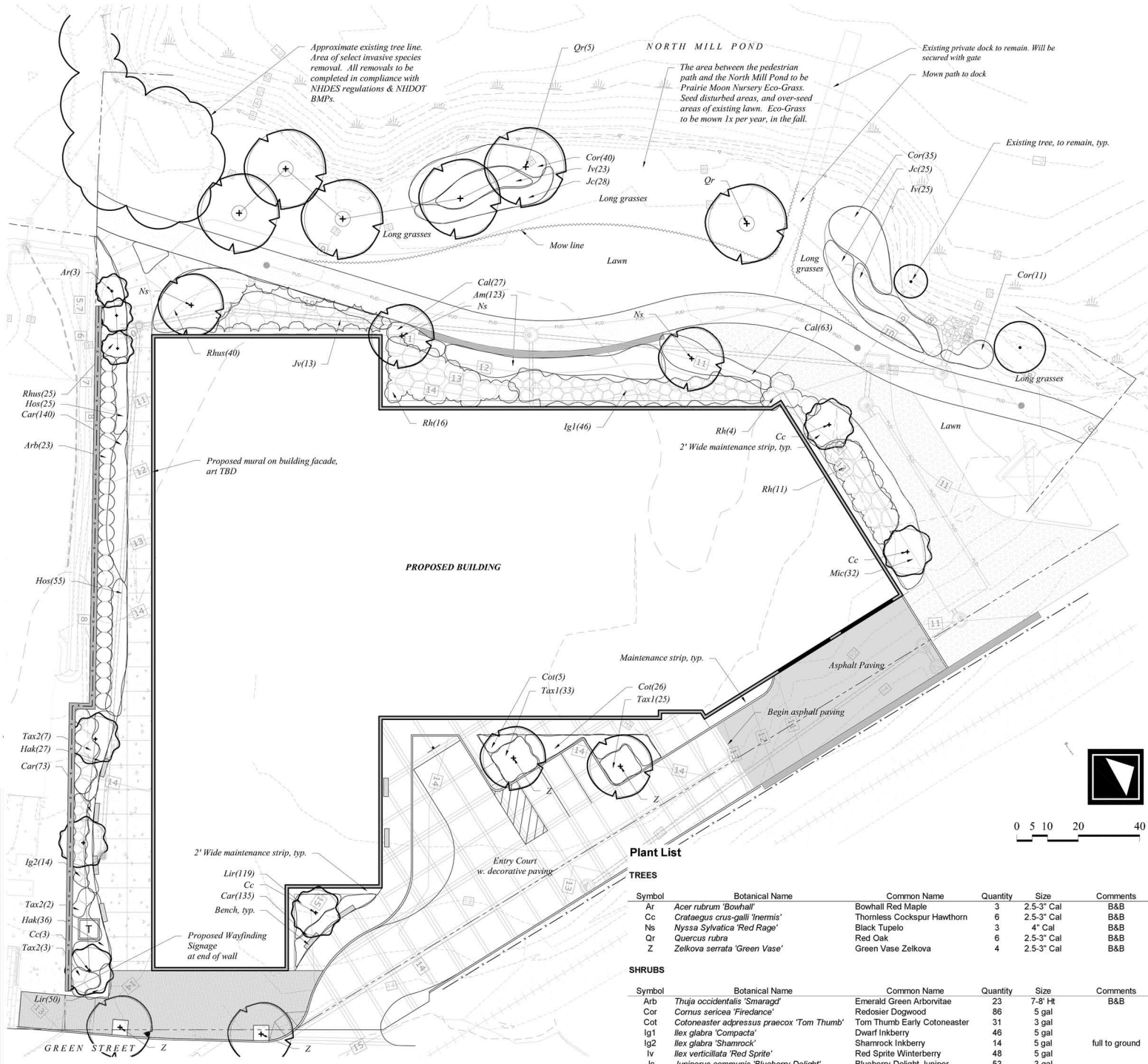
1.1 THE BASIS OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE AND ALSO PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING AND ALSO PART 6 LAYS OUT TERMS AND BASIS OF PLANTING AS SET FORTH BY THE FOLLOWING ARE THE AND ALSO PART 6 TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE AND ALSO PART 6.

PART 2 - EXECUTION

- 2.1 ALL PLANTING HOLES SHALL BE DUG BY HAND - NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITS WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
- 2.2 ALL WIRE AND BURIAL SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
- 2.3 THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GROUND ROOTS ARE PRESENT.
- 2.4 THE ROOT COLLAR OF THE TREE SHALL BE 2"-3" ABOVE GRADE OF PLANTING HOLE FOR FINISHING DEPTH.
- 2.5 ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
- 2.6 ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS - NO EXCEPTIONS.
- 2.7 AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
- 2.8 2"-3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
- 2.9 AT THE TIME OF PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS. BACKFILL MATERIAL AND MULCH LAYER.
- 2.10 STRAKES AND SITS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
- 2.11 ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH DOES NOT RESERVE THE RIGHT TO REFUSE/REJECT ANY PLANT MATERIAL OR PLANTING STOCK THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE AND ALSO PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.



City of Portsmouth Tree Planting Detail



Plant List

TREES

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Ar	<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple	3	2.5-3' Cal	B&B
Cc	<i>Crataegus crus-galli</i> 'Inermis'	Thornless Cockspur Hawthorn	6	2.5-3' Cal	B&B
Ns	<i>Nyssa sylvatica</i> 'Red Rage'	Black Tupelo	3	4' Cal	B&B
Qr	<i>Quercus rubra</i>	Red Oak	6	2.5-3' Cal	B&B
Z	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	4	2.5-3' Cal	B&B

SHRUBS

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Arb	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	23	7-8' Ht	B&B
Cor	<i>Cornus sericea</i> 'Firedance'	Redosier Dogwood	86	5 gal	B&B
Cot	<i>Cotoneaster adpressus</i> 'praecox 'Tom Thumb'	Tom Thumb Early Cotoneaster	31	3 gal	
Igl1	<i>Ilex glabra</i> 'Compacta'	Dwarf Inkberry	46	5 gal	
Igl2	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	14	5 gal	full to ground
Iv	<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	48	5 gal	
Jc	<i>Juniperus communis</i> 'Blueberry Delight'	Blueberry Delight Juniper	53	3 gal	
Jv	<i>Juniperus virginiana</i> 'Emerald Sentinel'	Emerald Sentinel Red Cedar	13	7-8' Ht	B&B
Mic	<i>Microbiota decussata</i>	Russian Cypress	32	3 gal	
Rh	<i>Rhododendron maximum</i>	Rosebay Rhododendron	31	3-4' Ht	B&B
Rhus	<i>Rhus aromatica</i> 'Grow-Low'	Grow Low Sumac	65	3 gal	
Tax1	<i>Taxus media</i> 'Ever-Low'	Ever-Low Yew	58	3 gal	
Tax2	<i>Taxus media</i> 'Greenwave'	Greenwave Yew	12	5 gal	

PERENNIALS, GROUNDCOVERS, VINES and ANNUALS

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Am	<i>Amsonia hubrichtii</i>	Blue Star Flower	123	1 gal	
Car	<i>Carex appalachica</i>	Appalachian Sedge	348	1 gal	
Cal	<i>Calamagrostis acutifolia</i> 'Karl Foerster'	Feather Reed Grass	90	1 gal	
Hak	<i>Hakonechloa macra</i>	Japanese Frost Grass	63	1 gal	
Hos	<i>Hosta 'Guacamole'</i>	Guacamole Hosta	80	1 gal	
Lir	<i>Liriope spicata</i>	Lily Turf	169	1 gal	
Lawn	<i>Pennilton Smartseed Tall Fescue Blend</i>				

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LANDSCAPE ARCHITECTURE
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Proposed Mixed Use Development
LANDSCAPE PLAN
53 Green Street Portsmouth, New Hampshire

Drawn By: VM
Checked By: RW
Scale: 1" = 20' - 0"
Date: March 22, 2021
Revisions: April 21, 2021
May 19, 2021

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Sheet 1 of 1

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53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE PLAN
HISTORIC DISTRICT COMMISSION WORK SESSION 5: JUNE 2, 2021

CATHARTES
EMBARC

CJ
ARCHITECTS

9.0