

RESIDENCES AT FOUNDRY PLACE, LOT 6: 181 HILL ST, ASSESSORS MAP 138 LOT 62



DRAWING SHEET LIST				
SHEET NO.	NAME	3/17/2017	6/15/2017	9/21/2017
COVER SHEETS				
T.01 T	COVER SHEET		•	•
T.02 T	ZONING ORDINANCE REQUIREMENTS		•	•
CIVIL				
X5	EXISTING CONDITIONS SITE PLAN		•	•
C1.0	GENERAL NOTES SHEET 1 OF 2	•	•	•
C1.1	GENERAL NOTES SHEET 2 OF 2	•	•	•
C2.0	DEMOLITION PLAN	•	•	•
C3.0	SITE PLAN	•	•	•
C3.1	SITE PLAN - BUILDING HEIGHT INCENTIVE CALCULATION	•	•	•
C3.2	OPEN SPACE PLAN	•	•	•
C4.0	GRADING & DRAINAGE PLAN	•	•	•
C4.1	GRADING DETAIL	•	•	•
C4.2	AVERAGE GRADE PLANE CALCULATION	•	•	•
C5.0	UTILITIES PLAN	•	•	•
C5.1	OFFSITE ELECTRICAL IMPROVEMENTS PLAN	•	•	•
C6.0	EROSION & SEDIMENT CONTROL PLAN	•	•	•
C6.1	DRAINAGE & EROSION CONTROL DETAILS	•	•	•
C7.0	TRAFFIC AND PAVEMENT DETAILS	•	•	•
C7.1	STANDARD DETAILS	•	•	•
C7.2	STANDARD DETAILS	•	•	•
C7.3	STANDARD DETAILS	•	•	•
C7.4	STANDARD DETAILS	•	•	•
C8.0	DRAIN PROFILES AND CROSS-SECTIONS	•	•	•
E4	EASEMENT PLAN	•	•	•
C3.1-	LAYOUT & MATERIALS PLAN	•		
C3.2-	SITE PLAN - INCENTIVE COMMUNITY SPACE CALCULATION	•		
C3.3	PROPOSED EASEMENT PLAN (PRELIMINARY)	•		
SITE ELECTRIC				
SE1.1	BUILDING #6 ELECTRICAL & COMMUNICATION PLAN	•	•	•
SE1.2	BUILDING #6 LIGHTING PLAN	•	•	•
SE1.3	BUILDING #6 PHOTOMETRIC PLAN	•	•	•
SE1.4	SITE STREET LIGHTING PLAN	•	•	•
SE2.1	SITE ELECTRICAL DETAILS	•	•	•
SE2.2	SITE ELECTRICAL DETAILS	•	•	•
SE2.3	SITE ELECTRICAL DETAILS	•	•	•
SE3.1	SITE ELECTRICAL PLAN	•	•	•
SE3.2	SITE COMMUNICATION PLAN	•	•	•
SE1.1	SITE ELECTRICAL DEMOLITION PLAN - EXISTING CONDITIONS	•	•	•
SE1.4-	ELECTRIC METERING LOCATIONS	•		
LANDSCAPE				
L1	MATERIALS PLAN	•	•	•
L2	PLANTING PLAN AND DETAILS	•	•	•
L3	DETAILS AND SECTIONS	•	•	•
L-1	OVERALL HARDSCAPE PLAN (OFFSITE)	•		
L-2	OVERALL LANDSCAPE PLAN (OFFSITE)	•		
ARCHITECTURE				
A1.01 T	GROUND LEVEL (FOUNDRY PL) PLAN	•	•	•
A1.02 T	LEVEL 1 FLOOR (HILL ST) PLAN	•	•	•
A1.03 T	ROOF PLAN	•	•	•
A2.01 T	EXTERIOR ELEVATIONS	•	•	•
A2.02 T	EXTERIOR ELEVATIONS	•	•	•
A2.03 T	EXTERIOR ELEVATIONS	•	•	•
A3.00 T	3D VIEWS	•	•	•



GREENMAN-PEDERSEN, INC.
LANDSCAPE ARCHITECT
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPPP ENGINEER
WOBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**
PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates
7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER 3256.16
DATE OF ISSUE -
DRAWN BY CG
CHECKED BY DER
SCALE

REVISIONS		
NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW
COVER SHEET

T.01 T

SITE PLAN REVIEW AUGUST 28, 2109

NOTE:
1. ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

CITY OF PORTSMOUTH PLANNING BOARD	
CHAIRPERSON	DATE



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Residences at Foundry Place - Area and Use Summary

June 15, 2017	
Building Name	Use

AREA ANALYSIS								
Ground Floor (below grade) Area SF	1st Floor Area SF	2nd Floor Area SF	3rd Floor Area SF	4th Floor Area SF	Penthouse Area SF	Total Gross Floor Area - to inside face of exterior wall	Total Unit Count	

Building 6 (development incentive 10.5A47.10)	
	Parking Garage
	Parking easement for Hill Hanover Group
	Multi-Family Dwelling
	Multi-Family Decks / Balconies
	Office
	Retail Sales
	total area

Building 6								
16,364	5,156						0	
							0	
	3,097	13,969	13,969	12,964	6,023		43	
		511	631	819	3,647		0	
	4,296						0	
	1,867						0	
16,364	14,416	14,480	14,600	13,783	9,670	83,313	43	

Residences at Foundry Place - Parking Summary

June 15, 2017	
Building Name	Use

PARKING ANALYSIS										
Parking required - Downtown Overlay District 10.1115.20		Parking required - Development Incentive 10.5A47.10		Downtown overlay district - 10.1115.23		Total parking spaces required	Parking spaces provided on site	Parking spaces provided at Municipal Garage (see references below)	Total parking spaces provided	Surplus Parking Spaces
Spaces per residential unit	Quantity	Spaces per residential unit	Quantity	Reduction = 4 parking spaces	Quantity	Quantity	Quantity	Quantity	Quantity	Quantity

Building 6 (development incentive 10.5A47.10)	
	Parking Garages
	Parking easement for Hill Hanover Group
	Exterior parking
	Multi-Family Dwelling
	Multi-Family Decks / Balconies
	Office
	Retail Sales
	total area

Building 6										
0	0	0	0	0	0	0	33	0	0	0
0	14	0	0	0	0	0	14	0	0	0
0	0	0	0	0	0	0	3	0	0	0
0	0	1.00	43	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0	0	0
0	0	0	0	0	0	0	0	0	0	0
0	14	0	43	(4.00)	53	50	15	65	12	

New Municipal Foundry Place Parking Garage

Reference City/DSA Post Closing Obligations Agreement & Parking Agreement documents dated 9/09/2016, and per Section 10.1113.111 Municipal Garage Spaces qualify as "off-street parking" as held by City Legal Department.

DSA Parking Garage spaces - interior	58
DSA Flex Parking Spaces - exterior / interior	10
Total spaces	68

PORTSMOUTH CHARACTER ZONING - D5 - DEER STREET LOT 6 - 181 HILL STREET		
	PER CD5	PROPOSED
BUILDING PLACEMENT - PRINCIPAL BUILDING*		
MAXIMUM PRINCIPAL FRONT YARD	5 FT	> 5 FT
MAXIMUM SECONDARY FRONT YARD	5 FT	> 5 FT
SIDE YARD	NR	NR
MINIMUM REAR YARD	GREATER OF 5 FT FROM REAR LOT LINE OR 10 FT FROM CENTER LINE OF ALLEY	5 FT
* EXCEPT FOR ITEMS LISTED UNDER SECTION 10.5A42.12		
BUILDING AND LOT OCCUPATION		
MAXIMUM BUILDING BLOCK LENGTH	225 FT	152
MAXIMUM FAÇADE MODULATION LENGTH	100 FT	60 FT
MAXIMUM ENTRANCE SPACING	50 FT	MAX <50 FT
MAXIMUM BUILDING COVERAGE	95%	73%
MAXIMUM BUILDING FOOTPRINT (INCLUDES INCREASED FOOTPRINT INCENTIVE)	20,000 SF	16,364
MINIMUM LOT AREA	NR	NR
MINIMUM LOT AREA PER DWELLING UNIT	NR	NR
MINIMUM OPEN SPACE	5%	18%
BUILDING FORM - PRINCIPAL BUILDING		
*BUILDING HEIGHT (INCLUDES INCREASED HEIGHT INCENTIVE)	50 FT + 10 FT + 2 FT	61 FT 10 INCHES
BUILDING STORIES (INCLUDES INCREASED HEIGHT INCENTIVE)	4 STORIES + 1 STORY	4 STORIES + PENTHOUSE
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE	36 INCHES	< 36 INCHES
MINIMUM GROUND STORY HEIGHT	12 FT	18 FT 11 INCH
MINIMUM SECOND STORY HEIGHT	10 FT	11 FT
FAÇADE GLAZING		
SHOPFRONT FAÇADE	70% MIN.	72%
OTHER FAÇADE TYPES	20% MIN TO 50% MAX	33%
ROOF TYPE		
	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT
ROOF PITCH, IF ANY		
	FLAT	FLAT
TOTAL OUTDOOR LIGHT OUTPUT ALLOWANCE 10.1143.10 - BUSINESS DISTRICTS - MAX MEAN LUMENS / NET ACRE		
	300,000	LESS THAN 300,000 - SEE LIGHTING REPORT ATTACHMENT
* BUILDING HEIGHT + INCENTIVE HEIGHT + 2 FEET FOR PENTHOUSE LEVEL PER MAP 10.5A21B BUILDING HEIGHT STANDARDS		



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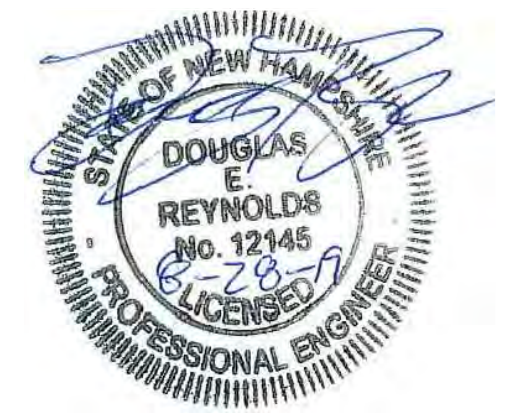
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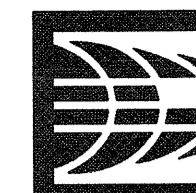
SITE PLAN REVIEW

ZONING
ORDINANCE
REQUIREMENTS

T.02 T



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AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 138 AS LOT 62.
- 2) OWNERS OF RECORD:
DEER STREET ASSOCIATES
PO BOX 100
YORK HARBOR, ME
3395/2669, 5534/2077, 5453/138
- 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 330150295E, EFFECTIVE DATE MAY 17, 2005.
- 4) EXISTING LOT AREAS:
22,538 S.F.
0.5174 ACRES
- 5) PARCEL IS LOCATED IN THE CD5 CHARACTER BASED ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON THE SUBJECT PARCELS.
- 8) HORIZONTAL DATUM AND BASIS OF BEARING IS NEW HAMPSHIRE STATE PLANE NAD83(2011). BASIS OF HORIZONTAL DATUM IS RTK GPS OBSERVATIONS.
- 9) VERTICAL DATUM IS MEAN SEA LEVEL-NAVD88. BASIS OF VERTICAL DATUM IS NGS PID 0C0290 - B 2 1923, ELEVATION 19.55.
- 10) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 11) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

LENGTH TABLE

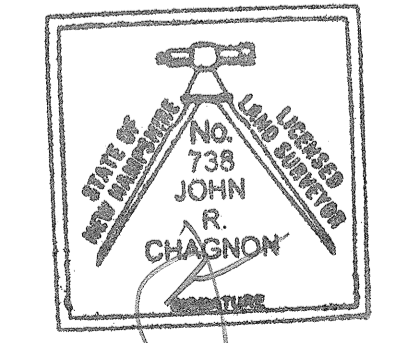
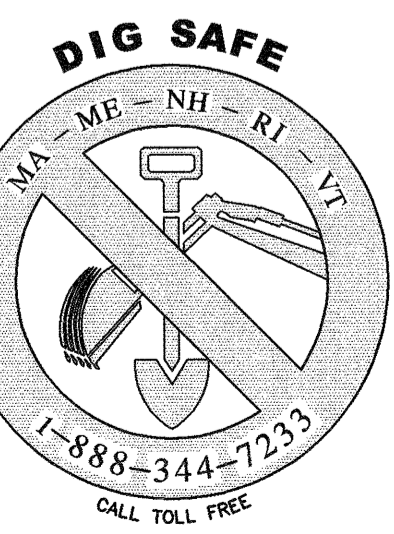
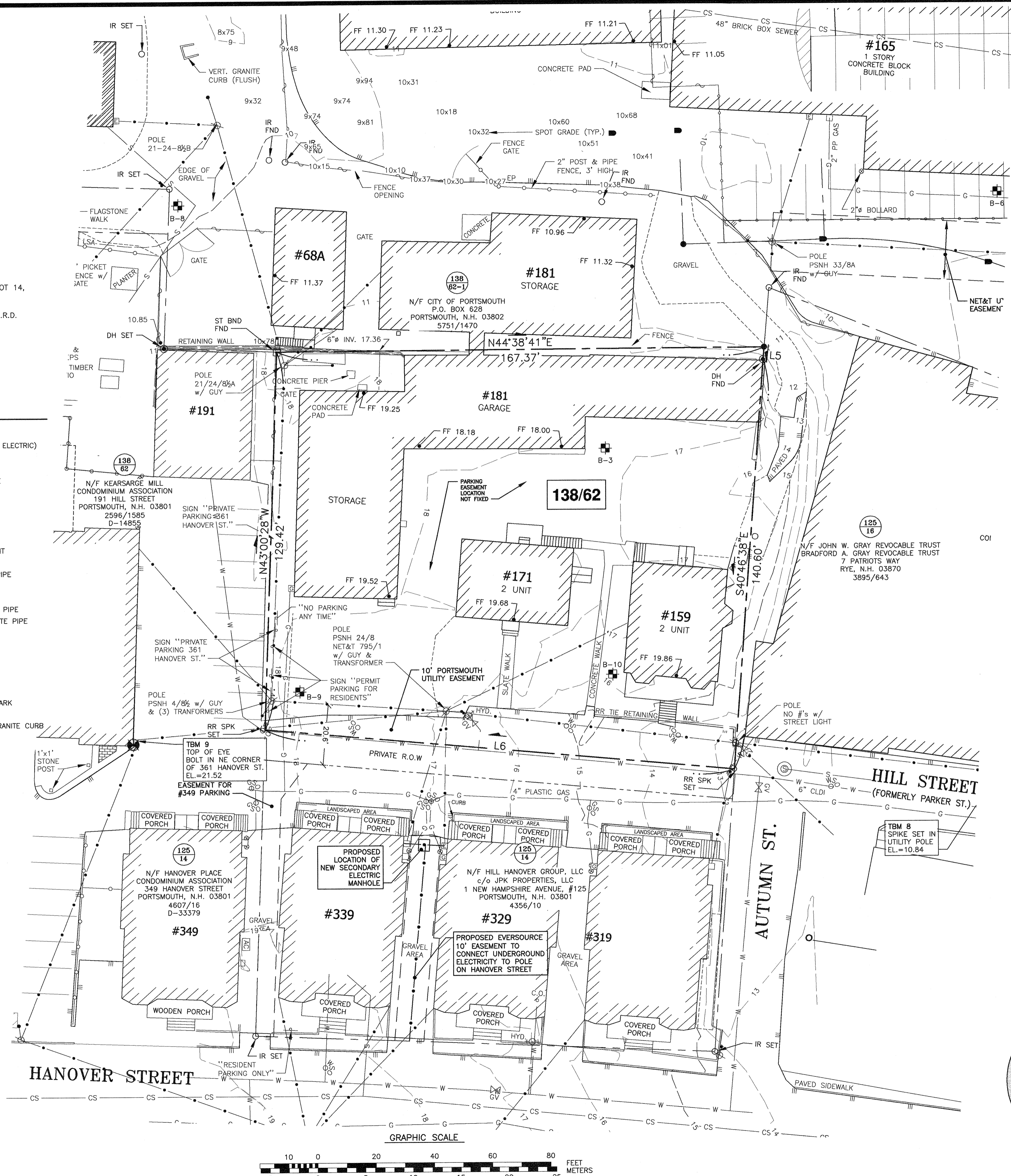
LINE	BEARING	DISTANCE
L5	S40°13'28"E	4.32'
L6	S50°00'27"W	161.76'

EASEMENT AND RESTRICTION NOTES:

- 1) SUBJECT PARCEL IS SUBJECT TO A PARKING EASEMENT FOR THE BENEFIT OF TAX MAP 125 LOT 14, LOCATION IS NOT FIXED. SEE R.C.R.D. 5518/2747 & 5518/2759.
- 2) SUBJECT PARCEL IS SUBJECT TO A UTILITY EASEMENT TO THE CITY OF PORTSMOUTH. SEE R.C.R.D. 5518/2759.
- 3) SEE ALSO PARTIAL RELEASE OF PARKING RELOCATION RIGHTS, R.C.R.D. 5751/1463.
- 4) SEE ALSO TEMPORARY ENCROACHMENT EASEMENT DEED, R.C.R.D. 5751/1485.
- 5) SUBJECT PARCEL IS SUBJECT TO A PRIVATE RIGHT OF WAY.

LEGEND:

N/F	NOW OR FORMERLY	+O+ HYD	HYDRANT
RP	RECORD OF PROBATE	W/E	METER (GAS, WATER, ELECTRIC)
RCRD	ROCKINGHAM COUNTY	CB	CATCH BASIN
REGISTRY OF DEEDS	REGISTRY OF DEEDS	TM	TELEPHONE MANHOLE
MAP 11 / LOT 21	MAP 11 / LOT 21	SM	SEWER MANHOLE
RR SPK FND	RAILROAD SPIKE FOUND/SET	DM	DRAIN MANHOLE
IR FND	IRON ROD FOUND/SET	BT	TEST BORING
IP FND	IRON PIPE FOUND/SET	AC	AIR CONDITIONER UNIT
DH FND	DRILL HOLE FOUND/SET	CI	ASBESTOS CEMENT PIPE
CONC BND w/DH	CONCRETE BOUND w/ DRILL HOLE	DI	DUCTILE IRON PIPE
ST BND w/DH	STONE BOUND w/DRILL HOLE	PVC	POLYVINYL CHLORIDE PIPE
FM	FORCE MAIN	RCP	REINFORCED CONCRETE PIPE
S	SEWER LINE	VC	VITRIFIED CLAY PIPE
G	GAS LINE	PP	PLASTIC PIPE
D	STORM DRAIN	EL	ELEVATION
W	WATER LINE	EP	EDGE OF PAVEMENT
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC	FF	FINISHED FLOOR
OVERHEAD ELECTRIC/WIRES	OVERHEAD ELECTRIC/WIRES	INV.	INVERT
CHAIN LINK FENCE	CHAIN LINK FENCE	TBM	TEMPORARY BENCHMARK
100	CONTOUR	TYP.	TYPICAL
97x3	SPOT ELEVATION	VGC/SCC	VERTICAL/SLOPED GRANITE CURB
EDGE OF PAVEMENT (EP)	EDGE OF PAVEMENT (EP)	CCB	CAPE COD BERM
UTILITY POLE (w/ GUY)	UTILITY POLE (w/ GUY)	AG	ABOVE GRADE
SHUT OFF (GAS / WATER)	SHUT OFF (GAS / WATER)		
GATE VALVE	GATE VALVE		
BOLLARD	BOLLARD		



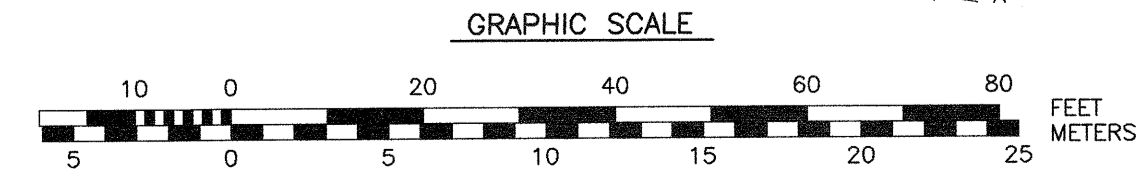
DEER STREET ASSOCIATES, INC.
SITE REDEVELOPMENT
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	REVISE PER CITY	8/26/19
2	ELECTRIC, WATER, EASEMENTS	8/10/17
1	ADD SPOT ELEVATIONS ON LOT 1	4/6/17
0	ISSUED FOR COMMENT	11/14/16

SCALE: 1" = 20'
OCTOBER 2016

EXISTING CONDITIONS
SITE PLAN

X5



GENERAL CONSTRUCTION NOTES

- THESE PLANS ARE BASED ON THE "EXISTING CONDITIONS SITE PLAN" PRODUCED BY AMBIT ENGINEERING, INC. WITH AN INITIAL ISSUED DATE OF 11/14/16 AND "FOUNDRY PLACE PARKING GARAGE" BY TIGHE AND BOND, INC WITH AN ISSUE DATE OF 07/28/2017. SEE THE EXISTING CONDITION SITE PLAN FOR BENCHMARK INFORMATION AND THE FOUNDRY PLACE PARKING GARAGE PLAN SET FOR FOUNDRY PLACE DETAILS.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT IN RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC., AND OTHER APPROVAL RELATED ITEMS. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE NHDOT, STATE, AND CITY OF PORTSMOUTH REGULATIONS, SPECIFICATIONS, AND ORDINANCES, UTILITY EASEMENTS, AND APPLICABLE CODES.
- CONTRACTOR TO CONFIRM AND VERIFY THE VALIDITY, LOCATION, MATERIAL, AND AVAILABILITY TO USE EXISTING UTILITIES ON OR NEAR THE PROJECT SITE PROPERTY. CONTRACTOR TO LOCATE EXISTING UTILITIES AND CONFIRM SAID UTILITIES WITH ALL APPLICABLE MUNICIPALITIES AND UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. ONCE UTILITIES HAVE BEEN CONFIRMED IN THE FIELD BY CONTRACTOR AND VERIFIED BY APPLICABLE MUNICIPALITY AND UTILITY COMPANY AND CONNECTION HAS BEEN APPROVED BY ENTITY, ONLY THEN SHALL THE CONTRACTOR CONSTRUCT AND UTILIZE THESE UTILITIES. CONTRACTOR TO IMMEDIATELY INFORM THE ENGINEER OF RECORD OF ANY DEVIATIONS TO PLANS.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, SEWER, ELECTRIC, AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- RELOCATION OF ANY UTILITIES SHALL BE AT THE CONTRACTOR'S EXPENSE AND COMPLETED WITH THE UTILITY WORK. THE OWNER AND ENGINEER SHALL BE NOTIFIED IN WRITING AS TO THE RELOCATIONS REQUIRED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC., THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS AND SUBSEQUENT ISSUED PLAN REVISIONS. ANY DEVIATIONS FROM THESE DOCUMENTS SHALL REQUIRE NOTIFICATION TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTING ANY CHANGE. THE CONTRACTOR WILL OTHERWISE BE WORKING AT HIS OR HER OWN RISK.
- ALL WATER, DRAIN, AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF PORTSMOUTH RULES, SPECIFICATIONS, AND REGULATIONS.
- GROUNDWATER SHALL BE TEMPORARILY LOWERED TO A MINIMUM OF 2' BELOW EXCAVATIONS. CONTRACTOR SHALL REPAIR ADVERSE IMPACTS FROM REMOVAL OF SOIL AT ITS OWN EXPENSE.
- DISCHARGE FROM DEWATERING ACTIVITIES SHALL BE INFILTRATED ONSITE. IF DISCHARGE IS UNABLE TO BE INFILTRATED THEN CONTRACTOR SHALL OBTAIN A DEWATERING PERMIT FROM THE CITY TO DISCHARGE INTO THE CITY'S STORM DRAIN OR SEWER, OR PROPERLY TRANSPORT AND DISPOSE OF OFFSITE PER FEDERAL, STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS UTILITY SERVICE AND ACCESS TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. IF A TEMPORARY DISCONNECT OF UTILITIES OR ACCESS IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, THE OWNER, AND THE PLACE OF BUSINESS OR HOME OWNER 3 DAYS PRIOR TO THE DAY OF THE DISCONNECTION.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS, LATEST REVISIONS.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY, AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS WITH ALL UPDATED INFORMATION ON THE PROJECT SITE AND INPUT INFORMATION TO A DIGITAL/ ELECTRONIC FORMAT AT LEAST MONTHLY. AS-BUILT INFORMATION MUST BE FORWARDED TO THE OWNER AND ENGINEER MONTHLY FOR APPROVAL, AND BE USED TO PREPARE A FINISHED SET OF PLANS.

EROSION CONTROL NOTES:

- SEE SHEET C6.1 FOR GENERAL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.

DEMOLITION NOTES:

- THE DEMOLITION PLAN OR THE EXISTING CONDITIONS SITE PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION AND SIZE OF ALL UTILITIES WHICH MAY EXIST AT THE TIME OF DEMOLITION INSIDE OR OUTSIDE OF EXISTING OR PROPOSED BUILDINGS, ON THE SUBJECT PROPERTY, WITHIN THE STREET ROW, OR ON ABUTTING LOTS.
- THE CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES. REQUEST FOR MARKINGS CAN BE MADE BY CALLING DIG-SAFE AT 1-888-344-7233, AND THE CITY OF PORTSMOUTH DPW AT 603-427-1530 AT LEAST 72 HOURS PRIOR TO EXCAVATION. STREET OPENING PERMITS SHOULD ALSO BE FILED AT THAT TIME.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE NOT GUARANTEED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL FIELD VERIFY THE SIZE AND EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL PERMIT APPROVALS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- ALL EXISTING UTILITY SERVICE CONNECTIONS TO BUILDING BEING REMOVED SHALL BE ABANDONED UNLESS NOTED OTHERWISE. THE WATER AND SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN IN THE STREET BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF PORTSMOUTH STANDARDS. THE EXISTING GAS, ELECTRIC AND/OR CATV INSTALLATION AND ABANDONMENT OF EXISTING CONNECTIONS SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE COMPANIES.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED BY THE OWNER. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES, AND CODES.
- FINAL DEMARCATION POINTS FOR GAS, ELECTRIC, TELEPHONE, AND COMMUNICATION SERVICE ENTRANCES ARE SUBJECT TO APPROVALS OF EACH PROVIDER.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING ANY COURTESY ABUTTER NOTIFICATIONS THAT MAY BE WARRANTED.
- THE CONTRACTOR SHALL SAWCUT AND REMOVE PAVEMENT FOR UTILITY CONSTRUCTION OR REMOVAL AND CONSTRUCT TRENCH PATCH AFTER INSTALLATION.
- NO TRENCHES ARE ALLOWED TO REMAIN OPEN OVERNIGHT. ALL TRENCHES SHALL BE BACKFILLED AT THE END OF THE WORK DAY OR COVERED WITH STEEL PLATES PER STATE AND LOCAL REGULATIONS AND SPECIFICATIONS. IF STEEL PLATES ARE USED, THE TOTAL LENGTH OF PLATES IN THE TRAVELED WAY SHALL BE LIMITED TO 50'.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDERGROUND PIPING, POLES, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, TREES AND LANDSCAPING AS MAY BE APPLICABLE.
- REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR TO REPLACE ANY DISTURBED MONUMENTATION.

GENERAL UTILITY NOTES:

- COORDINATE WORK WITH OTHER CONTRACTORS AS MAY BE APPLICABLE, ALSO COORDINATE ALL UTILITY WORK WITH THE OWNER AND THE APPROPRIATE UTILITY COMPANY.
 - WATER & SEWER: CITY OF PORTSMOUTH
CONTACT: DAVE DESFOSSES
PHONE: (603) 427-1530
 - ELECTRIC: EVERSOURCE ENERGY
CONTACT: NICK KOSKO
PHONE: (603) 332-4227 EXT. 5555334
 - TELEPHONE/DATA: FAIRPOINT COMMUNICATIONS
CONTACT: JOSEPH CONSIDINE
PHONE: (603) 427-5525
 - CABLE/DATA: COMCAST
CONTACT: MIKE COLLINS
PHONE: (603) 679-5695 EXT. 1037
 - GAS: UNITIL
CONTACT: DAVID BEAULIEU
PHONE: (603) 294-5144
- PROPOSED GAS LINE AND ELECTRIC, TELEPHONE AND CABLE (ETC) CONDUIT LOCATIONS AND CONFIGURATIONS ARE APPROXIMATE. PRIOR TO CONSTRUCTION CONTRACTOR TO COORDINATE FINAL LOCATION, MATERIALS AND SPECIFICATIONS WITH INDIVIDUAL UTILITY COMPANIES.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- ALL EXISTING UTILITY SERVICES LOCATED WITHIN THE WORK AREA ARE TO BE CUT, CAPPED AND ABANDONED AT HE MAIN (OR SOURCE) OR AS DIRECTED BY THE DEPARTMENT OF PUBLIC WORKS OR APPLICABLE UTILITY PROVIDER.
- ALL UTILITIES SHOWN ON THIS SITE ARE TO THE EXTERIOR OF THE BUILDING FOUNDATION ONLY. UTILITIES THROUGH THE FOUNDATION, ABOVE FG AND CONNECTED TO THE BUILDING, AND INSIDE THE BUILDING ARE THE RESPONSIBILITY OF THE MECHANICAL AND/ OR PLUMBING ENGINEER AND LOCATED IN THE BUILDING PLANS.
- ALL UTILITY WORK PERFORMED WITHIN RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE CITY OF PORTSMOUTH AND WHO HAS OBTAINED A PERMIT FOR SUCH WORK FROM THE DPW, IF REQUIRED.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND NOT BE ALLOWED TO ACCUMULATE FOR MORE THAN THREE CONSECUTIVE DAYS. SITE SHALL BE KEPT FREE AND CLEAR OF ALL DEBRIS AND TRASH AT ALL TIMES. ALL DEBRIS SHALL BE STORED IN SEGREGATED RECYCLING TOTES/ BINS/ CONTAINERS AND TRANSPORTED TO AN APPROPRIATE RECYCLING CENTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS AND STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF ITS WORK.
- WATER AND SEWER TESTING SHALL CONFORM TO CITY OF PORTSMOUTH REGULATIONS, REQUIREMENTS, AND SPECIFICATIONS. COORDINATE TESTING OF SEWER AND WATER LINE CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
- ALL SEWER AND WATER PIPE MATERIALS, STRUCTURES, APPURTENANCES AND INSTALLATION SHALL BE IN ACCORDANCE TO THE CITY OF PORTSMOUTH CONSTRUCTION SPECIFICATIONS AND REQUIREMENTS.
- ALL GRAVITY SEWER PIPE SHALL BE PVC (SDR35) AND BE GREEN IN COLOR UNLESS PLANS STATE OTHERWISE.

- ALL WATER MAIN AND SERVICE PIPE SHALL BE DUCTILE IRON CEMENT LINED (DICL) CLASS 52.
- ALL HYDRANTS, VALVES, AND FITTINGS SHALL MEET CITY OF PORTSMOUTH SPECIFICATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, COVERS, PLATES, ANCILLARY MATERIALS AND HARDWARE, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION COMPLETE AND OPERATIONAL AND ACCEPTABLE TO THE CITY OF PORTSMOUTH AND PRIVATE UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION SHALL BE FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- TRENCH AREAS FOR THE CONSTRUCTION OF THE UNDERGROUND UTILITIES ARE TO BE REPATCHED WITH SAME MATERIAL AT THE SAME DEPTH AS THE EXISTING MATERIAL, SEE UTILITY TRENCH DETAIL. THE AREAS OF TRENCHING SHALL BE NEATLY SAW-CUT AND THE NEW REPATCHING MATERIAL SHALL BE PROPERLY SEALED IN ACCORDANCE WITH THE PLAN DETAILS AND THE CITY OF PORTSMOUTH SPECIFICATIONS AND REQUIREMENTS.
- DURING EXCAVATION AND CONSTRUCTION OF PIPES AND STRUCTURES, TRENCHES MUST BE ADEQUATELY BRACED AND PROTECTED AGAINST CAVE-IN.
- SEE ELECTRICAL PLANS FOR ADDITIONAL UTILITY NOTES.
- CONTRACTOR SHALL COORDINATE ALL FINAL APPROVALS ASSOCIATED WITH GAS, ELECTRIC, TELEPHONE, & CABLE WITH APPROPRIATE UTILITY PROVIDER.



GREENMAN-PEDERSEN, INC.
LANDSCAPE ARCHITECT
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPPF ENGINEER
WOBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

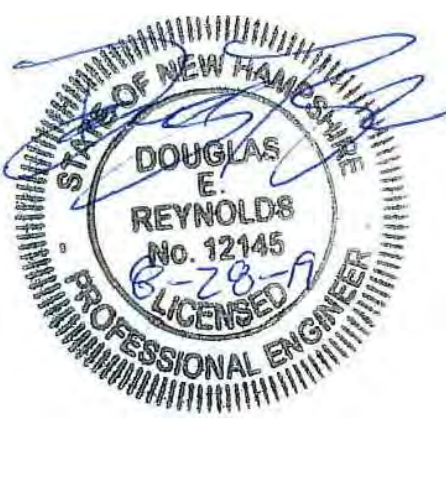
**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER 3256.16
DATE OF ISSUE -
DRAWN BY CG
CHECKED BY DER
SCALE

REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17

SITE PLAN REVIEW

**GENERAL
NOTES
SHEET 1 OF 2**

C1.0



Relationships. Responsiveness. Results.
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PROJECT NOTES:

- PROPERTY LOCATION: 181 HILL STREET
PORTSMOUTH, NH 03801
- ASSESSORS MAP: MAP 138, LOT 62
- ZONE: CHARACTER DISTRICT 5
- USE: OFFICE, RESIDENTIAL, RETAIL
- OWNER/APPLICANT: DEER STREET ASSOCIATES
7 BANKS ROCK ROAD
YORK HARBOR, ME 03911
TEL: (207) 363-3540
- CIVIL & GEOTECH: GEOINSIGHT, INC.
186 GRANITE STREET, 3RD FLOOR SUITE A
MANCHESTER, NH 03101
TEL: (603) 314-0820
- ARCHITECT: JSA INC.
273 CORPORATE DRIVE, SUITE 100
PORTSMOUTH, NH 03801
TEL: (603) 436-2551
- LANDSCAPE ARCHITECT: GREENMAN - PEDERSEN, INC.
21 DANIELS STREET
PORTSMOUTH, NH 03801
TEL: (802) 359-4070
- STRUCTURAL: JSN ASSOCIATES, INC.
1 AUTUMN STREET
PORTSMOUTH, NH 03801
TEL: (603) 433-8639
- MPFP ENGINEER: ENGINEERED SYSTEMS, INC.
237 LEXINGTON STREET, SUITE 207
WOUBURN, MA 01801
TEL: (781) 569-6520
- ELECTRICAL ENGINEER: ENGINEERED BUILDING SYSTEMS, INC.
22 MANCHESTER RD, SUITE 8-A
DERRY, NH 03038
TEL: (603) 870-9009
- LAND SURVEYOR: AMBIT ENGINEERING, INC.
200 GRIFFIN RD, UNIT 3
PORTSMOUTH, NH 03801
TEL: (603) 430-9282
- EXISTING CONDITIONS INFORMATION SHOWN IN THESE PLANS IS BASED ON THE PLAN TITLED "EXISTING CONDITIONS SITE PLAN" BY AMBIT ENGINEERING, INC. WITH DATE OF NOVEMBER 14, 2016.
- ELEVATIONS ARE BASED ON THE MEAN SEA LEVEL, NORTH AMERICAN VERTICAL DATUM (NAVD-88).
- FOR BENCHMARK INFORMATION SEE "EXISTING CONDITIONS SITE PLAN" BY AMBIT ENGINEERING, INC. WITH DATE OF NOVEMBER 14, 2016.
- PARCELS ARE NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259E. MAY 17, 2005.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXECUTE THE NPDES CONSTRUCTION GENERAL PERMIT NOI AND SWPPP AND PROVIDE A COPY TO THE CITY OF PORTSMOUTH.
- UPON COMPLETION OF CONSTRUCTION ACTIVITIES, CONTRACTOR SHALL PREPARE AND SUBMIT AS-BUILT MYLARS AND DIGITAL FORMAT (.DWG FILE) ON DISK TO THE ENGINEER FOR REVIEW. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER AND CONFORM TO THE CITY OF PORTSMOUTH STANDARDS.
- ALL WATER AND SEWER CONSTRUCTION ACTIVITIES MUST BE PERFORMED BY A LICENSED CITY DRAIN LAYER. ALL TESTING RESULTS FOR THE UTILITIES AND SERVICE TIE CARDS ARE REQUIRED TO BE SUBMITTED TO THE CITY OF PORTSMOUTH DPW.
- ANY DAMAGES BY THE CONTRACTOR TO ANY CITY OR ABUTTING PROPERTIES SHALL BE REPAIRED BY THE CONTRACTOR. COSTS SHALL BE ABSORBED BY THE CONTRACTOR WITH NO COST TO THE OWNER. REPAIRS TO CITY FACILITIES SHALL BE COORDINATED WITH THE CITY AND PERFORMED TO CITY SPECIFICATIONS.

21. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN THE FOLLOWING LOCAL PERMITS PRIOR TO CONSTRUCTION ACTIVITIES:

CITY OF PORTSMOUTH

- SEWER CONNECTION PERMIT
- WATER CONNECTION PERMIT
- STORMWATER PERMIT
- DRIVEWAY PERMIT
- TEMPORARY DEWATERING PERMIT

NHDES
A. SEWER CONNECTION PERMIT

USEPA

- NPDES CONSTRUCTION GENERAL PERMIT (CGP)

21. THE CONTRACTOR SHALL REFER TO FORCOMING REPORTS REGARDING SITE GEOTECHNICAL AND ENVIRONMENTAL CONDITIONS, TO BE PROVIDED BY THE OWNER.

GRADING AND DRAINAGE NOTES:

- A DUST EMISSION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED BY THE CONTRACTOR IF CONDITIONS WARRANT. ALL STORM DRAIN PIPES SHALL BE ADS HP STORM UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS, AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" OF LOAM WITH SEED, FERTILIZER AND MULCH.
- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT'S STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- SEE GEOTECHNICAL REPORT PREPARED BY GEOINSIGHT, INC. FOR SOIL FILL MATERIAL AND COMPACTION REQUIREMENTS.
- ALL DRAIN PIPE SHALL MEET THE FOLLOWING SPECIFICATIONS.
 - ALL ROOF DRAINS SHALL BE CAST IRON UP TO BUILDING CONNECTION. SEE BUILDING PLUMBING PLANS (BY OTHERS) FOR CONTINUATION UNDER BUILDING.
 - ALL CATCH BASIN DRAINS SHALL BE 12" Ø OR LARGER AND SHALL BE ADS HP STORM. IF THE COVER IN TRAFFIC AREAS IS LESS THAN 2", CLASS V RCP SHALL BE USED. ALL MANHOLES, CATCH BASINS, VALVE BOXES, CURB BOXES, ETC WITHIN THE LIMIT OF WORK TO FINISH GRADE SHALL BE ADJUSTED TO FINISH GRADE.
- CONTRACTOR SHALL VERIFY EXISTING INVERT ELEVATIONS IN FIELD PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE OWNER'S CONSTRUCTION REPRESENTATIVE IF ELEVATIONS DIFFER FROM PLAN.
A TEMPORARY DEWATERING PERMIT SHALL BE OBTAINED FROM THE CITY BEFORE DISCHARGING GROUNDWATER OFFSITE DURING CONSTRUCTION
- ANY GROUNDWATER DISCHARGES PROPOSED FOR THE FINAL STORMWATER SYSTEM DESIGN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL OF CAPACITY.

SITE NOTES

- EXTERIOR PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, PAINTED ISLANDS, AND CENTERLINES. ALL MARKINGS SHALL BE WHITE UNLESS NOTED OTHERWISE. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS, AND STOP BARS SHALL MEET THE AASHTO M249 REQUIREMENTS. ALL PAINTED PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS, ROADWAY SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", THE AMERICANS WITH DISABILITIES ACT, AND "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", LATEST EDITIONS.
- EDGE, LANE, AND CENTERLINES SHALL BE FOUR (4) INCH WIDE LINES.
- EDGE AND LANE DEMARCATION LINES SHALL BE PAINTED WHITE.
- LANE DEMARCATION MARKINGS SEPARATING OPPOSING TRAFFIC DIRECTIONS SHALL BE PAINTED YELLOW.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- ALL WORK SHALL CONFORM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED.
- ANY DAMAGES BY THE APPLICANT TO FOUNDRY PLACE ROADWAY, CURBING, OR SIDEWALK DURING CONSTRUCTION SHALL BE REPAIRED BY THE APPLICANT PER CITY SPECIFICATIONS.

CIVIL ABBREVIATIONS

ADD	ADDITIONAL INFORMATION
APPROX.	APPROXIMATE
BIT CONC	BITUMINOUS CONCRETE
BC	BOTTOM OF CURB
BH	BORING HOLE
BLDG	BUILDING
BOW	BOTTOM OF WALL
BOT	BOTTOM
DPW	CITY DEPARTMENT OF PUBLIC WORKS
CO	CLEAN OUT
CONC	CONCRETE
CY	CUBIC YARD
DICL	DUCTILE IRON CEMENT LINED PIPE
DSYL	DOUBLE SOLID YELLOW CENTER LINE
ECB	EXISTING CATCH BASIN
EDMH	EXISTING DRAIN MANHOLE
ELE	ELEVATION
EOP	EDGE OF PAVEMENT
ESMH	EXISTING SEWER MANHOLE
ETC	ELECTRIC TELEPHONE CABLE
EX	EXISTING
FE	FLANGED END
FT	FEET
GFA	GROSS FLOOR AREA
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
HYD	HYDRANT
INV	INVERT
LOC.	LOCATION
LOW	LIMIT OF WORK
MJ	MECHANICAL JOINT
N/F	NOW OR FORMERLY
OHW	OVER HEAD WIRE
PC	POINT OF CURVATURE
PCB	PROPOSED CATCH BASIN
PDMH	PROPOSED DRAIN MANHOLE
PFES	PROPOSED FLARED END SECTION
PGT	PROPOSED GREASE TRAP
PHW	PROPOSED HEADWALL
POS	PROPOSED OUTLET STRUCTURE
PSMH	PROPOSED SEWER MANHOLE
PROP	PROPOSED
PT	POINT OF TANGENCY
PVC	PIPE POLYVINYL CHLORIDE PIPE
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RET	RETAINING
ROW	RIGHT OF WAY
SC	STORM CEPTOR
SF	SQUARE FEET
SGC	SLOPED GRANITE CURB
STA	STATION
SSWL	SINGLE SOLID WHITE LINE
SSYL	SINGLE SOLID YELLOW LINE
SDWL	SINGLE DASHED WHITE LINE
SDYL	SINGLE DASHED YELLOW LINE
SYL	SOLID YELLOW LINE
SY	SQUARE YARD
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TOW	TOP OF WALL
TP	TEST PIT
TYP	TYPICAL
UGE	UNDER GROUND ELECTRIC
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB
W	WITH

PLAN LEGEND

	PROPERTY LINE
	SETBACK LINE
	ABUTTING PROPERTY LINE
	PROPOSED BUILDING
	CURB
	RETAINING WALL
	TRAFFIC ARROWS
	PARKING SPACE COUNT
	PROPOSED DRAIN MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED STORM DRAIN
	PROP. SPOT GRADE
	PROPOSED SEWER MANHOLE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER MAIN
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED GAS LINE
	PROPOSED GAS VALVE
	PROPOSED UNDERGROUND POWER
	PROPOSED UNDERGROUND COMMUNICATIONS
	PROPOSED TRANSFORMER
	EXISTING GRADE
	PROPOSED GRADE
	PROPOSED ELECTRICAL HANDHOLE
	SEE EXISTING CONDITIONS SITE PLAN FOR EXISTING CONDITION SYMBOLS AND LEGEND



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LANDSCAPE ARCHITECT
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JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPFP ENGINEER
WOUBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER	3256.16
DATE OF ISSUE	-
DRAWN BY	CG
CHECKED BY	DER
SCALE	

REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17

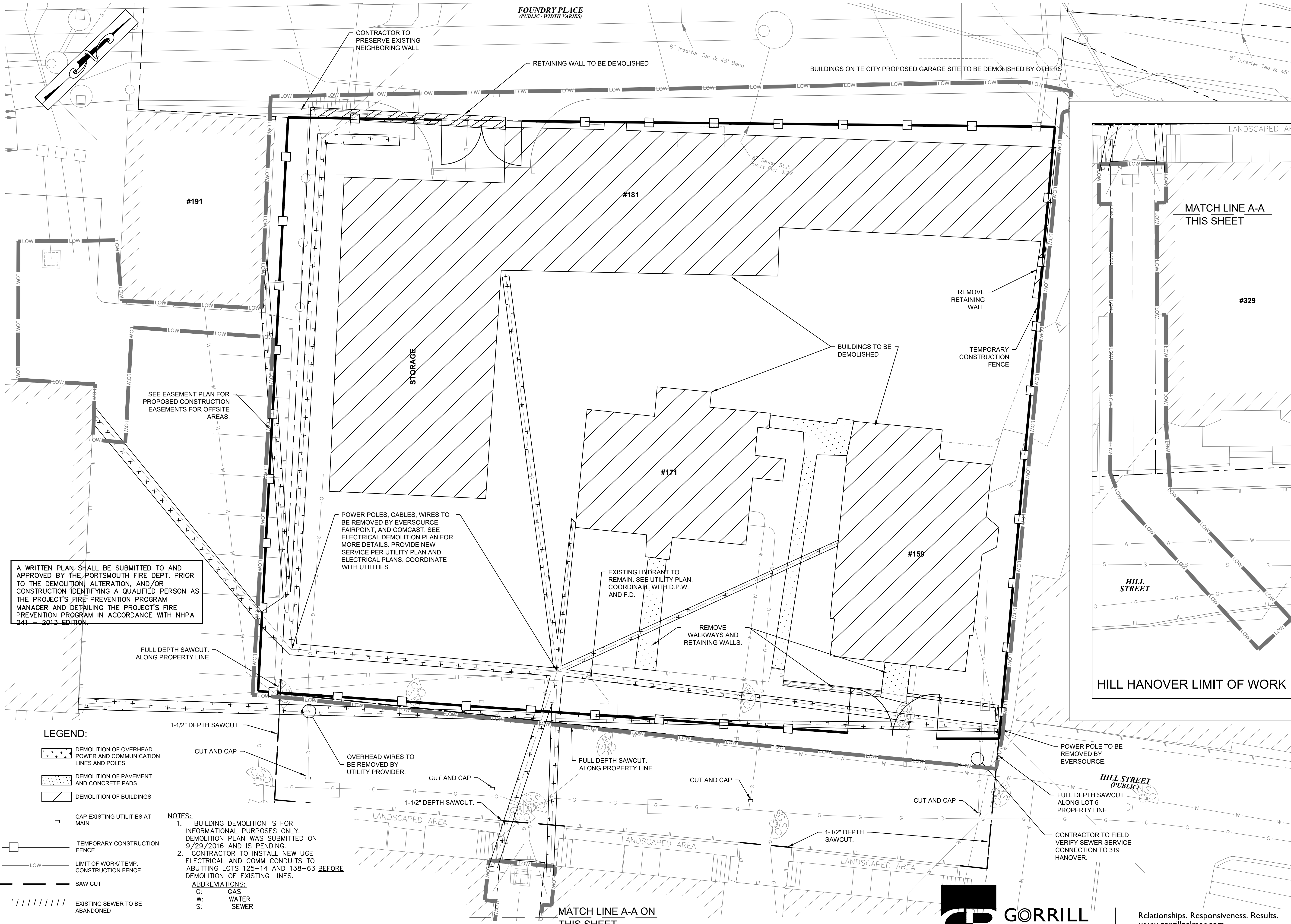
SITE PLAN REVIEW

**GENERAL
NOTES
SHEET 2 OF 2**

C1.1



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A WRITTEN PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE PORTSMOUTH FIRE DEPT. PRIOR TO THE DEMOLITION, ALTERATION, AND/OR CONSTRUCTION IDENTIFYING A QUALIFIED PERSON AS THE PROJECT'S FIRE PREVENTION PROGRAM MANAGER AND DETAILING THE PROJECT'S FIRE PREVENTION PROGRAM IN ACCORDANCE WITH NHPA 241 - 2013 EDITION.

LEGEND:

- DEMOLITION OF OVERHEAD POWER AND COMMUNICATION LINES AND POLES
- DEMOLITION OF PAVEMENT AND CONCRETE PADS
- DEMOLITION OF BUILDINGS

- CAP EXISTING UTILITIES AT MAIN
- TEMPORARY CONSTRUCTION FENCE
- LIMIT OF WORK/ TEMP CONSTRUCTION FENCE
- SAW CUT
- EXISTING SEWER TO BE ABANDONED

NOTES:

1. BUILDING DEMOLITION IS FOR INFORMATIONAL PURPOSES ONLY. DEMOLITION PLAN WAS SUBMITTED ON 9/29/2016 AND IS PENDING.
2. CONTRACTOR TO INSTALL NEW USE ELECTRICAL AND COMM CONDUITS TO ABUTTING LOTS 125-14 AND 138-63 BEFORE DEMOLITION OF EXISTING LINES.

- ABBREVIATIONS:**
- G: GAS
 - W: WATER
 - S: SEWER



GREENMAN-PEDERSEN, INC.
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WOBURN, MASSACHUSETTS

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DERRY, NEW HAMPSHIRE

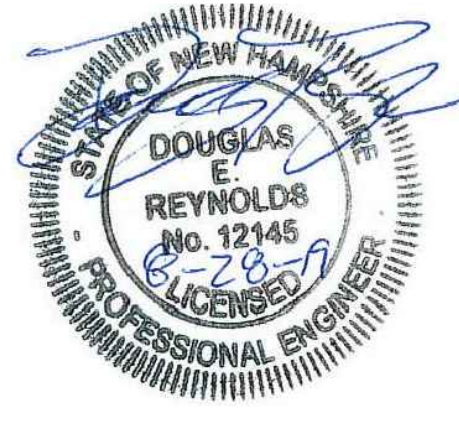
**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER 3256.16
DATE OF ISSUE -
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SCALE 1"=10'

REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

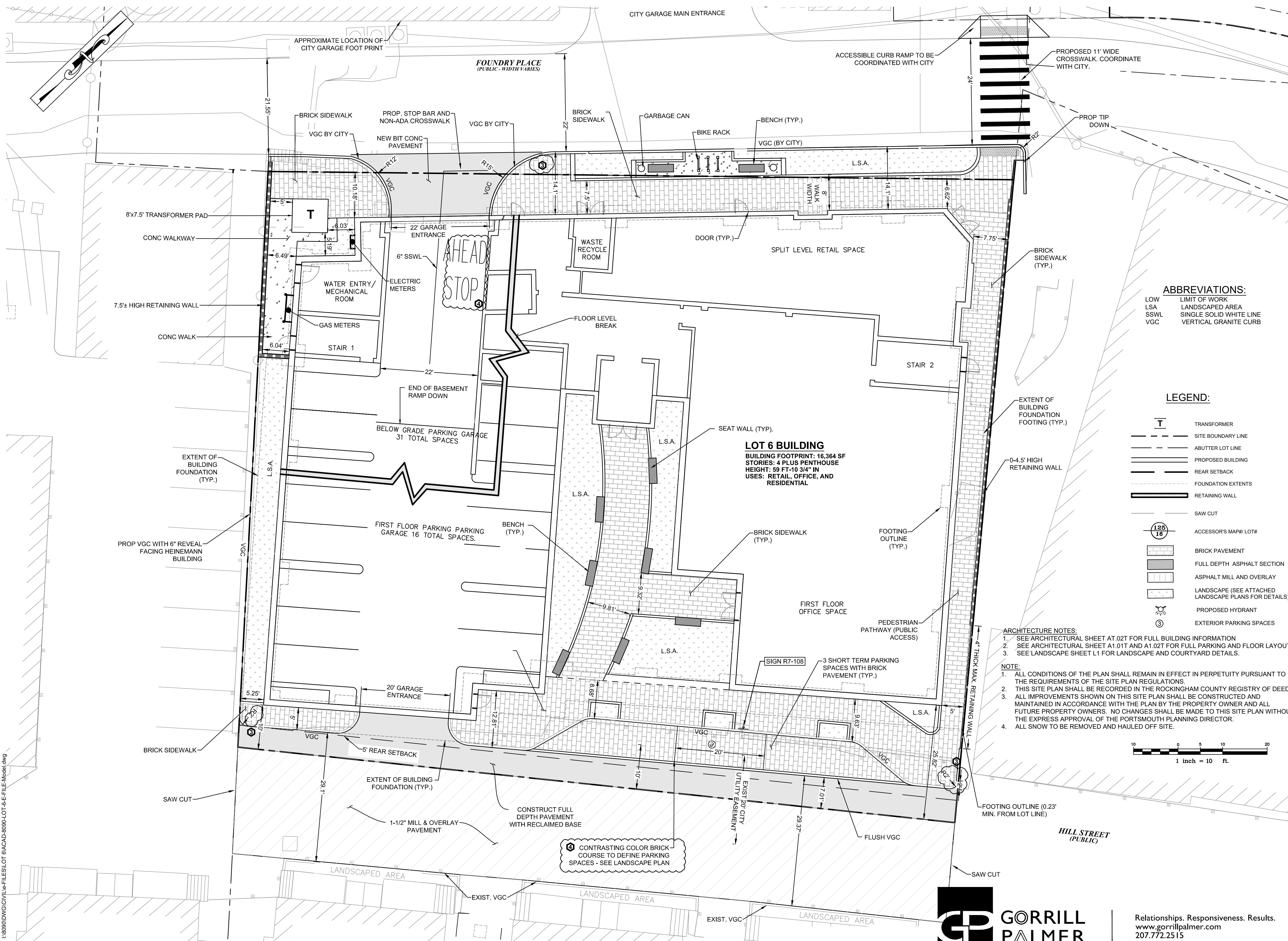
**DEMOLITION
PLAN**

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U:\3256.16 Deer Street Portsmouth Lot 6 Construction Docs\Z - CAD\DWG\3256-16-BASE.dwg 8/27/2019 3:26 PM



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GREENMAN-PEDERSEN, INC.
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 PORTSMOUTH, NEW HAMPSHIRE

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ENGINEERED BUILDING SYSTEMS
 ELECTRICAL ENGINEER
 DERRY, NEW HAMPSHIRE

**RESIDENCES AT
 FOUNDRY PLACE,
 LOT 6: 181 HILL ST,
 ASSESSORS MAP
 138 LOT 62**
 PORTSMOUTH, NH 03801

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Deer Street Associates
 7 BANKS ROCK ROAD
 YORK HARBOR, ME



PROJECT NUMBER 3256.16
 DATE OF ISSUE -
 DRAWN BY CG
 CHECKED BY DER
 SCALE 1"=10'

REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17
3	PB SUBMISSION	10/10/17
4	PB #2 SUBMISSION	11/07/17
5	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

SITE PLAN

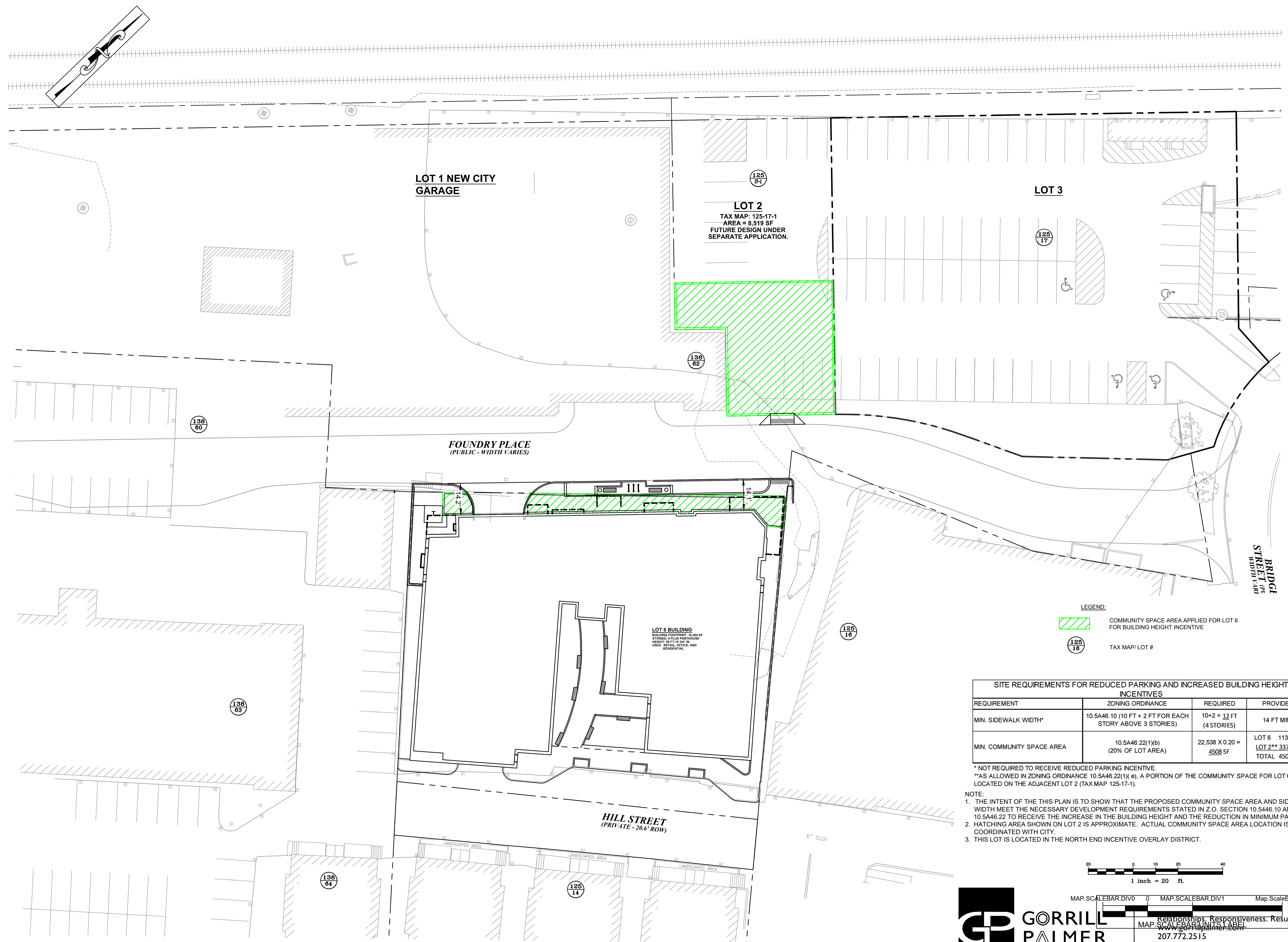
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LOT 1 NEW CITY GARAGE

LOT 2
TAX MAP: 125-17-1
AREA = 8,519 SF
FUTURE DESIGN UNDER SEPARATE APPLICATION.

LOT 3

FOUNDRY PLACE
(PUBLIC - WIDTH VARIES)

LOT 6 BUILDING
BUILDING FOOTPRINT: 16,064 SF
STORES, 4 PLUS PERMITTED
HEIGHT: 38 FT 3 IN
USES: RETAIL, OFFICE, AND RESIDENTIAL.

HILL STREET
(PRIVATE - 20.0' ROW)

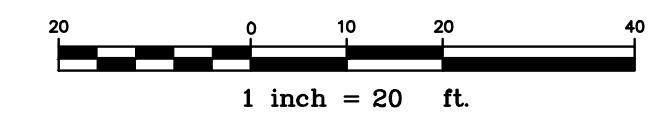
LEGEND:

- COMMUNITY SPACE AREA APPLIED FOR LOT 6 FOR BUILDING HEIGHT INCENTIVE
- TAX MAP/ LOT #

SITE REQUIREMENTS FOR REDUCED PARKING AND INCREASED BUILDING HEIGHT INCENTIVES			
REQUIREMENT	ZONING ORDINANCE	REQUIRED	PROVIDED
MIN. SIDEWALK WIDTH*	10.5A46.10 (10 FT + 2 FT FOR EACH STORY ABOVE 3 STORIES)	10+2 = 12 FT (4 STORIES)	14 FT MIN.
MIN. COMMUNITY SPACE AREA	10.5A46.22(1)(b) (20% OF LOT AREA)	22,538 X 0.20 = 4508 SF	LOT 6 1134 SF LOT 2** 3374 SF TOTAL 4508 SF

* NOT REQUIRED TO RECEIVE REDUCED PARKING INCENTIVE.
**AS ALLOWED IN ZONING ORDINANCE 10.5A46.22(1)(e), A PORTION OF THE COMMUNITY SPACE FOR LOT 6 IS LOCATED ON THE ADJACENT LOT 2 (TAX MAP 125-17-1).

- NOTE:**
- THE INTENT OF THIS PLAN IS TO SHOW THAT THE PROPOSED COMMUNITY SPACE AREA AND SIDEWALK WIDTH MEET THE NECESSARY DEVELOPMENT REQUIREMENTS STATED IN Z.O. SECTION 10.5446.10 AND 10.5A46.22 TO RECEIVE THE INCREASE IN THE BUILDING HEIGHT AND THE REDUCTION IN MINIMUM PARKING.
 - HATCHING AREA SHOWN ON LOT 2 IS APPROXIMATE. ACTUAL COMMUNITY SPACE AREA LOCATION IS TO BE COORDINATED WITH CITY.
 - THIS LOT IS LOCATED IN THE NORTH END INCENTIVE OVERLAY DISTRICT.



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PORTSMOUTH, NEW HAMPSHIRE

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ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**
PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates
7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER	3256.16
DATE OF ISSUE	-
DRAWN BY	CG
CHECKED BY	DER
SCALE	1"=20'

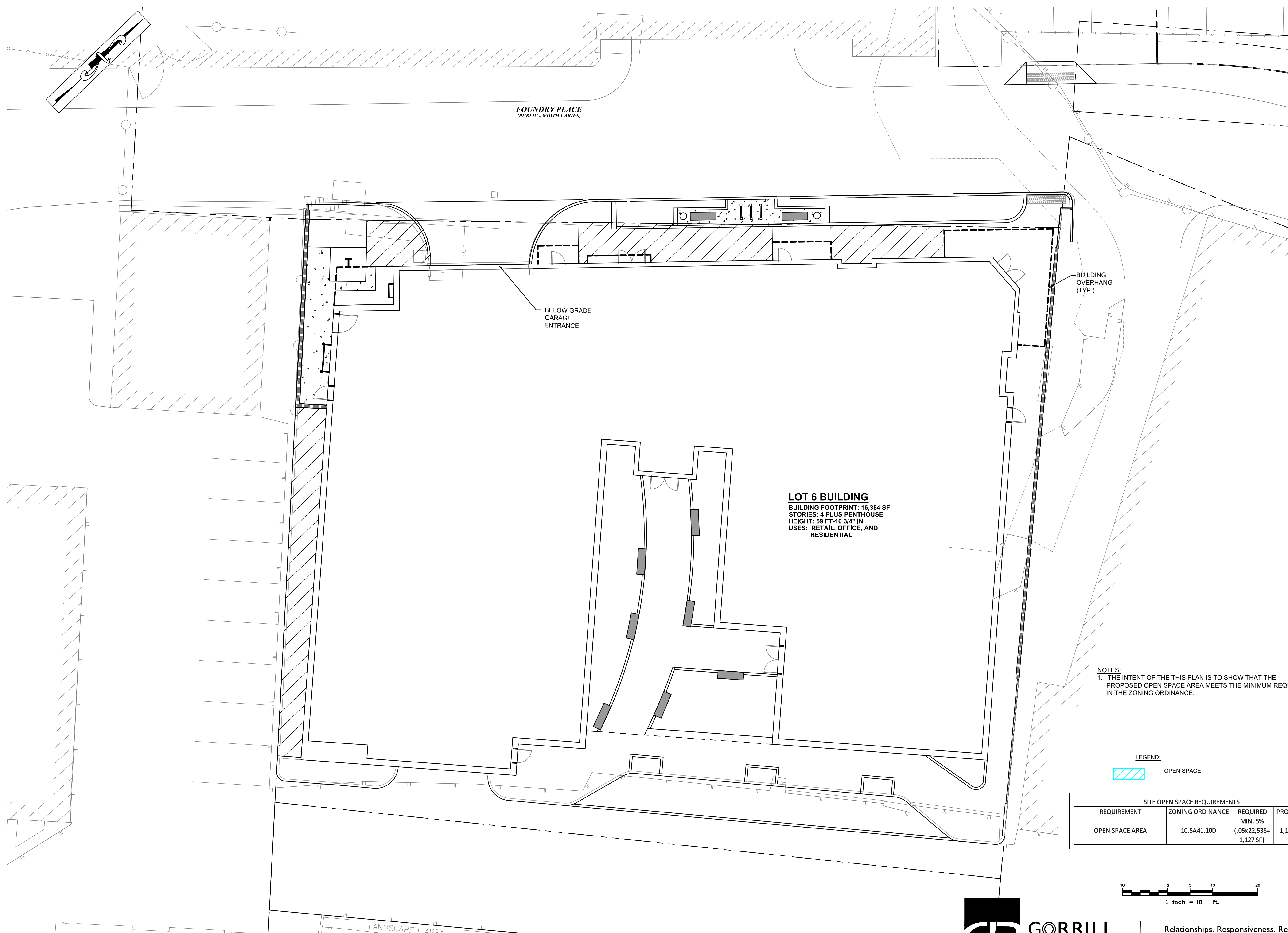
REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

**DEVELOPMENT
INCENTIVES
PLAN**

C3.1



FOUNDRY PLACE
(PUBLIC - WIDTH VARIES)

BELOW GRADE
GARAGE
ENTRANCE

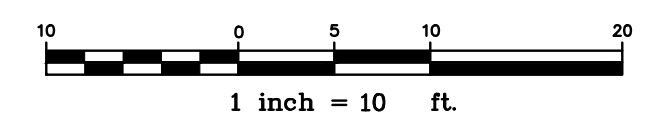
BUILDING
OVERHANG
(TYP.)

LOT 6 BUILDING
BUILDING FOOTPRINT: 16,364 SF
STORIES: 4 PLUS PENTHOUSE
HEIGHT: 59 FT-10 3/4" IN
USES: RETAIL, OFFICE, AND
RESIDENTIAL

NOTES:
1. THE INTENT OF THIS PLAN IS TO SHOW THAT THE
PROPOSED OPEN SPACE AREA MEETS THE MINIMUM REQUIRED
IN THE ZONING ORDINANCE.

LEGEND:
 OPEN SPACE

SITE OPEN SPACE REQUIREMENTS			
REQUIREMENT	ZONING ORDINANCE	REQUIRED	PROVIDED
OPEN SPACE AREA	10.5A41.10D	MIN. 5% (.05x22,538= 1,127 SF)	1,135 SF



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**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER 3256.16
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SCALE 1"=10'

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2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

**OPEN SPACE
PLAN**

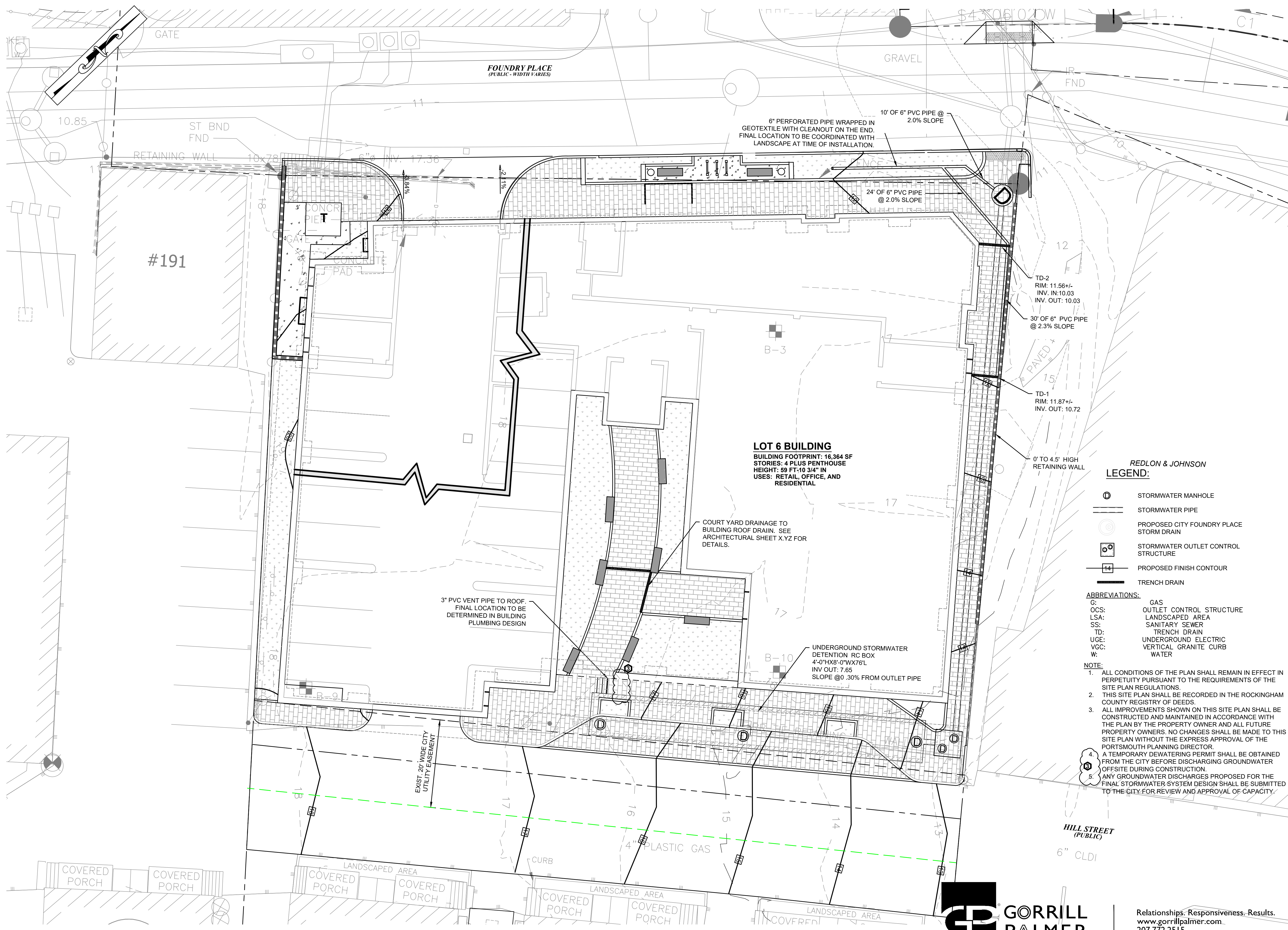
C3.2



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LOT 6 BUILDING
 BUILDING FOOTPRINT: 16,364 SF
 STORIES: 4 PLUS PENTHOUSE
 HEIGHT: 59 FT-10 3/4" IN
 USES: RETAIL, OFFICE, AND RESIDENTIAL

**REDLON & JOHNSON
 LEGEND:**

- STORMWATER MANHOLE
- STORMWATER PIPE
- PROPOSED CITY FOUNDRY PLACE STORM DRAIN
- STORMWATER OUTLET CONTROL STRUCTURE
- PROPOSED FINISH CONTOUR
- TRENCH DRAIN

- ABBREVIATIONS:**
- G: GAS
 - OCS: OUTLET CONTROL STRUCTURE
 - LSA: LANDSCAPED AREA
 - SS: SANITARY SEWER
 - TD: TRENCH DRAIN
 - UGE: UNDERGROUND ELECTRIC
 - VGC: VERTICAL GRANITE CURB
 - W: WATER

- NOTE:**
1. ALL CONDITIONS OF THE PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REGULATIONS.
 2. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 3. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 4. A TEMPORARY DEWATERING PERMIT SHALL BE OBTAINED FROM THE CITY BEFORE DISCHARGING GROUNDWATER OFFSITE DURING CONSTRUCTION.
 5. ANY GROUNDWATER DISCHARGES PROPOSED FOR THE FINAL STORMWATER SYSTEM DESIGN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL OF CAPACITY.



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**RESIDENCES AT
 FOUNDRY PLACE,
 LOT 6: 181 HILL ST,
 ASSESSORS MAP
 138 LOT 62**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
 YORK HARBOR, ME



PROJECT NUMBER 3256.16
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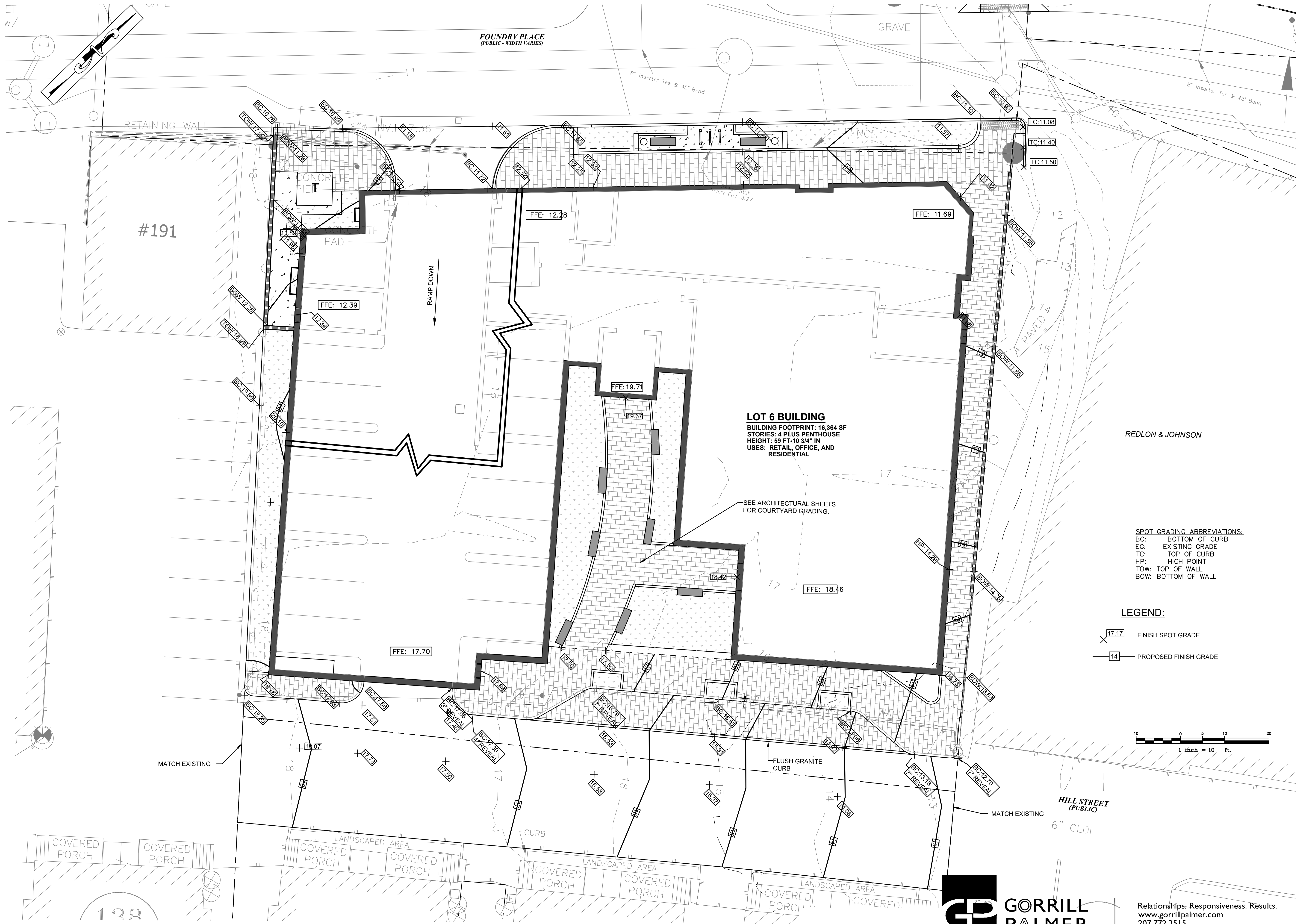
SITE PLAN REVIEW

**GRADING
 AND
 DRAINAGE
 PLAN**

C4.0



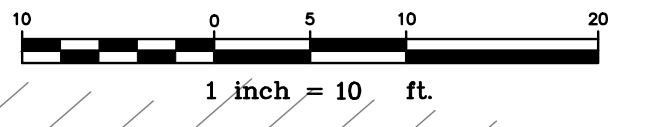
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LOT 6 BUILDING
 BUILDING FOOTPRINT: 16,364 SF
 STORIES: 4 PLUS PENTHOUSE
 HEIGHT: 59 FT-10 3/4" IN
 USES: RETAIL, OFFICE, AND RESIDENTIAL

SPOT GRADING ABBREVIATIONS:
 BC: BOTTOM OF CURB
 EC: EXISTING GRADE
 TC: TOP OF CURB
 HP: HIGH POINT
 TOW: TOP OF WALL
 BOW: BOTTOM OF WALL

LEGEND:
 X 17.17 FINISH SPOT GRADE
 14 PROPOSED FINISH GRADE



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RESIDENCES AT FOUNDRY PLACE, LOT 6: 181 HILL ST, ASSESSORS MAP 138 LOT 62
 PORTSMOUTH, NH 03801

OWNER:
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4	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

GRADING DETAIL

C4.1



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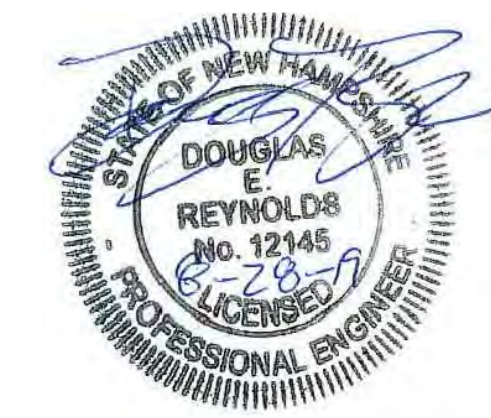
**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**

PORTSMOUTH, NH 03801

OWNER:

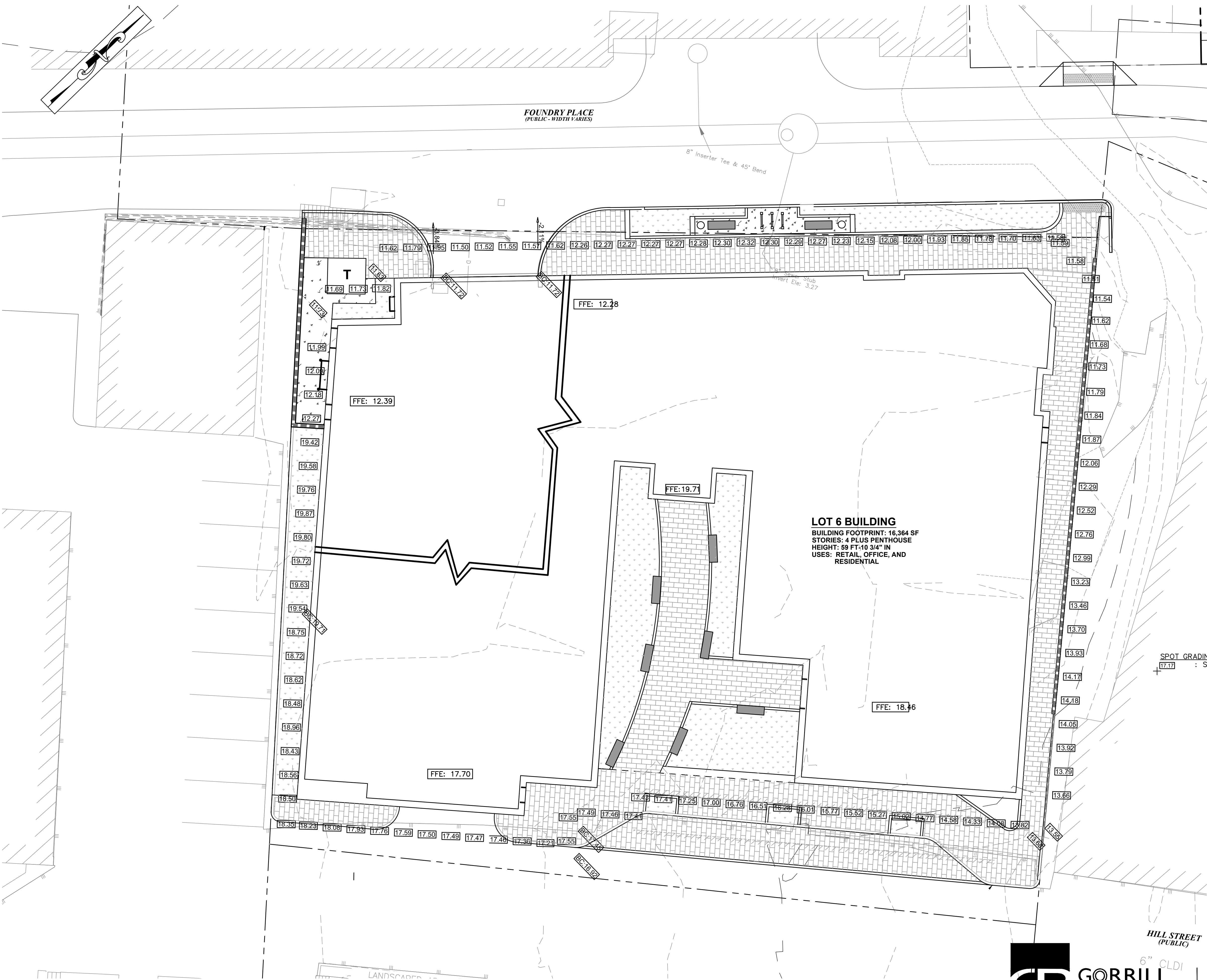
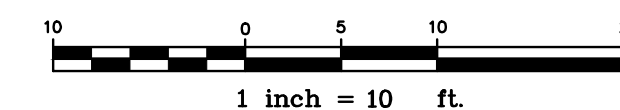
Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



STATION	ELEVATION	STATION	ELEVATION
0+00	11.58	2+90	17.93
0+05	11.63	2+95	17.76
0+10	11.70	3+00	17.59
0+15	11.78	3+05	17.50
0+20	11.85	3+10	17.49
0+25	11.93	3+15	17.47
0+30	12.00	3+20	17.46
0+35	12.08	3+25	17.36
0+40	12.15	3+30	17.21
0+45	12.23	3+35	17.55
0+50	12.27	3+40	17.55
0+55	12.29	3+45	17.49
0+60	12.30	3+50	17.46
0+65	12.32	3+55	17.41
0+70	12.30	3+60	17.43
0+75	12.28	3+65	17.41
0+80	12.27	3+70	17.25
0+85	12.27	3+75	17.00
0+90	12.27	3+80	16.75
0+95	12.27	3+85	16.50
1+00	12.26	3+90	16.28
1+05	11.62	3+95	16.01
1+10	11.57	4+00	15.76
1+15	11.55	4+05	15.51
1+20	11.52	4+10	15.27
1+25	11.50	4+15	15.02
1+30	11.95	4+20	14.77
1+35	11.79	4+25	14.58
1+40	11.62	4+30	14.33
1+45	11.63	4+35	14.08
1+50	11.82	4+40	13.83
1+55	11.73	4+45	13.63
1+60	11.69	4+50	13.56
1+65	11.73	4+55	13.66
1+70	11.89	4+60	13.79
1+75	11.93	4+65	13.92
1+80	11.96	4+70	14.05
1+85	11.99	4+75	14.18
1+90	12.02	4+80	14.17
1+95	19.42	4+85	13.93
2+00	19.58	4+90	13.70
2+05	19.76	4+95	13.46
2+10	19.87	5+00	13.23
2+15	19.80	5+05	12.99
2+20	19.72	5+10	12.76
2+25	19.63	5+15	12.52
2+30	19.54	5+20	12.29
2+35	18.75	5+25	12.06
2+40	18.72	5+30	11.87
2+45	18.62	5+35	11.84
2+50	18.48	5+40	11.79
2+55	18.47	5+45	11.73
2+60	18.43	5+50	11.68
2+65	18.56	5+55	11.62
2+70	18.50	5+60	11.56
2+75	18.35	5+65	11.56
2+80	18.23	5+70	11.59
2+85	18.08	5+75	11.59
		AVERAGE:	14.52

SPOT GRADING ABBREVIATIONS:
[7.17] : SPOT GRADE



LOT 6 BUILDING
BUILDING FOOTPRINT: 16,364 SF
STORIES: 4 PLUS PENTHOUSE
HEIGHT: 59 FT-10 3/4" IN
USES: RETAIL, OFFICE, AND RESIDENTIAL

REVISIONS

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3	TAC PUBLIC HEARING	8/28/19

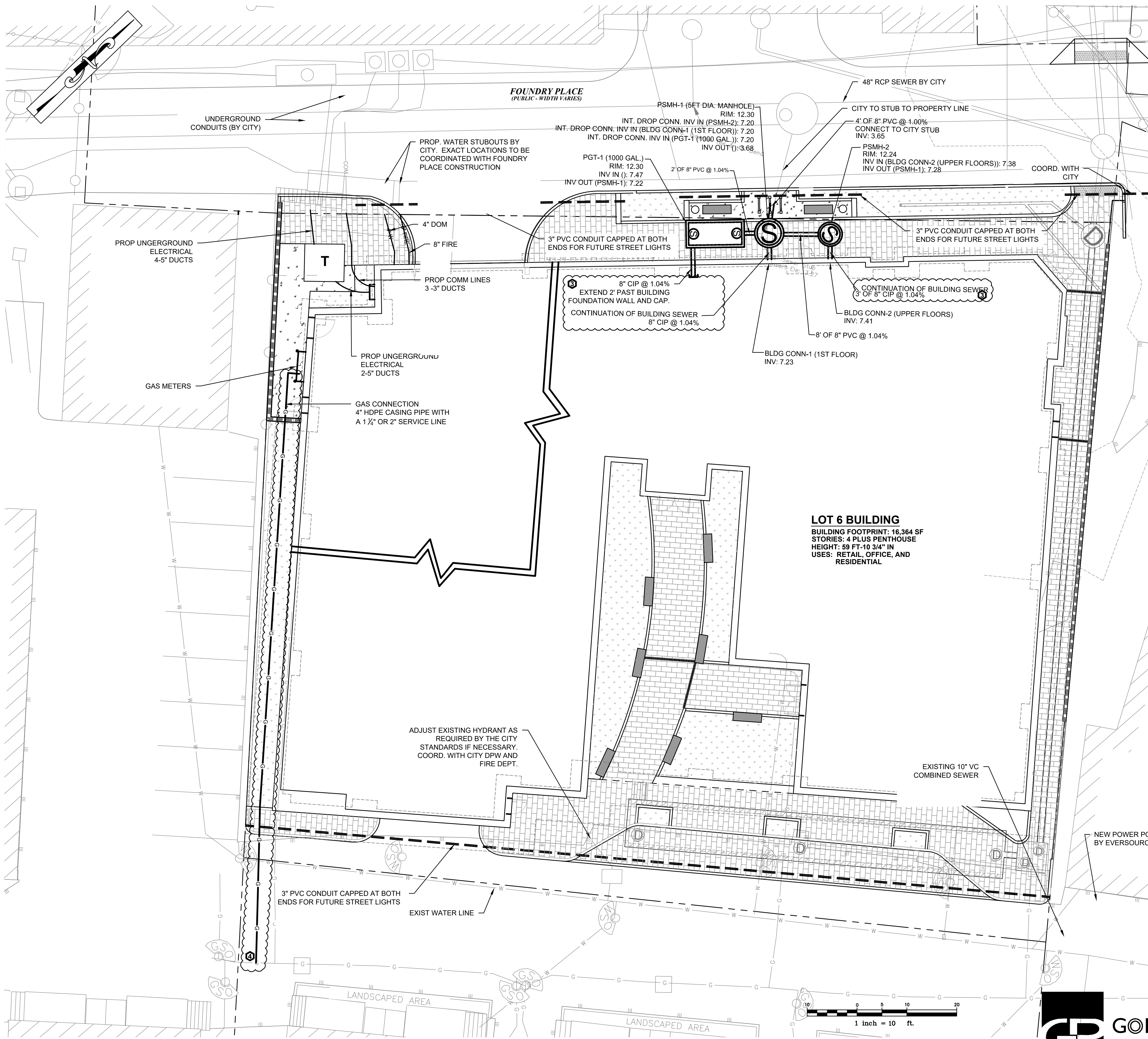
SITE PLAN REVIEW

**AVERAGE
GRADE
PLANE
CALCULATION**

C4.2



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GENERAL NOTES:

- SEE SHEET C1.0 AND C1.1 FOR GENERAL UTILITY NOTES.
- SEE SHEET C5.1 FOR OFF SITE ELECTRICAL IMPROVEMENTS.

WATER NOTES:

- INSTALLATION PERIOD. THE UTILITY'S PORTION OF A SERVICE PIPE SHALL BE INSTALLED DURING THE PERIOD OF MID-APRIL TO MID-NOVEMBER AS FROST AND WEATHER CONDITIONS.
- IN AN EMERGENCY AND UPON THE CUSTOMER'S REQUEST, THE UTILITY IN ITS SOLE DISCRETION MAY AUTHORIZE SERVICE INSTALLATION DURING WINTER MONTHS.
- SHUT OFFS. THE CUSTOMER SHALL INSTALL AND MAINTAIN ON THAT PORTION OF THE SERVICE PIPE LOCATED ON OR WITHIN THE PREMISES SERVED TWO (2) SHUT OFFS, ONE ON EITHER SIDE OF THE METER. THE SHUT OFFS SHALL BE OF A TYPE ACCEPTABLE TO THE UTILITY. THE UTILITY MAY USE THE SHUT OFF FOR SERVICE, MAINTENANCE AND OTHER PURPOSES.
- ALL WATER MAIN AND SERVICE PIPE SHALL BE DUCTILE IRON CEMENT LINED (DICTL) CLASS 52.

SEWER NOTES:

- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF ITS WORK.
- WATER AND SEWER TESTING TO CONFORM TO CITY OF PORTSMOUTH REGULATIONS, REQUIREMENTS, AND SPECIFICATIONS. COORDINATE TESTING OF SEWER AND WATER LINE CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- ALL MECHANICAL JOINTS TO BE MEGALUG SERIES 1100 INSTALLED IN ACCORDING WITH MANUFACTURER RECOMMENDATIONS OR APPROVED EQUAL.
- ALL SEWER AND WATER PIPE MATERIALS, STRUCTURES, APPURTENANCES AND INSTALLATION SHALL BE IN ACCORDANCE TO THE CITY OF PORTSMOUTH CONSTRUCTION SPECIFICATIONS AND REQUIREMENTS.
- ALL GRAVITY SEWER PIPE SHALL BE PVC (SDR35) AND BE GREEN IN COLOR. PIPE THROUGH FOUNDATION WALL SHALL BE CIP OR PER BUILDING PLUMBING PLANS.
- ALL WATER MAIN AND SERVICE PIPE SHALL BE DUCTILE IRON CEMENT LINED (DICTL) CLASS 52.
- ALL HYDRANTS, VALVES, AND FITTINGS SHALL MEET CITY OF PORTSMOUTH SPECIFICATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, COVERS, PLATES, ANCILLARY MATERIALS AND HARDWARE, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION COMPLETE AND OPERATIONAL AND ACCEPTABLE TO THE CITY OF PORTSMOUTH AND PRIVATE UTILITIES.

RADIO SURVEY NOTE:

- THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

LEGEND

- SEWER MANHOLE BY CITY
- WATER LINE BY CITY
- GAS LINE BY CITY
- ELECTRIC LINE BY CITY
- SEWER LINE BY CITY
- COMMUNICATION LINE BY CITY
- EXISTING SEWER MANHOLE
- EXISTING COMBINED SEWER LINE
- WATER VALVE
- GAS VALVE
- PROP WATER LINE
- PROP GAS LINE
- PROP UNDERGROUND ELECTRIC
- PROP UNDERGROUND COMMUNICATIONS

ABBREVIATIONS:

- CIP: CAST IRON PIPE
- CONN: CONNECTION
- CS: COMBINED SEWER
- DOM: DOMESTIC WATER SERVICE
- G: GAS
- LSA: LANDSCAPED AREA
- S: SANITARY SEWER
- SS: UNDERGROUND ELECTRIC
- VGC: VERTICAL GRANITE CURB
- W: WATER
- PGT: PROPOSED GREASE TRAP

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LOT 6 BUILDING
BUILDING FOOTPRINT: 16,364 SF
STORIES: 4 PLUS PENTHOUSE
HEIGHT: 59 FT-10 3/4" IN
USES: RETAIL, OFFICE, AND RESIDENTIAL



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LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**
PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



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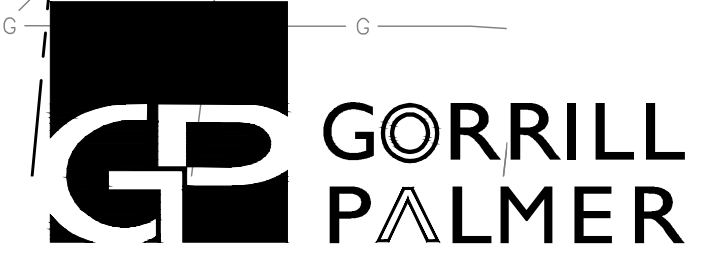
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3	PB SUBMISSION	10/10/17
4	PB #2 SUBMISSION	11/07/17
5	TAC PUBLIC HEARING	8/28/19

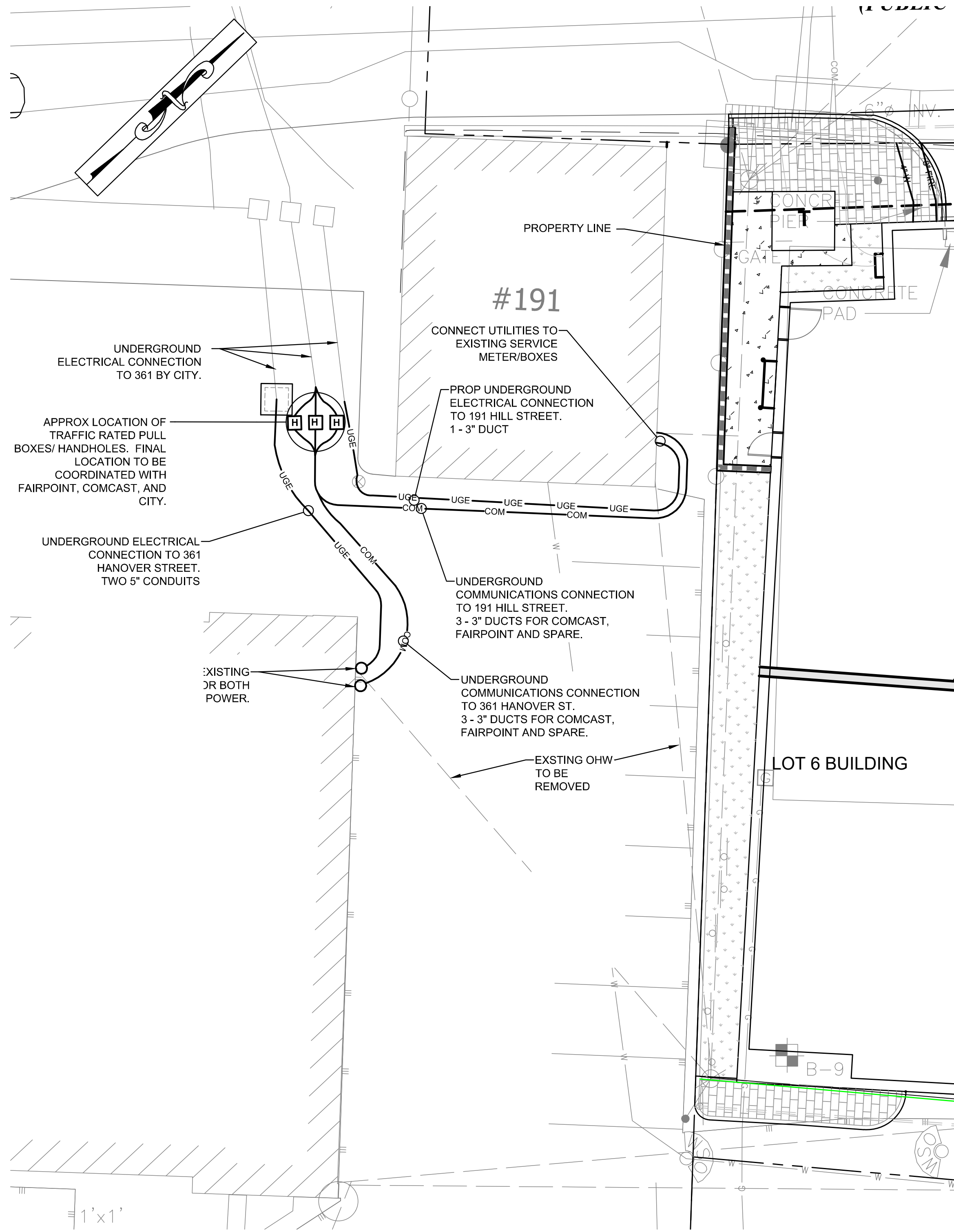
SITE PLAN REVIEW

UTILITIES PLAN

C5.0

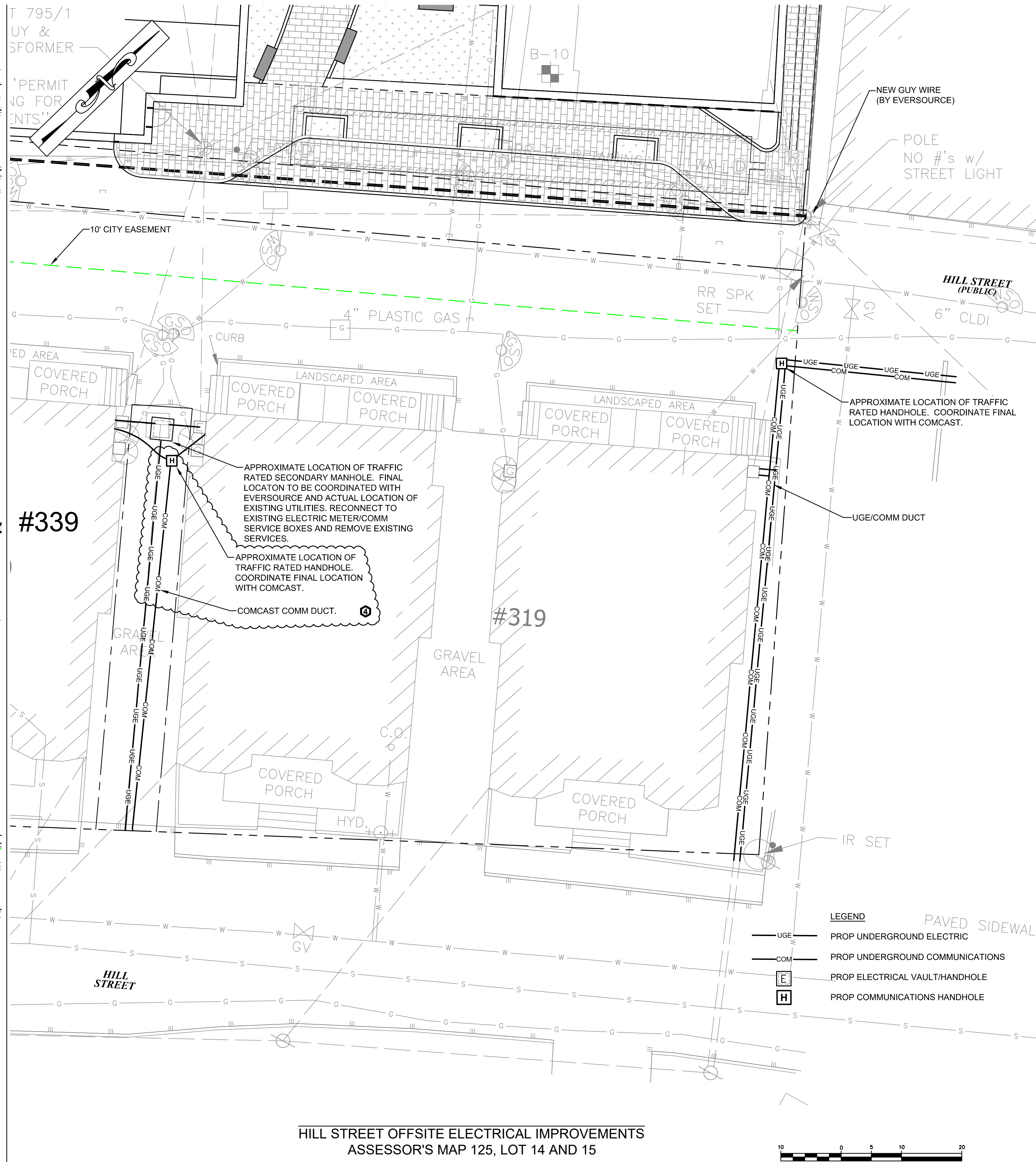


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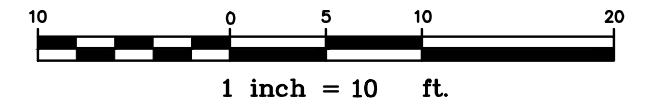


**KEARSARGE MILL CONDOMINIUMS LOT OFFSITE
ELECTRICAL IMPROVEMENTS
ASSESSOR'S MAP 138, LOT 63**

- UTILITY NOTES:**
- SEE ELECTRICAL SHEET SERIES "SE" FOR ELECTRICAL AND COMMUNICATION DETAILS.
 - THE CONTRACTOR SHALL COORDINATE UTILITY INSTALLATION WITH APPROPRIATE UTILITY, AFFECTED LAND OWNERS, AND THE CITY DPW.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY CONDUCTING TEST PITS AS NEED TO LOCATE THE PROPOSED UTILITIES PER APPLICABLE REGULATORY AND UTILITY REQUIREMENTS.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL THE DUCTS FROM THE POLE TO THE SERVICE METER CONNECTION AND THE ELECTRICAL CONTRACTOR WILL PROVIDE AND INSTALL THE CONDUCTORS FROM THE POLE TO THE BUILDING CONNECTION.
 - THE ELECTRICAL POWER AND COMMUNICATION DUCTS SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY SPECIFICATIONS. IT SHALL BE COMPOSED OF A MATERIAL WHICH IS ACCEPTABLE TO THE UTILITY AND THE INSTALLATION AND PIPE SHALL BE IN CONFORMANCE WITH GOOD ENGINEERING PRACTICES AND IN ACCORD THE REQUIREMENTS OF LAW.
 - THE ELECTRICAL POWER DUCTS SHALL HAVE A MINIMUM GROUND COVER OF THREE (3) FEET IN VEHICULAR TRAVEL WAYS AND TWO FEET IN OTHER AREAS UNLESS AUTHORIZED IN WRITING BY THE UTILITY.
 - PROPOSED LOCATIONS ARE APPROXIMATE, AND FINAL LOCATIONS WILL BE LOCATED IN THE FIELD AFTER EXISTING UTILITIES LOCATIONS HAVE BEEN DETERMINED BY TEST PITS. FINAL LOCATION TO BE COORDINATED AND APPROVED BY THE APPROPRIATE UTILITY PROVIDER.



**HILL STREET OFFSITE ELECTRICAL IMPROVEMENTS
ASSESSOR'S MAP 125, LOT 14 AND 15**



GREENMAN-PEDERSEN, INC.
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PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPP ENGINEER
WOBBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**
PORTSMOUTH, NH 03801

OWNER:
Deer Street Associates
7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER	3256.16
DATE OF ISSUE	-
DRAWN BY	CG
CHECKED BY	DER
SCALE	1"=10'

REVISIONS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17
3	PB SUBMISSION	10/10/17
4	PB #2 SUBMISSION	11/07/17
5	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

**OFF SITE
ELECTRICAL
IMPROVEMENTS
PLAN**

C5.1



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U:\3256.16 Deer Street Portsmouth Lot 6 Construction Docs\Z - CAD\DWG\3256-16-BASE.dwg 8/27/2019 1:29 PM



SILT SOCK TYP.

EXTEND SILT SOCKS AS NEEDED TO TRAP SEDIMENT IN LOCATIONS DOWNSTREAM OF NEW SLOPES.

RETAINING WALL

#191

FOUNDRY PLACE
(PUBLIC - WIDTH VARIES)

EXTEND SILT SOCKS AS NEEDED TO TRAP SEDIMENT IN LOCATIONS DOWNSTREAM OF NEW SLOPES.

LIMIT OF WORK

CONSTRUCTION ENTRANCE. PRELIMINARY LOCATION SHOWN. FINAL LOCATION TO BE COORDINATED WITH CITY GARAGE AND BUILDING 3 CONSTRUCTION.

TEMPORARY SAFETY FENCE

INSTALL SILT SOCK AT LOCATIONS WHERE STORMWATER IS ABLE TO FLOW OVER DISTURBED SOILS AND TO OFF SITE LOCATIONS AS REQUIRED TO CONTROL STORMWATER FLOWS ONSITE TO PREVENT OFF SITE FLOWS.

LEGEND:

12" Ø SILT SOCK

SILT SACK

CONSTRUCTION ENTRANCE

LIMIT OF WORK

TEMPORARY CONSTRUCTION FENCE

CONSTRUCTION STAGING/PARKING

ABBREVIATIONS:

G: GAS
SS: SANITARY SEWER
W: WATER

NOTES:

1. SILT SOCKS TO REMAIN UNTIL CONSTRUCTION IS COMPLETE.
2. CONSTRUCTION ENTRANCE ON FOUNDRY PLACE TO BE COORDINATED W/ CITY GARAGE CONSTRUCTION.

TEMPORARY CONSTRUCTION STAGING/PARKING (TYP.)

GATE

RR TIE RETA

HYD.

HILL STREET
(PUBLIC)

6" CLDI

COVERED PORCH

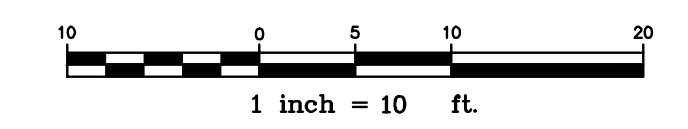
LANDSCAPED AREA
COVERED PORCH

LANDSCAPED AREA
COVERED PORCH

LANDSCAPED AREA
COVERED PORCH

HILL HANOVER LIMIT OF WORK SHEET C6.0

TEMPORARY CONSTRUCTION



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**RESIDENCES AT
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ASSESSORS MAP
138 LOT 62**
PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



PROJECT NUMBER 3256.16
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SCALE

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2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

**EROSION &
SEDIMENT
CONTROL
PLAN**

C6.0



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ELECTRICAL ENGINEER
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**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**

PORTSMOUTH, NH 03801

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7 BANKS ROCK ROAD
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PROJECT NUMBER 3256.16
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SCALE 1"=10'

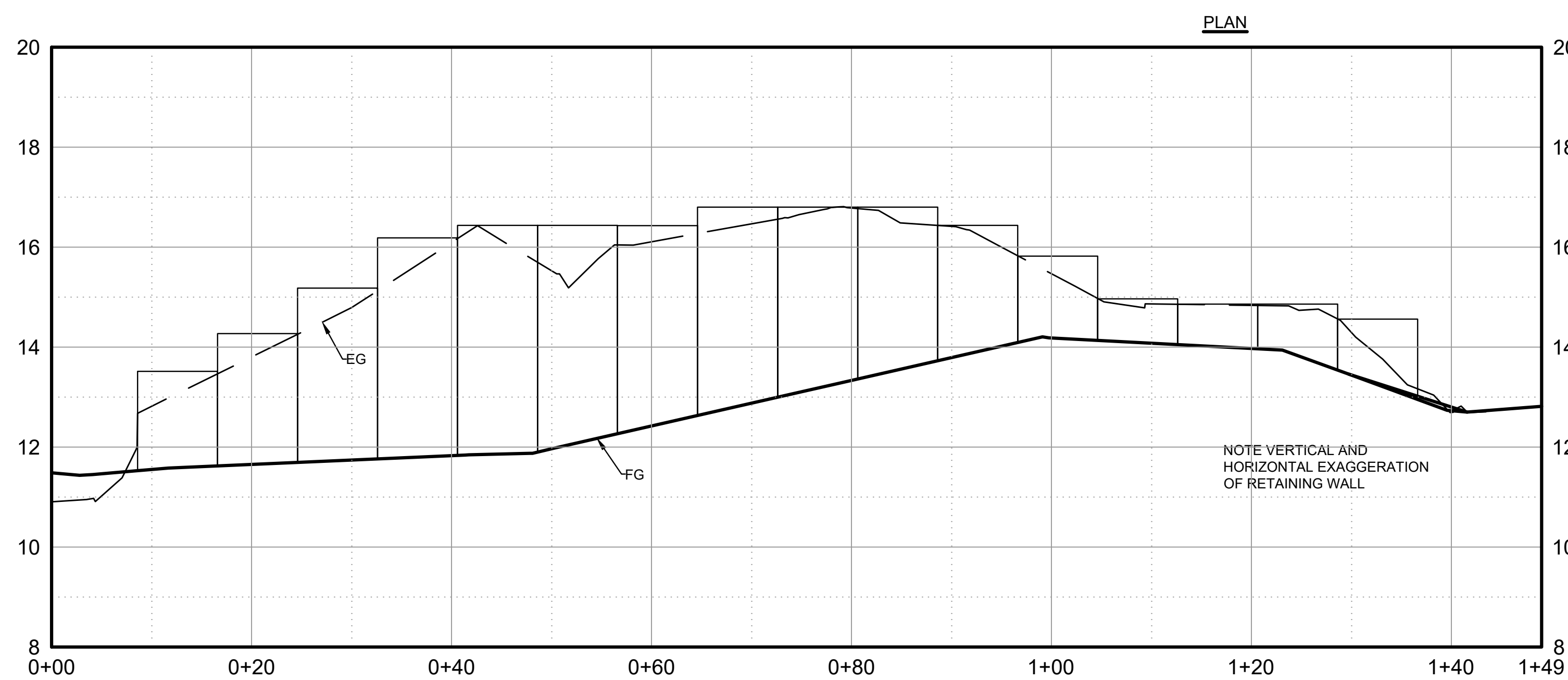
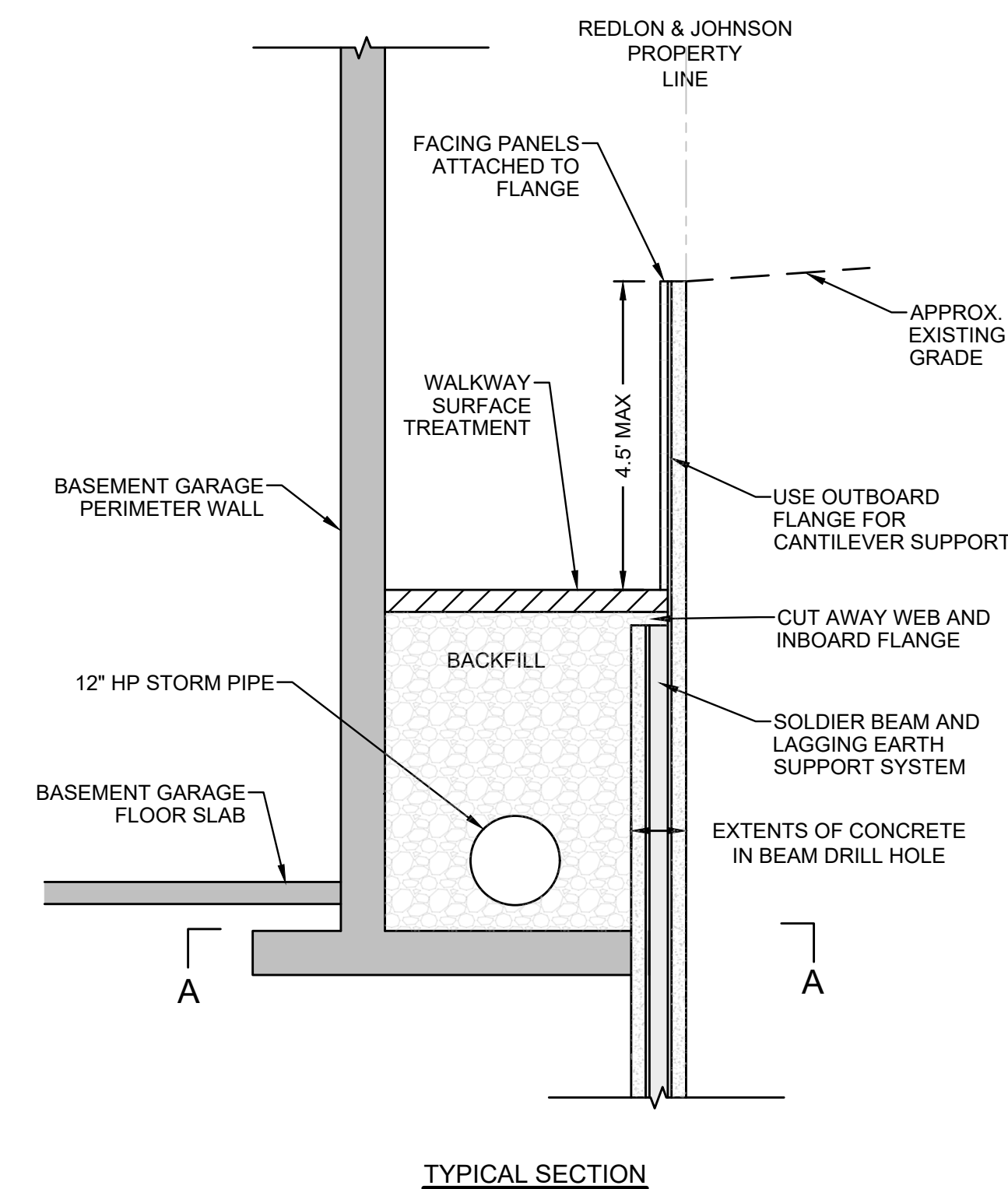
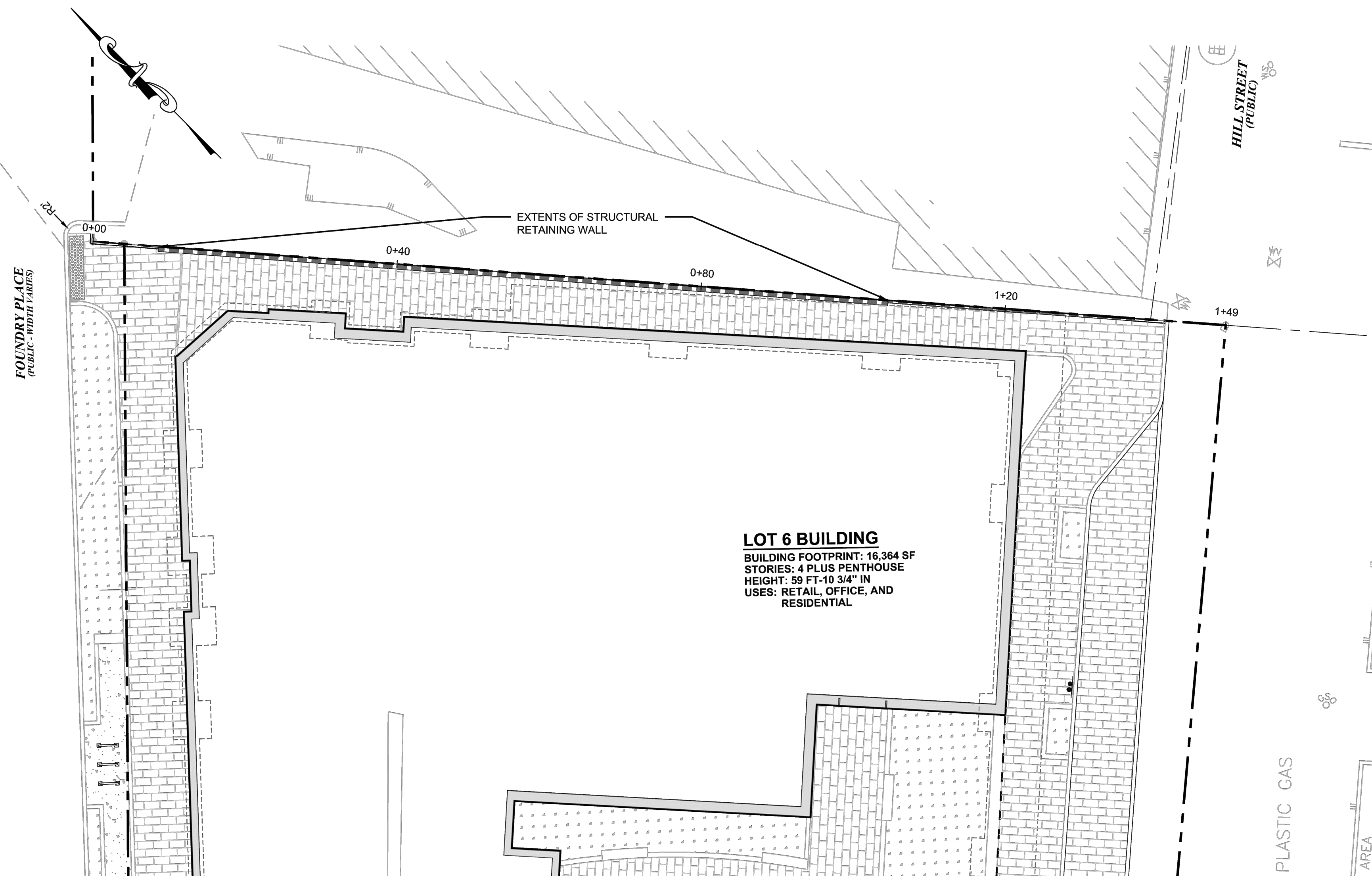
REVISIONS

NO.	DESCRIPTION	DATE
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2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

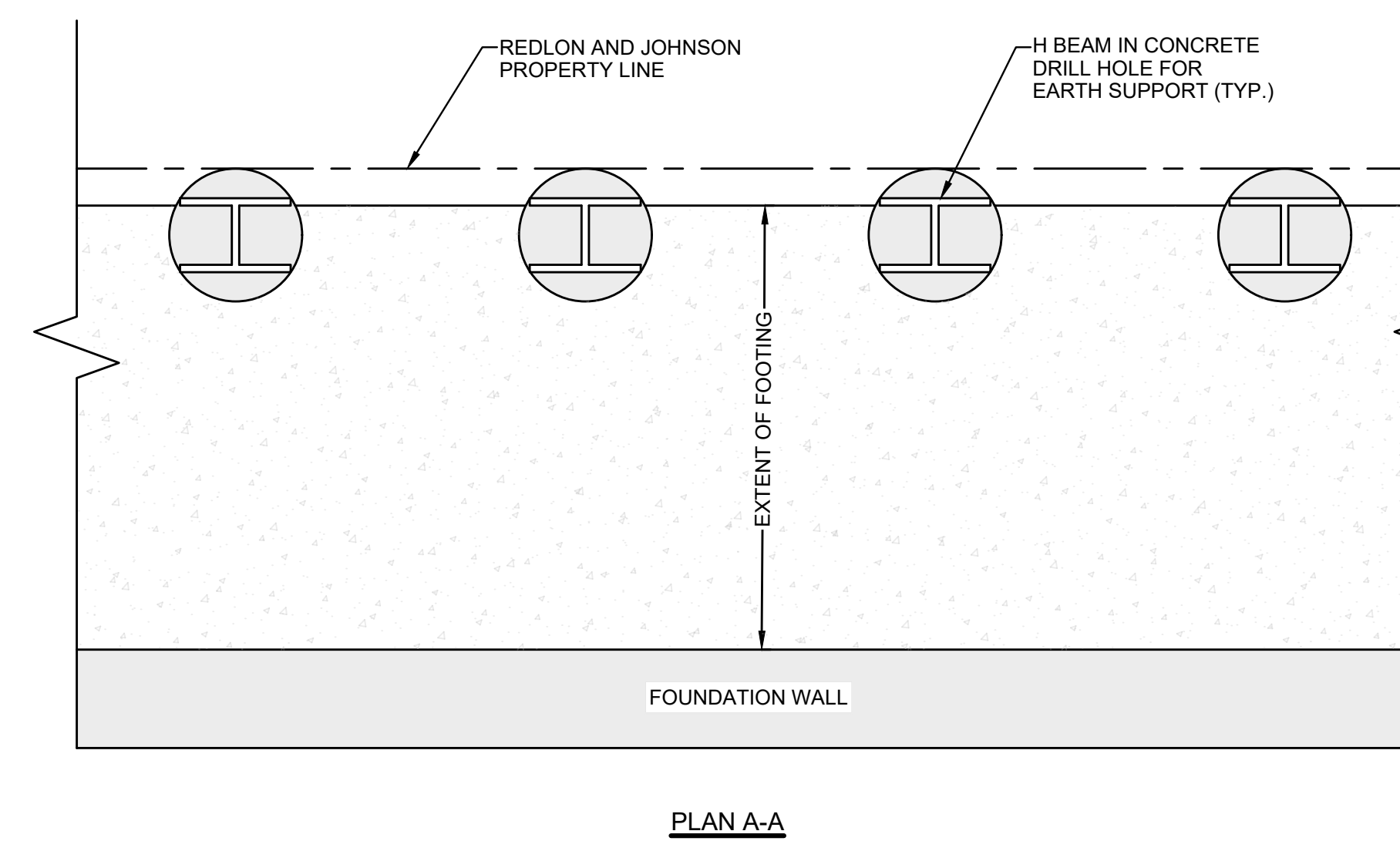
**RETAINING
WALL PLAN
AND PROFILE**

C8.1



RETAINING WALL ALIGNMENT
HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: 1"=2'

- NOTE:**
- WHERE AREAS OF RETENTION ARE GREATER THAN 18", WALL SHALL BE CONSTRUCTED BY ATTACHING PANELS TO THE OUTBOARD FLANGE OF THE SOLDIER BEAM PILE. (THE INBOARD FLANGE AND THE WEB WILL BE CUT AWAY). THE PANELS WILL BE COMPRISED OF PRECAST CONCRETE, METAL, OR PRESSURE TREATED WOOD.
 - WHERE AREAS OF RETENTION ARE LESS THAN 18", WALL SHALL BE CONSTRUCTED OF PUSH IN PANELS OR MANUALLY EXCAVATED AND INSTALLED PANELS.
 - A HAND RAILING SHALL BE INSTALLED ALONG THE ENTIRE LENGTH OF THE TOP OF THE RETAINING WALL.



DETAIL_NAME
DETAIL#



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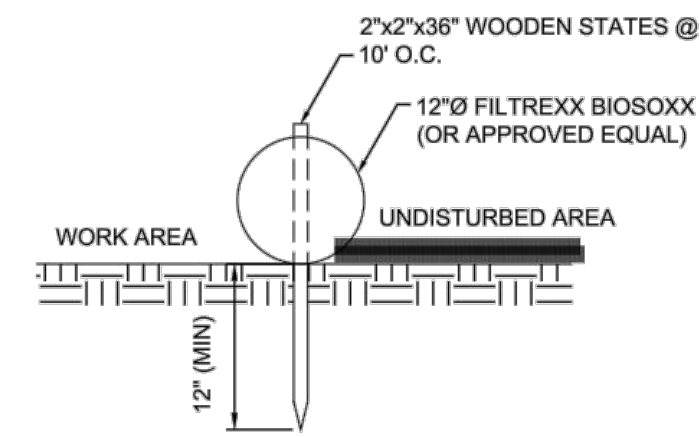
GENERAL EROSION CONTROL NOTES

- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE TERMS AND CONDITIONS OF THE CONSTRUCTION GENERAL PERMIT ISSUED BY THE EPA AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SUBMITTED WITH THE PERMIT DOCUMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSPECTION, MAINTENANCE, AND/OR REPLACEMENT OF ALL TEMPORARY AND PERMANENT EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION THROUGHOUT THE LIFE OF THE CONSTRUCTION PROJECT OR UNTIL IT IS ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER.
- NO DUST WILL BE ALLOWED ON OR OFF THE WORK SITE. CONTRACTOR MUST CONDUCT CONTINUOUS EFFORTS TO CONTROL DUST. LACK OF SUFFICIENT DUST CONTROL COULD CAUSE THE PROJECT TO BE STOPPED UNTIL ISSUES ARE RESOLVED. CONTRACTOR TO PAY ALL PENALTIES RESULTING PLUS \$100/OFFENSE AS DETERMINED BY CITY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CLEAN ROADS, CONTROL DUST, AND TAKE ALL NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ADJACENT ROADS BE MAINTAINED IN A MUD AND DUST-FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO, CAREFUL USE OF WATER, CALCIUM CHLORIDE, AND/OR CRUSHED STONE OR COARSE GRAVEL AS CONTROL BMPs.
- ALL PROPOSED CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS AND DETAILS. ALL VEHICLE TRAFFIC ENTERING OR EXITING THE WORK AREA SHALL PASS OVER THE CONSTRUCTION ENTRANCES TO REDUCE THE TRACKING OR FLOWING OF SEDIMENT ONTO THE SURROUNDING ROADWAYS UNTIL THE SITE IS STABILIZED.
- THE CONTRACTOR SHALL INSTALL ALL PERIMETER SEDIMENT CONTROL BARRIERS AS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE OR SILT SOCK SHALL ALSO BE INSTALLED AROUND ANY SOIL STOCKPILE AREAS THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS AS QUICKLY AS PRACTICABLE. AREAS DAMAGED DURING CONSTRUCTION SHALL BE RESEDED, REVEGETATED, OR OTHERWISE STABILIZED OR RESTORED TO THEIR ORIGINAL STATE. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE.
- THE CONTRACTOR MAY USE TEMPORARY SEDIMENTATION AND/OR INFILTRATION BASINS ON THE SITE DURING CONSTRUCTION. THESE STRUCTURES SHOULD BE STRATEGICALLY LOCATED AND SIZED COMMENSURATE WITH THE PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL REMOVE AND STABILIZE THESE STRUCTURES WHEN NO LONGER REQUIRED.
- TEMPORARY COVERINGS OR OTHER APPROVED STABILIZATION METHOD SHALL BE APPLIED TO ANY DISTURBED AREAS (INCLUDING SOIL STOCKPILE AREAS) THAT HAVE NOT YET REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY CEASED, UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS.
- PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO ALL DISTURBED SOIL AREAS THAT HAVE REACHED FINISHED LANDSCAPE GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS PERMANENTLY CEASED. THE RECOMMENDED PERMANENT SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO OCTOBER 1. WHERE AREAS HAVE REACHED FINISHED GRADE AND ARE NOT INTENDED TO BE VEGETATED, TEMPORARY TARPS OR OTHER STABILIZING COVERS MAY BE PLACED.
- AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED SHOULD BE MULCHED IMMEDIATELY FOLLOWING SEEDING IN ADDITION TO AREAS WHICH CANNOT BE SEEDED WITHIN THE RECOMMENDED SEEDING DATES AND ANY SOIL STOCKPILE AREAS. TEMPORARY MULCHING SHOULD BE PERFORMED AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS TEMPORARILY CEASED UNLESS THE ACTIVITY IS TO RESUME WITHIN TWENTY-ONE (21) DAYS. STRAW OR HAY MULCH, WOOD FIBER MULCH, AND HYDROMULCH ARE RECOMMENDED MULCHES.
- IF SEEDING CANNOT BE COMPLETED IMMEDIATELY OR WITHIN THE RECOMMENDED SEEDING DATES, USE THE TEMPORARY MULCHING MEASURE TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- WHERE TEMPORARY COVERS ARE USED OVER STOCKPILES AND/OR DISTURBED SOIL AREAS, THE COVERS SHALL BE SUFFICIENTLY ANCHORED AGAINST WIND. THE CONTRACTOR MUST ANTICIPATE AND MANAGE RUNOFF FROM SUCH COVERINGS.
- ANY EXISTING OR PROPOSED CATCH BASINS THAT MAY BE SUBJECT TO SEDIMENTATION PROCESSES SHALL HAVE SILT SOCKS INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE PROPOSED STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED SITE. THE PROPER INLET PROTECTION DEVICES SHALL BE INSTALLED WHERE STORM DRAIN INLETS ARE TO BE MADE OPERATIONAL BEFORE PERMANENT STABILIZATION OF ANY DISTURBED DRAINAGE AREA.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGES AND THE NEW HAMPSHIRE STORMWATER MANUAL VOL. 3 AND OTHER APPLICABLE REGULATIONS.
- WASTE DISPOSAL: MATERIALS WHICH COULD BE A POTENTIAL SOURCE OF STORM WATER POLLUTION SUCH AS GASOLINE, DIESEL FUEL, HYDRAULIC OIL, ETC., SHALL BE STORED AT THE END OF EACH DAY IN A STORAGE TRAILER OR COVERED LOCATION, OR TAKEN OFF-SITE AND PROPERLY DISPOSED OF. ALL TYPES OF WASTE GENERATED AT THIS SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS.
- GOOD HOUSEKEEPING: THE PROJECT SITE SHALL PROVIDE FOR THE MINIMIZATION OF EXPOSURE OF CONSTRUCTION DEBRIS (INCLUDING, BUT NOT LIMITED TO, INSULATION, WIRING, PAINTS AND PAINT CANS, SOLVENTS, WALL BOARD, ETC.) TO PRECIPITATION BY MEANS OF DISPOSAL AND/OR PROPER SHELTER OR COVER. IN ADDITION, CONSTRUCTION WASTE MUST BE PROPERLY DISPOSED OF IN ORDER TO AVOID EXPOSURE TO PRECIPITATION AT THE END OF EACH WORKING DAY.
- REPAIRS OR REPLACEMENT OF DRAINAGE STRUCTURES, SWALES, OR OTHER DRAINAGE ELEMENTS SHOULD BE DONE WITHIN 12 HRS OF NOTIFICATION OF A DEFICIENCY REPORTS. IF AN EMERGENCY SITUATION IS IMMINENT THEN REPAIR/REPLACEMENT MUST BE DONE IMMEDIATELY TO AVERT FAILURE OR IMPACT TO NEARBY RESIDENTS.
- IMMEDIATELY PRIOR TO THE END OF CONSTRUCTION OR ACCEPTANCE BY THE OWNER, THE CONTRACTOR SHALL INSPECT ALL ON-SITE STORMWATER MANAGEMENT FACILITIES AND CLEAN AND FLUSH AS NECESSARY AND REQUESTED BY THE ENGINEER AND/OR THE OWNER.
- THE CONTRACTOR OR NOMINEE WILL BE THE PARTY RESPONSIBLE FOR THE INSPECTION, MAINTENANCE, AND REQUIRED DOCUMENTATION OF ALL STORMWATER STRUCTURES UNTIL FORMAL PROJECT COMPLETION.

PROJECT SPECIFIC CONSTRUCTION SEQUENCING:

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES ANTICIPATED. THEY ARE PRESENTED IN THE ORDER (OR SEQUENCE) THEY ARE EXPECTED TO BEGIN, BUT EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. ALSO, THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE EROSION AND SEDIMENTATION CONTROL. ALL ACTIVITIES AND THE TIMEFRAME (BEGINNING AND ENDING DATES) SHALL BE RECORDED BY THE CONTRACTOR:

- CONTRACTOR TO REVIEW ALL APPLICABLE LOCAL, STATE AND FEDERAL PERMITS.
- REVIEW AND CERTIFY THE STORMWATER POLLUTION PREVENTION PLAN.
- INSTALL TEMPORARY CONSTRUCTION FENCING.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL EROSION CONTROL MEASURES PRIOR TO EARTH MOVING OPERATIONS.
- DECOMMISSION AND DEMOLISH EXISTING STRUCTURES AND UTILITIES AFTER UTILITY APPROVAL.
- BEGIN ROUGH GRADING, TEMPORARY EARTH SUPPORT, AND EARTHWORK OPERATIONS FOR FOUNDATION AND UTILITY CONSTRUCTION.
- CONSTRUCT BUILDING FOUNDATION AND EXTERIOR WALLS TO ABOVE PROPOSED GRADES.
- CONSTRUCT CONCRETE BOX DETENTION AND DRAINAGE FACILITIES.
- CONSTRUCT SANITARY SEWER STRUCTURES AND CONNECTING FACILITIES.
- FINISH BUILDING STRUCTURE CONSTRUCTION.
- SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 12-HOURS AFTER CONSTRUCTION ACTIVITIES CEASE. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR ON THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21-DAYS, THE AREA SHALL BE STABILIZED. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS OR TEMPORARY TARPING HAVE BEEN PROPERLY INSTALLED.
- INSTALL AND CONNECT ALL UNDERGROUND UTILITIES.
- CONSTRUCT ROADWAYS, DRIVEWAYS, AND HARDSCAPE ACCORDING TO THE PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
- SURFACE TREATMENT OF ALL DISTURBED AREAS NOT BUILT UPON, PAVED OR OTHERWISE LANDSCAPED SHALL BE TREATED WITH 4" OF LOAM AND SEED.
- INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES CONSISTENT WITH THE PROCEDURE AND SCHEDULE OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING, AND OTHER SURFACE STABILIZATION.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT COMPACTED GRAVELS, OR OTHER INTENDED FINAL COVERINGS.



MAINTENANCE:

- FILTER SOCK SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- IF THE FABRIC SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, REPLACE PROMPTLY.
- SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS SHALL BE REMOVED WITH FILTER SOCK UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- IF ANCHORING THE FILTER SOCK IS NOT POSSIBLE USING STAKES, SUCH AS ON PAVED AREAS, USE SAND BAGS, MASONRY BLOCKS, OR OTHER REMOVABLE WEIGHTS TO KEEP SOCK IN PLACE AT INTENDED LOCATION

FILTER SOCK INSTALLATION DETAIL

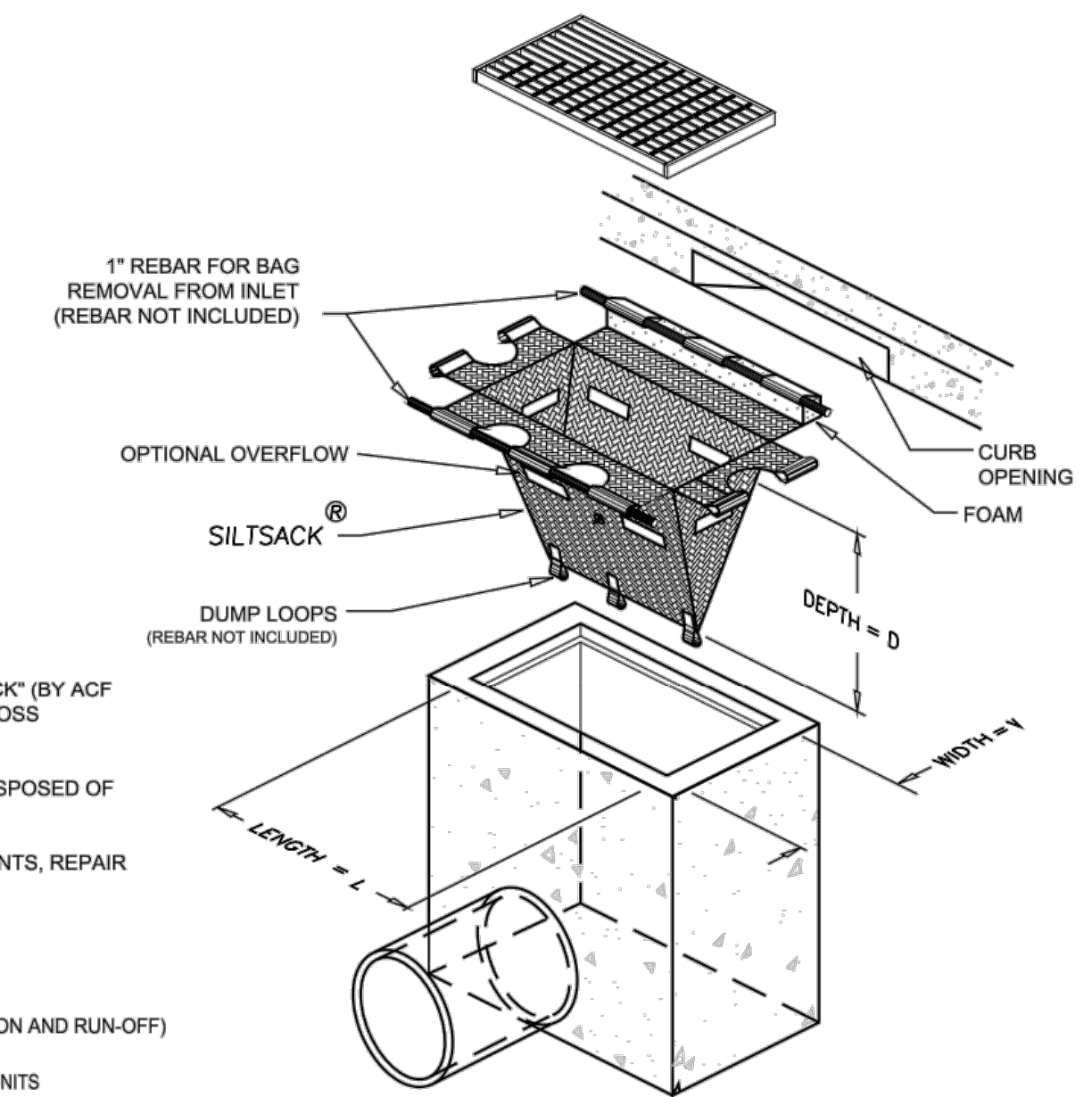
NOT TO SCALE

CONSTRUCTION SPECIFICATIONS:

- USE 2" DIAMETER STONE OR RECLAIMED/RECYCLED CONCRETE EQUIVALENT.
- RECOMMENDED LENGTH GREATER THAN 50 FEET WHERE PRACTICAL.
- THICKNESS NOT LESS THAN 6 INCHES.
- 10 FOOT MINIMUM WIDTH, BUT NOT LESS THAN FULL WIDTH AT POINTS WHERE INGRESS AND EGRESS OCCUR.
- FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WILL BE PERMITTED.
- ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED BY THE CONTRACTOR.
- REMOVE STABILIZED CONSTRUCTION ENTRANCE PRIOR TO PLACEMENT OF BITUMINOUS CONCRETE PAVEMENT.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



- NOTES:**
- CATCH BASIN PROTECTION TO BE "SILT SOCK" (BY ACF ENVIRONMENTAL) OR "STREAM GUARD" (BY FOSS ENVIRONMENTAL SERVICES) OR EQUAL.
 - INSERT TO BE EMPTIED AND PROPERLY DISPOSED OF WHEN IT IS 1/2 FULL OF SEDIMENT.
 - INSPECT INSERT AFTER ALL RAINFALL EVENTS, REPAIR AND MAINTAIN AS REQUIRED.

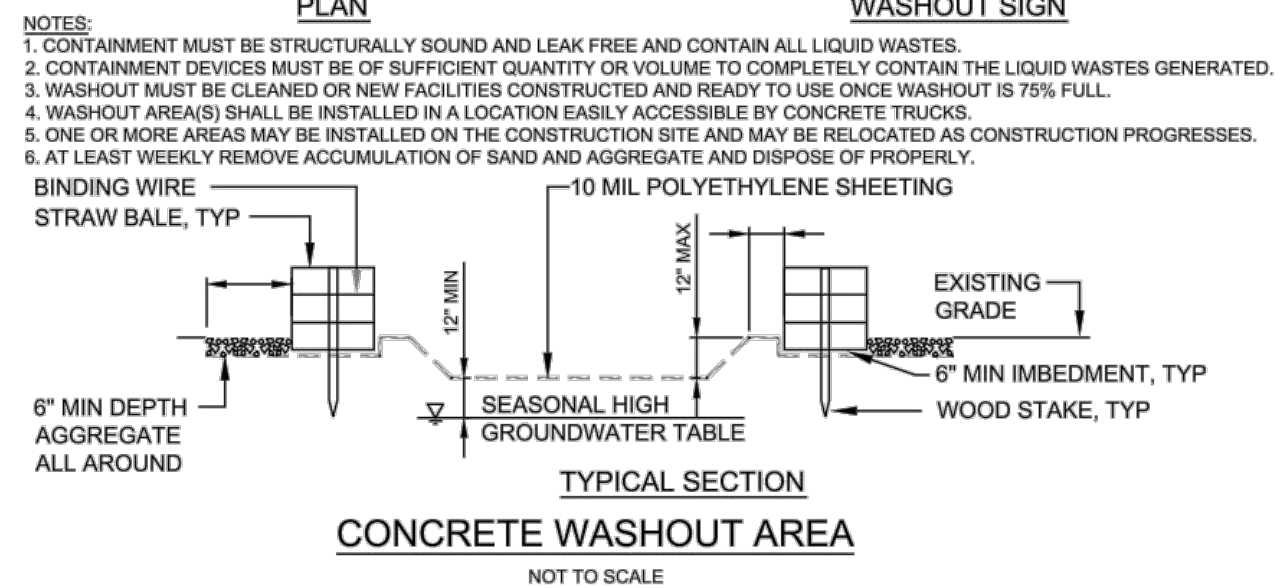
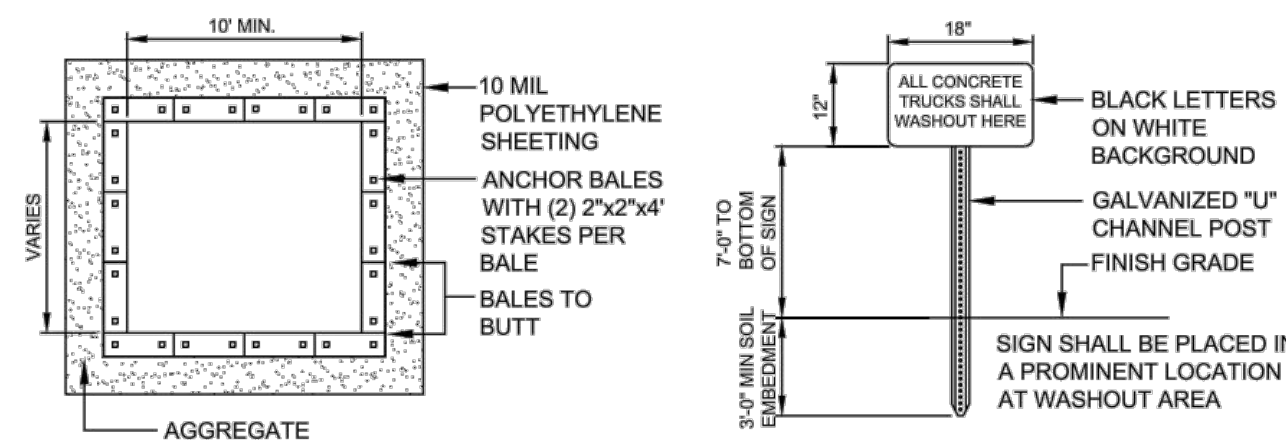
REGULAR FLOW SILT SOCK
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20 %
PUNCTURE	ASTM D-4633	120 LBS
MULLEN BURST	ASTM D-3788	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4365	80 %
APPARENT OPENING SIZE	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	0.55 SEC - 1

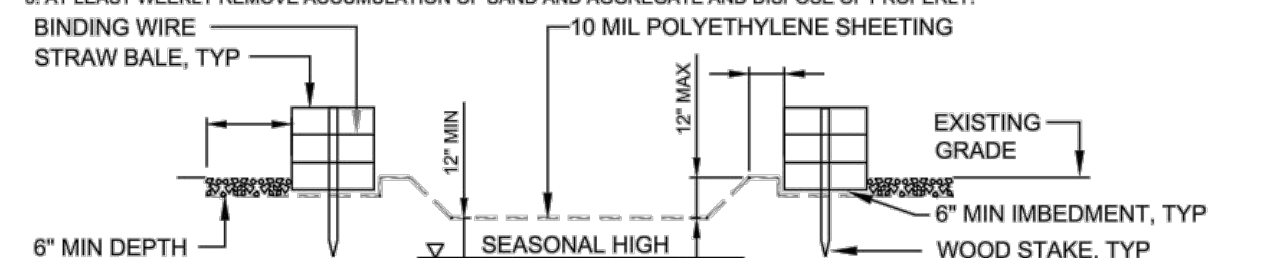
EROSION CONTROL NOTES & DETAILS

SILT SOCK INSTALLATION DETAIL

NOT TO SCALE



- NOTES:**
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 - WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 - AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.



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SITE PLAN REVIEW

**EROSION &
SEDIMENT
CONTROL
DETAILS**

C6.1

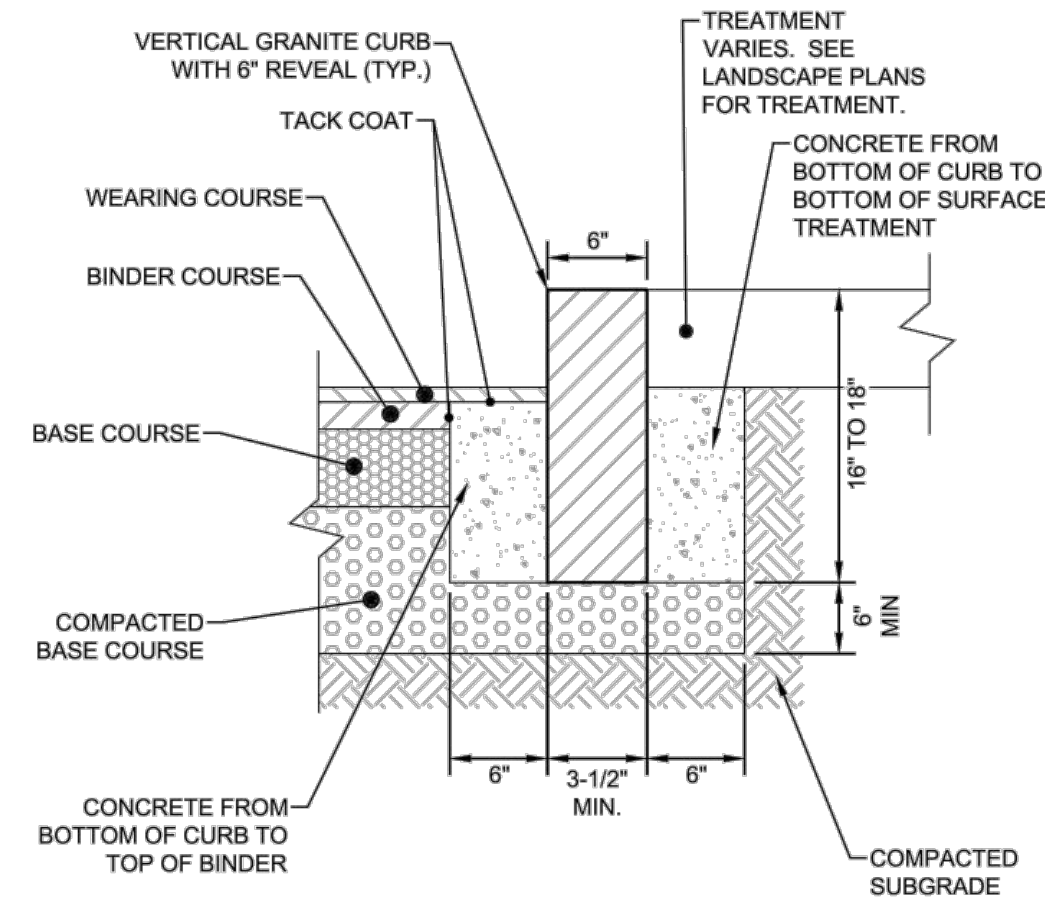
PERMIT PLANS - NOT FOR CONSTRUCTION



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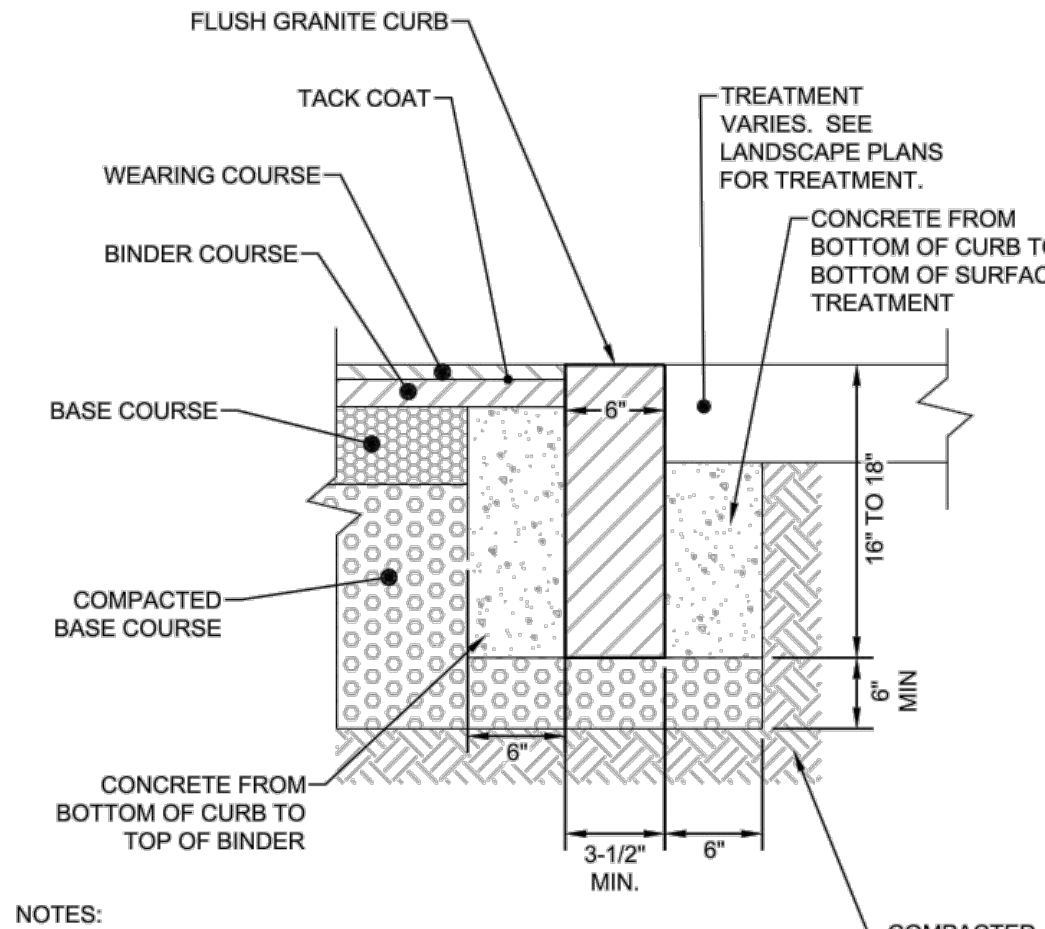
U:\3256.16 Deer Street Portsmouth Lot 6 Construction Docs\Z - CAD\DWG\3256-16-DETAILS-C7.0 MISC DETAILS.dwg



RADIUS	MAX. LENGTH
< 21'	USE CURVED CURB
21'	3'
22' - 28'	4'
29' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
> 60'	10'

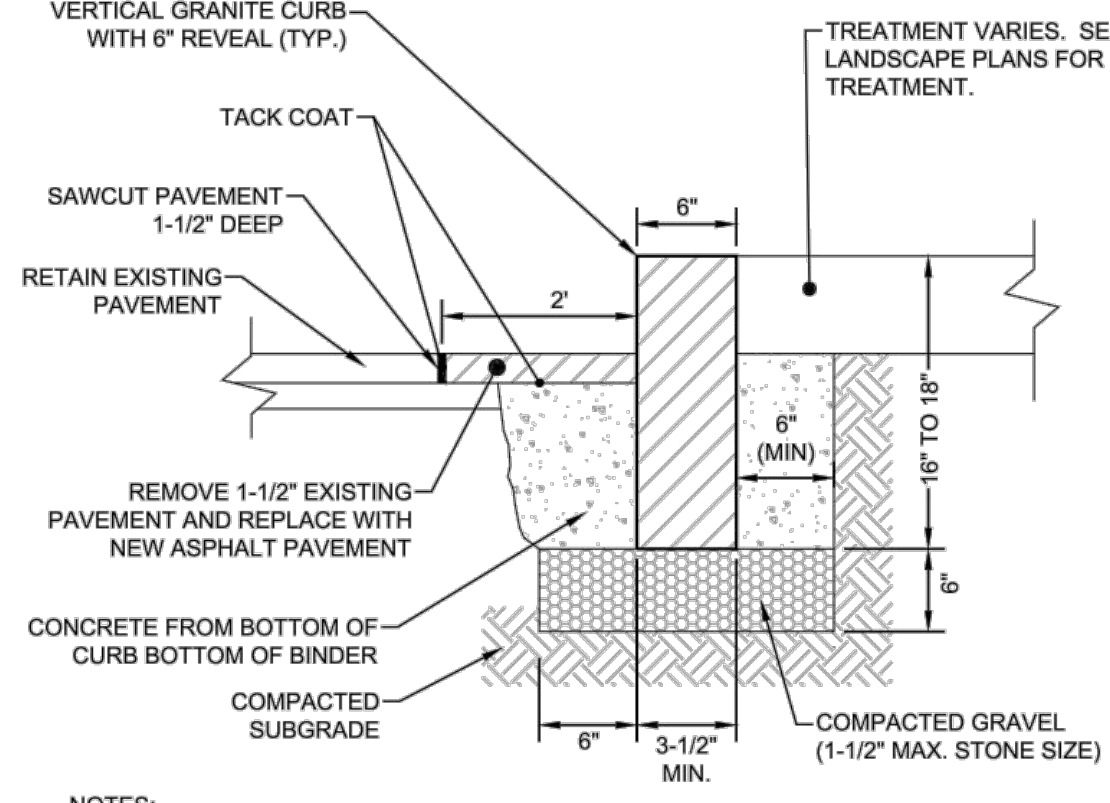
- NOTES:
- REVEAL IS 6" UNLESS NOTED OTHERWISE. REVEAL IS 0" AT PEDESTRIAN SIDEWALK (CURB) RAMPS.
 - SEE SITE PLAN(S) FOR PROPOSED VERTICAL GRANITE CURB (VGC) LOCATIONS
 - CONCRETE SHALL BE 4000 PSI AT 28 DAYS
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
 - MINIMUM LENGTH OF STRAIGHT CURB STONES - 3'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES - 10'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART
 - ALL RADII LESS THAN 21' SHALL HAVE CURVED SECTIONS
 - SEE TYPICAL PAVEMENT DETAIL THIS SHEET FOR PAVEMENT REQUIREMENTS .

1 VERTICAL GRANITE CURB
N.T.S.



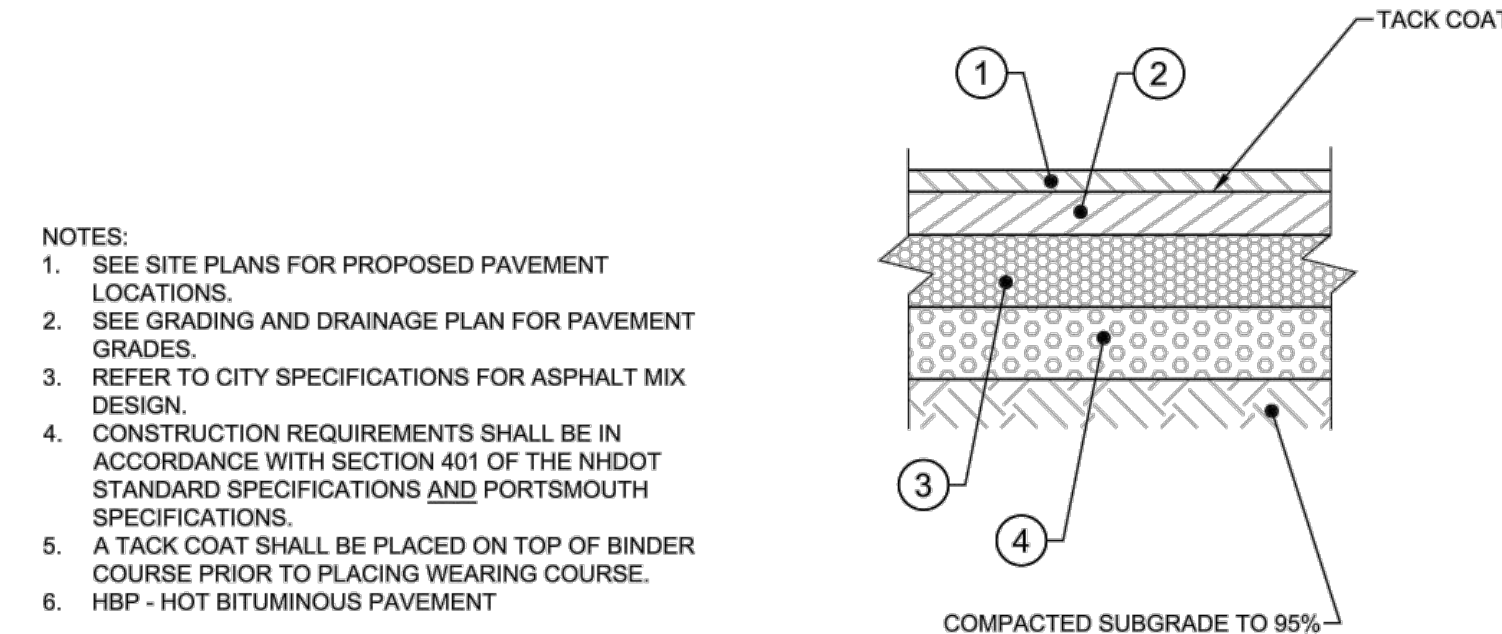
- NOTES:
- CONCRETE SHALL BE 4000 PSI AT 28 DAYS
 - SEE TYPICAL PAVEMENT DETAIL THIS SHEET FOR PAVEMENT REQUIREMENTS .

2 FLUSH GRANITE CURB
N.T.S.



- NOTES:
- REVEAL IS 6" (TYP.) UNLESS NOTED OTHERWISE. REVEAL IS 0" AT PEDESTRIAN SIDEWALK (CURB) RAMPS.
 - SEE SITE PLAN(S) FOR PROPOSED VERTICAL GRANITE CURB (VGC) LOCATIONS.
 - CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH A TACK COAT PRIOR TO PLACING WEARING COURSE.
 - FOR RADIUS DETAILS SEE VERTICAL GRANITE CURB DETAIL - THIS SHEET.

3 VERTICAL GRANITE CURB IN EXISTING PAVEMENT
N.T.S.

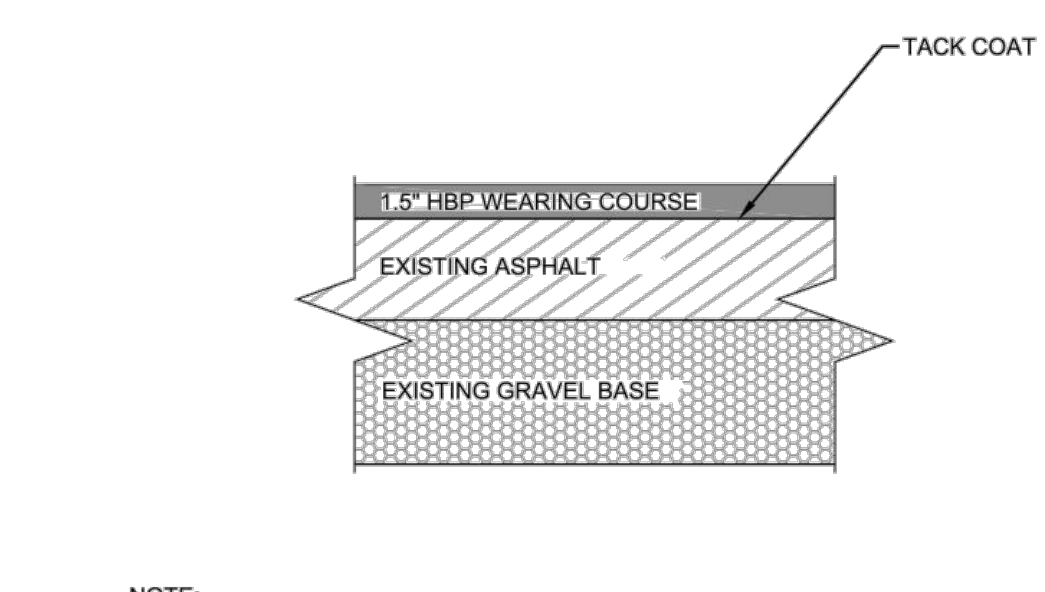


- STANDARD PAVEMENT MATERIALS
- 1.5" - HBP SURFACE COURSE (3/8" NHDOT SECTION 401)
 - 3.5" - HBP BINDER COURSE (3/4" NHDOT SECTION 401)
 - 8" - CRUSHED GRAVEL BASE (NHDOT ITEM 304.3)
 - 12" - BANK RUN GRAVEL SUBBASE (NHDOT ITEM 304.2)

ITEM NO.	AGGREGATE COURSE MATERIALS NHDOT SECTION 304		
	304.2	304.3	304.4
	% PASSING BY WEIGHT		
SIEVE SIZE			
6"	100	---	---
3"	100	---	---
2"	---	95 - 100	100
1"	---	55 - 85	---
#4	25 - 70	27 - 52	45 - 75
#200	0 - 12	0 - 12	0 - 5

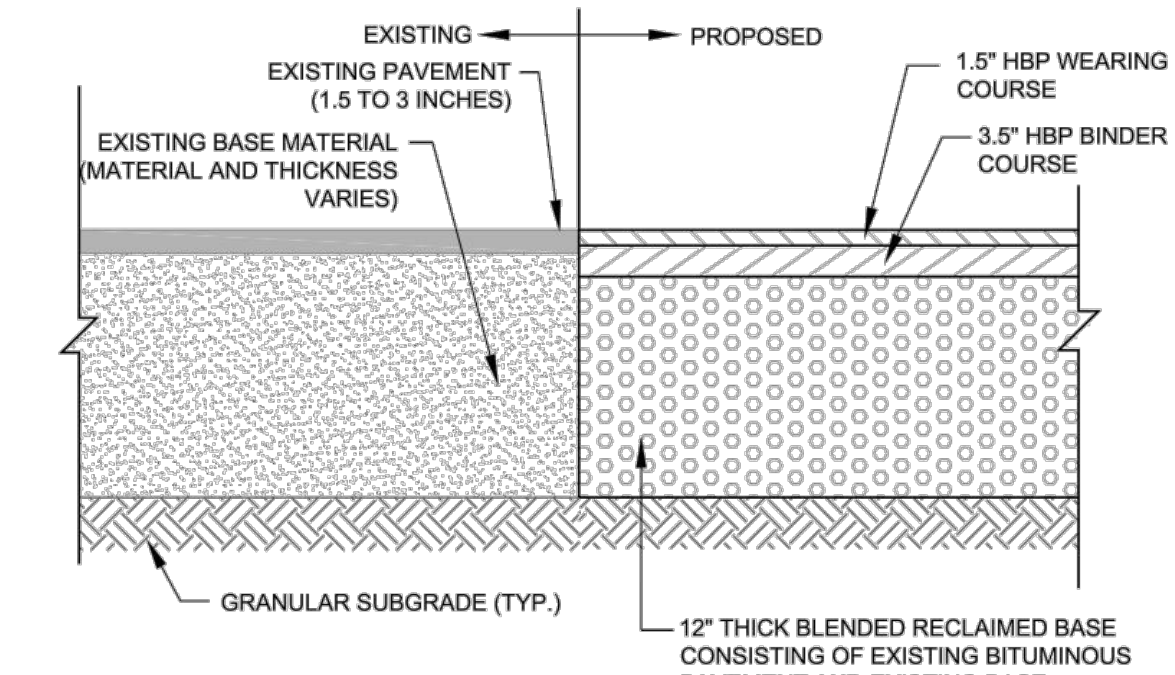
- NOTES:
- SEE SITE PLANS FOR PROPOSED PAVEMENT LOCATIONS.
 - SEE GRADING AND DRAINAGE PLAN FOR PAVEMENT GRADES.
 - REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.
 - CONSTRUCTION REQUIREMENTS SHALL BE IN ACCORDANCE WITH SECTION 401 OF THE NHDOT STANDARD SPECIFICATIONS AND PORTSMOUTH SPECIFICATIONS.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PRIOR TO PLACING WEARING COURSE.
 - HBP - HOT BITUMINOUS PAVEMENT

4 STANDARD BITUMINOUS PAVEMENT SECTION
N.T.S.



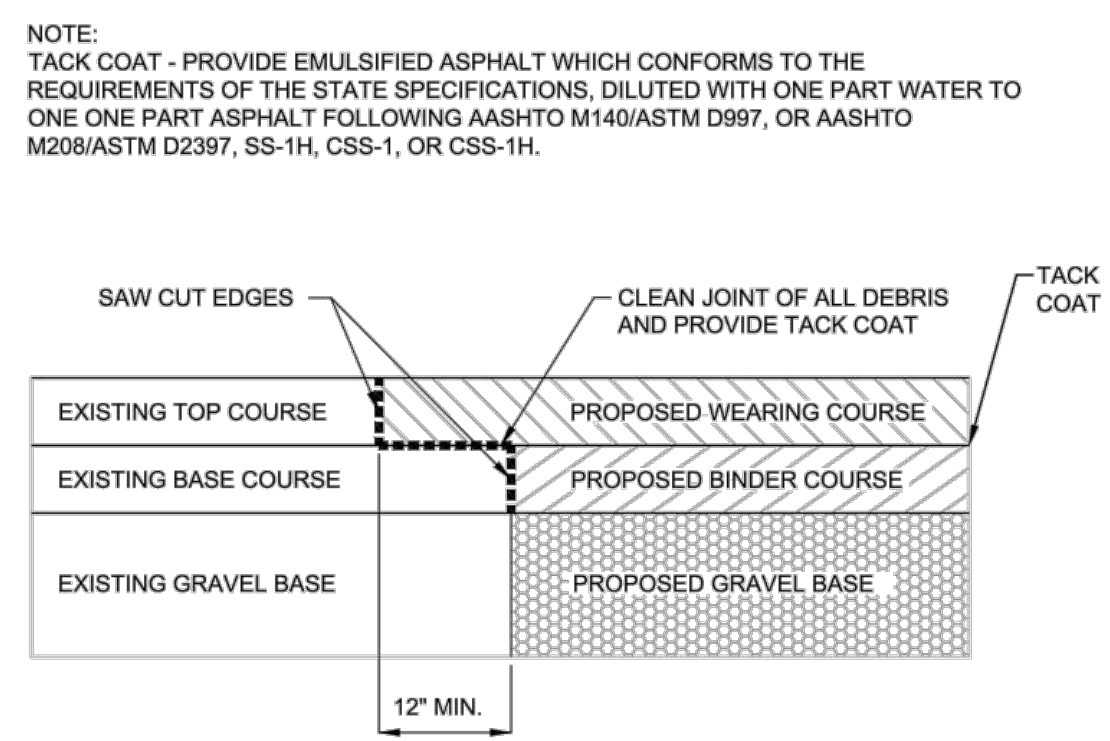
- NOTE:
- TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H. TACK COAT SHALL BE APPLIED AT A RATE OF 0.04-0.08 GAL/YD².

5 MILL AND OVERLAY PAVEMENT DETAIL
N.T.S.



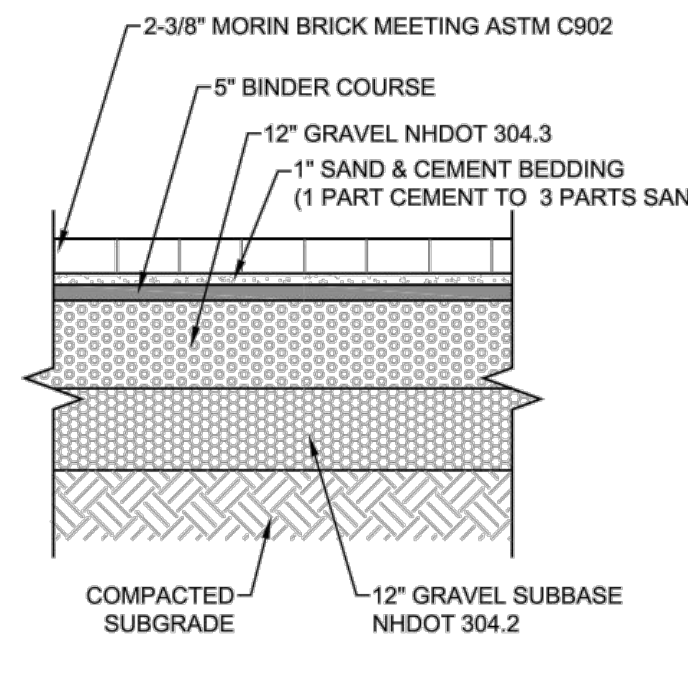
- NOTES:
- CONTRACTOR SHALL REMOVE HARD SPOTS PRIOR TO RECONSTRUCTING ROADWAY PAVEMENTS.
 - REMOVE CLAY MATERIAL IF NECESSARY TO OBTAIN A MIN. OF 12" THICK BASE.
 - RECLAIMED BASE SHALL MEET THE MATERIAL AND CONSTRUCTION REQUIREMENTS OF NHDOT 306 AND CITY SPECIFICATIONS.
 - CONTRACTOR SHALL ADD STONE AS REQUIRED TO MEET THE NHDOT SPECIFICATIONS.

6 ROADWAY SECTION WITH RECLAIMED BASE
N.T.S.



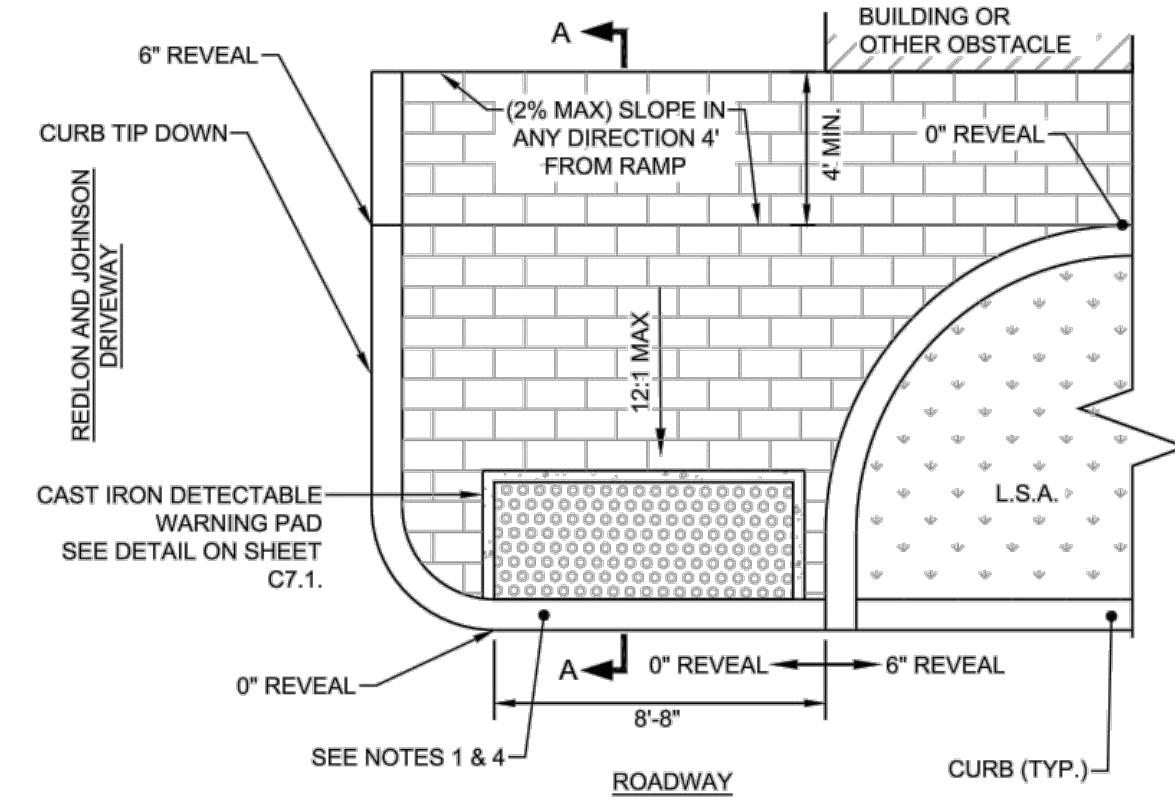
- NOTE:
- TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.

7 PAVEMENT CUT KEY DETAIL
N.T.S.



- NOTES:
- BRICK PAVERS SHALL CONFORM TO ASTM C902
 - "PEDESTRIAN AND LIGHT TRAFFIC BRICK"
 - PAVERS SHALL BE TYPE 1, CLASS SX

8 VEHICULAR PAVER SECTION
N.T.S.



- ACCESSIBLE CURB RAMP NOTES:
- RAMPS SHALL BE IN CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND STATE AND LOCAL REQUIREMENTS.
 - FOR ROADWAY CURB MATERIALS AND INSTALLATION DETAILS, SEE THIS SHEET.
 - FOR SIDEWALK DETAILS, SEE LANDSCAPE SHEETS.
 - DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP.
 - THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
 - WARNING PAD SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.

9 ACCESSIBLE CURB RAMP DETAIL
N.T.S.

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RESIDENCES AT
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138 LOT 62
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OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
YORK HARBOR, ME



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1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

STANDARD
DETAILS

C7.0



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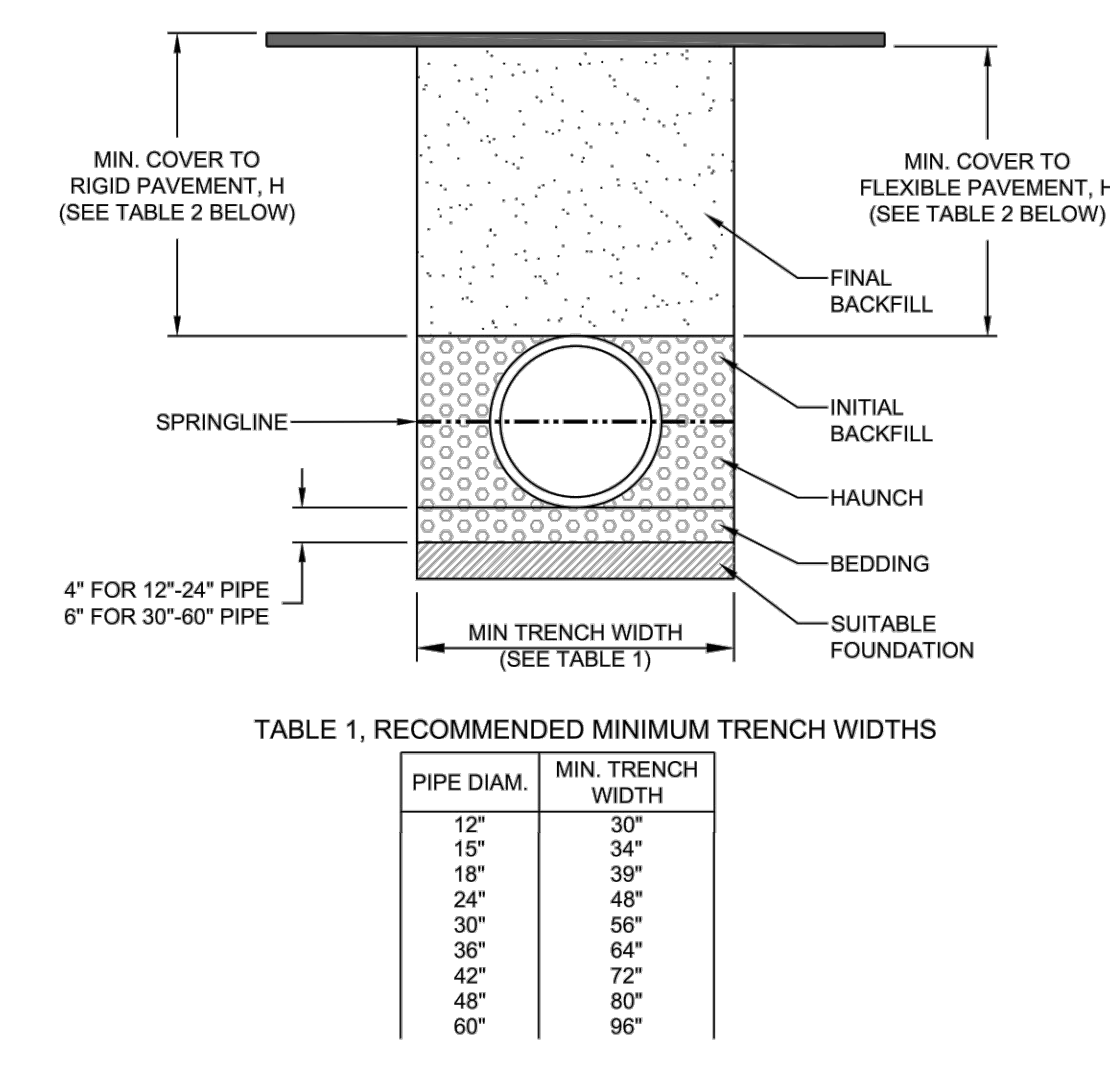
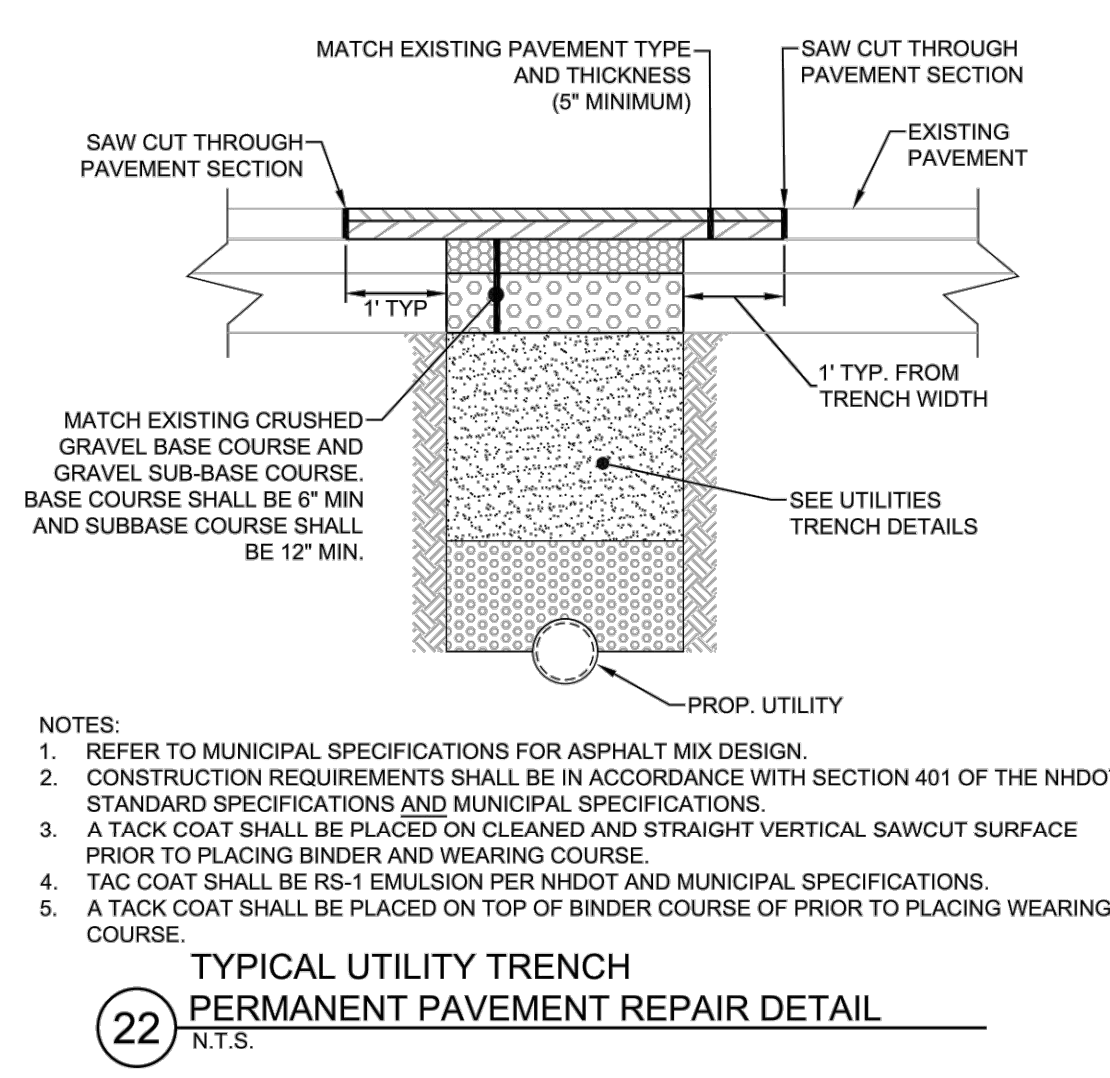
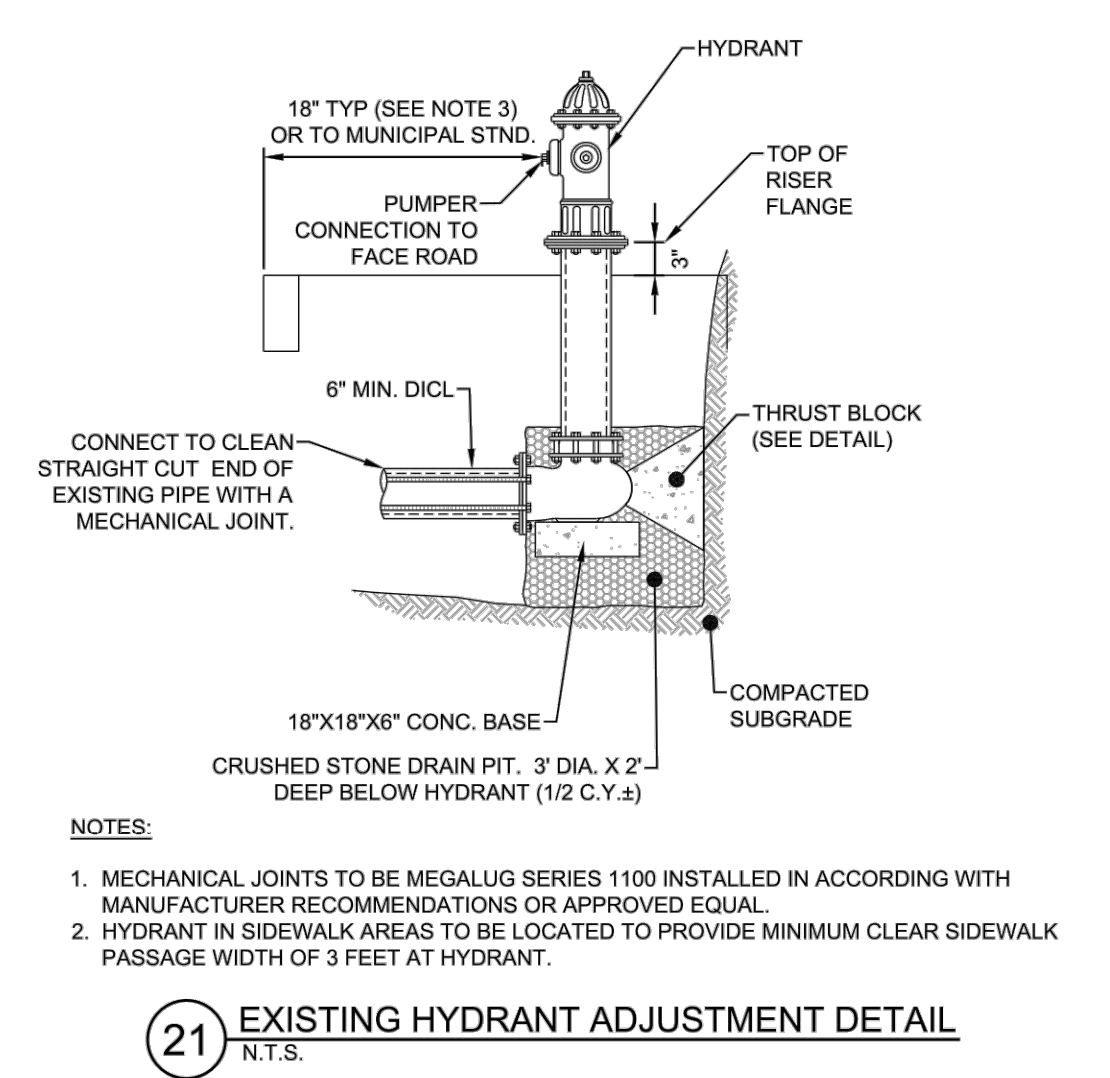
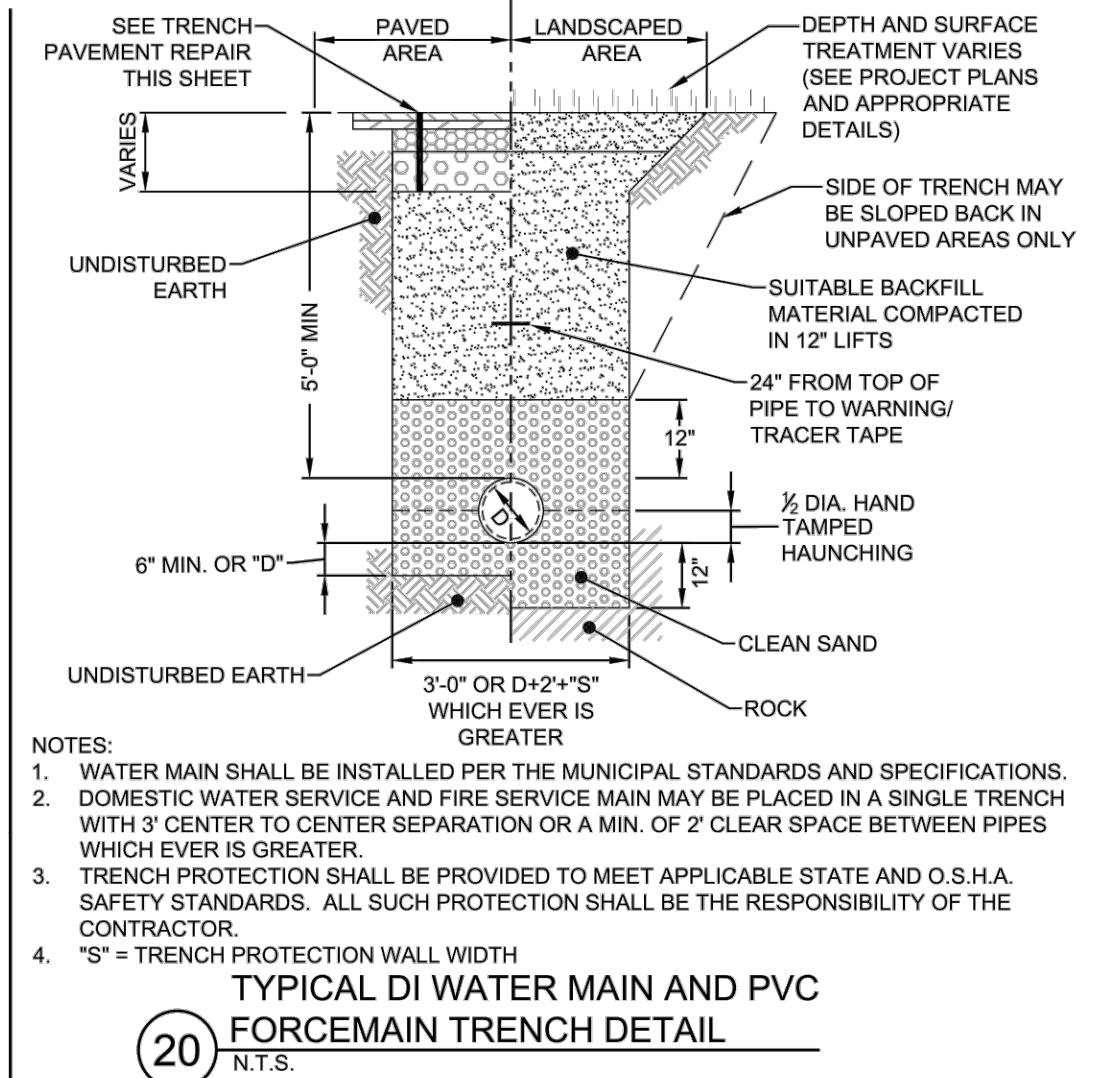


TABLE 2, MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
60"	24"	60"

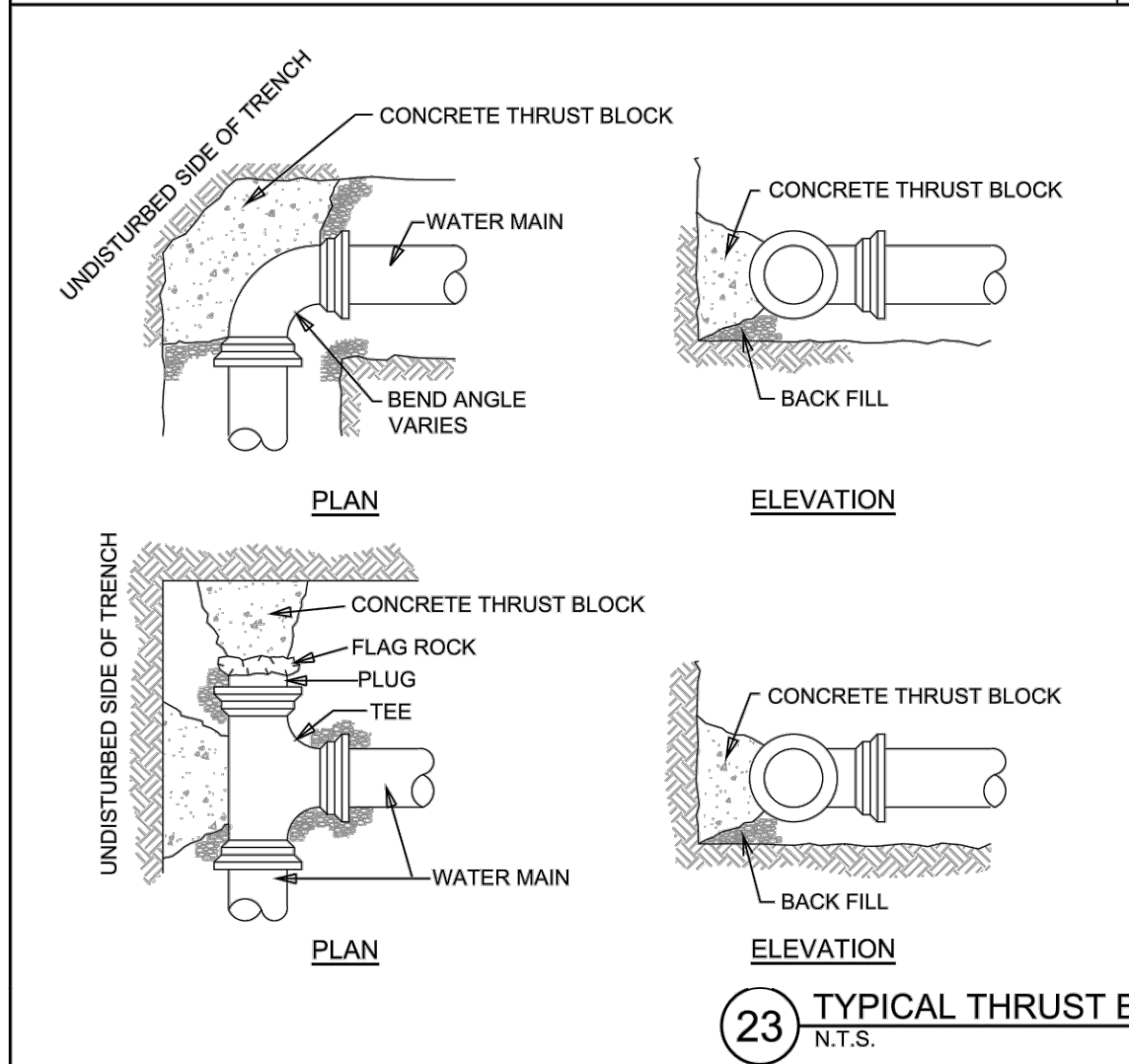
* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

TABLE 3, MAXIMUM COVER FOR ADS HP STORM PIPE, ft

PIPE DIA	CLASS I				CLASS II		CLASS III		CLASS IV	
	COMPACTED	95%	90%	85%	95%	90%	95%	90%	95%	
12"	41	28	21	16	20	16	16	16	16	
15"	42	29	21	16	21	16	16	16	16	
18"	44	30	21	16	22	17	16	16	16	
24"	37	26	18	14	19	14	14	14	14	
30"	39	27	19	14	19	15	14	14	14	
36"	28	20	14	10	14	11	10	10	10	
42"	30	21	14	10	15	11	10	10	10	
48"	29	20	14	9	14	10	10	10	10	
60"	29	20	14	9	14	10	9	9	9	

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12. LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
NO HYDROSTATIC PRESSURE
UNIT WEIGHT OF SOIL (γs) = 120 PCF

- NOTES:
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321. "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION, WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321. CLASS I/IV MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
 - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 12"-24" DIAMETER PIPE; 6" FOR 30"-60" DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
 - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED.
 - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, CLASS I OR II MATERIAL COMPACTED TO 90% SPD AND CLASS III COMPACTED TO 95% SPD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
 - FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04 IN SECTION 8 OF THE ADS DRAINAGE HANDBOOK.

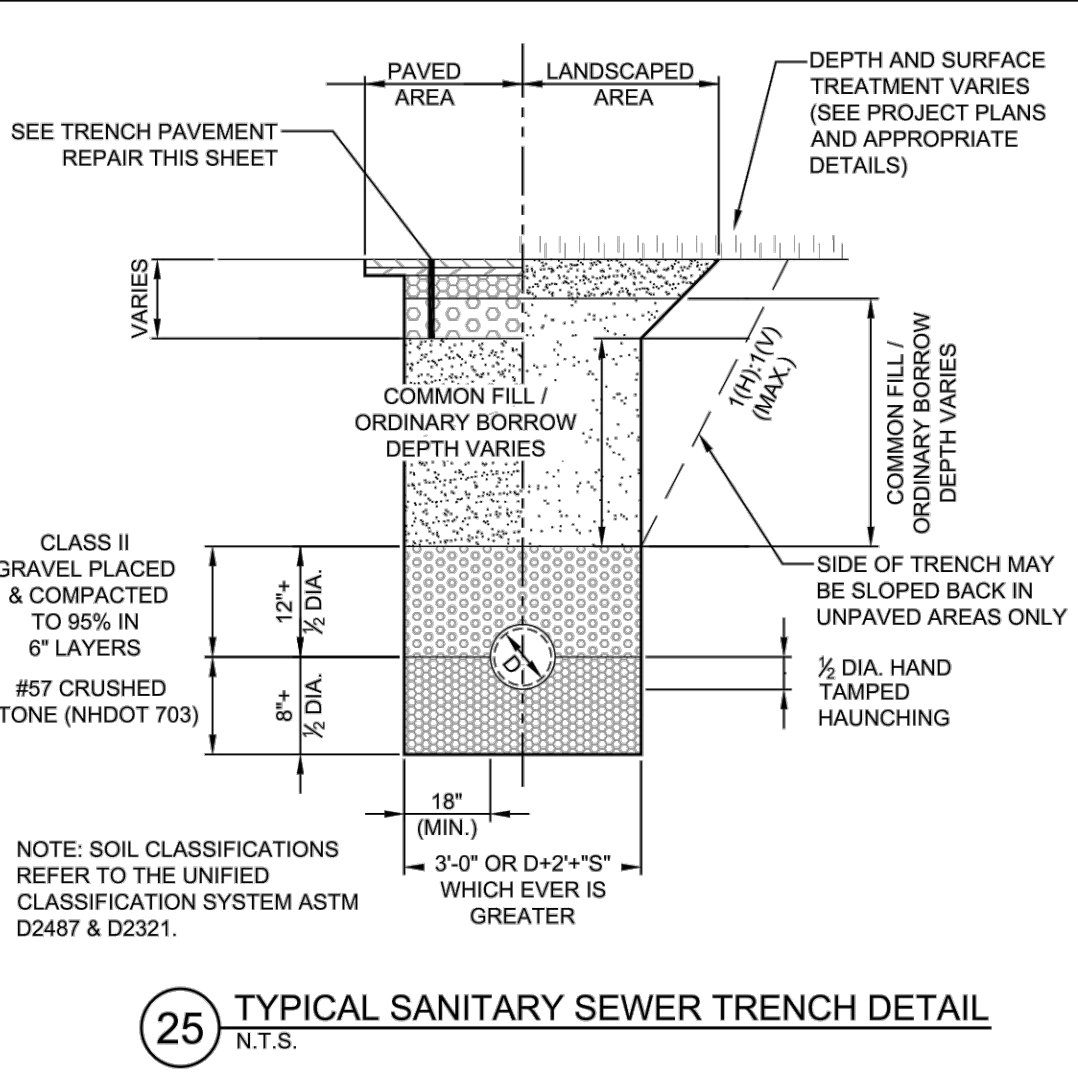
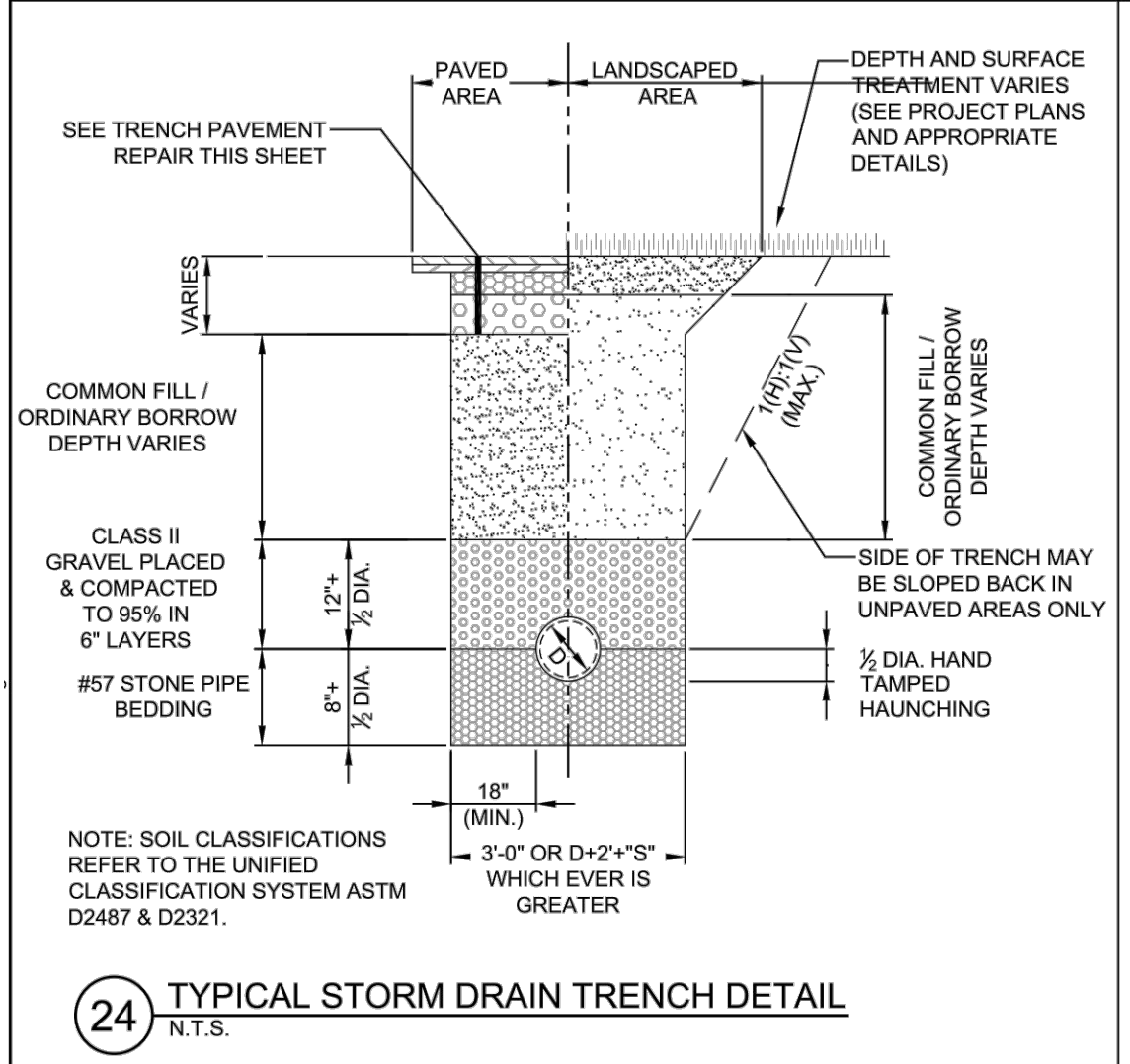


NOTES:

- ALL WATER MAIN FITTINGS, BENDS, TEES, PLUGS ETC. SHALL BE RESTRAINED W/ THRUST BLOCKS EXCEPT WHERE NOTED.
- ALL THRUST BLOCKS & COLLARS SHALL BE INSTALLED SO THAT THEY BEAR AGAINST UNDISTURBED EARTH.
- SIZE OF CONCRETE THRUST BLOCKS SHALL BE AS NOTED BELOW.
- MINIMUM COMPRESSIVE STRENGTH OF THRUST BLOCK CONCRETE SHALL BE 3,000 P.S.I.
- KEEP CONCRETE CLEAR OF MECHANICAL JOINTS.
- THE BELOW PREDICATED ON A WATER PRESSURE OF 225 PSI AND A SOIL RESISTANCE OF 2000 PSF (TILL). FOR OTHER SOILS THE VALUES IN THE BELOW TABLE SHALL BE MULTIPLIED BY:

PIPE DIAMETER	90° BEND (SQ. FT.)	45° BEND (SQ. FT.)	22.5° BEND (SQ. FT.)	TEES, PLUGS, CAPS & HYDRANTS (SQ. FT.)
6"	5	3	2	4
8"	8	5	3	6
10"	13	7	4	9
12"	18	10	5	13

SOFT CLAY 4
SAND 2
SAND & GRAVEL 1.33
SHALE 0.4



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138 LOT 62**

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7 BANKS ROCK ROAD
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2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

SITE PLAN REVIEW

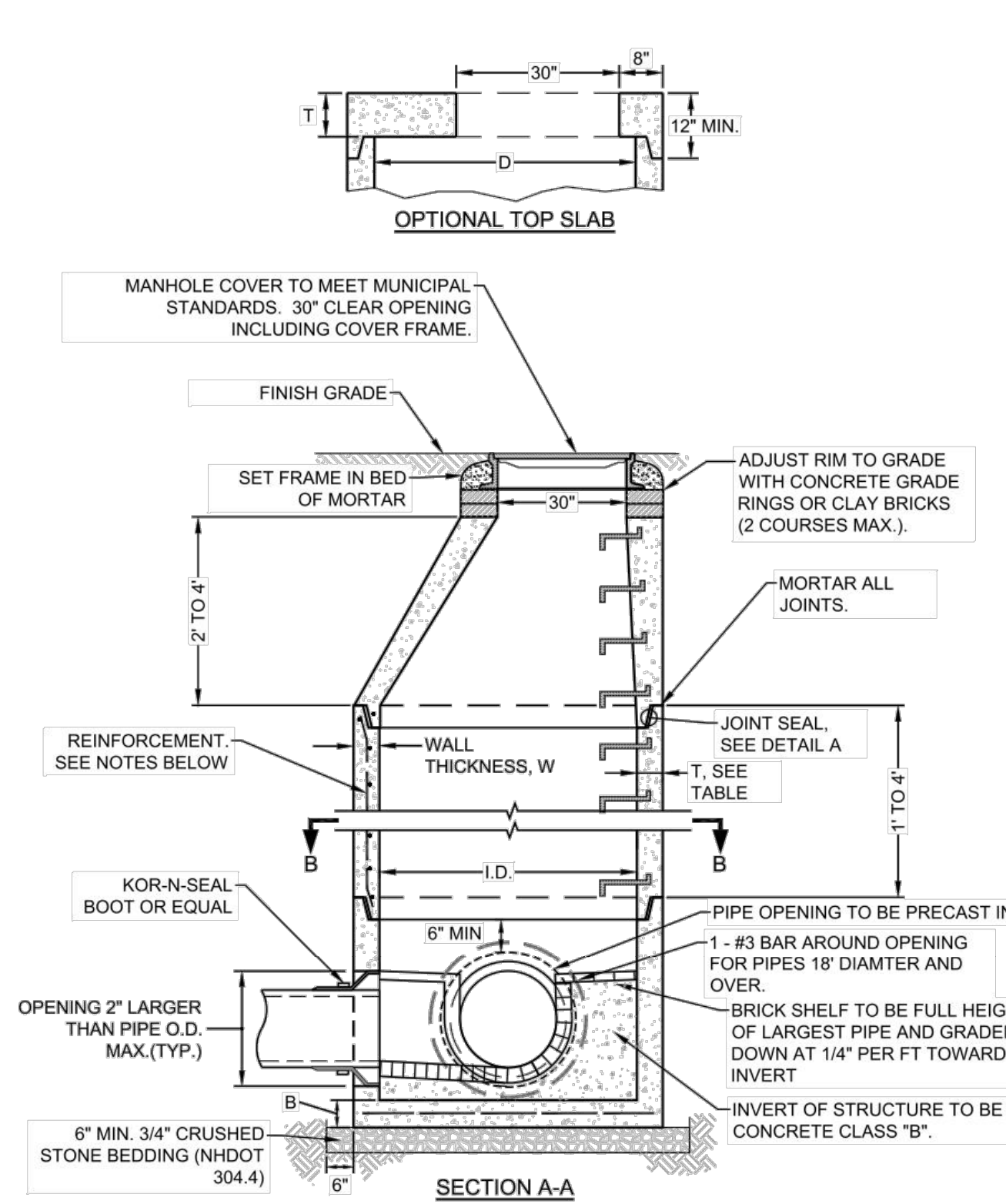
**STANDARD
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C7.2

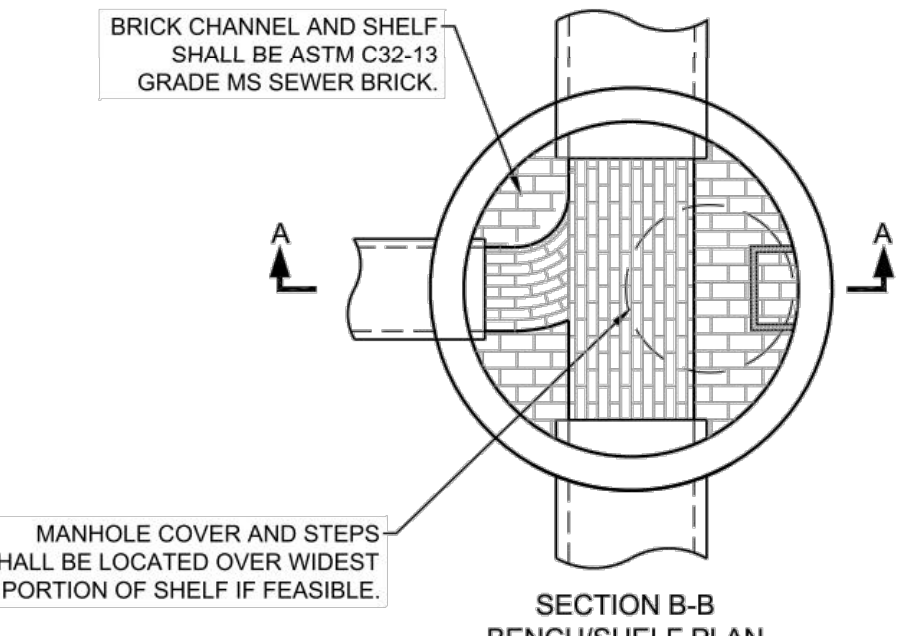


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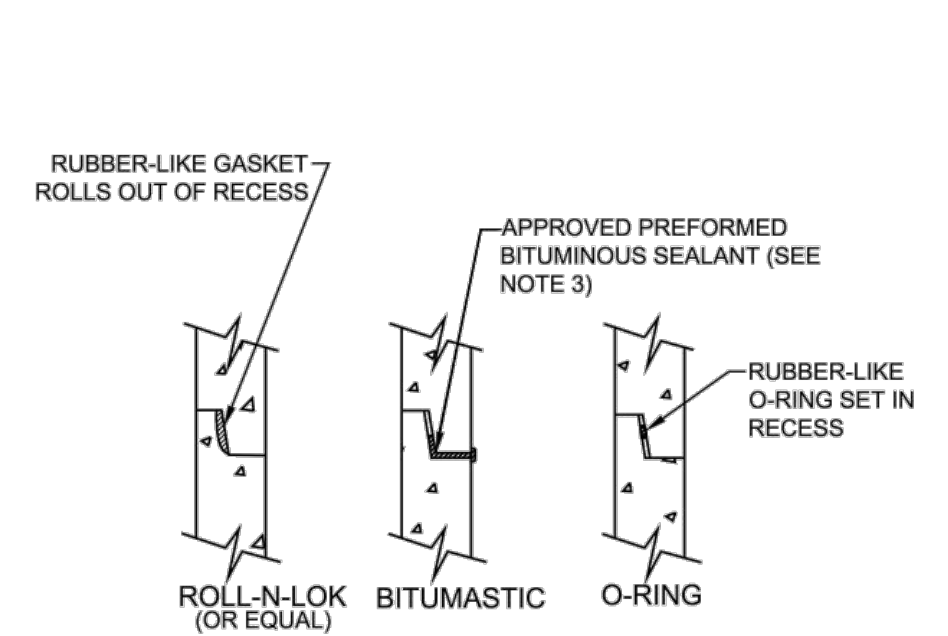
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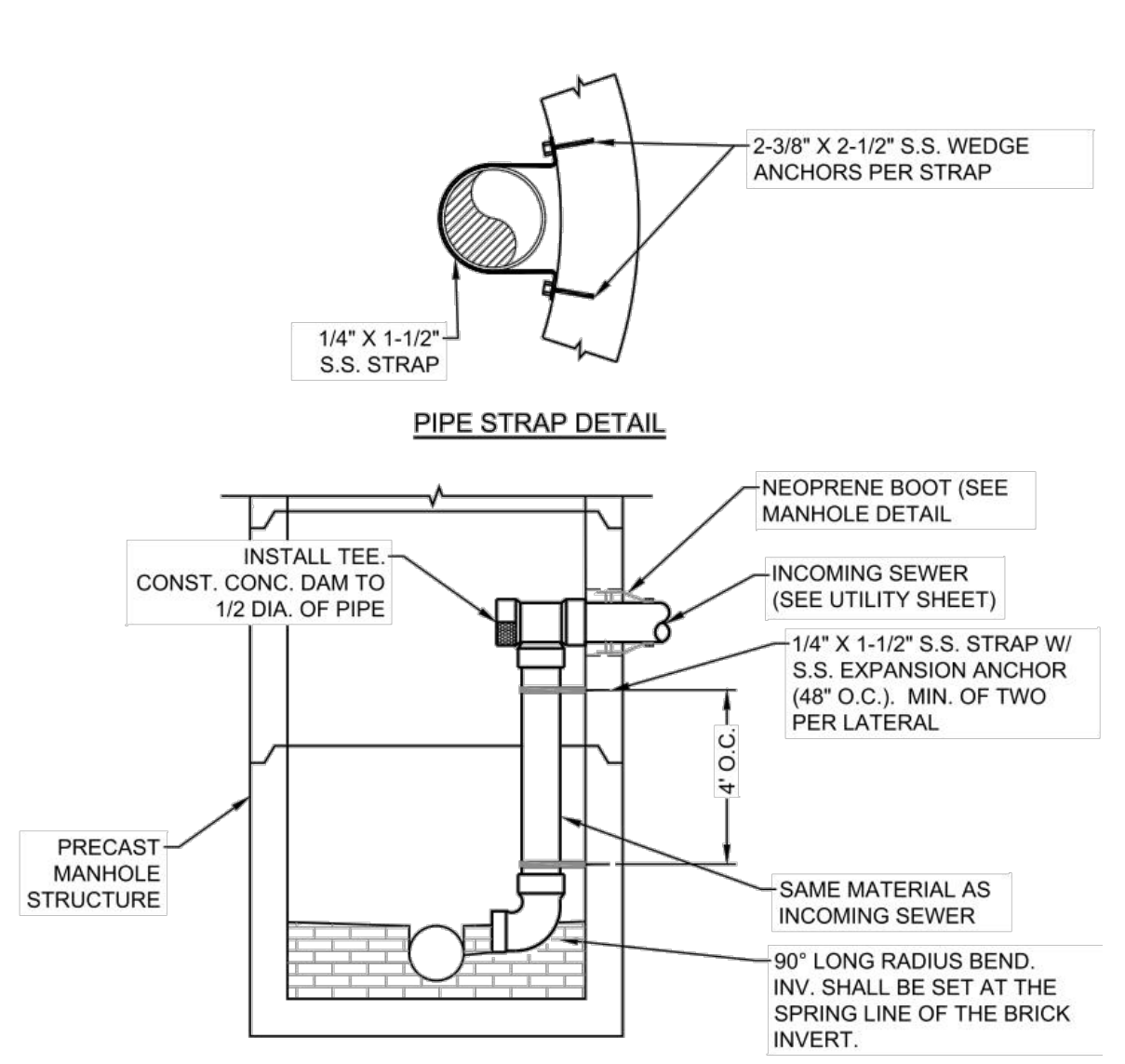
I.D. (IN)	W (IN)	B (IN)	T (IN)
48	5	6	8
60	6	8	8
72	7	8	8
84	9	10	10
96	9	10	12
108	10	10	12
120	11	10	12



- NOTES:
- MANHOLE I.D. SHALL BE 48" UNLESS STATED OTHERWISE ON PLANS.
 - THESE MANHOLE DETAILS TO BE USED FOR BOTH SANITARY SEWER AND STORM DRAIN MANHOLES.
 - PRECAST MANHOLES SHALL CONFORM TO AASHTO M199/ ASTM C478 SPECIFICATIONS.
 - REINFORCEMENT:
 - DEFORMED BARS SHALL CONFORM TO ASTM A-615 GRADE 60.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185
 - ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 - REIN. STEEL SHALL HAVE 1" MINIMUM COVER.
 - THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FOOT.
 - THE STRUCTURES SHALL BE DESIGNED FOR HS 20-44 LOADING.
 - CRUSHED STONE BEDDING SHALL CONFORM TO NHDOT 304.4.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 - ALL STRUCTURES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND NO HOLES CLOSER THAN 6" TO JOINTS.
 - SANITARY SEWER MANHOLES SHALL HAVE AN EXTERIOR ASPHALTIC WATER PROOF COATING APPLIED (2 COATS MIN.).
 - BASE SHALL BE A SINGLE POUR MONOLITHIC SECTION TO A MINIMUM OF 6" PIPE OPENING
 - INVERTS AND SHELVES:
 - BRICK SHALL BE ASTM C32-13 GRADE MS SEWER BRICK
 - BRICK SHELVES SHALL BE CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW.
 - AT CHANGES IN DIRECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO WALL OF THE PIPE.
 - SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE CHANNEL
 - INVERTS AND SHELVES SHALL ONLY BE PLACED AFTER LEAKAGE TESTS ARE PERFORMED.
 - FRAMES AND COVERS:
 - FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN
 - 4" (MINIMUM) HEIGHT LETTERS SHALL BE USED FOR COVER LETTERS. SEWERS SHALL HAVE "SEWER" AND STORM DRAIN COVERS SHALL HAVE "DRAIN" CAST INTO THE CENTER OF EACH COVER.
 - LEAKAGE TEST SHALL CONFORM TO MUNICIPAL SPECIFICATIONS.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS.



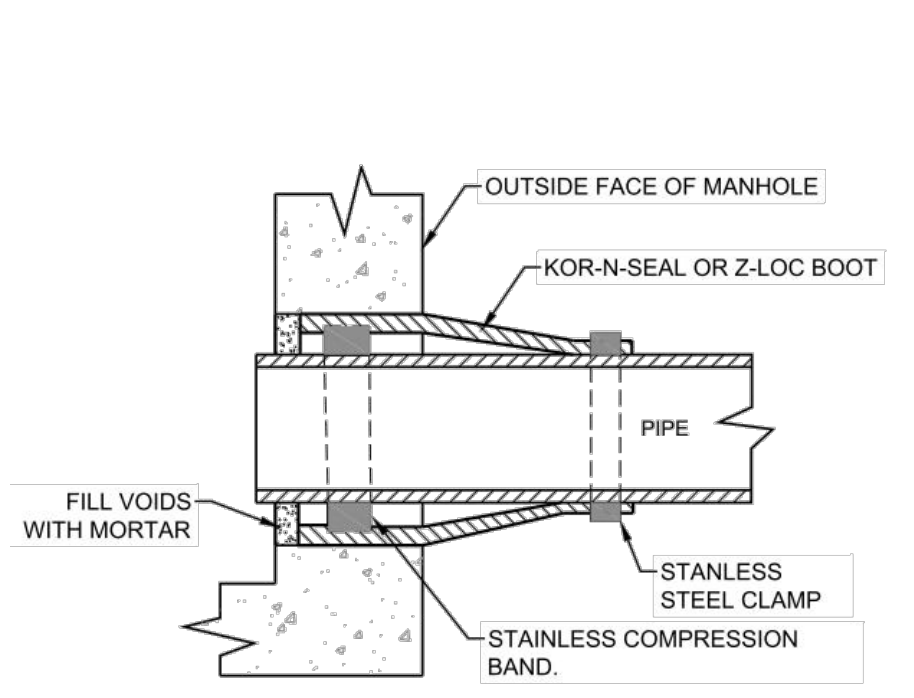
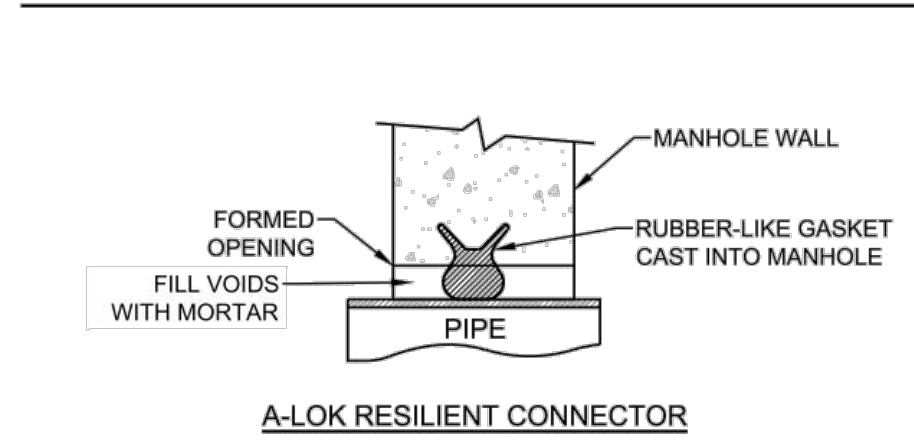
- NOTES:
- FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 - HORIZONTAL JOINT SEAL SHALL BE PREFORMED BITUMASTIC SEALANT OR RUBBER-LIKE O-RINGS AND INSTALLED ACCORDING TO THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS.
 - HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER THE CITY OF PORTSMOUTH STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE GASKET.



- NOTE:
- INTERIOR MANHOLE DROP SHALL ONLY BE INSTALLED IN 6" DIA. OR LARGER MANHOLES.
 - DROP CONNECTION SHALL BE USED WHERE THE INCOMING PIPE INVERT IS 24" HIGHER THAN BRICK OUTLET PIPE INVERT.
 - DROP PIPE AND FITTINGS SHALL BE THE SAME MATERIAL AND DIAMETER OF INCOMING PIPE.
 - ALL HARDWARE SHALL BE STAINLESS STEEL (S.S.).
 - STAINLESS STEEL SHALL BE TYPE 304 FOR STORM WATER STRUCTURES AND TYPE 316 FOR SANITARY SEWER STRUCTURES.
 - DROP PIPE INVERT ELEVATIONS:
 - WHEN DROP PIPE DIA. IS EQUAL TO THE MANHOLE OUTLET PIPE THEN THE DROP INVERT SHALL BE 0.1' ABOVE OUTLET INVERT.
 - WHEN DROP PIPE DIA. IS LESS THAN OUTLET PIPE DIA. THEN DROP INVERT SHALL BE SET AT THE MID POINT OF THE BRICK SHELF.
 - SEE TYPICAL MANHOLE DETAIL FOR MANHOLE CONSTRUCTION.

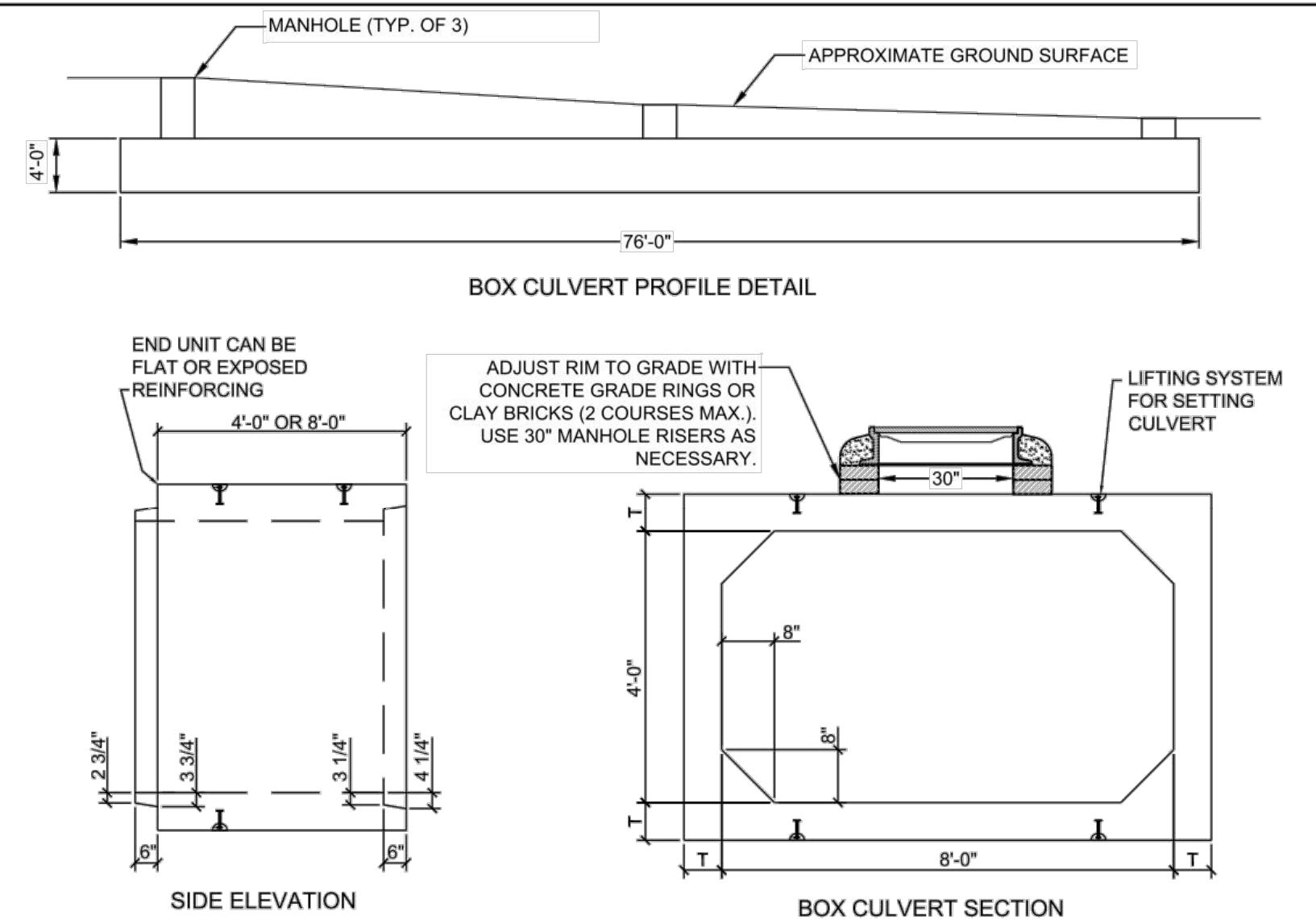
27 TYPICAL PRECAST CONCRETE JUNCTION MANHOLE N.T.S.

28 TYPICAL MANHOLE INTERIOR MANHOLE DROP CONNECTION N.T.S.



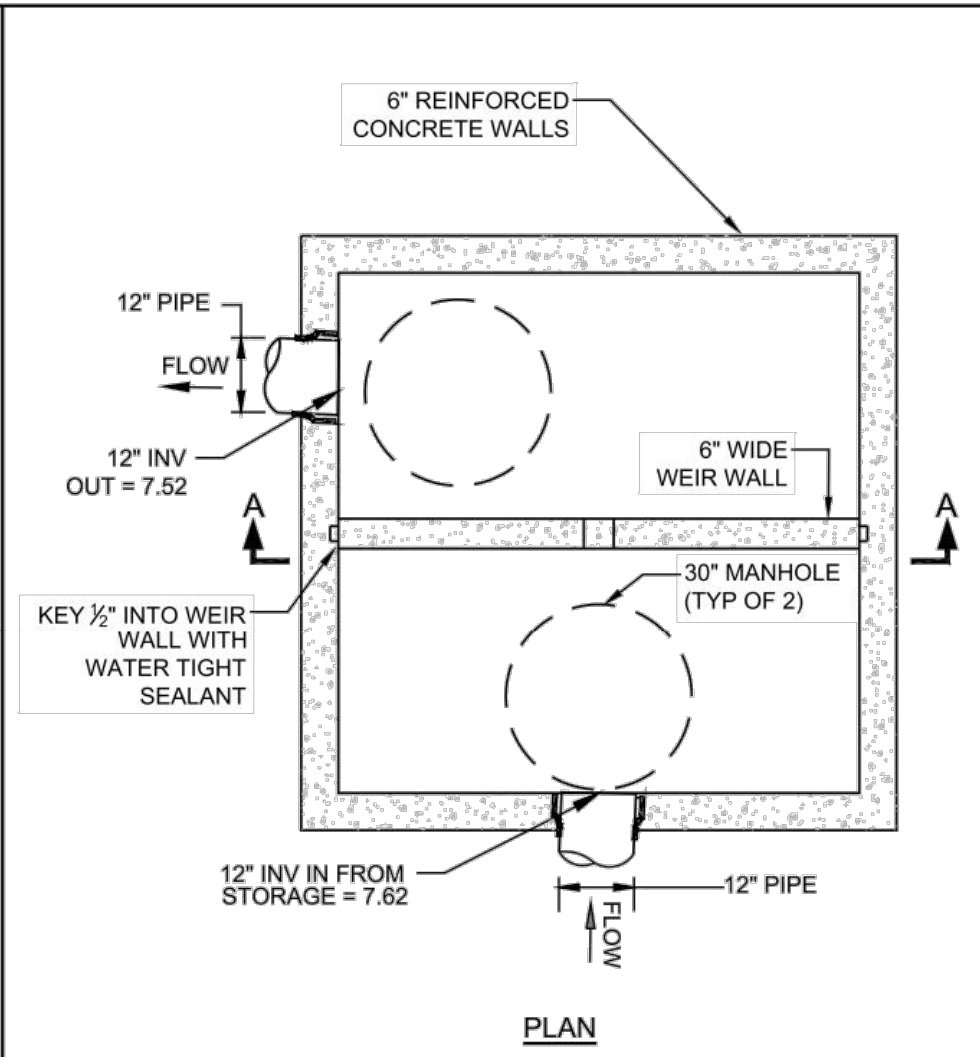
- NOTE:
- SEALS SHALL CONFORM TO ASTM C923.
 - STAINLESS STEEL SHALL BE TYPE 304
 - CONNECTOR SEALS SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS AND INSTRUCTIONS.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARDS.

29 PIPE CONNECTION TO PRECAST MANHOLE STRUCTURES N.T.S.



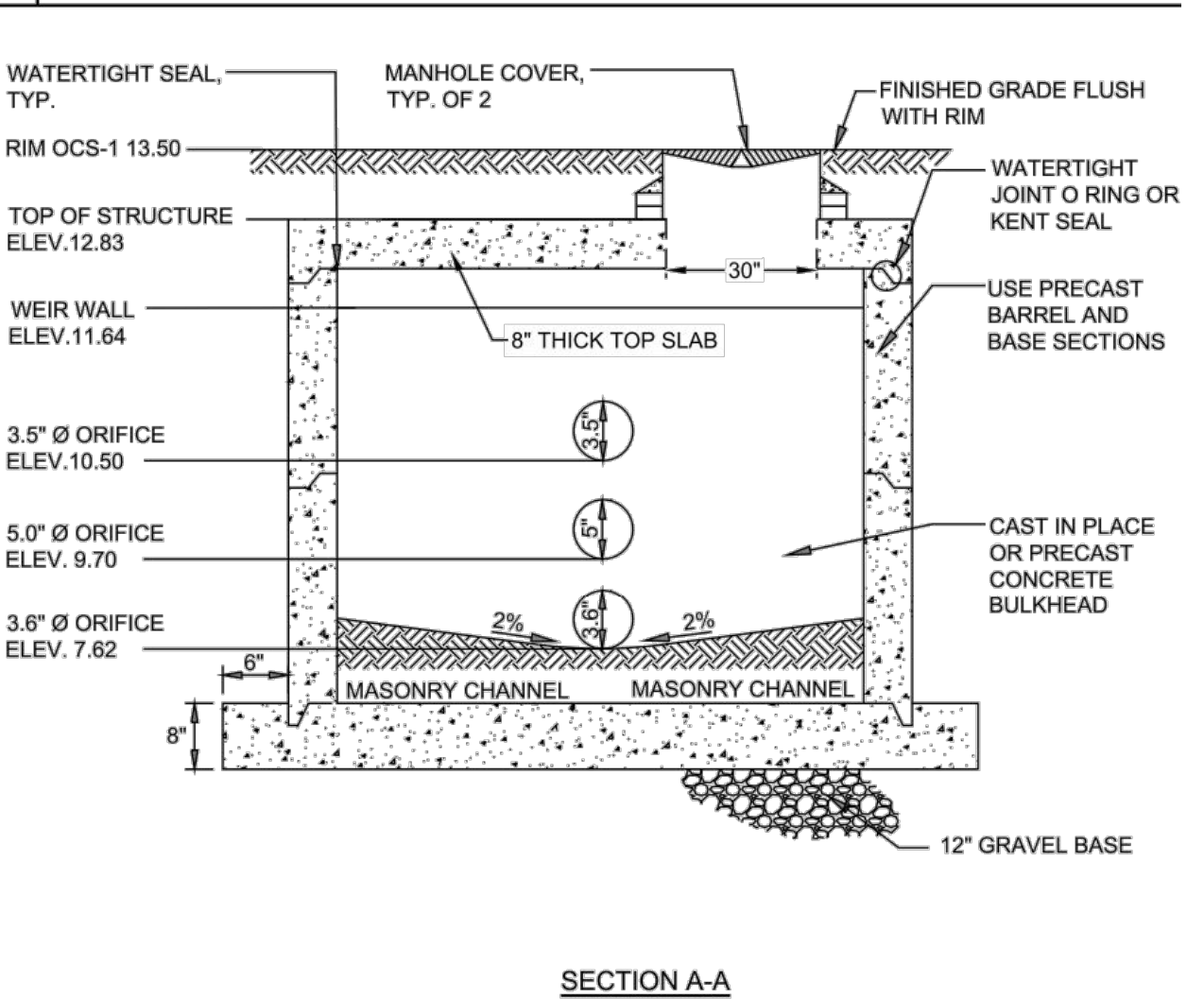
- NOTES:
- BOX CULVERT SHALL BE DESIGNED FOR HS-20-44 LOADING AND TO PREVENT FLOTATION IF FULLY SUBMERGED.
 - CULVERT SHALL CONFORM TO AASHTO M273
 - ALL SECTIONS TO BE JOINED WITH SS 304 FASTENERS. HARDWARE TO BE DESIGNED BY THE PRECAST MANUFACTURER.
 - CONCRETE DESIGN STRENGTH SHALL BE 5000 PSI.
 - REINFORCEMENT:
 - DEFORMED BARS SHALL CONFORM TO ASTM A-615 GRADE 60.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 - GRADE 70
 - REFER TO DETAIL 29 FOR PIPE CONNECTION DETAIL.
 - MANHOLES TO BE PLACED AT ALL PIPE CONNECTIONS.
 - SEE PLAN FOR MANHOLE ENTRANCE LOCATIONS.
 - THE STRUCTURE SHALL BE DESIGNED FOR HS 20-44 LOADING.

30 8'x4'x7' DETENTION BOX DETAIL N.T.S.



- NOTES:
- PRECAST BOX STRUCTURE SHALL CONFORM TO ASTM C913 SPECIFICATIONS.
 - SEE DETAIL TITLE PIPE CONNECTION TO PRECAST MANHOLE STRUCTURES (THIS SHEET).
 - REINFORCEMENT:
 - DEFORMED BARS SHALL CONFORM TO ASTM A-615 GRADE 60.
 - WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185-GRADE 70
 - ALL SECTIONS SHALL BE 5,000 PSI CONCRETE.
 - REIN. STEEL SHALL HAVE 1" MINIMUM COVER.
 - THE STRUCTURE SHALL BE DESIGNED FOR HS 20-44 LOADING AND TO PREVENT FLOTATION IF FULLY SUBMERGED.
 - CRUSHED STONE BEDDING SHALL CONFORM TO NHDOT 304.4.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.

31 6'x6' OUTLET CONTROL STRUCTURE N.T.S.



PERMIT PLANS - NOT FOR CONSTRUCTION



GREENMAN-PEDERSEN, INC. LANDSCAPE ARCHITECT PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC. STRUCTURAL ENGINEER PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC. MFPF ENGINEER WOBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS ELECTRICAL ENGINEER DERRY, NEW HAMPSHIRE

RESIDENCES AT FOUNDRY PLACE, LOT 6: 181 HILL ST, ASSESSORS MAP 138 LOT 62 PORTSMOUTH, NH 03801

OWNER: Deer Street Associates

7 BANKS ROCK ROAD YORK HARBOR, ME



PROJECT NUMBER 3256.16
DATE OF ISSUE -
DRAWN BY CG
CHECKED BY DER
SCALE NTS

NO.	DESCRIPTION	DATE
1	TAC PUBLIC HEARING	6/15/17
2	TAC PUBLIC HEARING	8/21/17
3	TAC PUBLIC HEARING	8/28/19

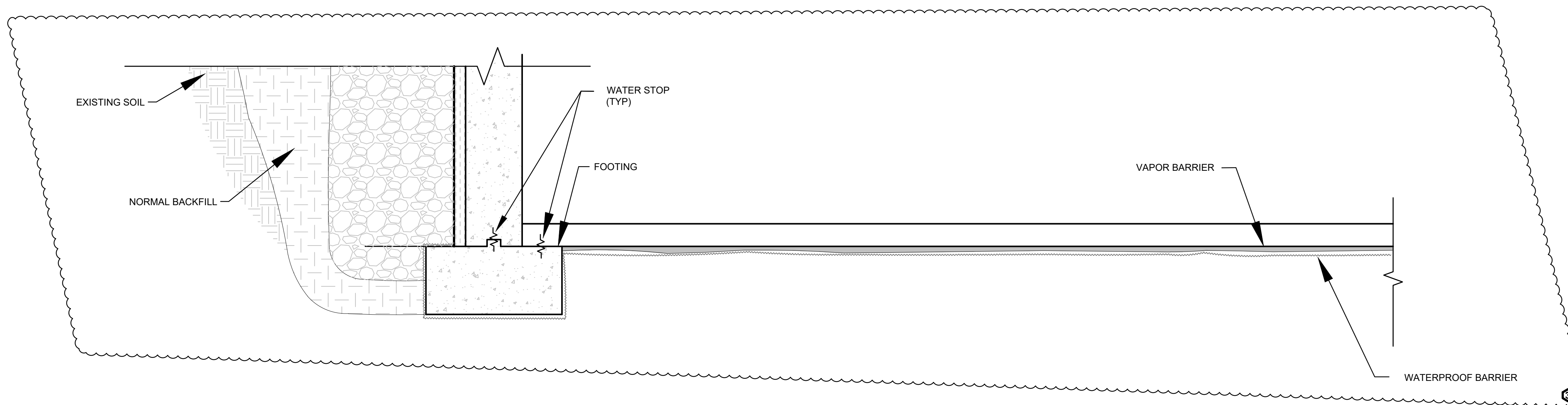
SITE PLAN REVIEW

STANDARD DETAILS

C7.3



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33 SUB SLAB WATERPROOFING SECTION
N.T.S.



GREENMAN-PEDERSEN, INC.
LANDSCAPE ARCHITECT
PORTSMOUTH, NEW HAMPSHIRE

JSN ASSOCIATES, INC.
STRUCTURAL ENGINEER
PORTSMOUTH, NEW HAMPSHIRE

ENGINEERED SYSTEMS INC.
MPPP ENGINEER
WOBURN, MASSACHUSETTS

ENGINEERED BUILDING SYSTEMS
ELECTRICAL ENGINEER
DERRY, NEW HAMPSHIRE

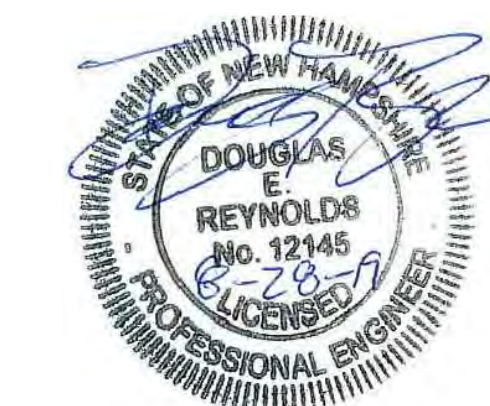
**RESIDENCES AT
FOUNDRY PLACE,
LOT 6: 181 HILL ST,
ASSESSORS MAP
138 LOT 62**

PORTSMOUTH, NH 03801

OWNER:

Deer Street Associates

7 BANKS ROCK ROAD
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REVISIONS

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SITE PLAN REVIEW

**FOUNDAIN
WATERPROOFING**

C7.4



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