

**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

February 3, 2026

Mr. Peter Britz, Director of Planning & Sustainability  
City of Portsmouth Planning & Sustainability Department  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Application for TAC Work Session  
Proposed 18-Unit Multi-Family Residential Development  
181 Hill Street  
Portsmouth, NH**

Mr. Britz:

On behalf of Hill Hanover Group LLC and C/O JPK Properties LLC (Owner/Applicant), Altus Engineering, LLC (Altus) is pleased to submit the following materials in support of a Request for TAC Work Session for the Proposed 18-Unit Multi-Family Residential Development at 181 Hill Street. The project is located on a parcel of land between bound by Hanover Street to the south, Hill Street to the north, Autumn Street to the East, and an existing multi-family building to the west. The lot is identified as Map 125, Lot 14 on the City of Portsmouth Tax Maps and consists of approximately 16,127 square feet (0.37 acres) and is located within the Character District CD4-L1.

The site is currently developed with three dilapidated residential buildings. Each building is similar in size and massing, consisting of four residential units per building, for a total of twelve (12) existing dwelling units. Surface parking is currently provided along Hill Street, Autumn Street, and within driveways located between the buildings.

The proposed redevelopment includes a single three-story residential structure with a footprint area of approximately 9,378 square feet. The project proposes eighteen (18) residential units and includes an underground parking garage with 17 spaces and 6 surface spaces for a total of 23 parking spaces. This provides the required parking for the development on site.

As shown on the project plans, there are five variances that have been identified which will require Zoning Relief. It is understood that

- Front lot line build-out - to allow 88.2% where 60%-80% is required.
- Open space - to allow 12.0% where 25% is required.
- Building footprint - to allow  $9,380 \pm$  square feet where 2,500 is allowed
- Lot use - to allow an 18-unit multi-family building where 8 unit max building is allowed.
- Density - to allow a density of 1 unit per  $\pm 896$  square feet where 3,000 is required.

We look forward to meeting with the Technical Advisory Committee in a work session to review the project and receive feedback on the site development prior to details design and a formal site plan review application. Items we would appreciate consideration by TAC include the following:

- Setbacks
  - Hanover Street = Primary Frontage
  - Autumn Street = Secondary Frontage
  - Hill Street = Rear (Private access)
  - West Side = Side
- Utility connection locations to municipal sewer and water
- Stormwater management requirements
- Parking – Development to provide 23 on-site parking spaces (22 required).
  - Three new spaces will be available on Hanover Street by filling sidewalk gaps.
- Open Space requirements – increase existing 4.5% to 12%
- Lighting requirements
- Potential sidewalk/ walkway along Autumn Street (private / public)
- Sidewalk along Hanover Street – reconstruct to city standards within City R/W?
  - This would require narrowing Hanover Street
- Snow & Trash Removal – To be provided by Private contractor
- ADA Accessibility–
  - Single ADA entrance to building on Hanover Street
  - Rear door to Hill Street be emergency egress only
  - External ADA Van stall and internal ADA stall
  - Elevator to provide access from basement /entrance levels
- First floor elevation above sidewalk grade – how is it measured?
- Are there other variances that TAC would anticipate being required?
- Any other considerations or concerns?

We appreciate the opportunity to meet with TAC and to discuss this project. Please contact me directly if you have any questions or require any additional information.

Sincerely,  
**ALTUS ENGINEERING, LLC**



Cory D. Belden, P.E.  
Principal

# Site Redevelopment Plans

## PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

181 HILL STREET  
PORTSMOUTH, NH 03801

TAX MAP 125, LOT 14

### Owner/ Applicant:

HILL-HANOVER GROUP LLC  
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125  
PORTSMOUTH, NH 03801

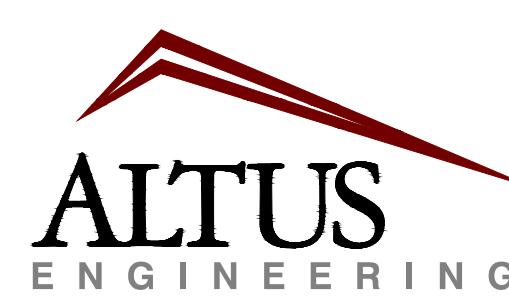
### Architect:

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274



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McHENRY ARCHITECTURE

### Civil Engineer:



133 Court Street  
(603) 433-2335  
Portsmouth, NH 03801  
[www.altus-eng.com](http://www.altus-eng.com)

### Surveyor:



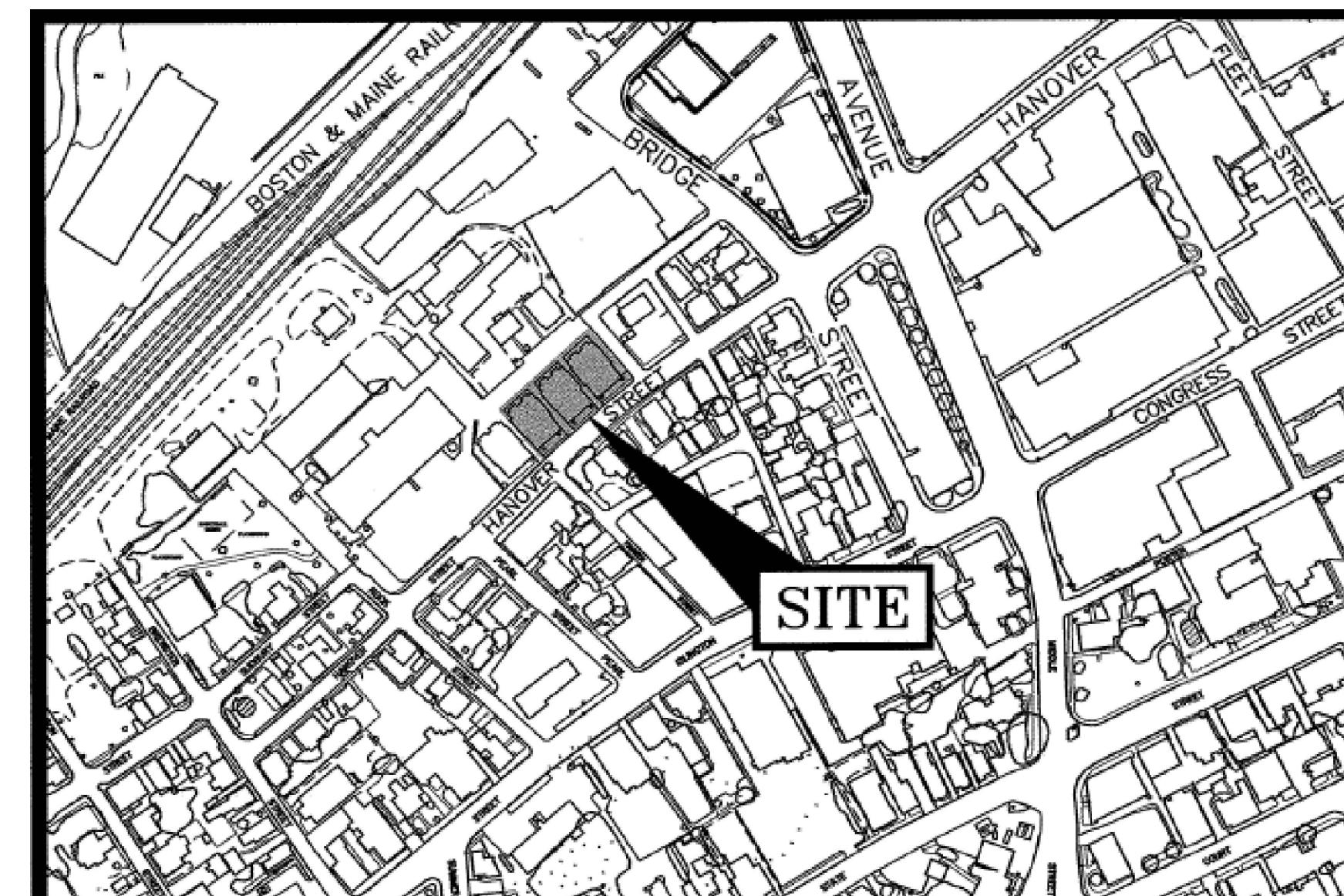
AMBIT ENGINEERING, INC.  
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

### Issued for:

FEBRUARY 3, 2026

TAC WORK SESSION



Locus Map  
Scale: Not to Scale

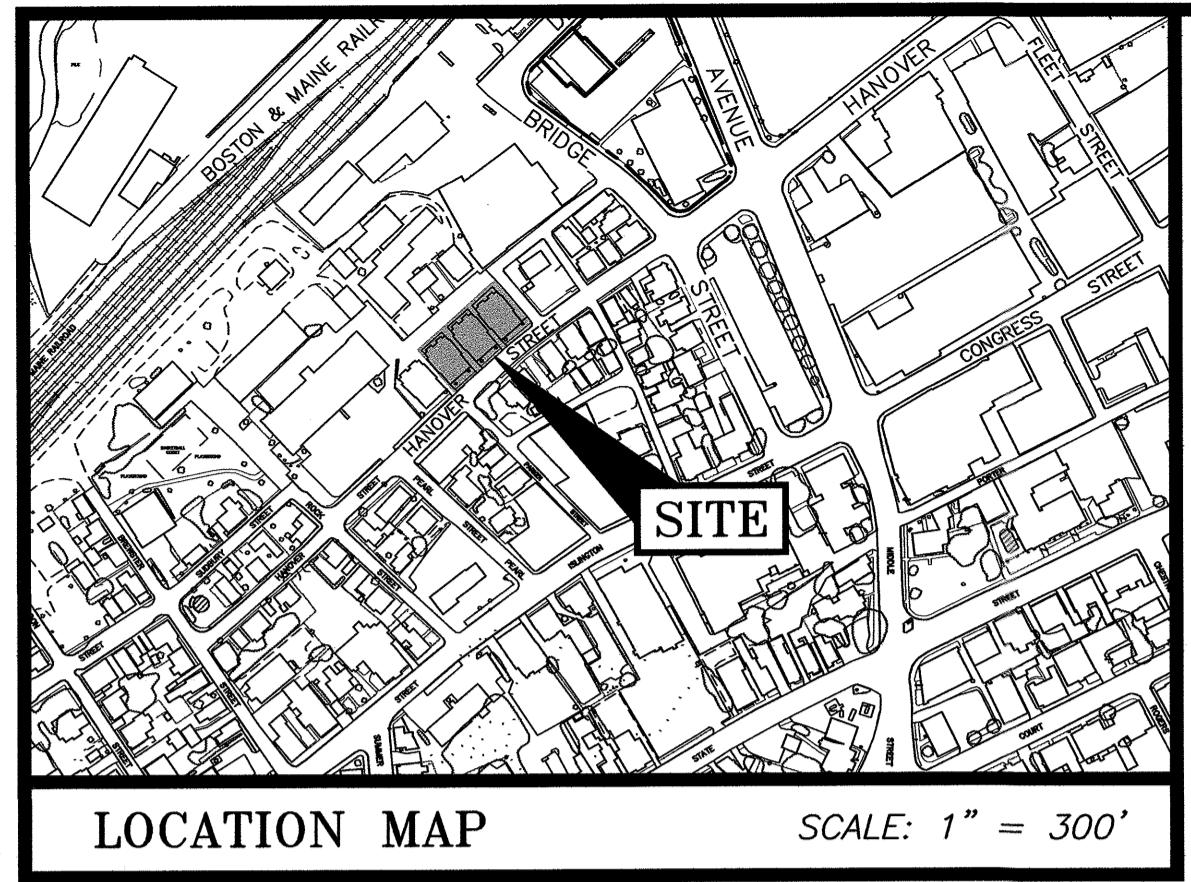
### Sheet Index

#### Title

	Sheet No.:	Rev.	Date
Existing Conditions Plan (by AMBIT)	C1	0	09/27/21
Site Plan	C.2	0	02/03/26
Utilities Plan	C.3	0	02/03/26
Neighborhood Plan	C.4	0	02/03/26
Construction Details	C-5	0	02/03/26
Construction Details	C-6	0	02/03/26
Construction Details	C-7	0	02/03/26
Construction Details	C-8	0	02/03/26
Architectural Plans (by Portsmouth Architects)			
Existing Context - Perspectives	A-1	0	02/03/26
Existing Context - Approach	A2-A3	0	02/03/26
Conceptual Massing	A4	0	02/03/26
Conceptual Hanover St Elevation	A5	0	02/03/26
Basement Floor Plan	A6	0	02/03/26
1st Floor Plan	A7	0	02/03/26
2nd & 3rd Floor Plan	A8	0	02/03/26

### VARIANCES REQUIRED

- FRONT LOT LINE BUILD-OUT - TO ALLOW 88.2% WHERE 60%-80% IS REQUIRED.
- OPEN SPACE - TO ALLOW 12.0% WHERE 25% IS REQUIRED.
- BUILDING FOOTPRINT - TO ALLOW 9,380± SQUARE FEET WHERE 2,500 IS ALLOWED.
- LOT USE - TO ALLOW 18 UNIT MULTI-FAMILY BUILDING WHERE 8 UNIT MAX MULTI-FAMILY BUILDING IS ALLOWED.
- DENSITY - TO ALLOW A DENSITY OF 1 UNIT PER ±896 SQUARE FEET WHERE 3,000 IS REQUIRED.



## LOCATION MAP

SCALE: 1" = 300'

## PLAN REFERENCES:

- 1) LOT LINE RELOCATION PLAN TAX MAP 125, LOT 14 & TAX MAP 138, LOT 62, OWNERS OF RECORD: HILL HANOVER GROUP, LLC c/o JPK PROPERTIES, LLC 1 NEW HAMPSHIRE AVENUE. #125 FOR DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2013, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38162.
- 2) UTILITY EASEMENT PLAN TAX MAP 125 – LOT 14 & TAX MAP 138 – LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES TO THE CITY OF PORTSMOUTH, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38163.
- 3) PARKING EASEMENT PLAN TAX MAP 125 – LOT 14 & TAX MAP 138 – LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 12, 2014. R.C.R.D. PLAN D-38164.

## ABUTTERS:

125 10	125 11	125 16	126 29	126 40
N/F	N/F	N/F	N/F	N/F
JEFFREY S. NAWROCKI REVOCABLE TRUST 2001 1 AUTUMN STREET PORTSMOUTH, NH 03801 4042/2931	136 HILL STREET CONDOS C/O PATRICK & DEANNA BOWER 17 CENTRAL STREET METHUEN, MA 01844	JOHN W. GRAY REVOCABLE TRUST 579 SAGAMORE AVENUE UNIT 100 PORTSMOUTH, NH 03801 3895/0653	G. EDWARD GOWEN JR. 33 GREAT BAY ROAD GREENLAND, NH 03840 4327/2531	SHERRY L. & JEFFREY A. WOOD 280 LOCKE ROAD RYE, NH 03870 5206/1770
126 42	126 43	138 62	138 63	138 64
N/F	N/F	N/F	N/F	N/F
LAURA A. CURRIER & JOHN CARTY 324 HANOVER STREET PORTSMOUTH, NH 03801 6008/0116	CHRISANTHOS & GREGORY VATISTAS 23 SILVER STREET ROCHESTER, NH 03867 4622/2307	FOUNDRY PLACE, LLC 157 DEER STREET PORTSMOUTH, NH 03801 5878/2856	KEARSARGE MILL CONDO MASTERCARD 361 HANOVER STREET PORTSMOUTH, NH 03801	HILL HANOVER GROUP 4 DURHAM POINT ROAD DURHAM, NH 03824



***AMBIT ENGINEERING, INC.***  
**Civil Engineers & Land Surveyors**

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## NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS  
MAP 125 AS LOT 14.

2) OWNER OF RECORD:  
HILL-HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, NH 03801  
4356/10  
R.C.R.D PLANS D-38162, D-38163, & D-38164

3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (LIMITED 1).

4) DIMENSIONAL REQUIREMENTS:

CHARACTER DISTRICT 4-L1 (CD4-L1):

MIN. LOT AREA:	3,000 S.F.
FRONTAGE:	NO REQUIREMENT
SETBACKS:	
FRONT (MAX.)	15 FEET (PRIMARY)
FRONT (MAX.)	12 FEET (SECONDARY)
SIDE	5-20 FEET (MAX)
REAR	5/10
MAXIMUM STRUCTURE HEIGHT:	2-3 STORIES 40 FEET
MAXIMUM STRUCTURE COVERAGE:	60%
MAXIMUM BUILDING FOOTPRINT:	2,500 S.F.
MINIMUM OPEN SPACE:	25%
MINIMUM FRONT LOT LINE BUILDOUT:	60-80%

5) LOT AREA: 16,127 S.F., 0.3702 ACRES.

6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON  
FIRM, DATED 33015C0250E, EFFECTIVE JANUARY 29, 2021.

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.

9) PARCEL IS SUBJECT TO A 20' WIDE UTILITY EASEMENT. SEE  
NGS PID OC0290 - B 2 1923.

10) PARCEL IS SUBJECT TO AND BENEFITED BY A 20' WIDE  
RIGHT-OF-WAY IN COMMON. SEE R.C.R.D. 829/130.

11) PARCEL BENEFITS FROM AN EASEMENT FOR PARKING. SEE  
R.C.R.D. 5518/2747, SEE ALSO PARTIAL RELEASE R.C.R.D.  
5751/1463

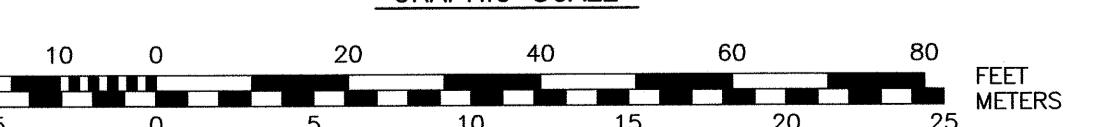
RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY  
DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD  
SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE  
CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF  
1:15,000."

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JOHN B. CHACNON, LJS. DATE

GRAPHIC SCALE



SCALE 1" = 20' SEPTEMBER 2021

# EXISTING CONDITIONS PLAN

C1

## SITE SUMMARY

1. DESIGN INTENT – THIS PLAN IS INTENDED TO DEPICT THE PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING TOGETHER WITH ASSOCIATED PARKING AND ACCESSWAYS.
2. THE BASE PLAN USED WAS DEVELOPED FROM THE EXISTING CONDITIONS PLAN PREPARED BY AMBIT ENGINEERING, INC., DATED SEPTEMBER 27, 2021.
3. ZONING DISTRICT: PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 DISTRICT
4. PROJECT PARCEL: TAX MAP 125 – LOT 14 16,127 S.F. ( $\pm 0.37$  AC.)

5. <u>DIMENSIONAL REQUIREMENTS:</u>	<u>CD4-L1</u>	<u>EXISTING</u>	<u>PROVIDED</u>
MIN. LOT AREA:	3,000 S.F.	16,127 S.F.	16,127 S.F.
LOT AREA PER DWELLING:	3,000 S.F.	±1,344 S.F.	±896 S.F.
DWELLING UNITS PER BLDG:	8 (MAX)	4 (12 TOTAL)	18
			
FRONT SETBACK:			
HANOVER STREET (PRIMARY)	15' MAX	±2.7'	±2.6'
AUTUMN STREET (SECONDARY)	12' MAX	±4.6'	±7.4'
SIDE SETBACK:	5' MIN – 20' MAX	±6.8	±10.5'
REAR SETBACK:	5' FROM LOT LINE OR 10' FROM C/L ALLEY	±26.9'	±25.4'
FRONT LOT LINE BUILD-OUT:	60% MIN – 80% MAX	±78.1%	±88.8%
MAX. BLDG. BLOCK LENGTH:	80'	±157.76' (EXIST)	±157.76'
MAX. BLDG. FOOTPRINT:	2,500 SF	±8,129 SF	±9,378 SF
MAX. BLDG. COVERAGE:	60%	±51.4%	±58.5%
MIN. OPEN SPACE:	25%	±4.5%	±12.0%
MAX. BUILDING HEIGHT:	40' (2-3 STORIES)	25'+	±39'-6"
MAX. FINISHED FLOOR ABOVE SIDEWALK:	36" (3.0')	±36"	2.8"

## PARKING REQUIREMENTS:

DWELLING UNITS: 1.0 SPACES PER DWELLING UNIT  
18 UNITS  $\times$  1.0 = 18 SPACES

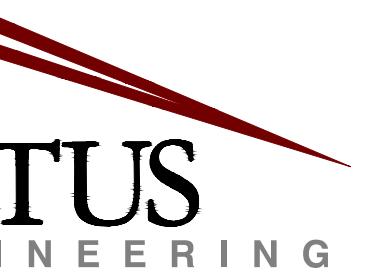
VISITOR SPACES: 1.0 PER 5 UNITS  
18 UNITS/5 X 1.0 = 3.6 SPACES

TOTAL PARKING REQUIRED: 22 SPACES TOTAL

PARKING SPACES PROVIDED: 17 (BASEMENT)  
6 (EXTERIOR)

25 TOTAL

### ENGINEER:



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**133 Court Street**      **Portsmouth, NH 03801**  
**(603) 433-2335**      **[www.altus-eng.com](http://www.altus-eng.com)**

**PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING (18 UNITS) WITH BASEMENT PARKING GARAGE**

FF = 21.5±

**PROPERTY LINE (P/L)**

**REAR SETBACK (10 FT FROM, C/L ALLEY)**

**ACCESS EASEMENT**

**20' WIDE RIGHT-OF-WAY IN COMMON & UTILITY EASEMENT**

**HILL STREET**

**INSTALL 6 EXTERIOR VISITOR PARKING STALLS (1 ADA STALL)**

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PROJECT:

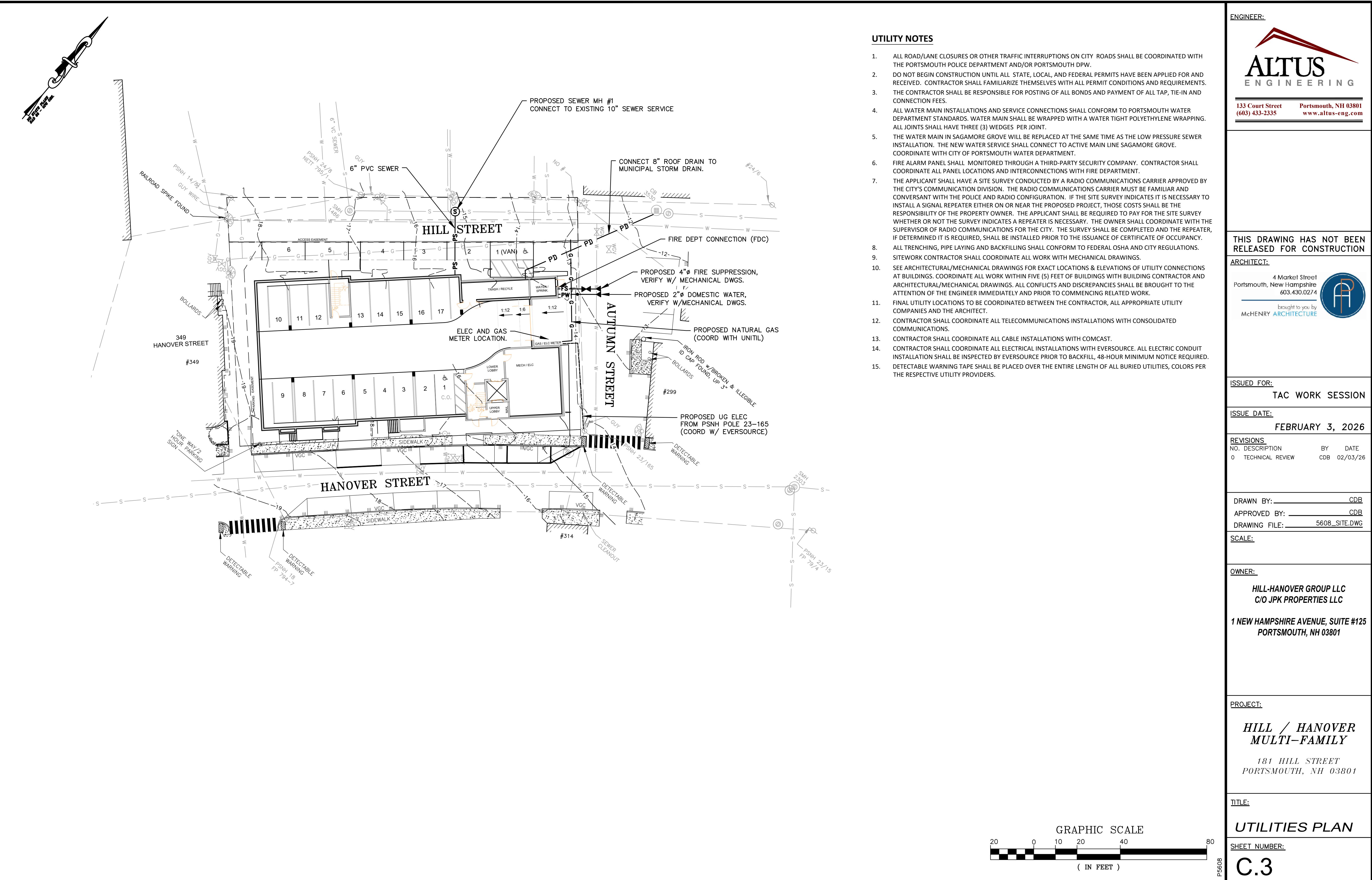
**MULTI FAMILY**  
181 HILL STREET  
PORTSMOUTH NH 03801

TLE:

## SITE PLAN

HEET NUMBER:

GRAPHIC SCALE





ENGINEER: **ALTUS** ENGINEERING

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 [www.altus-eng.com](http://www.altus-eng.com)

THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

ARCHITECT: **McHENRY ARCHITECTURE**

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

brought to you by



ISSUED FOR: TAC WORK SESSION

ISSUE DATE: FEBRUARY 3, 2026

REVISIONS: NO. DESCRIPTION BY DATE  
0 TECHNICAL REVIEW CDB 02/03/26

DRAWN BY: CDB  
APPROVED BY: CDB  
DRAWING FILE: 5608\_SITE.DWG

SCALE: 22" X 34" = 1" = 50'  
11" X 17" = 1" = 100'

OWNER: HILL-HANOVER GROUP LLC  
C/O JPK PROPERTIES LLC  
1 NEW HAMPSHIRE AVENUE, SUITE #125  
PORTSMOUTH, NH 03801

PROJECT: **HILL / HANOVER MULTI-FAMILY**

181 HILL STREET  
PORTSMOUTH, NH 03801

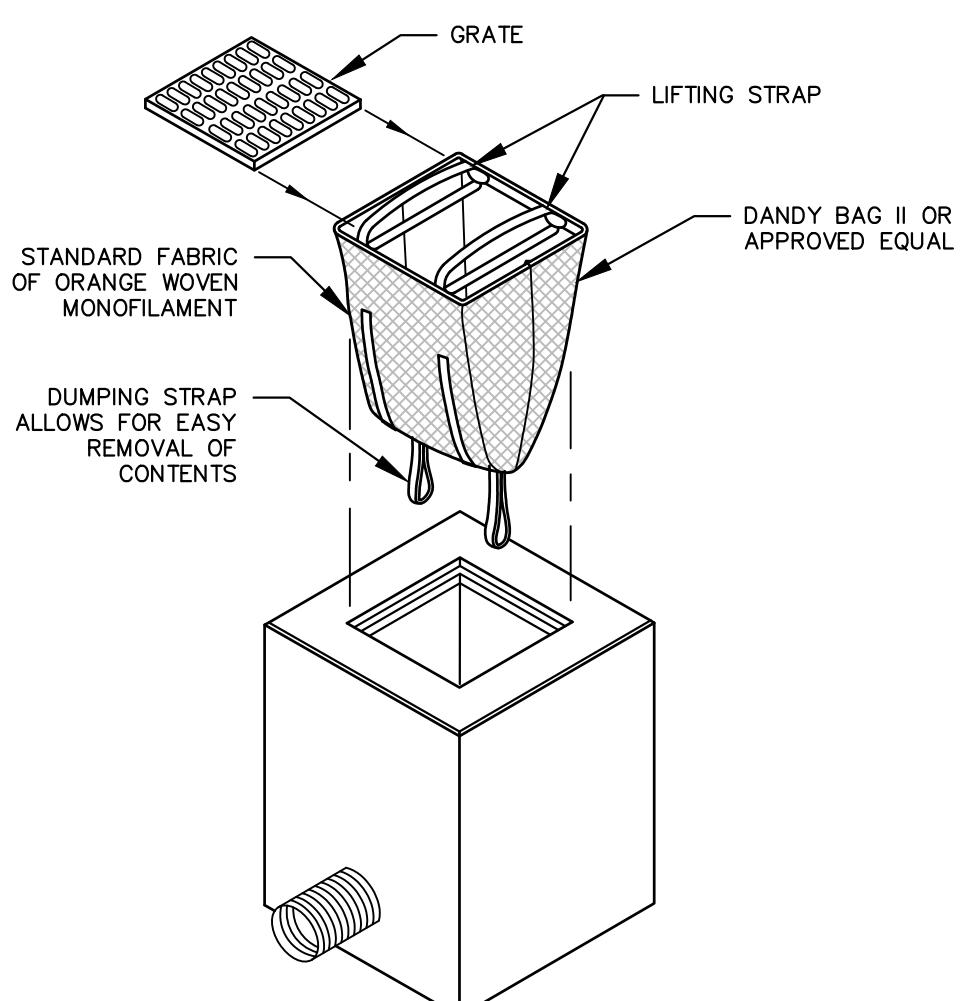
TITLE: NEIGHBORHOOD PLAN

SHEET NUMBER: C.4

P5608

THIS DRAWING HAS NOT BEEN RELEASED FOR CONSTRUCTION

ARCHITECT:

 4 Market Street  
Portsmouth, New Hampshire  
603.430.0274
brought to you by  
McHENRY ARCHITECTURE

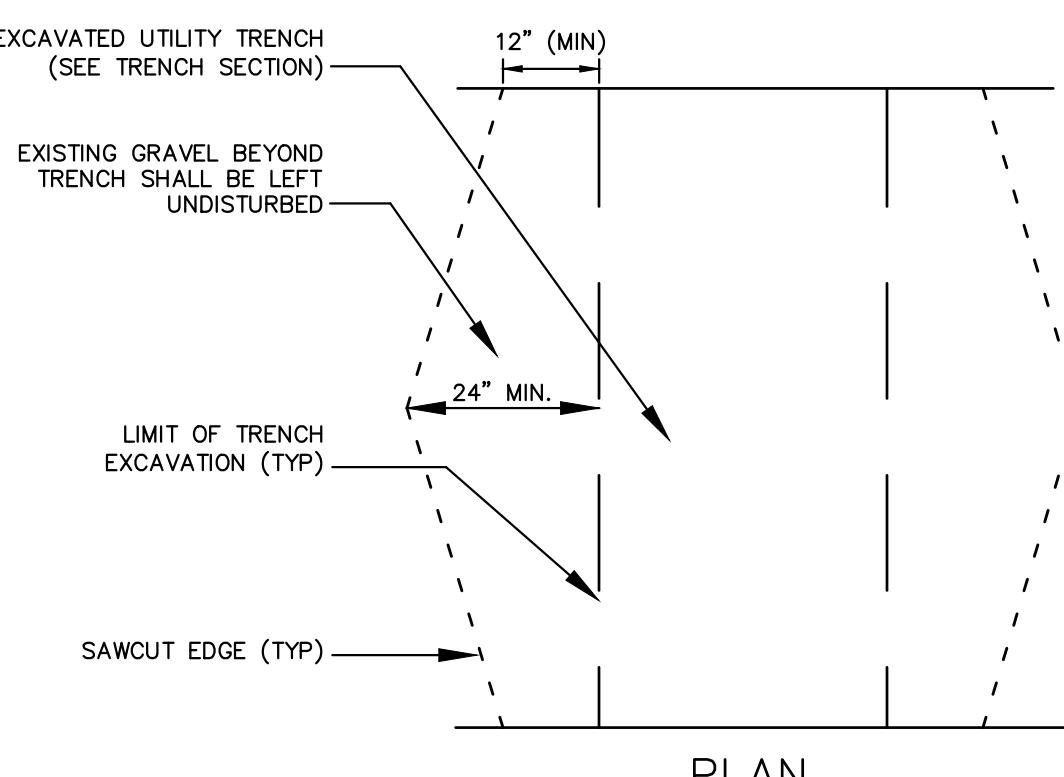
## INSTALLATION AND MAINTENANCE:

INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT DOWD IN UNIT, STAND GRATE ON END, MOVE THE TWO LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE DANDY BAG II OR APPROVED EQUAL.

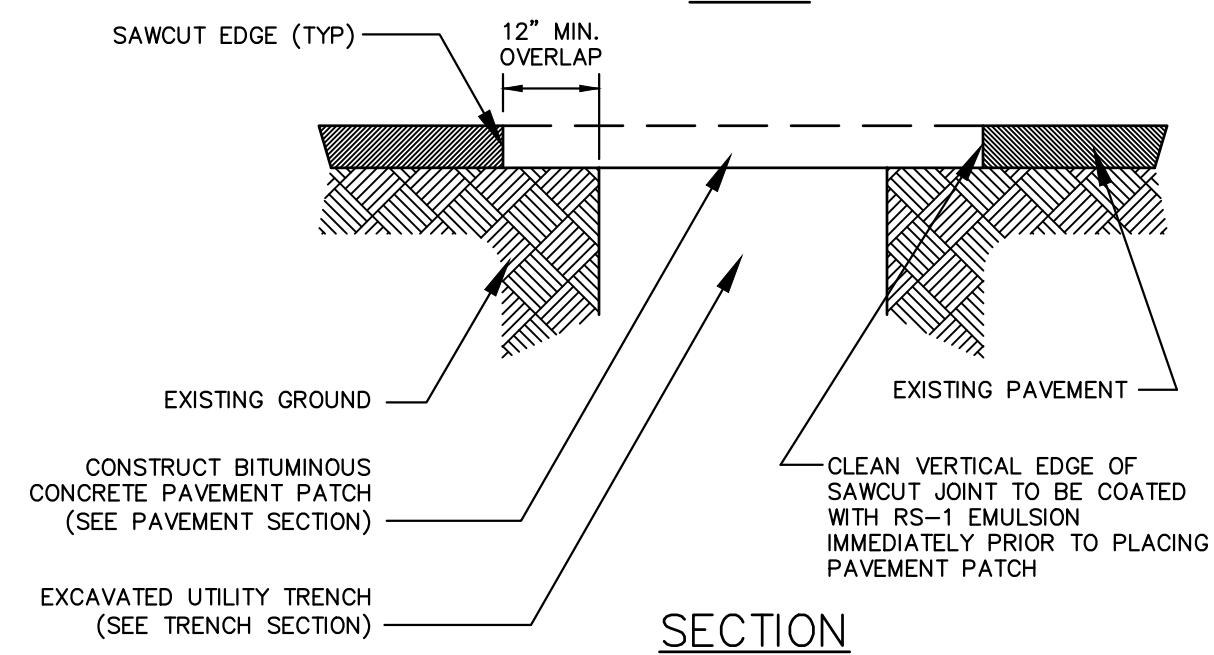
Maintenance: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE CATCH BASIN INSERT. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE DANDY BAG II OR APPROVED EQUAL UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

## UNACCEPTABLE INLET PROTECTION METHOD:

A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.

STORM DRAIN  
INLET PROTECTION NOT TO SCALE

PLAN



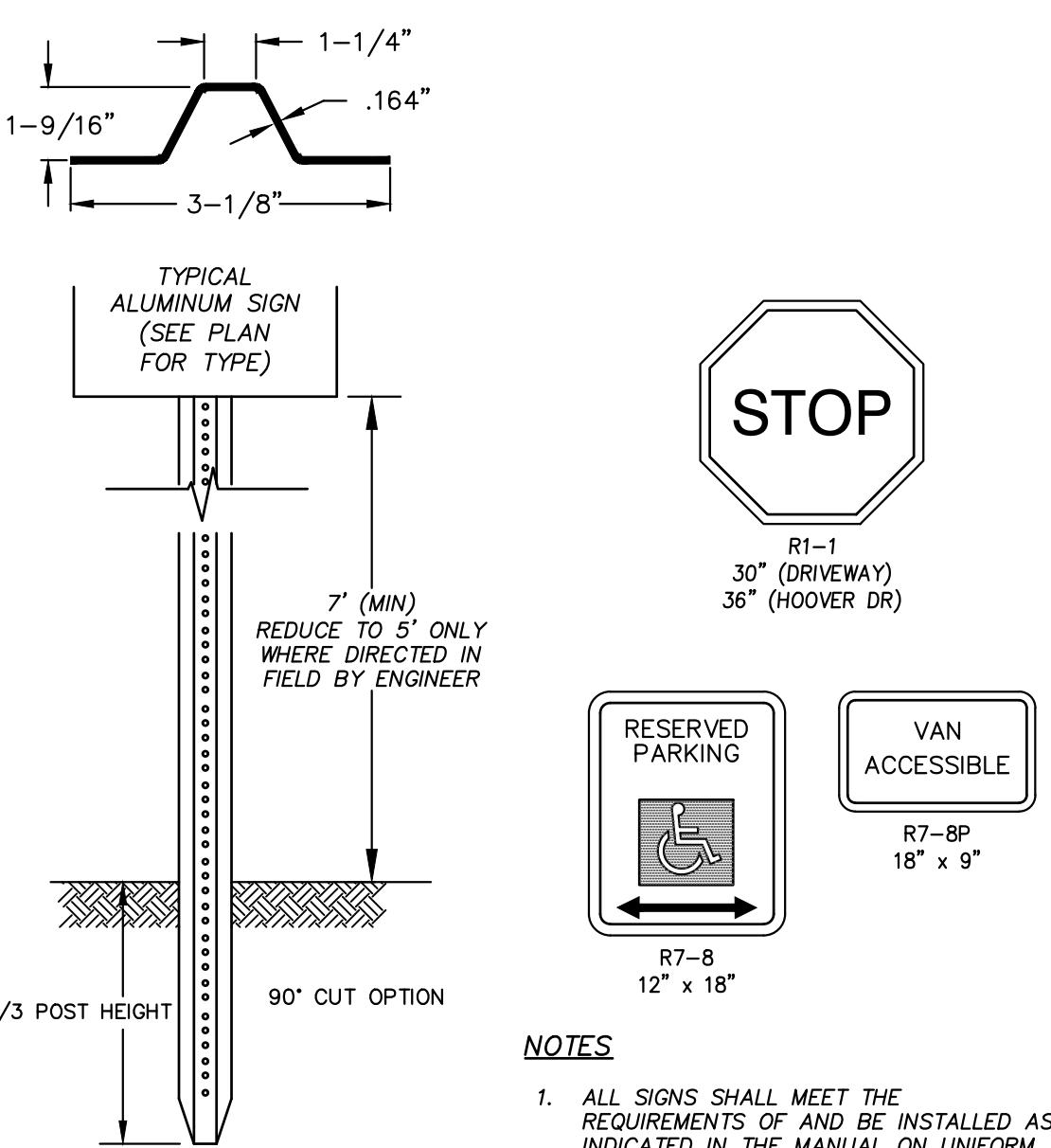
SECTION

## NOTES:

1. MACHINE CUT EXISTING PAVEMENT.
2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

## TYPICAL TRENCH PATCH

NOT TO SCALE



## SIGN DETAILS NOT TO SCALE

## NOTES:

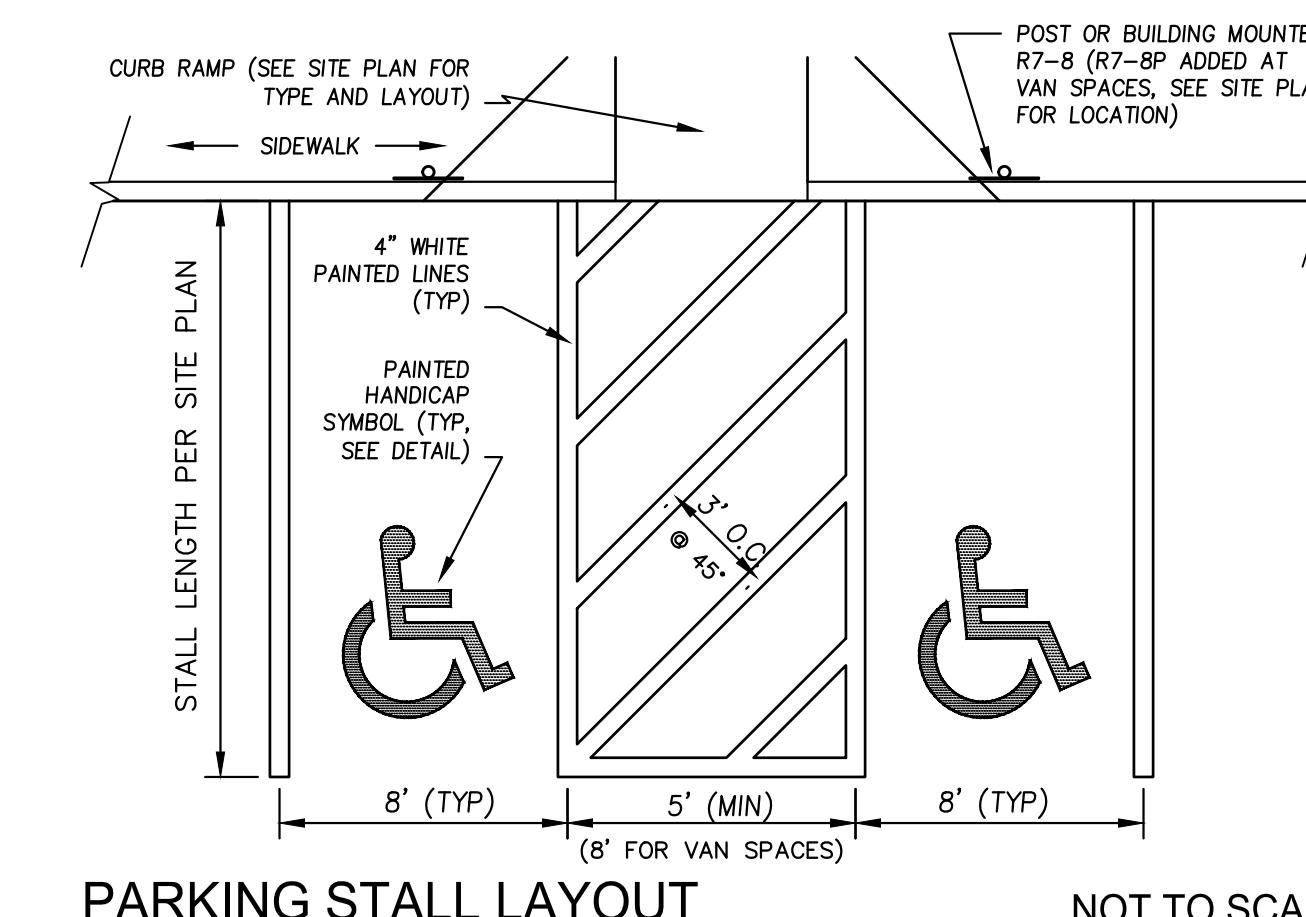
1. ALL SIGNS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

LENGTH: AS REQUIRED

WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)

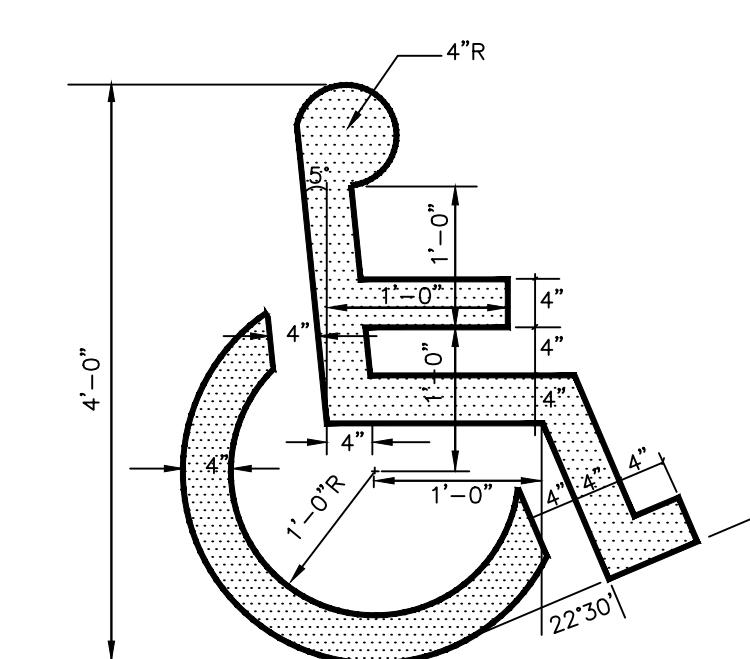
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH

STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)



## PARKING STALL LAYOUT

NOT TO SCALE

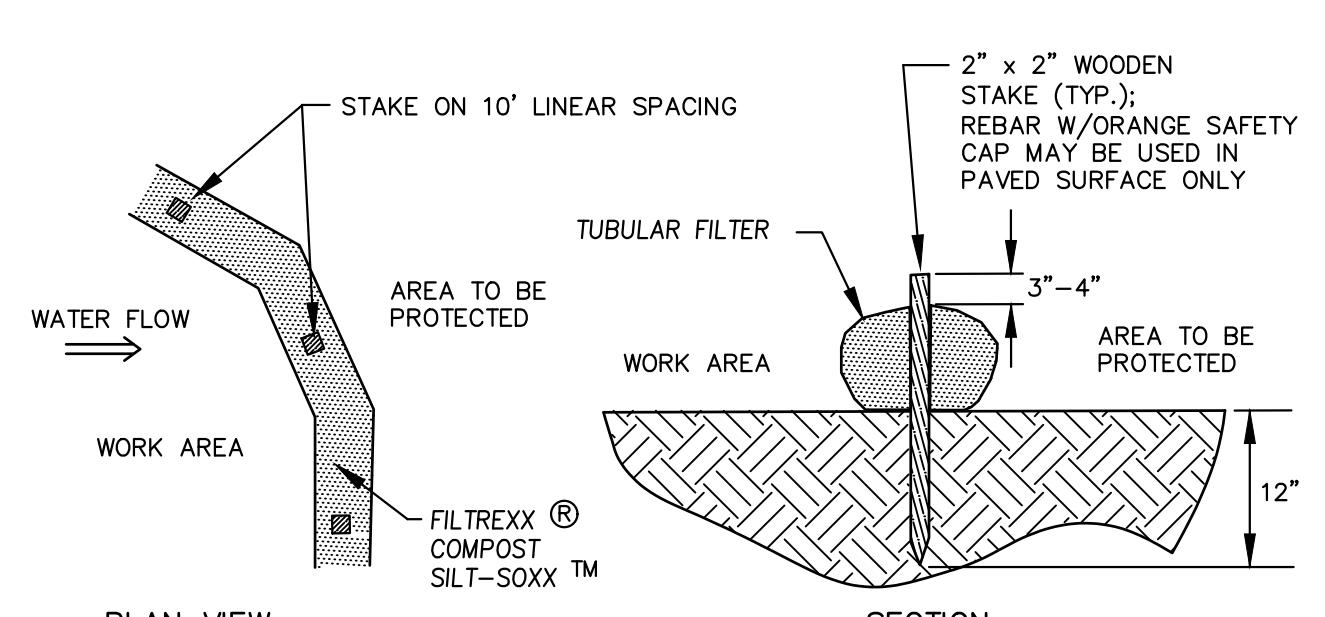


## NOTES:

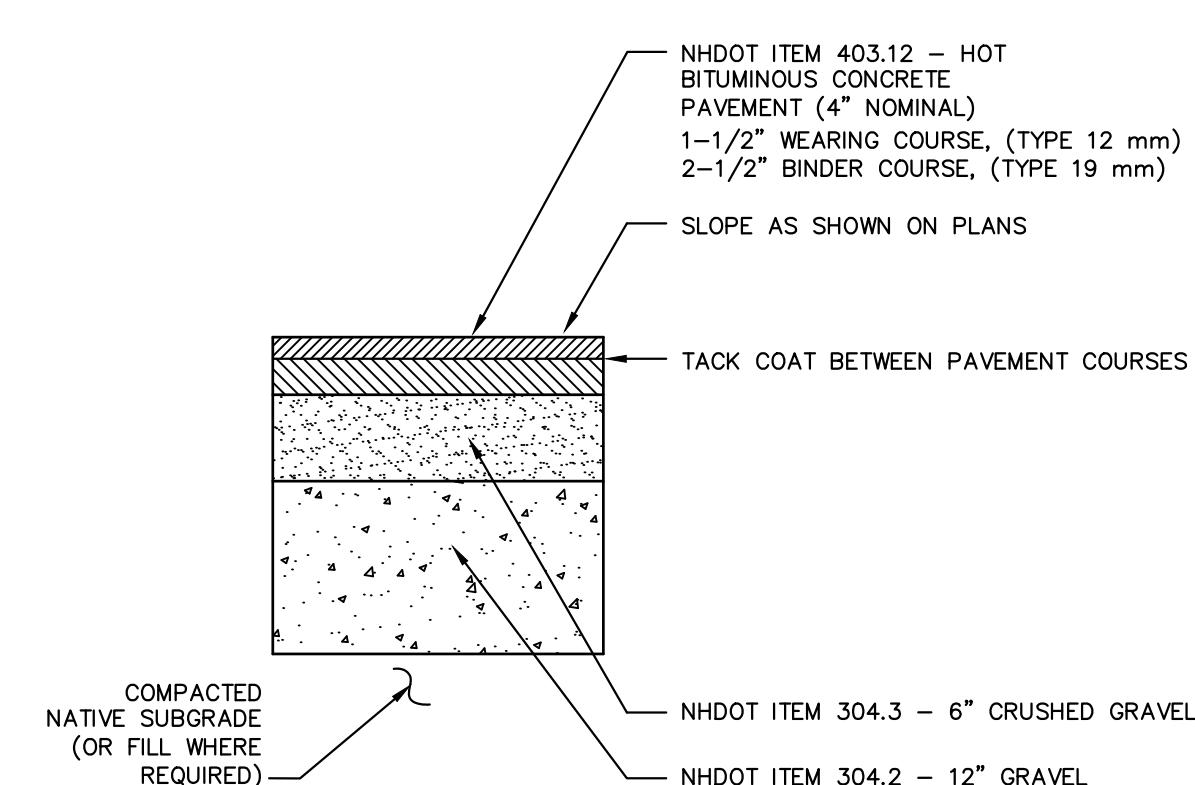
1. SYMBOL TO BE PAINTED IN ALL HANDICAPPED ACCESSIBLE SPACES IN WHITE PAINT (BLUE-PAINTED SQUARE BACKGROUND OPTIONAL).

## PAINTED ADA SYMBOL

NOT TO SCALE

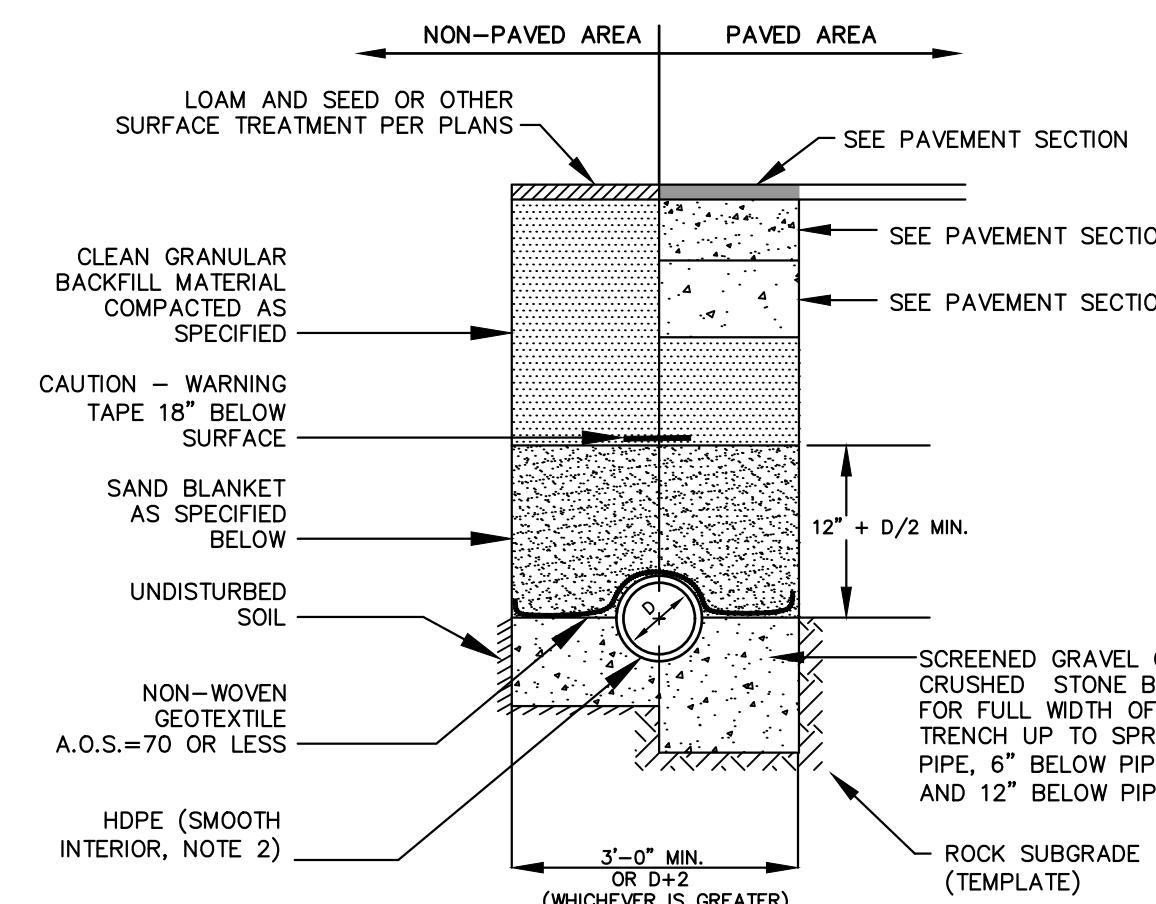


## TUBULAR SEDIMENT BARRIER DETAIL NOT TO SCALE

PENDING GEOTECH REPORT  
PAVEMENT CROSS SECTIONTITLE:  
CONSTRUCTION  
DETAILS

SHEET NUMBER:

C.5



NOTES:

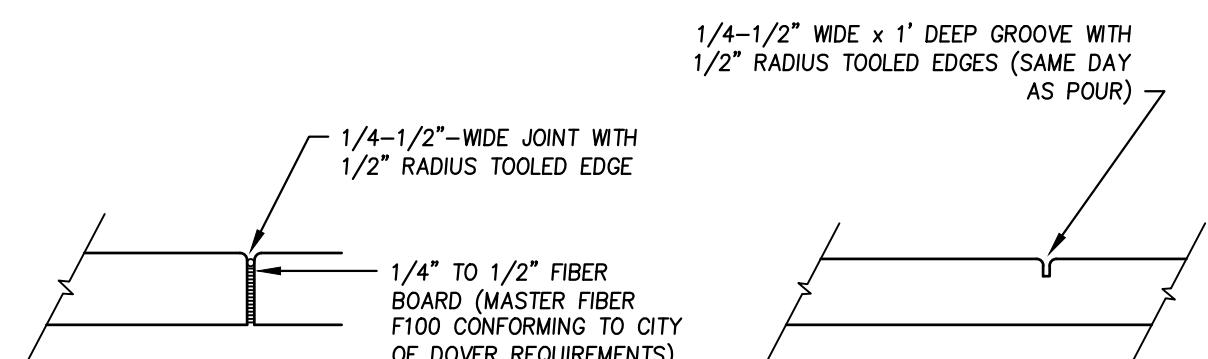
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. ALL PIPE SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR, ADS TYPE N-12 OR APPROVED EQUAL.

SAND BLANKET/BARRIER	SCREENED GRAVEL OR CRUSHED STONE BEDDING*	SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	1"	90 - 100	0 - 15	1"	100
200	3/4"	90 - 100	0 - 15	3/8"	20 - 55
	# 4	0 - 10	0 - 15	# 8	0 - 5

\* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

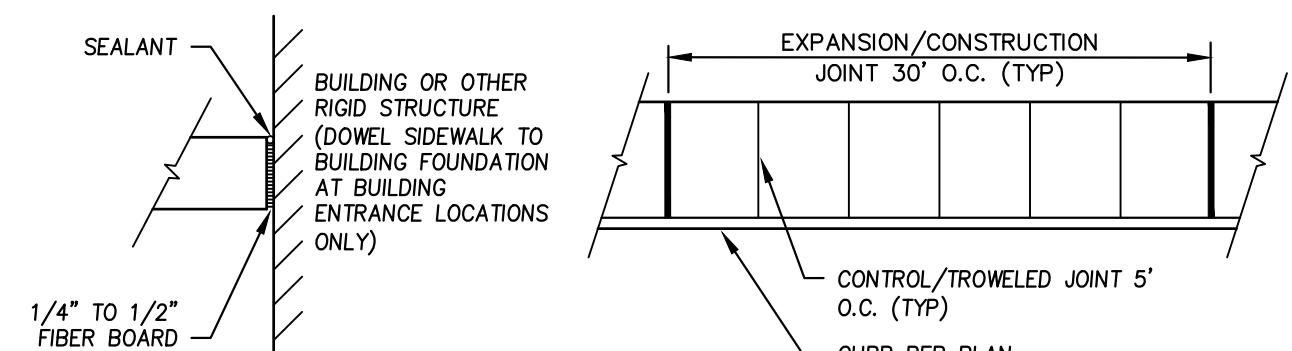
### STORM DRAIN TRENCH

NOT TO SCALE



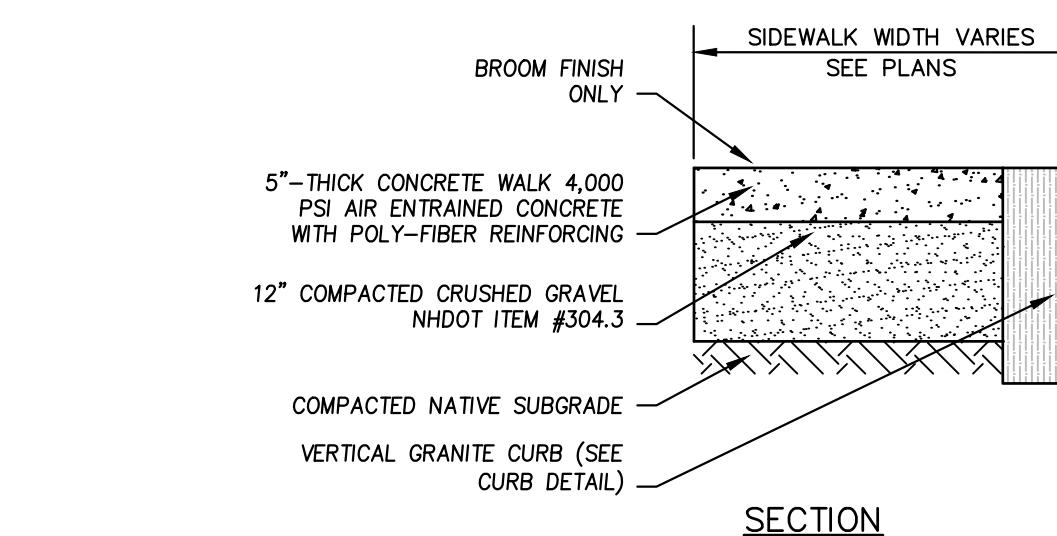
### EXPANSION/CONSTRUCTION JOINT

### CONTROL/TROWELED JOINT



### ISOLATION JOINT

### PLAN

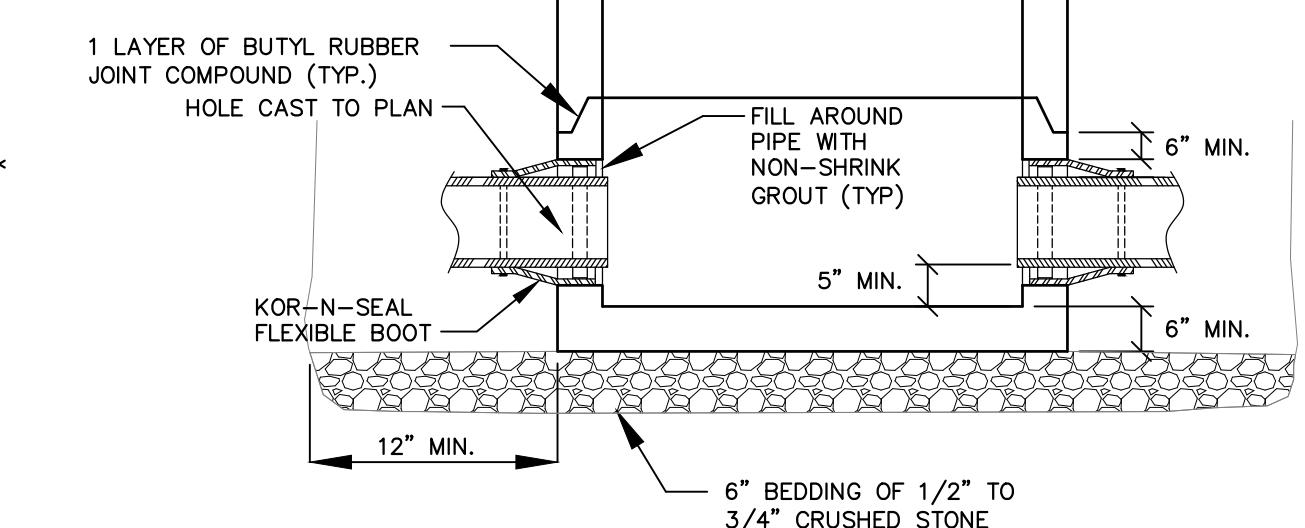


### CONCRETE SIDEWALK DETAIL

NOT TO SCALE

### DRAIN MANHOLE DETAIL

NOT TO SCALE



NOTE: NO MANHOLE STEPS.

ADJUST TO GRADE WITH BRICK, 2 COURSES (MINIMUM) MAXIMUM 12" ADJUSTMENT

30" CLEAR OPENING INCLUDING FRAME AND COVER (HINGED PAMREX) WITH PICK-HOLES (HEAVY DUTY, U.S. MADE)

SEE PAVEMENT SECTION

SEE PAVEMENT SECTION

SEE PAVEMENT SECTION

12" MIN. OVERLAP

SAWCUT EDGE

EXISTING PAVEMENT

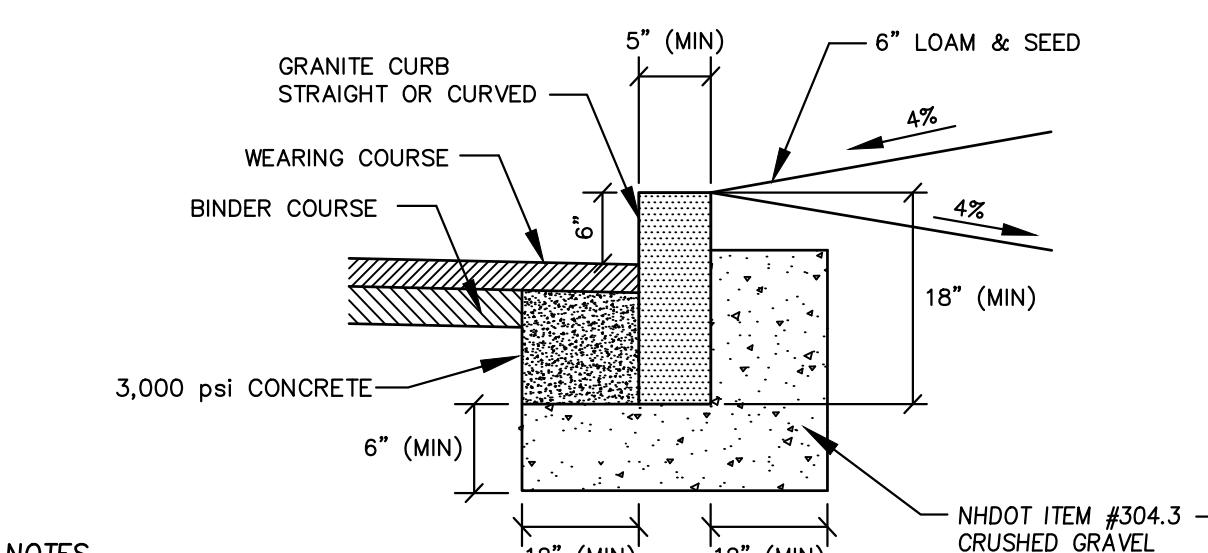
CLEAN VERTICAL EDGE OF SAWCUT JOINT. COAT VERTICAL EDGE OF JOINT WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING PAVEMENT PATCH.

CONSTRUCT BITUMINOUS CONCRETE PAVEMENT (SEE PAVEMENT CROSS SECTION)

TRENCH OR OTHER EXCAVATION PER PLANS

### TYPICAL PAVEMENT SAWCUT

NOT TO SCALE



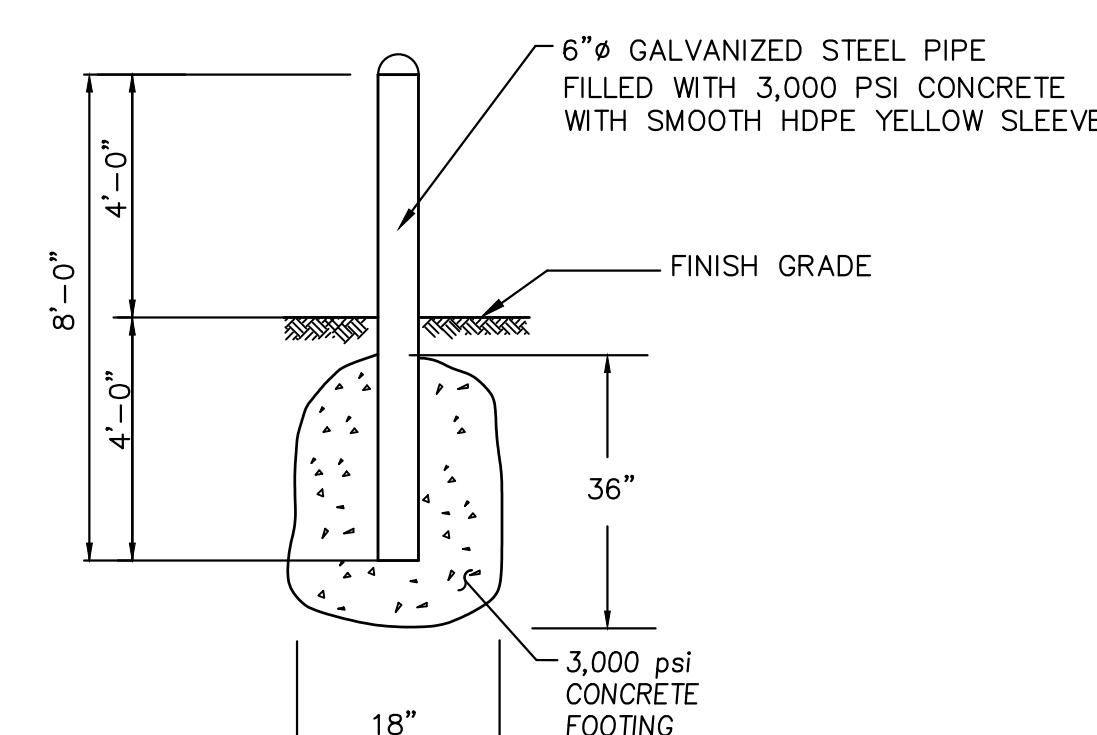
### NOTES

1. SEE PLANS FOR CURB LOCATION.
2. SEE PLANS FOR PAVEMENT CROSS SECTION.
3. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
4. MINIMUM LENGTH OF CURB STONES = 4'.
5. MAXIMUM LENGTH OF CURB STONES = 10'.
6. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
7. CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALL FOR ON THE PLANS.
8. CURB SHALL BE INSTALLED PRIOR TO PLACEMENT OF TOP PAVEMENT COURSE.
9. JOINTS BETWEEN CURB STONES SHALL BE MORTARED.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

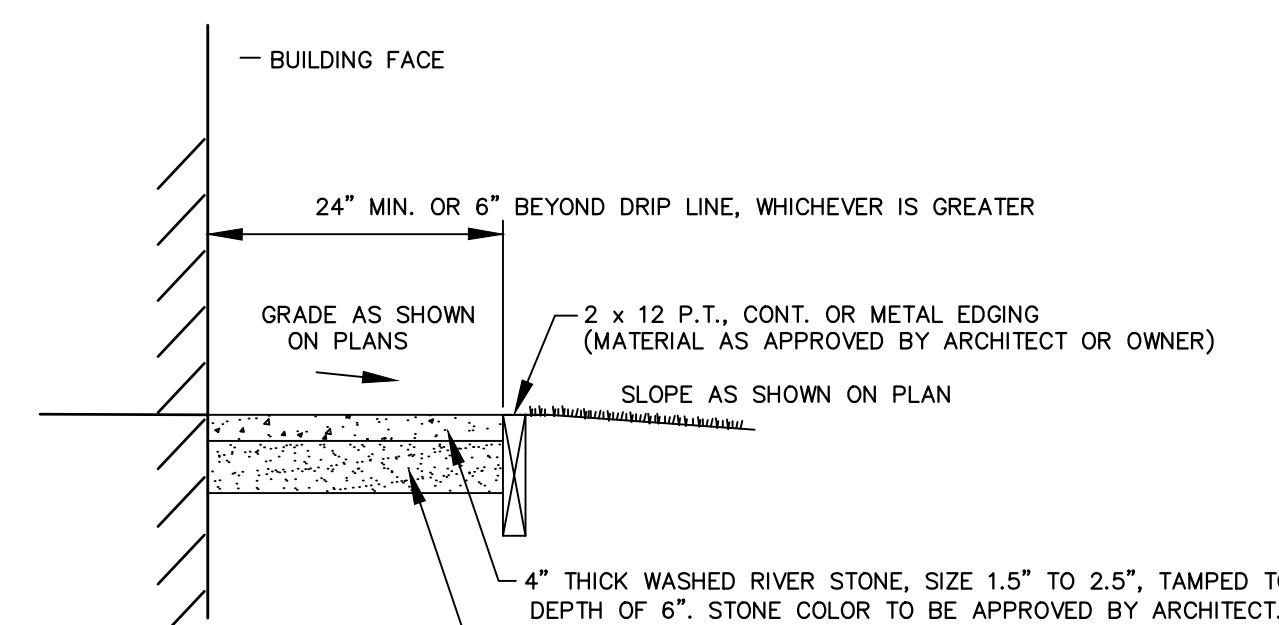
### VERTICAL GRANITE CURB

NOT TO SCALE



### BOLLARD

NOT TO SCALE



### DRIP EDGE DETAIL

NOT TO SCALE

ISSUED FOR:  
TAC WORK SESSION

ISSUE DATE:  
FEBRUARY 3, 2026

REVISIONS:  
NO. DESCRIPTION BY DATE  
0 TECHNICAL REVIEW CDB 02/03/26

DRAWN BY: CDB  
APPROVED BY: CDB  
DRAWING FILE: 5608\_SITE.DWG

SCALE:

OWNER:  
HILL-HANOVER GROUP LLC  
C/O JPK PROPERTIES LLC  
1 NEW HAMPSHIRE AVENUE, SUITE #125  
PORTSMOUTH, NH 03801

PROJECT:  
HILL / HANOVER  
MULTI-FAMILY  
181 HILL STREET  
PORTSMOUTH, NH 03801

TITLE:  
CONSTRUCTION  
DETAILS

SHEET NUMBER:  
C.6



### MANHOLE NOTES:

- IT IS THE INTENTION OF THE NHDES THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONSTRUCTIONS SHALL BE AS SHOWN ON THE DRAWINGS. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT IN ANY APPROVED MANHOLE. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE, A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED.
- PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
- LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN'S STANDARD SPECIFICATIONS.
- INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES, OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) LETTER "S" FOR SEWERS OR "D" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
- BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33.

100% PASSING 1 INCH SCREEN 0-10% PASSING #4 SIEVE  
90-100% PASSING 3/4 INCH SCREEN 0-5% PASSING #8 SIEVE  
20-55% PASSING 3/8 INCH SCREEN

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2" TO 1/2" SHALL BE USED.

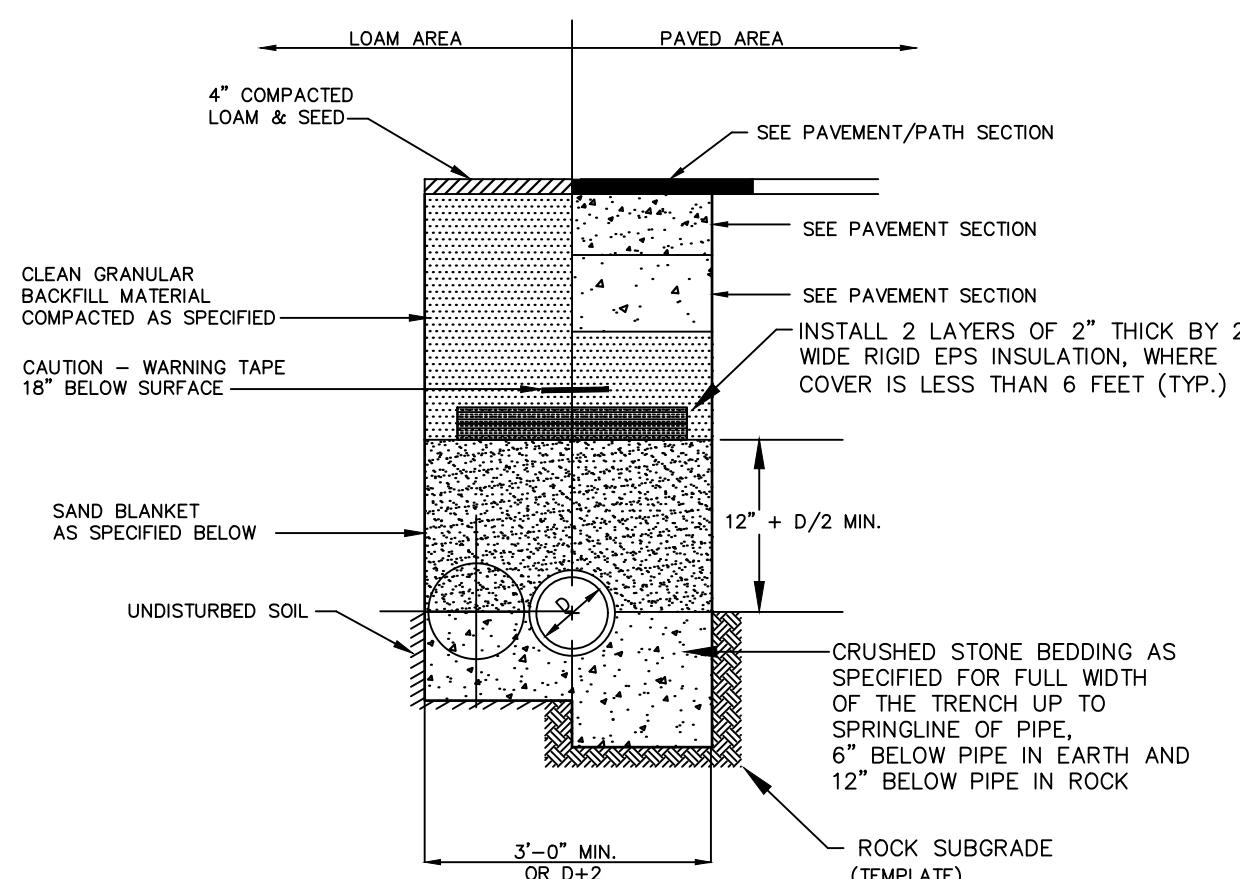
- CONCRETE FOR DROP SUPPORT SHALL CONFORM TO THE REQUIREMENT FOR CLASS A (3000 LBS.) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT 6.0 BAGS PER CUBIC YARD  
WATER 5.75 GALLONS PER BAG CEMENT  
MAXIMUM SIZE OF AGGREGATE 1 INCH

- FLexible JOINT A flexible joint shall be provided within the following distances:

PVC PIPE - 60"  
RCP & CI PIPE - ALL SIZES - 48"  
AC & VC PIPE - UP THROUGH 12" DIAMETER - 18"  
AC & VC PIPE - LARGER THAN 12" DIAMETER - 36"

- SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.



### STANDARD TRENCH NOTES:

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWING.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE NO. 67.  
100% PASSING 3/4 INCH SCREEN  
90 - 100% PASSING 3/8 INCH SCREEN  
20 - 55% PASSING #4 SIEVE  
0-10% PASSING #8 SIEVE  
0-5% PASSING #8 SIEVE
- WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH SHALL BE USED.
- SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90 - 100% PASSES 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT, ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
- BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
- SHETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
- FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:  
CEMENT: 6.0 BAGS PER CUBIC YARD  
WATER: 5.75 GALLONS PER BAG CEMENT  
MAXIMUM SIZE OF AGGREGATE: 1 INCH  
CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
- CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO CITY'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.

\* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NH DOT STANDARD SPECIFICATIONS

SAND BLANKET CRUSHED STONE BEDDING \*

SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

NOT TO SCALE

SEWER TRENCH SECTION

NOT TO SCALE

ISSUED FOR: TAC WORK SESSION

ISSUE DATE: FEBRUARY 3, 2026

REVISIONS: NO. DESCRIPTION BY DATE

0 TECHNICAL REVIEW CDB 02/03/26

DRAWN BY: CDB

APPROVED BY: CDB

DRAWING FILE: 5608\_SITE.DWG

SCALE:

OWNER: HILL-HANOVER GROUP LLC

C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125

PORSTMOUTH, NH 03801

PROJECT: HILL / HANOVER

MULTI-FAMILY

181 HILL STREET

PORSTMOUTH, NH 03801

TITLE: CONSTRUCTION

DETAILS

SHEET NUMBER: C.8

PAGE: 5608

MANHOLE NOTES:

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WATER 5.75 GALLONS PER BAG CEMENT  
MAXIMUM SIZE OF AGGREGATE 1 INCH

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AC & VC PIPE - UP THROUGH 12" DIAMETER - 18"  
AC & VC PIPE - LARGER THAN 12" DIAMETER - 36"

- SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.

- CEMENT 6.0 BAGS PER CUBIC YARD  
WATER 5.75 GALLONS PER BAG CEMENT  
MAXIMUM SIZE OF AGGREGATE 1 INCH

- FLexible JOINT A flexible joint shall be provided within the following distances:

- PVC PIPE - 60"  
RCP & CI PIPE - ALL SIZES - 48"  
AC & VC PIPE - UP THROUGH 12" DIAMETER - 18"  
AC & VC PIPE - LARGER THAN 12" DIAMETER - 36"

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HANOVER STREET ELEVATION OF 339 HANOVER STREET



HANOVER STREET ELEVATION OF 329 HANOVER STREET



HANOVER STREET ELEVATION OF 319 HANOVER STREET



HANOVER STREET ELEVATIONS OF  
339-319 HANOVER STREET



AUTUM STREET ELEVATION OF 319 HANOVER STREET



HILL STREET ELEVATIONS OF 339-319  
HANOVER STREET

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**HILL / HANOVER MULTI-FAMILY**  
181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

**EXISTING - PERSPECTIVES**  
CITY OF PORTSMOUTH TECHNICAL ADVISORY  
COMMITTEE | FEBRUARY 2026

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HILL STREET APPROACH FROM NORTH EAST  
(BRIDGE STREET)



HILL STREET APPROACH FROM NORTH EAST



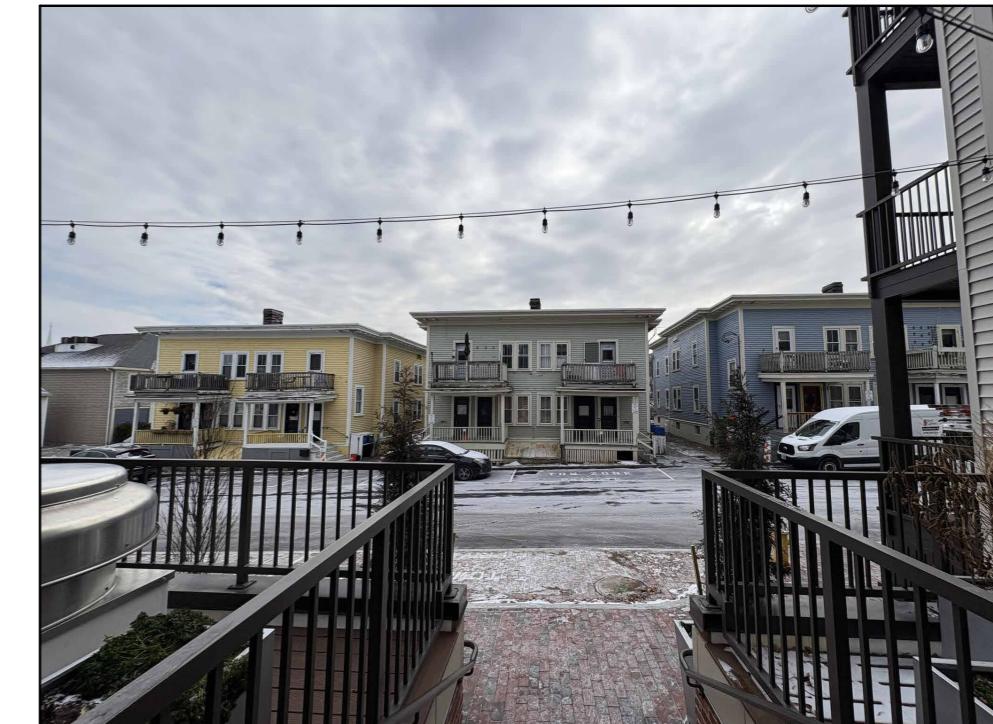
HILL STREET APPROACH FROM NORTH EAST  
(AUTUMN STREET)



HILL STREET APPROACH FROM SOUTH WEST  
(FROM 361 HANOVER STREET)



HILL STREET APPROACH FROM SOUTH WEST  
(FROM 361 HANOVER STREET)



APPROACH FROM FOUNDRY PLACE APPARTMENTS

**HILL / HANOVER MULTI-FAMILY**  
181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

**EXISTING CONTEXT - APPROACH**  
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A2



HANOVER STREET APPROACH FROM SOUTH WEST  
(PEARL STREET)



PARKER STREET APPROACH FROM SOUTH  
(TANNER COURT)



PARKER STREET APPROACH FROM SOUTH



HANOVER STREET APPROACH FROM NORTH EAST  
(BRIDGE STREET)



HANOVER STREET APPROACH FROM NORTH EAST  
(TANNER STREET)



HANOVER STREET APPROACH FROM NORTH EAST  
(AUTUMN STREET)

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PORTSMOUTH, NEW HAMPSHIRE 03801

**EXISTING CONTEXT - APPROACH**  
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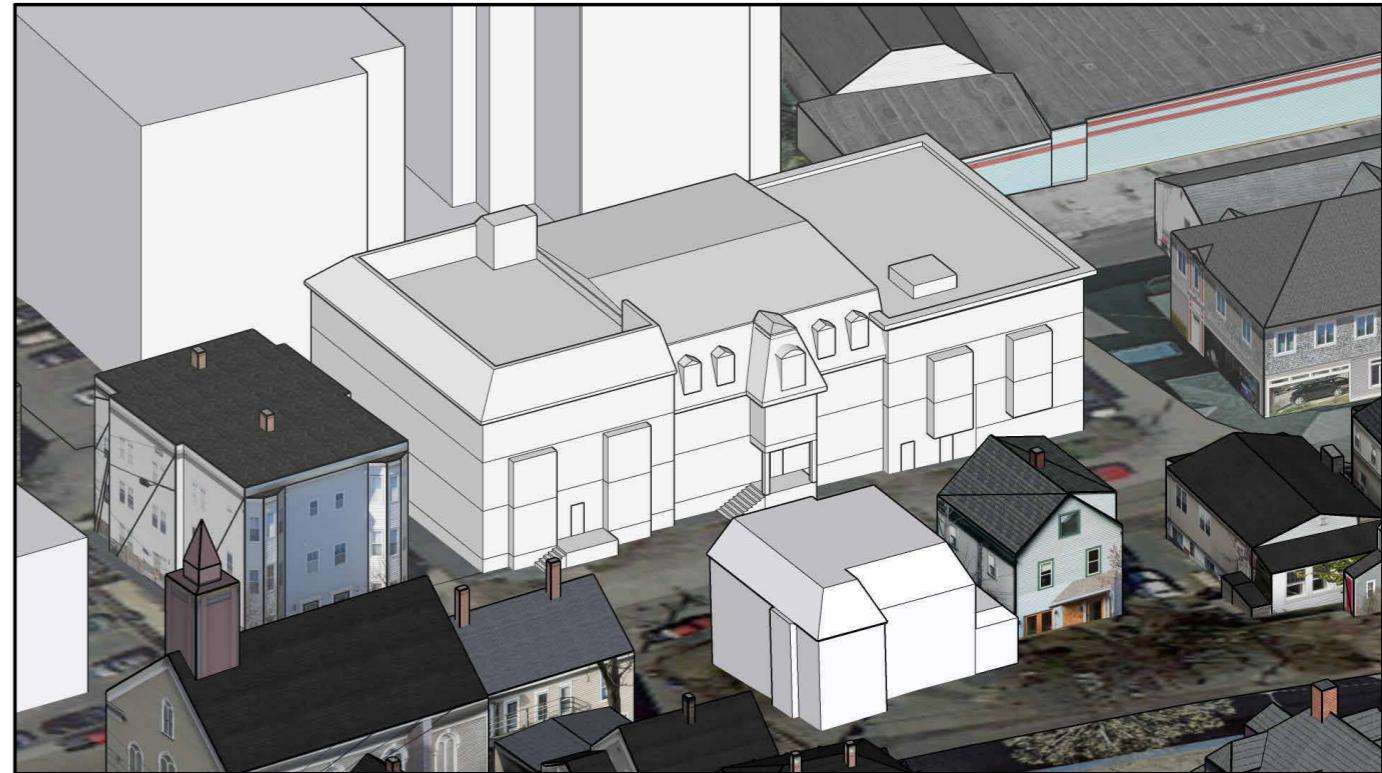


**A3**

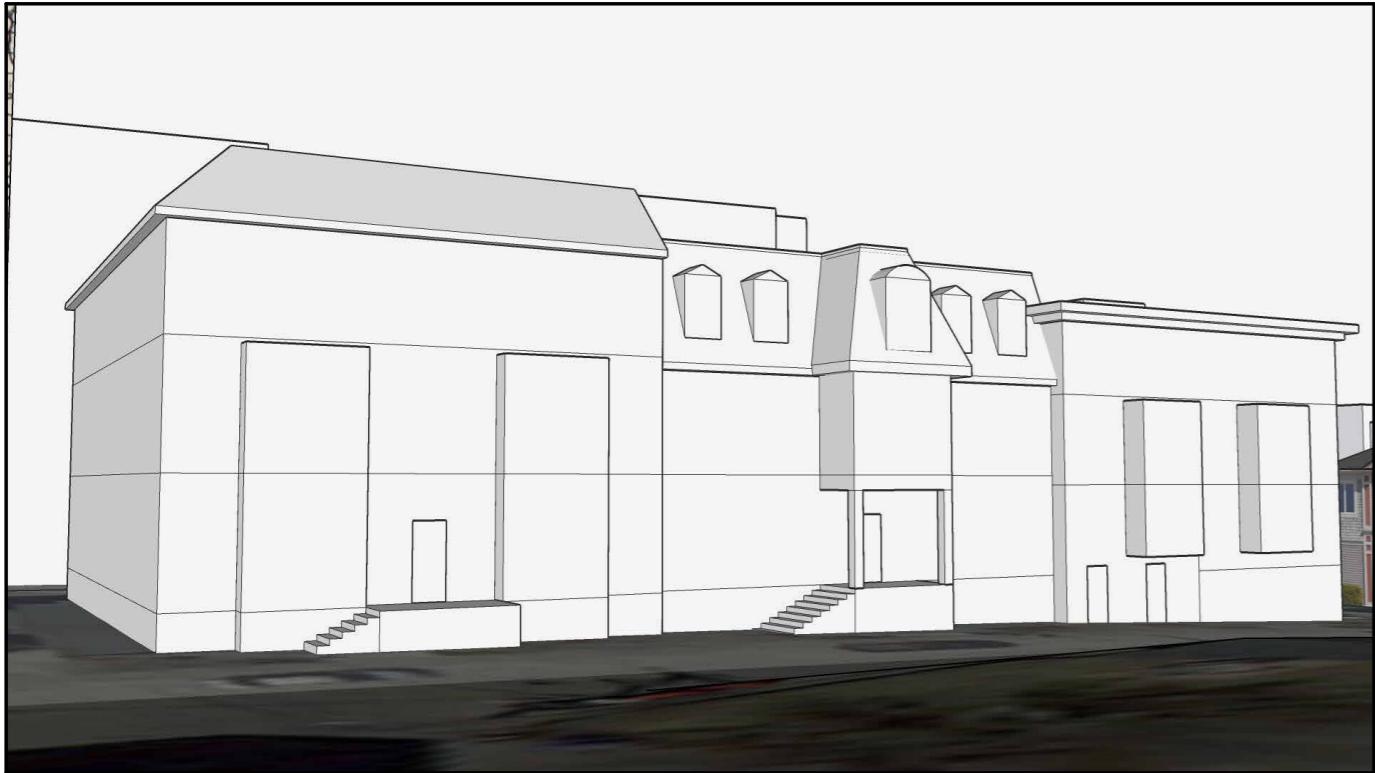
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Project Number: 24083  
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AERIAL AXONOMETRIC FROM EAST



AERIAL AXONOMETRIC FROM SOUTH



PERSPECTIVE FROM PARKER STREET (PROPOSED 332 HANOVER STREET OMITTED)



PERSPECTIVE FROM HANOVER STREET LOOKING WEST

**HILL / HANOVER MULTI-FAMILY**  
181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

**CONCEPTUAL MASSING**  
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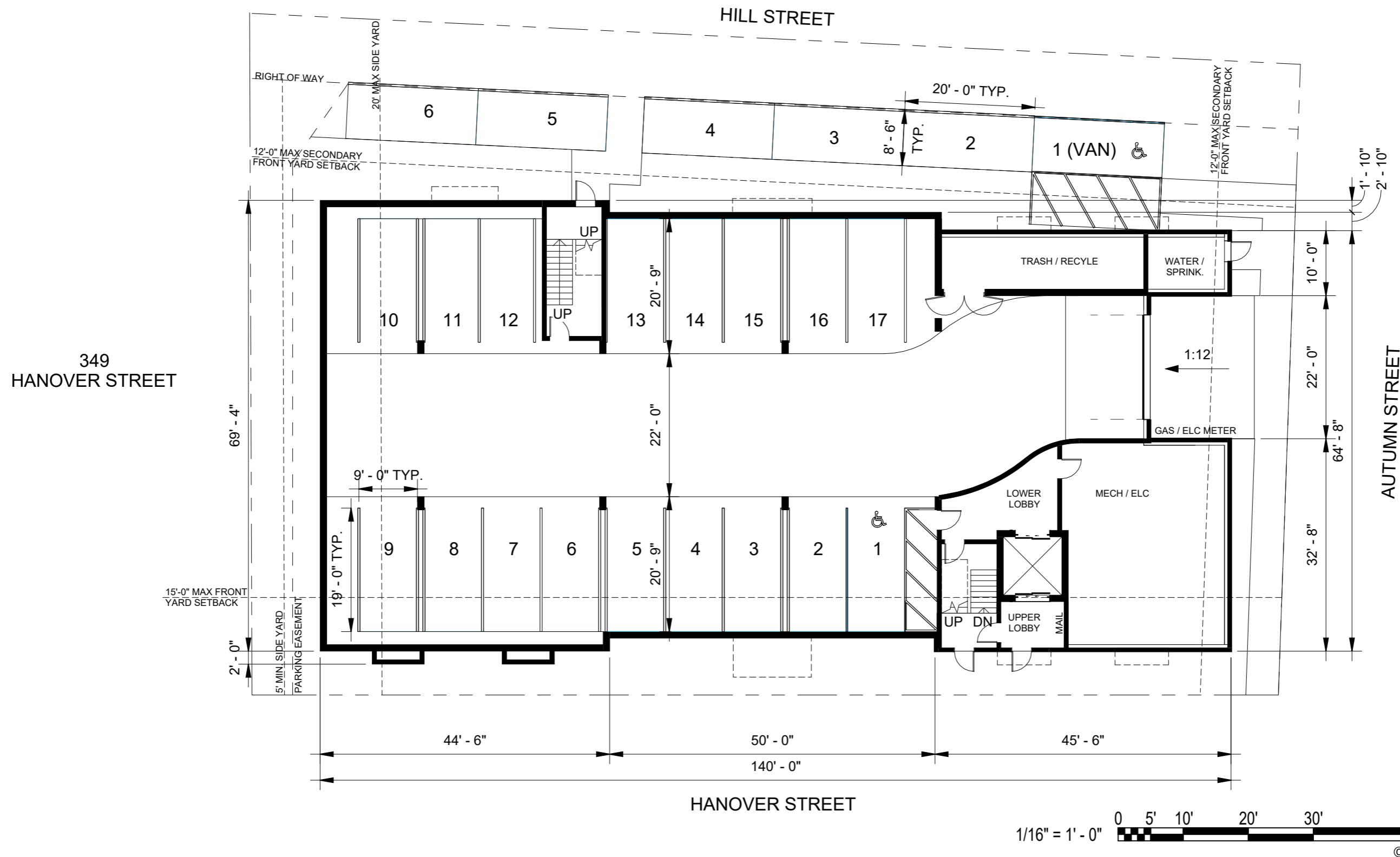
CONCEPTUAL HANOVER ST ELEVATION  
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Scale: 1/16" = 1'0"



# HILL / HANOVER MULTI-FAMILY

181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

# BASEMENT FLOOR PLAN

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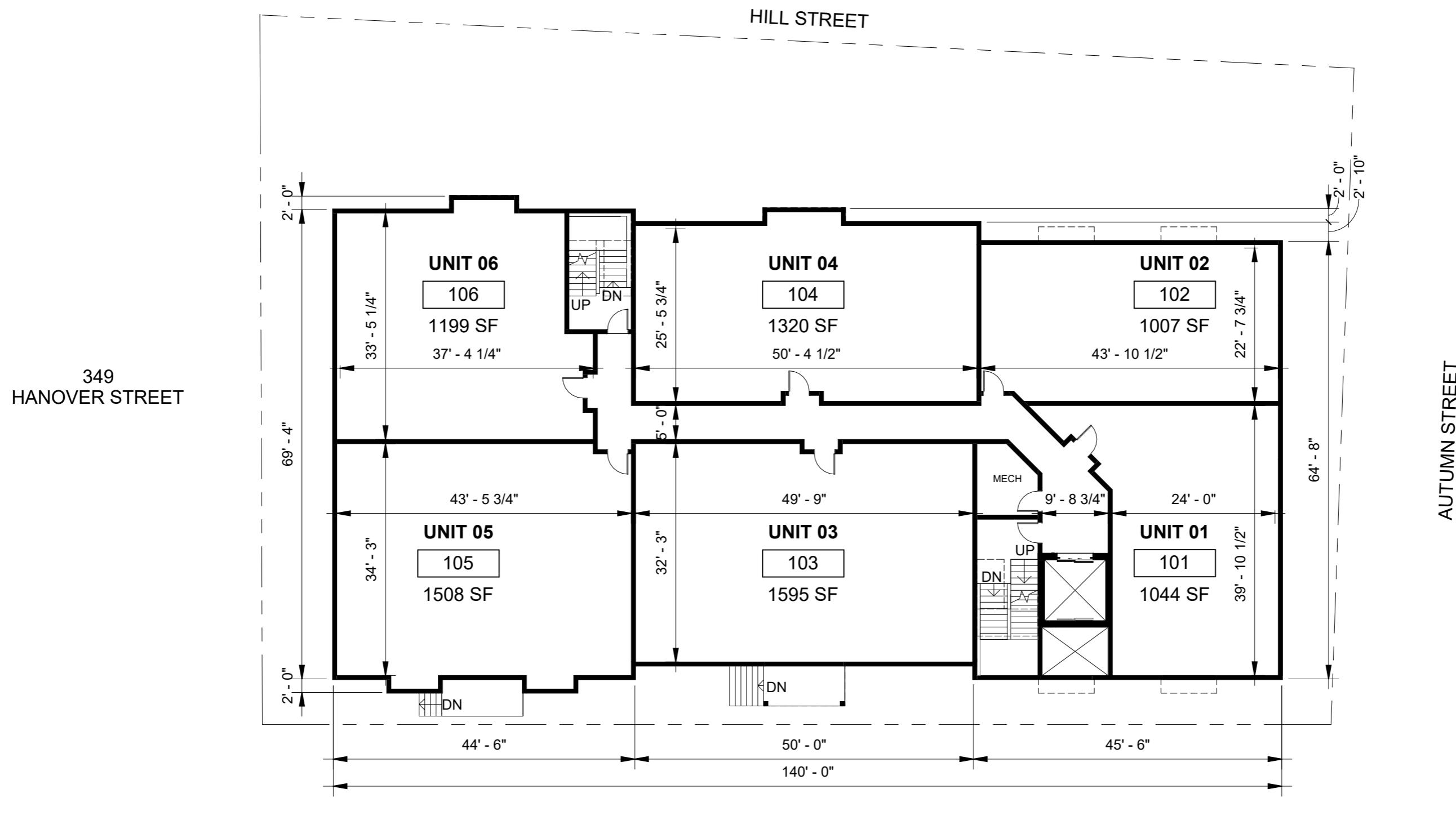
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A6

02/03/2026
A: RD / MG
umber: 24083
1/16" = 1'-0"



HILL / HANOVER MULTI-FAMILY  
181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

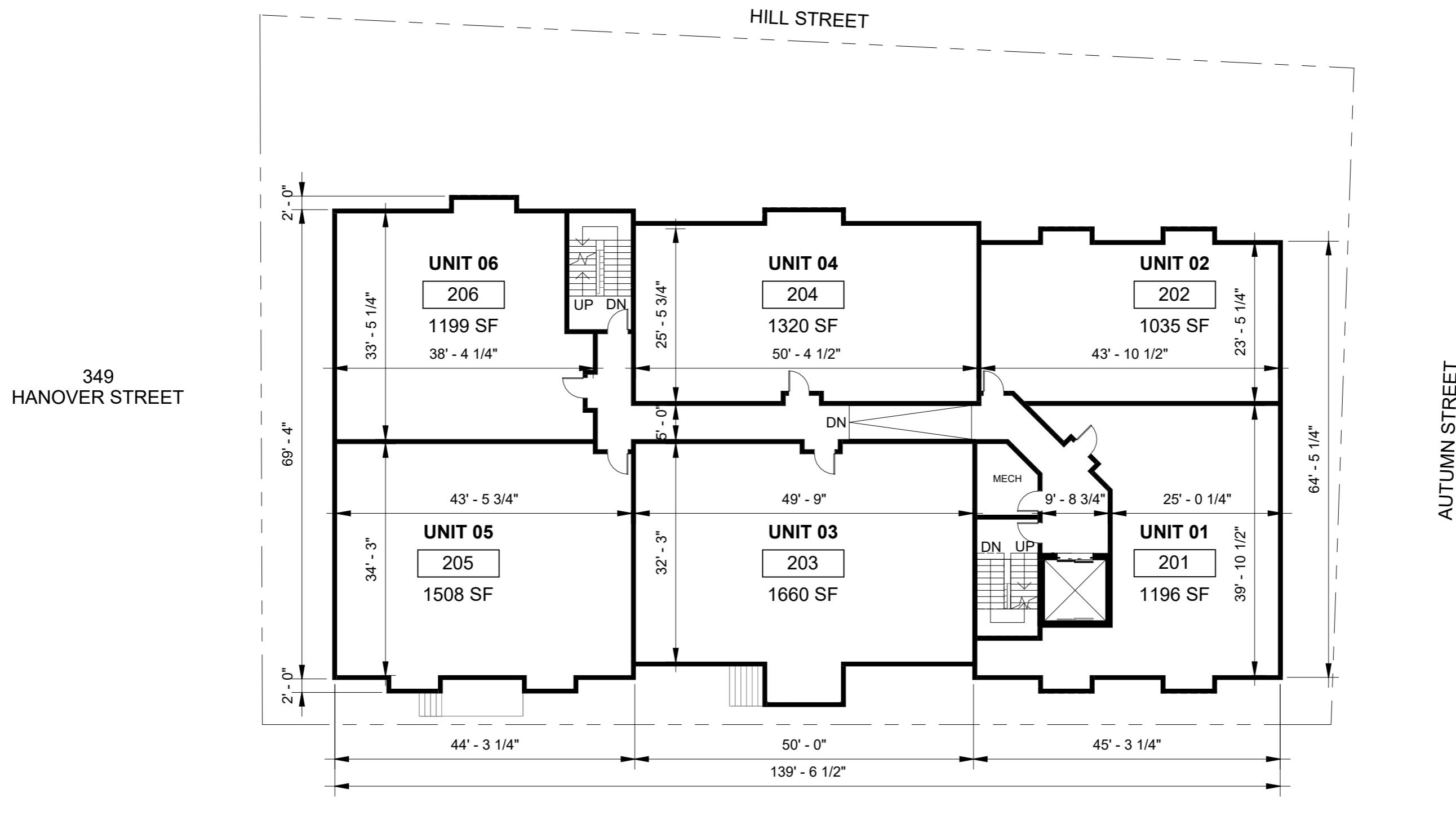
1ST FLOOR PLAN  
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Project Number: 24083  
Scale: 1/16" = 1' - 0"



0 5' 10' 20' 30' 60'

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**HILL / HANOVER MULTI-FAMILY**  
181 HILL STREET  
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**2ND & 3RD FLOOR PLAN**  
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**A8**

02/03/2026  
PA: RD / MG  
Project Number: 24083  
Scale: 1/16" = 1' - 0"