

**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

February 3, 2026

Mr. Peter Britz, Director of Planning & Sustainability
City of Portsmouth Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Application for TAC Work Session
Proposed 18-Unit Multi-Family Residential Development
181 Hill Street
Portsmouth, NH**

Mr. Britz:

On behalf of Hill Hanover Group LLC and C/O JPK Properties LLC (Owner/Applicant), Altus Engineering, LLC (Altus) is pleased to submit the following materials in support of a Request for TAC Work Session for the Proposed 18-Unit Multi-Family Residential Development at 181 Hill Street. The project is located on a parcel of land between bound by Hanover Street to the south, Hill Street to the north, Autumn Street to the East, and an existing multi-family building to the west. The lot is identified as Map 125, Lot 14 on the City of Portsmouth Tax Maps and consists of approximately 16,127 square feet (0.37 acres) and is located within the Character District CD4-L1.

The site is currently developed with three dilapidated residential buildings. Each building is similar in size and massing, consisting of four residential units per building, for a total of twelve (12) existing dwelling units. Surface parking is currently provided along Hill Street, Autumn Street, and within driveways located between the buildings.

The proposed redevelopment includes a single three-story residential structure with a footprint area of approximately 9,378 square feet. The project proposes eighteen (18) residential units and includes an underground parking garage with 17 spaces and 6 surface spaces for a total of 23 parking spaces. This provides the required parking for the development on site.

As shown on the project plans, there are five variances that have been identified which will require Zoning Relief. It is understood that

- Front lot line build-out - to allow 88.2% where 60%-80% is required.
- Open space - to allow 12.0% where 25% is required.
- Building footprint - to allow 9,380± square feet where 2,500 is allowed
- Lot use - to allow an 18-unit multi-family building where 8 unit max building is allowed.
- Density - to allow a density of 1 unit per ±896 square feet where 3,000 is required.

We look forward to meeting with the Technical Advisory Committee in a work session to review the project and receive feedback on the site development prior to details design and a formal site plan review application. Items we would appreciate consideration by TAC include the following:

- Setbacks
 - Hanover Street = Primary Frontage
 - Autumn Street = Secondary Frontage
 - Hill Street = Rear (Private access)
 - West Side = Side
- Utility connection locations to municipal sewer and water
- Stormwater management requirements
- Parking – Development to provide 23 on-site parking spaces (22 required).
 - Three new spaces will be available on Hanover Street by filling sidewalk gaps.
- Open Space requirements – increase existing 4.5% to 12%
- Lighting requirements
- Potential sidewalk/ walkway along Autumn Street (private / public)
- Sidewalk along Hanover Street – reconstruct to city standards within City R/W?
 - This would require narrowing Hanover Street
- Snow & Trash Removal – To be provided by Private contractor
- ADA Accessibility–
 - Single ADA entrance to building on Hanover Street
 - Rear door to Hill Street be emergency egress only
 - External ADA Van stall and internal ADA stall
 - Elevator to provide access from basement /entrance levels
- First floor elevation above sidewalk grade – how is it measured?
- Are there other variances that TAC would anticipate being required?
- Any other considerations or concerns?

We appreciate the opportunity to meet with TAC and to discuss this project. Please contact me directly if you have any questions or require any additional information.

Sincerely,
ALTUS ENGINEERING, LLC



Cory D. Belden, P.E.
Principal

Site Redevelopment Plans

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT

181 HILL STREET
PORTSMOUTH, NH 03801

TAX MAP 125, LOT 14

Owner/ Applicant:

HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

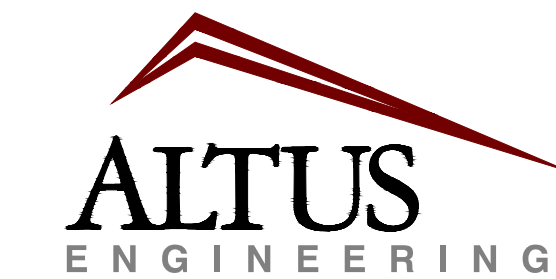
Architect:

4 Market Street
Portsmouth, New Hampshire
603.430.0274

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McHENRY ARCHITECTURE



Civil Engineer:



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Surveyor:



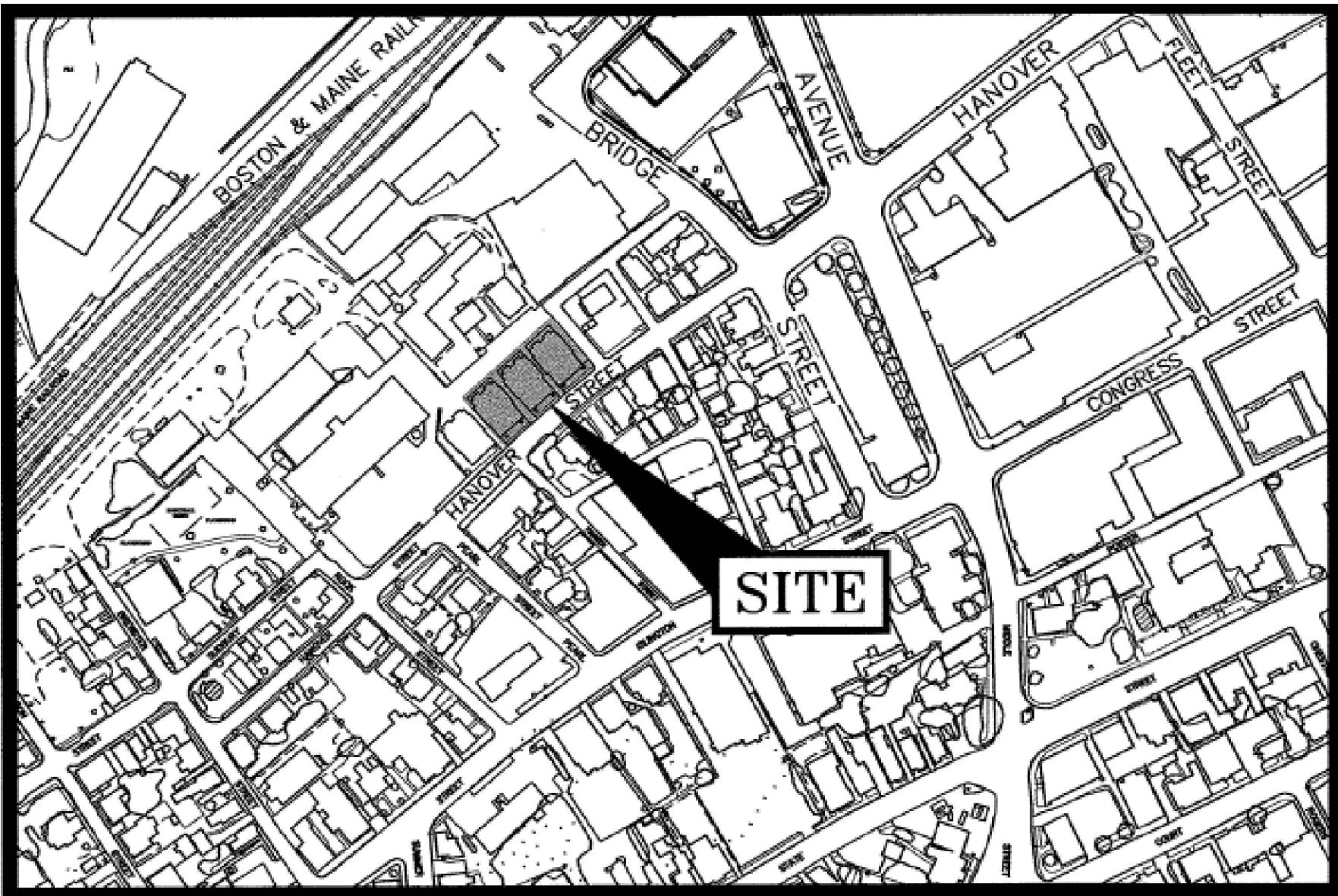
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

Issued for:

FEBRUARY 3, 2026

TAC WORK SESSION



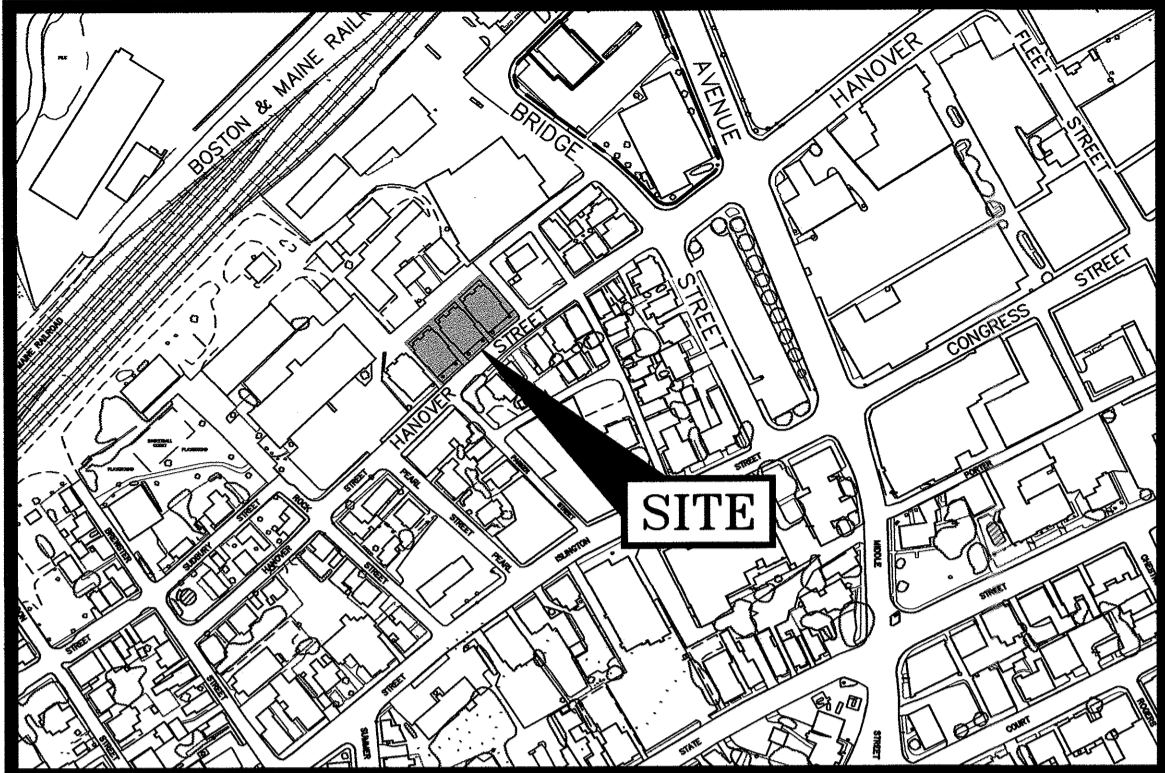
Locus Map

Scale: Not to Scale

Sheet Index Title	Sheet No.:	Rev.	Date
Existing Conditions Plan (by AMBIT)	C1	0	09/27/21
Site Plan	C.2	0	02/03/26
Utilities Plan	C.3	0	02/03/26
Neighborhood Plan	C.4	0	02/03/26
Construction Details	C-5	0	02/03/26
Construction Details	C-6	0	02/03/26
Construction Details	C-7	0	02/03/26
Construction Details	C-8	0	02/03/26
Architectural Plans (by Portsmouth Architects)			
Existing Context - Perspectives	A-1	0	02/03/26
Existing Context - Approach	A2-A3	0	02/03/26
Conceptual Massing	A4	0	02/03/26
Conceptual Hanover St Elevation	A5	0	02/03/26
Basement Floor Plan	A6	0	02/03/26
1st Floor Plan	A7	0	02/03/26
2nd & 3rd Floor Plan	A8	0	02/03/26

VARIANCES REQUIRED

- FRONT LOT LINE BUILD-OUT - TO ALLOW 88.2% WHERE 60%-80% IS REQUIRED.
- OPEN SPACE - TO ALLOW 12.0% WHERE 25% IS REQUIRED.
- BUILDING FOOTPRINT - TO ALLOW 9,380± SQUARE FEET WHERE 2,500 IS ALLOWED.
- LOT USE - TO ALLOW 18 UNIT MULTI-FAMILY BUILDING WHERE 8 UNIT MAX MULTI-FAMILY BUILDING IS ALLOWED.
- DENSITY - TO ALLOW A DENSITY OF 1 UNIT PER ±896 SQUARE FEET WHERE 3,000 IS REQUIRED.

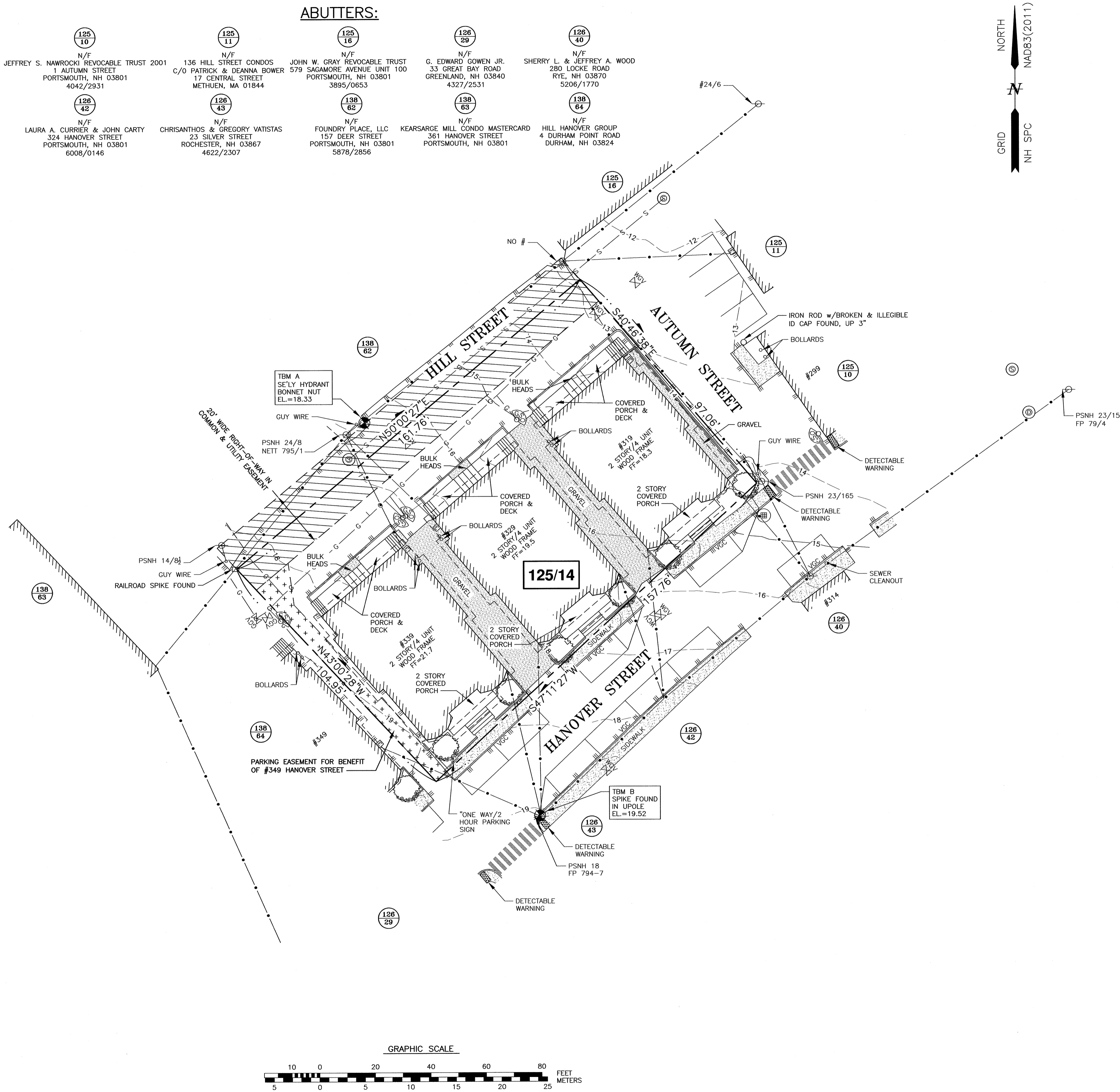


LOCATION MAP

SCALE: 1" = 300'

PLAN REFERENCES:

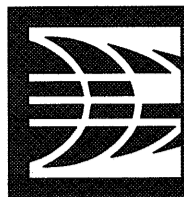
- 1) LOT LINE RELOCATION PLAN TAX MAP 125, LOT 14 & TAX MAP 138, LOT 62, OWNERS OF RECORD: HILL HANOVER GROUP, LLC c/o JPK PROPERTIES, LLC 1 NEW HAMPSHIRE AVENUE. #125 FOR DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2013, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38162.
- 2) UTILITY EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES TO THE CITY OF PORTSMOUTH, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38163.
- 3) PARKING EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 12, 2014. R.C.R.D. PLAN D-38164.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS

DATE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.
- 2) OWNER OF RECORD:
HILL-HANOVER GROUP, LLC
c/o JPK PROPERTIES, LLC
1 NEW HAMPSHIRE AVENUE, #125
PORTSMOUTH, NH 03801
4356/10
R.C.R.D. PLANS D-38162, D-38163, & D-38164
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (LIMITED 1).
- 4) DIMENSIONAL REQUIREMENTS:
CHARACTER DISTRICT 4-L1 (CD4-L1):
MIN. LOT AREA: 3,000 S.F.
FRONTAGE: NO REQUIREMENT
SETBACKS:
FRONT (MAX.): 15 FEET (PRIMARY)
FRONT (MAX.): 12 FEET (SECONDARY)
SIDE: 5-20 FEET (MAX)
REAR: 5/10
MAXIMUM STRUCTURE HEIGHT: 2-3 STORIES
40 FEET
MAXIMUM STRUCTURE COVERAGE: 60%
MAXIMUM BUILDING FOOTPRINT: 2,500 S.F.
MINIMUM OPEN SPACE: 25%
MINIMUM FRONT LOT LINE BUILDOUT: 60-80%
- 5) LOT AREA: 16,127 S.F., 0.3702 ACRES.
- 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS NGS PID 0C0290 - B 2 1923.
- 9) PARCEL IS SUBJECT TO A 20' WIDE UTILITY EASEMENT. SEE R.C.R.D. 5518/2759.
- 10) PARCEL IS SUBJECT TO AND BENEFITED BY A 20' WIDE RIGHT-OF-WAY IN COMMON. SEE R.C.R.D. 829/130.
- 11) PARCEL BENEFITS FROM AN EASEMENT FOR PARKING. SEE R.C.R.D. 5518/2747, SEE ALSO PARTIAL RELEASE R.C.R.D. 5751/1463.

RESIDENTIAL BUILDING
HILL-HANOVER GROUP, LLC
181 HILL STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	9/27/21

REVISIONS

SCALE 1" = 20' SEPTEMBER 2021

EXISTING CONDITIONS
PLAN

C1



SITE SUMMARY

- DESIGN INTENT – THIS PLAN IS INTENDED TO DEPICT THE PROPOSED MULTI-FAMILY RESIDENTIAL BUILDING TOGETHER WITH ASSOCIATED PARKING AND ACCESSWAYS.
- THE BASE PLAN USED WAS DEVELOPED FROM THE EXISTING CONDITIONS PLAN PREPARED BY AMBIT ENGINEERING, INC., DATED SEPTEMBER 27, 2021.
- ZONING DISTRICT: PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4--L1 DISTRICT
- PROJECT PARCEL: TAX MAP 125 – LOT 14 16,127 S.F. (±0.37 AC.)

DIMENSIONAL REQUIREMENTS:	CD4--L1	EXISTING	PROVIDED
MIN. LOT AREA:	3,000 S.F.	16,127 S.F.	16,127 S.F.
LOT AREA PER DWELLING:	3,000 S.F.	±1,344 S.F.	±896 S.F.
DWELLING UNITS PER BLDG:	8 (MAX)	4 (12 TOTAL)	18
FRONT SETBACK:			
HANOVER STREET (PRIMARY)	15' MAX	±2.7'	±2.6'
AUTUMN STREET (SECONDARY)	12' MAX	±4.6'	±7.4'
SIDE SETBACK:	5' MIN – 20' MAX	±6.8	±10.5'
REAR SETBACK:	5' FROM LOT LINE OR 10' FROM C/L ALLEY	±26.9'	±25.4'
FRONT LOT LINE BUILD-OUT:	60% MIN – 80% MAX	±78.1%	±88.8%
MAX. BLDG. BLOCK LENGTH:	80'	±157.76' (EXIST)	±157.76'
MAX. BLDG. FOOTPRINT:	2,500 SF	±8,129 SF	±9,378 SF
MAX. BLDG. COVERAGE:	60%	±51.4%	±58.5%
MIN. OPEN SPACE:	25%	±4.5%	±12.0%
MAX. BUILDING HEIGHT:	40' (2–3 STORIES)	25'+	±39'–6"
MAX. FINISHED FLOOR ABOVE SIDEWALK:	36" (3.0')	±36"	2.8"

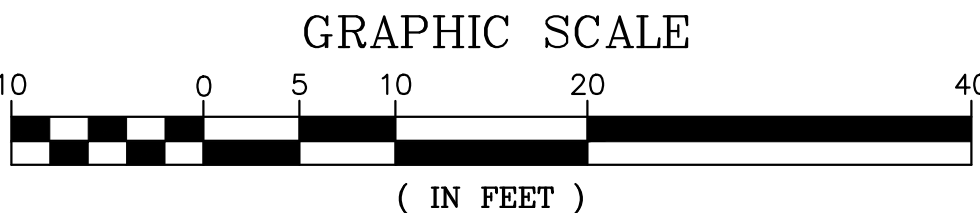
PARKING REQUIREMENTS:

DWELLING UNITS: 1.0 SPACES PER DWELLING UNIT
18 UNITS x 1.0 = 18 SPACES

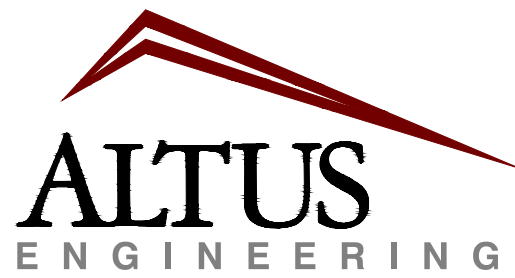
VISITOR SPACES: 1.0 PER 5 UNITS
18 UNITS/5 X 1.0 = 3.6 SPACES

TOTAL PARKING REQUIRED: 22 SPACES TOTAL

PARKING SPACES PROVIDED: 17 (BASEMENT)
6 (EXTERIOR)
23 TOTAL



ENGINEER:



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(603) 433-2335

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ISSUED FOR:

TAC WORK SESSION

ISSUE DATE:

FEBRUARY 3, 2026

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0	TECHNICAL REVIEW	CDB	02/03/26

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CDB

APPROVED BY:

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DRAWING FILE:

5608_SITE.DWG

SCALE:

22" X 34" = 1" = 10'
11" X 17" = 1" = 20'

OWNER:

HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

PROJECT:

HILL / HANOVER
MULTI-FAMILY

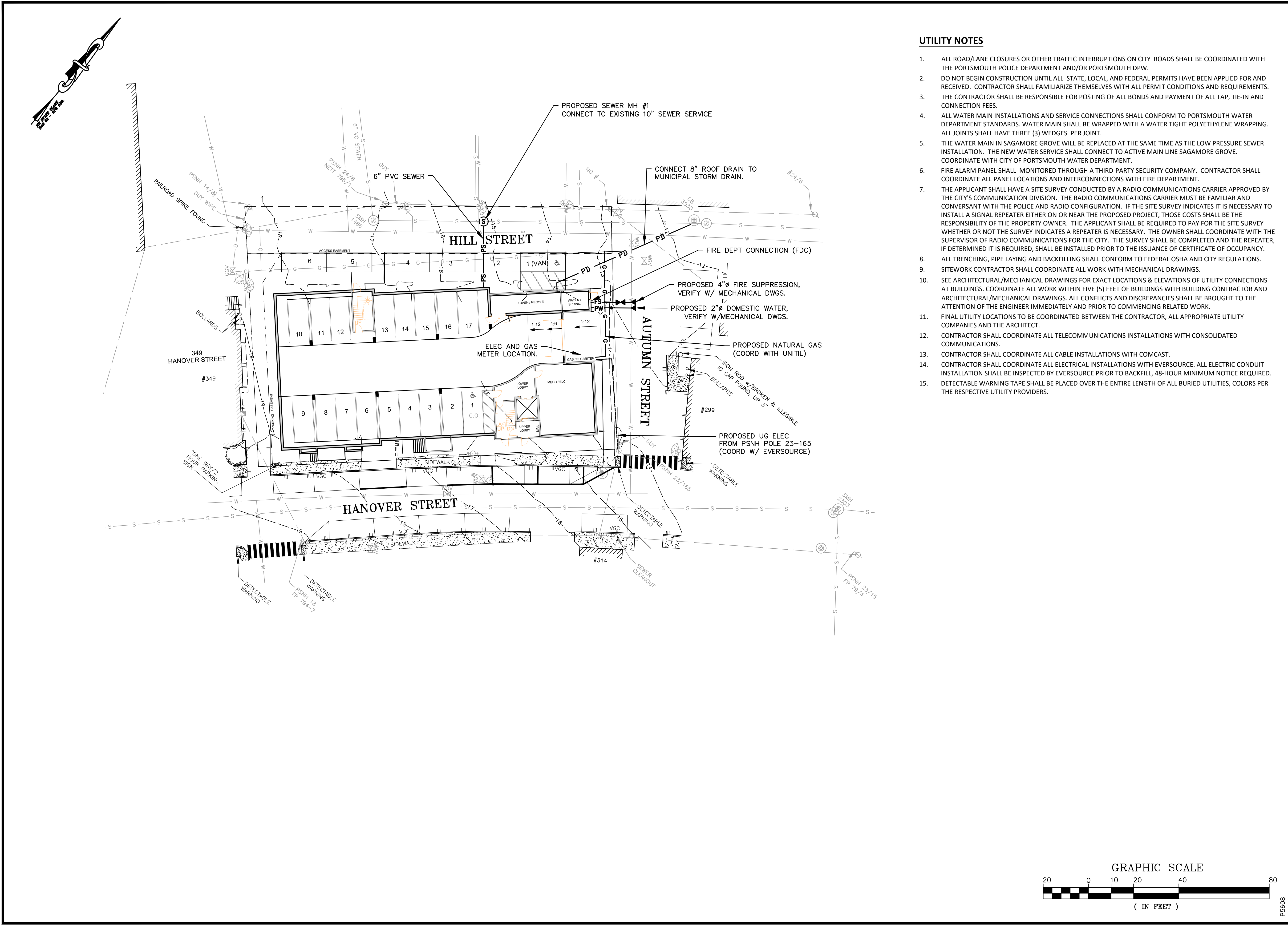
181 HILL STREET
PORTSMOUTH, NH 03801

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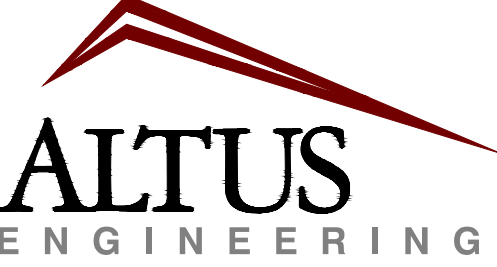
SITE PLAN

SHEET NUMBER:

C.2



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REVISIONS		
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0	TECHNICAL REVIEW	CDB 02/03/26

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SCALE:

OWNER:

HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

PROJECT:

HILL / HANOVER
MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:

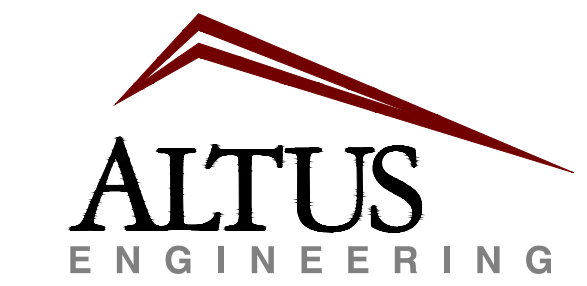
UTILITIES PLAN

SHEET NUMBER:

C.3



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ISSUED FOR:

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ISSUE DATE:

FEBRUARY 3, 2026

REVISIONS

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0	TECHNICAL REVIEW	CDB	02/03/26

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CDB

APPROVED BY:

CDB

DRAWING FILE:

5608_SITE.DWG

SCALE:

22" X 34" = 1" = 50'
11" X 17" = 1" = 100'

OWNER:

HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

PROJECT:

HILL / HANOVER
MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:

NEIGHBORHOOD PLAN

SHEET NUMBER:

C.4

P5608

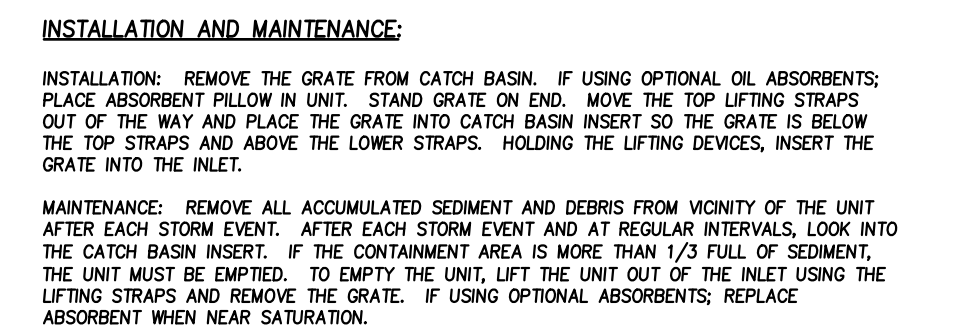


Diagram illustrating the cross-section of a trench excavation. The diagram shows a trench with a sloped side and a vertical wall. Key features and dimensions are labeled:

- EXCAVATED UTILITY TRENCH (SEE TRENCH SECTION)**: Points to the top edge of the trench.
- EXISTING GRAVEL BEYOND TRENCH SHALL BE LEFT UNDISTURBED**: Points to the area outside the trench.
- 12" (MIN)**: Dimension indicating the minimum width of the gravel area.
- 24" MIN.**: Dimension indicating the minimum width of the trench.
- LIMIT OF TRENCH EXCAVATION (TYP)**: Points to the sloped side of the trench.
- SAWCUT EDGE (TYP)**: Points to the bottom edge of the trench.

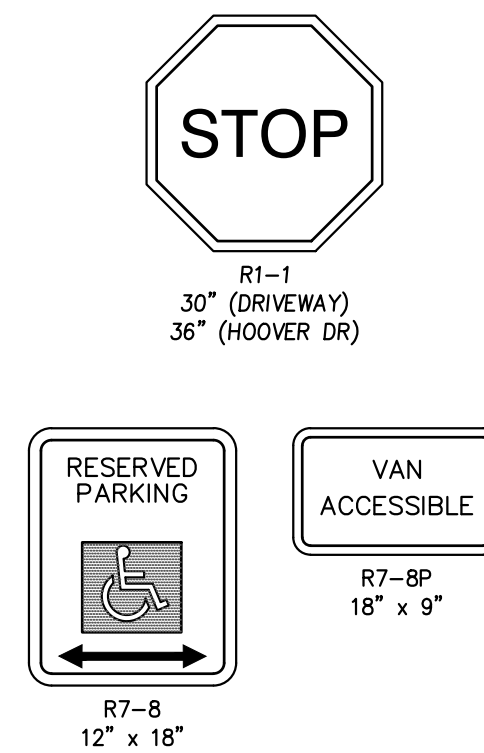
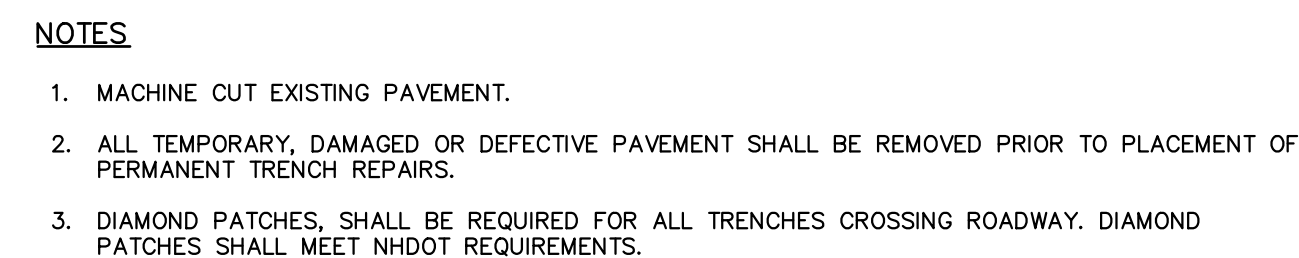


Diagram illustrating the layout and dimensions for a wheelchair accessible stall, including a curb ramp, sidewalk, and van spaces.

Labels and Dimensions:

- CURB RAMP (SEE SITE PLAN FOR TYPE AND LAYOUT)**: Indicated by an arrow pointing to the ramp structure.
- POST OR BUILDING MOUNTED R7-8 (R7-BP ADDED AT VAN SPACES, SEE SITE PLAN FOR LOCATION)**: Indicated by an arrow pointing to a post on the sidewalk.
- 4" WHITE PAINTED LINES (TYP)**: Indicated by an arrow pointing to the vertical lines defining the stall boundaries.
- PAINTED HANDICAP SYMBOL (TYP, SEE DETAIL)**: Indicated by an arrow pointing to the wheelchair symbol inside the stall.
- 3" @ 45°**: Dimension indicating the slope of the ramp.
- STALL LENGTH PER SITE PLAN**: Dimension indicating the length of the stall.
- 8' (TYP)**: Dimension indicating the width of the sidewalk area on either side of the stall.
- 5' (MIN)**: Dimension indicating the minimum width of the stall.
- (8' FOR VAN SPACES)**: Dimension indicating the total width required for van spaces.

Diagram illustrating the cross-section of a pavement structure, showing the following layers and materials:

- NHDOT ITEM 403.12 - HOT BITUMINOUS CONCRETE PAVEMENT (4" NOMINAL)
- 1-1/2" WEARING COURSE, (TYPE 12 mm)
- 2-1/2" BINDER COURSE, (TYPE 19 mm)
- SLOPE AS SHOWN ON PLANS
- TACK COAT BETWEEN PAVEMENT COURSES
- NHDOT ITEM 304.3 - 6" CRUSHED GRAVEL
- NHDOT ITEM 304.2 - 12" GRAVEL
- COMPACTED NATIVE SUBGRADE (OR FILL WHERE REQUIRED)

ENGINEER:



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4 Market Street
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ISSUED FOR:

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SCALE:

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**1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801**

PROJECT:

*HILL / HANOVER
MULTI-FAMILY*

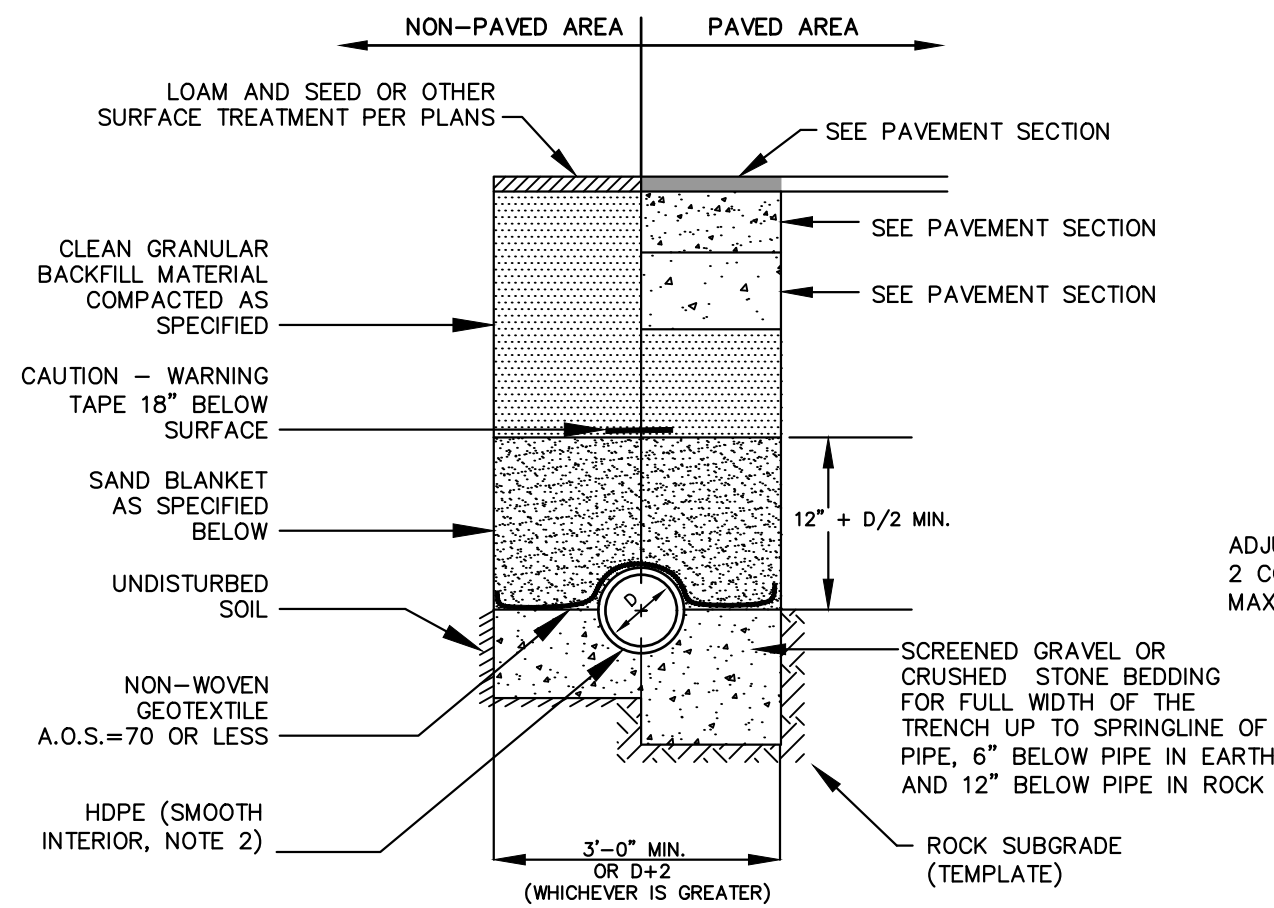
181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:

CONSTRUCTION DETAILS

SHEET NUMBER:

C.5



NOTES:

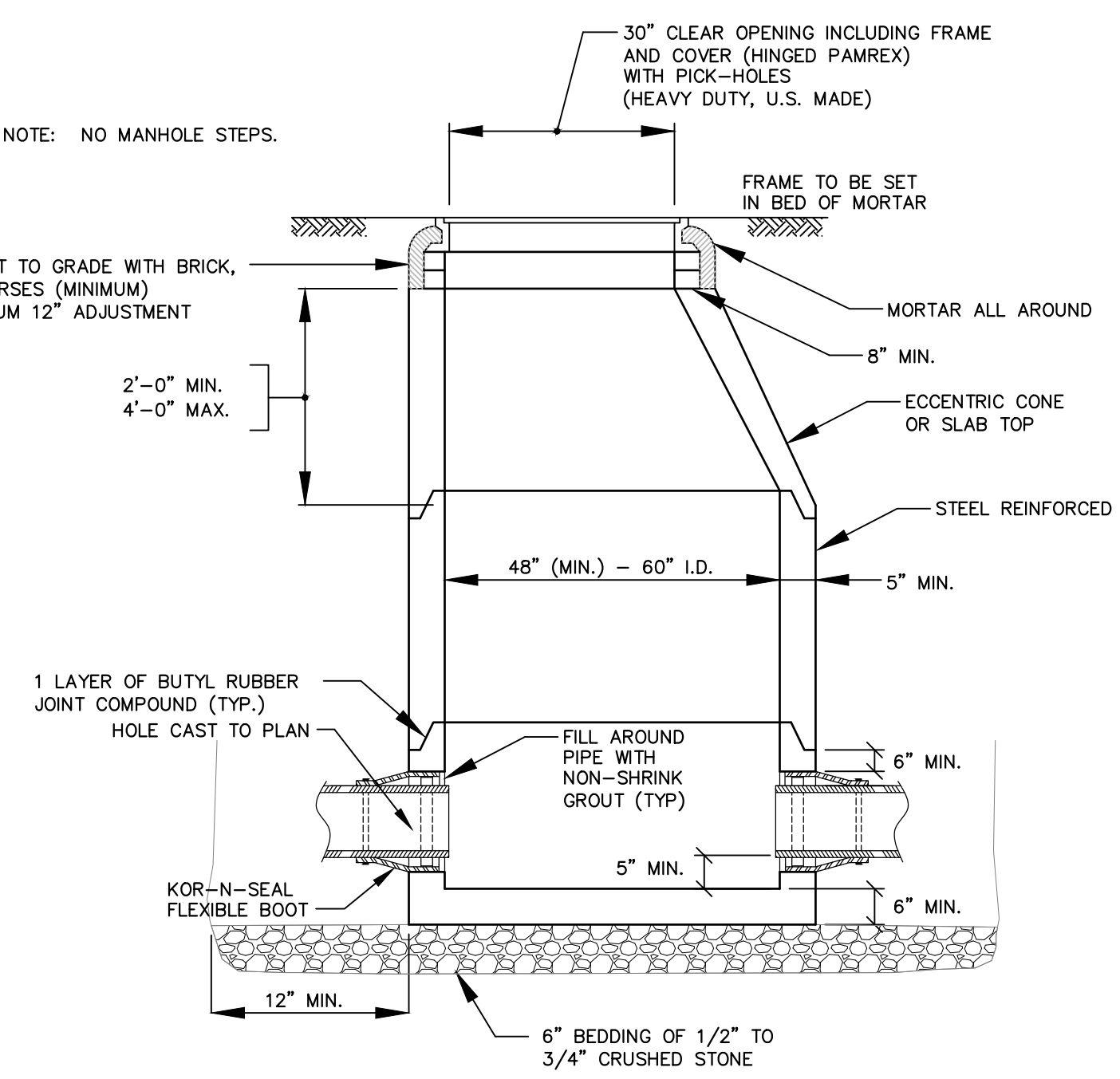
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

2. ALL PIPE SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR, ADS TYPE N-12 OR APPROVED EQUAL.

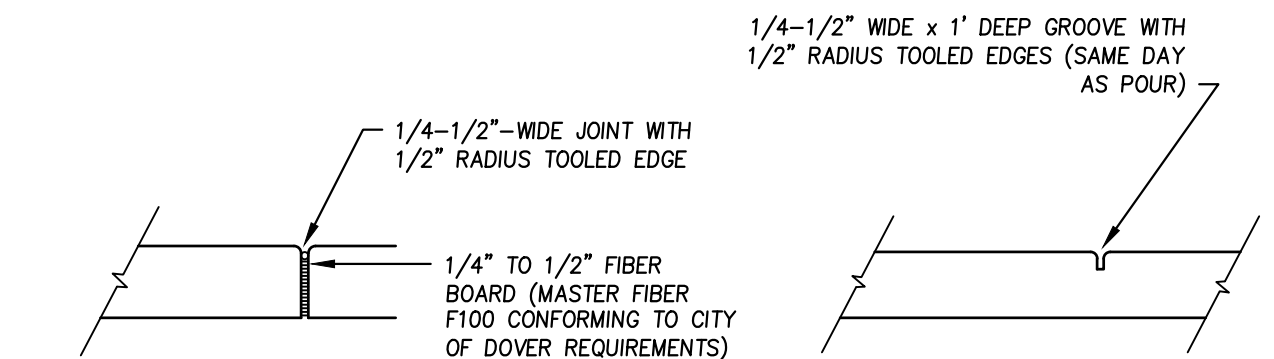
SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING*	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

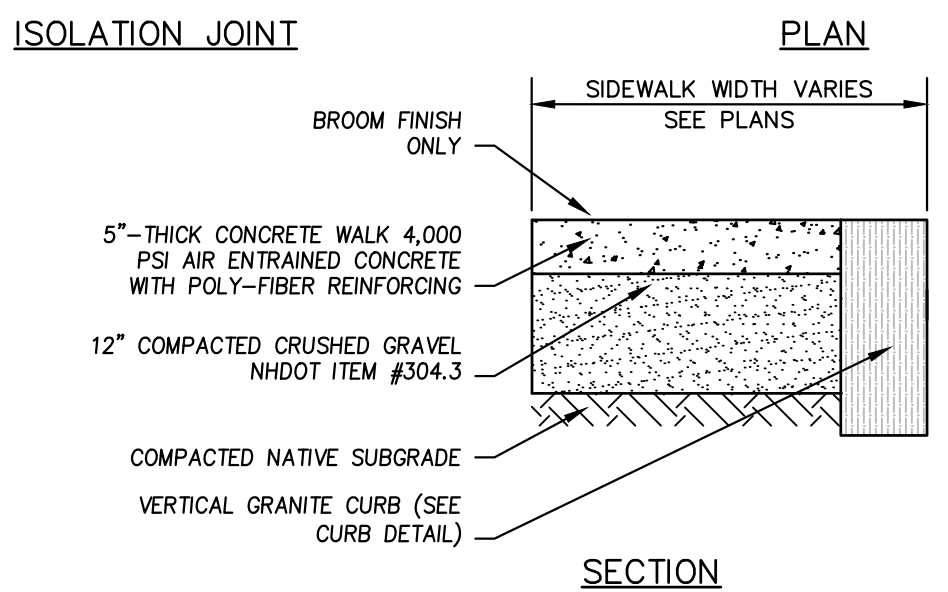
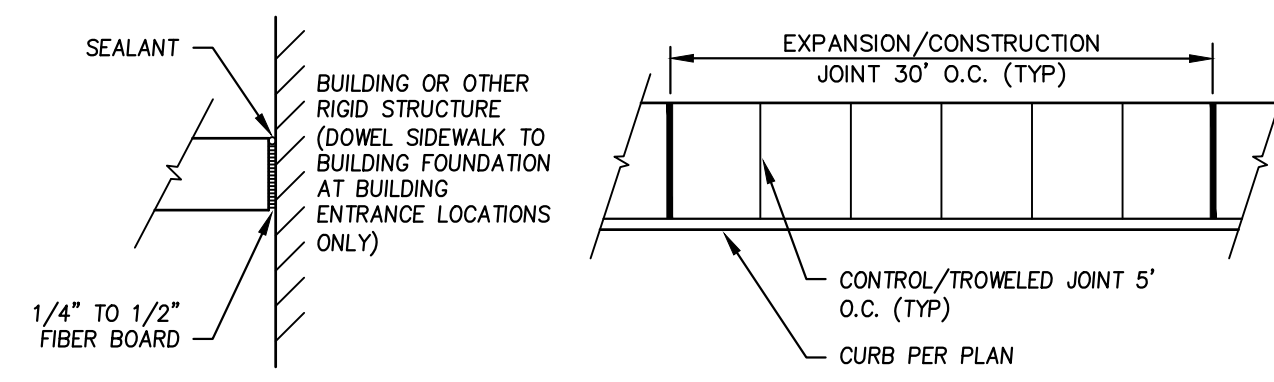
STORM DRAIN TRENCH NOT TO SCALE



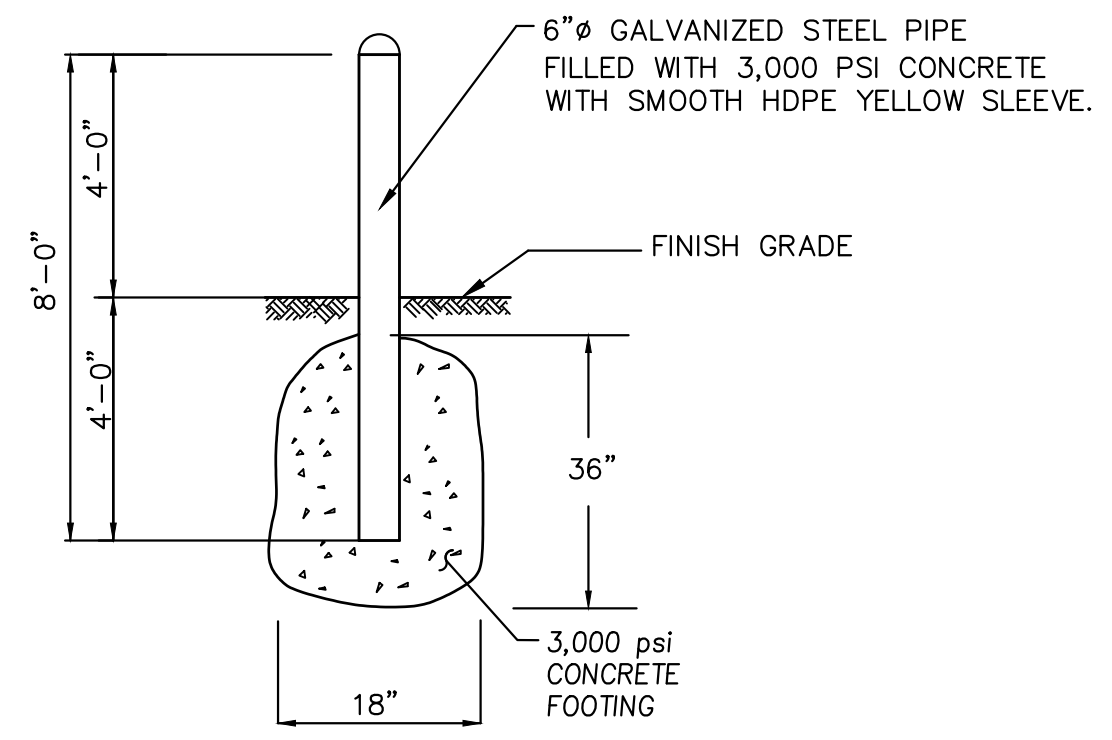
DRAIN MANHOLE DETAIL NOT TO SCALE



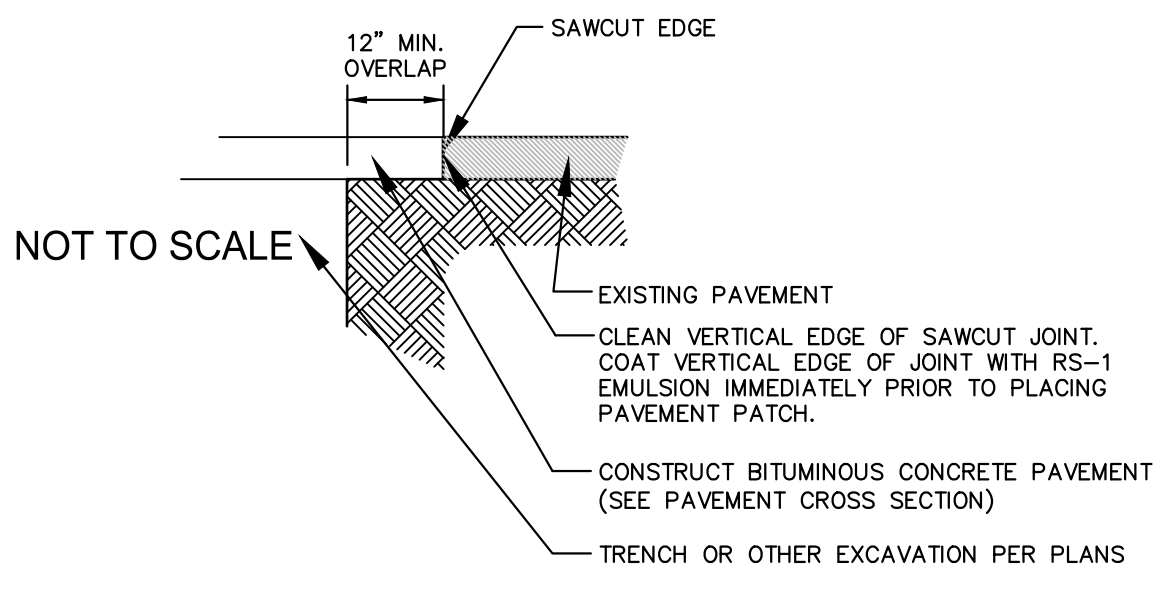
EXPANSION/CONSTRUCTION JOINT CONTROL/TROWELED JOINT



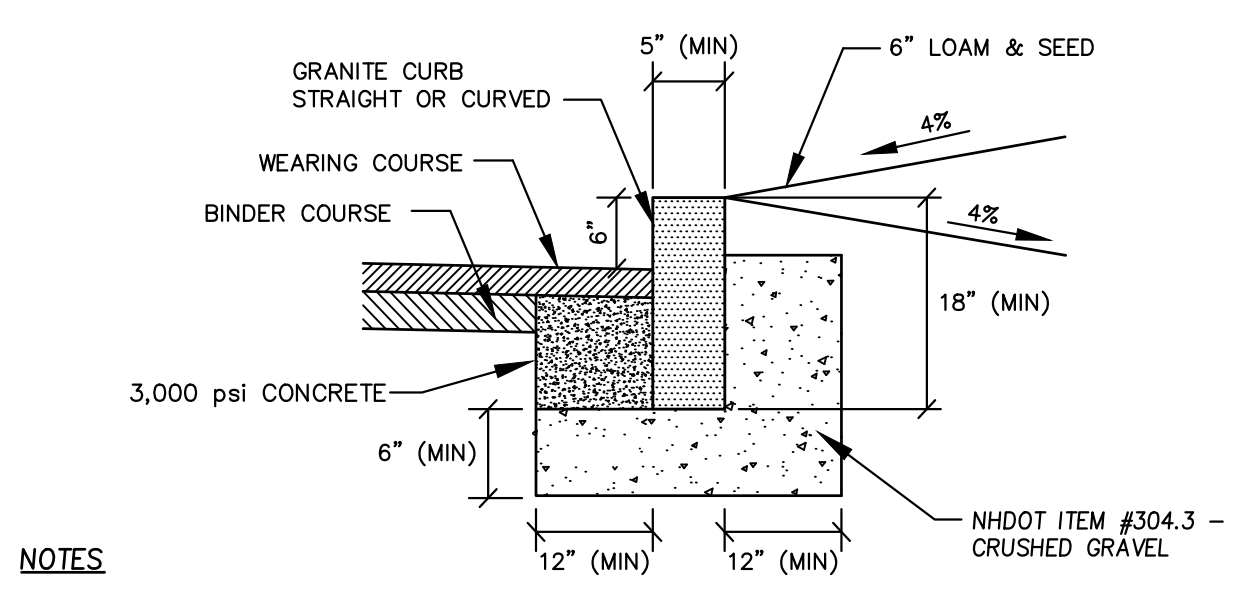
CONCRETE SIDEWALK DETAIL NOT TO SCALE



BOLLARD NOT TO SCALE



TYPICAL PAVEMENT SAWCUT NOT TO SCALE



NOTES:

1. SEE PLANS FOR CURB LOCATION.

2. SEE PLANS FOR PAVEMENT CROSS SECTION.

3. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

4. MINIMUM LENGTH OF CURB STONES = 4'.

5. MAXIMUM LENGTH OF CURB STONES = 10'.

6. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.

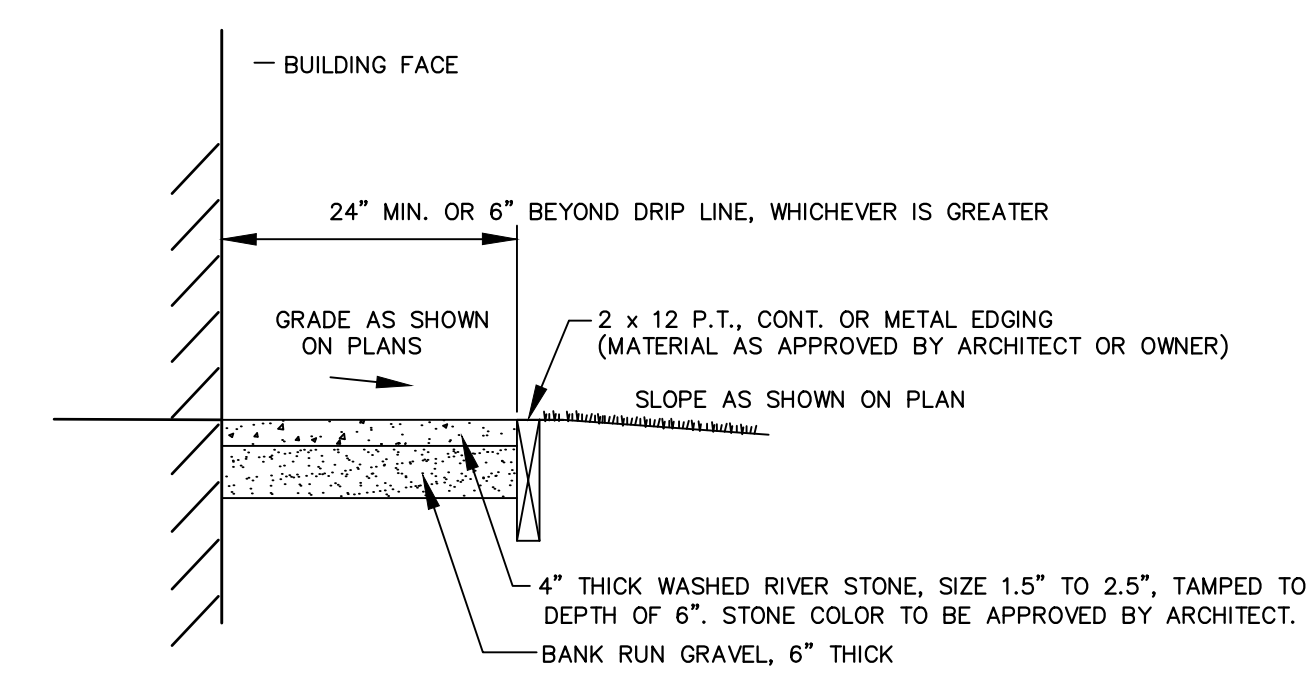
7. CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALL FOR ON THE PLANS.

8. CURB SHALL BE INSTALLED PRIOR TO PLACEMENT OF TOP PAVEMENT COURSE.

9. JOINTS BETWEEN CURB STONES SHALL BE MORTARED.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

VERTICAL GRANITE CURB NOT TO SCALE



DRIP EDGE DETAIL NOT TO SCALE

ENGINEER:

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ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
FEBRUARY 3, 2026

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TECHNICAL REVIEW	CDB	02/03/26

DRAWN BY: CDB

APPROVED BY: CDB

DRAWING FILE: 5608_SITE.DWG

SCALE:

OWNER:

HILL-HANOVER GROUP LLC
C/O JPK PROPERTIES LLC

1 NEW HAMPSHIRE AVENUE, SUITE #125
PORTSMOUTH, NH 03801

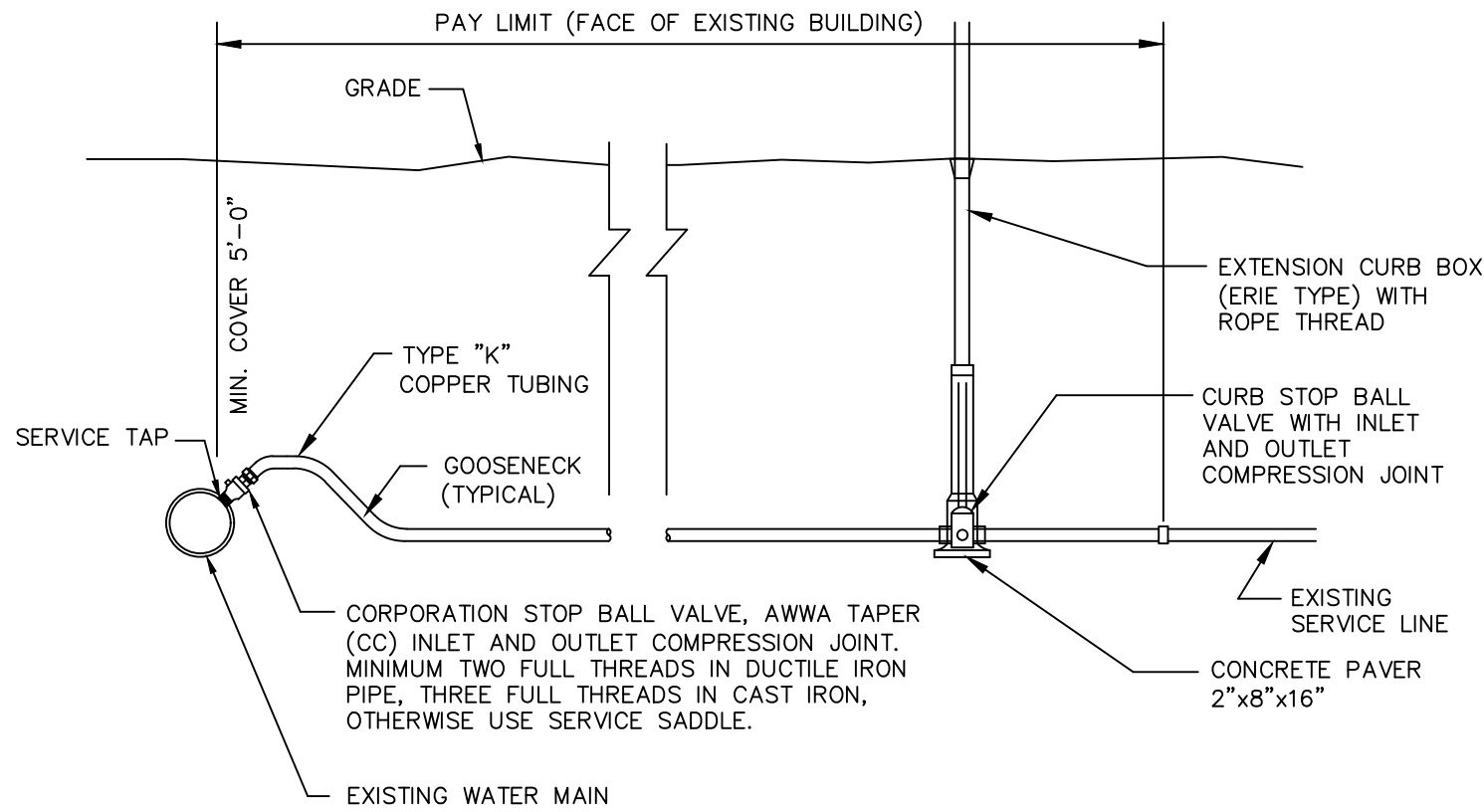
PROJECT:

HILL / HANOVER
MULTI-FAMILY

181 HILL STREET
PORTSMOUTH, NH 03801

TITLE:
CONSTRUCTION
DETAILS

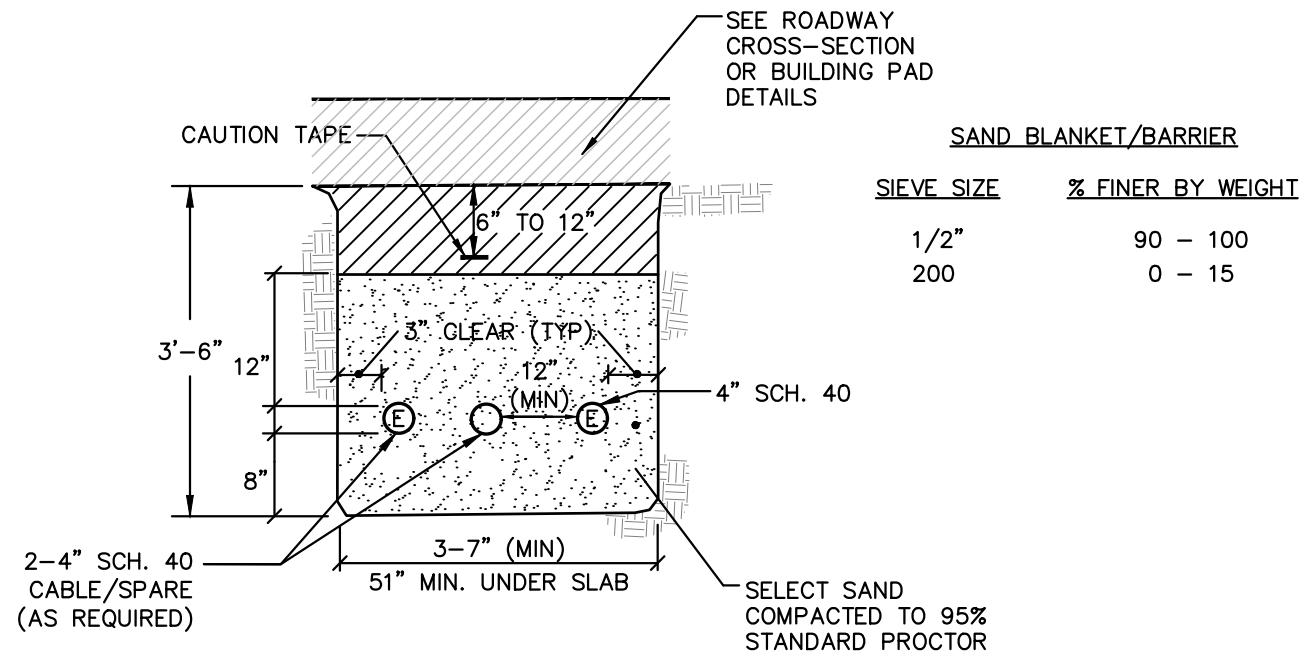
SHEET NUMBER:
C.6



NOTES

1. PROVIDE NEW LINE USING CONTINUOUS LENGTHS OF COPPER. NO COUPLING ALLOWED IN ROADWAY WITHOUT APPROVAL OF ENGINEER.
2. TAPS TO BE MADE AT APPROXIMATELY 2:00 & 10:00
3. PROVIDE FOR SERVICE LINE CONTRACTION AND EXPANSION BY INSTALLING "S" IN SERVICE LINE NEAR MAIN.
4. IF SERVICE IS INSTALLED WITH LESS THAN 5' COVER, INSULATE OVER LINE.
5. REMOVE EXISTING CURB STOP.
6. CONNECT CURB STOP TO EXISTING SERVICE LINE AT PROPERTY LINE OR AT LOCATION APPROVED BY THE ENGINEER (NO COUPLING WITHOUT APPROVAL OF ENGINEER) AFTER PRESSURE TESTING AND DISINFECTION.
7. SHUT OFF EXISTING CORPORATION AND REMOVE OR ABANDON EXISTING SERVICE LINE.
8. CURB BOX SHALL BE SET IN THE GRASS/LANDSCAPE AREA BETWEEN CURB AND SIDEWALK UNLESS DIRECTED OTHERWISE.
9. 2" OR LARGER SERVICE CONNECTIONS SHALL USE A STAINLESS STEEL SERVICE SADDLE.

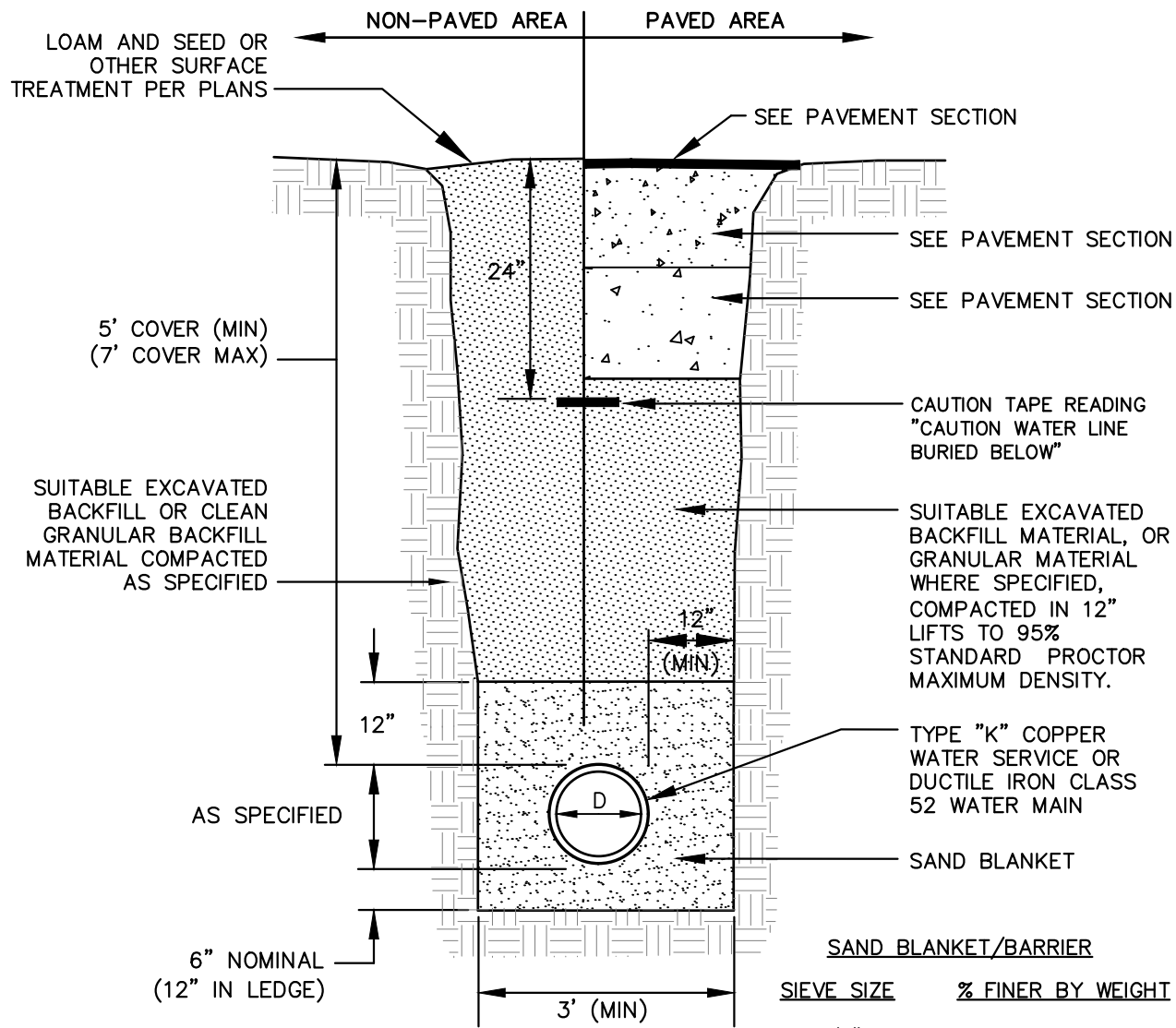
SERVICE CONNECTION DETAIL NOT TO SCALE



NOTES

1. ALL CONDUIT IS TO BE SCHEDULE 40 PVC, ELECTRICAL GRADE, GRAY IN COLOR AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. A 10-FOOT HORIZONTAL SECTION OF RIGID GALVANIZED STEEL CONDUIT WILL BE REQUIRED AT EACH SWEEP, UNLESS IN THE OPINION OF THE SERVICE PROVIDER DESIGNER, THE SWEEP-PVC JOINT IS NOT SUBJECT TO FAILURE DURING PULLING OF THE CABLE. ALL JOINTS ARE TO BE WATERTIGHT.
2. ALL 90 DEGREE SWEEPS WILL BE MADE WITH RIGID GALVANIZED STEEL WITH A MINIMUM RADIUS OF 36 INCHES FOR PRIMARY CABLES AND 24 INCHES FOR SECONDARY CABLES.
3. BACKFILL MAY BE MADE WITH EXCAVATED MATERIAL OR COMPARABLE, UNLESS MATERIAL IS DEEMED UNSUITABLE BY SERVICE PROVIDER. BACKFILL SHALL BE FREE OF FROZEN LUMPS, ROCKS, DEBRIS, AND RUBBISH. ORGANIC MATERIAL SHALL NOT BE USED AS BACKFILL. BACKFILL SHALL BE IN 6-INCH LAYERS AND THOROUGHLY COMPACTED.
4. A SUITABLE PULLING STRING, CAPABLE OF 300 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE SERVICE PROVIDER IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT. A MINIMUM OF TWENTY-FOUR (24") INCHES OF ROPE SLACK SHALL REMAIN AT THE END OF EACH DUCT. PULL ROPE SHALL BE INSTALLED IN ALL CONDUIT FOR FUTURE PULLS. PULL ROPE SHALL BE NYLON ROPE HAVING A MINIMUM TENSILE STRENGTH OF THREE HUNDRED (300) LBS.
5. SERVICE PROVIDER SHALL BE GIVEN THE OPPORTUNITY TO INSPECT ALL CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD SERVICE PROVIDER BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
6. TYPICAL CONDUIT SIZES ARE 3-INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4-INCH FOR THREE PHASE SECONDARY, AND 5-INCH FOR THREE PHASE PRIMARY. HOWEVER, SERVICE PROVIDERS MAY REQUIRE DIFFERENT NUMBERS, TYPES AND SIZES OF CONDUIT THAN THOSE SHOWN HERE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDUIT SIZES, TYPES AND NUMBERS WITH EACH SERVICE PROVIDER PRIOR TO ORDERING THEM.
7. ROUTING OF CONDUIT, LOCATION OF MANHOLES, TRANSFORMERS, CABINETS, HANDHOLES, ETC., SHALL BE DETERMINED BY SERVICE PROVIDER DESIGN PERSONNEL. THE CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS PRIOR TO THE INSTALLATION OF ANY CONDUIT.
8. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE WHERE REQUIRED BY UTILITY PROVIDER, CONDUIT SHALL BE SUPPORTED IN PLACE USING PIPE STANCHIONS PLACED EVERY FIVE (5') FEET ALONG THE CONDUIT RUN.
9. UNDER A BUILDING SLAB THE CONDUIT SHALL BE ENCASED IN 8" OF CONCRETE ON ALL SIDES.
10. ALL CONDUIT TERMINATIONS SHALL BE CAPPED TO PREVENT DEBRIS FROM ENTERING CONDUIT.

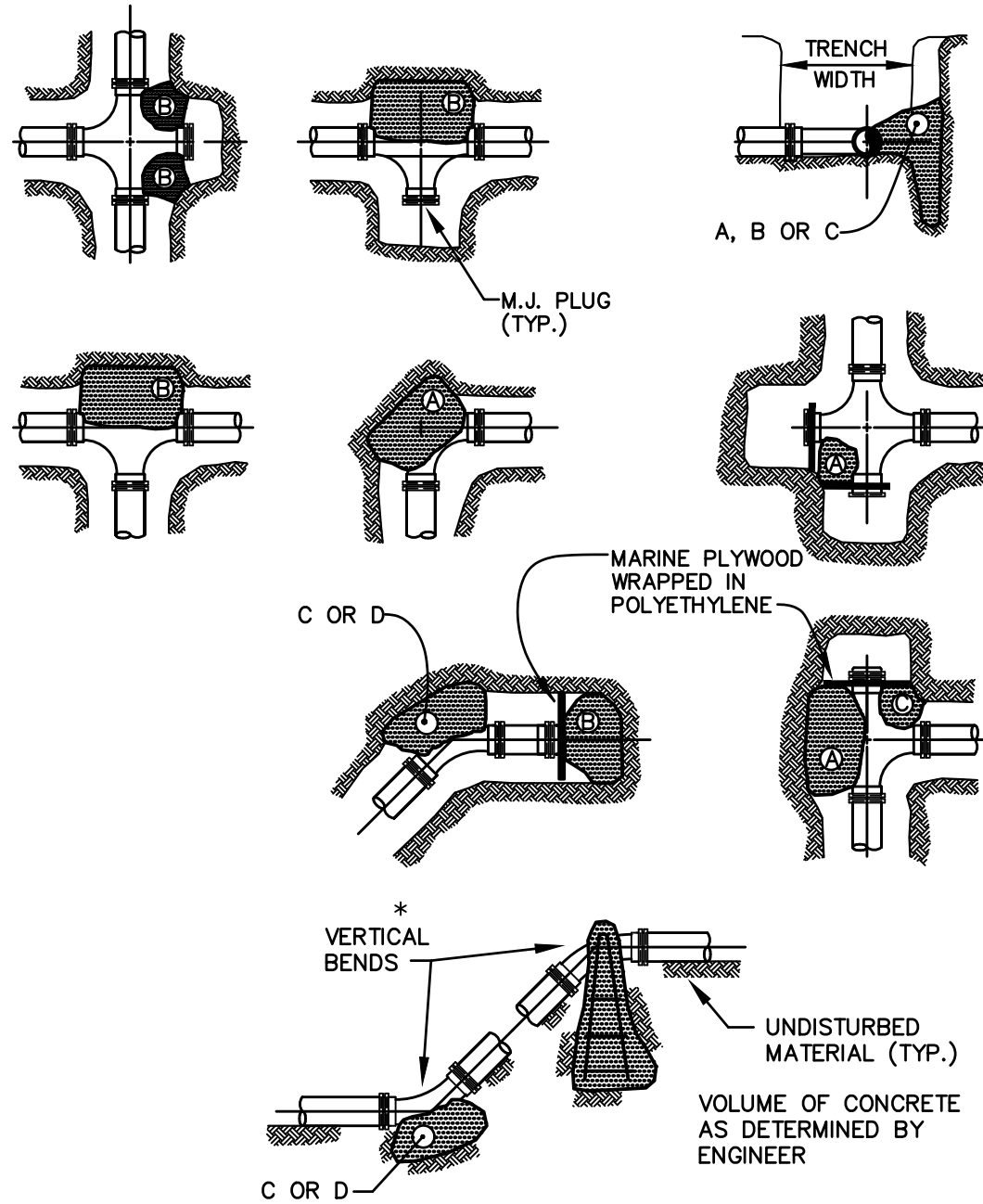
ELECTRIC / COMMUNICATION TRENCH NOT TO SCALE



NOTES

1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
2. WATER MAINS SHALL BE POLY WRAPPED.
3. WATER MAINS SHALL HAVE 3 WEDGES PER JOINT.

WATER TRENCH NOT TO SCALE

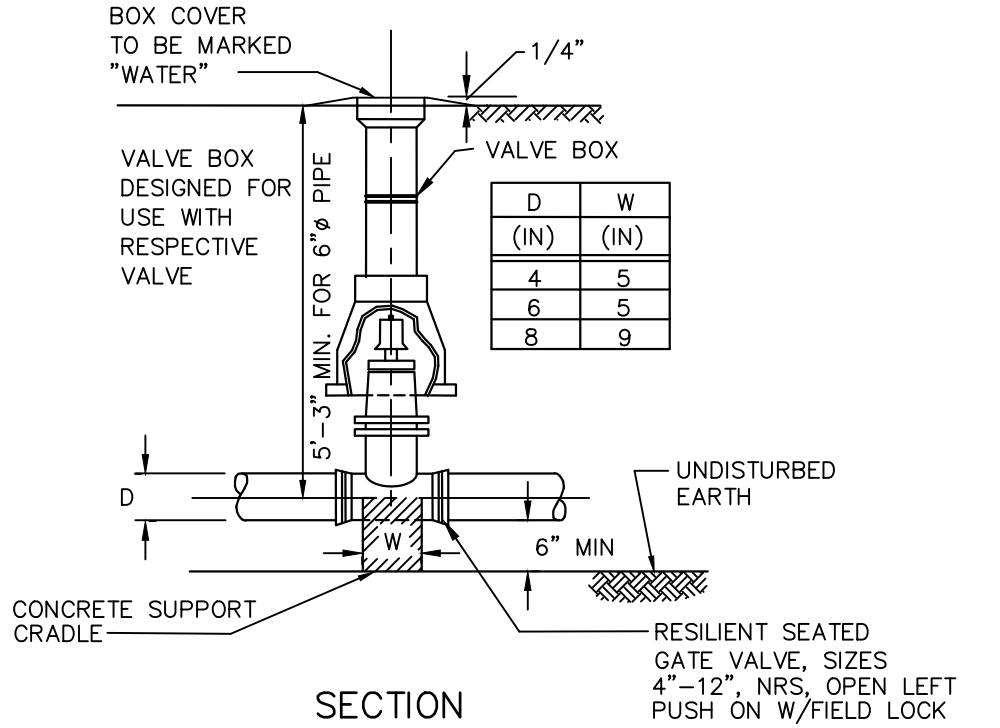


TEST PRESSURE = 150 PSI	SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL						
	REACTION TYPE	PIPE SIZE					
		4"	6"	8"	10"	12"	
A	90°	0.89	2.19	3.82	11.14	17.24	
B	180°	0.65	1.55	2.78	8.38	12.00	
C	45°	0.48	1.19	2.12	6.02	9.32	
D	22-1/2°	0.25	0.60	1.06	3.08	4.74	
E	11-1/4°	0.13	0.30	0.54	1.54	2.38	

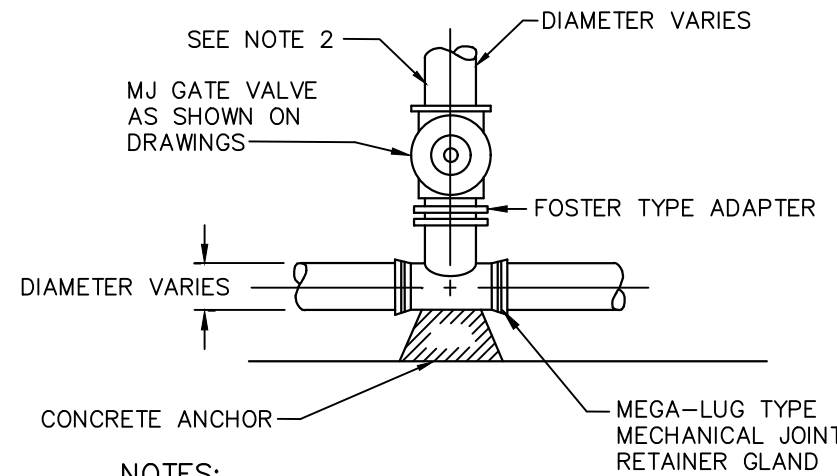
NOTES:

1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
5. POLYETHYLENE (6 MIL) SHALL BE PLACED AROUND FITTINGS PRIOR TO CONCRETE PLACEMENT.

THRUST BLOCKING DETAIL NOT TO SCALE



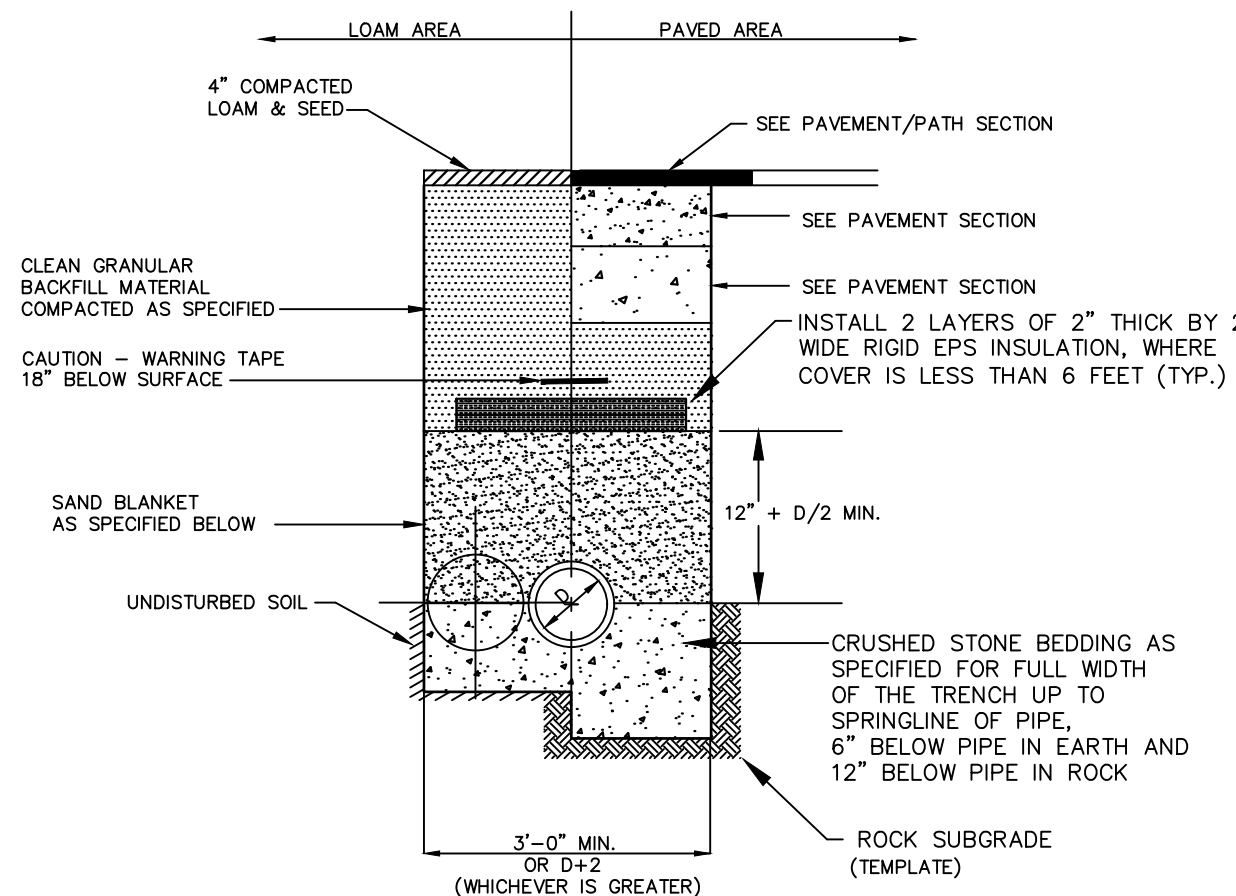
WATER VALVE DETAIL NOT TO SCALE



NOTES:

1. GATE VALVES SHALL OPEN RIGHT, PER CITY STANDARDS.
2. BRANCH PIPING SHALL BE MECHANICALLY RESTRAINED AS NOTED UNDER THRUST BLOCK DETAIL REQUIREMENTS.

TEE & GATE VALVE ASSEMBLY DETAIL NOT TO SCALE



BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

SAND BLANKET

SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 - 100
200	0 - 15

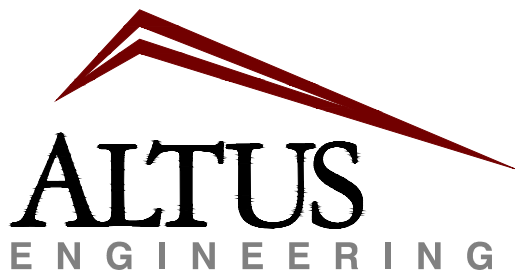
CRUSHED STONE BEDDING *

SIEVE SIZE	% PASSING BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 - 10
# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

SEWER TRENCH SECTION NOT TO SCALE

ENGINEER:



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PROJECT:

HILL / HANOVER
MULTI-FAMILY

181 HILL STREET
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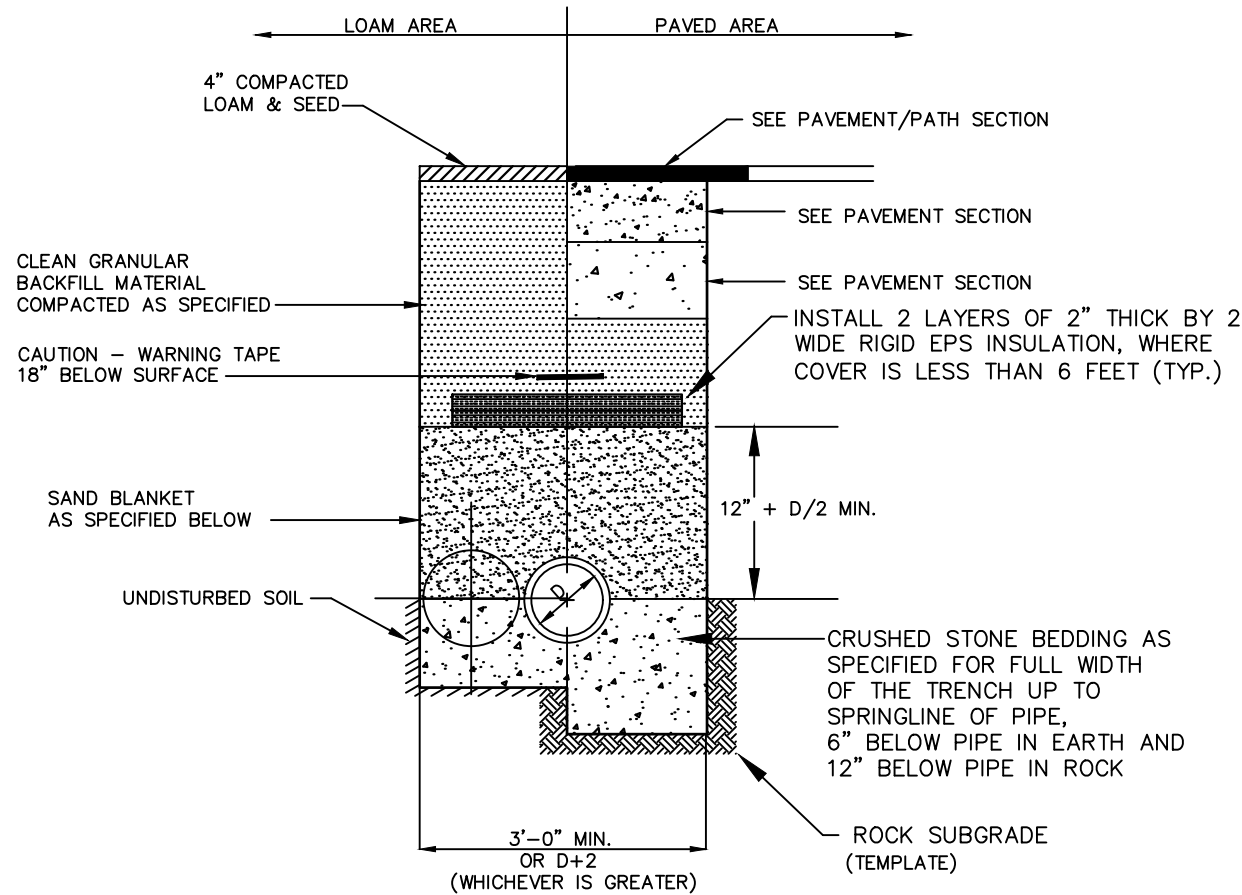
SHEET NUMBER:

C.7

P5608

MANHOLE NOTES:

1. IT IS THE INTENTION OF THE NHDES THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT IN ANY APPROVED MANHOLE. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H=20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE, A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
2. BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED.
3. PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
4. LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN'S STANDARD SPECIFICATIONS.
5. INVERTS AND SHELVES MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES, OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
6. FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) LETTER "S" FOR SEWERS OR "D" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
7. BEDDING SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33.
8. CONCRETE FOR DROP SUPPORT SHALL CONFORM TO THE REQUIREMENT FOR CLASS A (3000 LBS.) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
- CEMENT 6.0 BAGS PER CUBIC YARD
WATER 5.75 GALLONS PER BAG CEMENT
MAXIMUM SIZE OF AGGREGATE 1 INCH
9. FLEXIBLE JOINT A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
- PVC PIPE - 60"
RCP & CI PIPE - ALL SIZES - 48"
AC & VC PIPE - UP THROUGH 12" DIAMETER - 18"
AC & VC PIPE - LARGER THAN 12" DIAMETER - 36"
10. SHALLOW MANHOLE IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H=20 LOADS.



BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

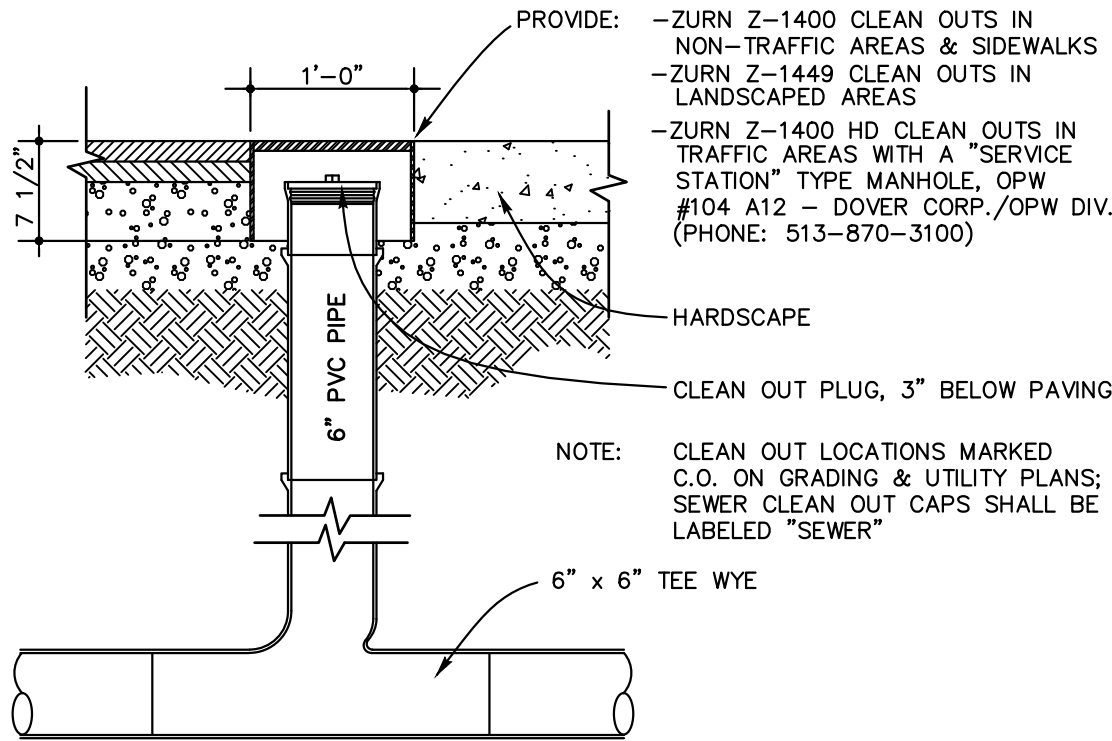
SAND BLANKET		CRUSHED STONE BEDDING *	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

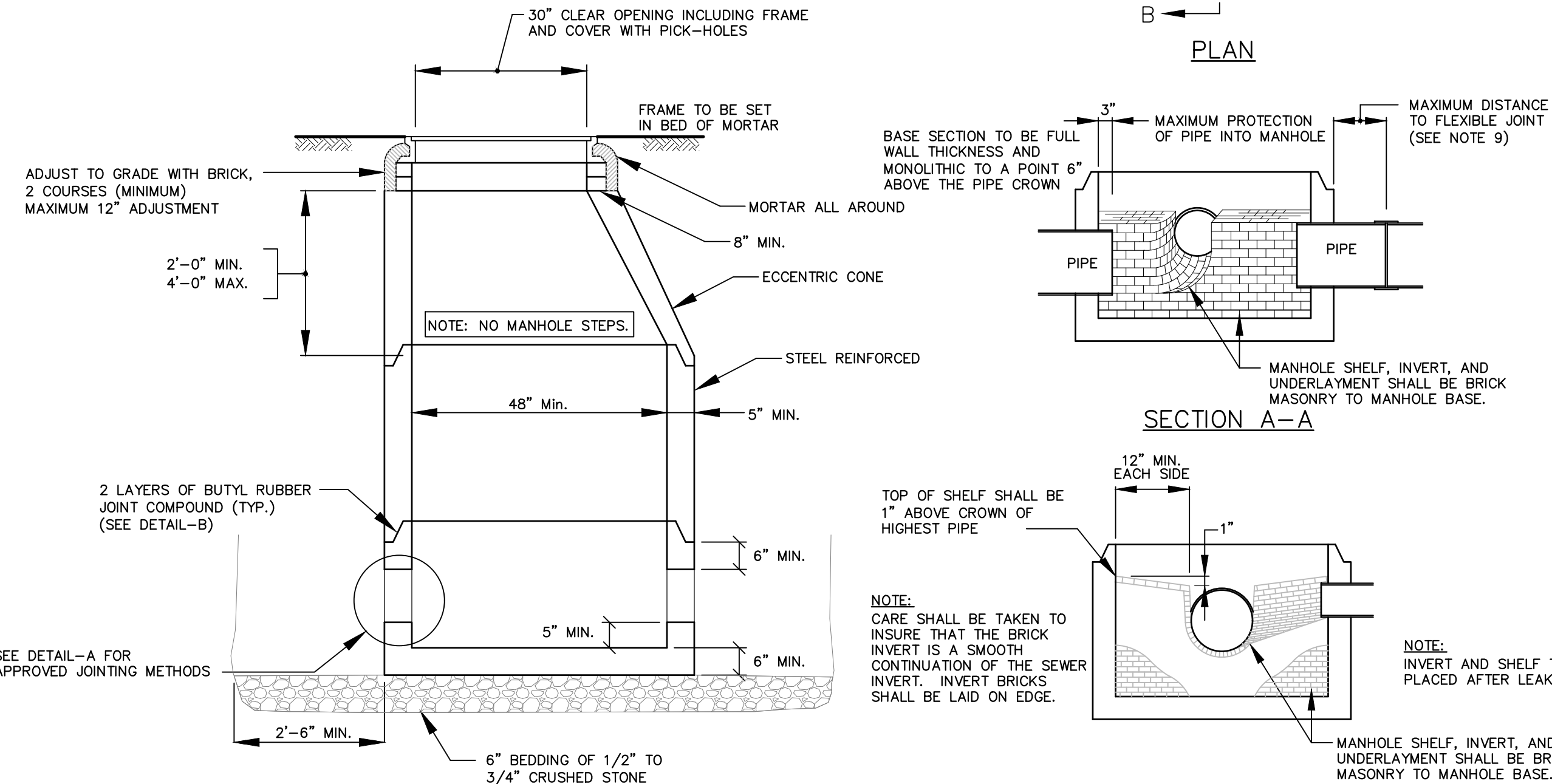
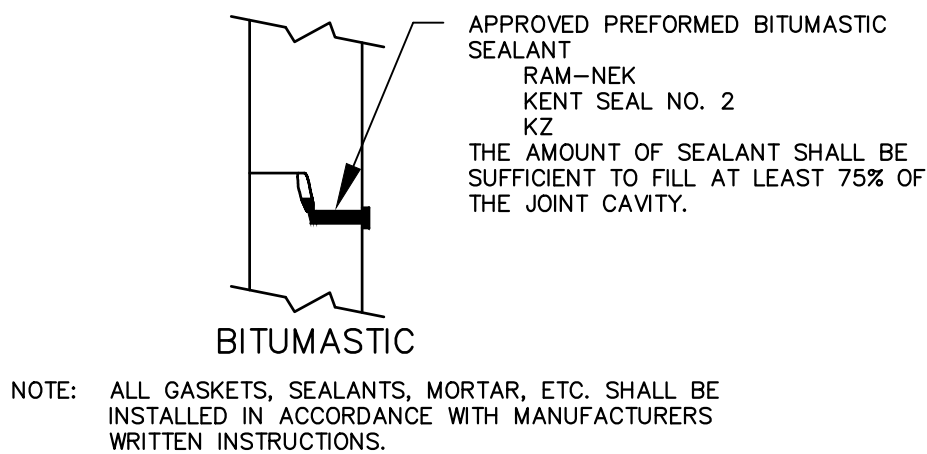
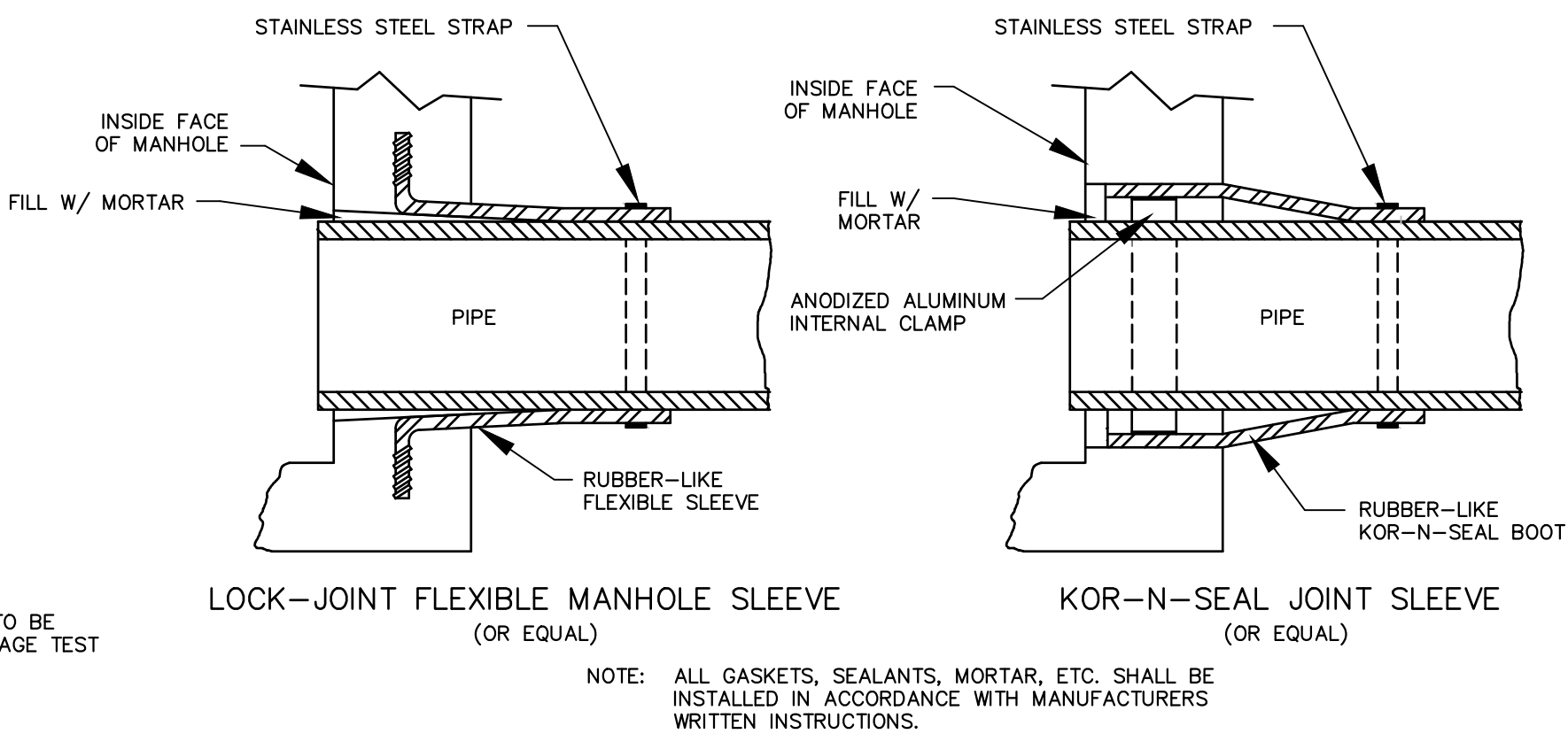
SEWER TRENCH SECTION NOT TO SCALE

STANDARD TRENCH NOTES:

1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN OF THE DRAWING.
2. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE NO. 67.
3. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90 - 100% PASSES 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
4. SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
5. BASE COURSE AND PAVEMENT SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES - DIVISIONS 300 AND 400 RESPECTIVELY.
6. SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
7. W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
8. FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
9. CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:
- CEMENT: 6.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG CEMENT
MAXIMUM SIZE OF AGGREGATE: 1 INCH
CONCRETE ENCASEMENT IS NOT ALLOWED FOR PVC PIPE.
10. CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
11. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DESIGN STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO CITY'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.

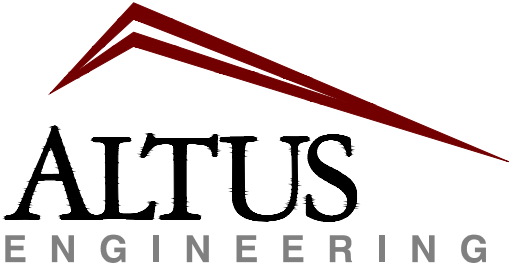


CLEANOUT DETAIL NOT TO SCALE



SEWER MANHOLE DETAILS NOT TO SCALE

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HILL / HANOVER
MULTI-FAMILY

181 HILL STREET
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CONSTRUCTION
DETAILS

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C.8



HANOVER STREET ELEVATION OF 339 HANOVER STREET



HANOVER STREET ELEVATION OF 329 HANOVER STREET



HANOVER STREET ELEVATION OF 319 HANOVER STREET



HANOVER STREET ELEVATIONS OF 339-319 HANOVER STREET



AUTUM STREET ELEVATION OF 319 HANOVER STREET



HILL STREET ELEVATIONS OF 339-319 HANOVER STREET

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HILL / HANOVER MULTI-FAMILY
181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

EXISTING - PERSPECTIVES
CITY OF PORTSMOUTH TECHNICAL ADVISORY
COMMITTEE | FEBRUARY 2026

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02/03/2026
PA: RD / MG
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HILL STREET APPROACH FROM NORTH EAST
(BRIDGE STREET)



HILL STREET APPROACH FROM NORTH EAST



HILL STREET APPROACH FROM NORTH EAST
(AUTUMN STREET)



HILL STREET APPROACH FROM SOUTH WEST
(FROM 361 HANOVER STREET)



HILL STREET APPROACH FROM SOUTH WEST
(FROM 361 HANOVER STREET)



APPROACH FROM FOUNDRY PLACE APARTMENTS

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HILL / HANOVER MULTI-FAMILY
181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

EXISTING CONTEXT - APPROACH
CITY OF PORTSMOUTH TECHNICAL ADVISORY
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Project Number: 24083
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HANOVER STREET APPROACH FROM SOUTH WEST
(PEARL STREET)



PARKER STREET APPROACH FROM SOUTH
(TANNER COURT)



PARKER STREET APPROACH FROM SOUTH



HANOVER STREET APPROACH FROM NORTH EAST
(BRIDGE STREET)



HANOVER STREET APPROACH FROM NORTH EAST
(TANNER STREET)



HANOVER STREET APPROACH FROM NORTH EAST
(AUTUMN STREET)

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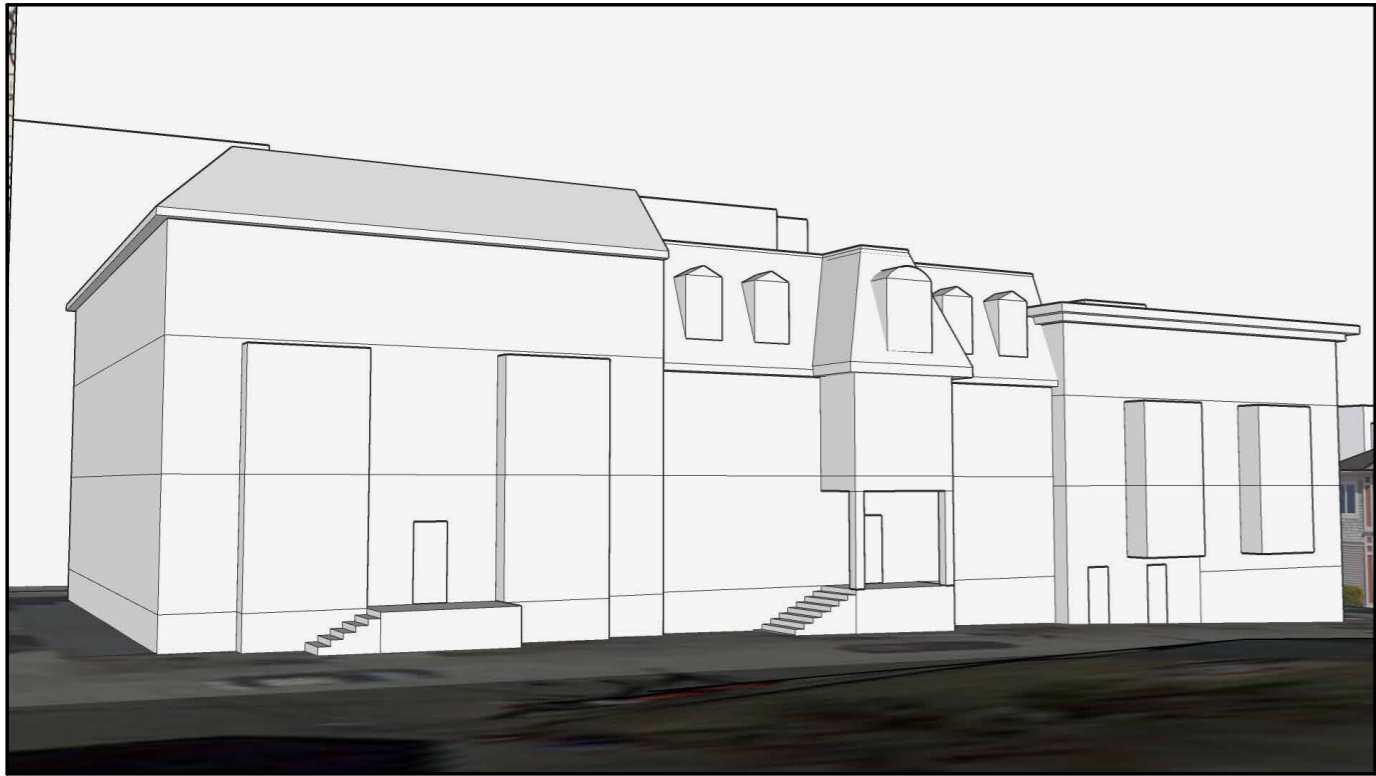
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AERIAL AXONOMETRIC FROM EAST



AERIAL AXONOMETRIC FROM SOUTH



PERSPECTIVE FROM PARKER STREET (PROPOSED 332 HANOVER STREET OMITTED)



PERSPECTIVE FROM HANOVER STREET LOOKING WEST

NOTE: ADJACENT BUILDINGS AND TOPOGRAPHY PROVIDED VIA CITY OF PORTSMOUTH 3D CITY MODEL AND MODELED BASED ON PLANS SUBMITTED TO THE CITY OF PORTSMOUTH INCLUDING APPROVED PROJECTS NOT YET CONSTRUCTED, THE ARCHITECT IS NOT RESPONSIBLE FOR DIFFERENCES IN SIZES DEPICTED IN THE CITY MODEL COMPARED TO WHAT EXISTS

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HILL / HANOVER MULTI-FAMILY
181 HILL STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

CONCEPTUAL MASSING
CITY OF PORTSMOUTH TECHNICAL ADVISORY
COMMITTEE | FEBRUARY 2026

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A4

02/03/2026
PA: RD / MG
Project Number: 24083
NOT TO SCALE



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CONCEPTUAL HANOVER ST ELEVATION

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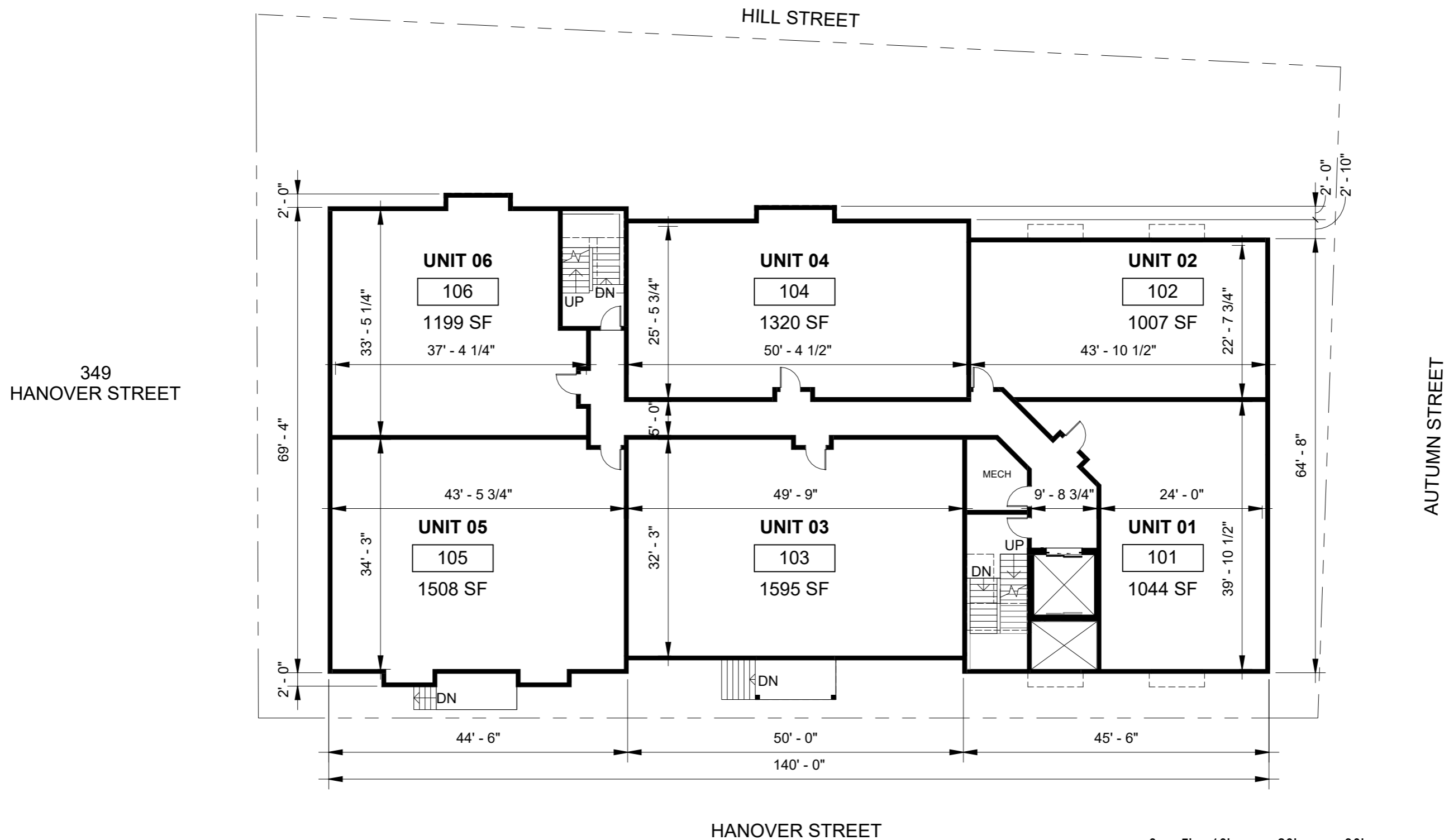
A5

02/03/2026

PA: RD / MG

Project Number: 24083

Scale: 1/16" = 1'-0"



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PORTSMOUTH, NEW HAMPSHIRE 03801

1ST FLOOR PLAN

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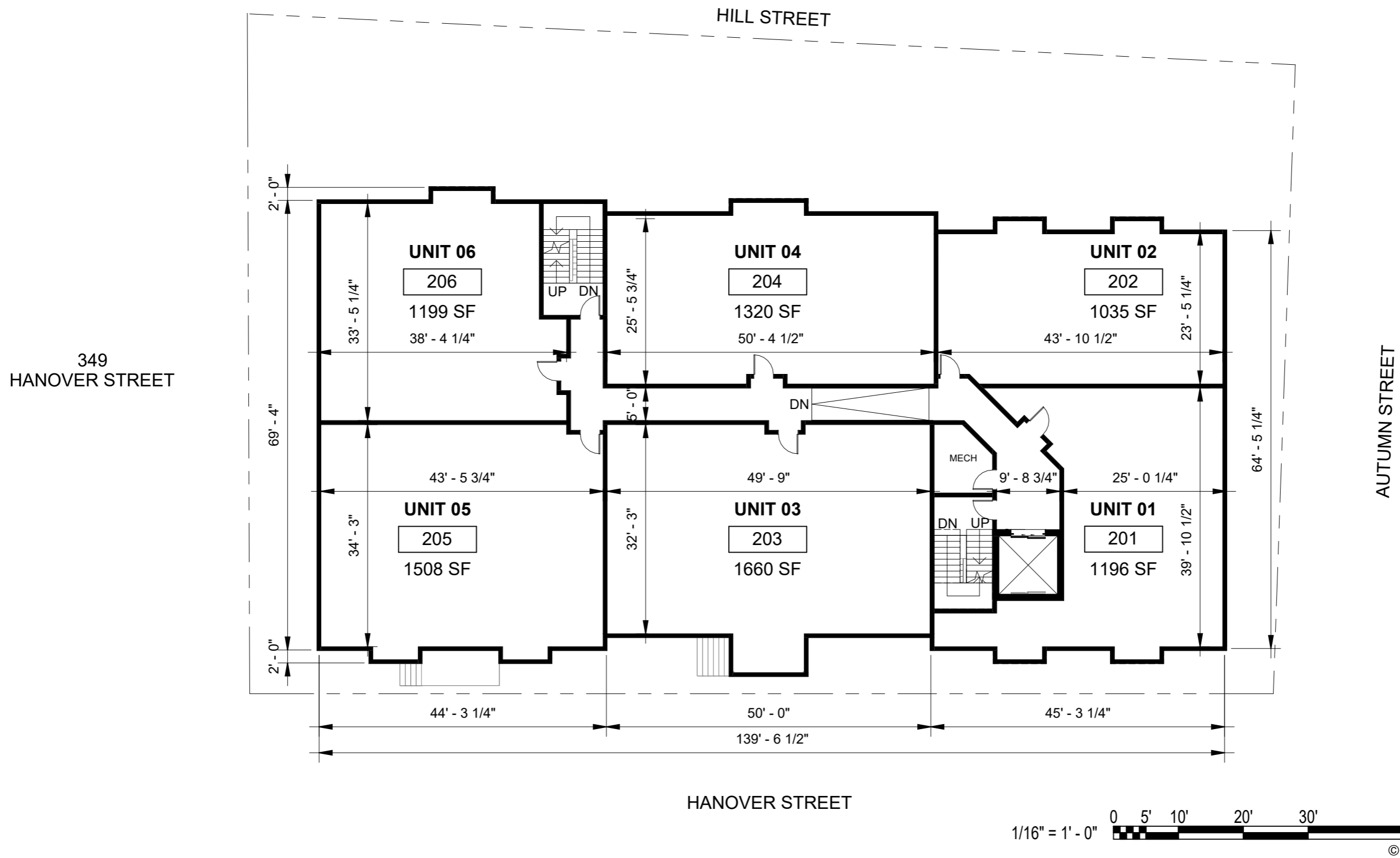
A7

02/03/2026

PA: RD / MG

Project Number: 24083

Scale: 1/16" = 1'-0"



HILL / HANOVER MULTI-FAMILY
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2ND & 3RD FLOOR PLAN
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A8

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Project Number: 24083
Scale: 1/16" = 1'-0"