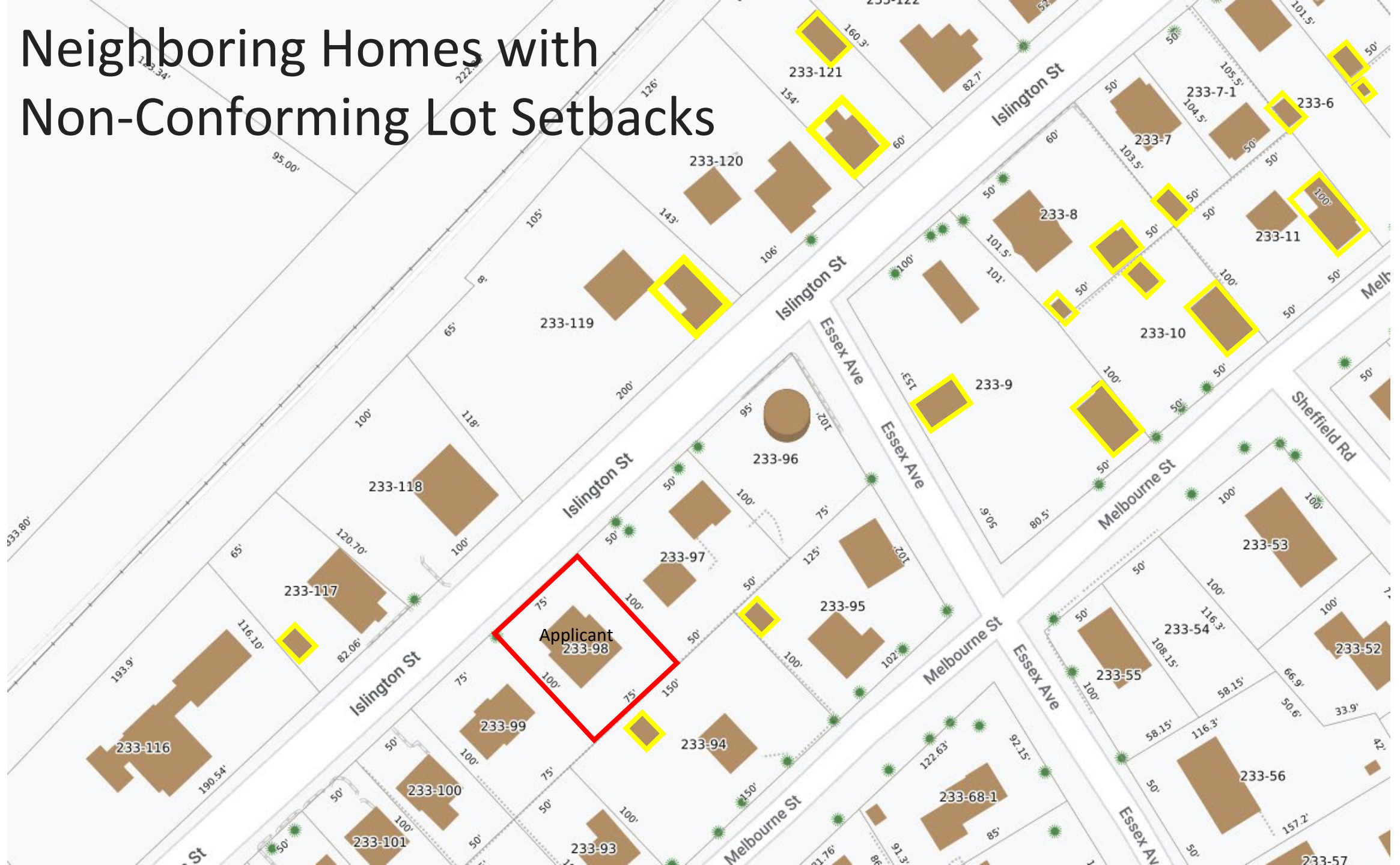


1344-46 Islington St

Kathleen Oprea, John Schroeder
Jan Oprea & John Oprea
Homeowners

Garage and Deck Variance Requests
Updated 9.22.22

Neighboring Homes with Non-Conforming Lot Setbacks



Proposed Garage Plan

- We have submitted a revised garage plan:
 - 18' x 22' garage, with 4' setback from abutting neighbor's lot
 - Gravel on both sides and drywells below footing

Not contrary to the public interest (10.233.21)

- Given the character of the neighborhood, where most houses of our size have garages and there is no street parking, it would be in the public interest to reduce the number of cars which are parked in the driveways or on the lawn (when more cars are at the house than driveway spots available)
- A 2-car garage is preferable to two 1-car garages: less square footage (396 vs 440) and less obstruction from front view (18 ft vs 20 ft)
- Abutting neighbors will not be disturbed, as privacy concerns and drainage issues have been addressed in the revised garage plans.

Spirit of the Ordinance will be Observed (10.233.22)

- Because it does not threaten the health, safety, nor welfare of the general public, neighbors.
- Fire safety will be ensured by the distance of 19 ft between our proposed garage and the nearest structure on the abutting neighbor's lot.
- Improved drainage will reduce standing water on the lot and reduce mosquito population.

Substantial Justice will be Done (10.233.23)

- Because it does not threaten the health, safety, nor welfare of the general public, nor the current or future owners and neighbors. The building of this new garage will benefit the image, appeal, and state of the West Islington St. neighborhood as well as create a structure that is more functional to today's standards of home care.
- When our house was built, along with other homes of its size and age, people did not drive cars. Now, as it is zoned as multi-family, and multiple people living in the house drive cars. Without a garage, there are multiple cars parked in the driveways and sometimes on the lawn, as there is no legal street parking on Islington St.

Values of Surrounding Properties will not be Diminished (10.233.24)

- We have done significant renovation work, which will increase the value of our property as well as surrounding properties.
- Having a garage rather than multiple cars parked in the driveway and/or front yard will improve the appearance of the house.
- Building a fence at the lot line will increase the value of abutting neighbor's house. Improved drainage and landscaping of the yard will also increase property values.
- Keeping the home owner-occupied increases property values and this is only possible if we are permitted to build the garage.

Literal enforcement of the provisions of the Ordinance would result in Unnecessary Hardship (10.233.25)

- A garage is essential to the planned use of this home as a multi-generational duplex living arrangement.
- My parents are senior citizens and soon may not have the physical capacity to clean snow from their car during the winter or be subjected to extreme heat in the car during the summer if it is left outside.
- Increased safety for young children not having to get into a snowy or extremely hot car.
- We have explored all the options for placement of a minimum size two-car garage on the property and the area directly adjacent to the house (with a minimum distance of 3 ft between the house and garage to allow for access to the walls and water flow between the buildings).

Neighbors' Concerns

- Drainage of stormwater
 - Addressed by gravel drywell systems to be installed on both sides of garage
 - Improved drainage will also benefit the surrounding neighbors as mosquito populations will be decreased from less standing water in the backyard.
- Privacy
 - Addressed by addition of privacy fence on lot line.
 - Increased privacy for rear abutting neighbor, blocking line of sight and sound to 1344 driveway and side of house.
- Abutting neighbor has signed letter of support

Proposed Deck Plan

- We have submitted our revised deck plan
 - 8' wide privacy screen in the center of deck

Not contrary to the public interest (10.233.21)

- Abutting neighbors will not be disturbed, as privacy concerns and drainage issues have been addressed in the revised deck plan.
- Prior (now demolished) landings were unsafe and hazardous to occupants and visitors.

Past and Present Rear View of House



Existing gravel and concrete below proposed deck area

Rotting wood and steep stairs



Spirit of the Ordinance will be Observed (10.233.22)

- Because it does not threaten the health, safety, nor welfare of the general public, neighbors.
- The area below the proposed deck was already concrete and gravel.



% Lot Coverage



Open in My Maps



1344 Islington St



1344 Islington St - 29%



High Lot Coverage Homes



74 Sims Ave - 34%



1210 Islington St - 31%

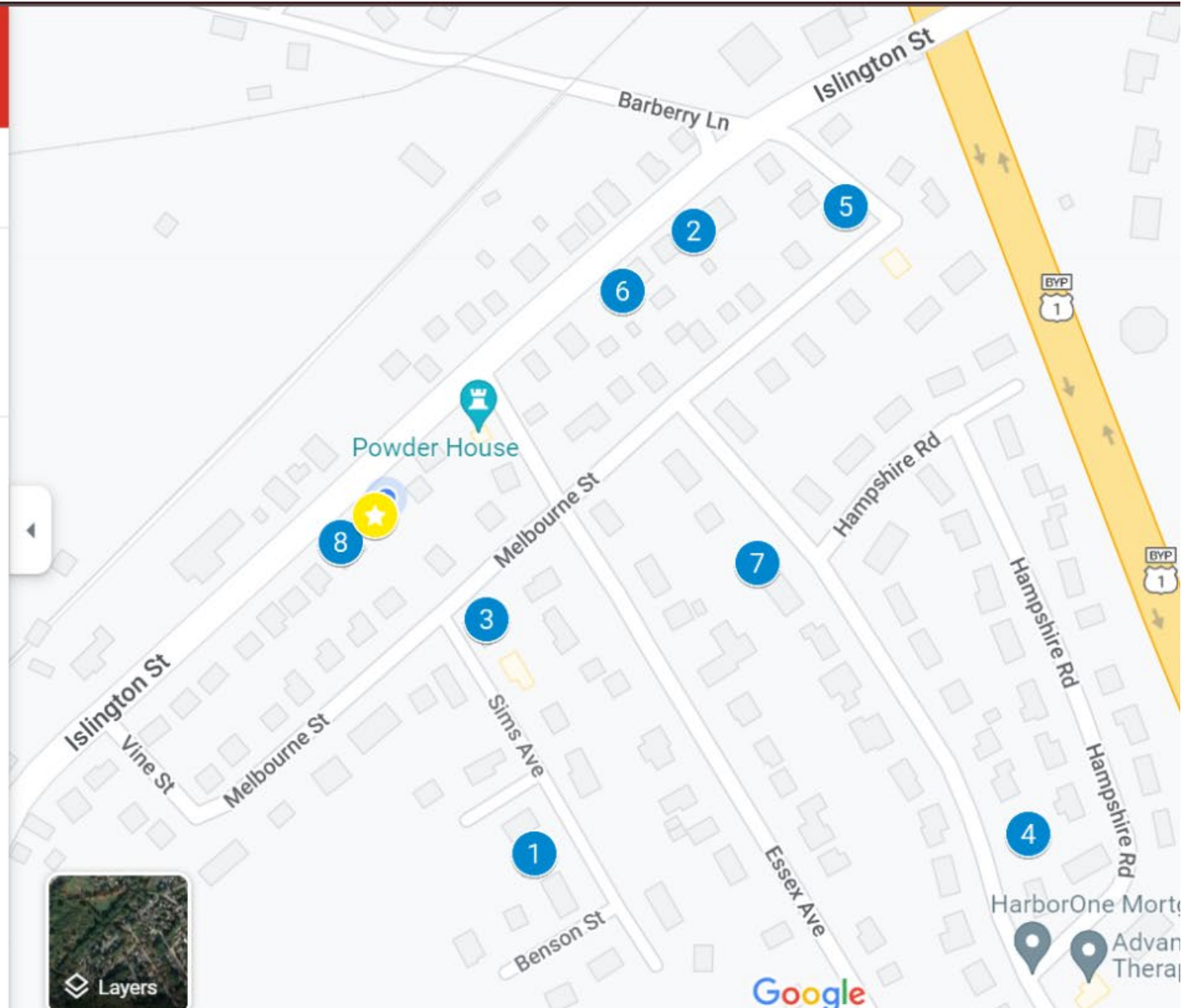


170 Melbourne St - 28%



83 Sheffield Rd - 28%

[4 MORE](#)



Substantial Justice will be Done (10.233.23)

- Because it does not threaten the health, safety, nor welfare of the general public, nor the current or future owners and neighbors.
- We need to build some sort of structure so that we can use the door to provide a means of egress.
- New deck will be much safer than previously existing landings, which had rotting wood railings and steep staircases. New composite deck has graded stairs with safety railings and a gate at the top.

Values of Surrounding Properties will not be Diminished (10.233.24)

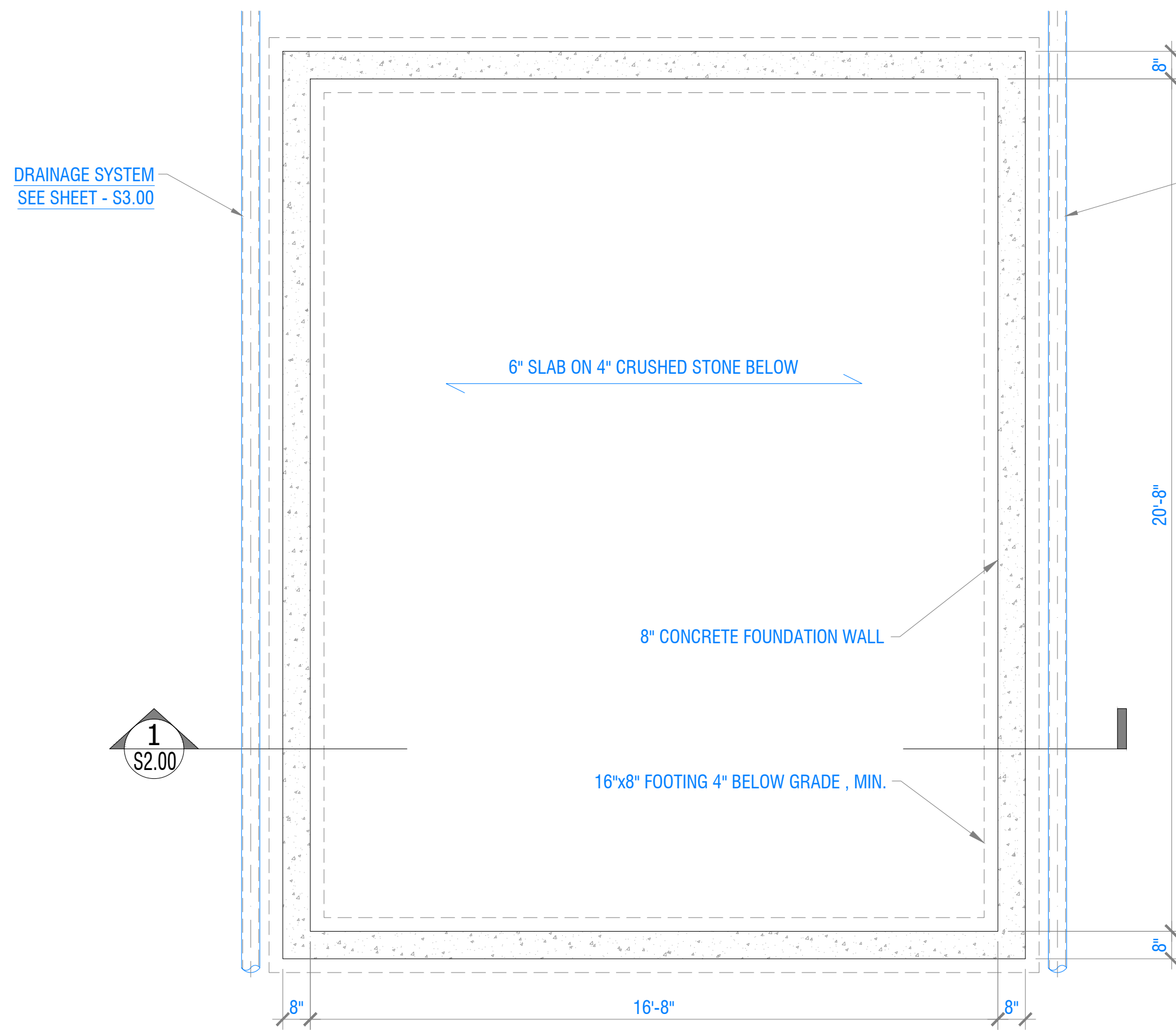
- We will be improving the safety and appearance of the rear yard by moving the existing fence to the correct lot line and continuing the black chain link fence, replacing the existing green mesh.
- Improved drainage and landscaping (new bushes) will also improve abutting neighbor's view. Improved drainage will increase the enjoyment of our yard and abutting rear neighbor's yard due to decreased mosquito populations.

Unnecessary Hardship would result from denial of the variance (10.233.25)

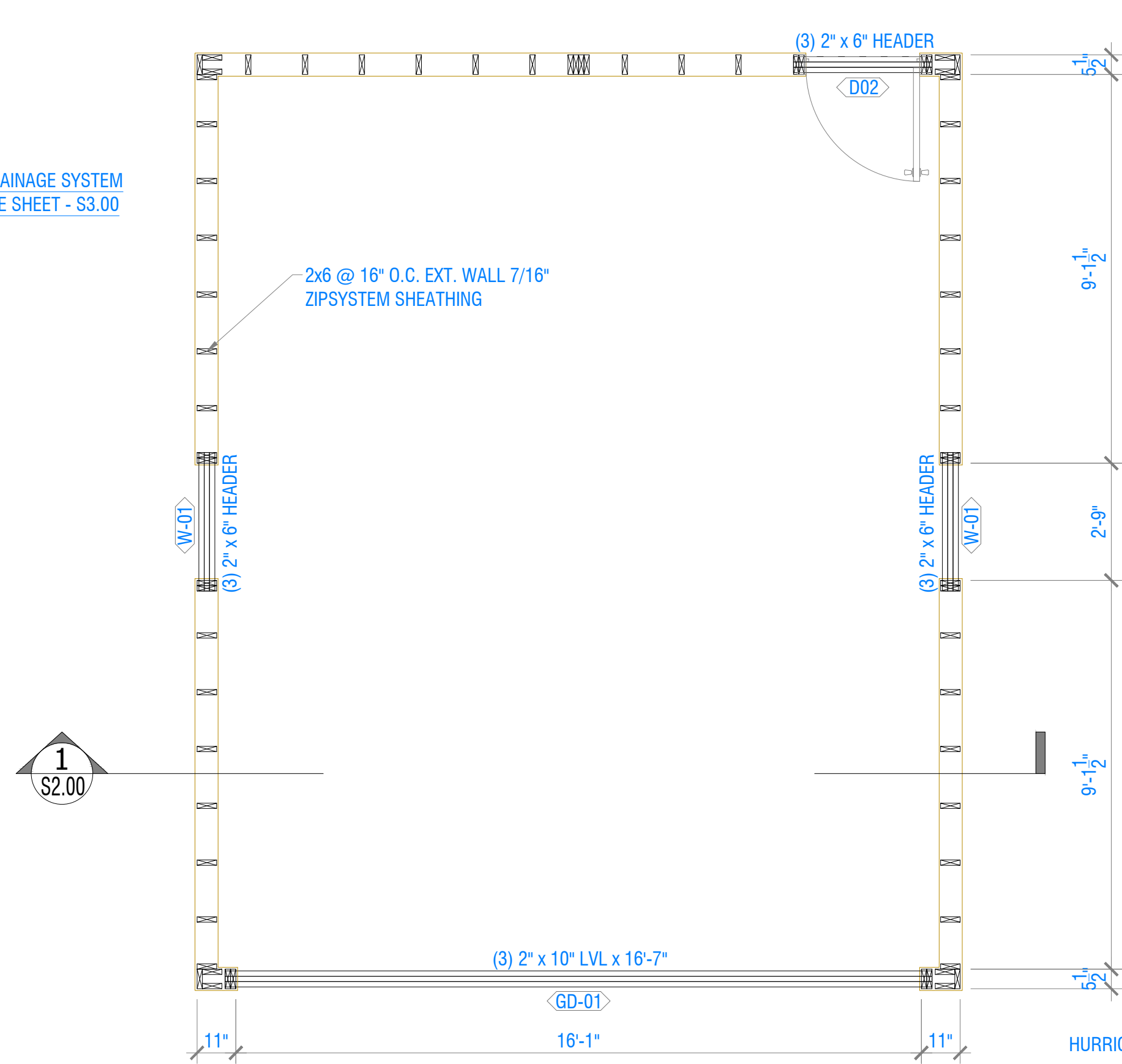
- Owing to special conditions of the property that distinguish it from other properties in the area (the height of the house), no fair and substantial relationship exists between the general public purposes of the Ordinance provision and the specific application of that provision to the property.
- The height and elevation of our house render null the privacy considerations of the Ordinance, as we can view the backyards of abutting properties from the windows of our house. However, note that we cannot see into the windows of the house behind us because of its distance from the lot line.
- An additional 8 ft distance back from the house will not allow us to see into the windows of the abutting property, and will provide essentially the same vantage point into the backyard of abutting property.
- **The addition of a privacy screen on the deck will create additional noise reduction and view obstruction.**
- The proposed use is a reasonable one, which will make it possible to fit a table on the deck, to share meals among all members of the multi-generational household.

The owners of 1344-1346 Islington thank you!

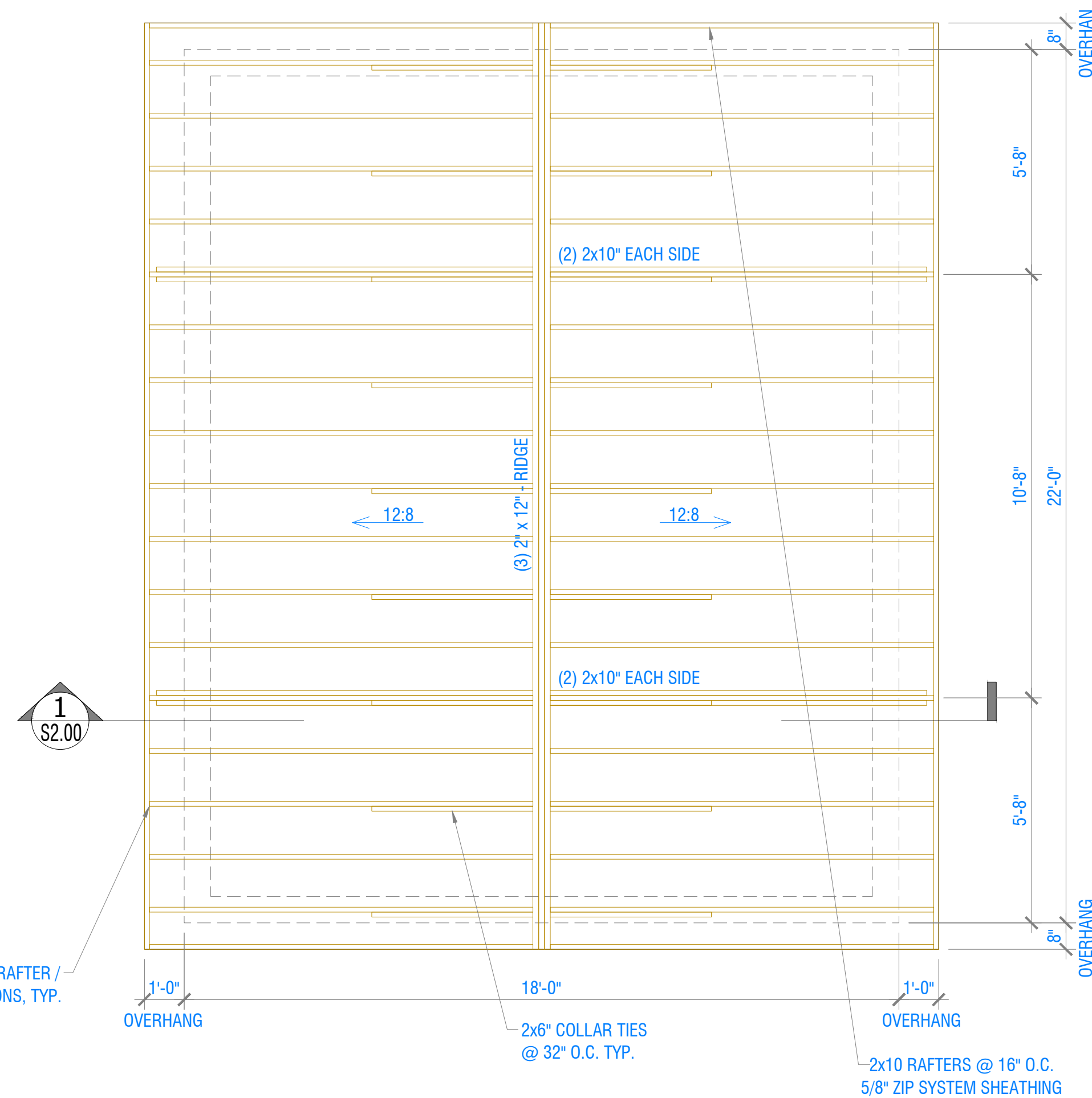




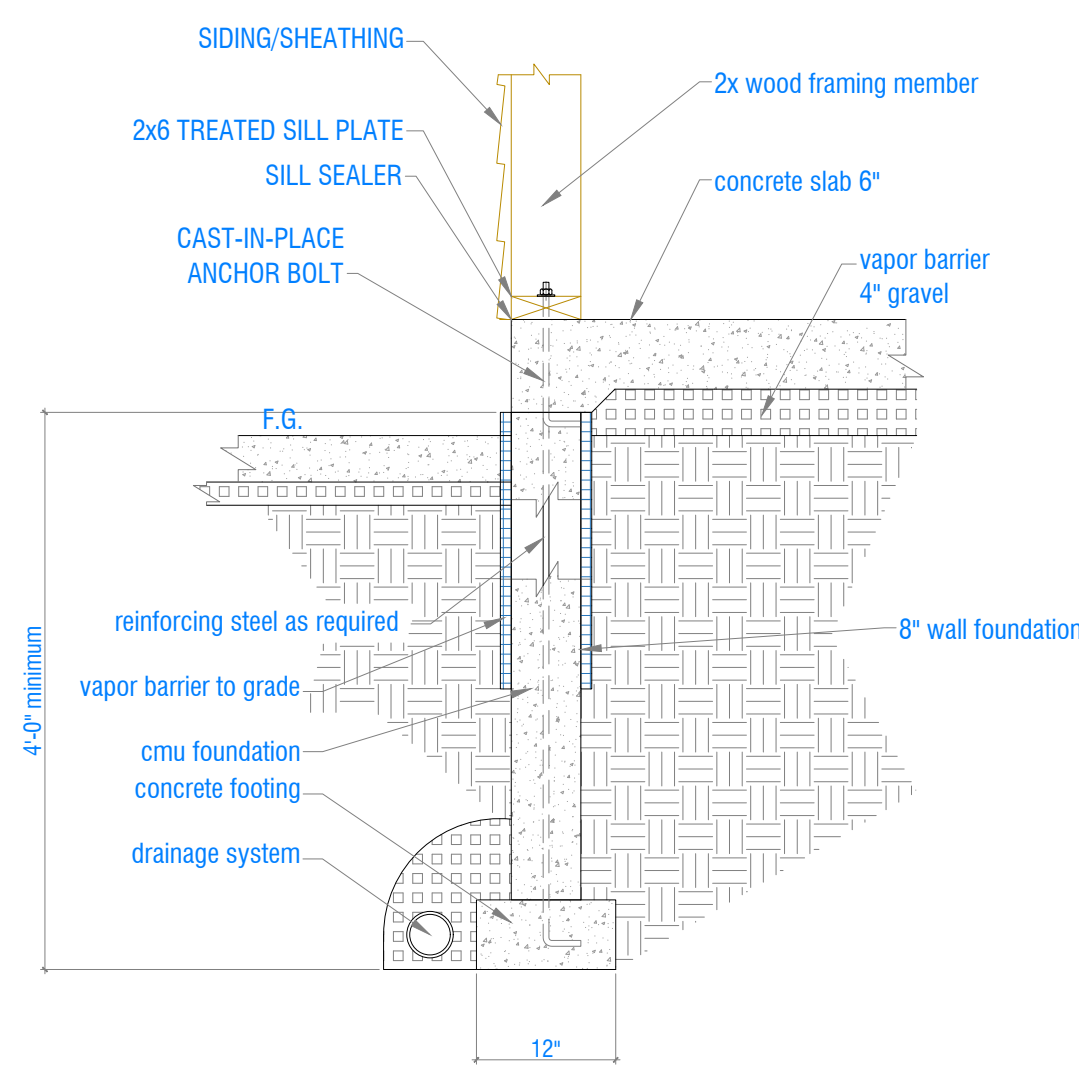
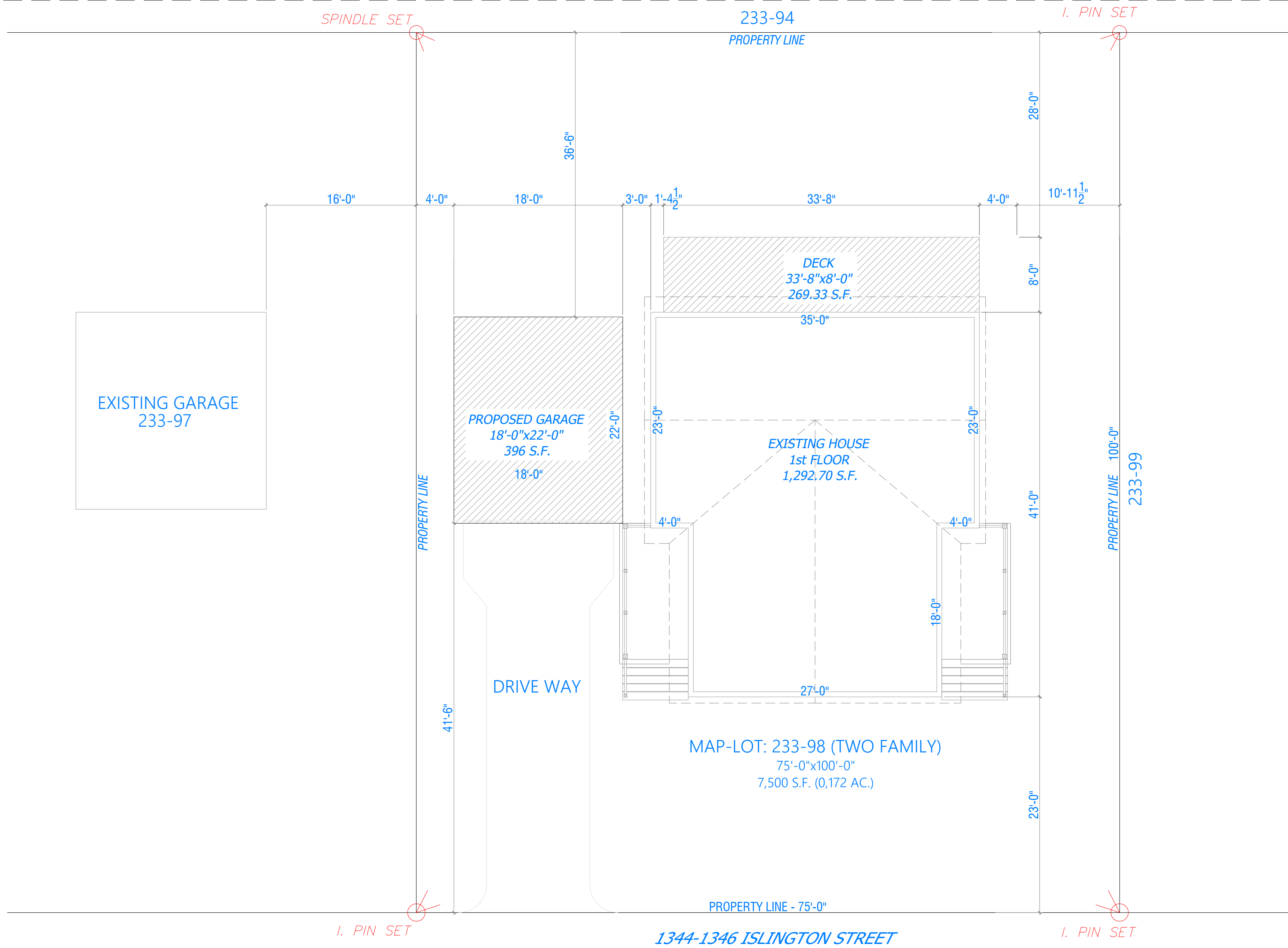
1 GARAGE FOUNDATION PLAN
3/8" = 1'-0"



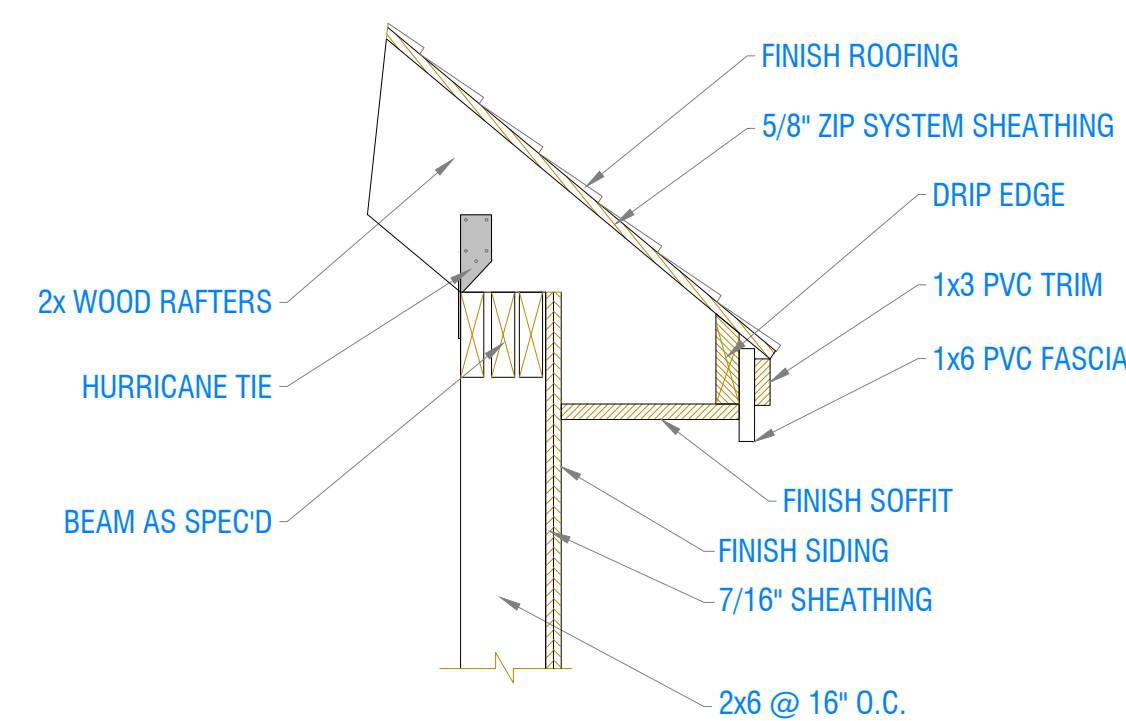
2 GARAGE WALL FRAMING PLAN
3/8" = 1'-0"



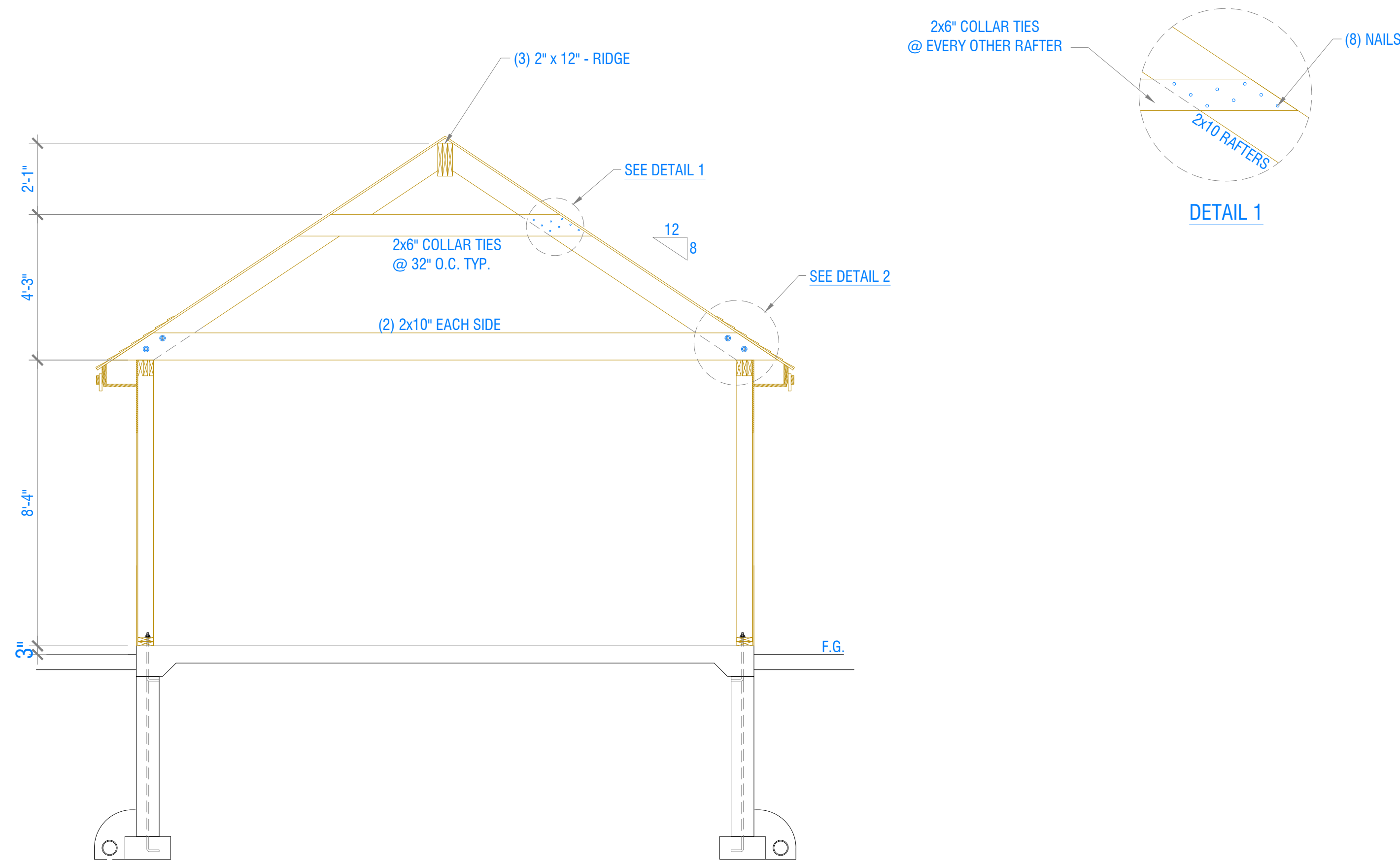
3 GARAGE ROOF FRAMING PLAN
3/8" = 1'-0"



TYPICAL FOUNDATION



TYPICAL ROOF OVERHANG



1 CROSS SECTION
3/8" = 1'-0"

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	MANUFACTURER
GD-01	1	GARAGE	192" x 84"	194" x 86"	GARAGE DOOR 16'-0"x7'0"	(3) 2" x 10" x 198"	TBD
D-02	1	GARAGE	32" x 80"	33" x 82"	SINGLE PANEL (TYP. - HINGE)	(3) 2" x 6" x 39"	TBD

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	R/O	DESCRIPTION	HEADER	MANUFACTURER
W-01	2	GARAGE	32" x 48"	33" x 50"	DOUBLE HUNG	(3) 2" x 6" x 39"	TBD

FOUNDATION NOTES:

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

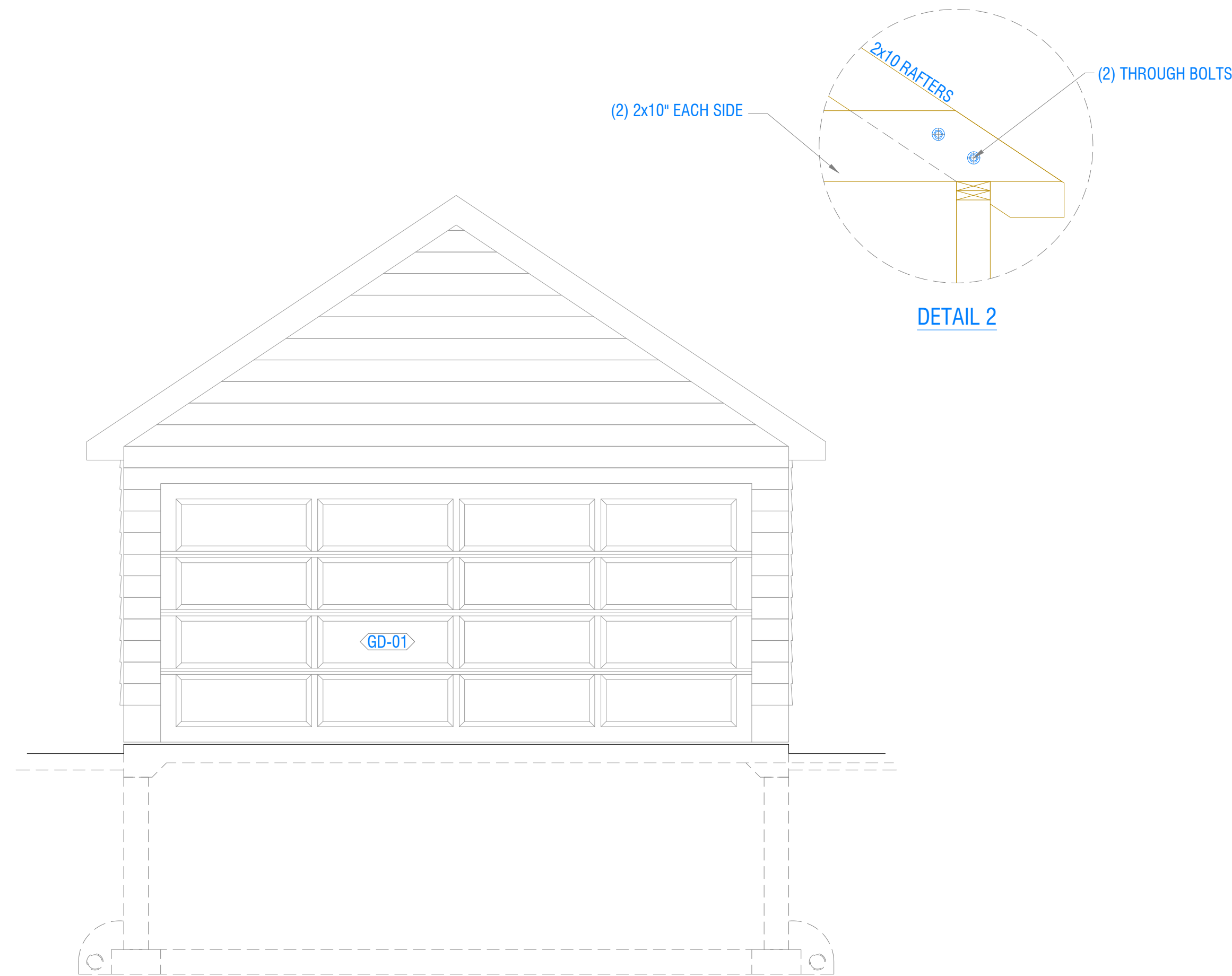
CONCRETE STRENGTH,
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).
4,000 PSI AT 28 DAYS FOR NEW GARAGE SLAB.
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

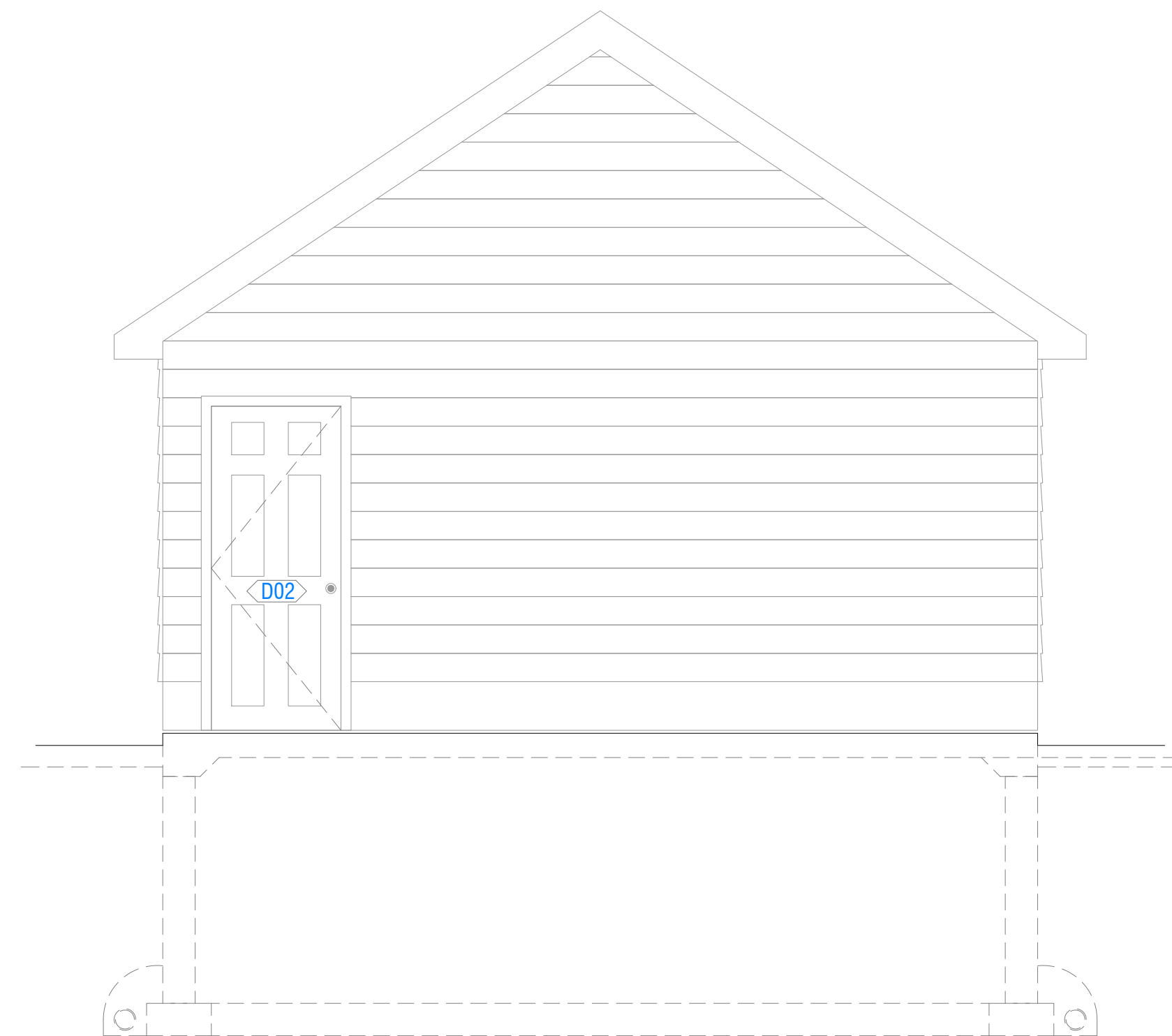
CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

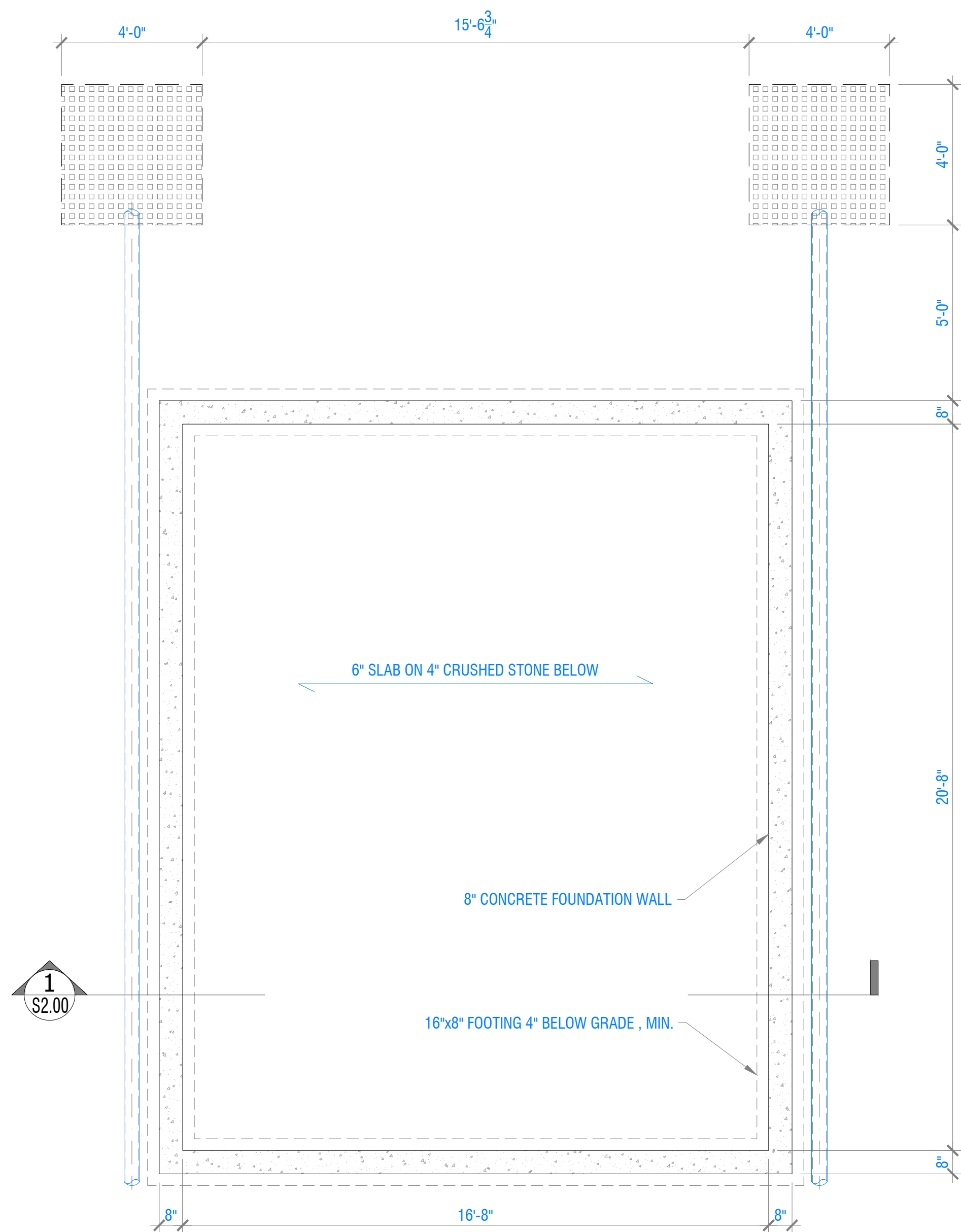
- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS



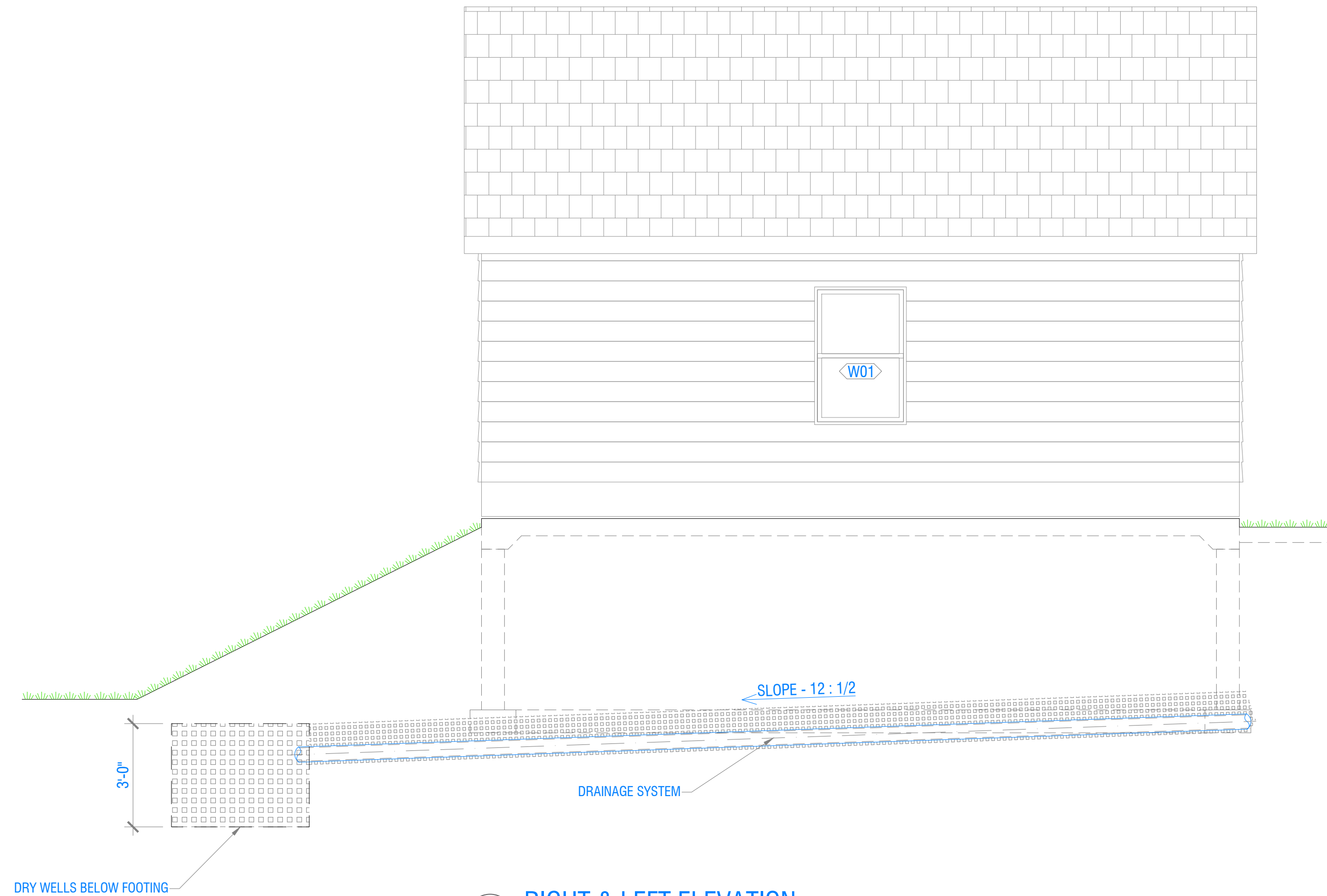
2 FRONT ELEVATION
3/8" = 1'-0"



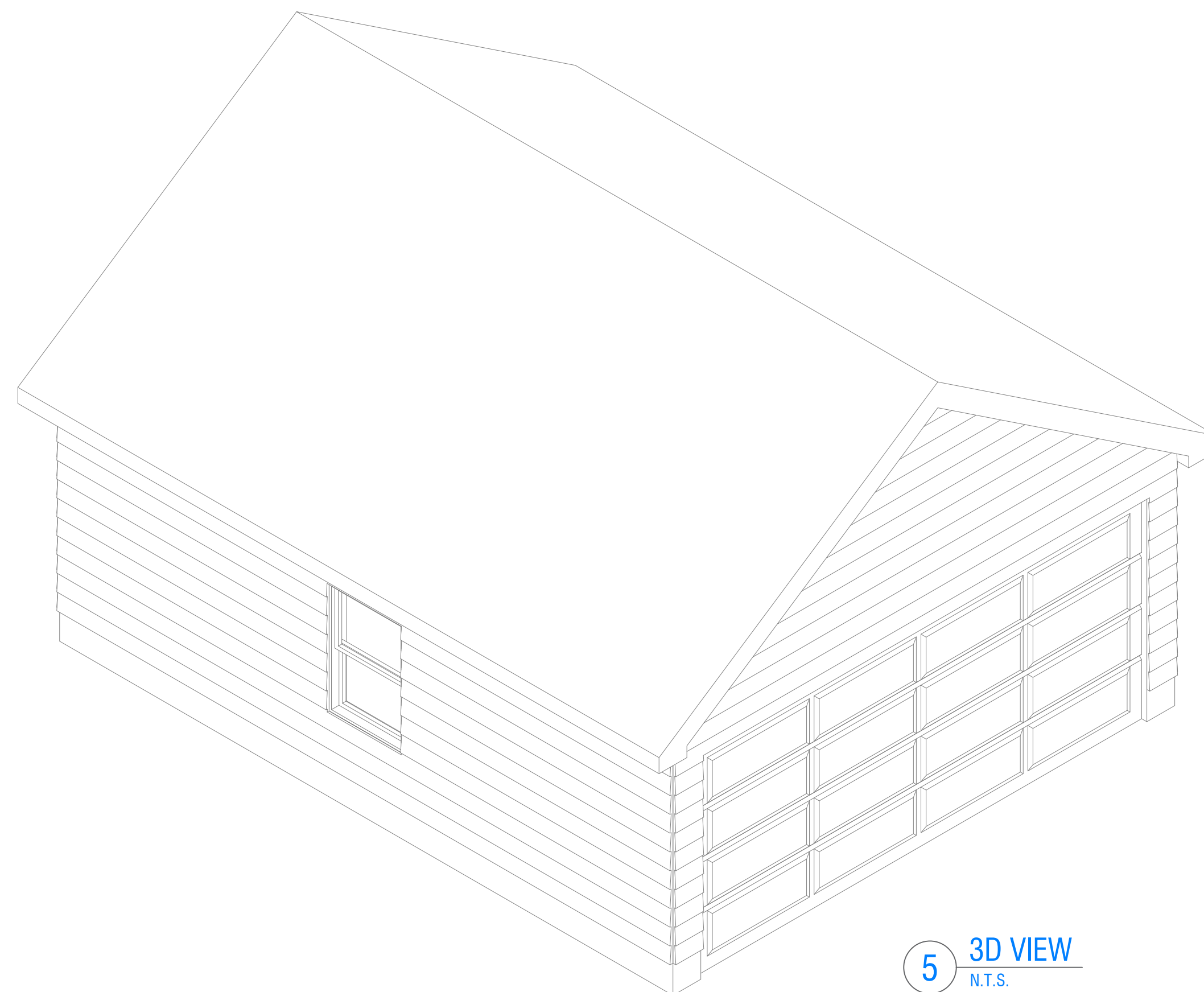
4 REAR ELEVATION
3/8" = 1'-0"



1 GARAGE FOUNDATION PLAN
3/8" = 1'-0"



3 RIGHT & LEFT ELEVATION
3/8" = 1'-0"



5 3D VIEW
N.T.S.

REVISION TABLE		DESCRIPTION	
NUMBER	DATE		REVISED BY

Garage 18x22ft
1344 Islington
Portsmouth, NH

DECK FOUNDATION

DRAWINGS PROVIDED BY:
ALPHA CONTRAC. SERVICES
301 Daniel Webster Hwy
Merrimack - NH - 03054
(833) 928-0821 / (978) 580-7732

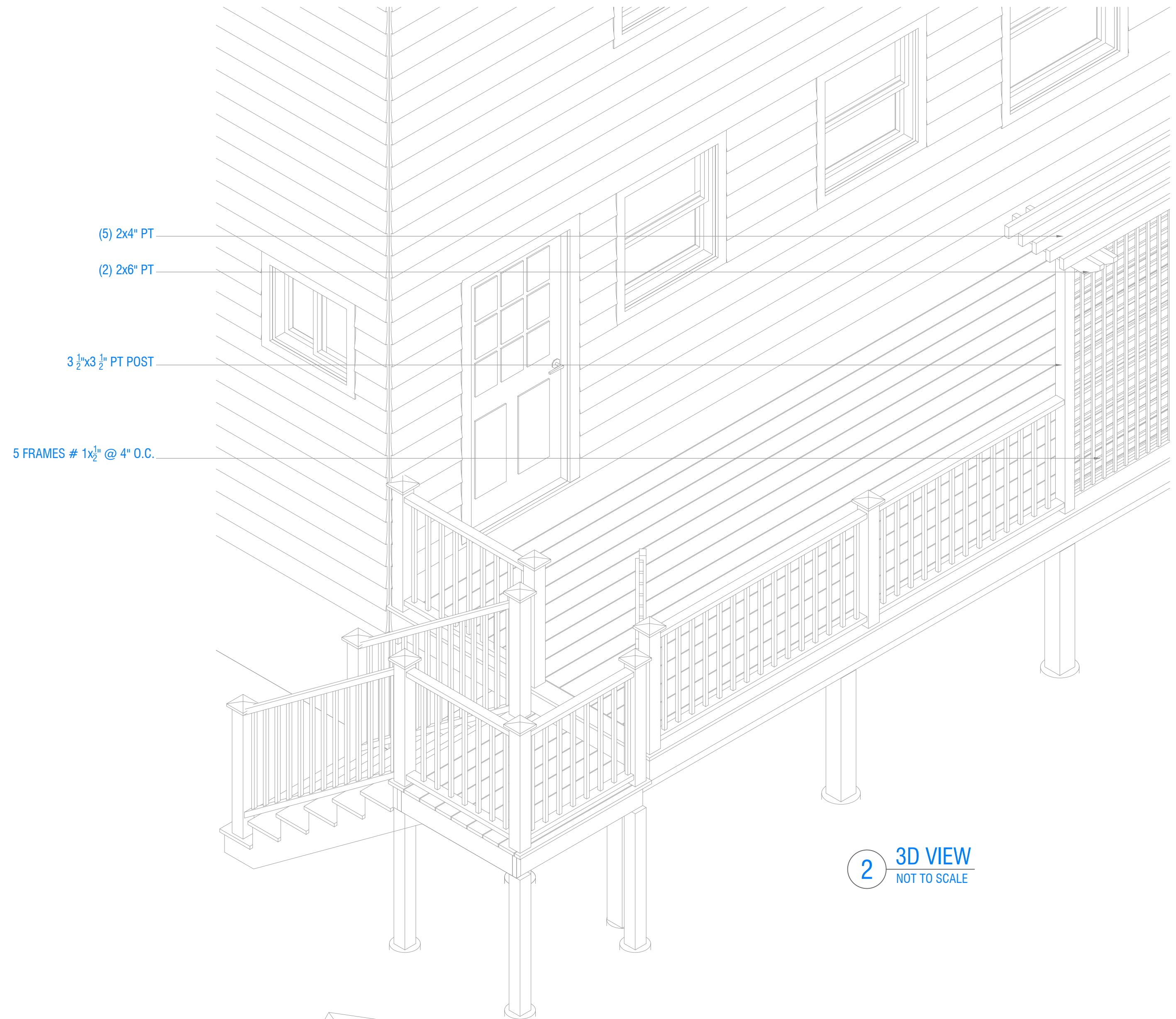
DATE:
09/27/2022
SCALE:
AS NOTED
SHEET:
\$3.00



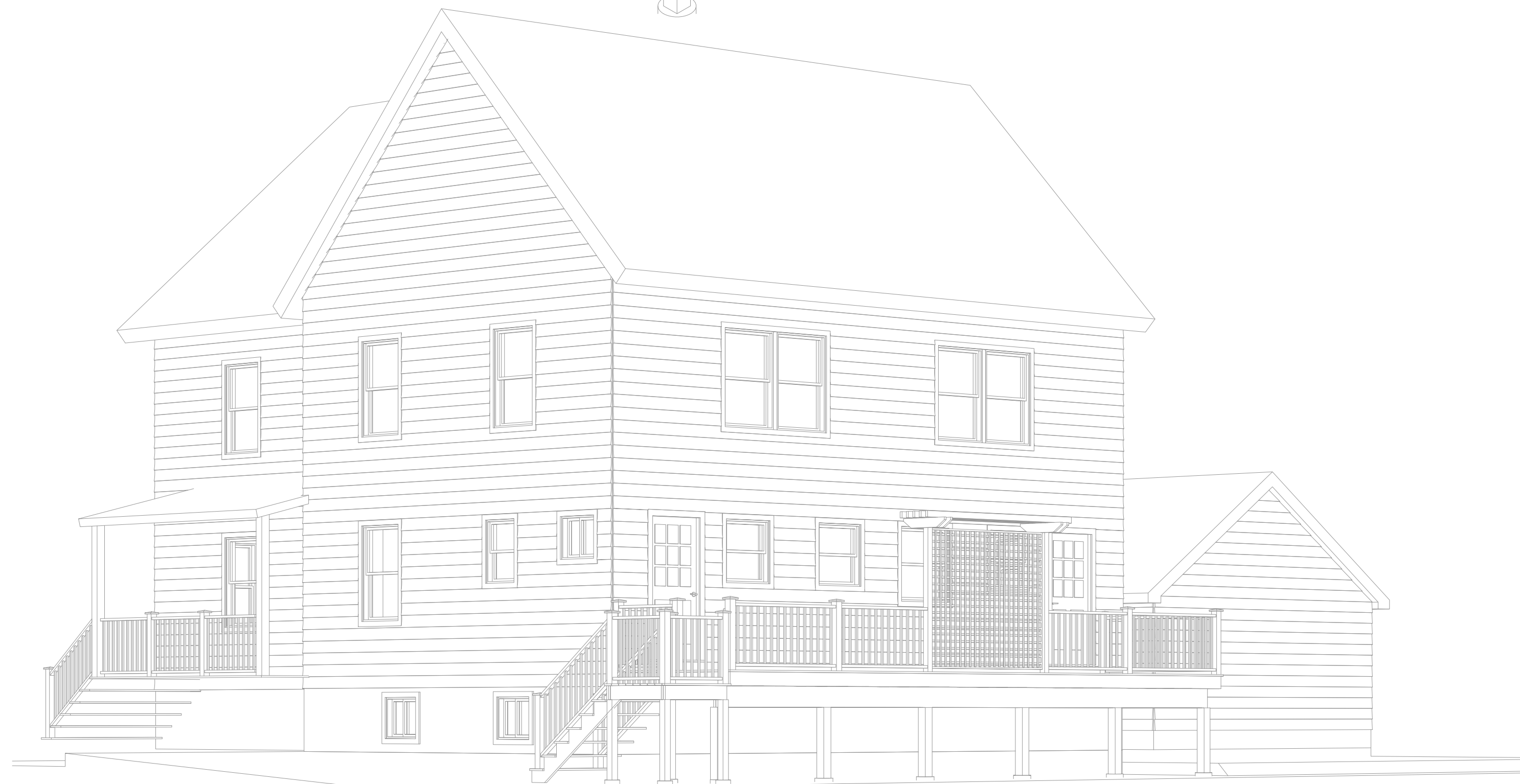
1 RIGHT ELEVATION
1/4" = 1'-0"



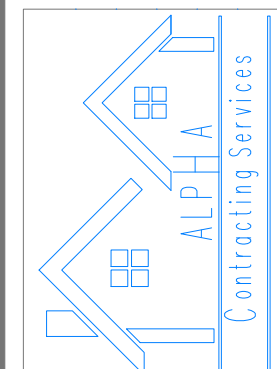
3 REAR PERSPECTIVE VIEW
NOT TO SCALE



2 3D VIEW
NOT TO SCALE



4 RIGHT & REAR PERSPECTIVE VIEW
NOT TO SCALE



REVISION TABLE		DESCRIPTION
NUMBER	DATE	REVISED BY

Layout for Approval
1344 Islington
Portsmouth, NH

ELEVATIONS & 3D

DRAWINGS PROVIDED BY:
ALPHA CONTRAC. SERVICES
301 Daniel Webster Hwy
Merrimack - NH - 03054
(833) 928-0821 / (978) 580-7732

DATE:
10/03/2022
SCALE:
AS NOTED
SHEET:
\$4.00