



**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

February 22, 2023

Peter Britz, Planning and Sustainability Director  
City of Portsmouth Municipal Complex  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Application for Site Plan Review  
Assessor's Map 144, Lot 23  
361 Islington Street  
Altus Project No. 5356**

Dear Peter,

On behalf of the Owner, Luckily Thirteen Property, LLC, and the Applicant, It's Good to be Kneaded, LLC and Sean Creely, Altus Engineering respectfully submits revised plans and documents for Site Plan Review. Good to be Kneaded proposes to renovate and expand the former gas service station. The existing building and canopy façade will be retained. Parking and site access will be improved by eliminating egress onto Islington Street. Landscape and drainage improvements will reduce runoff and improve stormwater quality and enhance the aesthetics of the property.

In October 2022, the Board of Adjustment granted variances to allow the project to proceed to the Site Plan Review level.

On February 7, 2023, the Portsmouth Technical Advisory Committee voted to recommend approval with 10 conditions.

1. The Utility Plan has been revised to depict two individual water service connections for the building, one for domestic water and the second for fire suppression.
2. The crushed stone paths through the landscaping areas have been removed and the remaining connections to the City sidewalk system have been changed to be hardscape materials.

3. A note has been added to the plans indicating the connection to the City storm drain in Cabot Street will be via a 12 x 18 insert Tee. Additionally, the alignment is more perpendicular to the existing drainage as suggested by DPW.
4. Notes have been added to the Site Preparation Plan requiring that the existing water service be disconnected at the main.
5. Altus has obtained additional information on the existing utility services in the street from DPW. The plans have been revised to reflect the newer information.
6. The landscape plans have been revised to note that the cage and burlap will be removed from the tree plantings.
7. Note 16 on the Site Plan, Sheet C-2 has been modified to confirm that the proposed site lighting will be dark sky compliant.
8. The retaining wall has been moved 1-foot north and the northwest corner of the trash/tote storage area has been modified to provide additional space for vehicular movements around the building. A copy of the revised turning movements will be sent directly to the City Traffic Engineer to confirm acceptance of the revised design.
9. The bicycle racks ground surface area has been modified to be a hardscape surface.
10. Bollards and planter protection are proposed at the outdoor seating area.

Enclosed please find the following revised plans and documents for consideration at the March 16, 2023 Planning Board Meeting:

- Letter of Authorization (Applicant to Altus)
- "Green" Statement
- Drainage Summary
  - Stormwater Inspection and Maintenance Manual
- Sitework Cost Estimate
- Site Review Checklist
- Phase I Environmental Assessment Findings and Conclusions (full report can be provided if requested)
- Parking Demand Analysis
- Conditional Use Permit for Outdoor Dining Statement
- Full sized set of Site Plans

Please call or email me directly should you have any questions or need any additional information.

Sincerely,

**ALTUS ENGINEERING**

A handwritten signature in black ink, appearing to read "Derek Durbin".

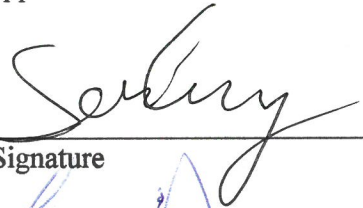
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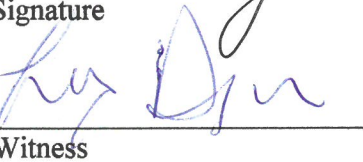
Enclosures

eCopy: Robert Whiteamire, Winter Holben Architecture  
Terrence Parker, Terrafirma  
Derek Durbin, Esq.  
Jeff Dyer, It's Good to be Kneaded, LLC  
Sean Creely, It's Good to be Kneaded, LLC  
Mike Labrie, Lucky Thirteen Properties, LLC

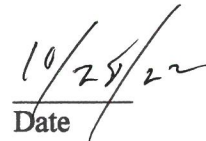
### Letter of Authorization

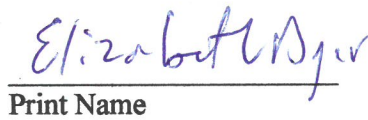
We, Jeffrey N. Dyer and Sean Creeley, Option Holders, hereby authorize Altus Engineering, Inc. of Portsmouth, NH to represent us in all matters concerning the engineering and related permitting of improvements to the property located at 361 Islington Street in Portsmouth, NH on Assessors Map 144, Lot 23. This authorization shall include any signatures required for Federal, State and Municipal permit applications.

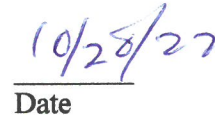
  
Signature

  
Witness

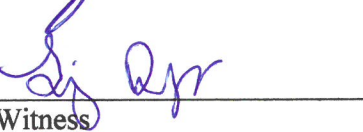
  
Sean Creeley

  
Date

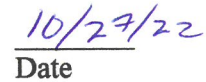
  
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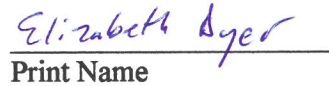
  
Date

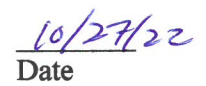
  
Signature

  
Witness

  
Jeffrey N. Dyer

  
Date

  
Print Name

  
Date



MEMORANDUM –Green Building Statement

Date:	January 18, 2023
To:	Portsmouth Technical Advisory Committee
Subject:	The Getty – 361 Islington Street
CC to:	

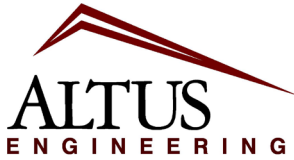
The former Getty service station is currently unoccupied, and the proposed adaptive reuse project will help to revitalize the property by transforming it into a bagel focused restaurant. The proposed enhancements to the station will allow this neglected site to once again contribute to the vitality of the neighborhood. The following list of features & green improvements are proposed to comply with Section 2.5.3.1(a) of the Site Plan Review Regulations:

1. The proposed bagel restaurant will adapt and reuse the existing site and structure while the renovation and additions will improve the building performance by meeting/exceeding the applicable energy code requirements.
2. Site lighting will be efficient LED type, and shall be 'Dark Sky' friendly meeting or exceeding the minimum City requirements.
3. The site development includes a landscape plan that will improve existing conditions by:
  - a. providing shade trees to help reduce the heat island effect and improve the environment
  - b. proposed lawns and planting beds will reduce the current impervious surfaces on site reducing runoff, promoting infiltration, and reducing the heat island effect
4. The site has been developed to allow an existing mature oak tree at the rear of the site to remain.
5. A closed drainage system with deep sump catch basins has been added to provide preliminary treatment of the runoff prior to discharge into the City's closed drainage system.
6. Site development provides parking for motorcycles, motor scooters, and bicycles encouraging promoting alternative means of transportation to reduce the carbon impact.
7. Site access to the building shall be improved by promoting pedestrian access directly from the sidewalk. Again, this will encourage accessing the business without utilizing a car.
8. The building additions and renovation work will utilize durable materials with a long lifespan that can be recycled upon the end of use.
9. Restroom plumbing fixtures will include low flow / dual flow water closets for efficient water use.
10. Equipment intended for the building heating and cooling will be high efficiency lowering the energy used to operate.

We trust this list addresses any questions regarding the environmental impact of the proposed renovation/additions. Please let us know if you need any additional information or have any concerns.

Thank You,

Robert Whiteamire  
Architect  
WINTER HOLBEN



**Civil  
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Environmental  
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## **Drainage Summary**

It's Good To Be Kneaded, LLC is proposing to redevelop the lot located at 361 Islington Street in Portsmouth, NH. The property is identified as Assessor's Map 144, Lot 23, is approximately  $\pm 15,114$  square feet in size and is in the City's Character District 4 – L2 (CD4-L2) district. The site currently has a vacant building that was previously used as the Getty Service Station and more recently used as a site for a food truck. The lot is serviced by municipal water and sewer.

### ***Site Soils***

The NRCS indicates that the subject property consists of several primary soil classifications:  
699 – Urban-Land, HSG C

### ***Pre-Development (Existing Conditions)***

The pre-development site is approximately 94.9% impervious. There are no stormwater BMPs on the site; therefore runoff leaves the site untreated. Runoff sheet flows from the lot into the streets closed drainage system that eventually drains into North Mill Pond.

### ***Post-Development (Proposed Site Design)***

The proposed project will refurbish the existing structure, propose building additions, and convert the closed business into an eatery. The post-development site will reduce the impervious area by 1,889 square feet resulting in a net impervious area of 83.4 % of the site. The proposed stormwater system includes hooded catch basins with deep sumps which capture much of the runoff onsite where it is pre-treated before entering the municipal closed drainage system.

### ***Calculations Method***

The drainage study was completed using the USDA SCS TR-20 Method within the HydroCAD Stormwater Modeling System. A Type III 24-hour rainfall distribution was utilized in analyzing the data for the 2, 10, 25 and 50 year - 24-hour storm events using rainfall data provided by the Northeast Regional Climate Center (NRCC). All rainfall amounts were increased by 15% to account for potential future increases in rainfall due to climate change.

## ***Drainage Analysis***

A complete summary of the drainage model is included in the appendix of this report. The following table compares pre- and post-development peak rates at the Point of Analysis identified on the plans for the 2, 10, 25, and 50-year storm events:

**Stormwater Modeling Summary**  
**Peak Q (cfs) for Type III 24-Hour Storm Events**

<b>*Rainfall Intensities Reflect 15% Increase</b>	<b>2-Yr Storm (3.69 inch)</b>	<b>10-Yr Storm (5.60 inch)</b>	<b>25-Yr Storm (7.10 inch)</b>	<b>50-Yr Storm (8.50 inch)</b>
Pre	1.20	1.85	2.35	2.82
Post	1.14	1.80	2.31	2.78
<b>Change</b>	<b>-0.06</b>	<b>-0.05</b>	<b>-0.04</b>	<b>-0.04</b>

## ***Conclusion***

As the above table demonstrates, the proposed peak rates of runoff will be decreased from the existing conditions for all analyzed storm events. This proposed site development will result in a decrease of site runoff, provide needed stormwater treatment, and resulting in betterment for the city and community. Altus believes that no down gradient abutters will be negatively impacted by the proposed development.

edw/5356.03 Drainage.memo

# STORMWATER INSPECTION AND MAINTENANCE MANUAL

## “It’s Good to be Kneaded”

Assessor’s Map144, Lot23

### OWNER AT TIME OF SUBDIVISION APPROVAL:

It’s Good To Be Kneaded, LLC

c/o Sean Creeley

337 Richards Avenue

Portsmouth, NH 03801

Proper inspection, maintenance, and repair are key elements in maintaining a successful stormwater management program on a developed property. Routine inspections ensure permit compliance and reduce the potential for deterioration of infrastructure or reduced water quality. The following responsible parties shall be in charge of managing the stormwater facilities:

### RESPONSIBLE PARTIES:

<b>Owner:</b>	<u>It’s Good To Be Kneaded, LLC</u>	<u>(603) 547-0509</u>
	Name Company	Phone

<b>Inspection:</b>	<u>It’s Good To Be Kneaded, LLC</u>	<u>(603) 547-0509</u>
	Name Company	Phone

<b>Maintenance:</b>	<u>It’s Good To Be Kneaded, LLC</u>	<u>(603) 547-0509</u>
	Name Company	Phone

### NOTES:

**Inspection and maintenance responsibilities shall transfer to any future property owner(s).**

**This manual shall be updated as needed to reflect any changes related to any transfer of ownership and/or any delegation of inspection and maintenance responsibilities to another entity.**

## **CATCH BASINS**

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*Function* – Catch basins collect stormwater, primarily from paved surfaces and roofs. Stormwater from paved areas often contains sediment and contaminants. Catch basin sumps serve to trap sediment, trace metals, nutrients and debris. Hooded catch basins trap hydrocarbons and floating debris.

### *Maintenance*

- Remove leaves and debris from structure grates on an as-needed basis.
- Sumps shall be inspected and cleaned annually and any removed sediment and debris shall be disposed of at a solid waste disposal facility.

## **LANDSCAPED AREAS – ORGANIC FERTILIZER MANAGEMENT**

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*Function* – All fertilizer used on site shall be certified organic. Organic fertilizer management involves controlling the rate, timing and method of organic fertilizer application so that the nutrients are taken up by the plants thereby reducing the chance of polluting the surface and ground waters. Organic fertilizer management can be effective in reducing the amounts of phosphorus and nitrogen in runoff from landscaped areas, particularly lawns.

### *Maintenance*

- Have the soil tested by your landscaper or local Soil Conservation Service for nutrient requirements and follow the recommendations.
- Do not apply organic fertilizer to frozen ground.
- Clean up any organic fertilizer spills.
- Do not allow organic fertilizer to be broadcast into water bodies.
- When organically fertilizing a lawn, water thoroughly, but do not create a situation where water runs off the surface of the lawn.

## **LANDSCAPED AREAS - LITTER CONTROL**

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*Function* – Landscaped areas tend to filter debris and contaminants that may block drainage systems and pollute the surface and ground waters.

### *Maintenance*

- Litter Control and lawn maintenance involves removing litter such as trash, leaves, lawn clippings, pet wastes, oil and chemicals from streets, parking lots, and lawns before materials are transported into surface waters.
- Litter control shall be implemented as part of the grounds maintenance program.

## **DE-ICING CHEMICAL USE AND STORAGE**

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*Function* – Sand and salt are used for de-icing of drives.

### *Maintenance*

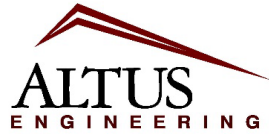
- Salt is highly water-soluble. Contamination of freshwater wetlands and other sensitive areas can occur when salt is stored in open areas. Salt piles shall be covered at all times if not stored in a shed. Runoff from stockpiles shall be contained to keep the runoff from entering the drainage system.
- When shared driveways and walks are free of snow and ice, they should be swept clean. Disposal shall be in a solid waste disposal facility.

- **Salt use shall be minimized.** Sand shall be used for de-icing activities when possible. Salt is highly water-soluble. Contamination of freshwater wetlands and other sensitive areas can occur when salt is stored in open areas. Owner shall not store salt piles on site.

### **GENERAL CLEAN UP**

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- Upon completion of the project, the contractor shall remove all temporary stormwater structures (i.e., temporary stone check dams, silt fence, temporary diversion swales, catch basin inlet filter, etc.). Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform to the existing grade, prepared, and seeded. Remove any sediment in catch basins and clean drain pipes that may have accumulated during construction.
- Once in operation, all paved areas of the site should be swept at least once annually at the end of winter/early spring prior to significant spring rains.



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(603) 433-2335

**"It's Good To Be Kneaded" 361 Islington Street  
Portsmouth, NH  
Engineer's Opinion of Cost  
(January 23, 2023 Plan Set)**

**PROJECT:** 5161

Est. Qty	Unit	ITEM DESCRIPTION &	Cost/Unit	Total
1	LS	Site Demolition	\$ 10,000.00	\$ 10,000.00
180	TON	Hot Bituminous Pavement	\$ 90.00	\$ 16,200.00
656	SY	Concrete Sidewalk and Pads (incl. subgrade)	\$ 25.00	\$ 16,400.00
300	CY	Gravel (NHDOT 304.2)	\$ 30.00	\$ 9,000.00
150	CY	Crushed Gravel (NHDOT 304.3)	\$ 34.00	\$ 5,100.00
110	LF	6" & 8" PE Pipe (smooth interior)	\$ 30.00	\$ 3,300.00
180	LF	12" PE Pipe (smooth interior)	\$ 70.00	\$ 12,600.00
4	EA	4ft Dia. Catch Basin / Drain Manhole	\$ 3,500.00	\$ 14,000.00
1	EA	Drop Inlet Structure	\$ 1,500.00	\$ 1,500.00
1	EA	Grease Trap	\$ 10,000.00	\$ 10,000.00
5	EA	Manhole Cover and Frame	\$ 700.00	\$ 3,500.00
5	EA	Bollards	\$ 250.00	\$ 1,250.00
1	EA	Detectable Warning Devices, Cast Iron	\$ 750.00	\$ 750.00
154	LF	Vertical Granite Curb	\$ 50.00	\$ 7,700.00
363	LF	Sloped Granite Curb	\$ 40.00	\$ 14,520.00
125	LF	6" SDR 35 Sewer Pipe	\$ 45.00	\$ 5,625.00
80	LF	Domestic Water Service	\$ 30.00	\$ 2,400.00
80	LF	Fire Service	\$ 50.00	\$ 4,000.00
136	LF	SCH 40 Conduit (x4 per trench, incl. trenching and backfill)	\$ 45.00	\$ 6,120.00
1	LS	Signage	\$ 500.00	\$ 500.00
70	LF	Retaining Wall	\$ 115.00	\$ 8,050.00
3	EA	Light Pole	\$ 4,000.00	\$ 12,000.00
1	LS	Pavemnt Striping	\$ 1,500.00	\$ 1,500.00
1	LS	Misc. Temp. Erosion and Sediment Control	\$ 3,000.00	\$ 3,000.00
1	LS	Planted Landscape	\$ 15,000.00	\$ 15,000.00

**\*\*SUBTOTAL: \$ 184,015.00**

**EXCLUSIONS:**

**ITEMS EXCLUDED FROM THIS ESTIMATE INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:**

INSPECTION FEES, MONUMENTATION, HVAC PADS, TRANSFORMER PADS, ELECTRICAL PULL BOXES, ELECTRIC AND COMMS CABLE, COMMS PEDESTALS, TEMPORARY FENCING AND BARRICADES, TRAFFIC CONTROL, POLICE DRETAILS, MATERIALS AND COMPACTION TESTING, BUILDING FOUNDATIONS, BUILDING FOUNDATION EXCAVATION, BUILDING MOUNTED EXTERIOR LIGHTING, BUILDINGS (INCLUDING MODIFICATIONS TO EXISTING BUILDINGS), TEMPORARY STABILIZATION, STAGING, MOBILIZATION, TEMPORARY CONSTRUCTION FACILITIES, SWPPP REQUIREMENTS, UNFORESEEN CONDITIONS, PRICE ESCALATION, LEGAL WORK, ETC.

**THIS ESTIMATE IS FOR PERMIT APPLICATION PURPOSES ONLY AND SHALL NOT BE USED FOR CONSTRUCTION, CONSTRUCTION BIDDING, CONTRACTING OR SUBCONTRACTING.**



## City of Portsmouth, New Hampshire

### Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: It's Good to be Kneaded, LLC Date Submitted: 1/23/23

Application # (in City's online permitting): 22-195

Site Address: 361 Islington Street Map: 144 Lot: 23

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete <a href="#">application</a> form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	Viewpoint	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	Viewpoint	N/A












Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Viewpoint - submission materials	
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Architectural floor plans plan package	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Cover sheet, all sheets in title block	N/A



Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. <b>(2.5.3.1E)</b>	Cover sheet, bottom left LOA	N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. <b>(2.5.3.1F)</b>	Existing Conditions plan, sheet 1 of 1 and cover sheet	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. <b>(2.5.3.1G)</b>	Cover sheet	N/A
<input checked="" type="checkbox"/>	List of reference plans. <b>(2.5.3.1H)</b>	Existing conditions survey plan, bottom center	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. <b>(2.5.3.1I)</b>	Site Preparation plan demolition notes, left & Utility Plan notes left, note 11	N/A

Site Plan Specifications			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. <b>(2.5.4.1A)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. <b>(2.5.4.1B)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. <b>(2.5.4.1C)</b>	Note 3 existing conditions plan bottom center	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. <b>(2.5.4.1E)</b>	No wetlands on site	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. <b>(2.5.4.2A)</b>	Cover sheet, all plan sheets title block, legend D-1	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>	Cover sheet, all plan sheets, right side middle	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. <b>(2.5.4.2C)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. <b>(2.5.4.2D)</b>	Existing conditions survey, 1 of 1	N/A

Site Plan Specifications – Required Exhibits and Data			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	<b>1. Existing Conditions: (2.5.4.3A)</b> <ul style="list-style-type: none"> <li>Surveyed plan of site showing existing natural and built features;</li> <li>Existing building footprints and gross floor area;</li> <li>Existing parking areas and number of parking spaces provided;</li> <li>Zoning district boundaries;</li> <li>Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre;</li> <li>Existing impervious and disturbed areas;</li> <li>Limits and type of existing vegetation;</li> <li>Wetland delineation, wetland function and value assessment (including vernal pools);</li> <li>SFHA, 100-year flood elevation line and BFE data, as required.</li> </ul>	Existing conditions survey 1 of 1 Site plan, C-2 No striped spaces Site plan, C-2 Site plan, C-2  Site plan, C-2  NA - no on-site wetlands  Site plan, C-2	
<input checked="" type="checkbox"/>	<b>2. Buildings and Structures: (2.5.4.3B)</b> <ul style="list-style-type: none"> <li>Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;</li> <li>Elevations: Height, massing, placement, materials, lighting, façade treatments;</li> <li>Total Floor Area;</li> <li>Number of Usable Floors;</li> <li>Gross floor area by floor and use.</li> </ul>	Elevations, sheet A1  Site lighting plan  Site plan, sheet C-2	
<input checked="" type="checkbox"/>	<b>3. Access and Circulation: (2.5.4.3C)</b> <ul style="list-style-type: none"> <li>Location/width of access ways within site;</li> <li>Location of curbing, right of ways, edge of pavement and sidewalks;</li> <li>Location, type, size and design of traffic signing (pavement markings);</li> <li>Names/layout of existing abutting streets;</li> <li>Driveway curb cuts for abutting prop. and public roads;</li> <li>If subdivision; Names of all roads, right of way lines and easements noted;</li> <li>AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).</li> </ul>	Site plan, C-2     Truck turning templates T-1 and T-2	
<input checked="" type="checkbox"/>	<b>4. Parking and Loading: (2.5.4.3D)</b> <ul style="list-style-type: none"> <li>Location of off street parking/loading areas, landscaped areas/buffers;</li> <li>Parking Calculations (# required and the # provided).</li> </ul>	Site Plan, C-2	
<input checked="" type="checkbox"/>	<b>5. Water Infrastructure: (2.5.4.3E)</b> <ul style="list-style-type: none"> <li>Size, type and location of water mains, shut-offs, hydrants &amp; Engineering data;</li> <li>Location of wells and monitoring wells (include protective radii).</li> </ul>	No domestic wells. Monitoring wells - Site preparation plan. Water lines depicted on Utility Plan	
<input checked="" type="checkbox"/>	<b>6. Sewer Infrastructure: (2.5.4.3F)</b> <ul style="list-style-type: none"> <li>Size, type and location of sanitary sewage facilities &amp; Engineering data, including any onsite temporary facilities during construction period.</li> </ul>	Proposed sanitary sewer depicted on Utility plan	

	<b>7. Utilities: (2.5.4.3G)</b> <ul style="list-style-type: none"> <li>The size, type and location of all above &amp; below ground utilities;</li> <li>Size type and location of generator pads, transformers and other fixtures.</li> </ul>	See Utility plan	
	<b>8. Solid Waste Facilities: (2.5.4.3H)</b> <ul style="list-style-type: none"> <li>The size, type and location of solid waste facilities.</li> </ul>	Site Plan	
	<b>9. Storm water Management: (2.5.4.3I)</b> <ul style="list-style-type: none"> <li>The location, elevation and layout of all storm-water drainage.</li> <li>The location of onsite snow storage areas and/or proposed off-site snow removal provisions.</li> <li>Location and containment measures for any salt storage facilities</li> <li>Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures.</li> </ul>	Storm drainage - Utility plan Site Plan  Note Site Plan No exterior storage of materials proposed	
	<b>10. Outdoor Lighting: (2.5.4.3J)</b> <ul style="list-style-type: none"> <li>Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan.</li> </ul>	Site lighting plan	
	<b>11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)</b>	Note on Site plan	
	<b>12. Landscaping: (2.5.4.3K)</b> <ul style="list-style-type: none"> <li>Identify all undisturbed area, existing vegetation and that which is to be retained;</li> <li>Location of any irrigation system and water source.</li> </ul>	Landscape Plan	
	<b>13. Contours and Elevation: (2.5.4.3L)</b> <ul style="list-style-type: none"> <li>Existing/Proposed contours (2 foot minimum) and finished grade elevations.</li> </ul>	Grading Plan	
	<b>14. Open Space: (2.5.4.3M)</b> <ul style="list-style-type: none"> <li>Type, extent and location of all existing/proposed open space.</li> </ul>	Site plan	
	<b>15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)</b>	Existing Conditions and Site plan	
	<b>16. Character/Civic District (All following information shall be included): (2.5.4.3P)</b> <ul style="list-style-type: none"> <li>Applicable Building Height (10.5A21.20 &amp; 10.5A43.30);</li> <li>Applicable Special Requirements (10.5A21.30);</li> <li>Proposed building form/type (10.5A43);</li> <li>Proposed community space (10.5A46).</li> </ul>	Site Plan, lower the left Architectural drawings	
	<b>17. Special Flood Hazard Areas (2.5.4.3Q)</b> <ul style="list-style-type: none"> <li>The proposed development is consistent with the need to minimize flood damage;</li> <li>All public utilities and facilities are located and construction to minimize or eliminate flood damage;</li> <li>Adequate drainage is provided so as to reduce exposure to flood hazards.</li> </ul>	Not applicable	

Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)	Not applicable	
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Green statement	
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	Project is not within a wellhead protection or aquifer protection area	
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)	Grading Plan, Erosion control details	
<input checked="" type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)	Application package	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>• Waivers;</li> <li>• Driveway permits;</li> <li>• Special exceptions;</li> <li>• Variances granted;</li> <li>• Easements;</li> <li>• Licenses.</li> </ul> (2.5.3.2A)	Waivers - site plan no new driveways. Existing driveway relocated Variances noted on site plan, bottom center easement on existing conditions plan and site plan	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>• Calculations relating to stormwater runoff;</li> <li>• Information on composition and quantity of water demand and wastewater generated;</li> <li>• Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>• Estimates of traffic generation and counts pre- and post- construction;</li> <li>• Estimates of noise generation;</li> <li>• A Stormwater Management and Erosion Control Plan;</li> <li>• Endangered species and archaeological / historical studies;</li> <li>• Wetland and water body (coastal and inland) delineations;</li> <li>• Environmental impact studies.</li> </ul> (2.5.3.2B)	Drainage narrative provided Submittal package for water/wastewater generation Traffic generation if requested Noise - none expected Grading plan for stormwater managment and details no archaeological or wetland studies provided	
<input checked="" type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	Eversource will not provide design information until under applicant's ownership	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. <b>(2.5.3.2E)</b>	None required	
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." <b>(2.5.4.2E)</b>	Site plan	N/A
<input checked="" type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. <b>(2.5.4.2F)</b>	Not applicable	
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> <li>a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds."</li> <li>b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director."</li> </ul> <b>(2.13.3)</b>	Waiver requested          Site Plan	N/A

Applicant's Signature: Eric D. Weinrieb, PE Date: 1/23/23

## 7 Findings and Conclusions

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The goal of this Phase I ESA is to identify RECs as defined by the ASTM Standard. This section identifies known or suspected RECs, historical RECs, Controlled RECs, and de minimis conditions. During the Phase I ESA, BSC Group personnel identified one REC and identified several de minimis conditions associated with the Site. BSC Group's opinion is limited by the conditions prevailing at the time the work was performed and the applicable regulatory requirements in effect.

To meet the requirements of Section 12.8 of the Standard, the statement below has been included to preface the conclusions of this report.

We have performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527 of 1 parcel, located at 361 Islington Street in Portsmouth, New Hampshire, the Site. Any exceptions to, or deletions from, this practice are described in Section 1.2 of this report. This assessment has revealed evidence of de minimis conditions in connection with the Site, as discussed below.

### 7.1 RECs

One REC has been identified for the Site. The Site has been subject to documented past releases of OHM. The Site is identified as NHDES Case #2284. A release of gasoline from an UST in 1989 was reported to NHDES. This release is part of ongoing remediation efforts actively managed by Getty under NHDES Site #198910068. The groundwater is actively being monitored under Groundwater Management Permit No. GWP-198910068-P-003. It is BSC Group's understanding that the liability for these ongoing remediation efforts are the sole responsibility of Getty Realty Corporation.

### 7.2 De Minimis Conditions

BSC Group personnel identified two de minimis conditions that could affect the Site during our records review and Site observations. BSC personnel were unable to determine the presence or condition of any floor drains under equipment or furniture in the former garage bay area due to the presence of the former commissary kitchen equipment and furniture. Upon removal of all equipment/furniture the floor area should be re-inspected for the presence/condition of floor drains. Two areas of miscellaneous debris were observed on-site, including miscellaneous metal wire shelves, and waste storage drums located behind the building and several carboys of car wash related fluids in the utility room. These materials should be removed and properly disposed of prior to taking ownership.

### 7.3 Vapor Encroachment Conditions

A VEC is the presence or likely presence of COC vapors in the subsurface of the Site caused by the release of vapors from contaminated soil or groundwater either on or near the target property. BSC Group personnel concluded that a VEC is likely to exist at the Site based on the review of onsite documented releases and the historical use of the property as a filling station.

## 8 Opinion and Recommendations

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### 8.1 Opinion

According to the Phase I ESA Standard, the report shall include an opinion of the impact on the Site of the conditions identified in the Findings Section. BSC Group's opinion is limited by the conditions prevailing at the time the work was performed and the applicable regulatory requirements in effect. BSC Group personnel identified one REC and several de minimis conditions during the Phase I ESA.

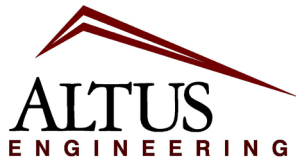
In addition, BSC Group personnel concluded that a VEC is likely to exist based on the review of documented releases in proximity of the Site.

### 8.2 Recommendations

Based on the findings of this report, BSC Group recommends the following:

- The one REC identified during the Phase I ESA is the ongoing remediation efforts actively managed by Getty under NHDES Site #198910068, BSC does not recommend conducting a comprehensive Phase II ESA at the Site including sampling of subsurface media (soil and groundwater) based on the understanding from the Client that these ongoing remediation efforts are the sole responsibility of Getty Corporation.
- Based on the likely presence of a VEC, the Client may elect to perform or request the current Owner perform indoor air sampling for COCs that could migrate within soil vapor to the interior of the building to confirm the air quality within the building is safe for workers and customers.
- Several housekeeping issues should be completed prior to purchase of the property; these include removal of the miscellaneous wire shelving and unlabeled drums, as well as removal of any chemicals located within the utility room. Once this equipment/furniture is removed a follow-up visit should be conducted to observe the floor areas for the presence/condition of floor drains.





*Civil  
Site Planning  
Environmental  
Engineering*

133 Court Street  
Portsmouth, NH  
03801-4413

**PARKING DEMAND ANALYSIS  
361 ISLINGTON STREET  
PORTSMOUTH, NH  
“IT’S GOOD TO BE KNEADED”**

January 23, 2023

It’s Good to be Kneaded (Kneaded) is proposing to renovate the former Getty Service Station building at 361 Islington Street to create a bagel focused restaurant. They are proposing to construct two small building additions to create a total building area of 2,165 SF.

There will be a 1,183 SF seasonal patio area for dining under the canopy.

Retaining the existing building and canopy creates site design challenges. With the building sited in the middle of the property, an efficient and sufficiently sized parking field is not possible without compromising the canopy area for parking.

The City of Portsmouth Zoning Ordinance requires 1 parking space for every 100 SF of gross floor area for a restaurant. Using both the seasonal dining area and the gross floor area of the building (3,348 SF), 33 spaces are required.

12 legal, full-sized parking stalls are proposed with 5 ample sized moped/motorcycle spaces and two bike rack areas that can accommodate up to 14 bicycles, leaving the site deficient 21-full sized spaces.

Along Islington Street are two similar uses, The Kitchen Restaurant and White Heron. The Kitchen has 39-interior seats and 22-exterior seats (61-total). They do not have any on-site parking facilities for their customers. White heron has 28-interior seats. They have 2-dedicated parking stalls and 4-optional parking stalls.

Kneaded is proposing 43-interior restaurant seats and 31-exterior, seasonal seating (74-total). The size is similar to the White Heron. We are providing 200-percent more on-site parking with only 13 additional spaces proposed. Based on our observations at the White Heron the facility operates without significant parking issues with much less parking.

The process to make bagels is more space intensive than other types of restaurants as bagels need to proof for an extended period of time before they are baked. The kitchen addition also allows for them to fully utilize the existing building, showing off the historic gas station windows and garage overhead doors as a point of interest. Kneaded is offering the community a place to



come and enjoy a quick meal with friends and neighbors. They are hoping that the community will see "The Getty" as a part of the neighborhood and will realize that the walk or bike ride is far more enjoyable than the short drive. They are hoping as well that the City's upgrade to the Islington Street corridor will help to promote this type of travel.

In the Zoning Ordinance, motorcycle and moped parking do not count towards the required parking. Arguably, the 5-spaces should count as the spaces are expected to be used year-round. The spaces are oversized for their intended use and can accommodate more than 5-mopeds.

Under section 10.1116.13, up to 5-percent of the required parking can be replaced with bicycle parking at a ratio of 1 automobile space being replaced by 6 bicycle spaces. The applicant has done this therefore, we are reducing the deficiency by one space.

The foundry garage is approximately 2,000-feet from the property. It is much closer to the site than many of the downtown businesses whose employees currently use it.

Providing a friendly environment that promotes pedestrian and alternative transportation will reduce the traffic demand for traditional parking.

Based on the high turnover business model, it is anticipated that on busy days that the maximum occupancy will be 75-percent of the seating capacity or approximately 55-people. Assuming that all parking spaces are used with 2-occupants, the parking spaces can accommodate 24 customers.

Promoting walking, bicycling and mopeds, Kneaded is confident that the remaining demand will be accommodated on-site.

Thus, it is Altus' opinion that 12-on-site parking stalls will be adequate for the expected demand.

.

Planning Board  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

## CONDITIONAL USE PERMIT FOR OUTDOOR DINING STATEMENT

It's Good to be Kneaded, LLC (the "Applicant") is proposing to renovate the former Getty Service Station building at 361 Islington Street (the "Property") to create a bagel-based restaurant. In conjunction with this use, they are proposing an 1,183 SF seasonal patio area for dining under the existing building canopy to accommodate up to 31 patrons. In order to do this, a Conditional Use Permit ("CUP") is required pursuant to Section 10.440 (19.50) of the Zoning Ordinance.

The criteria for granting the CUP under Section 10.243.20 of the Ordinance are met as follows:

### **CUP Criteria (Section 10.243.20)**

**10.243.21.** The design, height, scale and layout of the proposed use has been deemed appropriate by the Historic District Commission ("HDC") which gave it a near unanimous approval. The Planning Board may rely upon the HDC's decision to find that the proposed use will complement or enhance the character of the surrounding neighborhood. It is also important to point out that there are several other examples of approved outdoor dining in the surrounding area that are similar in scale to what is proposed. Liar's Bench, which is at 459 Islington Street, is permitted to have up to 50 patrons in its outdoor area which is 1,978 square feet in area. The Kitchen, which is located at 171 Islington Street, is permitted to have up to 24 patrons in its outdoor area.

**10.243.22.** The property has frontage on both Islington and Cabot Streets. There are adequate utility services in both rights-of-ways to service the property. Access infrastructure is in place with a signalized intersection at the Cabot and Islington Street intersection. The signal and Islington Street is scheduled for improvements during the 2023 construction season. The project has been vetted with the Portsmouth Technical Advisory Committee. They recommended approval at their February 7, 2023 meeting. They did not have any concerns regarding public or private utility infrastructure.

**10.243.23.** The Property served as a gas station for many years. It has an open sea of pavement that encourages an uncontrolled traffic flow with vehicles entering and exiting the Property in multiple locations. The Property has been redesigned to be more pedestrian friendly, create safer vehicular access and flow, and to maximize available parking while not creating an "overabundance of spaces because on-site parking drives up residential and commercial costs." Exhibit A. (Master Plan, Pg. 112). The proposed use will implement the goal of the Master Plan to encourage "reinvestment of underutilized buildings [which] creates more activated spaces while preserving the City's industrial and merchant past." Id. at Pg. 114. Safeguards have been proposed

to adequately buffer the outdoor seating area from vehicular traffic and to provide safe pedestrian access to avoid customer-vehicular conflicts. Having pedestrian-oriented businesses and an “active streetscape” is encouraged by the Master Plan for the “West End” of Portsmouth and is consistent with CD-4 zoning and the character of the area. The proposed use of the Property is also designed to encourage walking, the use of bicycles and alternative modes of transportation and will serve as a neighborhood gathering place, consistent with the goals of the Master Plan.

**10.243.24.** The Property was previously occupied (2018-2020) by the Wrap Shack, which consisted of a food track with outdoor dining. The outdoor dining did not have any significant impact upon surrounding properties. The ZBA granted multiple variances in 2021 to allow for the current proposed use of the Property by the Applicant, finding that it would not negatively impact surrounding properties or the general public. Terrafirma has created a robust planting plan that improves buffering between the street and the site and to abutting properties. The proposed outdoor seating will be located to the front of the building closest to Islington Street. The proposed use is a restaurant that will primarily sell bagels and bagel sandwiches. As a result, the proposed use will not generate undue noise, odors, vibrations, fumes, or dust. The site will be paved. There will be no dust generated from the site. Exterior lighting is minimal and only to the minimum standards of the Site Plan Review Regulations and is dark sky compliant. The hours of operation will be inherently limited due to the type of restaurant (bagel-focused).

**10.243.25.** The concerns set forth by Section 10.243.25 do not apply to the Property. The Property is already developed and contains a former gas station building with service bay. There are no wetlands on the property. The parcel is not within a flood plain, wetland overlay district, aquifer recharge area or any other natural resource protection area. The Property is in an urban setting and is not or adjacent to a significant wildlife habitat. Impervious surface is being reduced on the Property, plantings are being added, and the lighting will be dark sky compliant.

**10.243.26.** The ZBA granted multiple variances for the Property and found that the proposed use would not cause a diminution in surrounding property values. The HDC also found in granting its approval that surrounding values will not be adversely impacted. The Planning Board is entitled to rely upon the ZBA’s and HDC’s determinations in reaching the same conclusion. If anything, the improvement of the Property with the proposed use would only lead to an increase in surrounding property values.

Respectfully Submitted,

It’s Good to be Kneaded LLC

February 22, 2023

A handwritten signature in black ink, appearing to read "Derek R. Durbin", enclosed within a simple oval border.

By: Derek R. Durbin, Esq.



# URBAN

[1.1.3](#), [1.1.5](#)]. Additionally, the proposed recreational area surrounding the Pond could serve as floodplain storage during storm surges [\[1.4.6\]](#).

## WEST END

The West End is very different from both the Downtown and North End in character and design. This area is currently a mix of historic mill buildings and newer commercial strip development, surrounded by residential neighborhoods. This interesting combination has organically created a more affordable, accessible and creative alternative to the historic Downtown.

## FUTURE DEVELOPMENT OBJECTIVES

### LAND USE

Many view the West End as a destination for residents rather than tourists, with a mix of small businesses, artist studios, neighborhood services and residences. Over the next decade, it is likely that the West End will start to see some new development. This development should take advantage of underutilized land and buildings in the West End to build mixed-use projects with affordable housing and community spaces, while still continuing to provide a home for small businesses and artists [\[1.1.1, 1.3.1\]](#).

Public and private projects should work towards an active streetscape by enhancing the area's urban fabric with context-sensitive development,

community gathering spaces, pedestrian connectivity and bicycle facilities [\[2.1.2, 1.1.2, 4.2.6\]](#). This City should also pursue daylighting Hodgson Brook west of North Mill Pond to enhance the area's natural environment and provide additional active and passive recreation [\[5.3.1\]](#).

Similar to the North End, the new Character-Based Zoning in the West End includes an Incentive Overlay District designed to encourage the creation of community space and workforce housing. This should be monitored for effectiveness and adjusted if necessary [\[3.2.2, 1.1.3\]](#). The City should also encourage small housing units and work to streamline the approval process for affordable housing in order to advance this priority [\[3.2.1, 3.2.5\]](#).

As the West End continues to develop, it is important to make sure that there is still room for the theatre, music and artist spaces that make this area unique and special. Appropriate locations for business startups, live/work units and creative industrial uses should be identified and supported through zoning and other incentives [\[1.3.3, 3.1.4, 3.3.1, 3.3.2\]](#).

As residential and commercial densities increase, it is important to ensure that there is adequate supply of parking to meet this need. However, it is critical there is not an overabundance of spaces because on-site parking drives up residential and commercial costs,



# CORE

## A possible future for the West End, including a mix of uses and improved streetscaping

City support of smaller housing units such as micro-units helps lower the cost of housing for individuals while adding density to the West End, supporting a wider range of services and amenities.

Publicly- and privately-funded bicycle infrastructure, such as bike racks and tool kiosks, encourage visitors and residents to use a more active form transportation.

Stronger land use regulations incentivize green building techniques and low-impact development schemes, leading to development that is more sustainable and resilient.

Reinvestment in underutilized buildings creates more activated spaces while preserving the City's industrial and merchant past.



West End Preliminary Vision Plan (Town Planning & Urban Design Collaborative, 2015)



# URBAN

and large parking lots can degrade the quality of human-scale urban environments. In order to maintain affordability, parking and living expenses should be independent from one another. Rather than bundling parking expenses with rent or mortgage payments, the cost should be separate. This empowers individuals to choose different price points for their parking based on budget and convenience, or

forgo automobile ownership in favor of other travel modes [1.3.3, 3.2.2]. A parking study for this area should be conducted in order to determine minimum and maximum onsite requirements and shared parking provisions [4.3.4]. The City should also work to acquire public transportation facilities in this area, including parking, car-sharing, bike-sharing, public transportation and priority parking and charging stations for low-emission vehicles [4.2.5, 4.3.1, 4.3.4].

## An example of improvements in the Urban Core, along Islington Street

*(Islington St. Corridor Improvement Action Plan, 2009).*



## STREET DESIGN

The West End should continue to work towards a better-connected street network and integration of various modes of transportation including walking, biking, driving and public transit. All major streets should be designed to be pedestrian-friendly and incorporate multi-modal design features including generous sidewalks and bike lanes where possible [4.1.1]. Improved vehicular and pedestrian wayfinding can help orient visitors to the West End and other locations and destinations in the City [4.1.4]. The Islington Street Corridor Improvement Action Plan is being implemented and seeks to improve the street's image, calm traffic, increase transit opportunities and improve pedestrian safety. This plan should be implemented fully, and these principles should be expanded throughout the West End. Finally, as demand and density grows, a connection to Downtown by way of a shuttle or trolley line should be considered [4.4.1].

# CORE

**An example of public space improvements in the North End, along the North Mill Pond**

*A multi-use path with streetside amenities like sidewalks and pedestrian malls, and provide a network of connections across the Urban Core and nearby neighborhoods.*

*The area surrounding North Mill Pond could serve as floodplain storage while ensuring public access to the waterfront under normal conditions.*

*North Mill Pond would benefit from increased public access to the waterfront and resources such as special ecological areas or boat launches.*





# PROPOSED SITE DEVELOPMENT PLANS

## It's Good To Be Kneaded

361 Islington Street  
Portsmouth, New Hampshire

Assessor's Parcel 144, Lot 23

Issued For: TAC Review

Plan Issue Date:

January 23, 2023  
February 22, 2023

Initial TAC Submission  
Site Plan Review

**Owner:**

LUCKY THIRTEEN  
PROPERTIES, LLC

P.O. BOX 300  
RYE, NH 03870  
TEL. (603) 661-6633

**Applicant:**

IT'S GOOD TO BE  
KNEADED, LLC

C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801  
TEL. (603) 547-0509

**Surveyor:**

James Verra  
and Associates, Inc.

LAND SURVEYORS  
101 Shattuck Way, Suite 8  
Newington, NH 03801-7876  
TEL. (603) 436-3557  
Job No: 23455

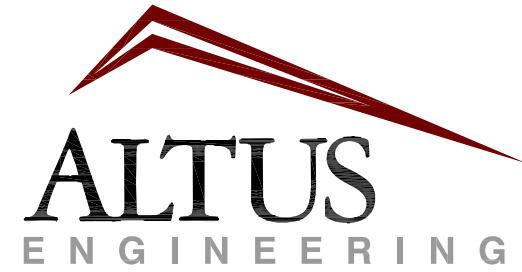
**Landscape Architect:**



terra firma  
landscape architecture

163A COURT STREET, PORTSMOUTH, NH 03801  
TEL. (603) 531-9109

**Civil Engineer:**

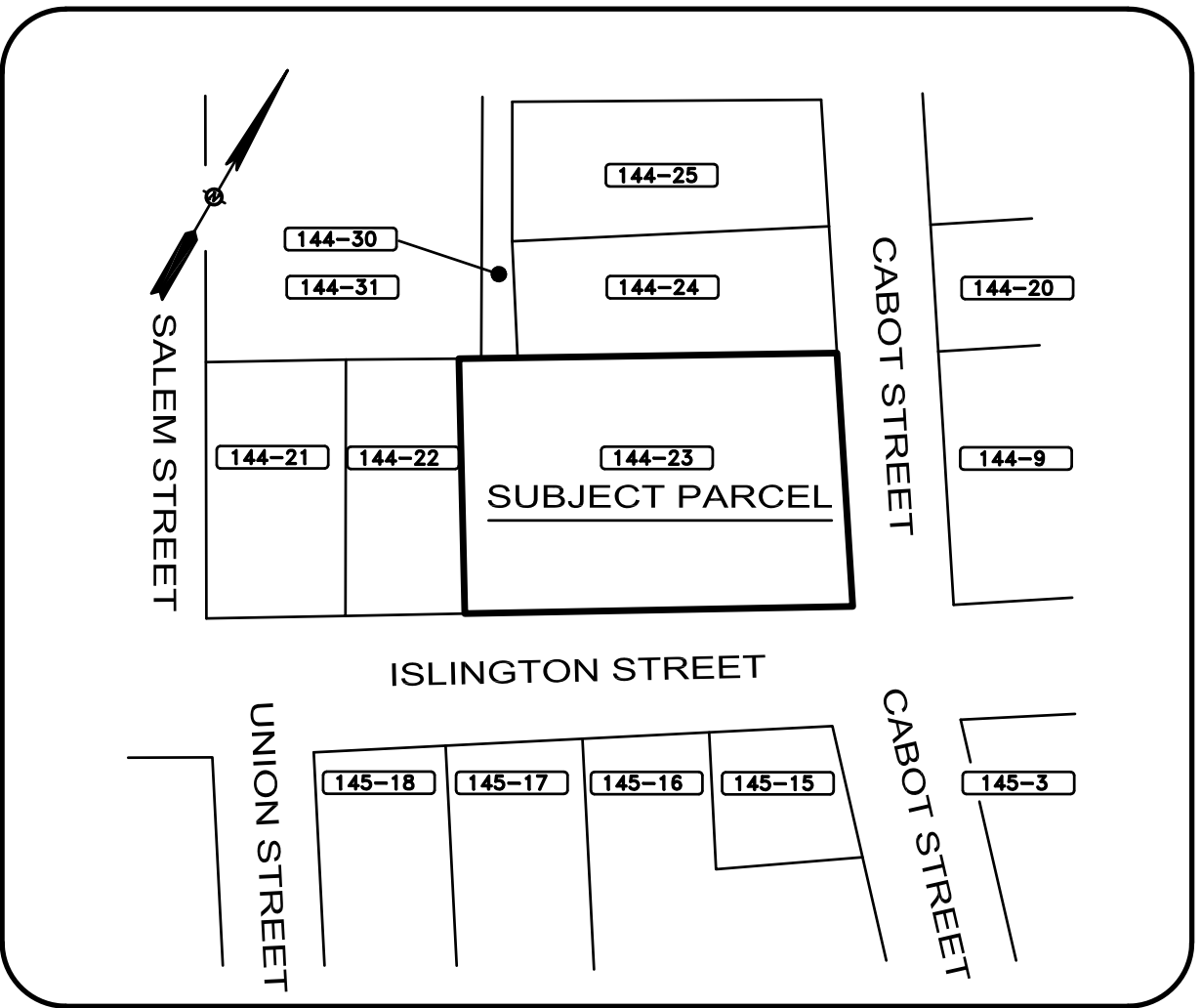


133 Court Street  
(603) 433-2335  
Portsmouth, NH 03801  
www.altus-eng.com

**Architect:**

WINTER HOLBEN  
Architecture + Design

7 Wallingford Square Unit 209-9  
KITTERY, ME 03904  
O: 207.994.3104 | C: 419.569.6143



LOCUS

NOT TO SCALE

**Sheet Index**

Sheet Title	Sheet No.:	Rev.	Date
Existing Conditions Plan	1 of 1	0	10/18/21
Site Preparation Plan	C-1	1	02/22/23
Site Plan	C-2	1	02/22/23
Grading Plan	C-3	1	02/22/23
Utility Plan	C-4	1	02/22/23
Landscape Plan	L-1	0	01/23/23
Landscaping Details	L-2	0	01/23/23
Site Lighting Plan	1 of 1	0	01/23/23
Truck Turning Movements – Trash	T-1	1	02/22/23
Truck Turning Movements – Delivery	T-2	1	02/22/23
Detail Sheet	D-1	0	01/23/23
Detail Sheet	D-2	0	01/23/23
Detail Sheet	D-3	0	01/23/23
Detail Sheet	D-4	0	01/23/23
Detail Sheet	D-5	0	01/23/23
Floor Plan	A1.0	0	02/22/23
Exterior Elevations	A2.0	0	02/22/23
Exterior Elevations	A2.1	0	02/22/23
Perspectives	A8.0	0	02/22/23

**Permit Summary:**

Portsmouth Zoning Board of Adjustment  
Portsmouth Site Plan Review

**Approval:**

10/18/22  
Pending



# PROPOSED SITE DEVELOPMENT PLANS

## It's Good To Be Kneaded

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Portsmouth, New Hampshire

Assessor's Parcel 144, Lot 23

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Owner:

LUCKY THIRTEEN  
PROPERTIES, LLC

P.O. BOX 300  
RYE, NH 03870  
TEL. (603) 661-6633

Applicant:

IT'S GOOD TO BE  
KNEADED, LLC

C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801  
TEL. (603) 547-0509

Surveyor:

James Verra  
and Associates, Inc.

LAND SURVEYORS  
101 Shattuck Way, Suite 8  
Newington, NH 03801-7876  
TEL. (603) 436-3557  
Job No: 23455

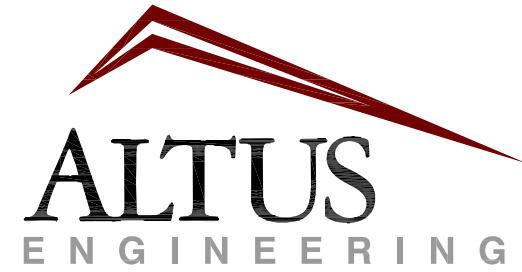
Landscape Architect:



terra firma  
landscape architecture

163A COURT STREET, PORTSMOUTH, NH 03801  
TEL. (603) 531-9109

Civil Engineer:

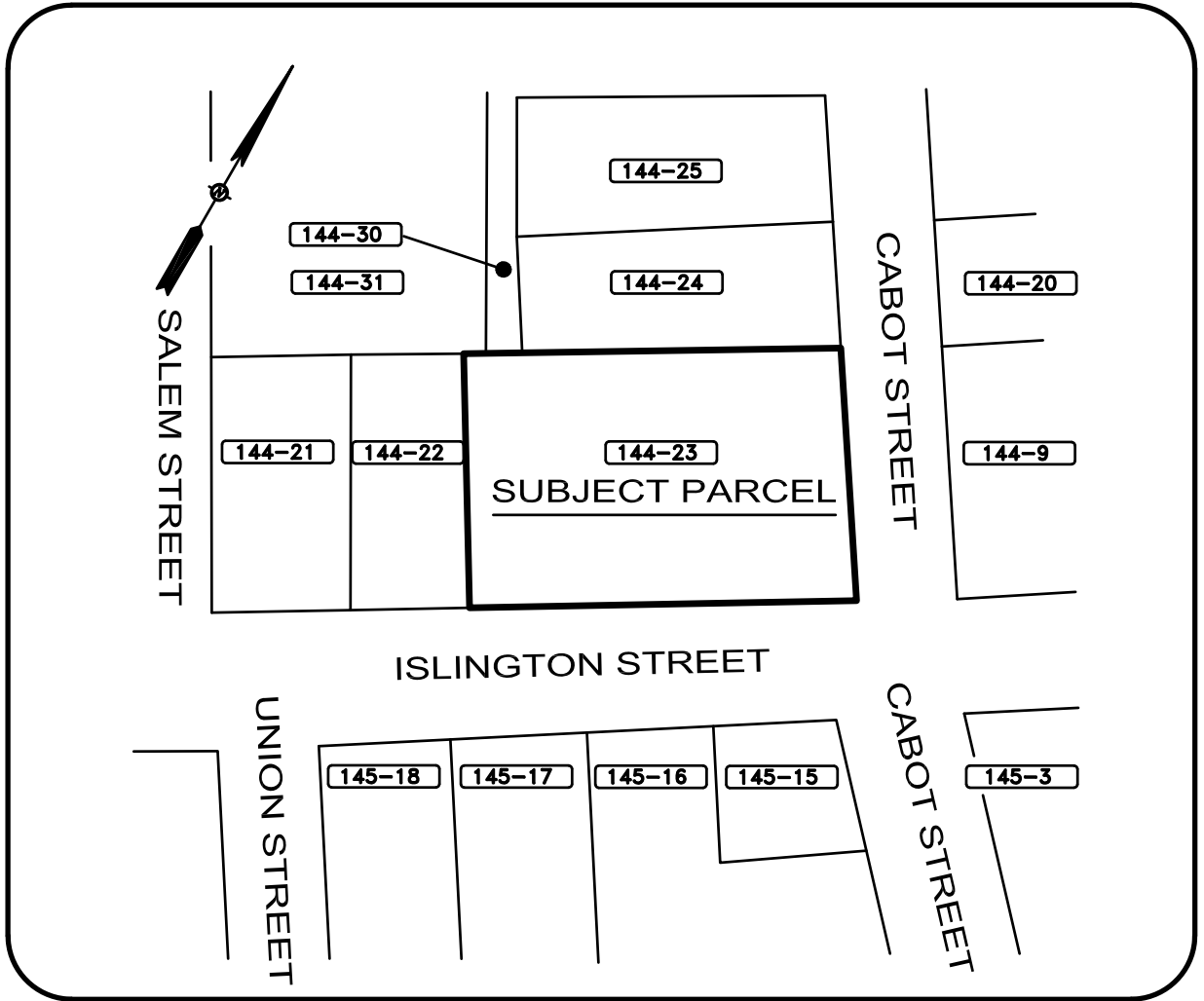


133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

Architect:

WINTER HOLBEN  
Architecture + Design

7 Wallingford Square Unit 209-9  
KITTERY, ME 03904  
O: 207.994.3104 | C: 419.569.6143



LOCUS

NOT TO SCALE

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Title

Sheet  
No.: Rev. Date

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Permit Summary:

Approval:

Portsmouth Zoning Board of Adjustment  
Portsmouth Site Plan Review

10/18/22  
Pending







DEMOLITION NOTES

1. CITY DEMOLITION PERMIT REQUIRED PRIOR TO ANY BUILDING DEMOLITION ACTIVITIES. CONTRACTOR IS NOTIFIED THAT THIS PERMIT PROCESS MAY REQUIRE A 30-DAY LEAD TIME.
2. CONTRACTOR SHALL SAFELY SECURE THE SITE AND WORK LIMITS WITH SECURITY FENCING WHICH SHALL BE LOCKED DURING NON-WORK HOURS.
3. CONTRACTOR SHALL INSTALL TUBULAR SEDIMENTATION BARRIER AROUND THE PARCEL PRIOR TO DEMOLITION ACTIVITIES.
4. CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES SCHEDULED TO REMAIN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
6. ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS SHALL BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES, PORTSMOUTH DPW AND ABUTTING PROPERTY OWNERS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
7. WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, HANDHOLES, ETC. SHALL BE ADJUSTED TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
8. ALL MATERIALS SCHEDULED FOR DEMOLITION OR REMOVAL ON PRIVATE PROPERTY SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED.
9. ALL MATERIAL SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS/CODES.
10. SEWER AND WATER: PORTSMOUTH DPW, JIM TOW, (603) 427-1530.
11. TELECOMMUNICATIONS: FAIRPOINT, JOE CONSIDINE, (603) 427-5525.
12. CABLE: COMCAST, MIKE COLLINS, (603) 679-5695, EXT. 1037.
13. ELECTRICAL: EVERSOURCE, MICHAEL BUSBY, (603) 332-4227, EXT. 5555334.
14. GAS: UNITIL, DAVID BEAULIEU, (603) 294-5144.
15. CONTRACTOR TO CONTACT PORTSMOUTH DPW A MINIMUM OF TWO WEEKS PRIOR TO ANY DEMOLITION TO COORDINATE ALL WORK CONCERNING DISCONNECTION/DEMOLITION OF ANY PROPOSED WATER AND SEWER LINE IMPROVEMENTS.
16. ALL WATER MAIN AND SERVICE DISCONNECTIONS SHALL CONFORM TO PORTSMOUTH DPW STANDARDS.
17. NO BURNING SHALL BE PERMITTED PER LOCAL REGULATIONS.
18. HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
19. EXISTING UTILITIES TO BE DISCONTINUED SHALL BE ABANDONED IN PLACE UNLESS OTHERWISE NOTED TO BE REMOVED OR ENCOUNTERED DURING THE INSTALLATION OF NEW WORK.
20. SHOULD GROUNDWATER BE ENCOUNTERED DURING EXCAVATION, APPROPRIATE BEST MANAGEMENT PRACTICES SHALL BE EMPLOYED TO ENSURE SEDIMENT LADEN WATER IS NOT DISCHARGED INTO THE CITY DRAINAGE SYSTEM. A DISCHARGE PERMIT SHALL BE OBTAINED PRIOR TO DISCHARGING GROUNDWATER.
21. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL BUILDINGS, PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
22. ALL CONSTRUCTION VEHICLES SHALL EXIT SITE VIA CABOT STREET.

EXISTING LEGEND:

- .....IRON ROD
- .....IRON PIPE
- .....CHAIN LINK FENCE
- .....WOOD FENCE
- ⊙

.....SEWER MANHOLE
- ⊕

.....CATCH BASIN
- ⊕

.....CATCH BASIN
- ⊙

.....MONITORING WELL
- ⊙

.....BOLLARD
- ⊙

.....UTILITY POLE
- ☆

.....LIGHT POLE
- .....UTILITY POLE W/TRANSFORMER
- ⊙

.....GUY
- ⊙

.....ELECTRIC METER
- ⊙

.....GAS METER
- ⊙

.....GAS SHUT OFF VALVE
- S —

.....SEWER LINE
- W —

.....WATER LINE
- D —

.....DRAIN LINE
- G —

.....GAS LINE
- OHW —

.....OVERHEAD WIRES
- OHE —

.....OVERHEAD ELECTRIC
- OHT —

.....OVERHEAD TELEPHONE
- UGU —

.....UNDERGROUND UTILITIES
- ⊙

.....SIGN
- VGC

.....VERTICAL FACED GRANITE CURB
- SAC

.....SLOPED FACED ASPHALT CURB
- 9-8

.....TAX SHEET - LOT NUMBER
- ▽

.....GRASS COVER
- PSNH

.....PUBLIC SERVICE CO. OF N.H.
- RCRD

.....ROCKINGHAM COUNTY REGISTRY OF DEEDS
- ⊙

.....DECIDUOUS TREE
- ⊙

.....CONCRETE

9-8

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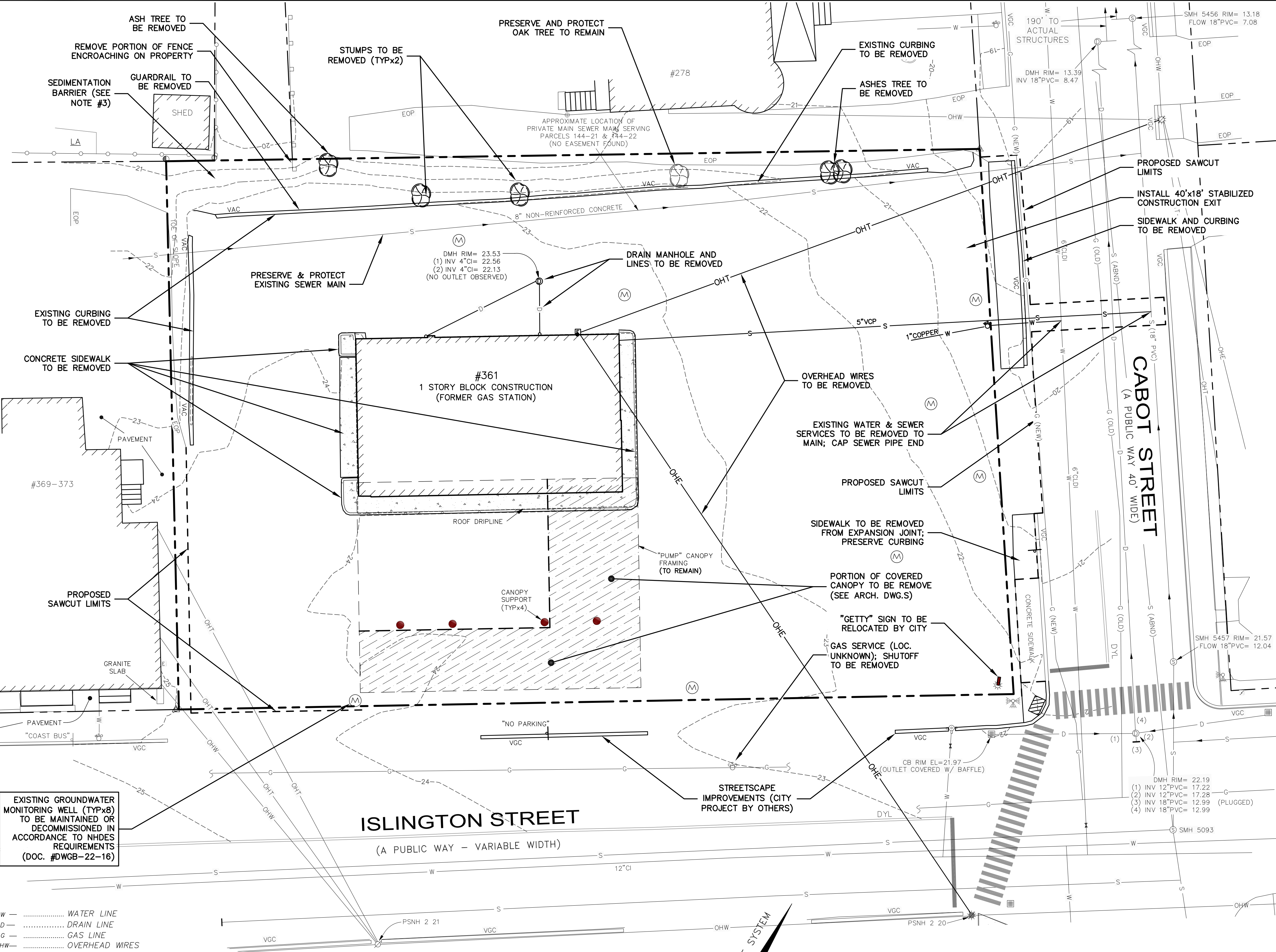
⊙

.....DECIDUOUS TREE

⊙

.....CONCRETE

EXISTING GROUNDWATER MONITORING WELL (TYPx8) TO BE MAINTAINED OR DECOMMISSIONED IN ACCORDANCE TO NHDES REQUIREMENTS (DOC. #DWGB-22-16)



ENGINEER:

**ALTUS**  
ENGINEERING

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

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1	PER TAC COMMENTS	EDW	02/22/23

DRAWN BY: \_\_\_\_\_ RMB

APPROVED BY: \_\_\_\_\_ EDW

DRAWING FILE: 5356SITE.dwg

SCALE:  
(22"x34") 1" = 10'  
(11"x17") 1" = 20'

OWNER:  
**LUCKY THIRTEEN PROPERTIES, LLC**  
P.O. BOX 300  
RYE, NH 03870

APPLICANT:  
**IT'S GOOD TO BE KNEADED, LLC**  
C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

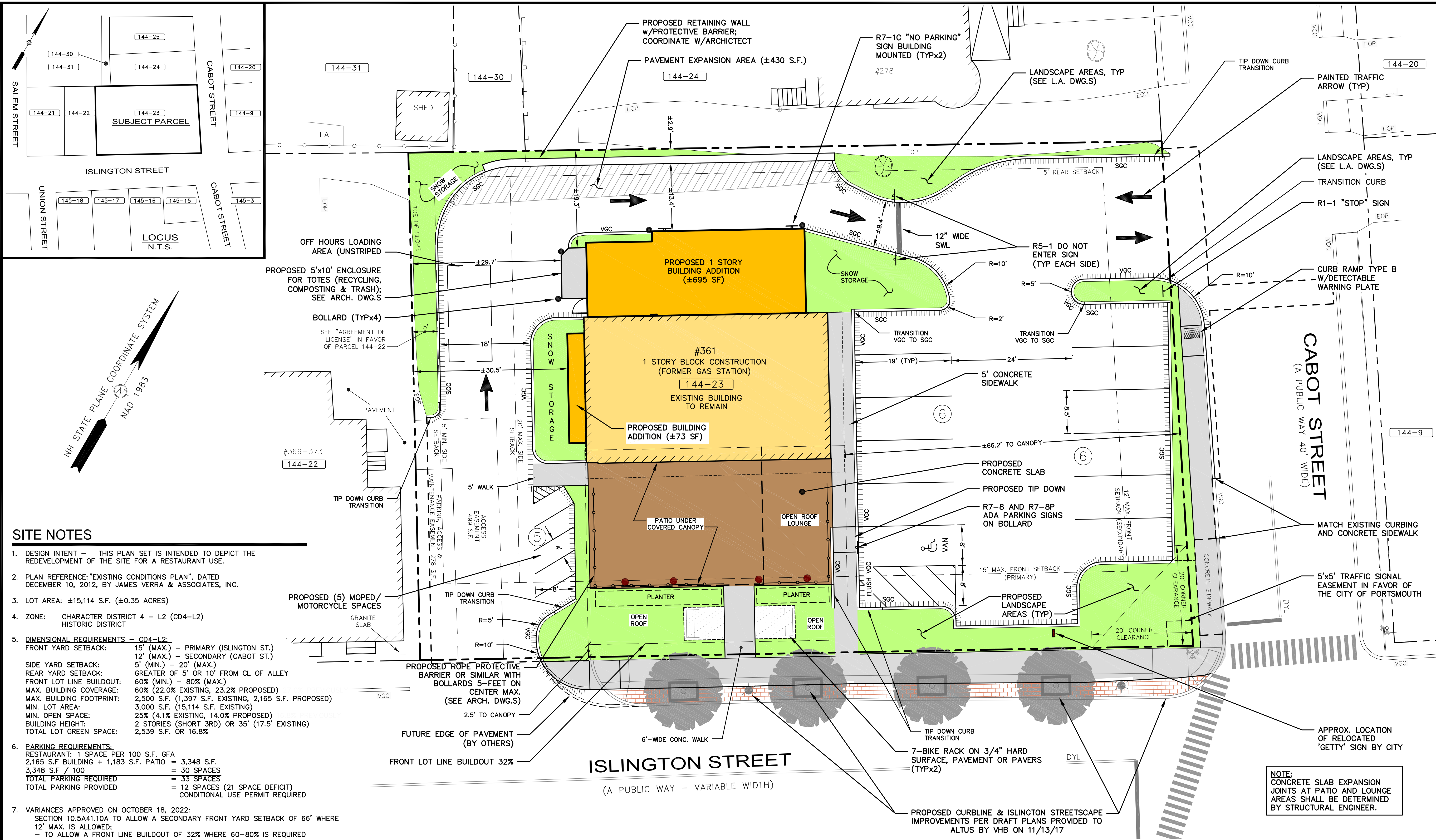
PROJECT:  
**IT'S GOOD TO BE KNEADED**

361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

TITLE:  
**SITE PREPARATION PLAN**

SHEET NUMBER:  
**C - 1**





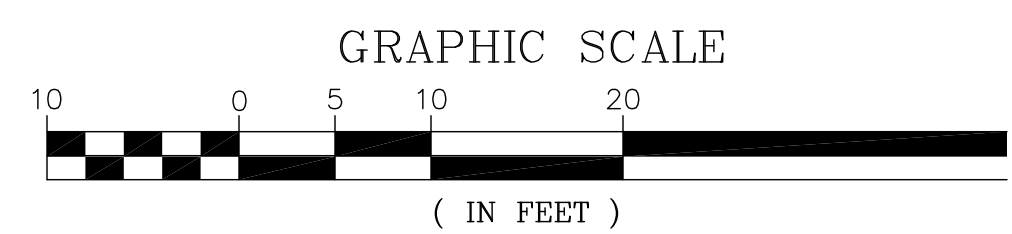
**SITE NOTES**

- DESIGN INTENT - THIS PLAN SET IS INTENDED TO DEPICT THE REDEVELOPMENT OF THE SITE FOR A RESTAURANT USE.
- PLAN REFERENCE: "EXISTING CONDITIONS PLAN", DATED DECEMBER 10, 2012, BY JAMES VERRA & ASSOCIATES, INC.
- LOT AREA: ±15,114 S.F. (±0.35 ACRES)
- ZONE: CHARACTER DISTRICT 4 - L2 (CD4-L2) HISTORIC DISTRICT
- DIMENSIONAL REQUIREMENTS - CD4-L2:**  
FRONT YARD SETBACK: 15' (MAX.) - PRIMARY (ISLINGTON ST.)  
12' (MAX.) - SECONDARY (CABOT ST.)  
5' (MIN.) - 20' (MAX.)  
REAR YARD SETBACK: GREATER OF 5' OR 10' FROM CL OF ALLEY  
FRONT LOT LINE BUILDOUT: 60% (MIN.) - 80% (MAX.)  
MAX. BUILDING COVERAGE: 60% (22.0% EXISTING, 23.2% PROPOSED)  
MAX. BUILDING FOOTPRINT: 2,500 S.F. (1,397 S.F. EXISTING, 2,165 S.F. PROPOSED)  
MIN. LOT AREA: 3,000 S.F. (15,114 S.F. EXISTING)  
MIN. OPEN SPACE: 25% (4.1% EXISTING, 14.0% PROPOSED)  
BUILDING HEIGHT: 2 STORIES (SHORT 3RD) OR 35' (17.5' EXISTING)  
TOTAL LOT GREEN SPACE: 2,539 S.F. OR 16.8%
- PARKING REQUIREMENTS:**  
RESTAURANT: 1 SPACE PER 100 S.F. GFA  
2,165 S.F. BUILDING + 1,183 S.F. PATIO = 3,348 S.F.  
3,348 S.F. / 100 = 30 SPACES  
TOTAL PARKING REQUIRED = 33 SPACES  
TOTAL PARKING PROVIDED = 12 SPACES (21 SPACE DEFICIT)  
CONDITIONAL USE PERMIT REQUIRED
- VARIANCES APPROVED ON OCTOBER 18, 2022:**  
SECTION 10.5A41.10A TO ALLOW A SECONDARY FRONT YARD SETBACK OF 66' WHERE 12' MAX. IS ALLOWED;  
- TO ALLOW A FRONT LINE BUILDOUT OF 32% WHERE 60-80% IS REQUIRED  
- TO ALLOW A LEFT YARD SETBACK OF 30' WHERE 20' IS THE MAX. ALLOWED  
- TO ALLOW 14.5% OPEN SPACE WHERE 25% IS THE MIN. REQUIRED  
  
SECTION 10.5A44.31 TO ALLOW OFF-STREET PARKING SPACES TO BE LOCATED IN FRONT OF THE FACADE OF THE PRIMARY BUILDING  
  
SECTION 10.5A44.32 TO ALLOW PARKING TO BE UNSCREENED FROM THE STREET  
  
SECTION 10.575 TO ALLOW A DUMPSTER TO BE LOCATED 19' FROM A RESIDENTIAL ZONED LOT WHERE 20' IS REQUIRED  
  
SECTION 10.321 TO ALLOW A NONCONFORMING BUILDING OR STRUCTURE TO BE EXTENDED, RECONSTRUCTED OR ENLARGED WITHOUT CONFORMING TO THE REQUIREMENTS OF THE ORDINANCE  
  
IT WAS DETERMINED THAT A VARIANCE WAS NOT REQUIRED UNDER SECTION 10.440, USE #9.42 TO ALLOW A RESTAURANT WITH AN OCCUPANCY LOAD BETWEEN 50 AND 250.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN HEREON, AND/OR TRUCKED OFF SITE AS APPROPRIATE.
- NO SAND SHALL BE USED FOR WINTER PARKING AREA MAINTENANCE. WINTER MAINTENANCE CONTRACTOR SHALL BE NHDES GREEN SNOWPRO CERTIFIED.

- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- ALL LIGHTS SHALL BE "DARK SKY COMPLIANT".
- THE PARCEL IS NOT LOCATED IN THE 100-FLOOD ZONE PER FEMA #33015C0259F, DATED 01/29/21.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- WAIVER REQUEST FOR RECORDING OF SITE PLAN. AS BUILT PLAN WILL BE RECORDED IN LIEU OF SITE PLAN.
- SEE SHEET D-1 FOR LEGEND.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN	DATE
----------	------



ENGINEER:

**ALTUS**  
ENGINEERING

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

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PLANNING BOARD REVIEW

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1	PER TAC COMMENTS	EDW	02/22/23

DRAWN BY: RMB

APPROVED BY: EDW

DRAWING FILE: 5356SITE.dwg

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(22"x34") 1" = 10'  
(11"x17") 1" = 20'

OWNER:  
**LUCKY THIRTEEN PROPERTIES, LLC**  
P.O. BOX 300  
RYE, NH 03870

APPLICANT:  
**IT'S GOOD TO BE KNEADED, LLC**  
C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

PROJECT:  
**IT'S GOOD TO BE KNEADED**  
361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

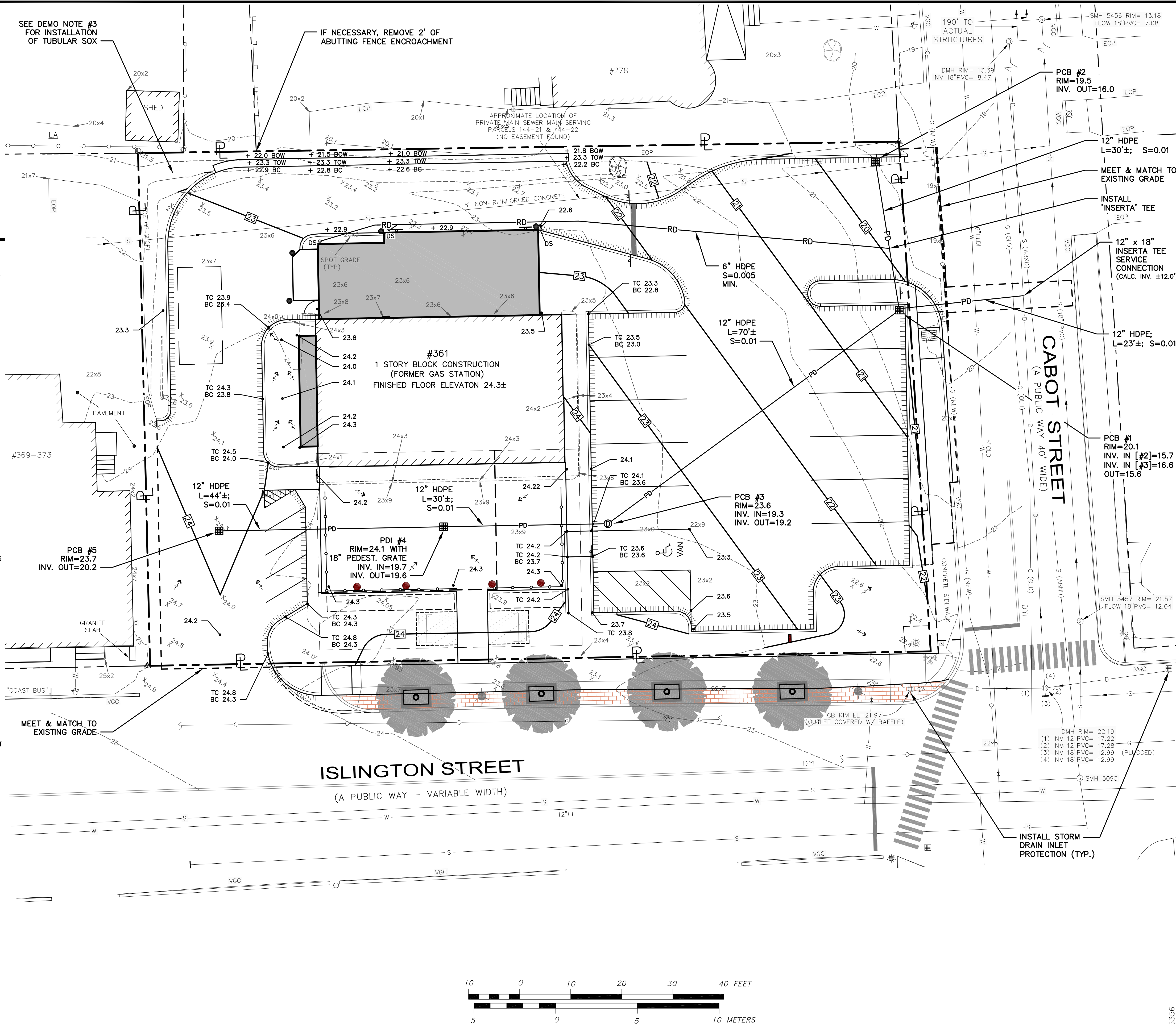
TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C - 2**



## GRADING, DRAINAGE AND EROSION AND SEDIMENT CONTROL NOTES

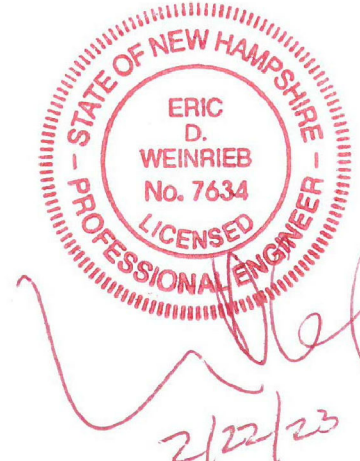
- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
- UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBMS) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
- PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
- TEMPORARY INLET PROTECTION MEASURES SHALL BE INSTALLED IN ALL CATCH BASINS WITHIN 100' OF THE PROJECT SITE WHEN SITE WORK WITHIN CONTRIBUTING AREAS IS ACTIVE OR SAID AREAS HAVE NOT BEEN STABILIZED.
- NO EARTHWORK SHALL COMMENCE UNTIL ALL APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND THE SITE IS STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES, PROVIDING TEMPORARY VEGETATION, AND/OR MULCHING EXPOSED AREAS AND STOCKPILES.
- CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT EROSION, PREVENT SEDIMENT FROM LEAVING THE SITE AND ENSURE PERMANENT SOIL STABILIZATION.
- SEE DETAIL SHEETS FOR PERTINENT SEDIMENT AND EROSION CONTROL DETAILS AND ADDITIONAL NOTES.
- ALL ROOF DRAIN RISERS SHALL BE LOCATED IN COORDINATION WITH THE ARCHITECTURAL PLANS TO MATCH GUTTER DOWNSPOUTS. RISERS SHALL BE SET TO FINISH GRADE PLUS 1" (MIN.).
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRECHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER. EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
- ALL CATCH BASIN, MANHOLE AND OTHER DRAINAGE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISH GRADE. ANY RIM ABOVE SURROUNDING FINISH GRADE SHALL NOT BE ACCEPTED.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF LOAM, LIMESTONE, FERTILIZER, SEED, AND MULCH USING APPROPRIATE SOIL STABILIZATION TECHNIQUES. SEE DETAILS FOR ADDITIONAL INFORMATION.
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. SYMBOLS MAY NOT BE INDICATIVE OF THE CENTER OF A STRUCTURE, PARTICULARLY WHEN SHOWN ADJACENT TO A CURB LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- UPON COMPLETION OF CONSTRUCTION, ALL DRAINAGE INFRASTRUCTURE SHALL BE CLEANED OF ALL DEBRIS AND SEDIMENT.
- UPON COMPLETION OF CONSTRUCTION, ALL TEMPORARY EROSION AND SEDIMENT CONTROLS SHALL BE REMOVED AND ANY AREAS DISTURBED BY THE REMOVAL SMOOTHED AND REVEGETATED.
- AREA OF DISTURBANCE IS APPROXIMATELY ±13,600 S.F.
- A STORMWATER INSPECTION AND MAINTENANCE REPORT SHALL BE COMPLETED ANNUALLY AND COPIED TO THE CITY PLANNING AND PUBLIC WORKS DEPARTMENTS.
- SEE SHEET D-1 FOR LEGEND.



ENGINEER:

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DRAWN BY: RMB

APPROVED BY: EDW

DRAWING FILE: 5356SITE.dwg

SCALE:

(22"x34") 1" = 10'  
(11"x17") 1" = 20'

OWNER:

**LUCKY THIRTEEN  
PROPERTIES, LLC**

P.O. BOX 300  
RYE, NH 03870

APPLICANT:

**IT'S GOOD TO BE  
KNEADED, LLC**

C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

PROJECT:

**IT'S GOOD TO  
BE KNEADED**

361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

TITLE:

**GRADING  
PLAN**

SHEET NUMBER:

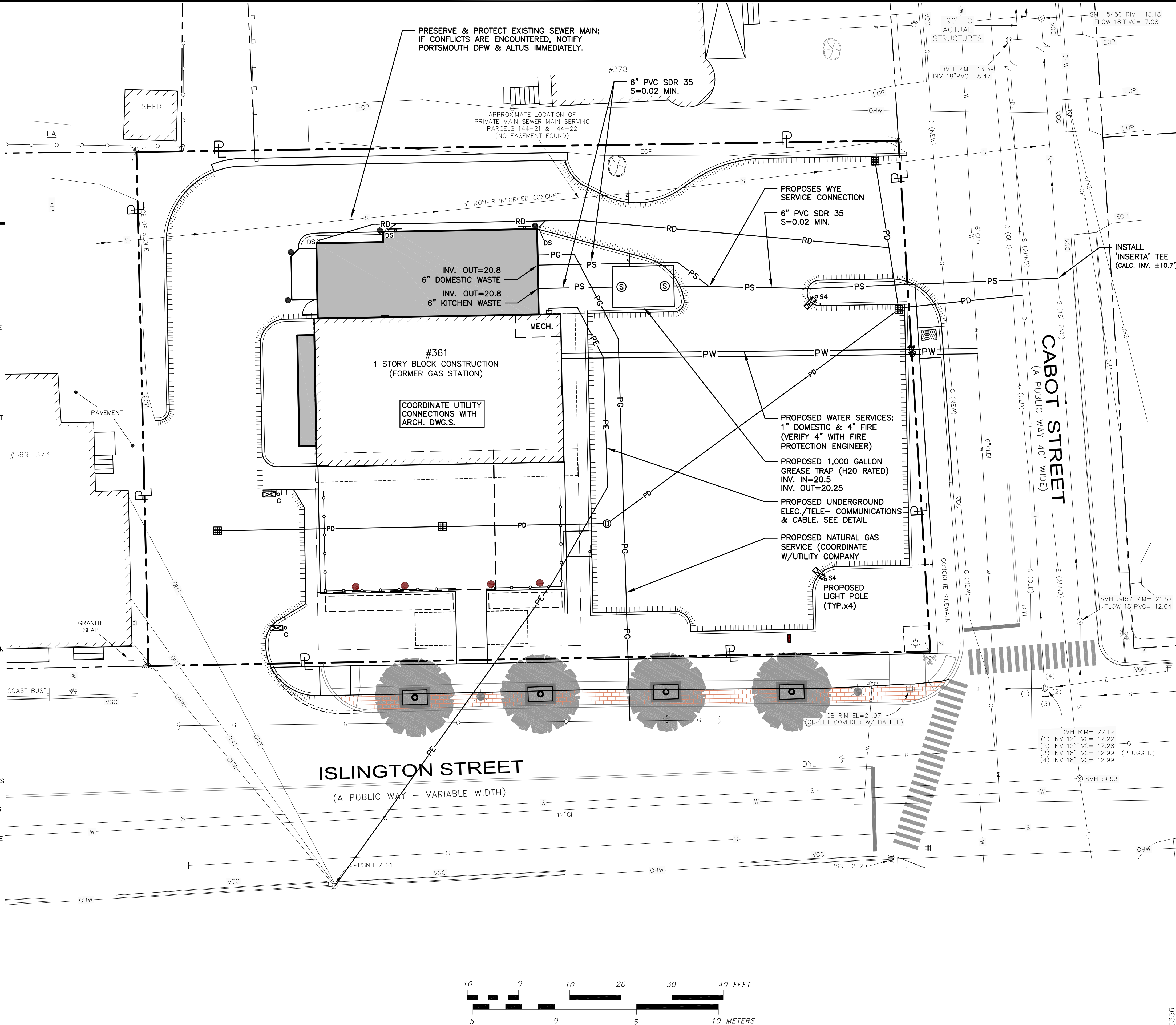
**C - 3**

P5356



UTILITY NOTES

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL NOTIFY, IN WRITING, SAID AGENCIES, UTILITY PROVIDERS, CITY OF PORTSMOUTH DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
2. PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS, AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
4. ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS SHALL BE COORDINATED WITH THE PORTSMOUTH POLICE DEPARTMENT AND DPW AT LEAST TWO WEEKS PRIOR TO COMMENCING RELATED CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
6. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
7. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
8. DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
9. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDING. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO COMMENCING RELATED WORK.
10. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE ARCHITECT, CONTRACTOR, APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DPW.
11. UTILITY PROVIDERS AND CONTACTS:
  - WATER & SEWER: PORTSMOUTH DPW, JIM TOW, (603) 427-1530.
  - GAS: UNITIL, DAVID BEAULIEU, (603) 294-5144.
  - TELECOMMUNICATIONS: CONSOLIDATED, JOE CONSIDINE, (603) 427-5525.
  - CABLE: COMCAST, MIKE COLLINS, (603) 679-5695, EXT. 1037.
  - ELECTRICAL: EVERSOURCE, MICHAEL BUSBY, (603) 332-4227, EXT. 5555334.ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
12. ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL BE CONSTRUCTED AND TESTED PER PORTSMOUTH DPW STANDARDS AND SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE TO THE STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
13. PER PORTSMOUTH DPW SPECIFICATIONS, ALL NEW DUCTILE IRON WATERLINES SHALL BE WRAPPED WITH A SOIL-TIGHT POLYETHYLENE WRAPPING FOR THEIR FULL LENGTH, ALL DOMESTIC WATER SERVICES SHALL BE PROVIDED WITH BACKFLOW PREVENTERS AND ALL DUCTILE IRON PIPE JOINTS SHALL HAVE THREE (3) WEDGES PER JOINT.
14. WATER AND SANITARY SEWER LINES SHALL BE LOCATED AT LEAST 10' HORIZONTALLY FROM EACH OTHER. WHERE CROSSING, 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER INSTALLED OVER SEWER.
15. ALL MEANS, METHODS, MATERIALS AND INSTALLATION OF NEW SEWER LATERALS SHALL BE APPROVED AND WITNESSED BY PORTSMOUTH DPW PRIOR TO BACKFILLING.
16. THE CONTRACTOR SHALL CONFIRM ALL WATERLINE SIZES WITH THE MEP PLANS PRIOR TO INSTALLATION. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
17. ALL WATER VALVES AND SHUTOFFS SHALL BE PAINTED RED FOR FIRE OR BLUE DOMESTIC WITH PERMANENT RUST RESISTANT PAINT.
18. ALL SEWER INSTALLATIONS SHALL BE TESTED IN ACCORDANCE WITH NHDES REGULATIONS.
19. SEE SHEET D-1 FOR LEGEND.



ENGINEER:

**ALTUS**  
ENGINEERING

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:  
PLANNING BOARD REVIEW

ISSUE DATE:  
FEBRUARY 22, 2023

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL TAC SUBMISSION	EDW	01/23/23
1	PER TAC COMMENTS	EDW	02/22/23

DRAWN BY: RMB

APPROVED BY: EDW

DRAWING FILE: 5356SITE.dwg

SCALE:  
(22"x34") 1" = 10'  
(11"x17") 1" = 20'

OWNER:  
**LUCKY THIRTEEN PROPERTIES, LLC**  
P.O. BOX 300  
RYE, NH 03870

APPLICANT:  
**IT'S GOOD TO BE KNEADED, LLC**  
C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

PROJECT:  
**IT'S GOOD TO BE KNEADED**  
361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

TITLE:  
**UTILITY PLAN**

SHEET NUMBER:  
**C - 4**



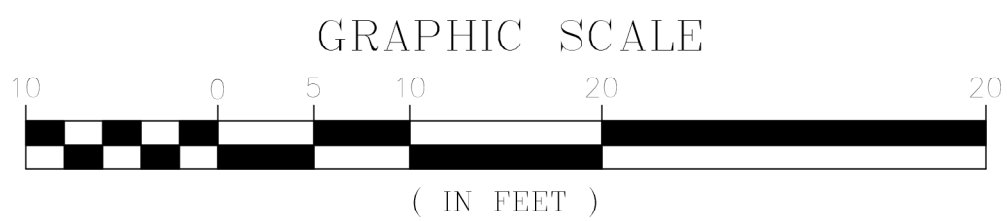
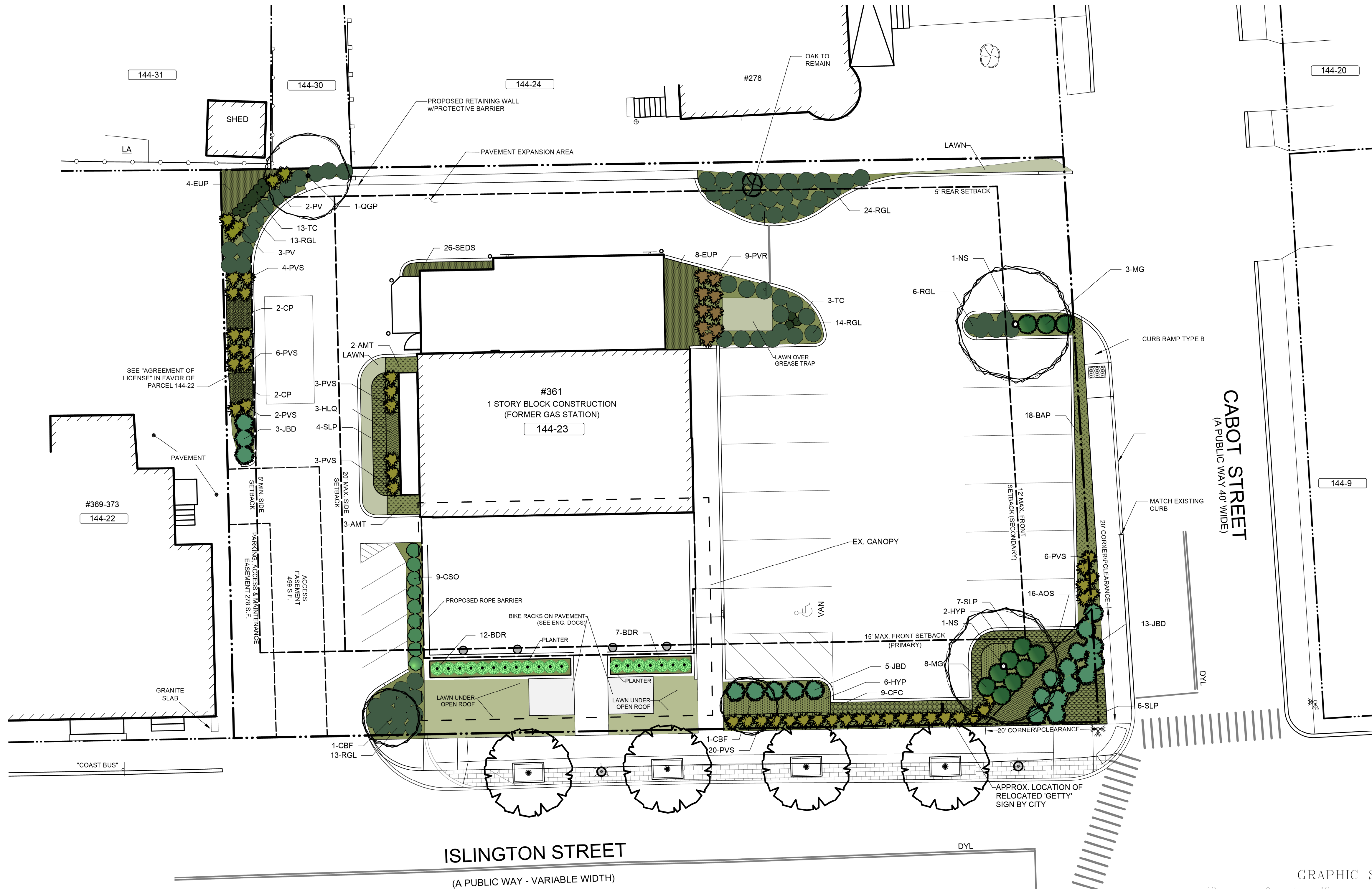
## Plant List - PERENNIALS

ID	Qty	Botanical Name	Common Name	Scheduled Size
BDR	19	<i>Buxus sempervirens</i> 'Dee Runk'	Dee Runk Boxwood	5'
CBF	2	<i>Carpinus betulus</i> 'Fastigiata'	Fastigiata Hornbeam	2-2 1/2" Cal.
CP	4	<i>Comptonia peregrina</i>	Sweet Fern	2 QT
CSO	9	<i>Chaenomeles</i> s. 'Double Take Orange'	Double Take Orange Flowering Quince	10 Gal.
JBD	21	<i>Juniperus communis depressa</i> 'AmiDak'	Blueberry Delight Juniper	2 Gal.
MG	11	<i>Myrica gale</i>	Sweetgale	5 Gal.
NS	2	<i>Nyssa sylvatica</i>	Black Tupelo	2" Cal.
QGP	1	<i>Quercus</i> p. 'Green Pillar'	Green Pillar Oak	2-2 1/2"
RGL	70	<i>Rhus aromatica</i> 'Grow Low'	Grow Low Sumac	2 Gal.
SLP	17	<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spirea	4"

ID	Qty	Botanical Name	Common Name	Scheduled Size
AMT	5	Amsonia tabernaemontana	Blue Star Flower	1 Gal.
AOS	16	Aster oblongifolius 'October Skies'	Aromatic Aster	2 QT
BAP	18	Baptisia australis	Blue False Indigo	2 QT
CFC	9	Caryopteris x clandonensis 'First Choice'	First Choice Bluebeard	2 QT
EUP	12	Eupatorium maculatum 'Gateway'	Joe Pye Weed	2 QT
HLQ	3	Helianthus 'Lemon Queen'	Lemon Queen Sunflower	2 QT
HYP	8	Hypericum x 'Hidcote'	Hidcote St. John's Wort	2 QT
PV	5	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	2 Gal.
PVR	9	Panicum virgatum 'Ruby Ribbons'	Ruby Ribbons Switch Grass	2 GAL.
PVS	44	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 Gal.
SEDS	26	Sedum sexangulare	Sexangulare Sedum	2 QT
TC	16	Thermopsis chinensis 'Sophia'	Sophia Thermopsis	2 QT



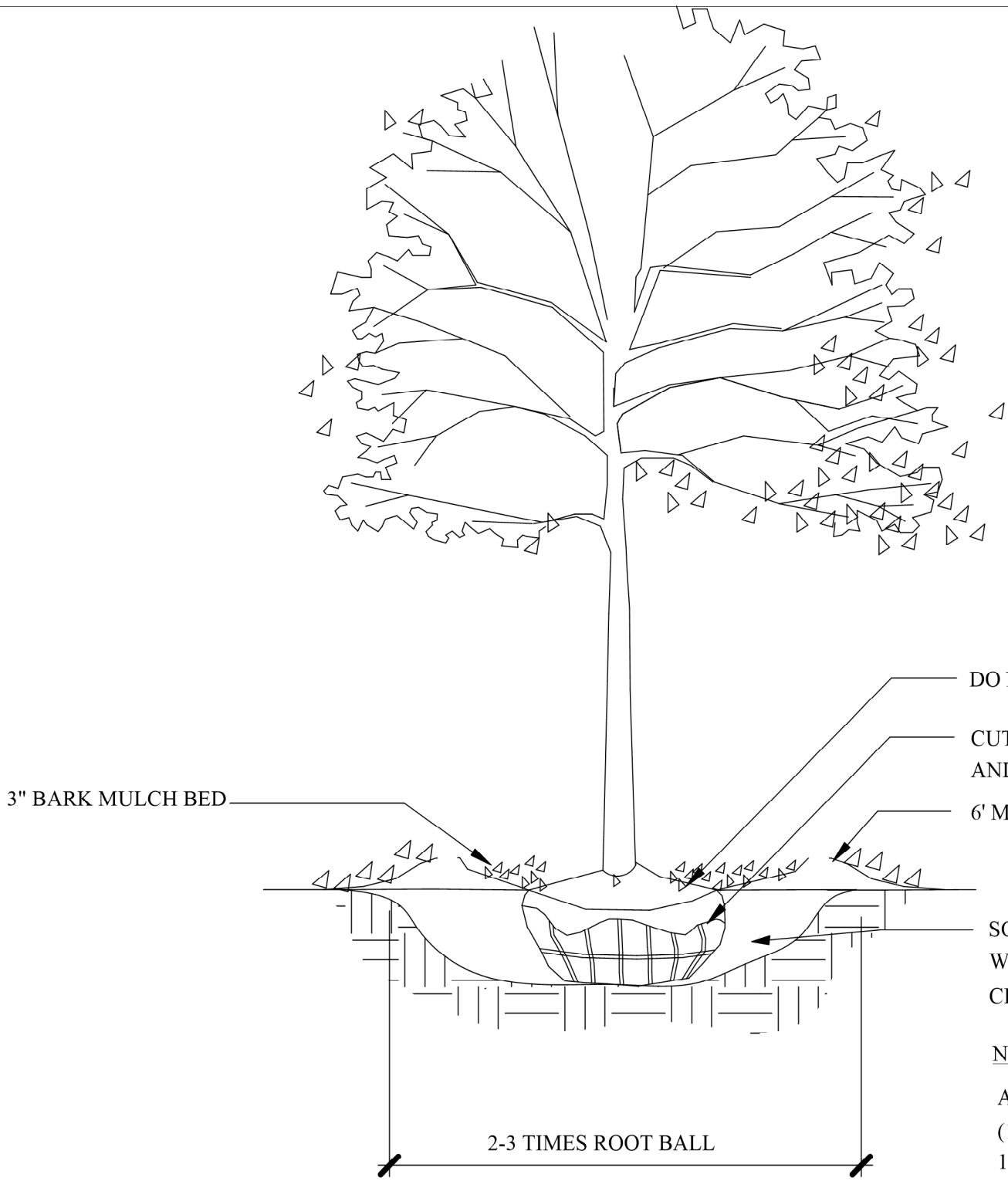
**terra firma**  
landscape architecture  
163 a court street · portsmouth, nh 03801  
office 603.430.8388    [terrence@terrafirmalandarch.com](mailto:terrence@terrafirmalandarch.com)



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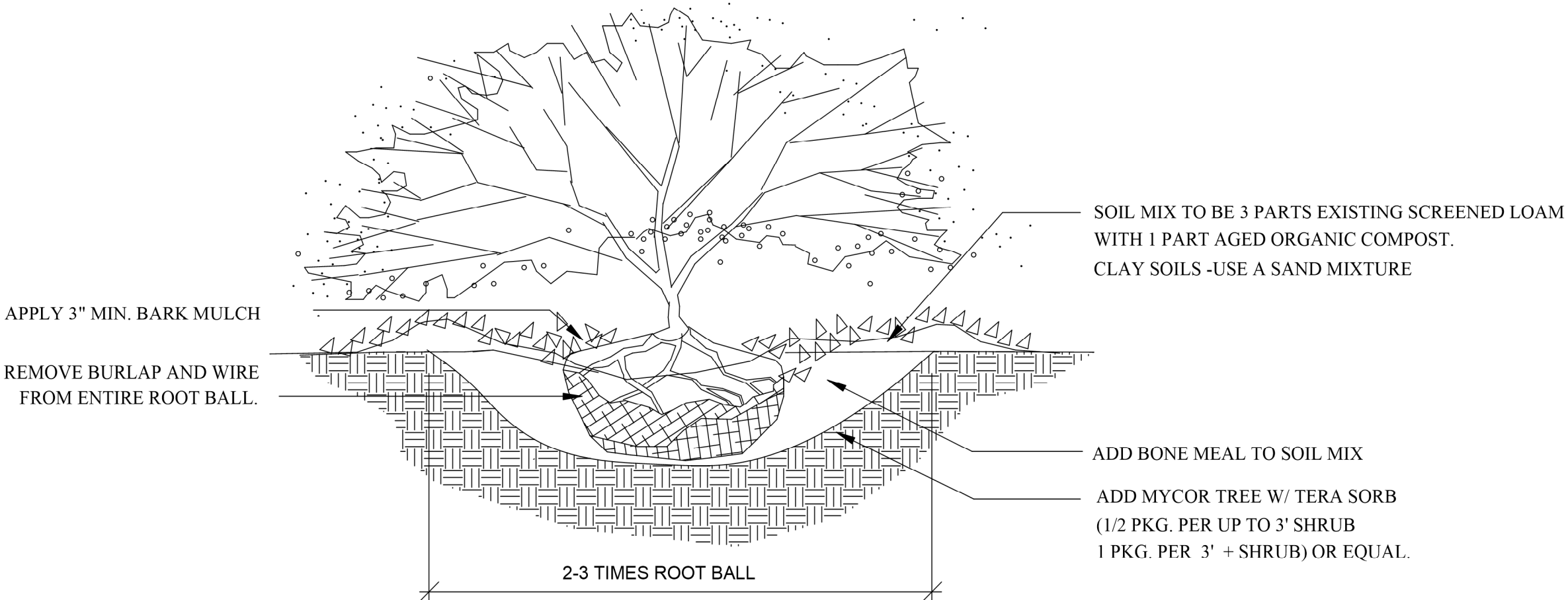
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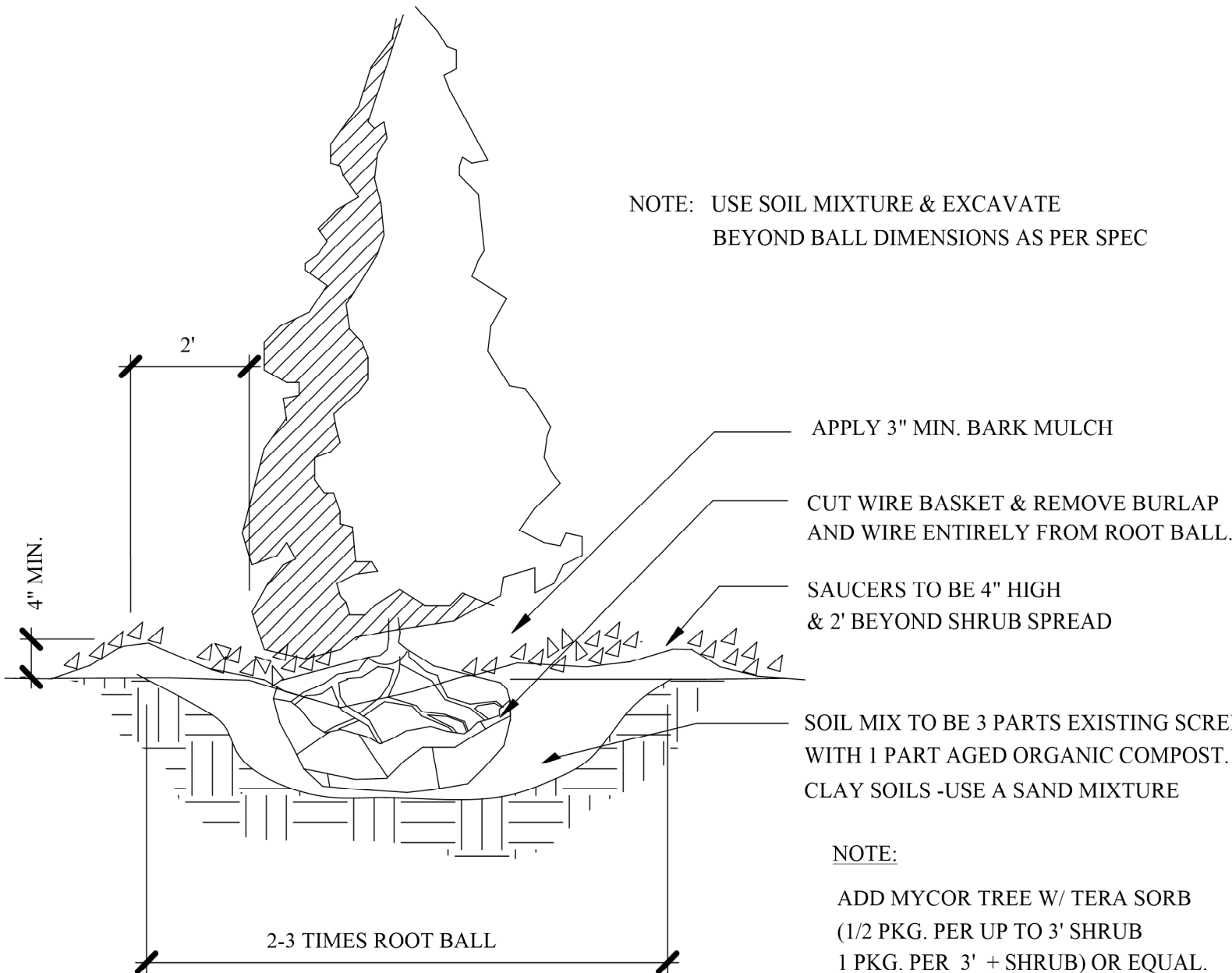
1  
L-5

**TREE PLANTING - 2"+ CAL.**  
**SCALE: NTS**



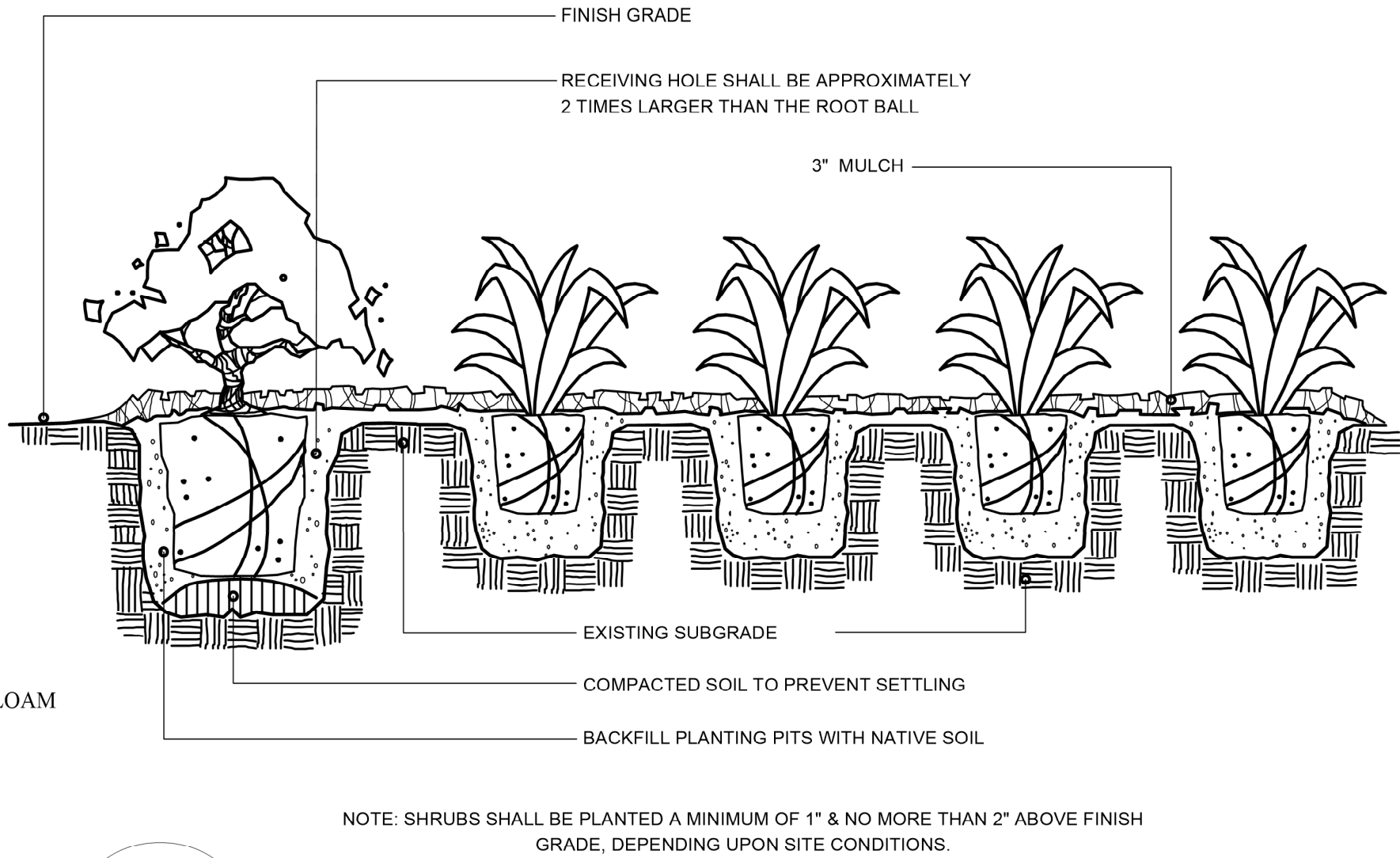
4  
L-5

**B&B SHRUB PLANTING**  
**SCALE: NTS**



2  
L-5

**PYRAMIDAL EVERGREEN TREE PLANTING**  
**SCALE: NTS**

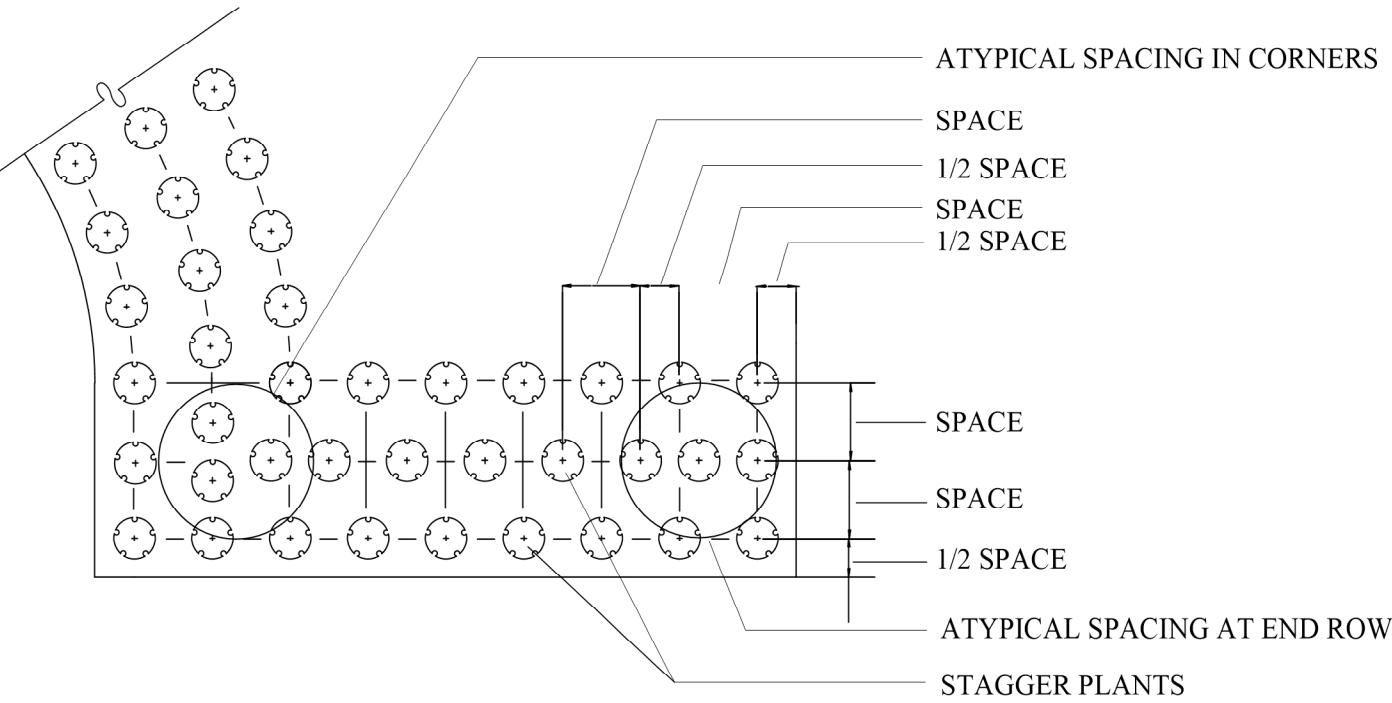


3  
L-5

**SHRUB/GROUND COVER PLANTING DETAIL**  
**SCALE: NTS**

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 2" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.



NOTES:

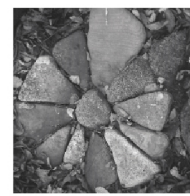
1. PLACE PLANTS IN BED AS SHOWN, SPACING AS SPECIFIED IN PLANT SCHEDULE.
2. GROUND COVER SHALL BE TRIANGULAR SPACED IN ROWS PARALLEL TO STRAIGHT EDGES AND SHALL BE EVENLY SPACED IN ROWS PARALLEL TO CURVE EDGES.

5  
L-5

**GROUND COVER SPACING DETAIL**  
**SCALE: NTS**

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terra firma  
landscape architecture



163.a court street | portsmouth, nh 03801  
tel: 603.460.8988 | terrence@terrefirmaarch.com

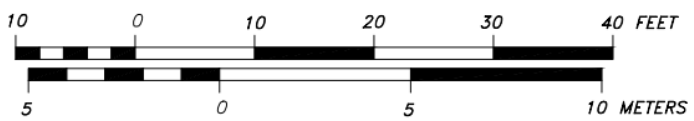
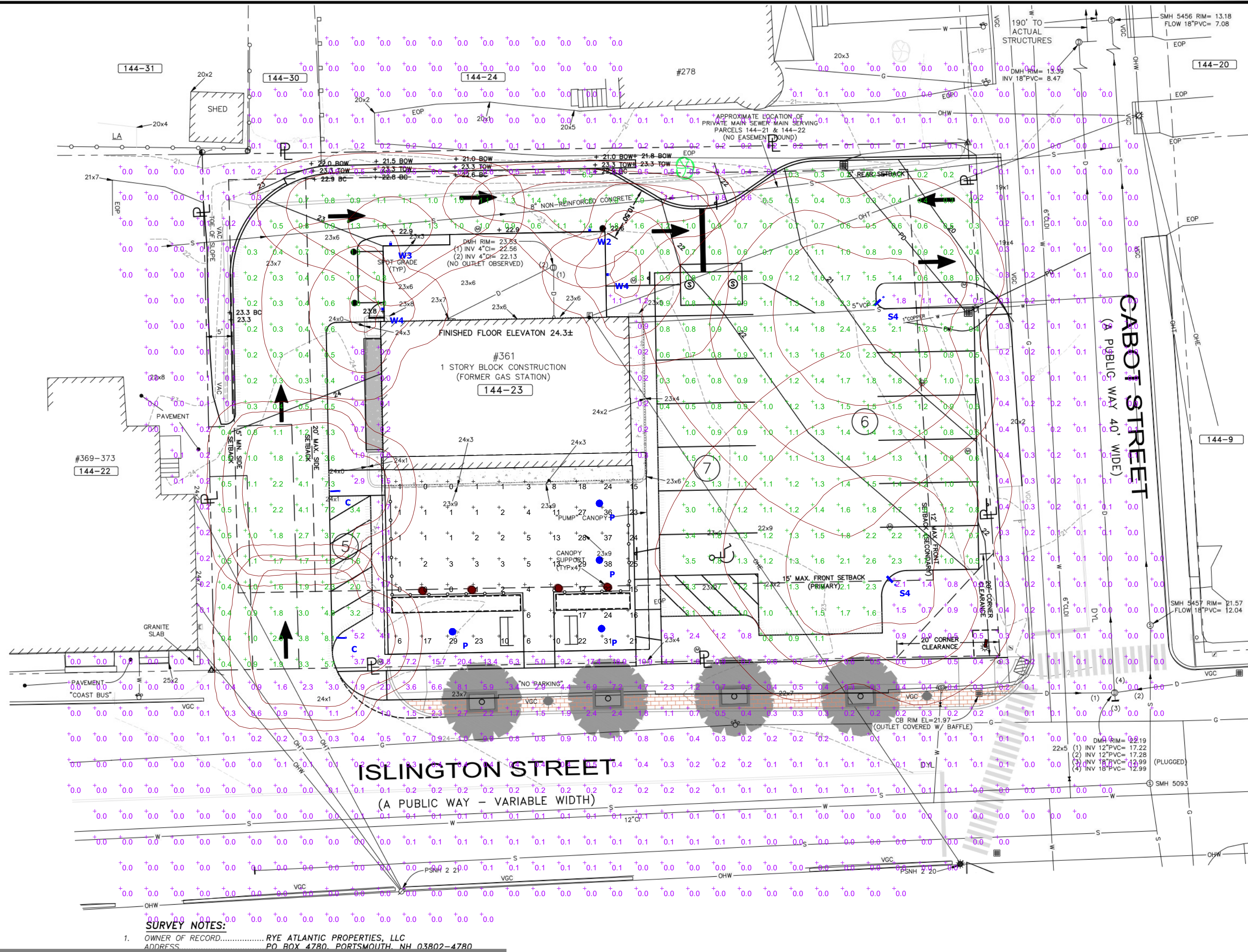
No.	Date	By	Revision Notes
A	1/23/2023	TC	INITIAL TAC SUBMISSION
B	2/22/2023	TC	PER TAC COMMENTS

No.	Date	Issue Notes

Design Firm	terra firma landscape architecture 163.a Court Street Portsmouth, NH
Consultant	
Project Title	The Getty
Sheet Title	Landscape Details
Project Manager	Project ID
Project Manager	The Getty
Drawn By	Scale
TC	NTS
Reviewed By	Sheet No.
TP	
Date	
2/22/2023	
CAD File Name	
getty_v2023.vwx	



Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distrib ion	Polar Plot Wattage
	C	2	Lumenpulse	BLDS-SD-120/277-CSL-S40-30K-CRI 80-4	Lumenblade; mounted at 6ft	LED	BLDS-SD-120_277-CSL-S40-30K-CRI 80-4.ies	2253	0.9	36		36
	P	4	METEOR Lighting	WS2 120 308 UNV STV WD BLK UP2 DF OUT	Whiz 2.0 LED Pendant; mounted at 11ft	LED	WS2-120-308-XXX-XXX-WD-XXX.IES	9890	0.8	120		120
	S4	2	Lumenpulse	BLDM-SD-120/277-CSL-S60-30K-CRI 80-4	Lumenblade; mounted at 14ft	LED	BLDM-SD-120_277-CSL-S60-30K-CRI 80-4.ies	3693	0.9	55		55
	W2	1	Lumenpulse	BLDN-SD-120/277-CSL-XS10-30K-CRI 80-2	Lumenblade Nano; mounted at 10ft	LED	BLDN-SD-120_277-CSL-XS10-30K-CRI 80-2.ies	962	0.9	10		10
	W3	1	Lumenpulse	BLDN-SD-120/277-CSL-XS10-30K-CRI 80-3	Lumenblade Nano; mounted at 10ft	LED	BLDN-SD-120_277-CSL-XS10-30K-CRI 80-3.ies	1014	0.9	10		10
	W4	2	Lumenpulse	BLDN-SD-120/277-CSL-XS10-30K-CRI 80-4	Lumenblade Nano; mounted at 10ft	LED	BLDN-SD-120_277-CSL-XS10-30K-CRI 80-4.ies	867	0.9	10		10



Plan View  
Scale - 1" = 16ft

## Statistics

### Description

### Symbol

### Avg

### Max

### Min

### Max/Min

### Avg/Min

Outside of Parking Lot

+

0.5 fc

20.4 fc

0.0 fc

N/A

N/A

Parking Lot

+

1.3 fc

8.1 fc

0.2 fc

40.5:1

6.5:1

Under Patio Canopy

+

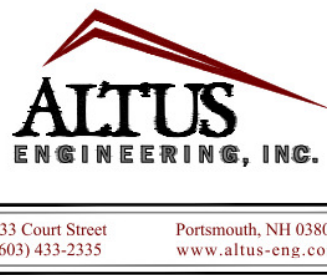
11 fc

38 fc

0 fc

N/A

N/A



133 Court Street  
(603) 433-2335

Portsmouth, NH 03801  
www.altus-eng.com

NOT FOR CONSTRUCTION

DRAWN BY: RMB  
APPROVED BY: EDW  
DRAWING FILE: 5356SITE.dwg

OWNER:  
LUCKY THIRTEEN  
PROPERTIES, LLC  
P.O. BOX 300  
RYE, NH 03870

APPLICANT:  
IT'S GOOD TO BE  
KNEADED, LLC  
C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

PROJECT:  
IT'S GOOD TO  
BE KNEADED  
361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

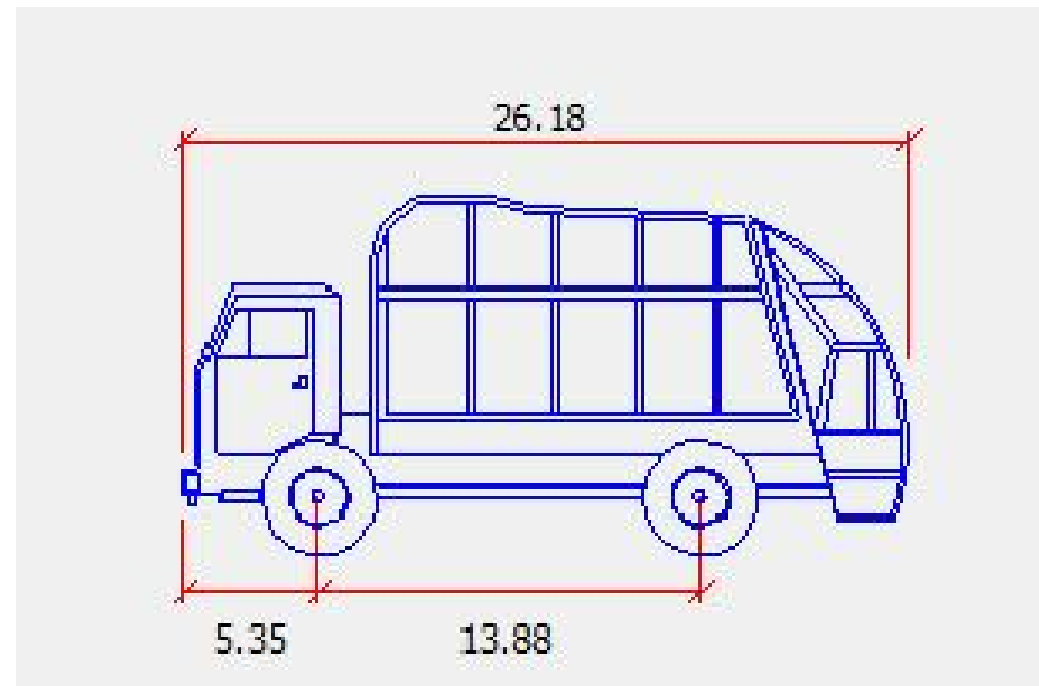
TITLE:  
GRADE FOR NOW  
ADJUSTMENT  
SITE PLAN  
SHEET NUMBER:  
1 OF 1



## Site Lighting Plan

Designer  
Heidi G. Connors  
Visible Light, Inc.  
24 Stickney Terrace  
Suite 6  
Hampton, NH 03842  
Date  
1/23/2023  
Scale  
1"=16'  
Drawing No.  
Summary



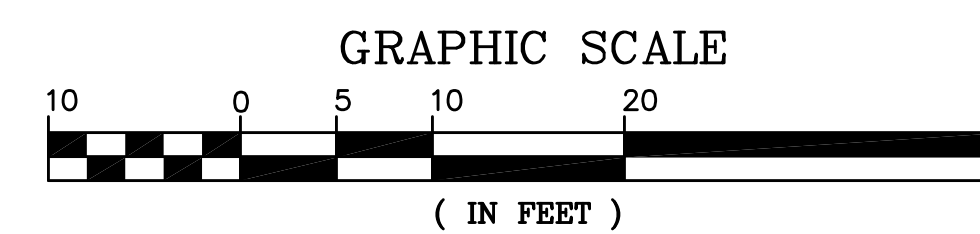
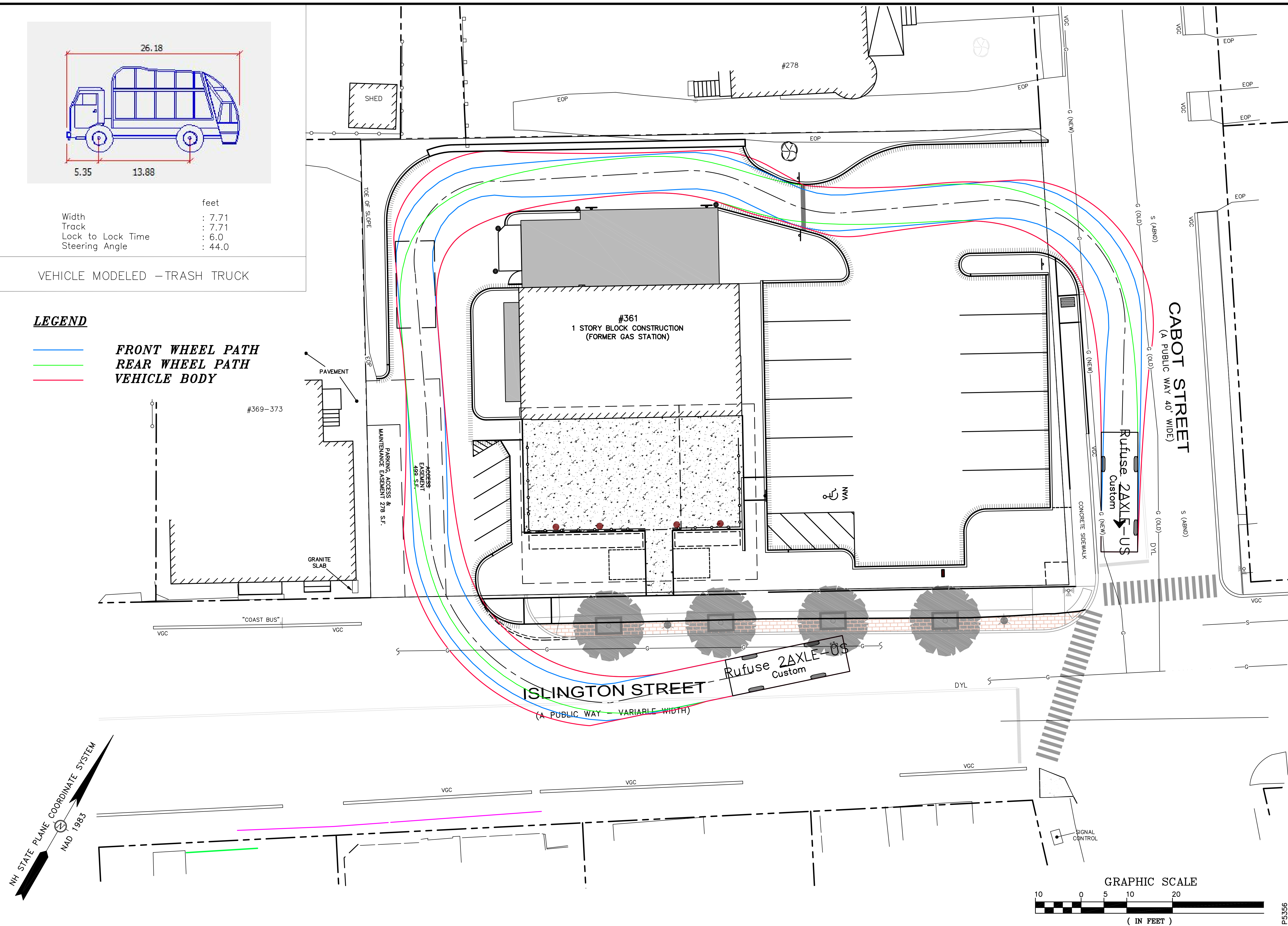


Width : 7.71 feet  
Track : 7.71  
Lock to Lock Time : 6.0  
Steering Angle : 44.0

VEHICLE MODELED - TRASH TRUCK

**LEGEND**

— FRONT WHEEL PATH  
— REAR WHEEL PATH  
— VEHICLE BODY



ENGINEER:

**ALTUS**  
ENGINEERING

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR:  
**PLANNING BOARD REVIEW**

ISSUE DATE:  
**FEBRUARY 22, 2023**

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL TAC SUBMISSION	EDW	01/23/23
1	PER TAC COMMENTS	EDW	02/22/23

DRAWN BY: \_\_\_\_\_ RMB  
APPROVED BY: \_\_\_\_\_ EDW  
DRAWING FILE: 5356SITE.dwg

SCALE:  
(22"x34") 1" = 10'  
(11"x17") 1" = 20'

OWNER:  
**LUCKY THIRTEEN PROPERTIES, LLC**  
P.O. BOX 300  
RYE, NH 03870

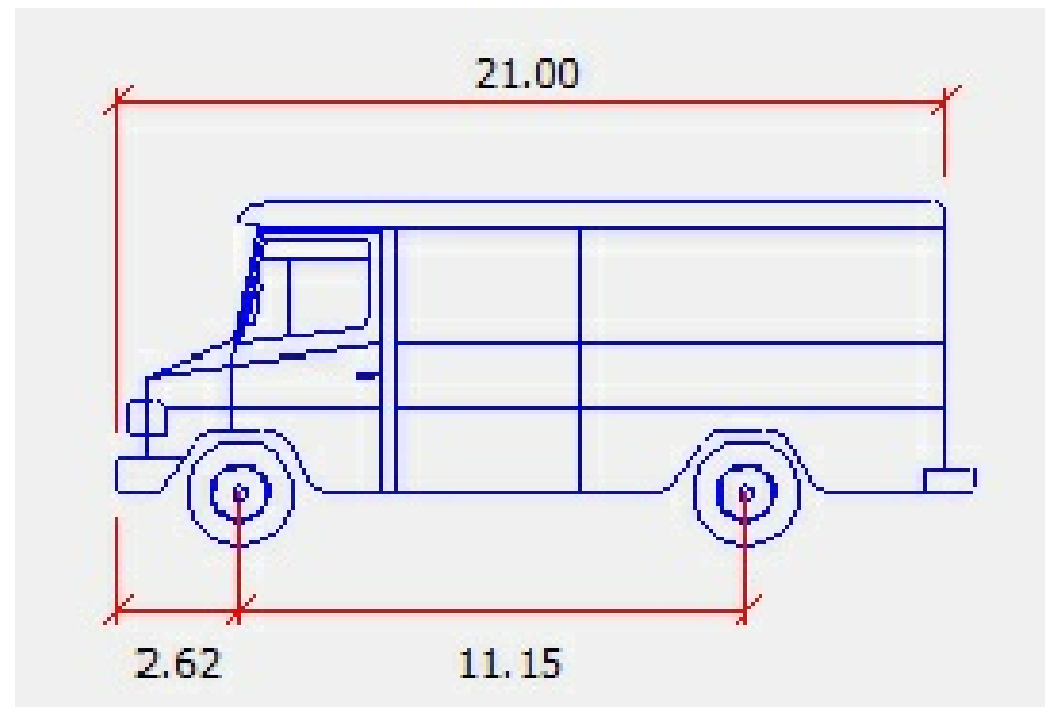
APPLICANT:  
**IT'S GOOD TO BE KNEADED, LLC**  
C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

PROJECT:  
**IT'S GOOD TO BE KNEADED**  
361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

TITLE:  
**TRUCK TURNING MOVEMENTS - TRASH**

SHEET NUMBER:  
**T - 1**



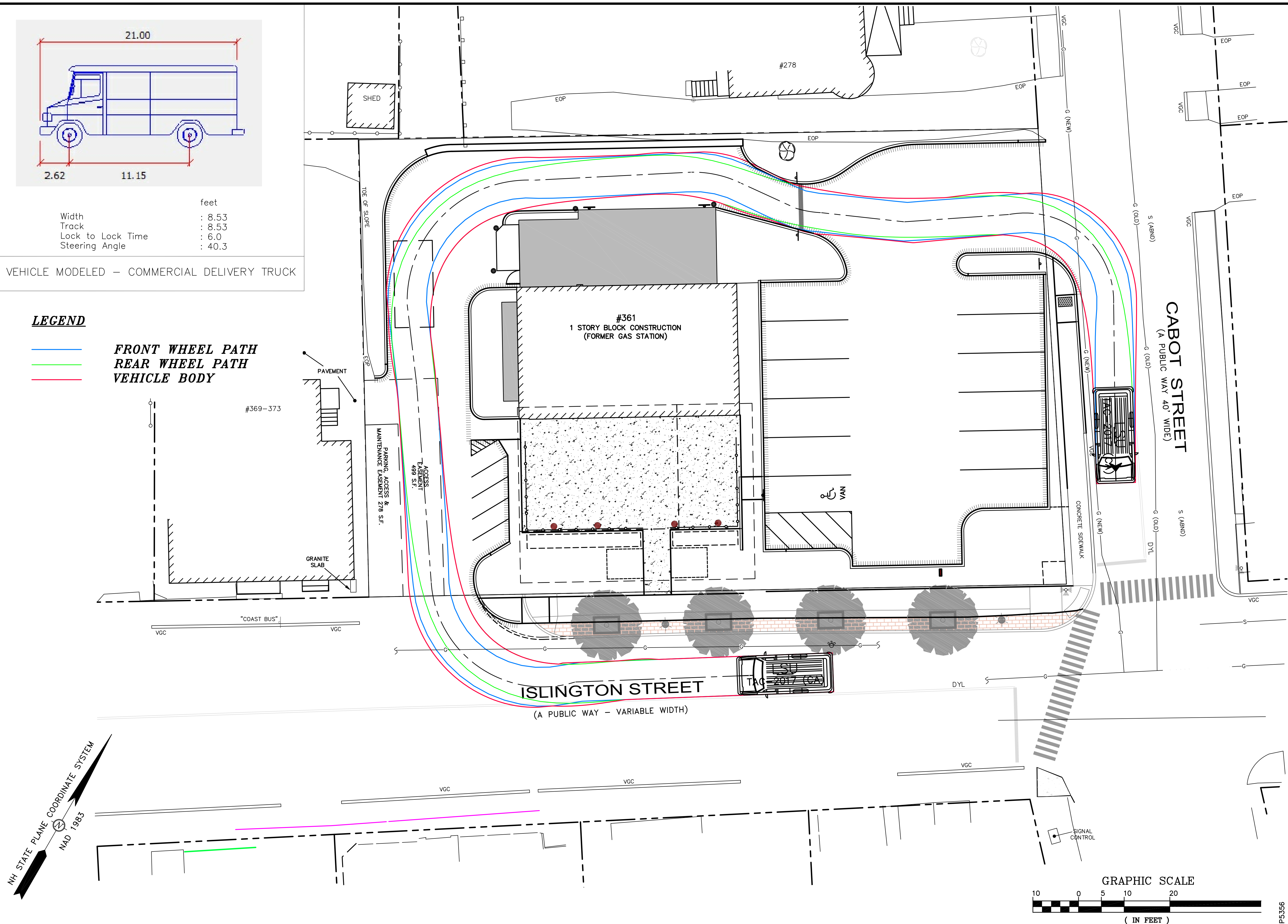


Width : 8.53  
Track : 8.53  
Lock to Lock Time : 6.0  
Steering Angle : 40.3

VEHICLE MODELED — COMMERCIAL DELIVERY TRUCK

**LEGEND**

— FRONT WHEEL PATH  
— REAR WHEEL PATH  
— VEHICLE BODY



ENGINEER:

**ALTUS**  
ENGINEERING

133 Court Street  
(603) 433-2335

Portsmouth, NH 03801  
www.altus-eng.com

STATE OF NEW HAMPSHIRE  
ERIC D. WEINRIEB  
No. 7634  
LICENSED PROFESSIONAL ENGINEER

*[Signature]*  
2/22/23

NOT FOR CONSTRUCTION

ISSUED FOR: TAC REVIEW

ISSUE DATE:  
JANUARY 23, 2023

<b>REVISIONS</b>				
<b>NO.</b>	<b>DESCRIPTION</b>	<b>BY</b>	<b>DATE</b>	
0	INITIAL TAC SUBMISSION	EDW	01/23/23	
1	PER TAC COMMENTS	EDW	02/22/23	

DRAWN BY: RMB  
APPROVED BY: EDW  
DRAWING FILE: 5356SITE.dwg

SCALE:  
(22"x34") 1" = 10'  
(11"x17") 1" = 20'

OWNER:  
**LUCKY THIRTEEN PROPERTIES, LLC**  
P.O. BOX 300  
RYE, NH 03870

APPLICANT:  
**IT'S GOOD TO BE KNEADED, LLC**  
C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

PROJECT:  
**IT'S GOOD TO BE KNEADED**  
361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

TITLE:  
**TRUCK TURNING MOVEMENTS - DELIVERY**

SHEET NUMBER:  
**T - 2**



## SEDIMENT AND EROSION CONTROL NOTES

### PROJECT NAME AND LOCATION

IT'S GOOD TO BE KNEADED  
361 ISLINGTON STREET  
PORTSMOUTH, NEW HAMPSHIRE  
TAX MAP 144 LOT 23

LATITUDE: 043° 04' 22" N  
LONGITUDE: 070° 45' 50" W

### OWNER:

LUCKY THIRTEEN PROPERTIES, LLC  
P.O. BOX 300  
RYE, NH 03870

### APPLICANT:

IT'S GOOD TO BE KNEADED, LLC  
C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

### DESCRIPTION

The project consists of the redevelopment of the existing building for a commercial restaurant along with associated site improvements.

### DISTURBED AREA

The total area to be disturbed for the redevelopment is approximately ±13,600 S.F. (±0.31 acres). USEPA NPDES Phase II compliance not required.

### PROJECT PHASING

The proposed project will be completed in one phase.

### NAME OF RECEIVING WATER

The site drains via an existing municipal closed drainage system and eventually to North Mill Pond.

### SEQUENCE OF MAJOR ACTIVITIES

1. Install temporary erosion control measures including silt fences, stabilized construction entrance and inlet sediment filters as noted on the plan. All temporary erosion control measures shall be maintained in good working condition for the duration of the project.
2. Demolish existing pavement areas and utilities as shown on Demolition Plan and reclaim pavement.
3. Rough grade site including placement of borrow materials.
4. Construct building additions and associated improvements.
5. Construct drainage structures, culverts, utilities, swales & pavement base course materials.
6. Install base course paving & curbing. Install landscaping.
7. Install top course paving.
8. Install pavement markings and signs.
9. Loom (6" min) and seed all disturbed areas not paved or otherwise stabilized.
10. When all construction activity is complete and site is stabilized, remove all temporary erosion control measures and any sediment that has been trapped by these devices.

### TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 – 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, the silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area, silt fences and any earth/dikes will be removed once permanent measures are established.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through hay bale barriers, stone check dams, and silt fences. All storm drain inlets shall be provided with hay bale filters or stone check dams. Stone rip rap shall be provided at the outlets of drain pipes and culverts where shown on the drawings.

Stabilize all ditches, swales, & level spreaders prior to directing flow to them.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

### INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

#### A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

1. The smallest practical portion of the site shall be denuded at one time.
2. All control measures shall be inspected at least once each week and following any storm event of 0.25 inches or greater.
3. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
4. Built-up sediment shall be removed from silt fence or other barriers when it has reached one-third the height of the fence or bale, or when "bulges" occur.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
8. An area shall be considered stable if one of the following has occurred:
  - a. Base coarse gravels have been installed in areas to be paved;
  - b. A minimum of 85% vegetated growth as been established;
  - c. A minimum of 3 inches of non-erosive material such as stone or riprap has been installed; – or –
  - d. Erosion control blankets have been properly installed.
9. The length of time of exposure of area disturbed during construction shall not exceed 45 days.

#### B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

1. Timing – In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
  - a. Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
  - b. Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on a area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

### INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CON'T)

#### 2. Guidelines for Winter Mulch Application –

Type	Rate per 1,000 s.f.	Use and Comments
Hay or Straw	70 to 90 lbs.	Must be dry and free from mold. May be used with plantings.
Wood Chips or Bark Mulch	460 to 920 lbs.	Used mostly with trees and shrub plantings.
Jute and Fibrous Matting (Erosion Blanket)	As per manufacturer Specifications	Used in slope areas, water courses and other Control areas.
Crushed Stone 1/4" to 1-1/2" dia.	Spread more than 1/2" thick	Effective in controlling wind and water erosion.
Erosion Control Mix	2" thick (min)	<ul style="list-style-type: none"><li>* The organic matter content is between 80 and 100% dry weight basis.</li><li>* Particle size by weight is 100% passing a 6" screen and a minimum of 70 %, maximum of 85% passing a 0.75" screen.</li><li>* The organic portion needs to be fibrous and elongated.</li><li>* Large portions of silts, clays or fine sands are not acceptable in the mix.</li><li>* Soluble salts content is less than 4.0 mmhos/cm.</li><li>* The pH should fall between 5.0 and 8.0.</li></ul>

3. Maintenance – All mulches must be inspected periodically, in particular after rainstorms, to check for fill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

#### C. FILTERS

1. Silt Fence
  - a. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester or ethylene yarn and shall be certified by the manufacturer or supplier as conforming to the following requirements:

Physical Property	Test	Requirements
Filtering Efficiency	VTM-51	75% minimum
Tensile Strength at 20% Maximum Elongation*	VTM-52	Extra Strength 50 lb/in in (min) Standard Strength 30 lb/in in (min)
Flow Rate	VTM-51	0.3 gal/sf/min (min)

\* Requirements reduced by 50 percent after six (6) months of installation.

Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizer to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120° F.

- b. Posts shall be spaced a maximum of ten (10) feet apart at the barrier location or as recommended by the manufacturer and driven securely into the ground (minimum of 16 inches).
- c. A trench shall be excavated approximately six (6) inches wide and eight (8) inches deep along the line of posts and upslope from the barrier.
- d. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least one (1) inch long, tie wires or hog rings. The wire shall extend no more than 36 inches above the original ground surfaces.
- e. The "standard strength" filter fabric shall be stapled or wired to the fence, and eight (8) inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- f. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item (g) applying.
- g. The trench shall be backfilled and the soil compacted over the filter fabric.
- h. Silt fences shall be removed when they have served their useful purpose but not before the upslope areas has been permanently stabilized.

#### 2. Sequence of Installation –

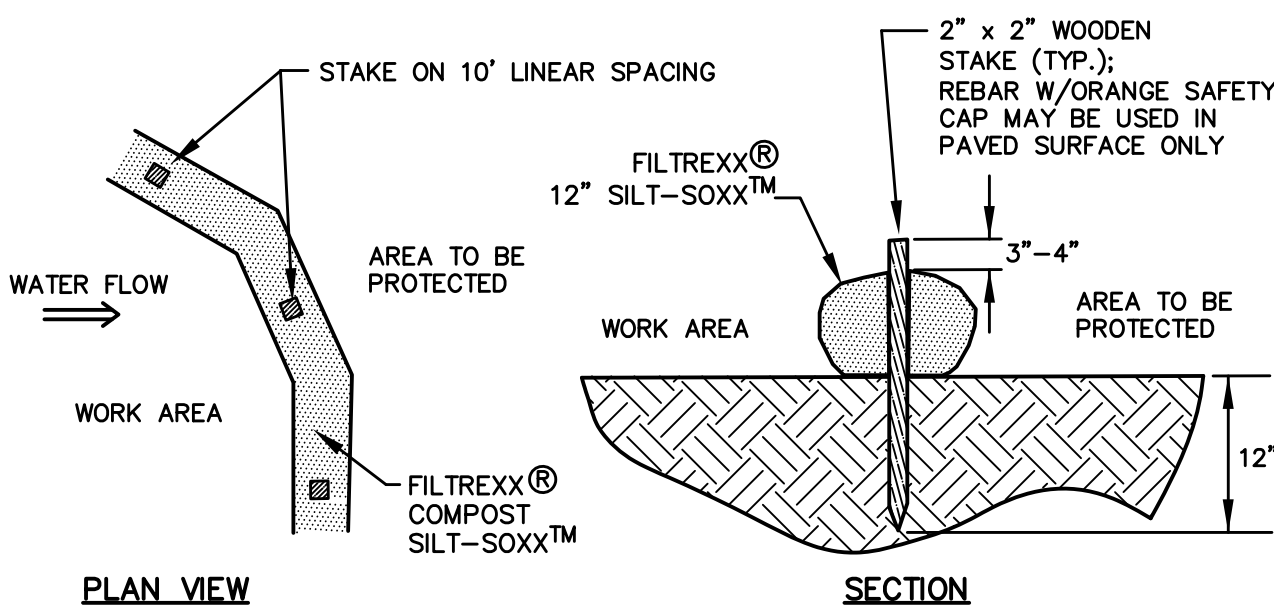
1. Sediment barriers shall be installed prior to any soil disturbance of the contributing upslope drainage area.

#### 3. Maintenance –

- a. Silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there are any signs of erosion or sedimentation below them. Any required repairs shall be made immediately. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water, the sediment barriers shall be replaced with a temporary stone check dam.
- b. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
- c. Sediment deposits must be removed when deposits reach approximately one-third (1/3) the height of the barrier.
- d. Any sediment deposits remaining in place after the silt fence or other barrier is no longer required shall be removed. The area shall be prepared and seeded.
- e. Additional stone may have to be added to the construction entrance, rock barrier and riprap lined swales, etc., periodically to maintain proper function of the erosion control structure.

### WINTER CONSTRUCTION NOTES

1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.

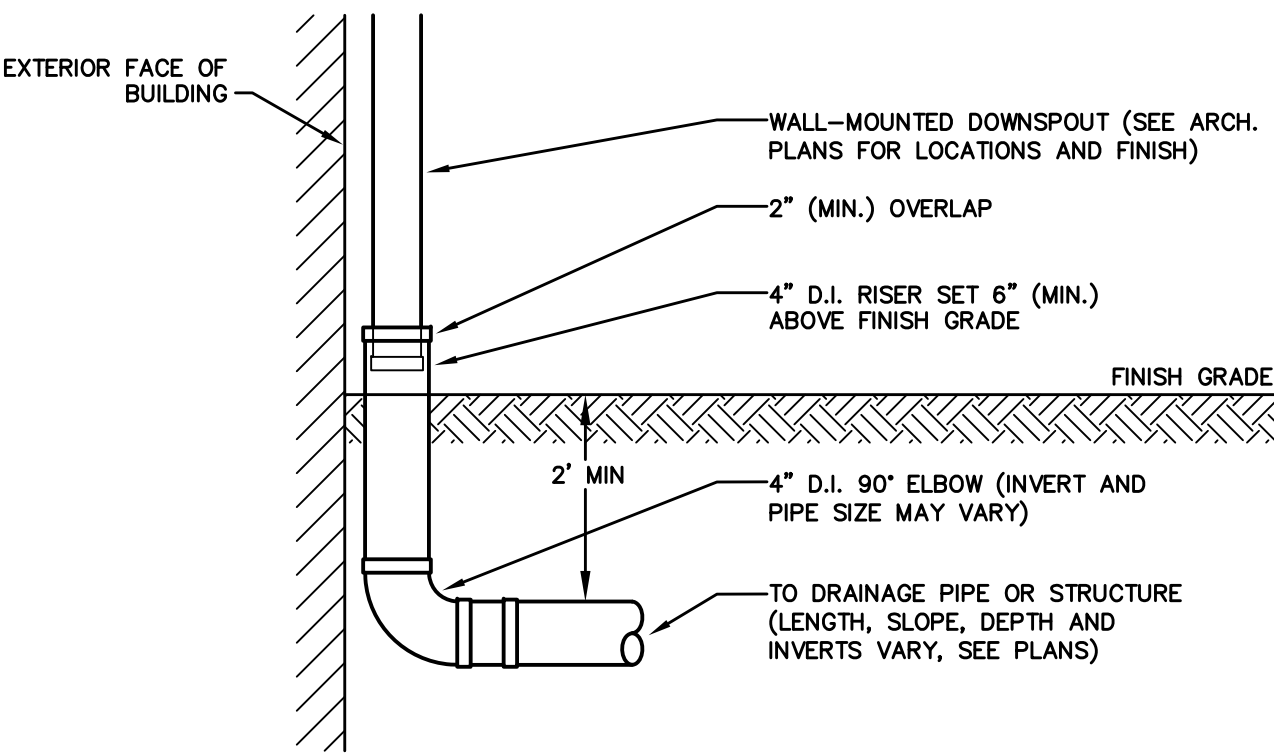


### NOTES:

1. SILT-SOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
2. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
3. SILT-SOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
4. ALL SEDIMENT TRAPPED BY SILT-SOXX SHALL BE DISPOSED OF PROPERLY.

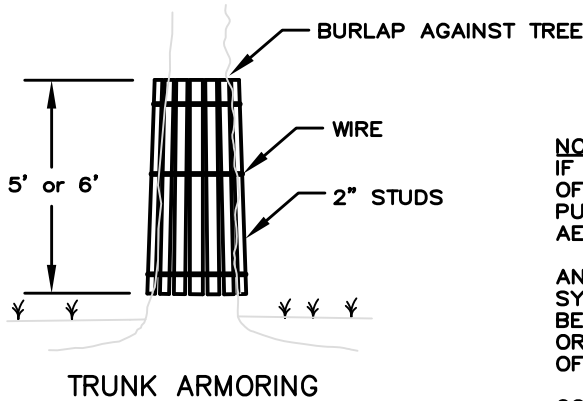
### TUBULAR SEDIMENT BARRIER

NOT TO SCALE



### EXTERIOR ROOF DRAIN CONNECTION

NOT TO SCALE



NOTE: IF SOIL BECOMES COMPACTED OVER THE ROOT ZONE OF ANY TREE, THE GROUND SHOULD BE AERATED BY PUNCHING SMALL HOLES IN IT WITH SUITABLE AERATING EQUIPMENT.

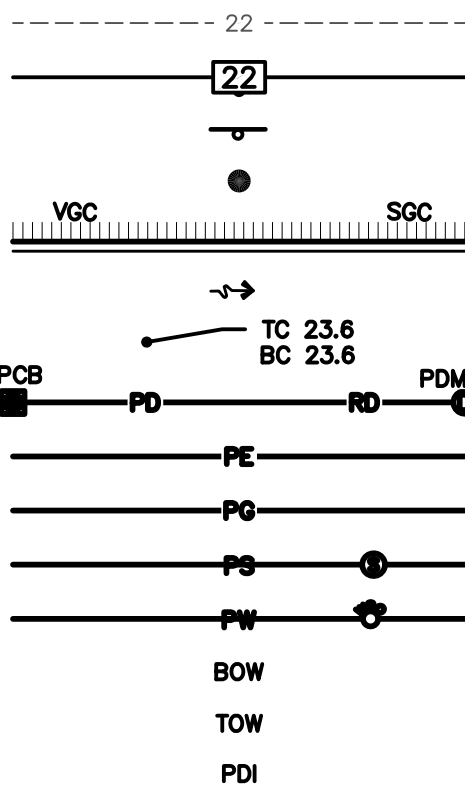
ANY DAMAGE TO THE CROWN, TRUNK OR ROOT SYSTEM OF ANY TREE RETAINED ON SITE SHOULD BE REPAIRED IMMEDIATELY. CONSULT A FORESTER OR TREE SPECIALIST FOR MORE SERIOUS DAMAGE OF TREES.

CONTRACTOR TO USE OPTION A OR B WHERE SUITABLE AND/OR AS DIRECTED BY THE ENGINEER.

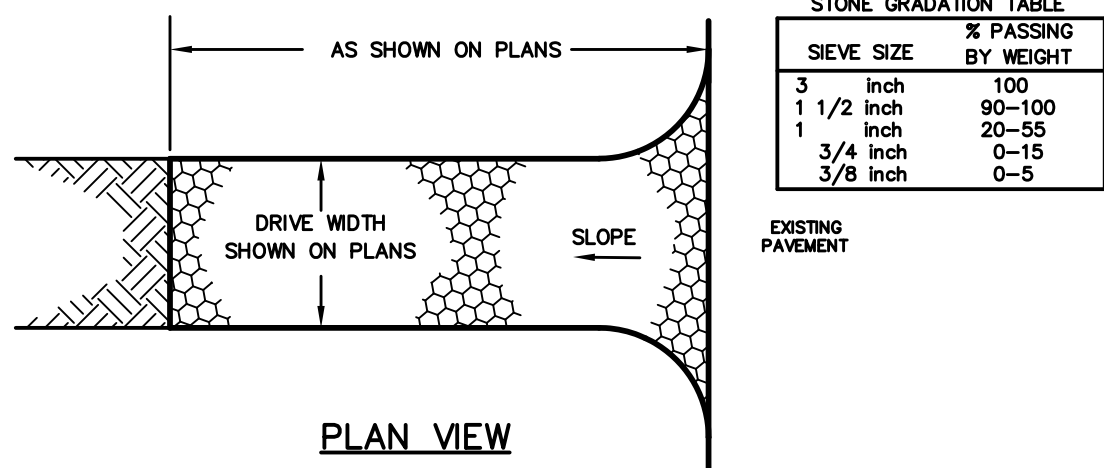
### TREE PROTECTION DETAILS

NOT TO SCALE

### PROPOSED LEGEND:



EXISTING CONTOUR  
PROPOSED CONTOUR  
PROPOSED SIGN  
PROPOSED BOLLARD  
PROPOSED VERTICAL OR SLOPED GRANITE CURB  
PROPOSED DRAINAGE FLOW ARROW  
PROPOSED SPOT GRADE (TOP/BOTTOM OF CURB)  
PROPOSED CATCH BASIN/RAIN LINE/ROOF DRAIN/MANHOLE  
PROPOSED UNDERGROUND UTILITIES (ELECTRIC/PHONE/TV)  
PROPOSED GAS  
PROPOSED SEWER/MANHOLE  
PROPOSED WATER/GATE VALVE OR COOPERATION STOP  
BOTTOM OF WALL  
TOP OF WALL  
PROPOSED DROP INLET STRUCTURE

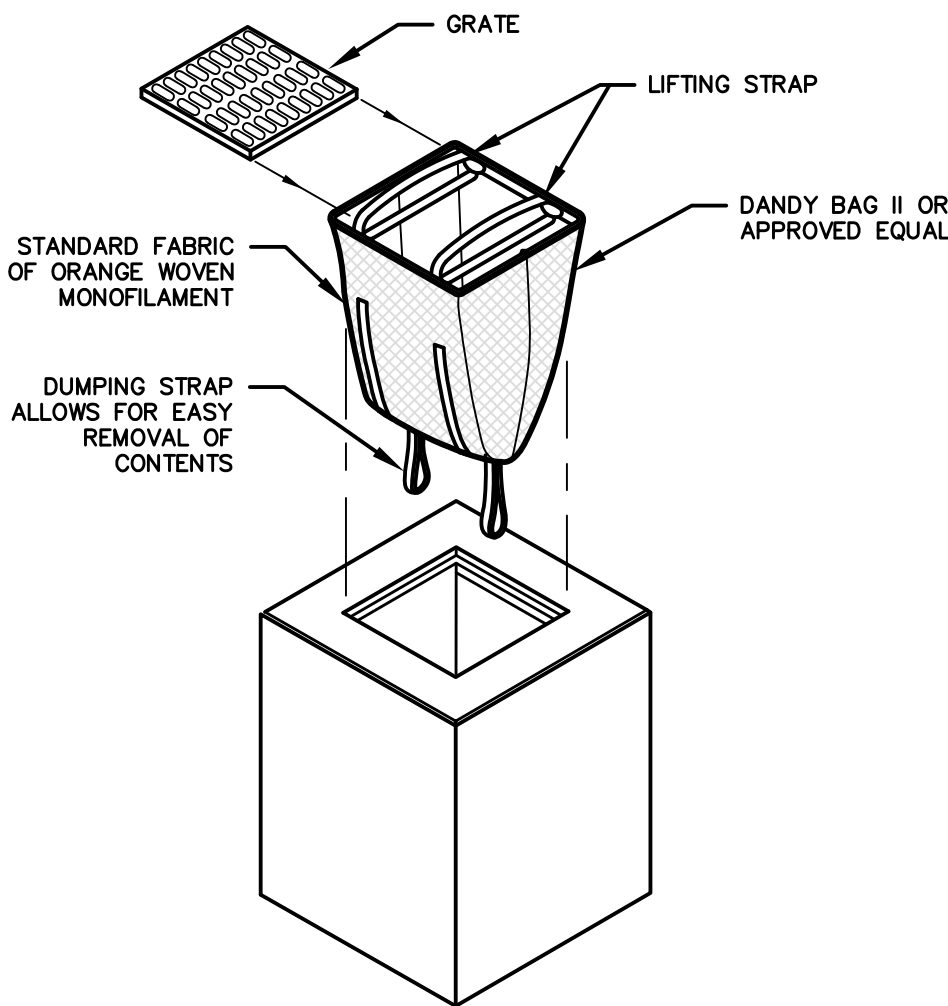


### CONSTRUCTION SPECIFICATIONS

1. **STONE SIZE** – NHDOT STANDARD STONE SIZE #4 – SECTION 703 OF NHDOT STANDARD.
2. **LENGTH** – DETAILED ON PLANS (50 FOOT MINIMUM).
3. **THICKNESS** – SIX (6) INCHES (MINIMUM).
4. **WIDTH** – FULL DRIVE WIDTH UNLESS OTHERWISE SPECIFIED.
5. **FILTER FABRIC** – MIRAFI 600X OR EQUAL APPROVED BY ENGINEER.
6. **SURFACE WATER CONTROL** – ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. **MAINTENANCE** – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. **WHEELS** SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. STABILIZED CONSTRUCTION EXITS SHALL BE INSTALLED AT ALL ENTRANCES TO PUBLIC RIGHTS-OF-WAY, AT LOCATIONS SHOWN ON THE PLANS, AND/OR WHERE AS DIRECTED BY THE ENGINEER.

### STABILIZED CONSTRUCTION EXIT

NOT TO SCALE



### INSTALLATION AND MAINTENANCE:

INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLION IN UNIT. STAND GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE CATCH BASIN INSERT. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, LIFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

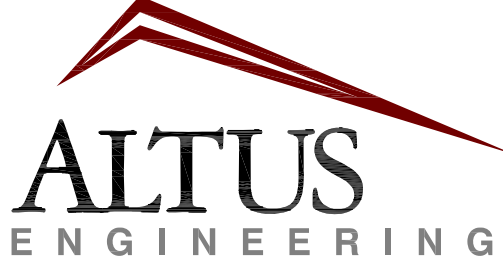
### UNACCEPTABLE INLET PROTECTION METHOD:

A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.

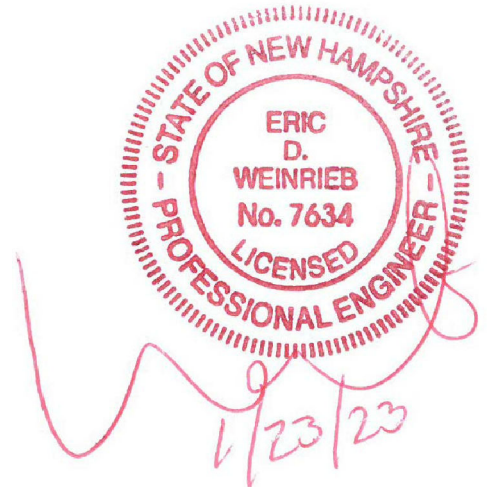
### STORM DRAIN INLET PROTECTION

NOT TO SCALE

### ENGINEER:



133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com



### NOT FOR CONSTRUCTION

### ISSUED FOR:

### TAC REVIEW

### ISSUE DATE:

JANUARY 23, 2023

### REVISIONS

NO. DESCRIPTION BY DATE  
0 INITIAL TAC SUBMISSION EDW 01/23/23

### DRAWN BY:

RLH

### APPROVED BY:

EDW

### DRAWING FILE:

5356SITE.dwg

### SCALE:

(22"x34") N.T.S.  
(11"x17") N.T.S.

### OWNER:

LUCKY THIRTEEN PROPERTIES, LLC

P.O. BOX 300  
RYE, NH 03870

### APPLICANT:

IT'S GOOD TO BE KNEADED, LLC

C/O SEAN CREELEY  
337 RICHARDS AVENUE  
PORTSMOUTH, NH 03801

### PROJECT:

IT'S GOOD TO BE KNEADED

361 ISLINGTON STREET  
PORTSMOUTH, NH  
MAP 144 LOT 23

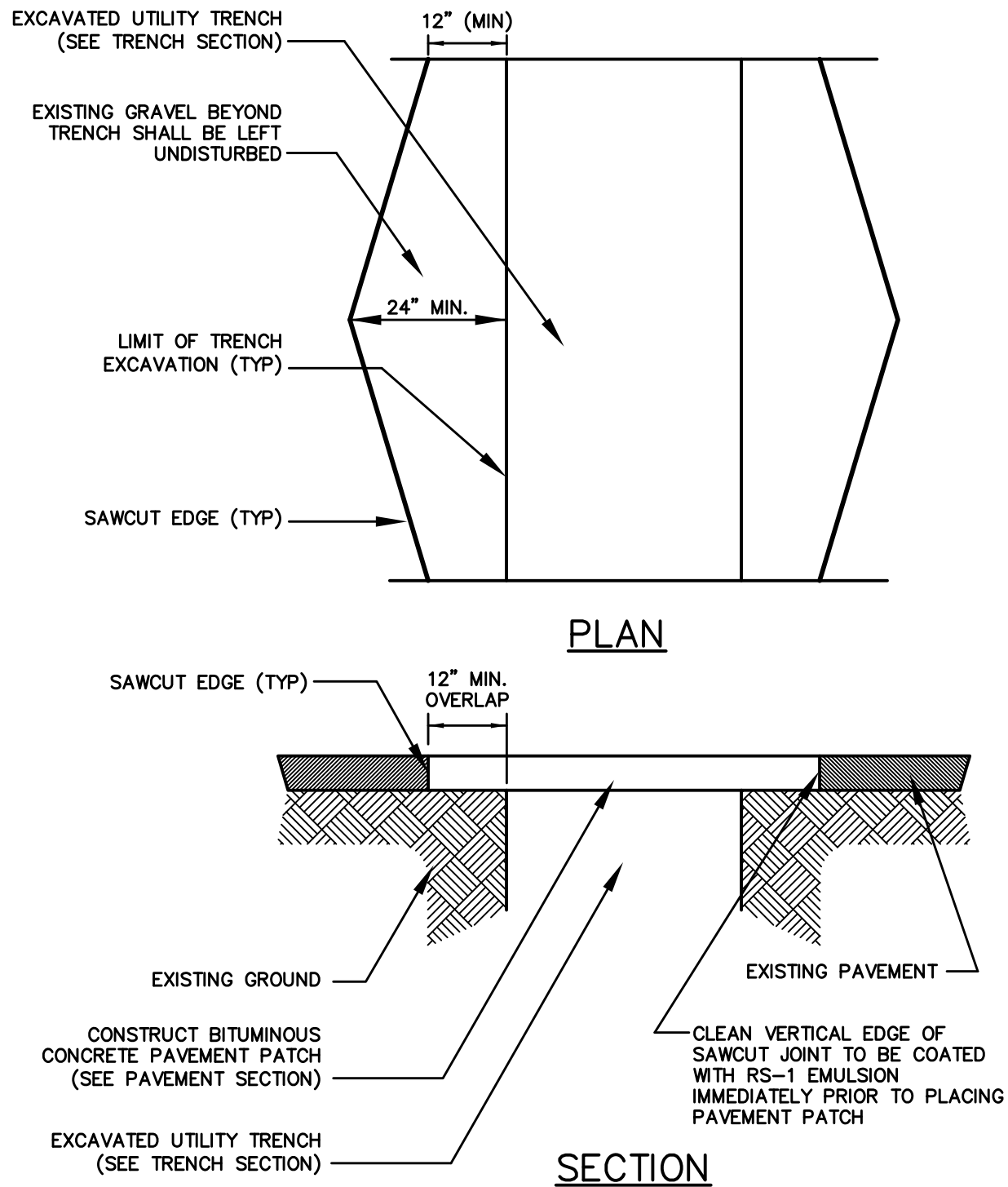
### TITLE:

### SITE PLAN

### SHEET NUMBER:

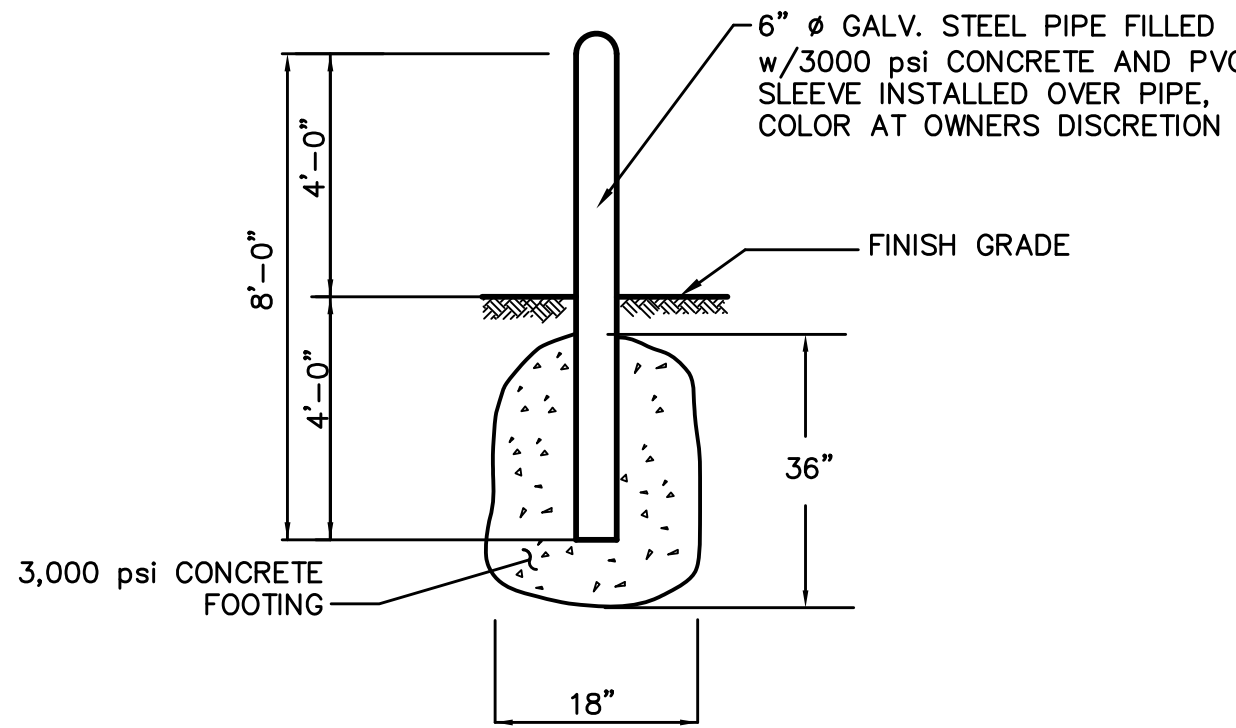
D - 1



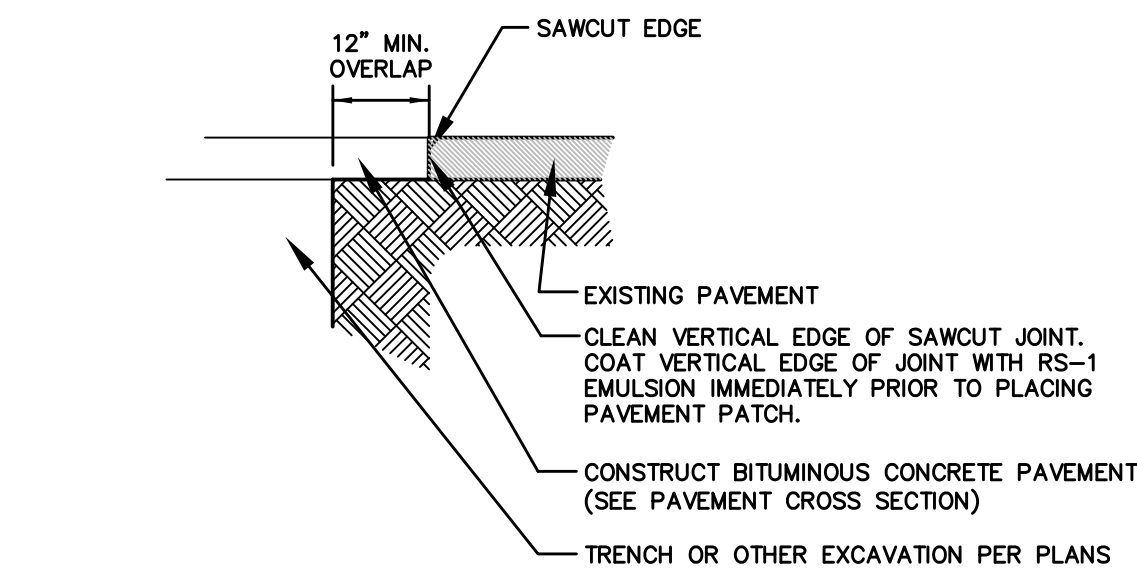


- NOTES**
1. MACHINE CUT EXISTING PAVEMENT.
  2. ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
  3. DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

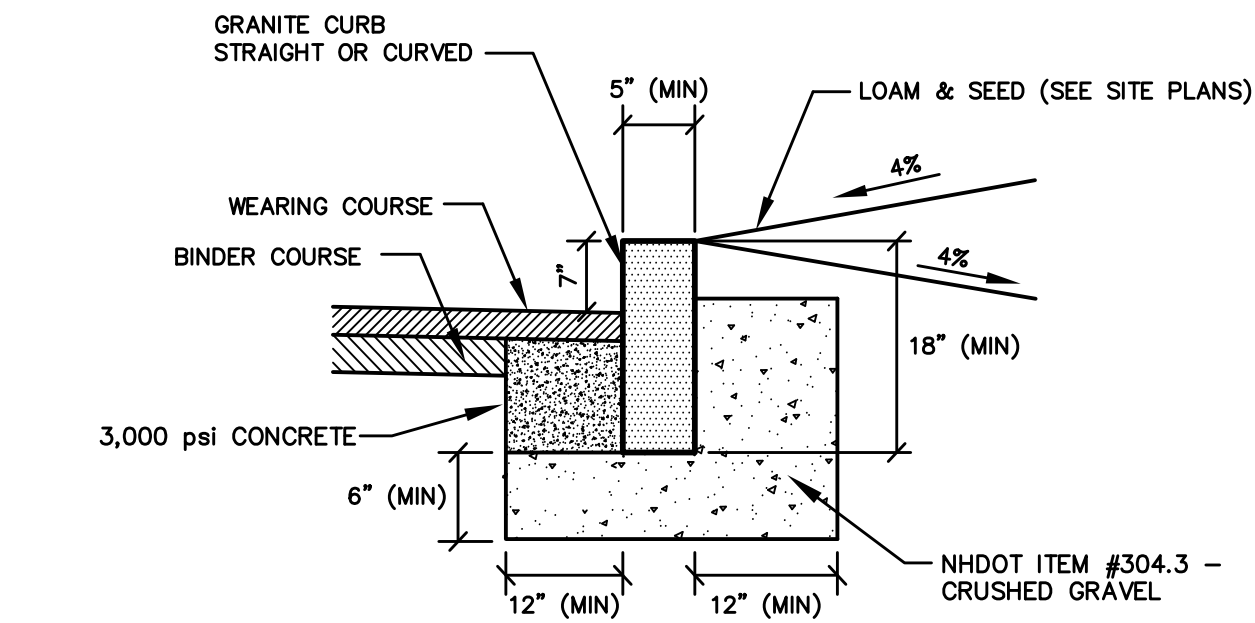
**TYPICAL TRENCH PATCH** NOT TO SCALE



**BOLLARD** NOT TO SCALE



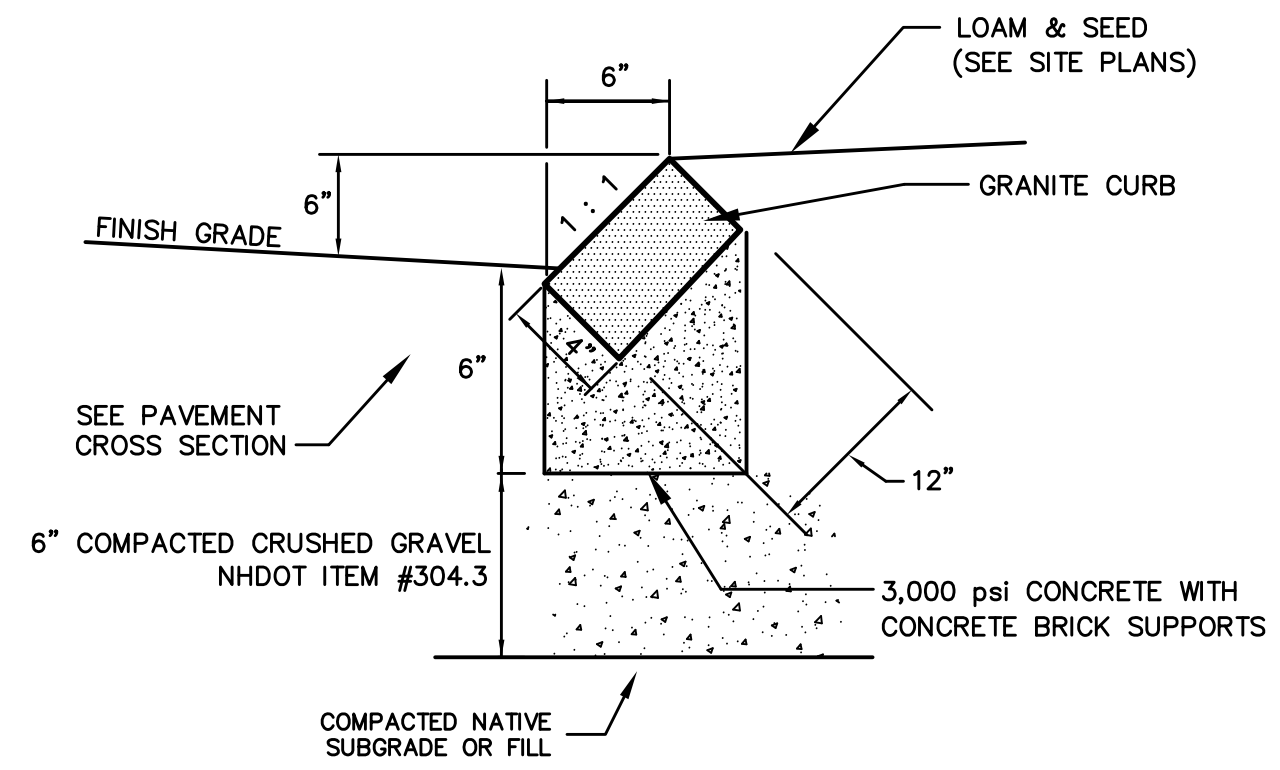
**TYPICAL PAVEMENT SAWCUT** NOT TO SCALE



- NOTES**
1. SEE PLANS FOR CURB LOCATION.
  2. SEE PLANS FOR PAVEMENT CROSS SECTION.
  3. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
  4. MINIMUM LENGTH OF CURB STONES = 4'.
  5. MAXIMUM LENGTH OF CURB STONES = 10'.
  6. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
  7. CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALLED FOR ON THE PLANS.
  8. CURB SHALL BE INSTALLED PRIOR TO PLACEMENT OF TOP PAVEMENT COURSE.
  9. JOINTS BETWEEN CURB STONES SHALL BE MORTARED.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

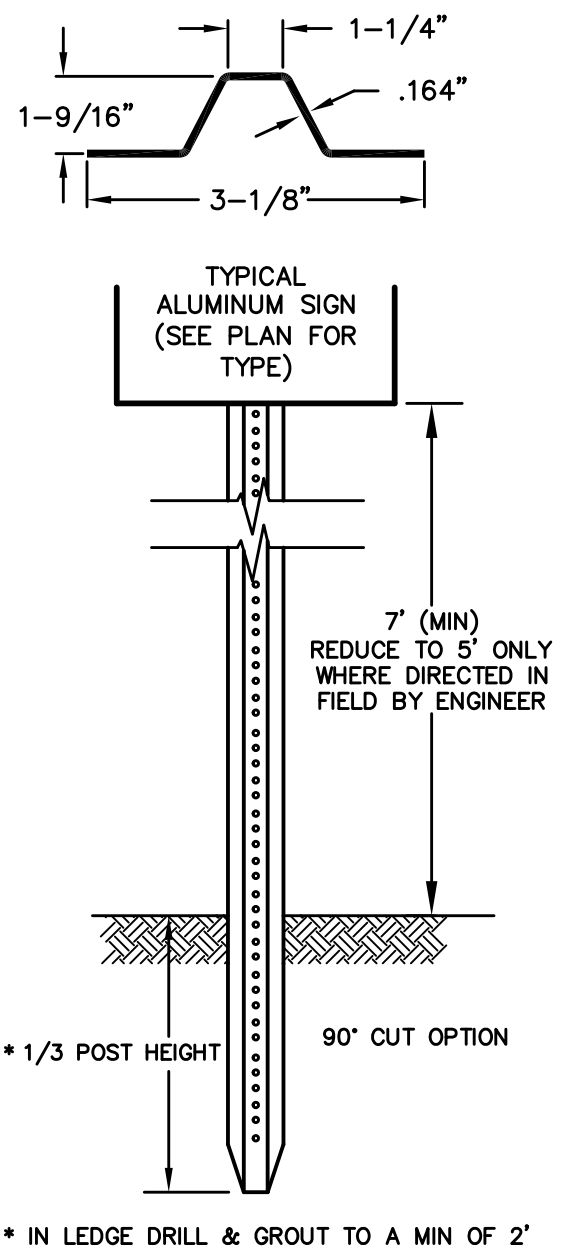
**VERTICAL GRANITE CURB** NOT TO SCALE



- NOTES**
1. SEE SITE PLAN FOR LIMITS OF CURBING
  2. ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
  3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
  4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
  5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART

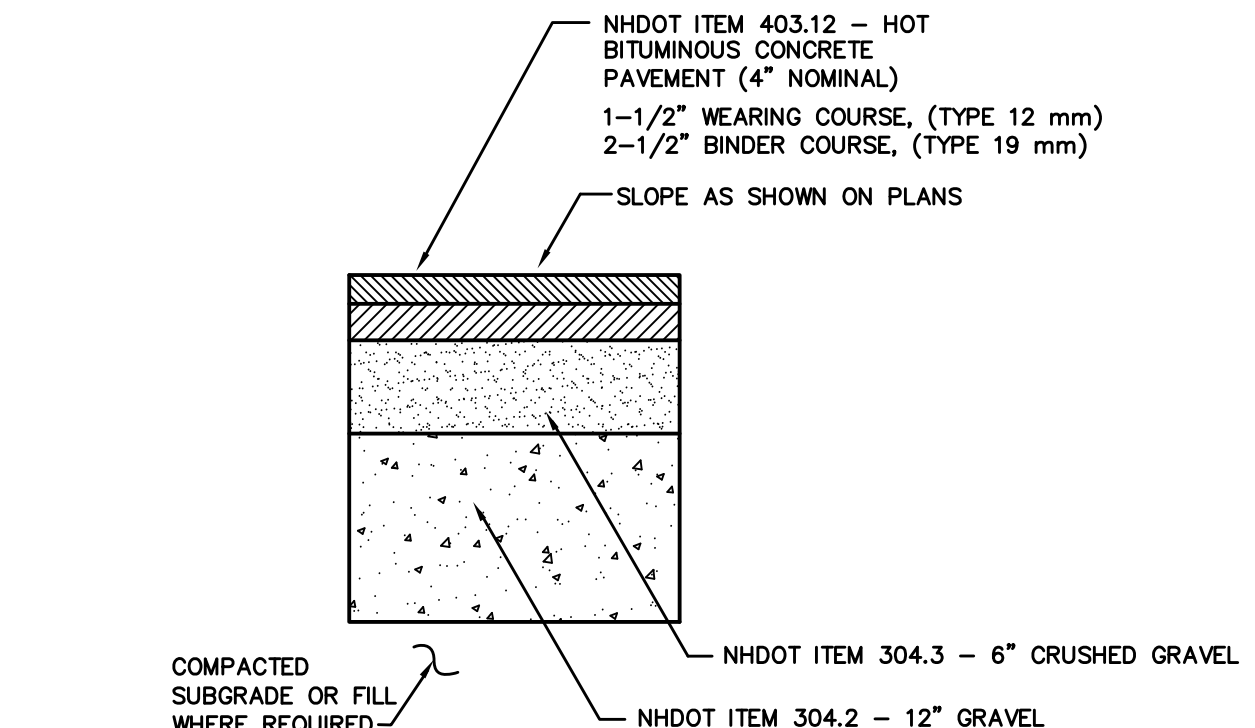
RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
16'-28'	1'-6"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
OVER 110'	8'

**SLOPED GRANITE CURB** NOT TO SCALE



- NOTES**
1. ALL SIGNS SHALL MEET THE REQUIREMENTS OF AND BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- LENGTH:** AS REQUIRED  
**WEIGHT PER LINEAR FOOT:** 2.50 LBS (MIN.)  
**HOLES:** 3/8" DIAMETER, 1" C-C FULL LENGTH  
**STEEL:** SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)

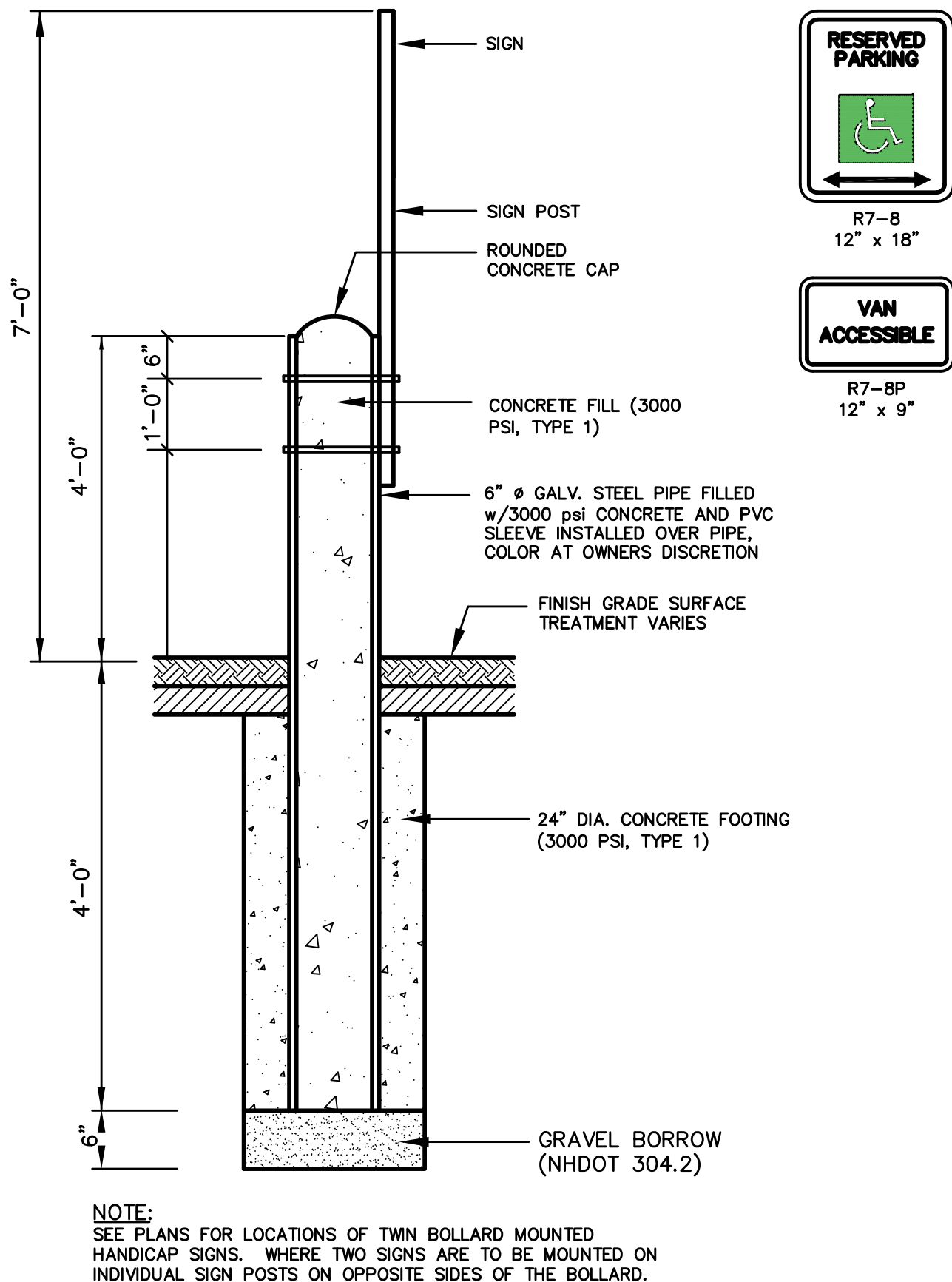
**SIGN DETAILS** NOT TO SCALE



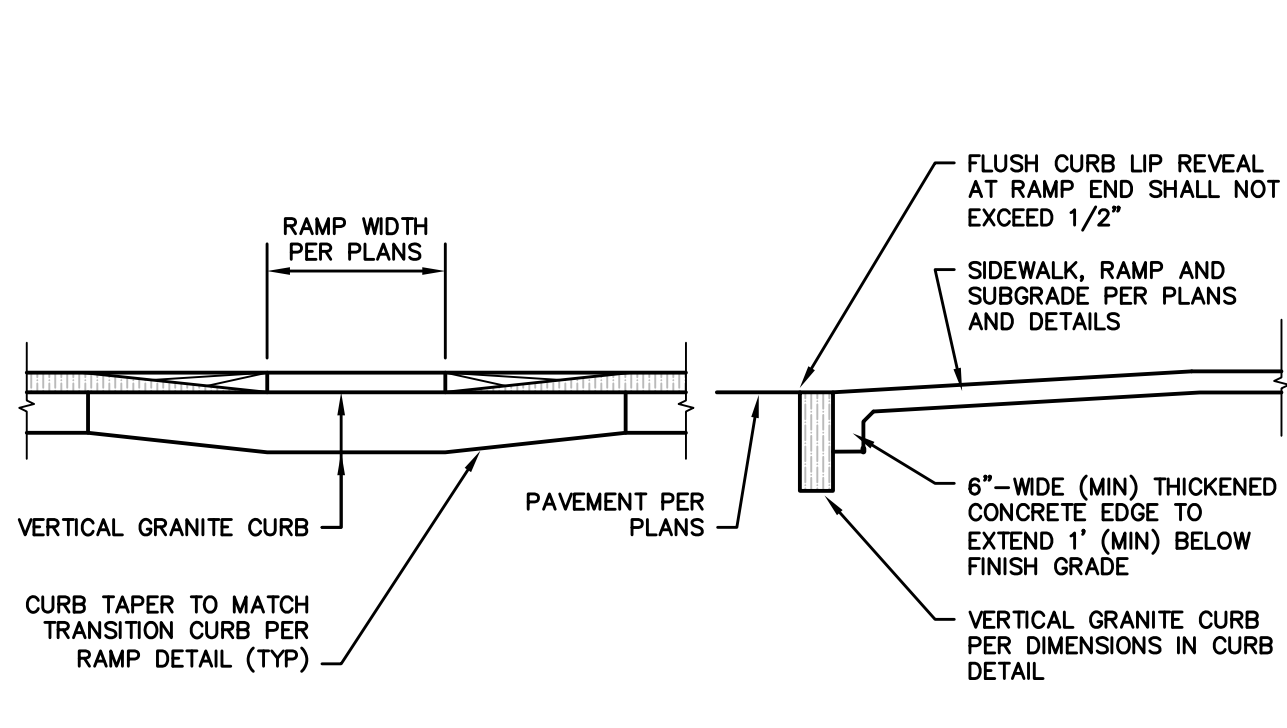
**PAVEMENT CROSS SECTION** NOT TO SCALE

- NOTES APPLICABLE TO ALL CURB RAMPS AND SIDEWALKS:**
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF AN ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
  2. THE MAXIMUM ALLOWABLE SLOPE OF AN ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
  3. THE MAXIMUM ALLOWABLE SLOPE OF AN ACCESSIBLE ROUTE (SIDEWALK) CURB RAMP SHALL BE 8%.
  4. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
  5. BASE OF RAMP SHALL BE GRADED TO PREVENT THE PONDING OF WATER.
  6. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
  7. ALL CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA) AND ALL APPLICABLE CODES.
  8. FLUSH CURB SECTIONS SHALL HAVE A MAXIMUM LIP REVEAL OF 1/2" AT THE EDGE OF PAVEMENT.
  9. EDGES OF SIDEWALK FOOTINGS ALONG FLUSH CURBS SHALL BE HAUNCHED SO AS TO EXTEND TO A MINIMUM DEPTH OF 1' BELOW FINISH GRADE.
  10. NO RAMP SHALL BE LESS THAN 4' IN WIDTH.

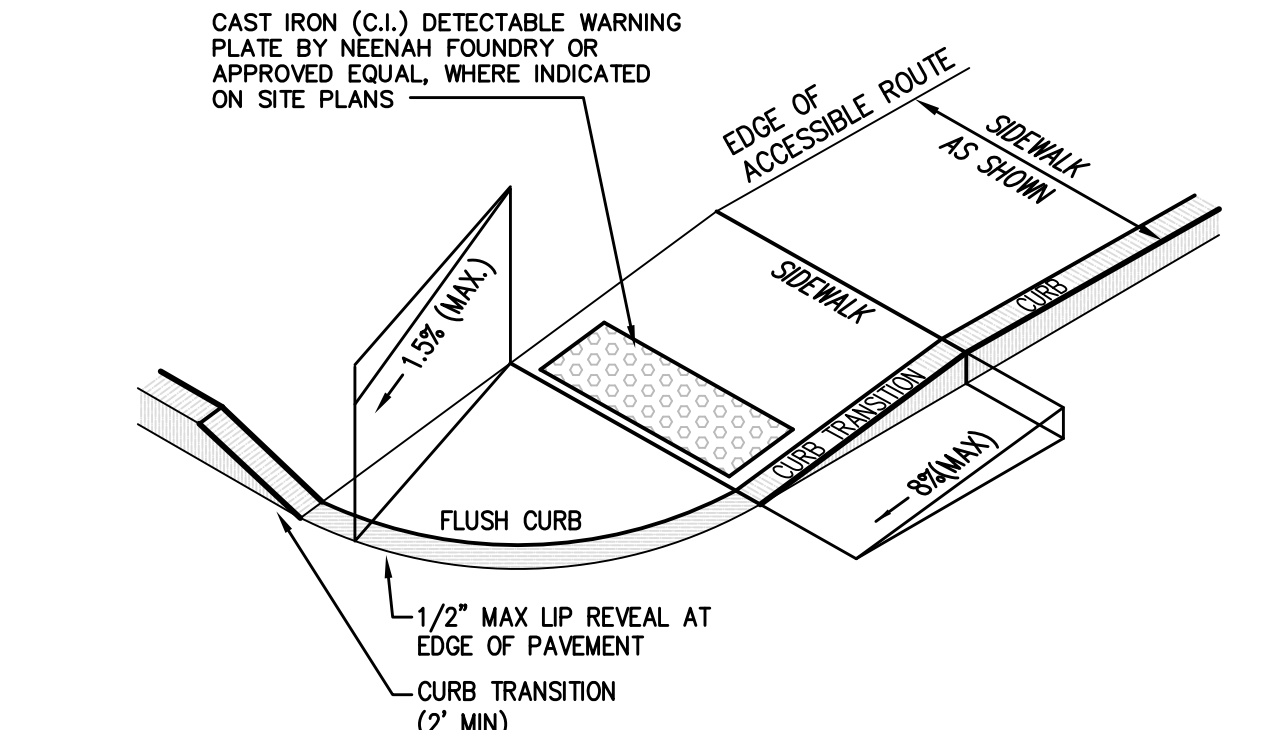
**CURB RAMP & SIDEWALK NOTES** NOT TO SCALE



**BOLLARD WITH MOUNTED SIGN** NOT TO SCALE



**FLUSH CURB AT RAMP DETAIL** NOT TO SCALE



**CURB RAMP (TYPE 'B')** NOT TO SCALE

**ENGINEER:**

**ALTUS**  
ENGINEERING

133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com

**NOT FOR CONSTRUCTION**

**ISSUED FOR:** TAC REVIEW

**ISSUE DATE:** JANUARY 23, 2023

**REVISIONS**

NO.	DESCRIPTION	BY	DATE
0	INITIAL TAC SUBMISSION	EDW	01/23/23

**DRAWN BY:** RLH

**APPROVED BY:** EDW

**DRAWING FILE:** 5356SITE.dwg

**SCALE:** (22"x34") N.T.S.  
(11"x17") N.T.S.

**OWNER:** LUCKY THIRTEEN PROPERTIES, LLC

P.O. BOX 300 RYE, NH 03870

**APPLICANT:** IT'S GOOD TO BE KNEADED, LLC

C/O SEAN CREELEY 337 RICHARDS AVENUE PORTSMOUTH, NH 03801

**PROJECT:** IT'S GOOD TO BE KNEADED

361 ISLINGTON STREET PORTSMOUTH, NH MAP 144 LOT 23

**TITLE:** DETAIL SHEET

**SHEET NUMBER:** D - 2

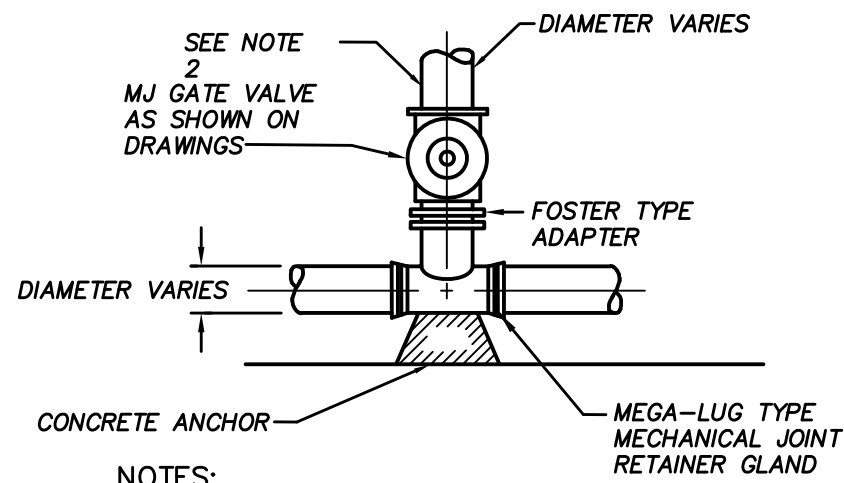






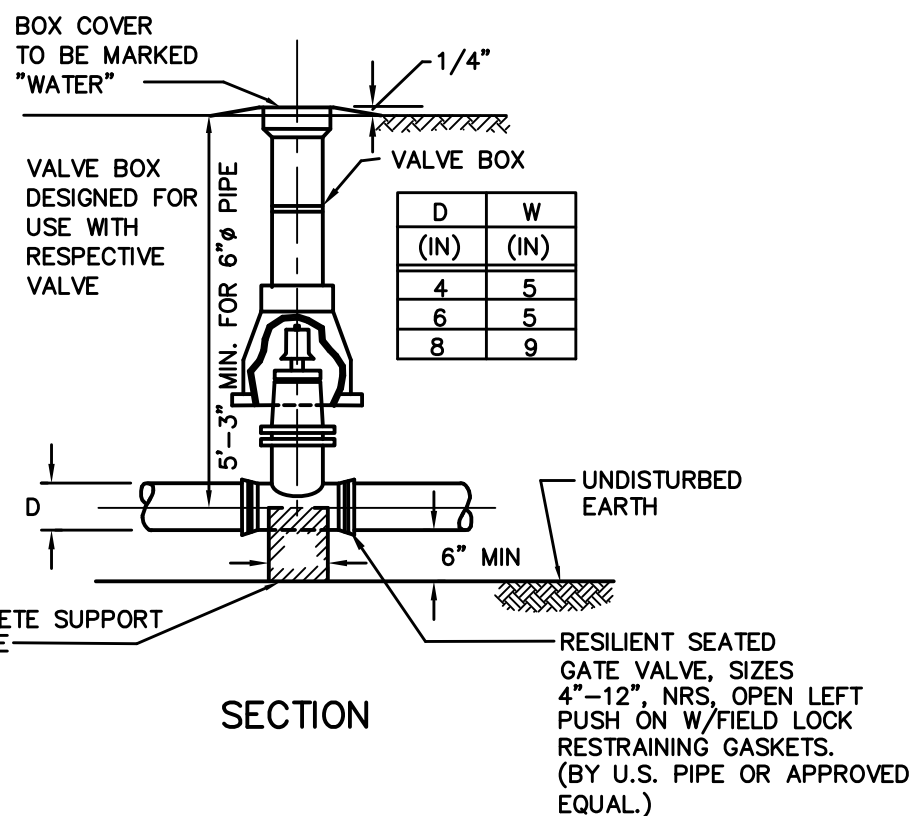




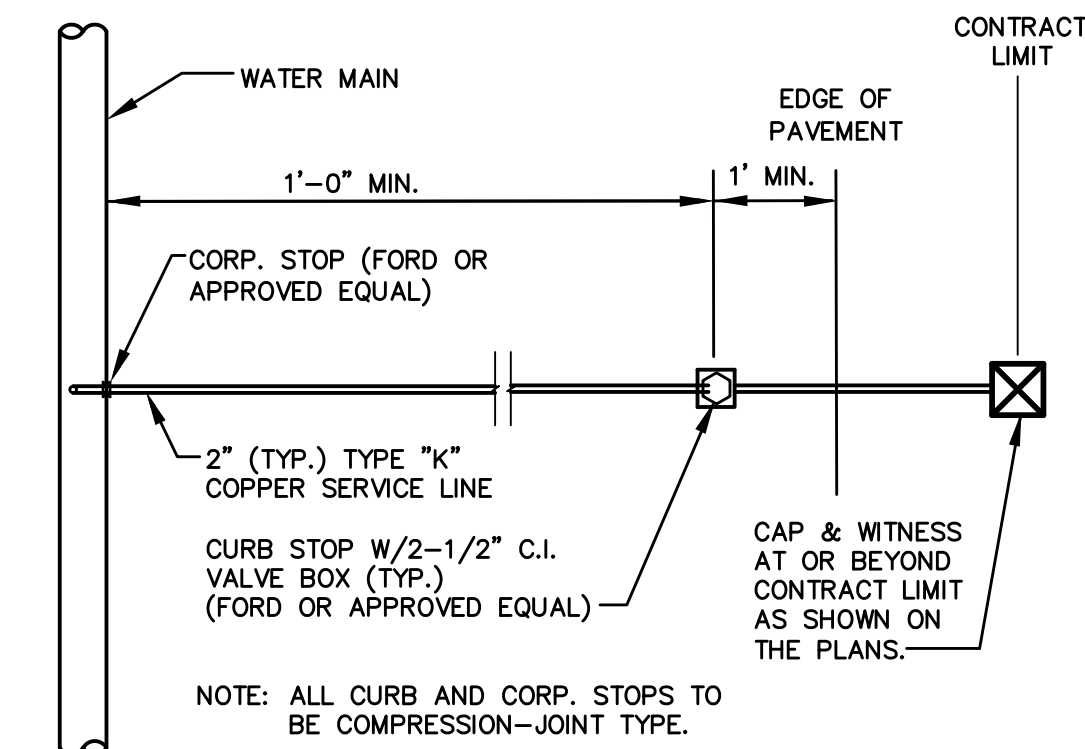


- NOTES:**
- GATE VALVES SHALL OPEN RIGHT, PER CITY STANDARDS.
  - BRANCH PIPING SHALL BE MECHANICALLY RESTRAINED AS NOTED UNDER THRUST BLOCK DETAIL REQUIREMENTS.

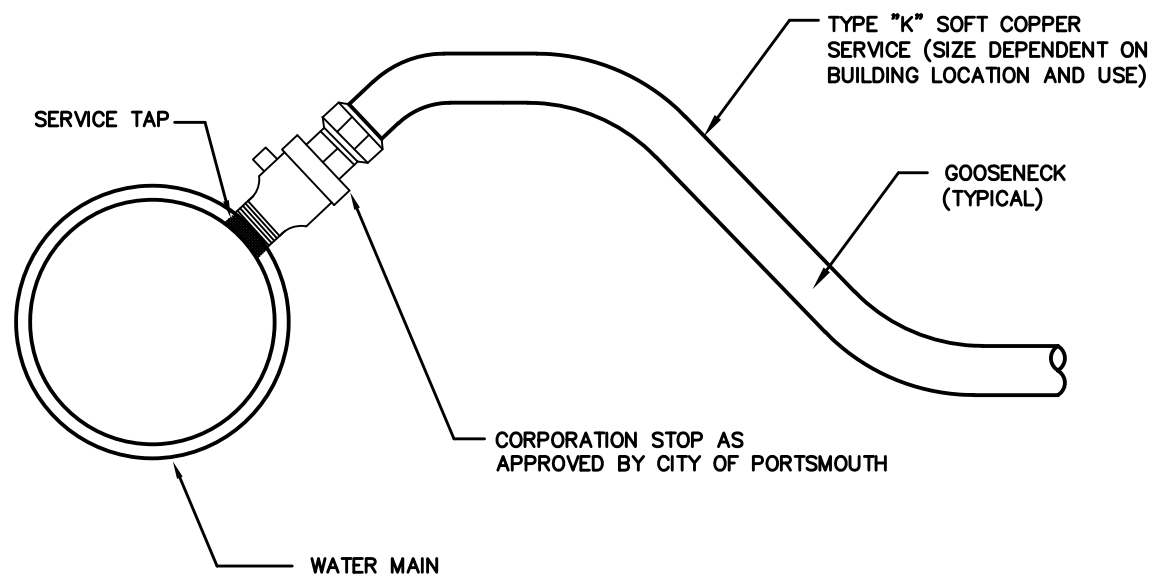
**TEE & GATE VALVE ASSEMBLY DETAIL NOT TO SCALE**



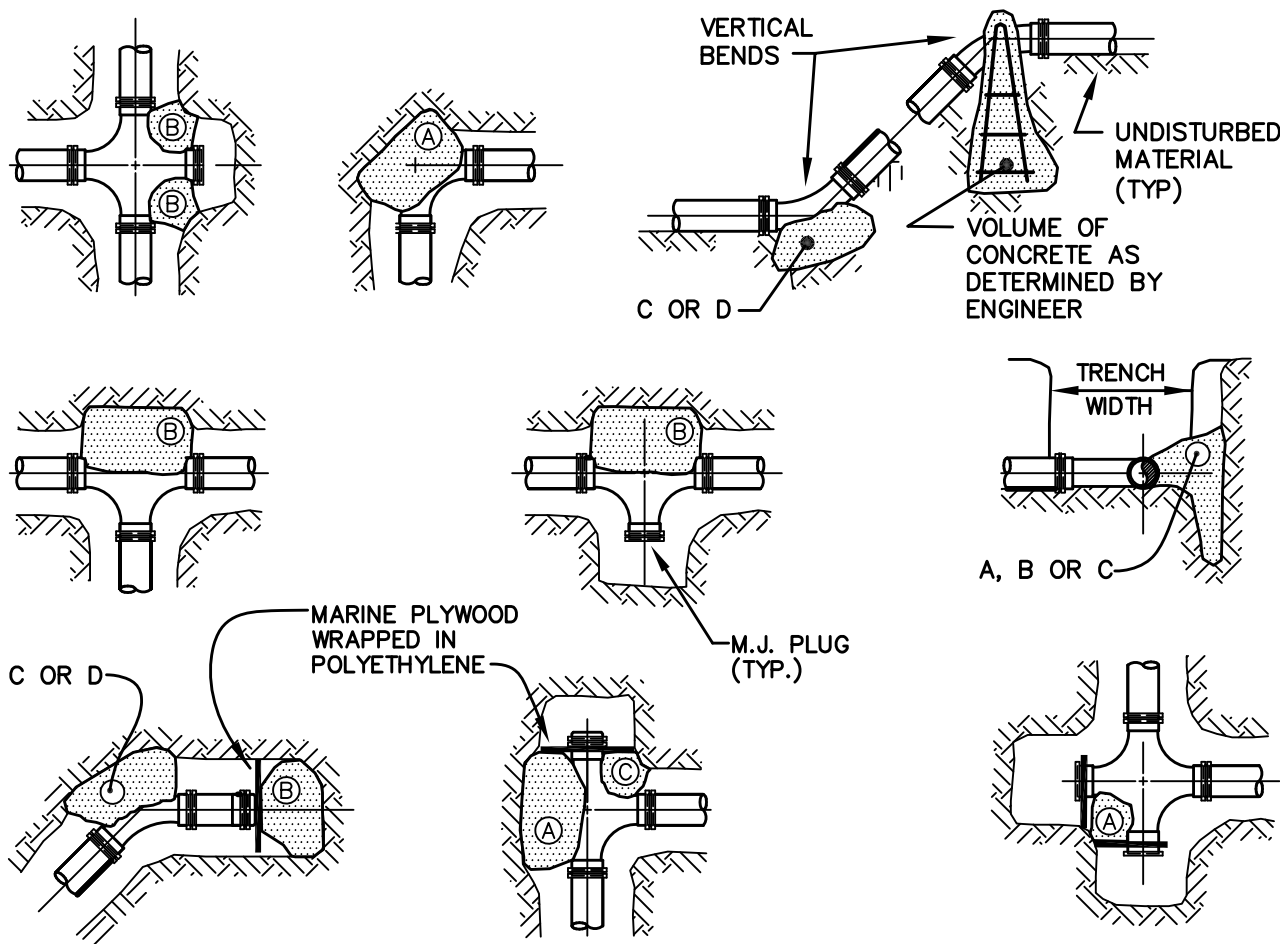
**WATER VALVE DETAIL NOT TO SCALE**



NOTE: ALL CURB AND CORP. STOPS TO BE COMPRESSION-JOINT TYPE.



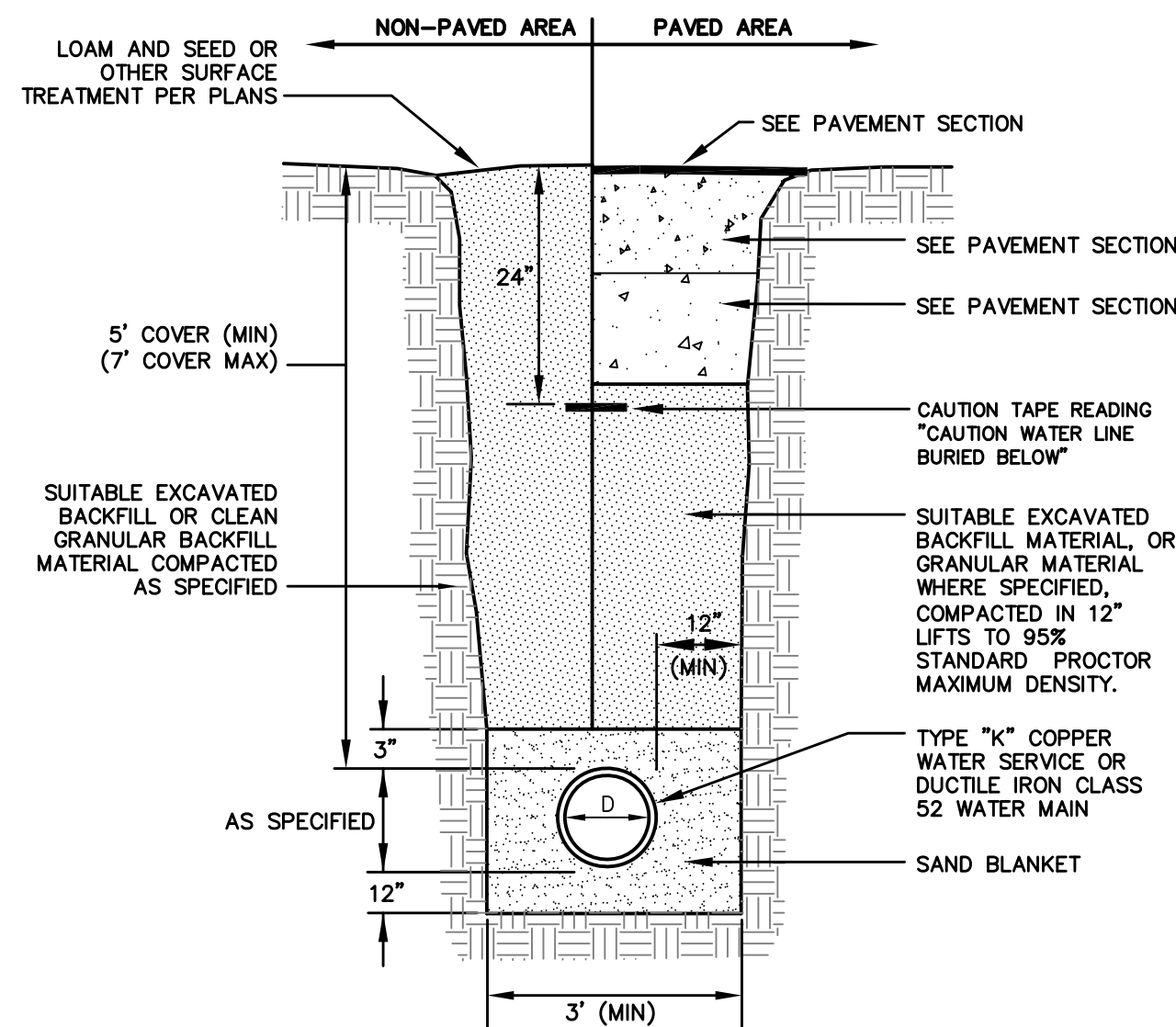
**WATER SERVICE CONNECTION NOT TO SCALE**



SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL		PIPE SIZE			
REACTION TYPE		4"	6"	8"	10"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

- NOTES:**
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL.
  - NO JOINTS SHALL BE COVERED WITH CONCRETE. POLYETHYLENE (6 MIL) SHALL BE PLACED AROUND FITTINGS PRIOR TO CONCRETE PLACEMENT.
  - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
  - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
  - X
  - POLYETHYLENE (6 MIL) SHALL BE PLACED AROUND ALL FITTINGS PRIOR TO CONCRETE PLACEMENT.

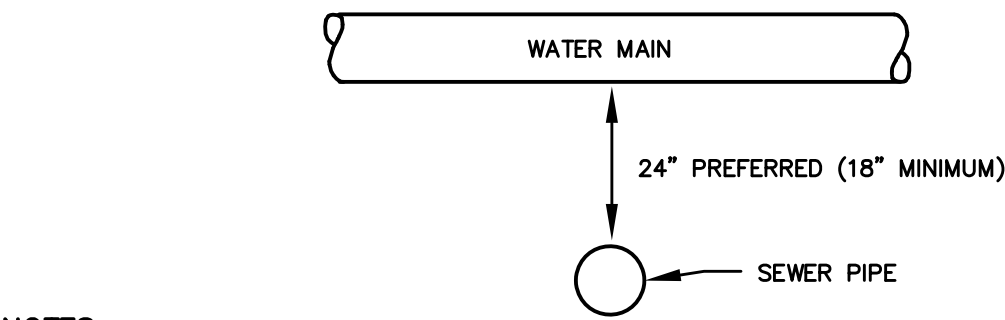
**THRUST BLOCKING NOT TO SCALE**



SAND BLANKET/BARRIER	
SIEVE SIZE	% FINER BY WEIGHT
1/2"	90 - 100
200	0 - 15

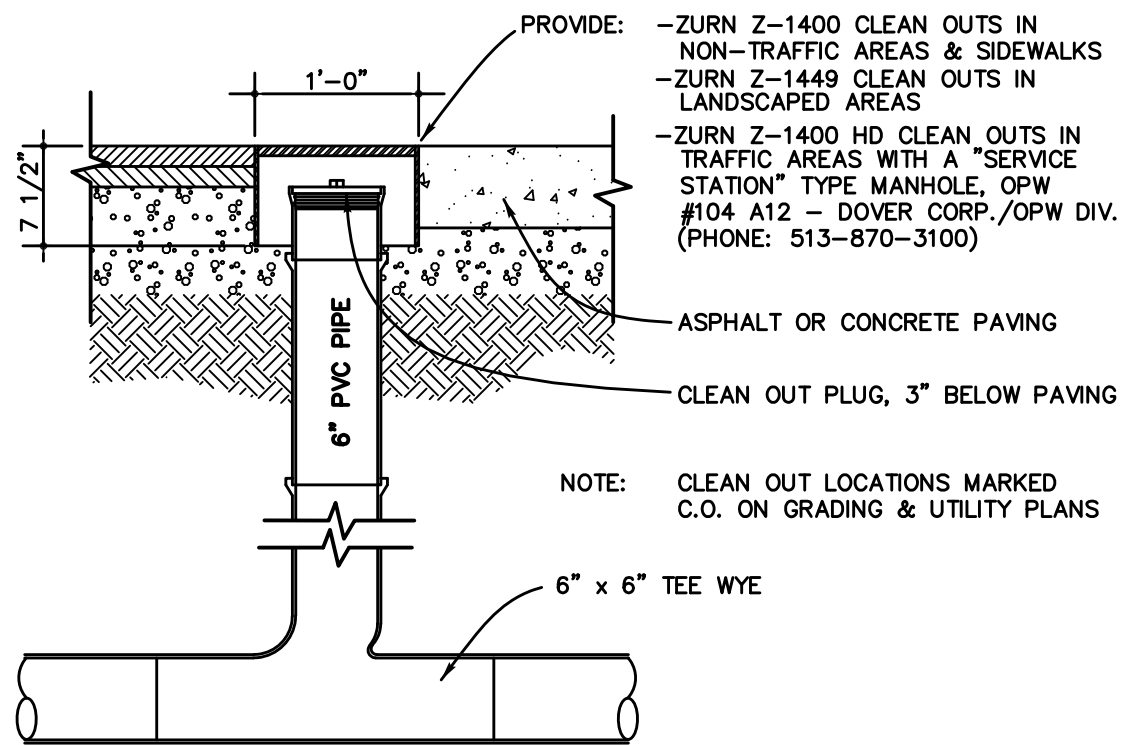
- NOTES:**
- BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.

**WATER MAIN TRENCH NOT TO SCALE**



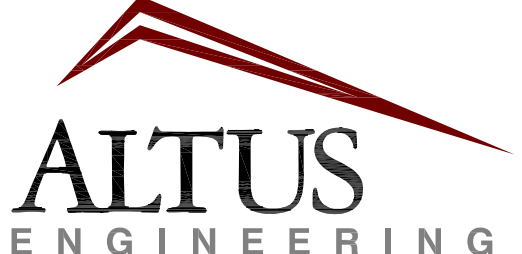
- NOTES:**
- A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN WATER AND SEWER MAINS. A MINIMUM VERTICAL DISTANCE WITH WATER ABOVE SEWER SHALL BE MAINTAINED.
  - SEWER PIPE JOINTS SHALL BE LOCATED A MINIMUM OF 6 FEET HORIZONTALLY FROM WATER MAIN.
  - IF THE REQUIRED CONFIGURATION CANNOT BE MET, THE SEWER MAIN SHALL BE CONSTRUCTED TO MEET THE NHDES REQUIREMENTS FOR FORCE MAIN CONSTRUCTION.

**WATER MAIN / SEWER CROSSING NOT TO SCALE**



**SEWER CLEANOUT NOT TO SCALE**

ENGINEER:



133 Court Street Portsmouth, NH 03801  
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: TAC REVIEW

ISSUE DATE: JANUARY 23, 2023

NO.	DESCRIPTION	BY	DATE
0	INITIAL TAC SUBMISSION	EDW	01/23/23

DRAWN BY: RLH

APPROVED BY: EDW

DRAWING FILE: 5356SITE.dwg

SCALE:  
(22"x34") N.T.S.  
(11"x17") N.T.S.

OWNER:

LUCKY THIRTEEN PROPERTIES, LLC

P.O. BOX 300 RYE, NH 03870

APPLICANT:

IT'S GOOD TO BE KNEADED, LLC

C/O SEAN CREELEY 337 RICHARDS AVENUE PORTSMOUTH, NH 03801

PROJECT:

IT'S GOOD TO BE KNEADED

361 ISLINGTON STREET PORTSMOUTH, NH MAP 144 LOT 23

TITLE:

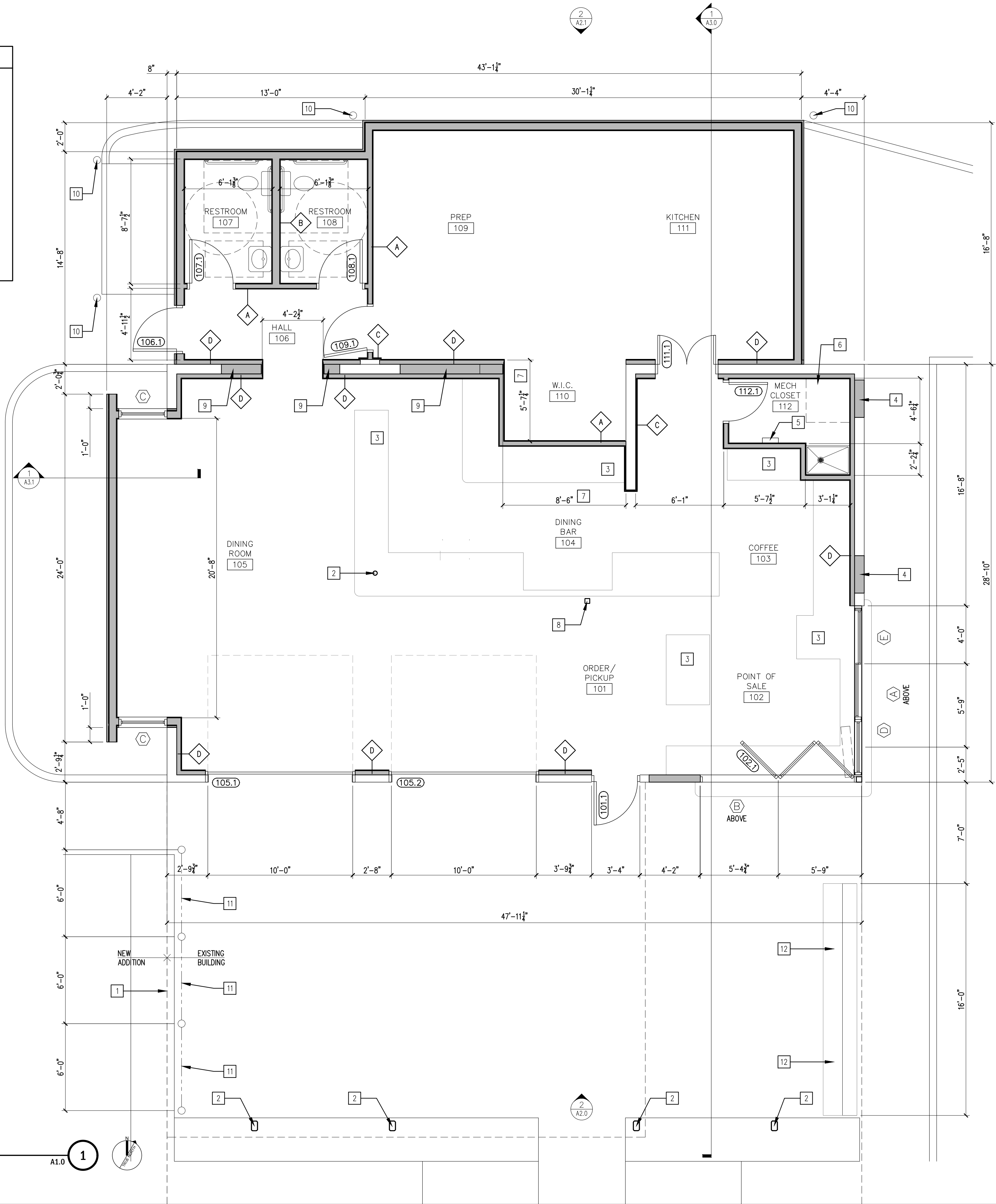
DETAIL SHEET

SHEET NUMBER:

D - 5

PS356

- KEYNOTES**
- 1 LINE OF CANOPY ABOVE.
  - 2 EXISTING COLUMN TO REMAIN.
  - 3 BUILT IN CASEWORK.
  - 4 CONCRETE BLOCK TO INFILL REMOVED DOOR AND FRAME.
  - 5 ELECTRICAL PANEL.
  - 6 3' X 3' AREA FOR SPRINKLER RISER.
  - 7 COORDINATE DIMENSION WITH WALK-IN COOLER SUPPLIER
  - 8 NEW COLUMN, SEE STRUCTURAL DRAWINGS.
  - 9 CONCRETE BLOCK TO INFILL REMOVED WINDOW UNITS.
  - 10 DECORATIVE BOLLARD.
  - 11 DECORATIVE BOLLARD WITH ROPE, BARRIER AGAINST VEHICLE TRAFFIC.
  - 12 PLANTER TO BE SECURED TO SLAB TO ACT AS VEHICLE BARRIER.



**FLOOR PLAN**

SCALE: 1/4"=1'-0"

A1.0

1

**WALL TYPES**

SCALE: 1"=1'-0"

A1.0

2

ROOF OR FLOOR DECK  
WHERE OPEN CEILING EXISTS  
RUN STUDS & GYP BD TO  
UNDERSIDE OF DECK ABOVE  
EXTEND GYP BD. 1'-0"  
OVER CEILING  
CEILING, SEE RCP

TYPICAL WALL CONSTRUCTION:  
2X4 WD STUDS AT 16" O.C W/ 8"  
GYP BD. EACH SIDE FILL STUD  
CAVITIES W/ACOUSTICAL BATT  
INSULATION

ROOF OR FLOOR DECK  
RUN STUDS & GYP BD TO  
UNDERSIDE OF DECK ABOVE  
CEILING, SEE RCP

TYPICAL WALL CONSTRUCTION:  
2X6 WD STUDS AT 16" O.C W/ 8"  
GYP BD. EACH SIDE FILL STUD  
CAVITIES W/ACOUSTICAL BATT  
INSULATION

ROOF OR FLOOR DECK  
WHERE OPEN CEILING EXISTS  
RUN STUDS & GYP BD TO  
UNDERSIDE OF DECK ABOVE  
EXTEND GYP BD. 1'-0"  
OVER CEILING  
CEILING, SEE RCP

TYPICAL WALL CONSTRUCTION:  
1x3 WD. FURRING AT 16" O.C.  
OVER EXISTING CONCRETE BLOCK  
WALL W/ 8" GYP BD.

ROOF OR FLOOR DECK  
RUN STUDS & GYP BD TO  
UNDERSIDE OF DECK ABOVE  
CEILING, SEE RCP

TYPICAL WALL CONSTRUCTION:  
2x4 WD. FURRING AT 16" O.C.  
OVER EXISTING CONCRETE BLOCK  
WALL W/ 8" GYP BD., FILL STUD  
CAVITY WITH MIN. R-13 INSULATION

GETTY BAGEL

361 ISLINGTON STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801

PROJECT:

STAMP:

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February 22, 2023

**WINTER  
HOLBEN**

architecture + design

7 WALLINGFORD SQ  
UNIT 209-9  
KITTERY, MAINE 03904  
207.994.3104

REVISIONS:

PROJECT NAME:

GETTY BAGEL

361 ISLINGTON ST.  
PORTSMOUTH, NH 03801

PROJECT NO.:

22063

DRAWN BY:

ALLU/RW

APPROVED BY:

BH

ISSUE DATE:

2023/02/22

DRAWING NAME:

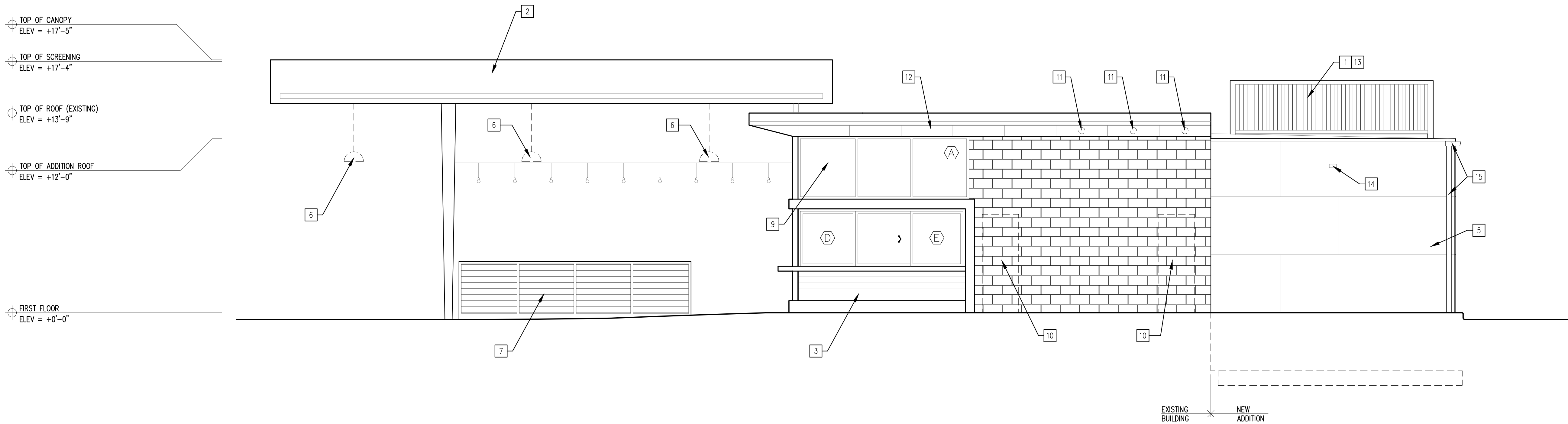
FLOOR PLAN

SCALE:

DRAWING NO.:

A1.0



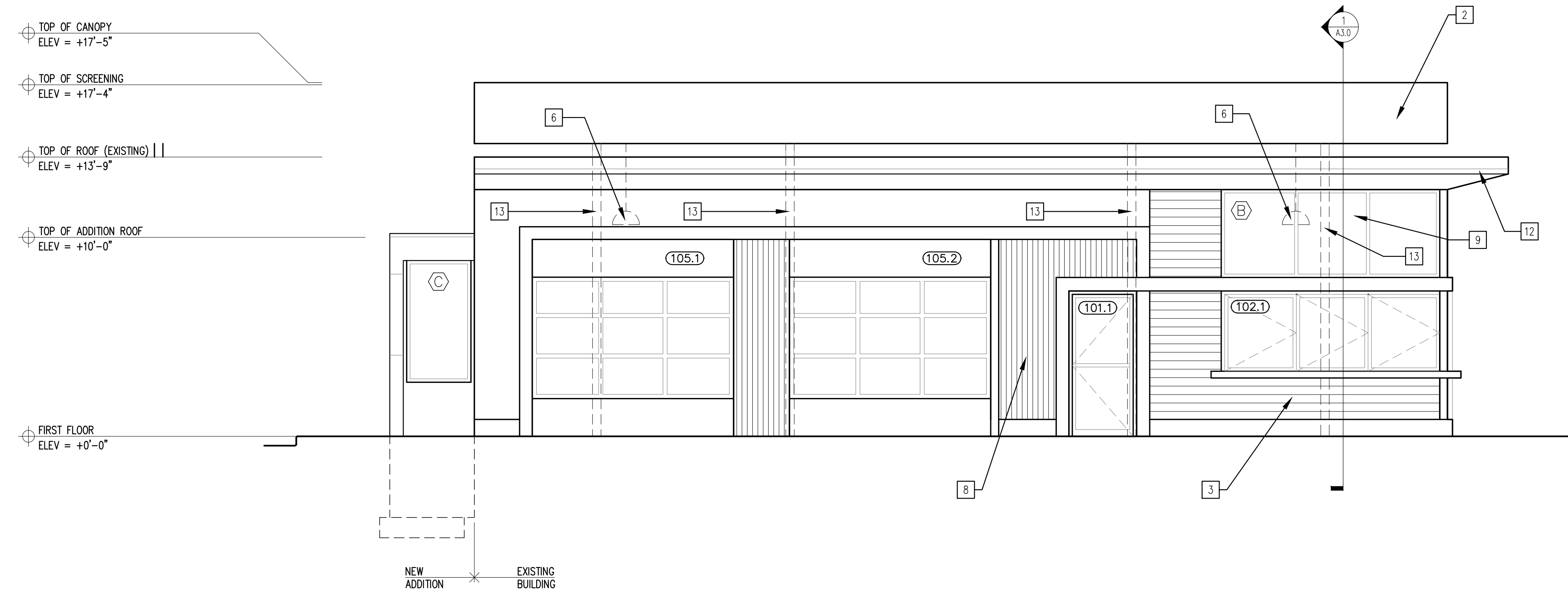


NORTHEAST ELEVATION

SCALE: 1/8"=1'-0"

A2.0

1



SOUTHEAST ELEVATION

SCALE: 1/8"=1'-0"

A2.0

2

#### ELEVATION NOTES

- 1 MECHANICAL SCREEN FOR ROOFTOP EQUIPMENT.
- 2 EXISTING CANOPY FASCIA.
- 3 WOOD SIDING.
- 4 PAINTED EXISTING WALL.
- 5 PAINTED PANEL SIDING.
- 6 LIGHT FIXTURE.
- 7 PLANTER, SECURE TO SLAB TO ACT AS A VEHICLE BARRIER.
- 8 METAL SIDING.
- 9 ALUMINUM WINDOW SIDING.
- 10 PROVIDE BLOCK TO MATCH EXISTING ADJACENT. PAINT FINISH.
- 11 REMOVE LIGHT FIXTURE, PATCH SOFFIT.
- 12 PAINT EXISTING SOFFIT.
- 13 EXISTING CANOPY COLUMNS (SHOWN DASHED).
- 14 WALL MOUNTED LED LIGHT FIXTURE.
- 15 ALUMINUM GUTTER AND DOWNSPOUT.
- 16 DECORATIVE BOLLARD.
- 17 DECORATIVE BOLLARD WITH ROPE TO ACT AS VEHICLE BARRIER.

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DRAWING NAME:

EXTERIOR  
ELEVATIONS

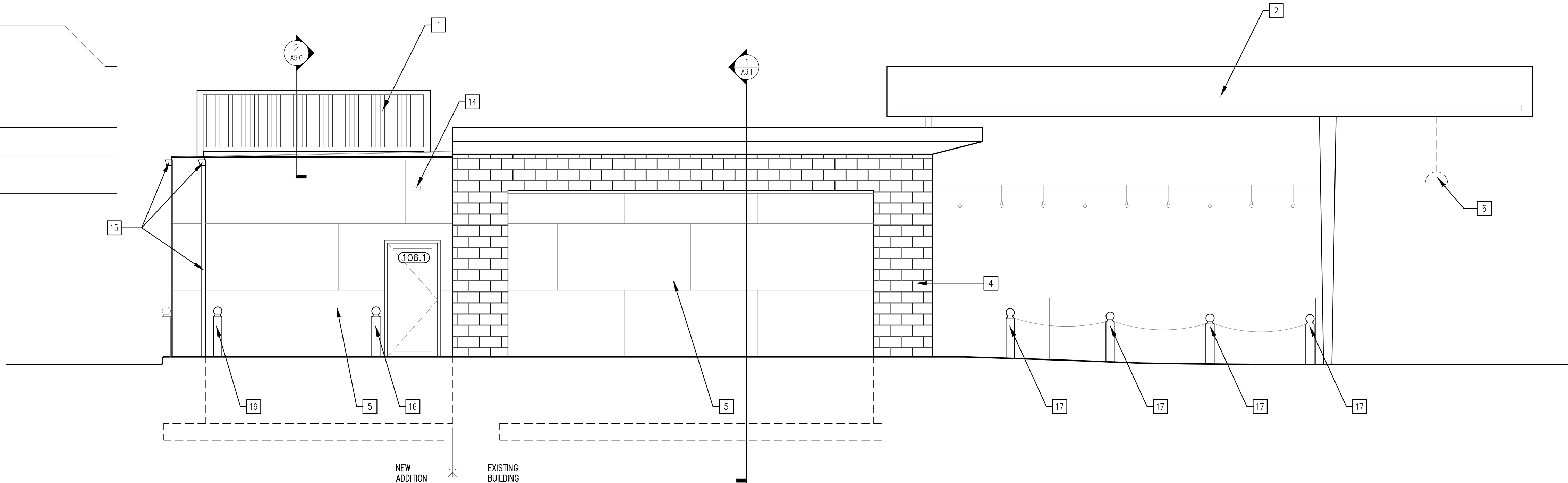
SCALE:

DRAWING NO.:

A2.0



- TOP OF CANOPY  
ELEV = +17'-5"
- TOP OF SCREENING  
ELEV = +17'-4"
- TOP OF ROOF (EXISTING)  
ELEV = +13'-9"
- TOP OF ADDITION ROOF  
ELEV = +12'-0"
- TOP OF ADDITION ROOF  
ELEV = +10'-0"
- FIRST FLOOR  
ELEV = +0'-0"



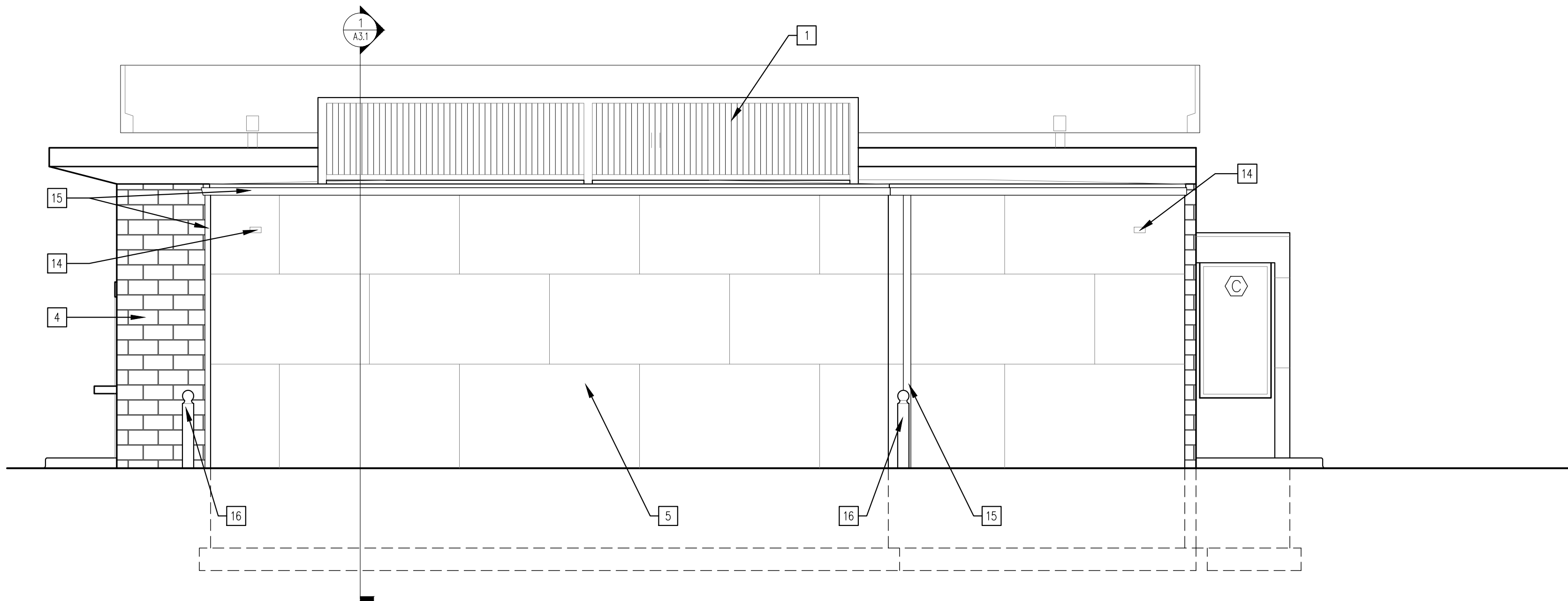
### SOUTHWEST ELEVATION

SCALE: 1/8"=1'-0"

A2.0

3

- TOP OF CANOPY  
ELEV = +17'-5"
- TOP OF SCREENING  
ELEV = +17'-4"
- TOP OF ROOF (EXISTING)  
ELEV = +13'-9"
- TOP OF ADDITION ROOF  
ELEV = +12'-0"
- FIRST FLOOR  
ELEV = +0'-0"



### NORTHWEST ELEVATION

SCALE: 1/8"=1'-0"

A2.0

4

### ELEVATION NOTES

- MECHANICAL SCREEN FOR ROOFTOP EQUIPMENT.
- EXISTING CANOPY FASCIA.
- WOOD SIDING.
- PAINTED EXISTING WALL.
- PAINTED PANEL SIDING.
- LIGHT FIXTURE.
- PLANTER, SECURE TO SLAB TO ACT AS A VEHICLE BARRIER.
- METAL SIDING.
- ALUMINUM WINDOW SIDING.
- PROVIDE BLOCK TO MATCH EXISTING ADJACENT. PAINT FINISH.
- REMOVE LIGHT FIXTURE, PATCH SOFFIT.
- PAINT EXISTING SOFFIT.
- EXISTING CANOPY COLUMNS (SHOWN DASHED).
- WALL MOUNTED LED LIGHT FIXTURE.
- ALUMINUM GUTTER AND DOWNSPOUT.
- DECORATIVE BOLLARD.
- DECORATIVE BOLLARD WITH ROPE TO ACT AS VEHICLE BARRIER.

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DRAWING NAME:

EXTERIOR  
ELEVATIONS

SCALE:

DRAWING NO.:

A2.1





LOOKING NORTH FROM ISLINGTON  
SCALE: N.T.S.

1



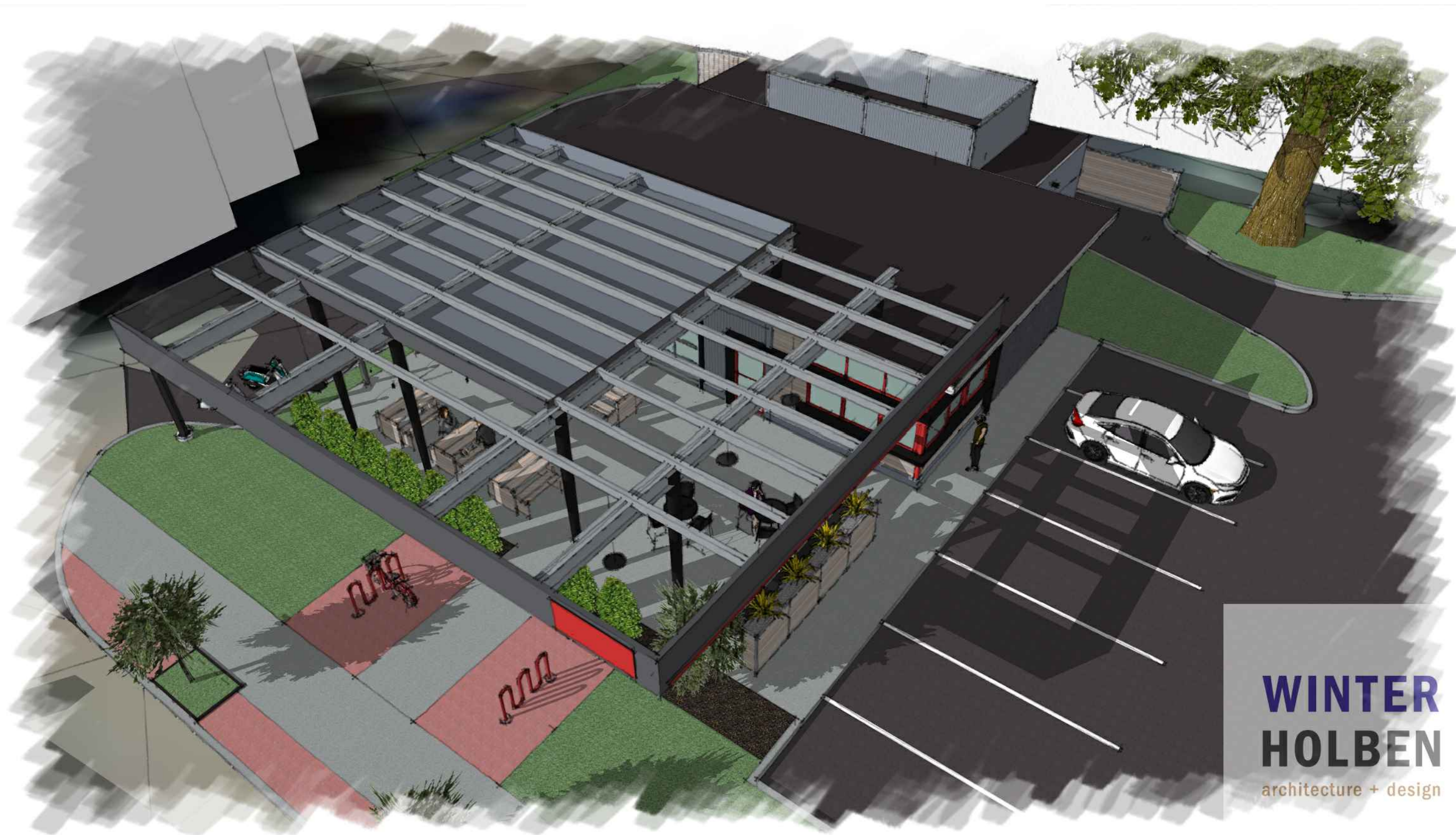
LOOKING EAST FROM REAR OF SITE  
SCALE: N.T.S.

2



LOOKING WEST FROM SITE PARKING  
SCALE: N.T.S.

3



SITE AERIAL  
SCALE: N.T.S.

4

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APPROVED BY: BH  
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DRAWING NAME:

PERSPECTIVES

SCALE:

DRAWING NO.:

A8.0