

Portsmouth, NH - Board of Adjustment
Variance Statement for: 88 Kensington Rd

Date: 11.30.22

Chairman of the Board of Adjustment
C/O Planning Department City of Portsmouth
1 Junkins Ave.
Portsmouth, NH 03801

To The Chairman of the Board of Adjustment,

Please find this statement as addressing the requirements for a variance on the proposed project located at 88 Kensington Rd.

Overview: The existing single-family structure was purchased by the current owners, Ann Sherpick and Water Stewart on 05.11.22 as a home in our community. The renovated home will remain single-family with some much-needed additional square footage to create a more functional home. We will be removing the structure on the left side of the home that was poorly built and rebuild this as a two-story structure for added square footage on both 1st and 2nd floors and expanding the footprint 5' toward the left side.

Per Section 10.233.21 – The variance will not be contrary to public interest. In order to comply to current building codes, we will stay within the required setbacks.

Per Section 10.233.22 - The spirit of the Ordinance will be observed. We are proposing that we will be removing the existing addition to the left and rebuilding this structure as it currently is falling off the existing foundation which is not to code. We are proposing expanding this footprint to the 10' side setback in order to gain a usable living space. This new additional will remain single story.

Per Section 10.233.23 – Substantial Justice will be done. We are requesting relief from the 20% lot coverage. The existing lot coverage is 21% and we are requesting 23% lot coverage with the expanded left side footprint. No harm will be done to the neighborhood or community should this application be granted.

Per Section 10.233.24 - The values of the surrounding properties will not be diminished. The neighborhood is a mix of houses that have already been renovated and some (like 88 Kensington) who need repair. This renovation would improve the property value of the neighborhood.

Per Section 10.233.25 – Literal enforcement of the provisions of the ordinance would result in hardship.

- a. The existing structure is small modest home located on an equally small non-conforming lot; therefore, while conforming to setbacks we do need lot coverage relief in order to attain the functional use of interior space. The backyard is still maintained as a perfect space outdoor dining and gardening.
- b. The existing structure is not large enough for a family of five. With the housing prices and lack of inventory in Portsmouth, they are willing to invest in the home and “love it back to life”

We encourage the Portsmouth Board of Adjustment to grant the variance to the Sherpick Stewart Residence.

Submitted respectfully,

Amy Dutton
Amy Dutton Home
9 Walker Street
Kittery, Maine 03904
amy@amyduttonhome.com
207-337-2020

PHOTOS OF EXISTING PROPERTY:



FRONT VIEW



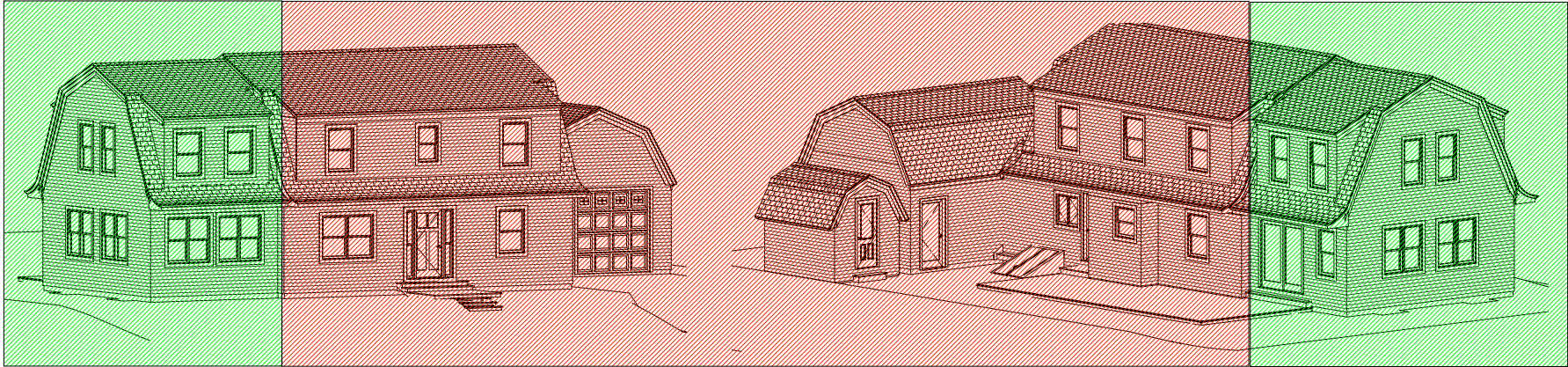
RIGHT SIDE VIEW



LEFT SIDE VIEW



BACK VIEW



SPECIFICATIONS + NOTES

*ROOFING MATERIAL
*ALL TRIM PACKAGE: PVC OR BORAL
*SIDING:
*BRACKETS: ProNood Market - Bracket 02T9 - P 32", H:42", T: 5.5" (Fld: WHITE)
*COLUMNS:
*STAIR SYSTEM:

...EXTERIOR:
*BROSCO: Liberty Extruded Rail System
*RISER: AZEG- WHITE
*TREAD: SELECTWOOD, ZURI "Weathered Grey"

...INTERIOR:
*NEVEL
*HANDRAIL
*BALUSTERS
*RISER FINISH
*TREAD

*WINDOWS:
...MANUFACTURER:
...EXT. FINISH:
...INT. FINISH:

*DOORS:
...MANUFACTURER:
...EXT. FINISH:
...INT. FINISH:

*BATHROOMS:
...FLOORING
...TUB DESIGN
...SHOWER FLOOR
...SHOWER WALLS
...SHOWER HEADS
...SHOWER NICHE VS. SHELVES
...SHOWER DOOR
...NOTE: MAJOR PLUMBING CHANGES

*FLOORING:
...1ST FLOOR:
...2ND FLOOR:
...HEATED FLOOR:
...REFINISH AREAS:
*KITCHEN:
...CABINETRY NOTES: Specs to be prepared on 11 x 17 doc.
...BUILT-IN NOTES:
...APPLIANCES
*MANTLE:
*FIREPLACE:
...GAS
...MOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
...HEARTH: RAISED VS. FLUSH
*MATERIAL:

NOTES:
*CEILING HEIGHTS: 1ST FLOOR: _____ 2ND FLOOR: _____
*CORNER BOARDS: 6" TYP
*WATER TABLE: 10" W/ COPPER FLASHING TYP.
*RAKE BOARD: 8" TYP. PVC OR BORAL (FILLED & PAINTED)
*SOFFIT - BEADBOARD AZEG OR EQ.
*ROOF VENT - RIDGE VENT VS. BROSCO LOUVERED VENT VS. SOFFIT VENT
*ARCHITECTURAL DETAIL:
*WINDOW TRIM: 4-1/2" TYP. PVC

TOTAL SQUARE FOOTAGE:
...NEW
...RENOVATED SF
...TOTAL

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DRAWINGS USED EXPRESSLY FOR
DESIGN ONLY FOR NOTED CLIENT. ALL
STRUCTURAL ENGINEERING PROVIDED BY
OTHER.

Building contractor / home owner to review and verify all
dimensions, specs and connections before construction
begins.
ELECTRICAL SYSTEM CODE: IEC 2011
MECHANICAL SYSTEM CODE: IMC 2015
PLUMBING SYSTEM CODE: 2021 Uniform Plumbing Code

FINAL CD SET DATE: 11.30.22

LIVING AREA	
MAIN FLOOR	1061sqft
SECOND FLOOR	1024sqft
TOTAL	2110sqft
GARAGE	289sqft
DECK	425sqft

DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER
TO REVIEW AND VERIFY ALL DIMENSIONS,
SPECS, AND CONNECTIONS BEFORE
CONSTRUCTION BEGINS.

OVERVIEW

SCALE: NTS

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Revision Table
Number | Date | Description

OVERVIEW

CLIENT:
SHERICK STEWART

CONTACT:
AMY DUTTON HOME
11 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
207.931.2020

DATE:
11/30/2022

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SCALED FOR:
24" X 36"

SCALE:
SEE SCALE
ON DRAWINGS

SHEET:

0-1

CALCULATIONS

LAND USE SINGLE FAM MDL-01
MAP LOT: 0152-0022-0000
MARKET: 104
LOCAL DISTRICT: R
PARCEL AREA(AC): 0.14 (6098.4 SF)
VISION APPRAISAL: 34767
ZONING: SRB

ZONING MAXIMUMS:

front setback: 15'
rear setback: 20'
side setbacks: 10'
lot coverage: 20%

EXISTING CONDITIONS:

ANTICIPATED DISTURBED AREA: 143 SF
EXISTING FRONT/REAR HEIGHT: 21'-6"

LIVABLE SF: 1750 SF
FIRST FLOOR 982 SF
SECOND FLOOR 768 SF
BASEMENT 0
DECK 0

GROSS SF: 2856 SF
FIRST FLOOR 982 SF
SECOND FLOOR 768 SF
BASEMENT 768 SF
PORCH ENCLOSED 18 SF
GARAGE 320 SF
(note: Deck is 21" above grade: 282 sf)

AREA OF FOOTPRINT: 1320 SF

EXISTING SETBACKS:

FRONT: 21'
REAR: 18'
LEFT: 10'
RIGHT: 0'
EXISTING LOT COVERAGE: 21.6%
EXISTING PARCEL AREA: .14

PROPOSED CONDITIONS:

PROPOSED FRONT/REAR HEIGHT: 21'-6"

LIVABLE SF: 1858 SF
FIRST FLOOR 1040 SF
SECOND FLOOR 768 SF
BASEMENT 0
DECK 0

GROSS SF: 2964 SF
FIRST FLOOR 1040 SF
SECOND FLOOR 768 SF
BASEMENT 768 SF
PORCH ENCLOSED 18 SF
GARAGE 320 SF
BULKHEAD 35 SF
(note: Deck is 21" above grade: 282 sf)

AREA OF FOOTPRINT: 1463 SF

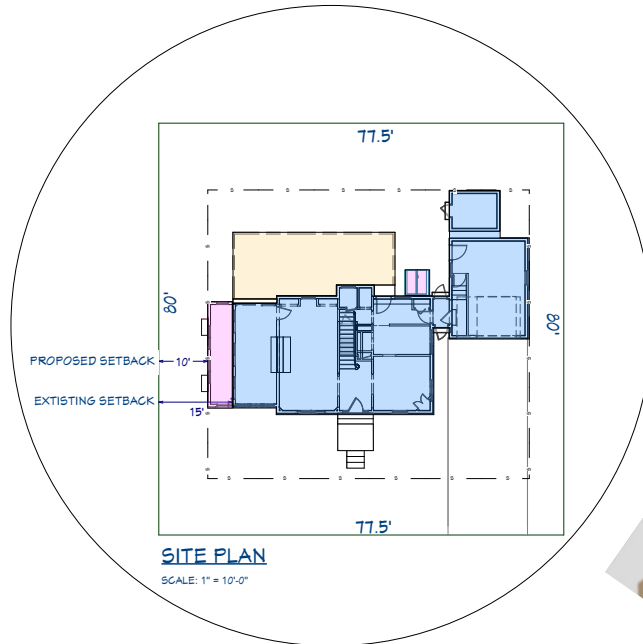
PROPOSED SETBACKS:

FRONT: 21'
REAR: 18'
LEFT: 10'
RIGHT: 0
PROPOSED LOT COVERAGE: 23%
EXISTING PARCEL AREA: .14

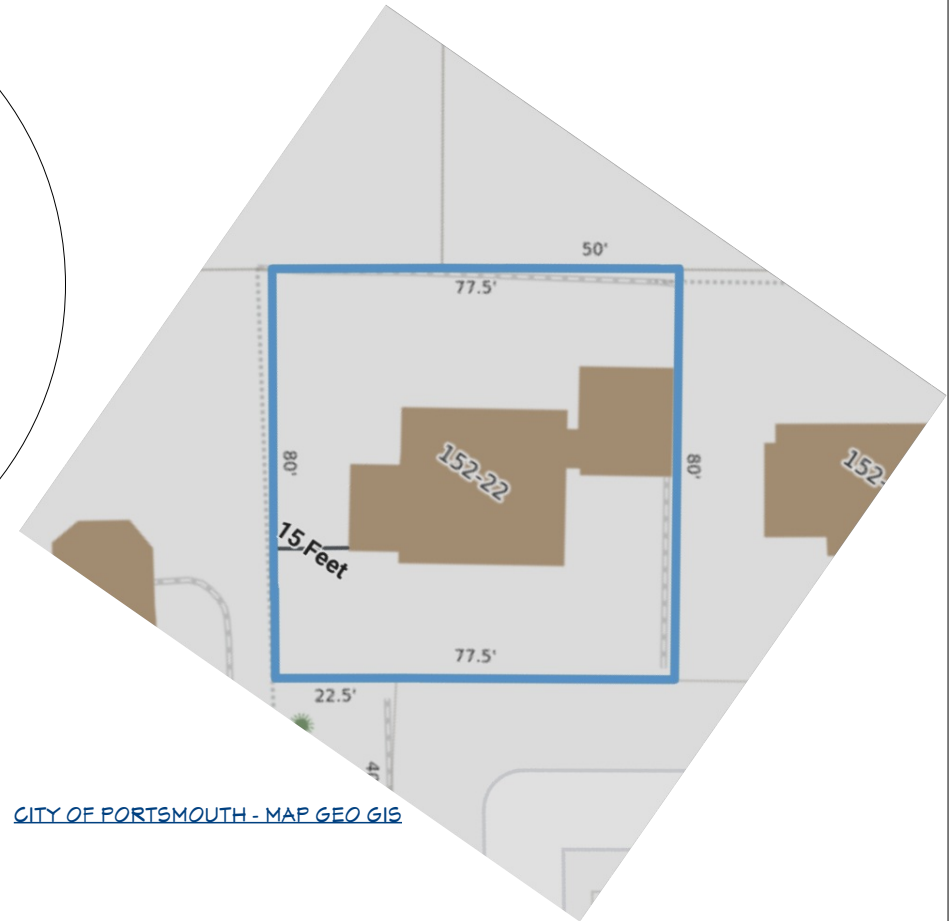
CAD BLOCK GUIDE

- EXISTING FOOTPRINT (1320 SF)
- EXISTING DECK @21" from grade (282 SF)
- PROPOSED ADDITION
(108 SF | 35 SF BULKHEAD EGRESS)

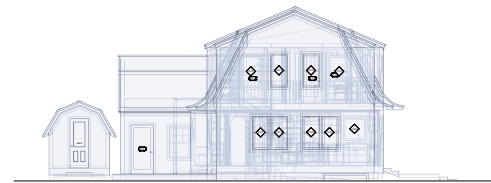
SITE PLAN



GOOGLE SATELLITE SITE



CITY OF PORTSMOUTH - MAP GEO GIS



GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"

1200 GAL SEPTIC TANK
LEACH FIELD BASED ONLINE FROM WASHOE COUNTY
LEACH FIELD SHALL BE AN INFILTRATOR SYSTEM
40 CHAMBERS REQUIRED (ARG 36)
2 LINES 3' WIDE X 3' DEEP X 100 FEET LONG
40 CHAMBERS EACH
10' MIN. BETWEEN LINES
SEPTIC TANK 10' FROM HOUSE

NOTES:
SLOPE FINISH GRADE AWAY FROM THE HOUSE @ 5% FOR 10' MIN
LEAVE NATURAL DRAINAGE UNDISTURBED
APN #
21 RHONDA DR.



Revision Table	Number	Date	Description

PLOT PLAN

CLIENT:
SHERPICK STEINART

CONTACT:
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207.931.2020

DATE:

11/30/2022

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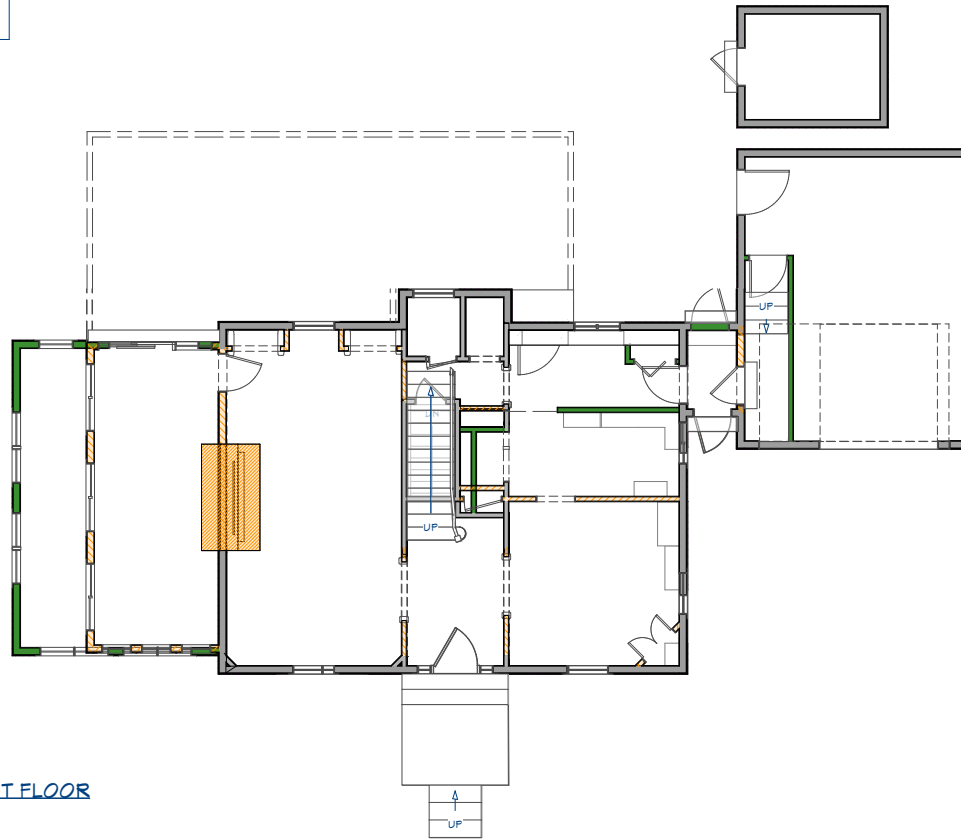
S-1

DEMOLITION NOTES

GENERAL NOTES

1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
2. CUT EXISTING FOUNDATION TO LOCATION IDENTIFIED AND PREPARE FOR NEW FOUNDATION WALL.
3. EXISTING FOUNDATION WALL TO BE CUT AND REMAIN IN PLACE. REMOVE SILL PLATES OR OTHER LUMBER AND CUT BACK ANCHOR BOLTS TO TOP OF WALL. FILL VOID WITH SAND AND/ OR SOILS CONSISTENT WITH SURROUNDING MATERIALS.

FIRST FLOOR



DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

- = EXTERIOR WALL
- = INTERIOR 6
- = INTERIOR 4
- = NEW WALL
- = DEMO WALL
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL



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DEMOLITION PLAN

CLIENT:
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SCALE:

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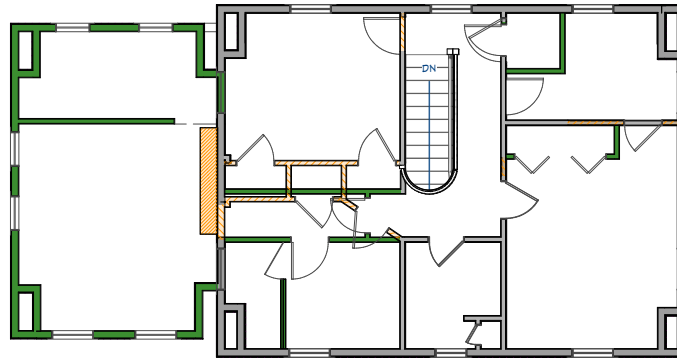
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DEMOLITION NOTES

GENERAL NOTES

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SECOND FLOOR

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

WALL LEGEND

-  = EXTERIOR WALL
-  = INTERIOR 6
-  = INTERIOR 4
-  = NEW WALL
-  = DEMO WALL
-  = GLASS TOP TILE BOTTOM PONY WALL
-  = GLASS SHOWER WALL



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DEMOLITION PLAN

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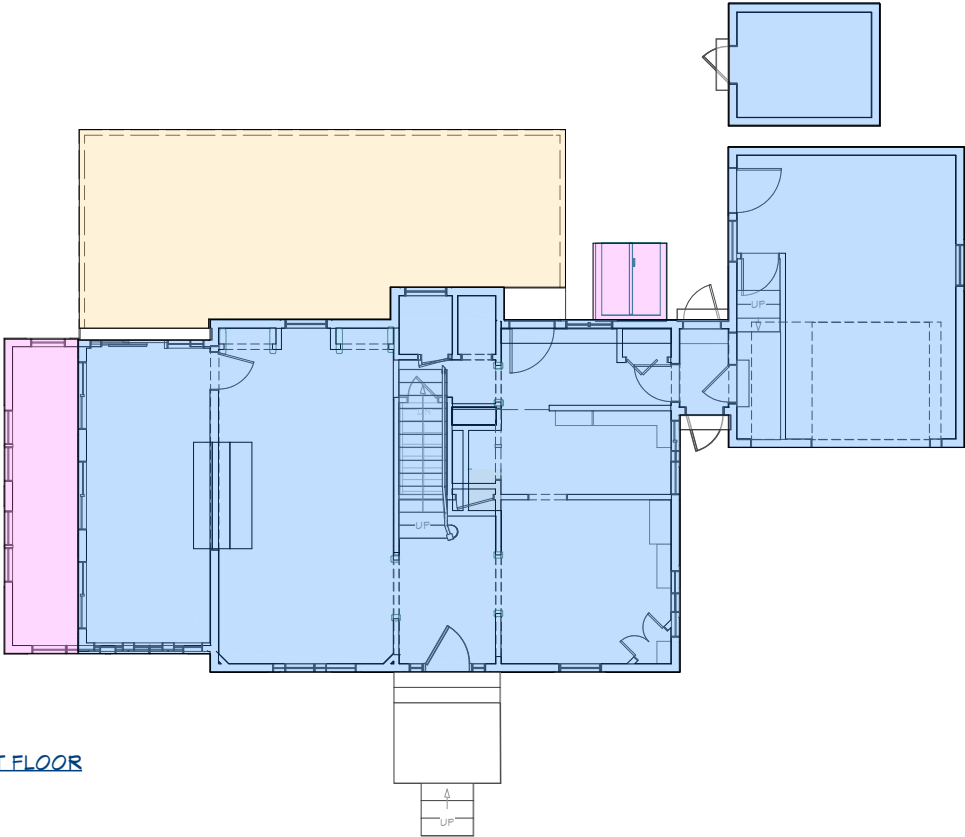
S-3

DEMOLITION NOTES

- GENERAL NOTES
- 1. PROVIDE SELECTIVE DEMOLITION TO REMOVE EX. FLOOR, WALLS, CEILING, WINDOWS AND ROOF SYSTEMS IDENTIFIED. CONFIRM EXACT LOCATION W/ DESIGNER AND CIVIL ENGINEER PRIOR TO SELECTIVE DEMOLITION COMMENCEMENT. CONSULT WITH DESIGN PROFESSIONAL FOR ALL REQUIRED TEMPORARY SHORING AND SUPPORTS.
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CAD BLOCK GUIDE

- EXISTING FOOTPRINT (1320 SF)
- EXISTING DECK @21" from grade (282 SF)
- PROPOSED ADDITION (108 SF)



FIRST FLOOR

RENOVATION PLAN

SCALE: 1/4" = 1'-0"



Revision Table	
Number	Description

RENOVATION PLAN

CLIENT:
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DATE:

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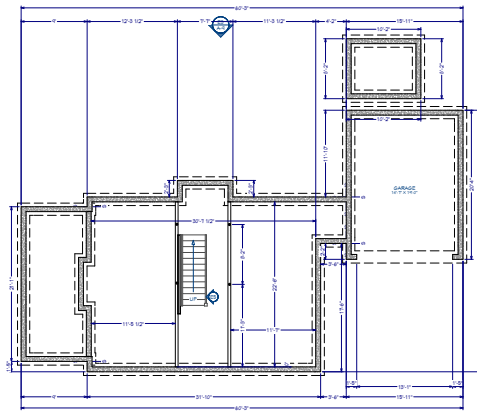
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SCALE:

SEE SCALE ON DRAWINGS

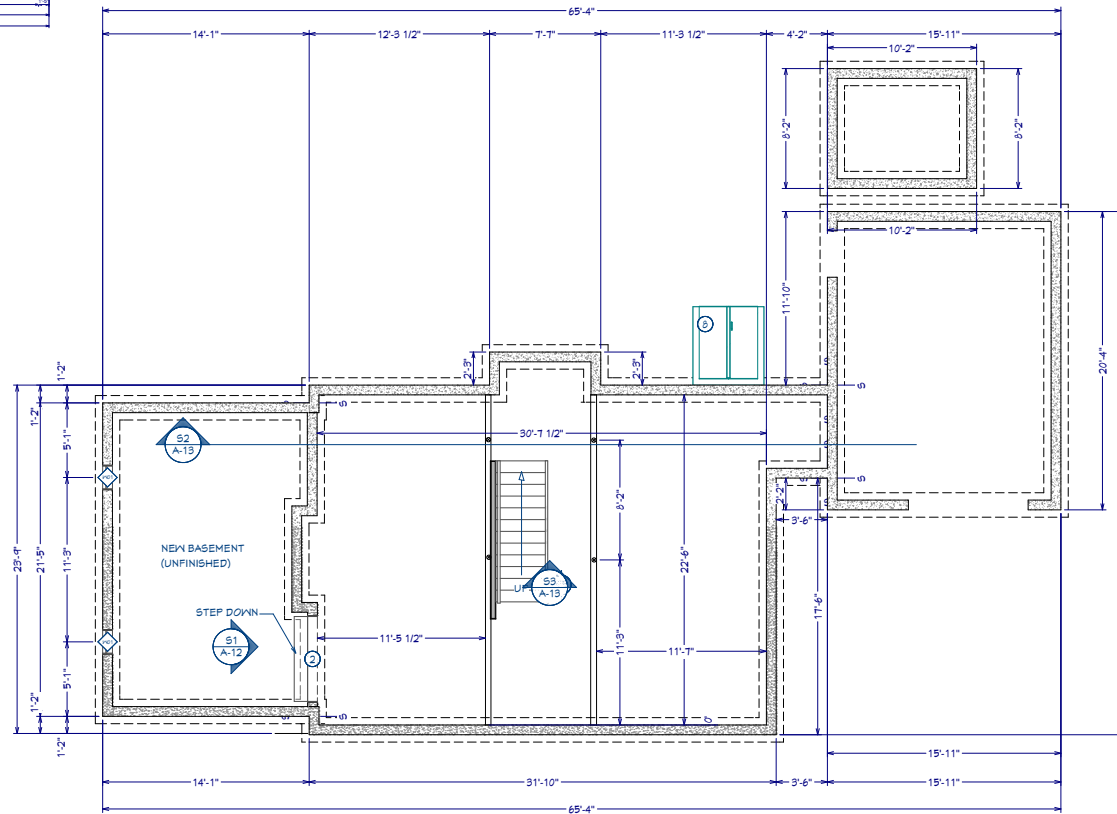
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S-4



EXISTING FOUNDATION PLAN

SCALE: 1/8" = 1'-0"



PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE:
1. ALL DIMENSIONS ARE FROM FRAMING TO FRAMING
2. ALL BOTTOM OF HEADERS TO BE HUNG @60"

NOTE SCHEDULE	
1	OPEN WALL AS WIDE AS POSSIBLE
2	NEW OPENING WALL
3	10" POURED CONCRETE FOUNDATION
4	OPEN WALL AS WIDE AS POSSIBLE(SEE STRUCTURAL ENGINEERING)
5	OPEN SHELVING FLOOR TO CEILING
6	5" X 80" DOORWAY
7	EXISTING WINDOW TO BE REMOVED
8	NEW BULKHEAD LOCATION

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
	= GLASS TOP TILE BOTTOM PONY WALL
	= GLASS SHOWER WALL



Revision Table
Number | Date | Description

FOUNDATION

CLIENT:
SHERPICK, STEPHAN

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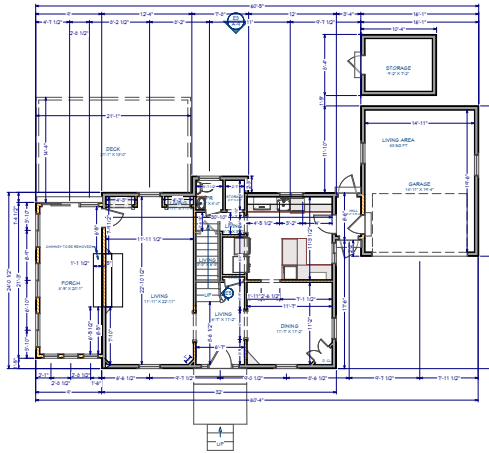
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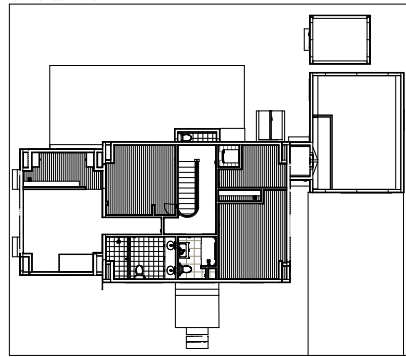
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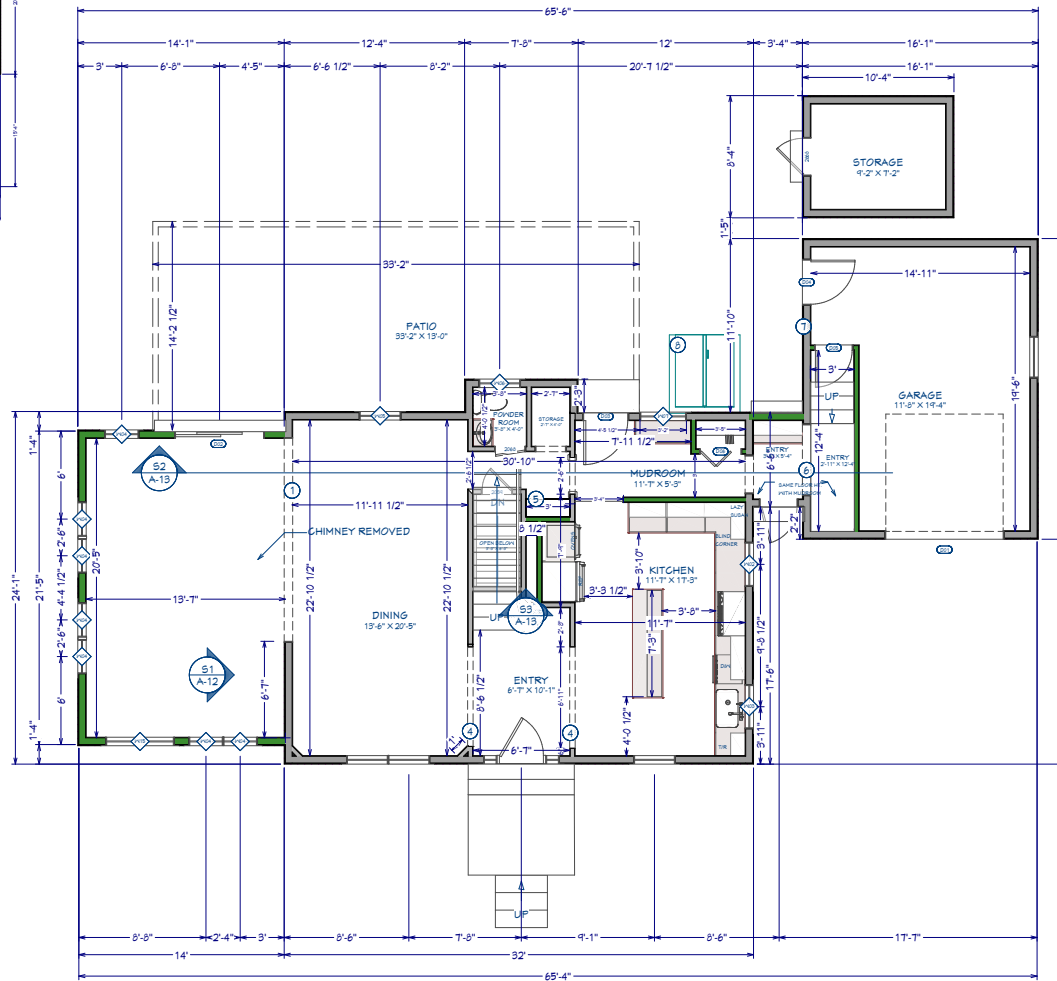
EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



PERSPECTIVE VIEW

SCALE: NTS



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE SCHEDULE	
1	OPEN WALL AS WIDE AS POSSIBLE
2	NEW OPENING WALL
3	10" POURED CONCRETE FOUNDATION
4	OPEN WALL AS WIDE AS POSSIBLE(SEE STRUCTURAL ENGINEERING)
5	OPEN SHELVING FLOOR TO CEILING
6	57" X 80" DOORWAY
7	EXISTING WINDOW TO BE REMOVED
8	NEW BULKHEAD LOCATION

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
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Revision Table	
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FIRST FLOOR

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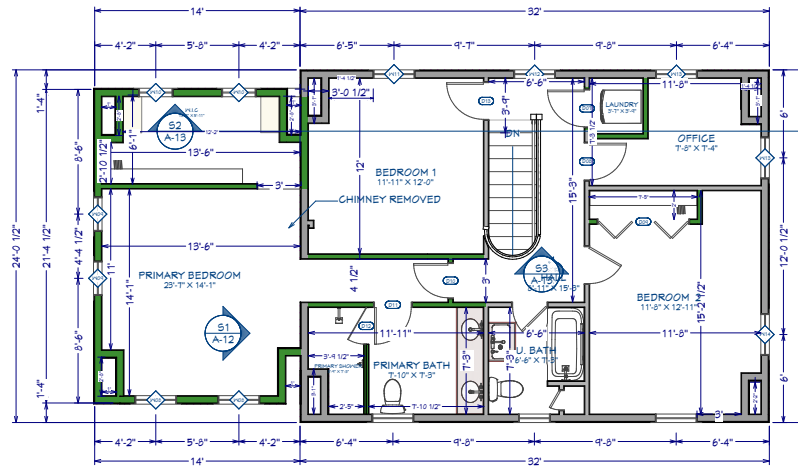
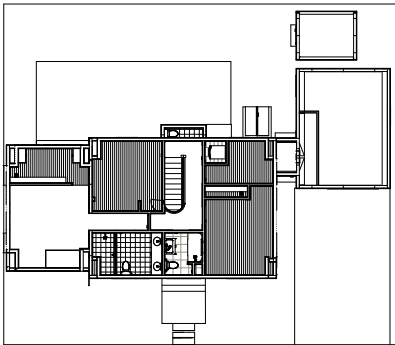
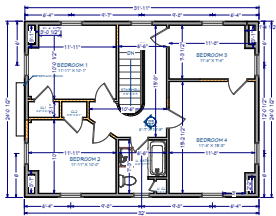
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SCALE:
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SHEET:

A-2



NOTE SCHEDULE	
1	OPEN WALL AS WIDE AS POSSIBLE
2	NEW OPENING WALL
3	10" POURED CONCRETE FOUNDATION
4	OPEN WALL AS WIDE AS POSSIBLE (SEE STRUCTURAL ENGINEERING)
5	OPEN SHELVEY FLOOR TO CEILING
6	5T" X 80" DOORWAY
7	EXISTING WINDOW TO BE REMOVED
8	NEW BULKHEAD LOCATION

WALL LEGEND	
	= EXTERIOR WALL
	= INTERIOR 6
	= INTERIOR 4
	= NEW WALL
	= DEMO WALL
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Revision Table	
Number	Date

SECOND FLOOR

CLIENT:
SHERPICK, STEWART

CONTACT:
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amy@amyduttonhome.com
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SCALE:
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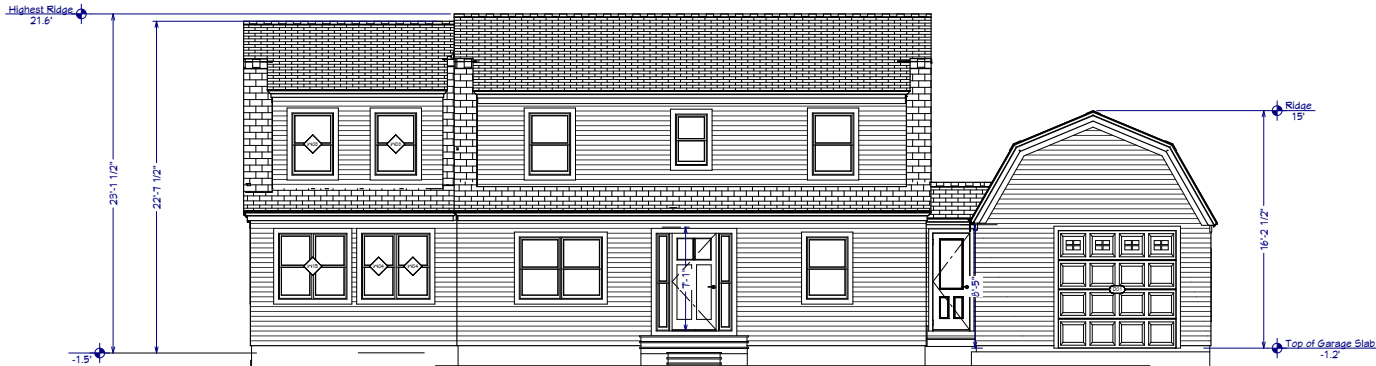
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A-3



EXISTING NORTH ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION | FRONT VIEW

SCALE: 1/4" = 1'-0"

NOTES:
1. REMOVE CHIMNEY

ELEVATIONS

SCALE: 1/4" = 1'-0"



Revision Table	
Number	Date

ELEVATIONS

CLIENT:
SHERPICK STEINART

CONTACT:
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11 WALKER STREET | KITTERY, ME
amy@amyduttonhome.com
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SCALE:

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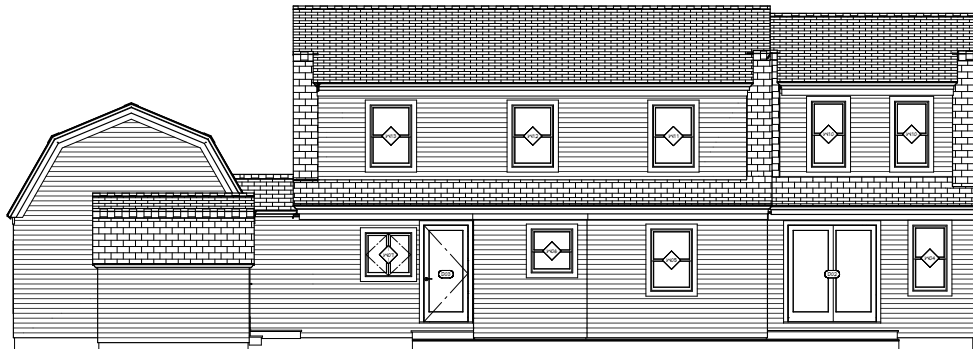
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A-8



EXISTING SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"



NOTES:
1. REMOVE CHIMNEY

PROPOSED SOUTH ELEVATION | REAR VIEW

SCALE: 1/4" = 1'-0"

ELEVATIONS

SCALE: 1/4" = 1'-0"



Revision Table	
Number	Description

ELEVATIONS

CLIENT:
SHERPICK, STEWART

CONTACT:
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11 WALKER STREET | KITTERY, ME
amy@duttonhome.com
207.931.2020

DATE:
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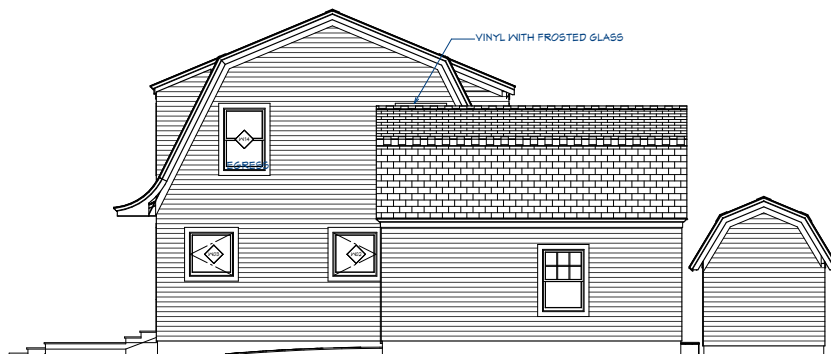
SCALE:
SEE SCALE ON DRAWINGS

SHEET:

A-9



EXISTING EAST ELEVATION | SIDEVIEW
SCALE: 1/4" = 1'-0"



NOTES:
1. REMOVE CHIMNEY

PROPOSED EAST ELEVATION | SIDEVIEW
SCALE: 1/4" = 1'-0"

ELEVATIONS

SCALE: 1/4" = 1'-0"



Revision Table	
Number	Description

ELEVATIONS

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SCALE:

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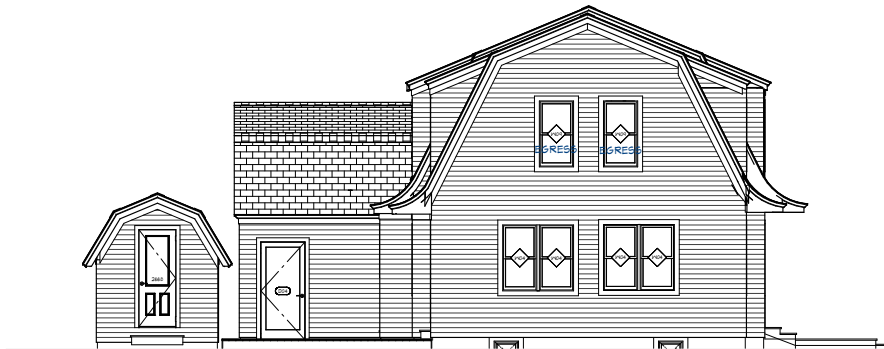
SHEET:

A-10
ELEVATIONS



EXISTING WEST ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"

NOTES:
1. REMOVE CHIMNEY

ELEVATIONS

SCALE: 1/4" = 1'-0"



Revision Table	
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SCALE:

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SHEET:

A-11
ELEVATIONS

CALCULATIONS

LAND USE SINGLE FAM MDL-01
MAP LOT: 0152-0022-0000
MARKET: 104
LOCAL DISTRICT: R
PARCEL AREA(AC): 0.14 (6098.4 SF)
VISION APPRAISAL: 34767
ZONING: SRB

ZONING MAXIMUMS:

front setback: 15'
rear setback: 20'
side setbacks: 10'
lot coverage: 20%

EXISTING CONDITIONS:

ANTICIPATED DISTURBED AREA: 143 SF
EXISTING FRONT/REAR HEIGHT: 21'-6"

LIVABLE SF: 1750 SF
FIRST FLOOR: 982 SF
SECOND FLOOR: 768 SF
BASEMENT: 0
DECK: 0

GROSS SF: 2356 SF
FIRST FLOOR: 982 SF
SECOND FLOOR: 768 SF
BASEMENT: 768 SF
PORCH ENCLOSED: 18 SF
GARAGE: 320 SF
(note: Deck is 21" above grade: 282 sf)

AREA OF FOOTPRINT: 1320 SF
EXISTING SETBACKS:
FRONT: 21'
REAR: 18'
LEFT: 10'
RIGHT: 0'
EXISTING LOT COVERAGE: 21.6%
EXISTING PARCEL AREA: .14

PROPOSED CONDITIONS:

PROPOSED FRONT/REAR HEIGHT: 21'-6"

LIVABLE SF: 1056 SF
FIRST FLOOR: 1040 SF
SECOND FLOOR: 768 SF
BASEMENT: 0
DECK: 0

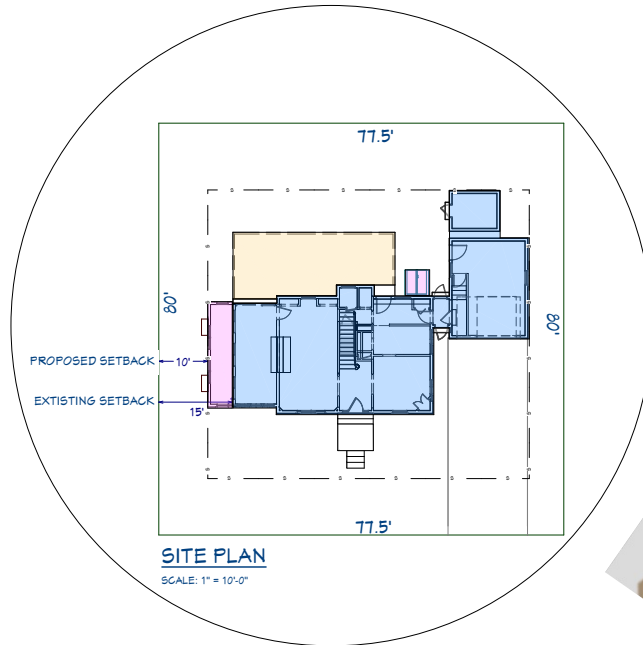
GROSS SF: 2964 SF
FIRST FLOOR: 1040 SF
SECOND FLOOR: 768 SF
BASEMENT: 768 SF
PORCH ENCLOSED: 18 SF
GARAGE: 320 SF
BULKHEAD: 35 SF
(note: Deck is 21" above grade: 282 sf)

AREA OF FOOTPRINT: 1463 SF
PROPOSED SETBACKS:
FRONT: 21'
REAR: 18'
LEFT: 10'
RIGHT: 0'
PROPOSED LOT COVERAGE: 23%
EXISTING PARCEL AREA: .14

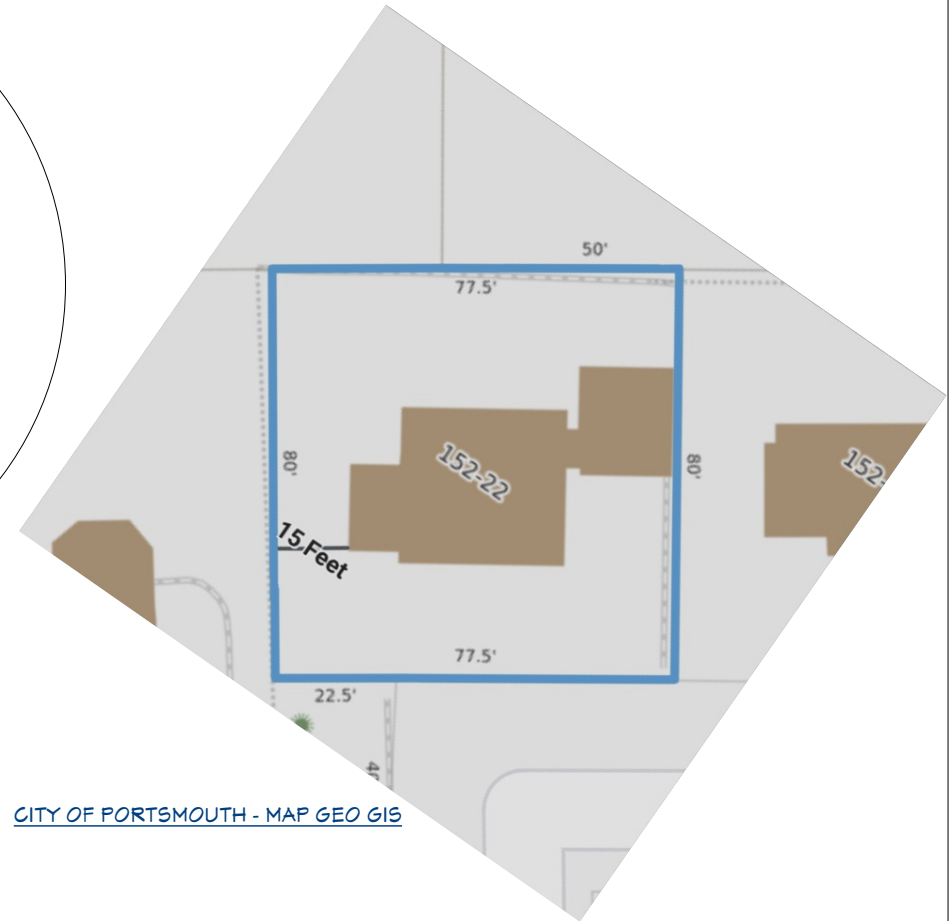
CAD BLOCK GUIDE

-  EXISTING FOOTPRINT (1320 SF)
-  EXISTING DECK @21" from grade (282 SF)
-  PROPOSED ADDITION (108 SF | 35 SF BULKHEAD EGRESS)

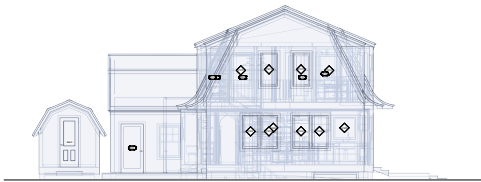
SITE PLAN



GOOGLE SATELITE SITE



CITY OF PORTSMOUTH - MAP GEO GIS



GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"

1200 GAL SEPTIC TANK
LEACH FIELD BASED ON INFO FROM WASHOE COUNTY
LEACH FIELD SHALL BE AN INFILTRATOR SYSTEM
40 CHAMBERS REQUIRED (ARC 36)
2 LINES 3' WIDE X 3' DEEP X 100 FEET LONG
40 CHAMBERS EACH
10' MIN. BETWEEN LINES
SEPTIC TANK 10' FROM HOUSE

NOTES:
SLOPE FINISH GRADE AWAY FROM THE HOUSE @ 5% FOR 10' MIN
LEAVE NATURAL DRAINAGE UNDISTURBED
APN #
21 RHONDA DR.



Revision Table	Number	Date	Description

PLOT PLAN

CLIENT:
SHERPICK STEINART

CONTACT:
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207.937.2020

DATE:

11/30/22

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SCALED FOR:
24" X 36"

SCALE:

SEE SCALE
ON DRAWINGS

SHEET:

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