

February 21, 2024

City of Portsmouth Zoning Board of Adjustment

1 Junkins Ave, 3rd Floor

Portsmouth, NH 03801

RE: Variance

Proposed ATM

750 Lafayette Rd, Portsmouth, NH 03801

Tax Map 244, Lot 8

Dear Members of the Board,

NES Group, Inc. ("Applicant") proposes to develop the above referenced site with an ATM as an accessory use to the principal use (bank) and we are proceeding with the entitlement process in support of same. The following documents have been included with this submission:

- Proposed Site Plans
- Existing Conditions Plan, completed by Control Point Associated, Inc., dated 11/9/2023
- Northeast Credit Union drawings, completed by Darren S. Antle, P.E., dated 07/25/2023
- NCR SelfServ ATM Elevations

The site (Tax Map 244, Lot 8) is 3.9+/- acres, located off Lafayette Road. The lot is located in the Gateway Corridor (G1) and is currently developed with multiple commercial buildings. The size, location, and access to existing buildings will remain the same. All proposed changes are within previous developed areas.

Please consider this correspondence as our request for a variance from the following requirements if and to the extent a variance is needed.

- ATM is permitted only as an accessory use to a related principal use, and is not permitted as a principal use or in a freestanding structure not attached to a principle use per Zoning Ordinance Section 10.1530
 - Per Zoning Ordinance Section 10.1530 - the proposed project will not be contrary to public interest. The existing site contains one ATM, so the addition of one will not add a new use to the lot.
 - Per Zoning Ordinance Section 10.233.22 – The spirit of the ordinance will be observed. While the proposed ATM is detached, the proposed use is allowed per the zoning ordinance.
 - Per Zoning Ordinance Section 10.233.23 – Justice will be served due to the procedures in place. We will be placing an accessory use in on the property which is permitted due



to the principal use. We are adding an additional ATM, which has a use that already exists on site. We will not be proposing a project that is contrary to public interest.

- Per Zoning Ordinance Section 10.233.24 – As stated above, the project proposes a use which already exists on the site, therefore it is our belief that surrounding property values will not be diminished by the addition another ATM. The location of the proposed ATM is as close to the existing building as it can be placed, and faces inward within the Gateway Corridor, and not toward residential uses.
- Per Zoning Ordinance Section 10.233.25 – Literal enforcement of the provision of the ordinance would result in unnecessary hardship. The proposed location of the drive-thru ATM is the only place where the traffic patterns for the site would remain the same and an entire redesign of the site's layout would not be needed, as well as the only location it can be placed due to the location and features of the existing building. To have to move it anywhere else would mean a complete redesign of the site, interference with the other companies that lease the buildings on the site, and cancellation of the project entirely.

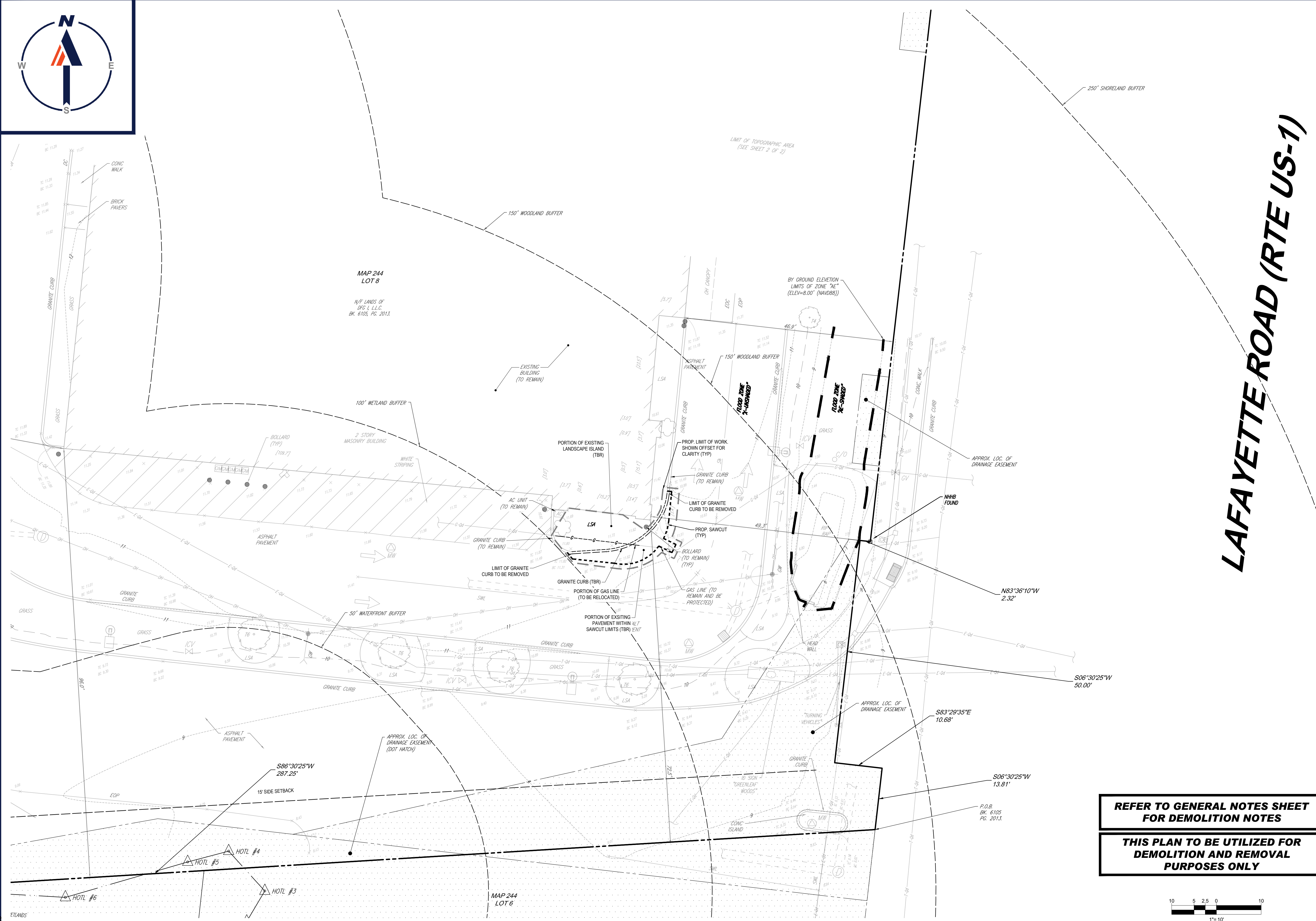
We look forward to discussing this project further with you. We trust that this information is sufficient for your needs at this time. Please do not hesitate to contact us at (603) 441-2900 should you have any questions or wish to discuss further.

Sincerely,

BOHLER ENGINEERING

A handwritten signature in blue ink, appearing to read "Keith Curran". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Keith Curran, P.E.



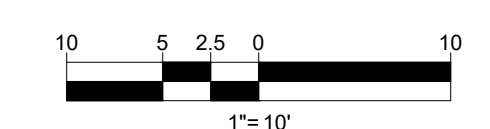
LAFAYETTE ROAD (RTE US-1)

MAP 244
LOT 8
N/2 LANDS OF
TFS 4, L.L.C.
BK. 6105, PG. 2013.

MAP 244
LOT 6

**REFER TO GENERAL NOTES SHEET
FOR DEMOLITION NOTES**

**THIS PLAN TO BE UTILIZED FOR
DEMOLITION AND REMOVAL
PURPOSES ONLY**



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	2/21/2024	WETLAND DELINEATION	AP	KWC

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PROJECT No.: MAA220369
 DRAWN BY: AP
 CHECKED BY: KWC
 DATE: 11/27/2023
 CAD I.D.: MAA230369.00-SPPD-1A

SITE DEVELOPMENT PLANS
FOR



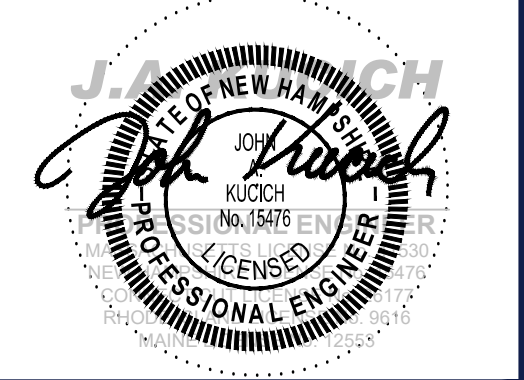
PROPOSED DEVELOPMENT

MAP #244, LOT #8
750 LAFAYETTE ROAD
CITY OF PORTSMOUTH
ROCKINGHAM COUNTY,
NEW HAMPSHIRE

BOHLER

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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SHEET TITLE:

DEMOLITION PLAN

SHEET NUMBER:
C-201

REVISION 1 - 2/21/2023

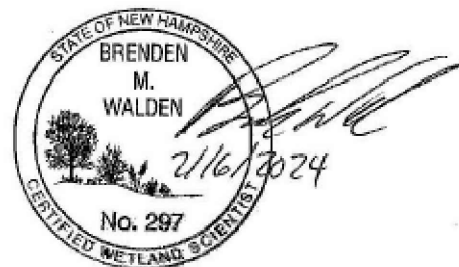
P:\2023\MAA230369\03\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\MAA230369_03-SPPD-1A...LAYOUT: C-201 DEMO



WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC., IN ACCORDANCE WITH:

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, NORTH-CENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0
3. UNITED STATES DEPARTMENT OF AGRICULTURE (2010). NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009).



SITE INFORMATION

1. APPLICANT: NES GROUP, INC. 905 SOUTH MAIN STREET, BUILDING B, STE 202 PORTSMOUTH, NH 03804
2. OWNER: DFG LLC 750 LAFAYETTE ROAD PORTSMOUTH, NH 03801
3. PARCEL: MAP #244, LOT#8 750 LAFAYETTE ROAD PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE

ZONING ANALYSIS TABLE

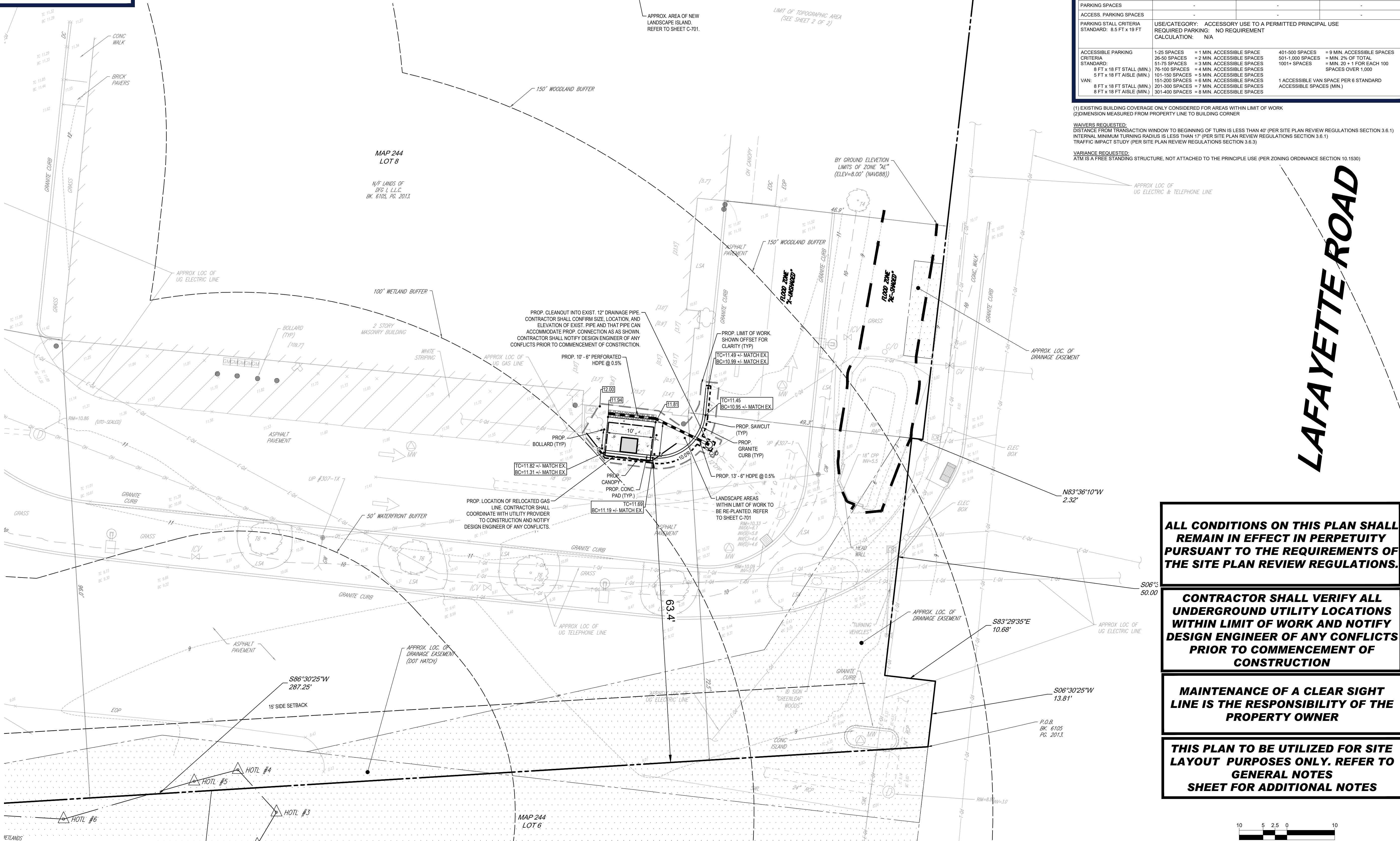
ZONING DISTRICT	GATEWAY CORRIDOR (G1)		
OVERLAY DISTRICT	WETLAND CONDITIONAL USE PERMIT		
REQUIRED PERMIT	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	N/A	3.91 AC (170,361 SF)	NO CHANGE
MIN. LOT WIDTH	N/A	N/A	N/A
MAX. BLDG COVERAGE	70%	N/A (1)	UNCHANGED
MIN. FRONT SETBACK	70' FROM ROAD CENTERLINE	57.6' (2)	NO CHANGE
MIN. SIDE SETBACK	15'	72.9'	63.4'
MIN. REAR SETBACK	15'	88.3'	NO CHANGE
MAX. BUILDING HEIGHT	4 STORIES OR 50'	2 STORIES	NO CHANGE
MIN. OPEN SPACE	10%	UNKNOWN	NO CHANGE
PARKING SPACES	-	-	-
ACCESS PARKING SPACES	-	-	-
PARKING STALL CRITERIA STANDARD: 8.5 FT x 19 FT	USE/CATEGORY: ACCESSORY USE TO A PERMITTED PRINCIPAL USE REQUIRED PARKING: NO REQUIREMENT CALCULATION: N/A		
ACCESSIBLE PARKING CRITERIA STANDARD: 8 FT x 18 FT STALL (MIN.) 5 FT x 18 FT AISLE (MIN.) 8 FT x 18 FT STALL (MIN.) 8 FT x 18 FT AISLE (MIN.)	1-25 SPACES = 1 MIN. ACCESSIBLE SPACE 26-50 SPACES = 2 MIN. ACCESSIBLE SPACES 51-75 SPACES = 3 MIN. ACCESSIBLE SPACES 76-100 SPACES = 4 MIN. ACCESSIBLE SPACES 101-150 SPACES = 5 MIN. ACCESSIBLE SPACES 151-200 SPACES = 6 MIN. ACCESSIBLE SPACES 201-300 SPACES = 7 MIN. ACCESSIBLE SPACES 301-400 SPACES = 8 MIN. ACCESSIBLE SPACES	401-500 SPACES = 9 MIN. ACCESSIBLE SPACES 501-1,000 SPACES = MIN. 2% OF TOTAL 1001+ SPACES = MIN. 20 + 1 FOR EACH 1,000 SPACES OVER 1,000	
VAN: 8 FT x 18 FT STALL (MIN.) 8 FT x 18 FT AISLE (MIN.)		1 ACCESSIBLE VAN SPACE PER 6 STANDARD ACCESSIBLE SPACES (MIN.)	

N/A - NOT APPLICABLE
N/S - NOT SPECIFIED
(V) - VARIANCE REQUESTED
(W) - WAIVER REQUESTED
(E) - EXIST. NON-CONFORMANCE

(1) EXISTING BUILDING COVERAGE ONLY CONSIDERED FOR AREAS WITHIN LIMIT OF WORK
(2) DIMENSION MEASURED FROM PROPERTY LINE TO BUILDING CORNER

WARRANTS REQUESTED:
DISTANCE FROM TRANSACTION WINDOW TO BEGINNING OF TURN IS LESS THAN 40' (PER SITE PLAN REVIEW REGULATIONS SECTION 3.6.1)
INTERNAL MINIMUM TURNING RADIUS IS LESS THAN 17' (PER SITE PLAN REVIEW REGULATIONS SECTION 3.6.1)
TRAFFIC IMPACT STUDY (PER SITE PLAN REVIEW REGULATIONS SECTION 3.6.3)

VARIANCE REQUESTED:
ATM IS A FREE STANDING STRUCTURE, NOT ATTACHED TO THE PRINCIPLE USE (PER ZONING ORDINANCE SECTION 10.1530)



LAFAYETTE ROAD

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SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
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PROJECT No.: MAA220369
DRAWN BY: AP
CHECKED BY: KWC
DATE: 11/27/2023
CAD I.D.: MAA230369.00-SPDP-1A

PROJECT:

SITE DEVELOPMENT PLANS FOR



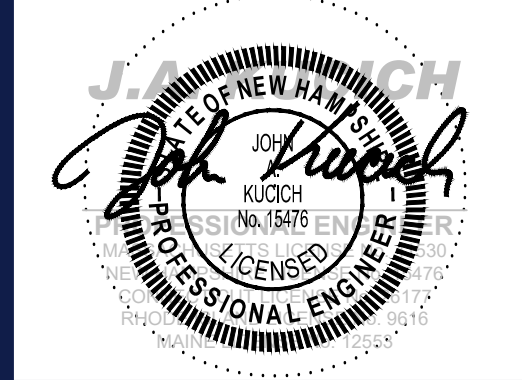
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352 TURNPIKE ROAD
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Phone: (508) 480-9900

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SHEET TITLE:

SITE LAYOUT PLAN

SHEET NUMBER:

C-301

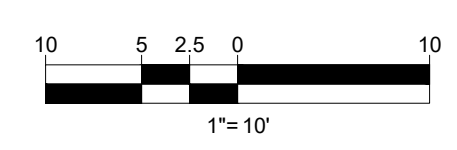
REVISION 1 - 2/21/2023

ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS WITHIN LIMIT OF WORK AND NOTIFY DESIGN ENGINEER OF ANY CONFLICTS PRIOR TO COMMENCEMENT OF CONSTRUCTION

MAINTENANCE OF A CLEAR SIGHT LINE IS THE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY. REFER TO GENERAL NOTES SHEET FOR ADDITIONAL NOTES



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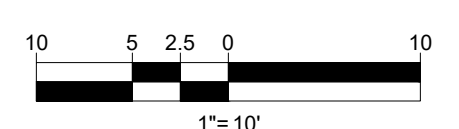
LAFAYETTE ROAD (RTE US-1)

MAP 244
LOT 8
1/4 LANDS OF
TRD 1, L.L.C.
BK. 6105, PG. 2013.

MAP 244
LOT 6

**THIS PLAN TO BE UTILIZED FOR SITE
SOIL AND EROSION CONTROL
PURPOSES ONLY**

**REFER TO SOIL EROSION CONTROL
NOTES & DETAIL SHEET FOR
EROSION NOTES AND DETAILS**



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LAND SURVEYING
PROGRAM MANAGEMENT
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1	2/21/2024	WETLAND DELINEATION	AP KWC

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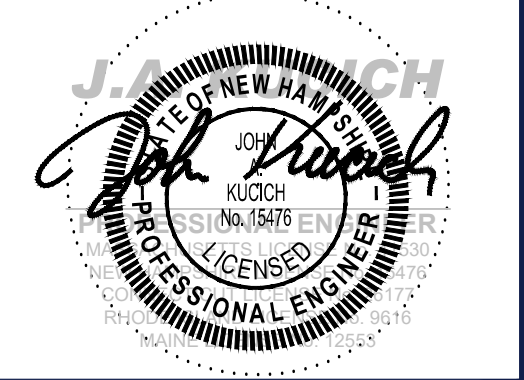
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PROJECT:
**SITE
DEVELOPMENT
PLANS**
FOR



PROPOSED DEVELOPMENT
MAP #244, LOT #8
750 LAFAYETTE ROAD
CITY OF PORTSMOUTH
ROCKINGHAM COUNTY,
NEW HAMPSHIRE

BOHLER
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com



SHEET TITLE:
**SOIL EROSION
& SEDIMENT
CONTROL PLAN**

SHEET NUMBER:
C-601

REVISION 1 - 2/21/2023

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EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDINGS MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDINGS UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUDDY PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOIL MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1. SOIL ON SLOPES STEEPER THAN 3:1 SHOULD BE PEGGED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

LOCATION	MULCH	MULCH RATE (1000 SF)
PROTECTED AREA	STRAW	100 POUNDS
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW (ANCHORED)	185-275 POUNDS 100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCELSIOR MAT	AS REQUIRED
GREATER THAN 3:1	(REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)	

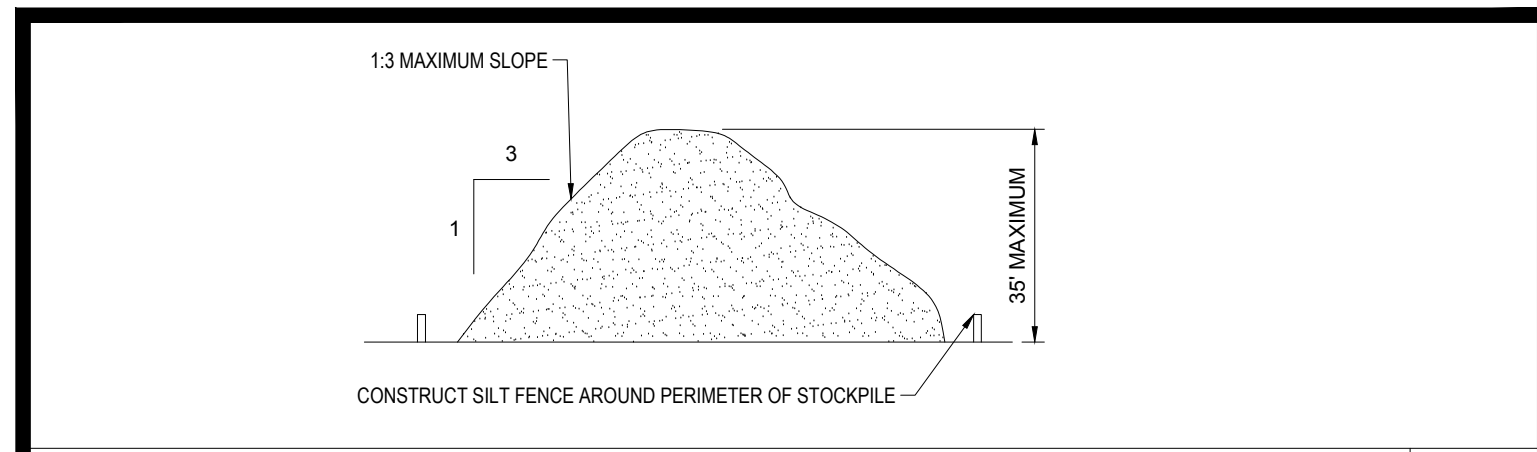
- * HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OF RMB SHALL BE USED TO ADDITIONAL WIND CONTROL.
 - * MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.
- PROPOSED LOCATIONS OF SURFACE STORMWATER MANAGEMENT BASINS CAN BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION. TRAPS SHALL BE SIZED AND CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER NEW HAMPSHIRE DES REQUIREMENTS AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 1 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.
 - STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
 - EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.
 - THE CONTRACTOR MUST PERFORM DEWATERING (IF REQUIRED), IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
 - THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. THE CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. THE CONTRACTOR MUST MAINTAIN SPILL PREVENTION AND RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY THE CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION AND RESPONSE PROCEDURES.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

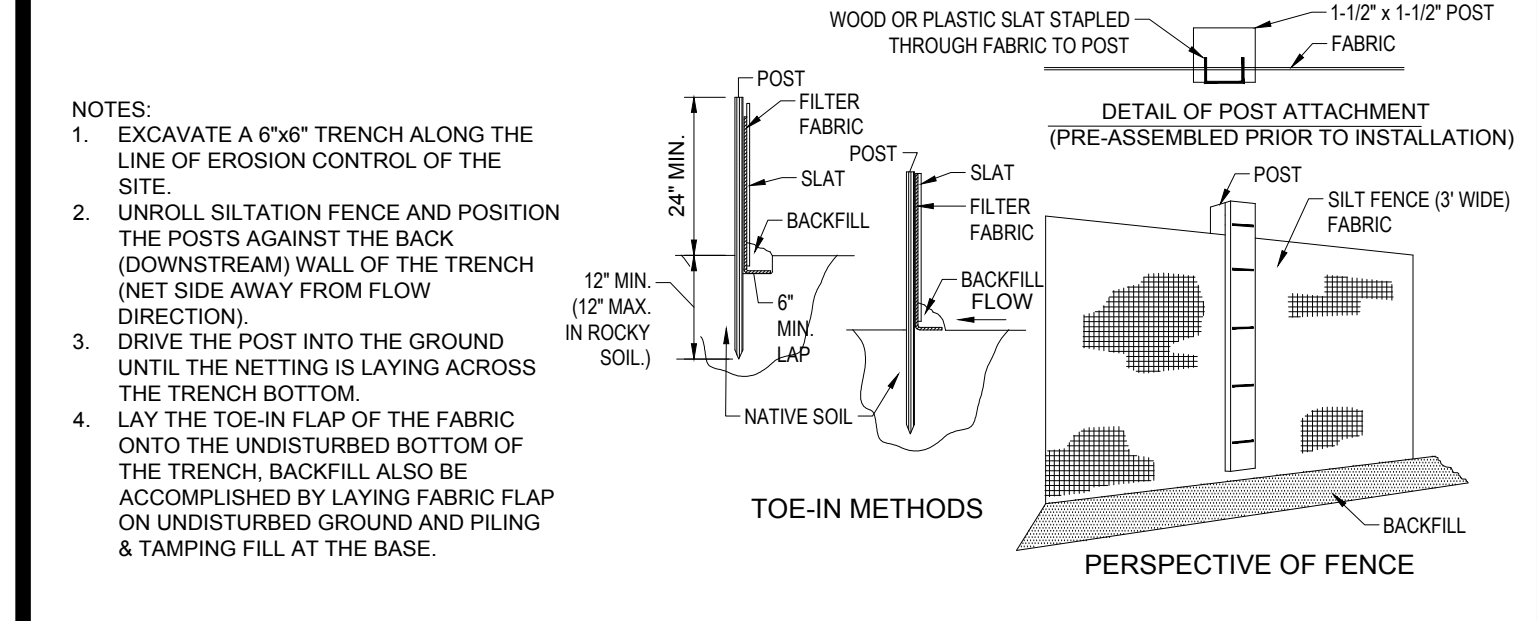
- WINTER CONSTRUCTION PERIOD: OCTOBER 1 THROUGH MAY 1.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN TEMPORARILY STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15TH AND MAY 1ST, LOAM OR SEED WILL NOT BE REQUIRED, DURING PERIODS OF ABOVE FREEZING TEMPERATURES. THE SURFACE SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER OCTOBER 15TH AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 200 - 300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
 - BETWEEN THE DATES OF OCTOBER 15TH AND MAY 1ST ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST. THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER OCTOBER 15TH THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

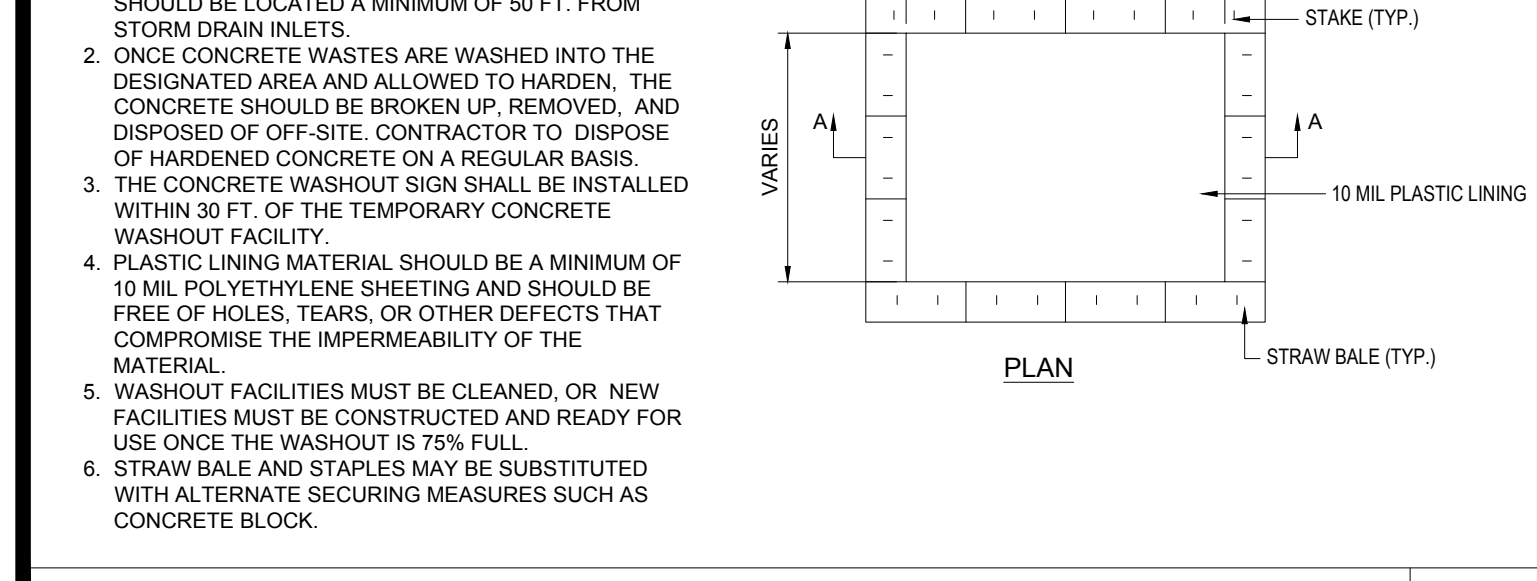
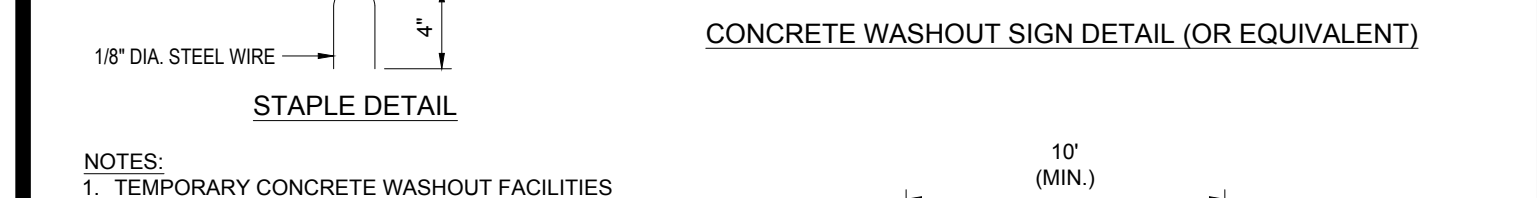
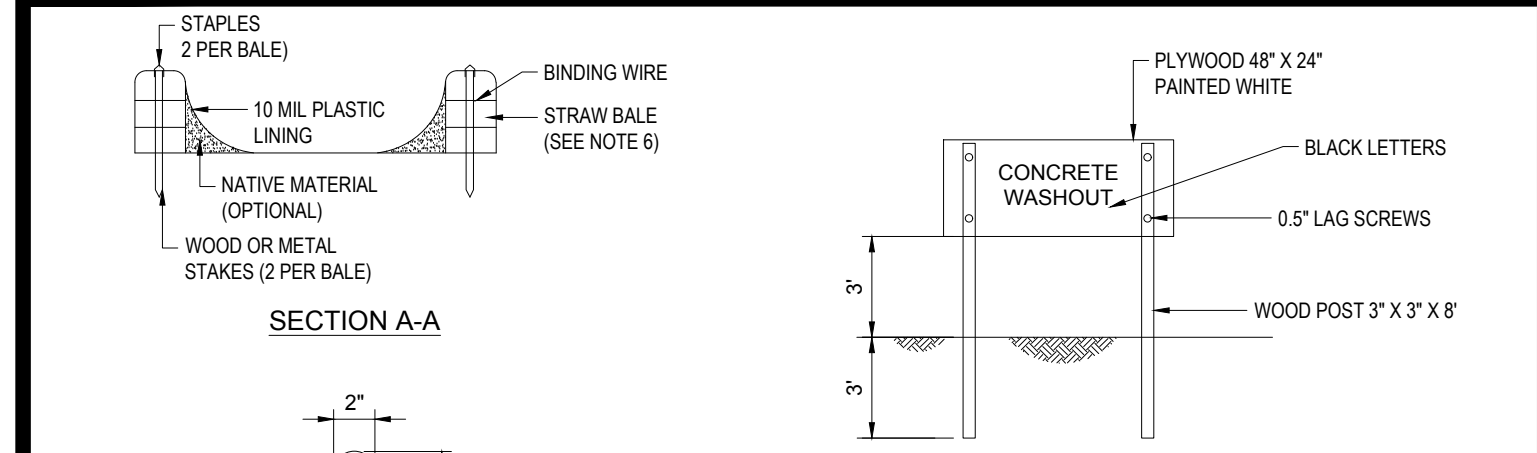
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
- THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 0.50 ACRES.
 - THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND SOIL STOCKPILES.
 - INSTALL FILTER FABRIC DROP INLET PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
 - THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
 - THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
 - THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LOADED RUNOFF FROM EXITING THE SITE.
 - THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
 - THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
 - THE CONTRACTOR MUST REMOVE EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
 - THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL DISCHARGE OF SILT-LOADED RUNOFF FROM EXITING THE SITE.
 - THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLAN(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
 - THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
 - THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
 - SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE OBSERVATION IN ORDER TO MAINTAIN THE COMPLETE EFFECTIVENESS OF ALL CONTROL MEASURES.
 - THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.



TEMPORARY STOCKPILE N.T.S.



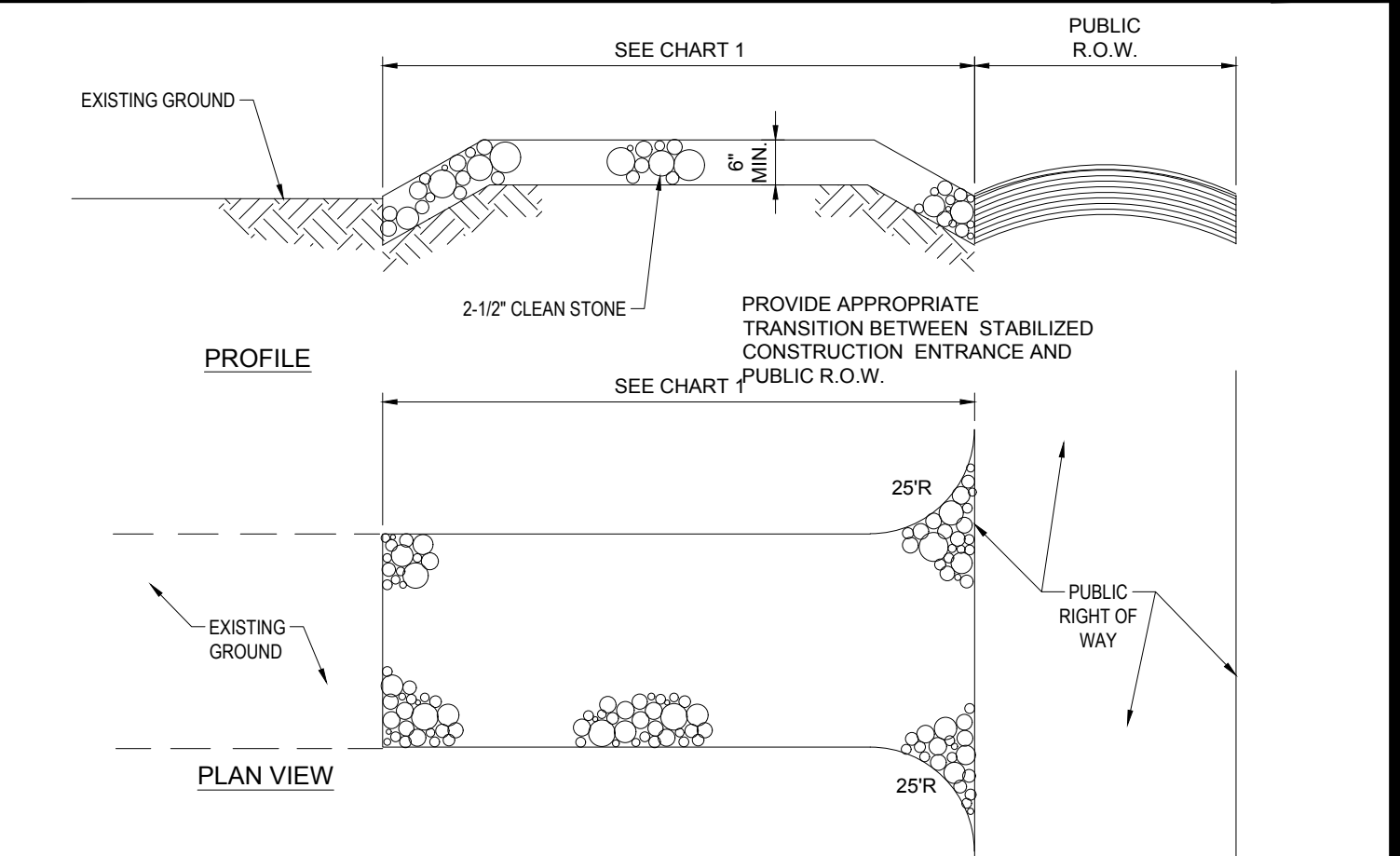
TYP. SILTATION FENCE N.T.S.



CONCRETE WASTE MANAGEMENT AREA N.T.S.

- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
 - INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
 - DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING
 - INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6\"/>

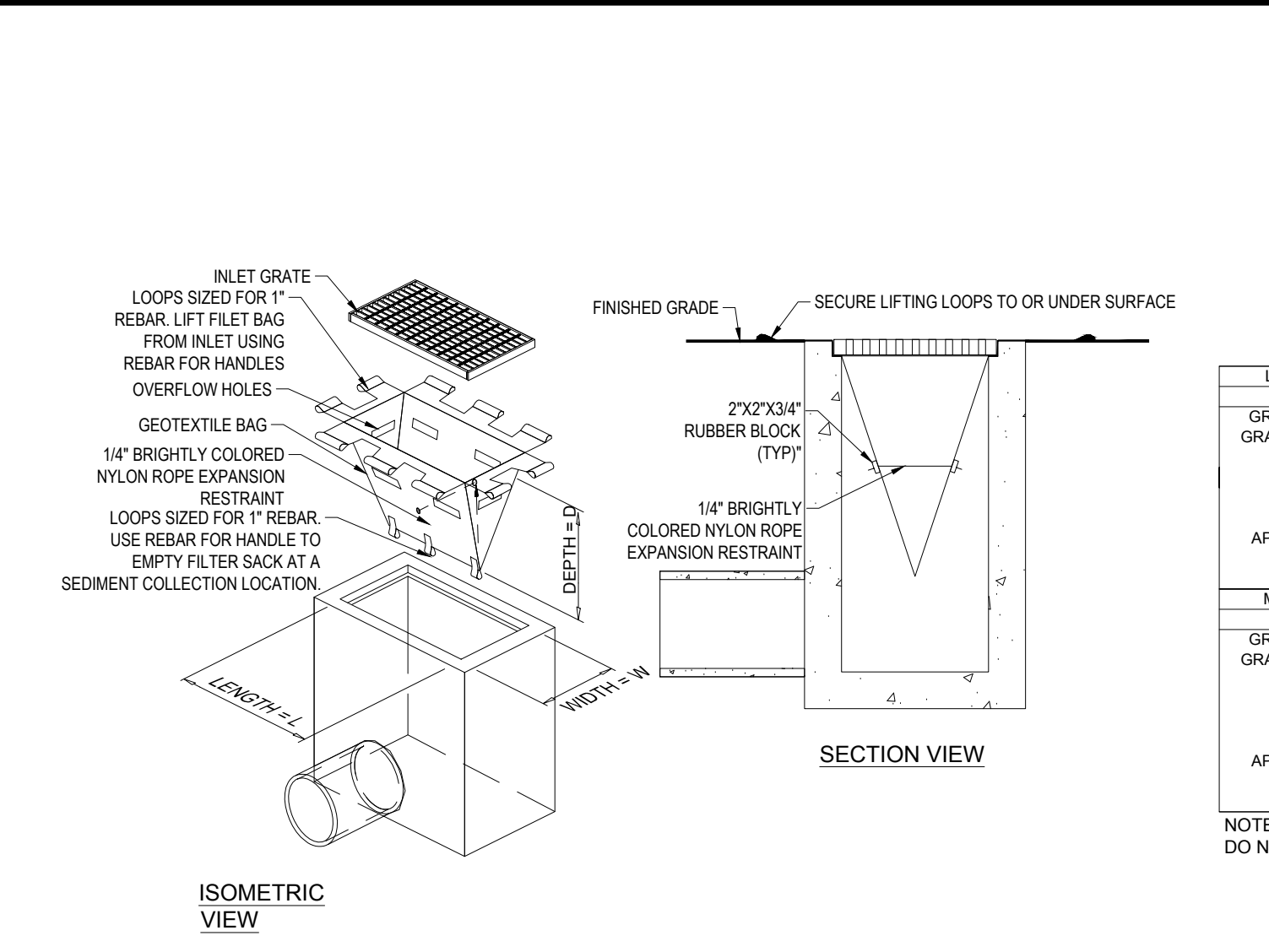
RECOMMENDED CONSTRUCTION SEQUENCE



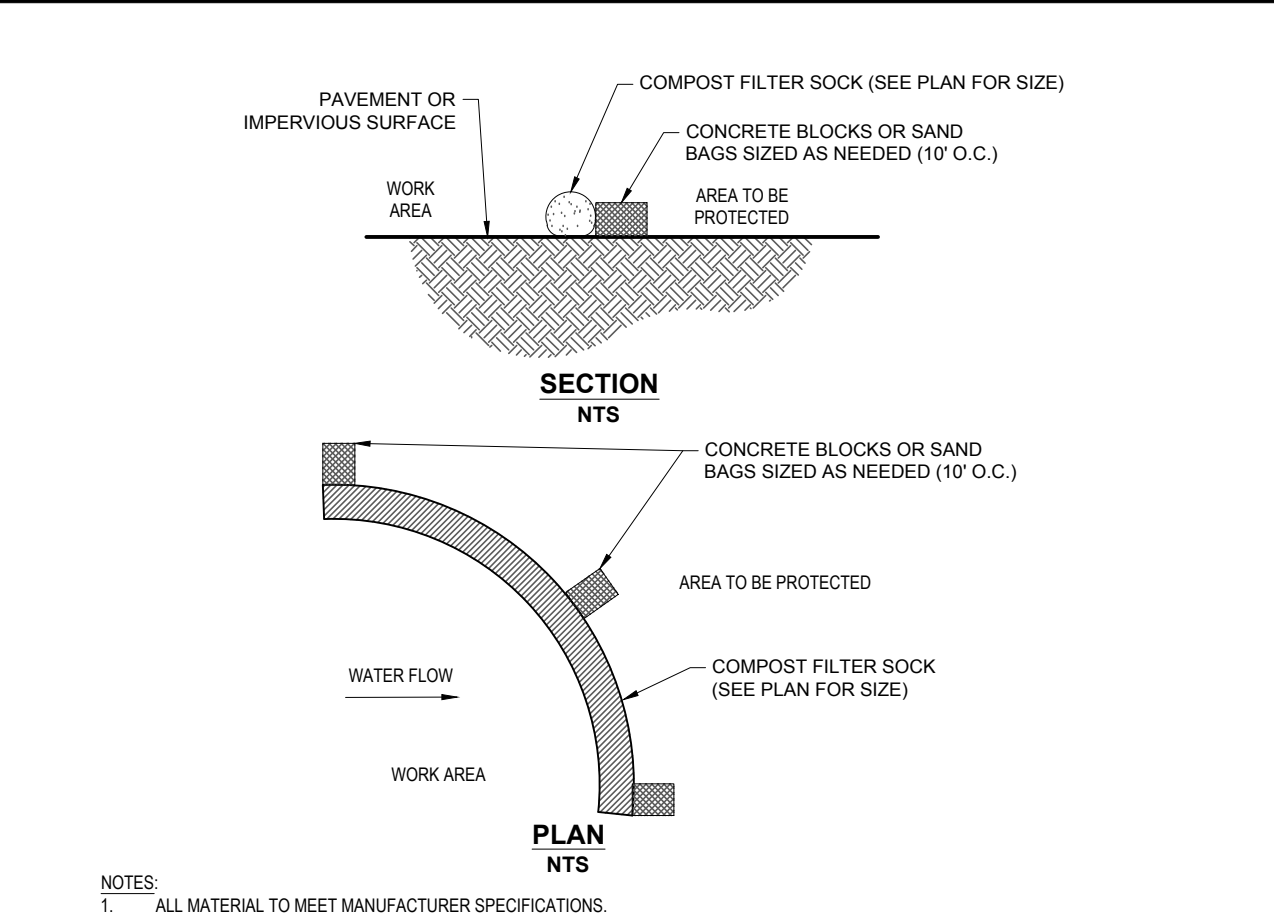
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED
0 TO 2%	COARSE GRAINED SOILS: 50 FT FINE GRAINED SOILS: 100 FT
2% TO 5%	100 FT 200 FT
>5%	ENTIRE ENTRANCE STABILIZED WITH FABC BASE COURSE (1)

(1) AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

STABILIZED CONSTRUCTION ENTRANCE



FILTER SACKS (GRADED INLETS) N.T.S.



COMPOST FILTER SOCK (PAVED CONDITION) N.T.S.

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH, "W", OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH, "D", OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH, "L", OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	2/21/2024	WETLAND DELINEATION	AP	KWC

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PROJECT No.: MAA220369
DRAWN BY: AP
CHECKED BY: KWC
DATE: 11/27/2023
CAD I.D.: MAA220369.00-SPPD-1A

SITE DEVELOPMENT PLANS FOR

NES Group

PROPOSED DEVELOPMENT
MAP #244, LOT #8
750 LAFAYETTE ROAD
CITY OF PORTSMOUTH
ROCKINGHAM COUNTY,
NEW HAMPSHIRE

BOHLER
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

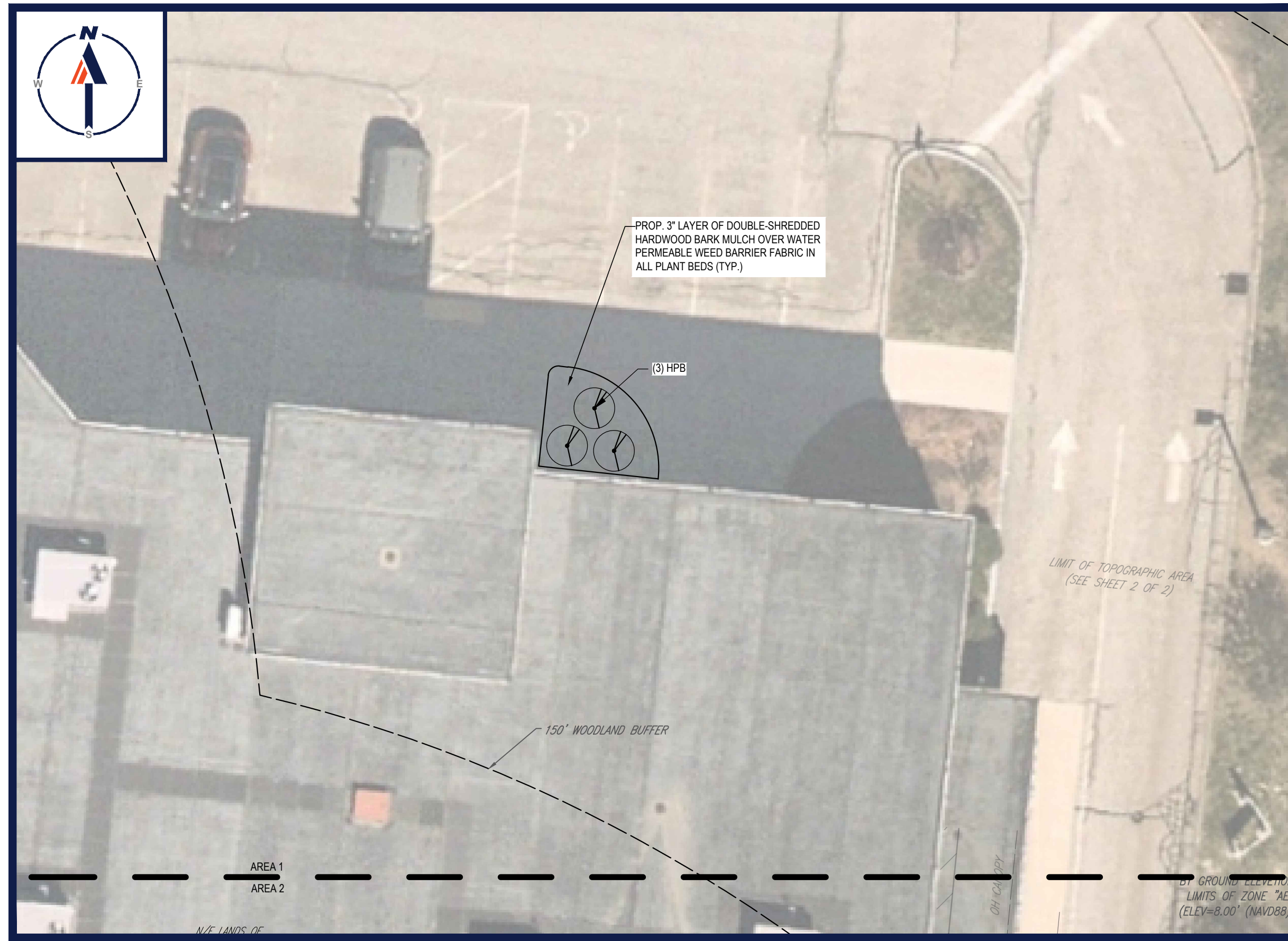
JOHN J. D'AMICO
PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE
LICENSE NO. 1000

SHEET TITLE: SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

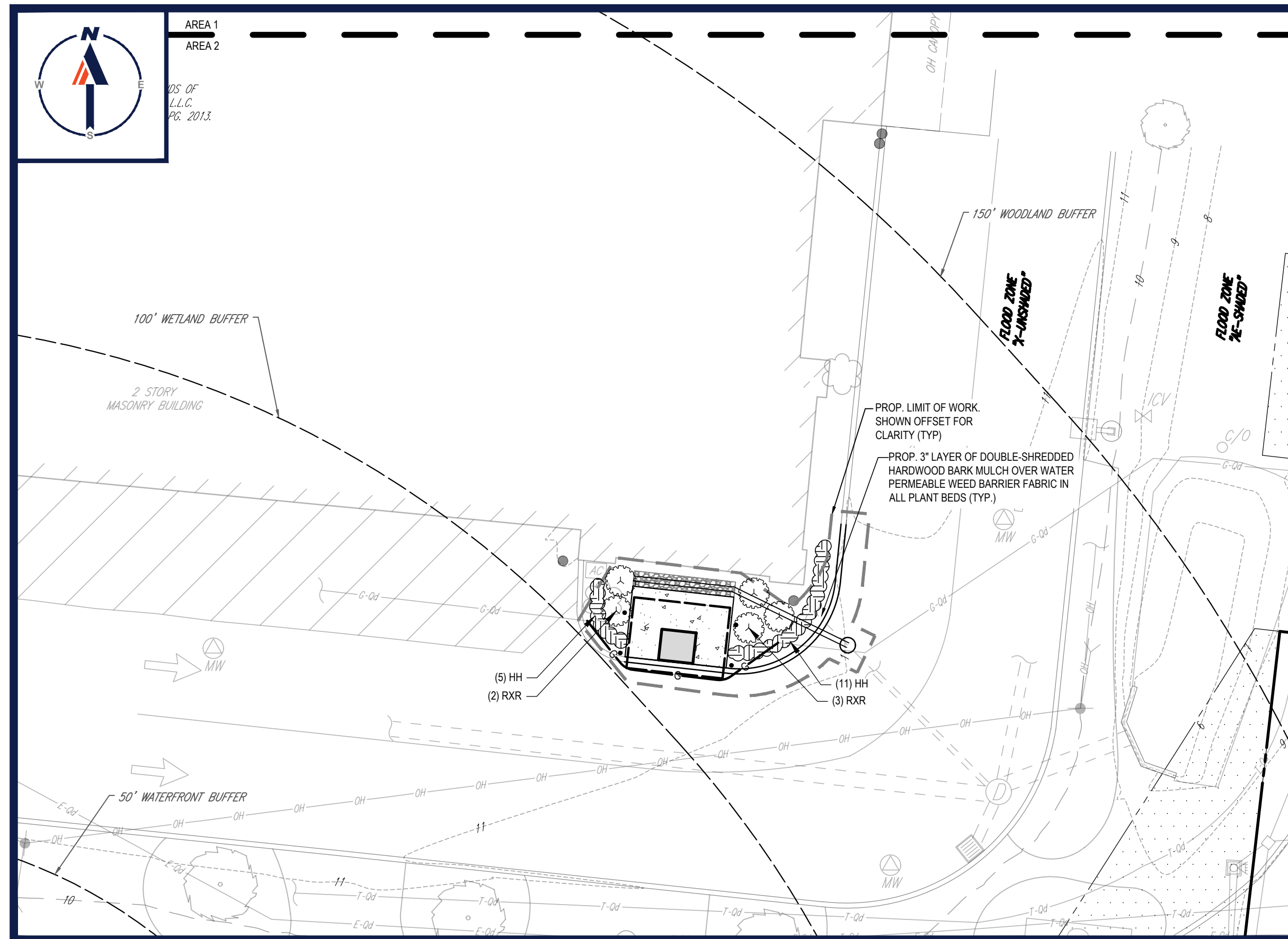
SHEET NUMBER: **C-602**

REVISION 1 - 2/21/2023

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AREA 1



AREA 2

PLANT SCHEDULE					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
SHRUBS					
HPB	3	HYDRANGEA PANICULATA 'LVOBO'	BOBO PANICLE HYDRANGEA	20-24"	CONTAINER
RXR	5	ROSA X 'RADRAZZ'	KNOCK OUT SHRUB ROSE	18-24"	CONTAINER
PERENNIALS					
HH	16	HEMEROCALLIS X HAPPY RETURNS	HAPPY RETURNS DAYLILY	1 GAL.	CONTAINER

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REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	2/21/2024	WETLAND DELINEATION	AP	KWC

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PROJECT No.: MAA220369
 DRAWN BY: AP
 CHECKED BY: KWC
 DATE: 11/27/2023
 CAD I.D.: MAA230369.00-SPPD-1A

SITE DEVELOPMENT PLANS

NESGroup

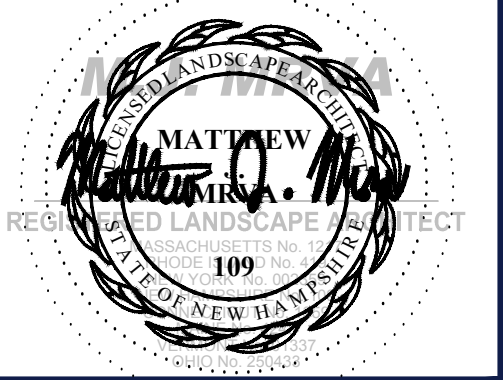
PROPOSED DEVELOPMENT

MAP #244, LOT #8
 750 LAFAYETTE ROAD
 CITY OF PORTSMOUTH
 ROCKINGHAM COUNTY,
 NEW HAMPSHIRE

BOHLER™

3 EXECUTIVE PARK DRIVE, FLOOR 2
 BEDFORD, NH 03110
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SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
C-701

REVISION 1 - 2/21/2023

OWNER MAINTENANCE RESPONSIBILITIES

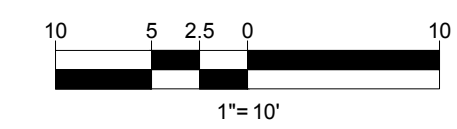
UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
- TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

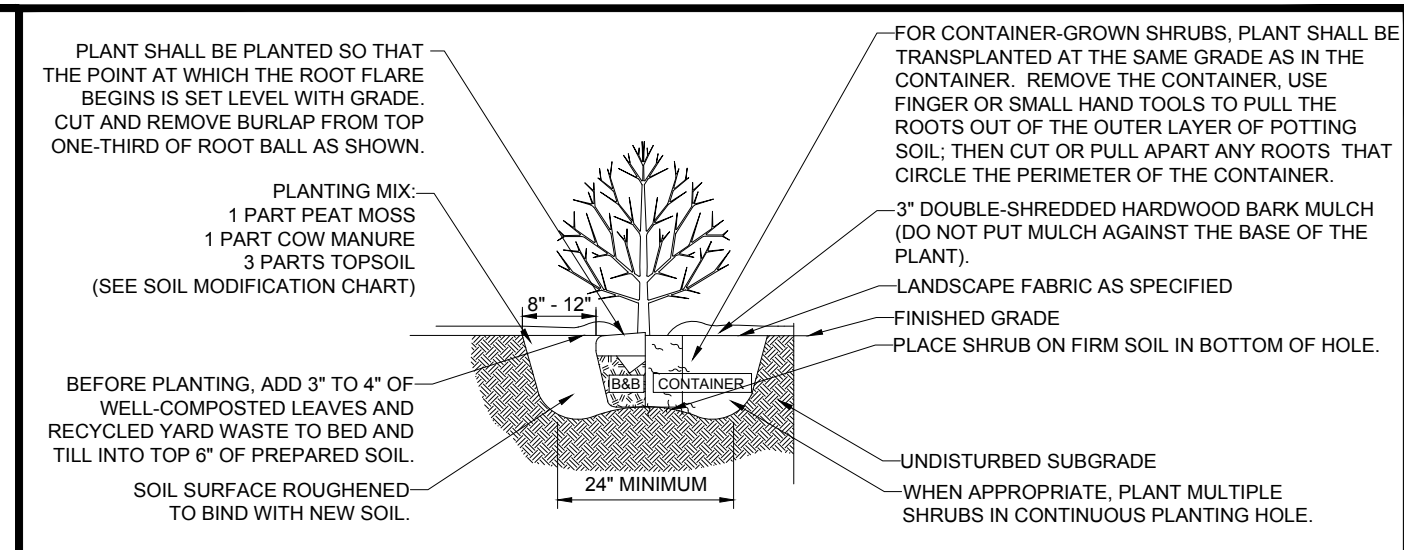
THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS



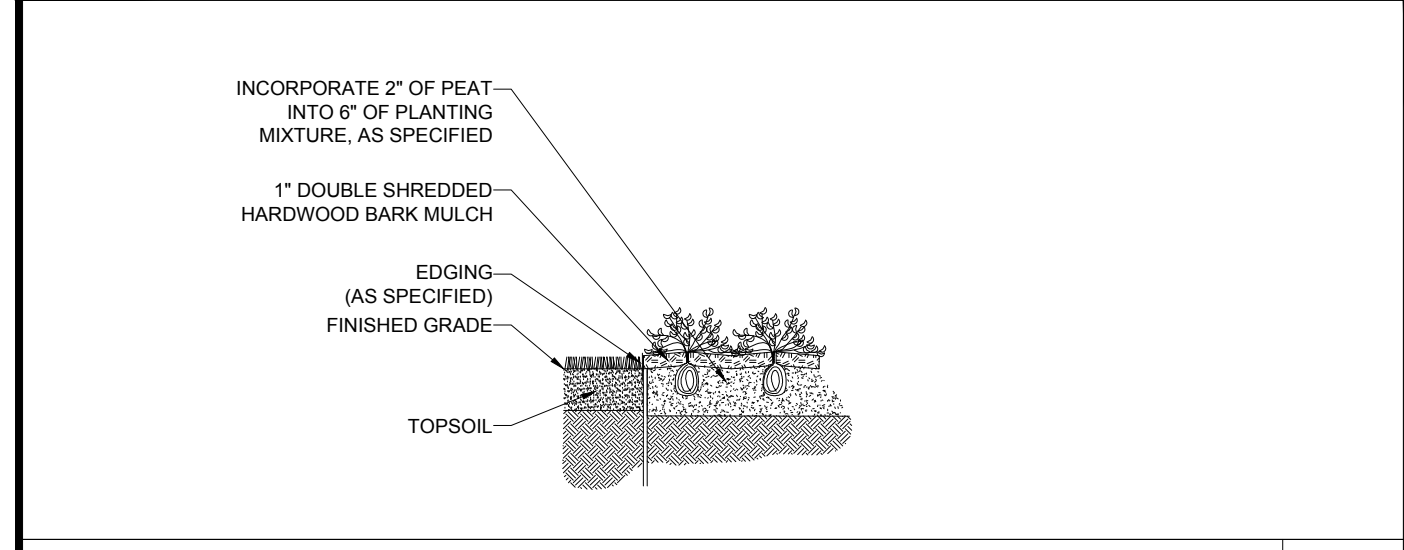
LANDSCAPE SPECIFICATIONS

- SCOPE OF WORK
 - THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
- MATERIALS
 - GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
 - TOPSOIL - NATURAL, FRABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0, IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOUDS.
 - LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
 - LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 - SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
 - MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.
 - FERTILIZER
 - FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHER-PROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 - FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - PLANT MATERIAL
 - ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
 - IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
 - PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 - TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
 - CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 - SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
 - TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.
- GENERAL WORK PROCEDURES
 - CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 - WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- SITE PREPARATIONS
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
 - CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
- TREE PROTECTION
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 - A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE" OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
 - WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 - AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
- SOIL MODIFICATIONS
 - CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 - THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 - TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
 - TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- FINISHED GRADING
 - UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
- TOPSOILING
 - CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 - ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
 - ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY) (SEE SPECIFICATION 6.A.1):
 - 20 POUNDS "GRO-POWER" OR APPROVED SOIL CONDITIONER/FERTILIZER
 - 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
 - THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.
- PLANTING
 - INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.



SHRUB PLANTING DETAIL

N.T.S.



GROUNDCOVER PLANTING

N.T.S.

P:\2023\MAA230369\0\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\MAA230369-00-SPPD-FA-LAYOUT-C-702.LOT02

BOHLER
 THE SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	2/21/2024	WETLAND DELINEATION	AP	KWC

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PROJECT No.: MAA220369
 DRAWN BY: AP
 CHECKED BY: KWC
 DATE: 11/27/2023
 CAD I.D.: MAA230369.00-SPPD-1A

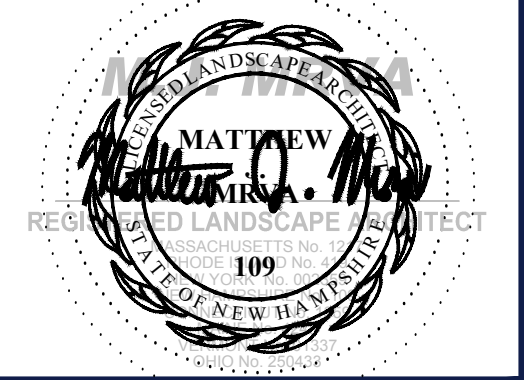
SITE DEVELOPMENT PLANS

FOR

NESGroup

PROPOSED DEVELOPMENT
 MAP #244, LOT #8
 750 LAFAYETTE ROAD
 CITY OF PORTSMOUTH
 ROCKINGHAM COUNTY,
 NEW HAMPSHIRE

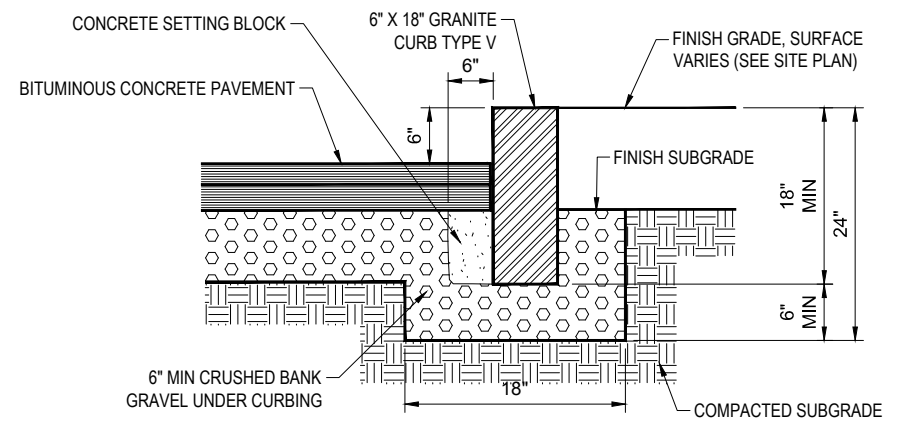
BOHLER
 3 EXECUTIVE PARK DRIVE, FLOOR 2
 BEDFORD, NH 03110
 Phone: (603) 441-2900
 www.BohlerEngineering.com



SHEET TITLE:
LANDSCAPE NOTES & DETAILS

SHEET NUMBER:
C-702

REVISION 1 - 2/21/2023

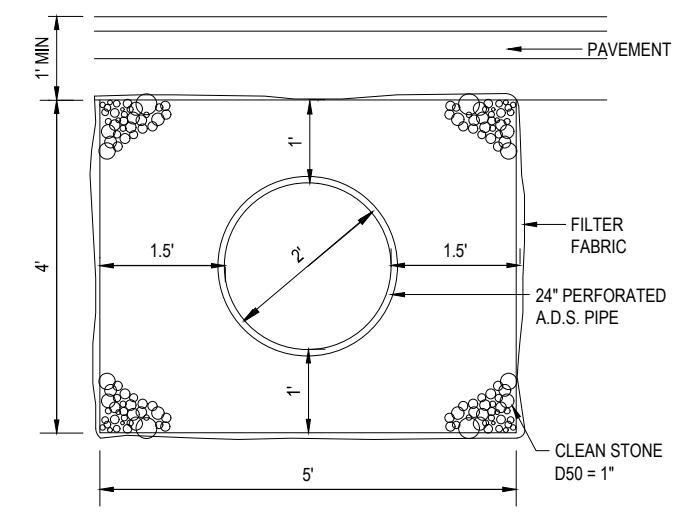


NOTE: INSTALL WITHIN ALL PUBLIC WAYS, CORNERS, AND RADIUS SECTIONS

VERTICAL GRANITE CURB

NOT TO SCALE (S300.01xx_07/2022)

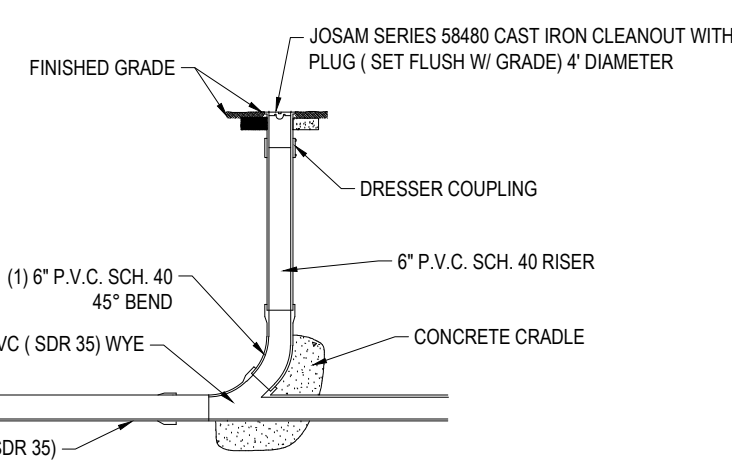
N.T.S.



ADS PIPE AND STONE TRENCH DETAIL

NOT TO SCALE (S500.01xx_07/2022)

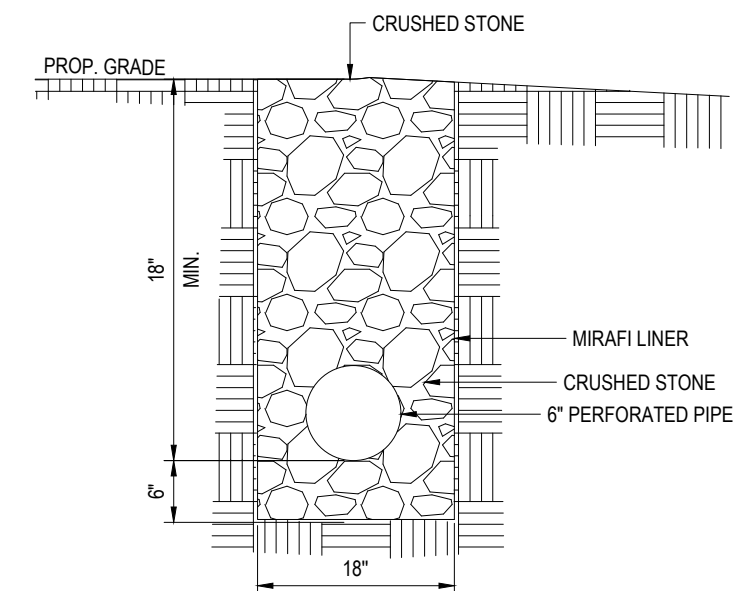
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CLEANOUT (IN LINE)

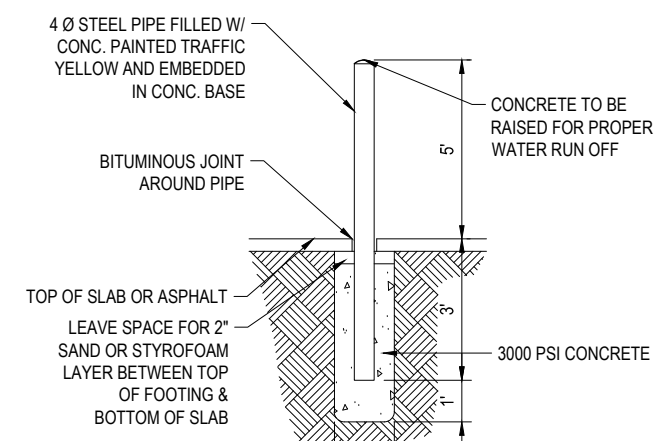
NOT TO SCALE (S500.01xx_07/2022)

N.T.S.



GRAVEL DRAINAGE SWALE WITH PERFORATED PIPE

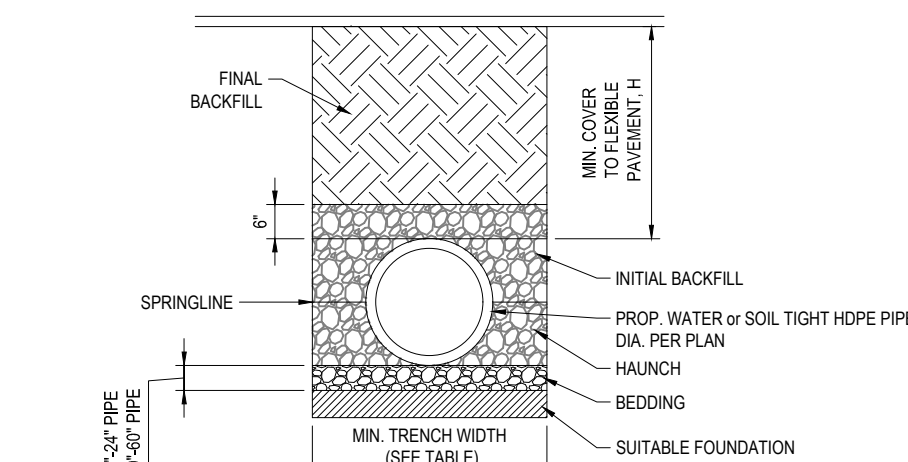
N.T.S.



NOTE: BOLLARDS REQ'D AT BLDG. CORNERS, FIRE HYDRANTS, WATER METER, GAS METER, SPRINKLER RISER, SHOWN TRANSFORMER & ALL UTILITIES AT LOCATIONS SHOWN ON THESE DRAWINGS INTERIOR & EXTERIOR.

BOLLARD

NOT TO SCALE (S300.06xx_07/2022)



- NOTES:
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
 3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
 5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION, FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

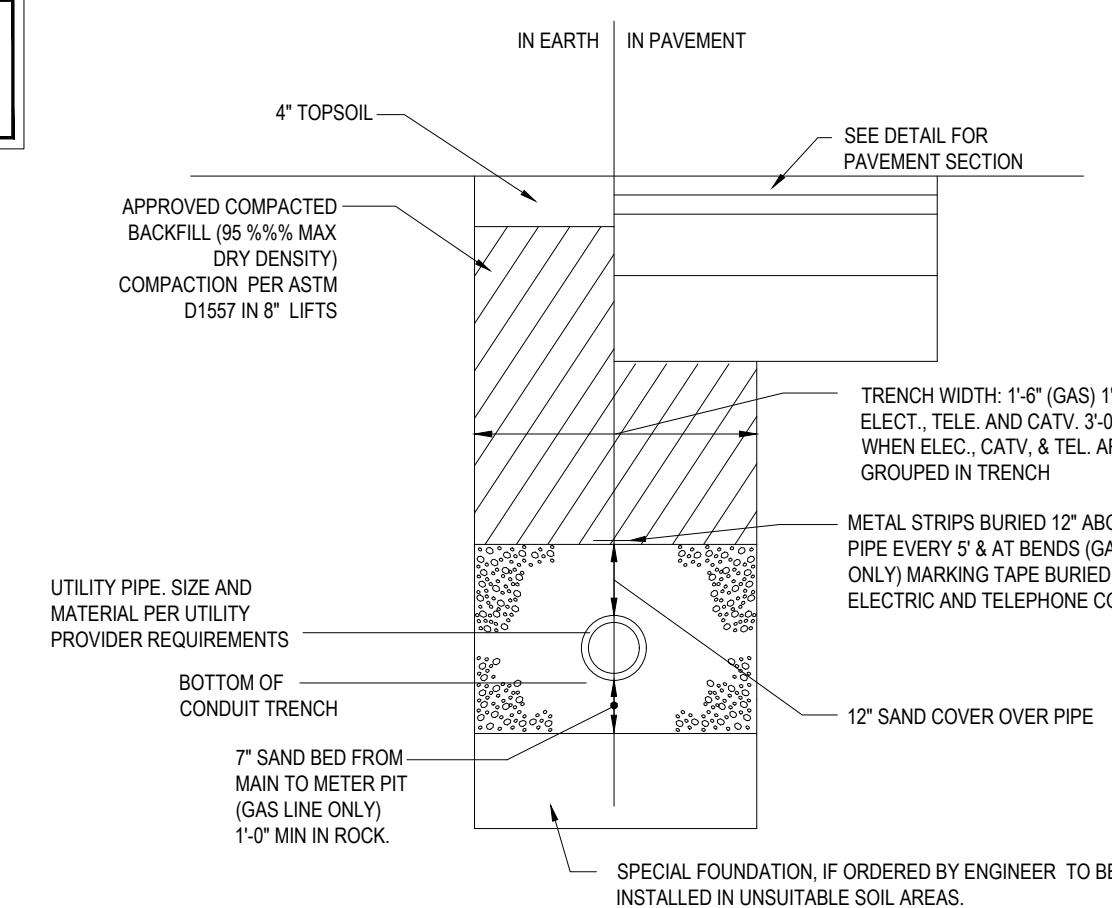
HDPE STORM DRAINAGE TRENCH

NOT TO SCALE (S500.01xx_07/2022)

N.T.S.

PIPE DIA.	MIN. TRENCH WIDTH
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
48"	80"
60"	96"

NOTE: THE CONTRACTOR IS DIRECTED AND RESPONSIBLE TO SLOPE AND/OR SHIELD THE TRENCH EXCAVATION IN ACCORDANCE WITH ALL APPLICABLE OSHA REGULATIONS.



NOTE: ALL PROPOSED UNDERGROUND UTILITIES THAT FALL WITHIN THE EXISTING ELECTRIC EASEMENTS SHALL BE AASHTO HS-25 RATED.

ELECTRICAL, TELEPHONE AND GAS TRENCH DETAIL

N.T.S.

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 SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING
 PROGRAM MANAGEMENT
 LANDSCAPE ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	2/21/2024	WETLAND DELINEATION	AP	KWC

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PROJECT No.: MAA220369
 DRAWN BY: AP
 CHECKED BY: KWC
 DATE: 11/27/2023
 CAD I.D.: MAA230369.00-SPPD-1A

SITE DEVELOPMENT PLANS

FOR
NESGroup
 PROPOSED DEVELOPMENT
 MAP #244, LOT #8
 750 LAFAYETTE ROAD
 CITY OF PORTSMOUTH
 ROCKINGHAM COUNTY,
 NEW HAMPSHIRE

BOHLER
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA 01772
 Phone: (508) 480-9900
 www.BohlerEngineering.com

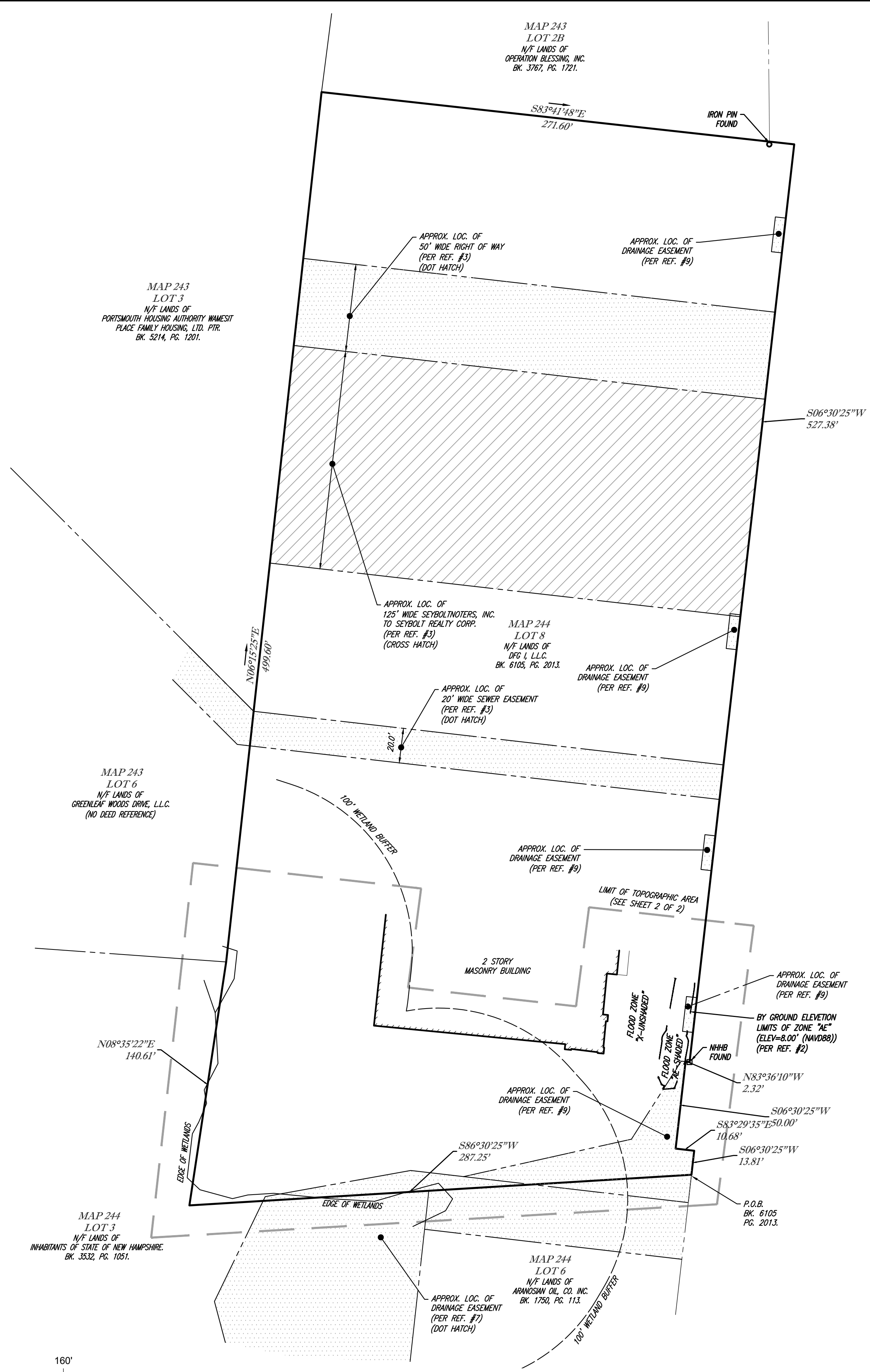
John A. Kuch
 JOHN A. KUCH
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW HAMPSHIRE

SHEET TITLE:
DETAIL SHEET
 SHEET NUMBER:
C-901
 REVISION 1 - 2/21/2023

P:\2023\MAA230369_00\CAD\DRAWINGS\PLAN SET\CIVIL\SITE PLANS\MAA230369_00-SPPD-1A-----LAYOUT-C-901.DWT

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF CITY OF PORTSMOUTH, ROCKINGHAM COUNTY, MAP 244.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), PANEL 270 OF 681," MAP NUMBER 33015C0270F, MAP REVISED, JANUARY 29, 2021.
3. MAP ENTITLED "PLAN OF LAND BOURNIVAL, INC., LAFAYETTE ROAD, PORTSMOUTH, NEW HAMPSHIRE," PREPARED BY MOULTON ENGINEERING, CO., DATED JULY, 1977, RECORDED WITH ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN # C-7485.
4. MAP ENTITLED "PLAN OF LAND PORTSMOUTH, NEW HAMPSHIRE," PREPARED BY JOHN W. DURGIN, CIVIL ENGINEERS., DATED AUGUST, 1964, RECORDED WITH ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN # 9223-1.
5. MAP ENTITLED "PLAN OF LAND PORTSMOUTH, NEW HAMPSHIRE," PREPARED BY JOHN W. DURGIN, CIVIL ENGINEERS., DATED SEPTEMBER, 1976, RECORDED WITH ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN # C-6464.
6. MAP ENTITLED "AS-BUILT, CONDOMINIUM SITE PLAN OF GREENLEAF WOODS FOR GREENLEAF INVESTMENT GROUP," PREPARED BY SEACOAST, ENGINEERING ASSOCIATES, INC., DATED MARCH 8, 1988, RECORDED WITH ROCKINGHAM COUNTY REGISTRY OF DEED AS PLAN # D-17717, SHEETS 1 & 1A OF 9.
7. MAP ENTITLED "RIGHT OF WAY, PLANS OF PROPOSED FEDERAL AID PROJECT," PREPARED BY KIMBALL CHASE., DATED MARCH 14, 2000, SHEET 7 OF 7.
8. UNDERGROUND ELECTRIC MAPPING IN THE AREA PROVIDED BY EVERSOURCE.
9. MAP ENTITLED "AS BUILT PLANS, GENERAL PLAN 02," PREPARED BY MCFARLAND JOHNSON, DATED OCTOBER, 2010, LAST REVISION APRIL, 2012. SHEETS 34 & 35 OF 157.



MAP 243
LOT 3
N/F LANDS OF
PORTSMOUTH HOUSING AUTHORITY WAMESIT
PLACE FAMILY HOUSING, LTD. P.P.R.
BK. 5214, PG. 1201.

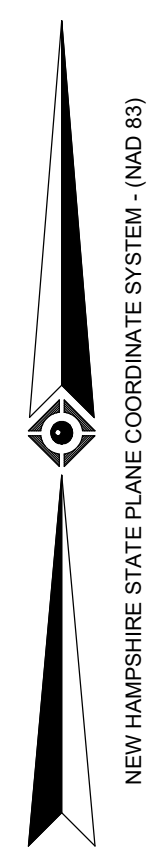
MAP 243
LOT 6
N/F LANDS OF
GREENLEAF WOODS DRIVE, L.L.C.
(NO DEED REFERENCE)

MAP 244
LOT 3
N/F LANDS OF
INHABITANTS OF STATE OF NEW HAMPSHIRE
BK. 3532, PG. 1051.

MAP 243
LOT 2B
N/F LANDS OF
OPERATION BLESSING, INC.
BK. 3787, PG. 1721.

MAP 244
LOT 8
N/F LANDS OF
6761 L.L.C.
BK. 6102, PG. 2013.

MAP 244
LOT 6
N/F LANDS OF
ARMONSON OIL CO. INC.
BK. 1750, PG. 113.



NOTES:

1. PROPERTY KNOWN AS LOT 8 AS SHOWN ON THE CITY OF PORTSMOUTH, ROCKINGHAM COUNTY, STATE OF NEW HAMPSHIRE, MAP NO. 244.
2. AREA = 170,361 SQUARE FEET OR 3.911 ACRES.
3. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

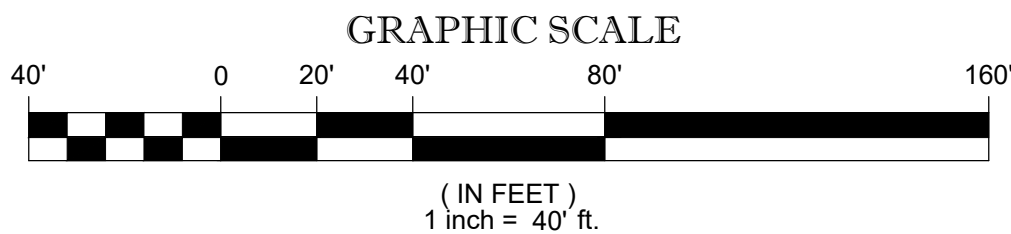
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

ALL FOUR TYPES MAY NOT BE PRESENT ON THIS SURVEY.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT. A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. IT IS STRONGLY RECOMMENDED THAT A COMPLETE TITLE SEARCH BE PROVIDED TO THE SURVEYOR FOR REVIEW PRIOR TO THE PLACEMENT OF OR ALTERATION TO IMPROVEMENTS ON THE PROPERTY.
6. BY GRAPHIC PLOTTING ONLY PROPERTY IS PARTIALLY LOCATED IN FLOOD HAZARD ZONE X-UNSHADED (AREAS OF MINIMAL FLOOD HAZARD) AND PARTIALLY LOCATED IN FLOOD HAZARD ZONE AE (AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD; BASE FLOOD ELEVATIONS DETERMINED; ELEV = 8.00' (NAVD88)) PER REF. #2.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
TEMPORARY BENCH MARKS SET:

TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION= 9.49'

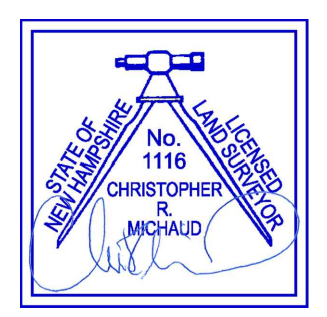
PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
9. THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
10. PARTIAL TOPOGRAPHY SHOWN HEREON PER CONTRACTUAL AGREEMENT WITH CLIENT.
11. THE WETLAND DELINEATION LINE WAS PLACED IN THE FIELD BY OTHERS AND FIELD LOCATED BY CONTROL POINT ASSOCIATES, INC. ON JANUARY 9, 2024.



SEE SHEET 2 OF 2 FOR TOPOGRAPHY & UTILITIES

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



1-10-2024
DATE

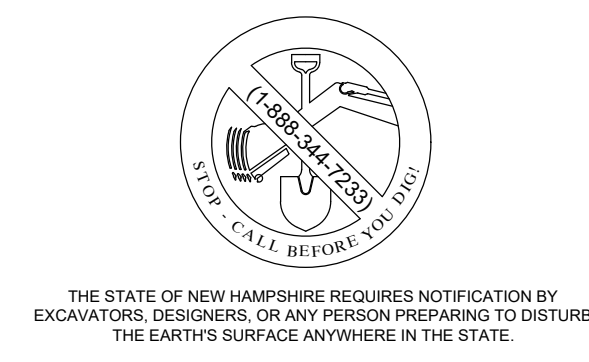
CHRISTOPHER R. MICHAUD, PLS
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #1116

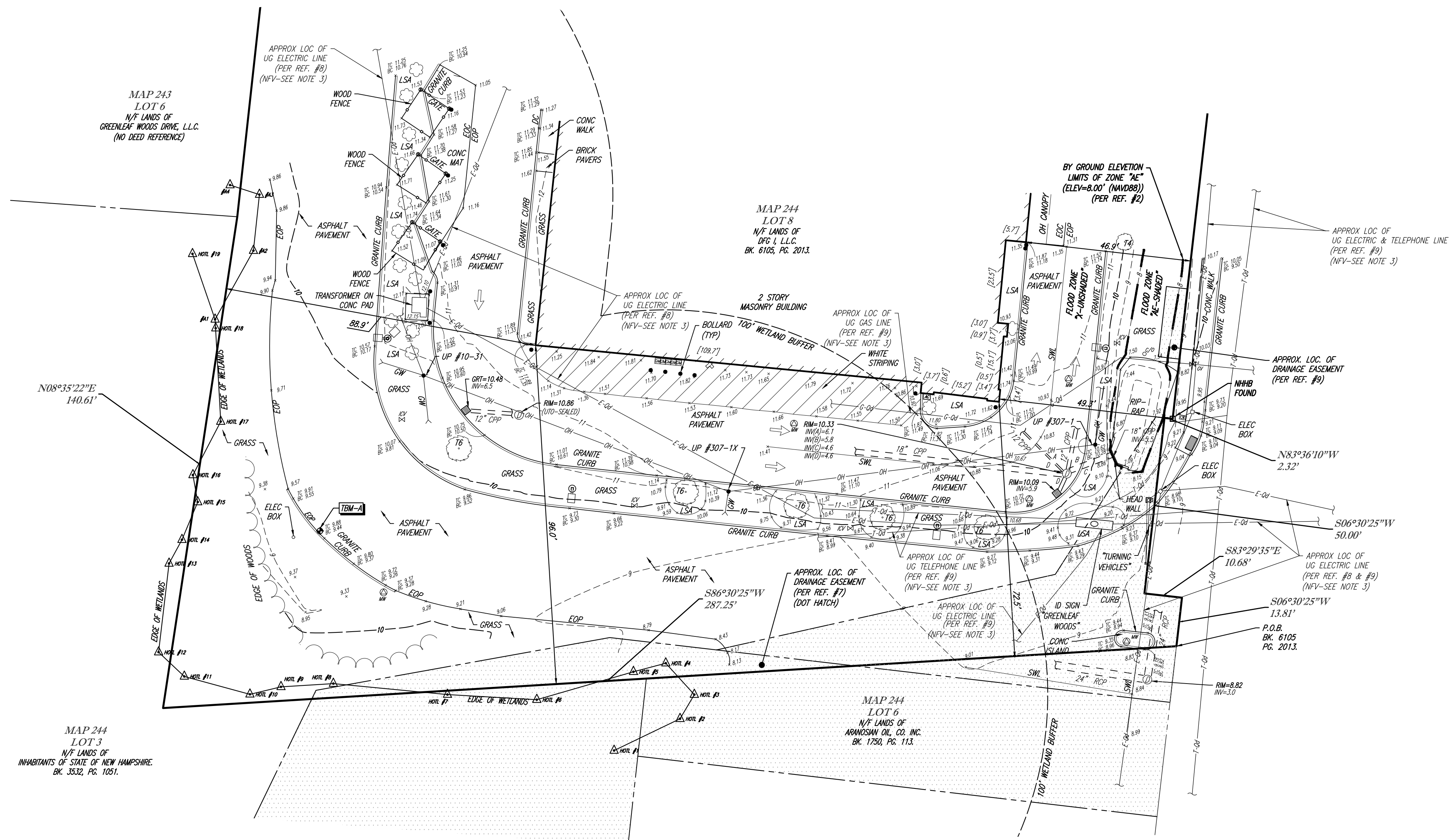
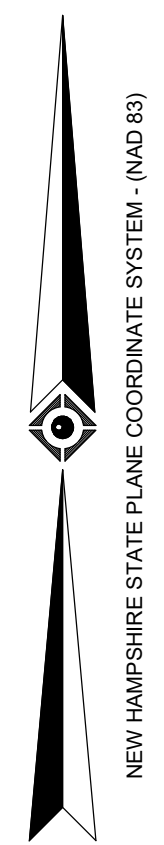
No.	REVISION	S.C.	R.J.K.	C.R.M.	1-10-2024
1	REVISED TO SHOW WETLANDS				
FIELD DATE: 09-28-2023					
FIELD BOOK NO.: -					
FIELD BOOK PG.: 134 & 135					
FIELD CREW: S.M.C.					
DRAWN: R.A.B.					
REVIEWED: R.J.K.					
APPROVED: C.R.M.					
DATE: 11-9-2023					
SCALE: 1"=40'					
FILE NO.: 03-230460-00					
DWG. NO.: 1 OF 2					

BOUNDARY & TOPOGRAPHIC & UTILITY SURVEY
DFG I, L.L.C.
750 LAFAYETTE ROAD
MAP 244, LOT 8
CITY OF PORTSMOUTH, ROCKINGHAM COUNTY
STATE OF NEW HAMPSHIRE

CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX

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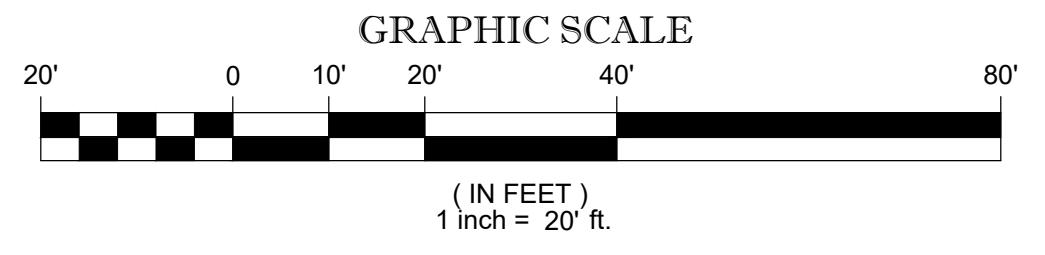




LEGEND

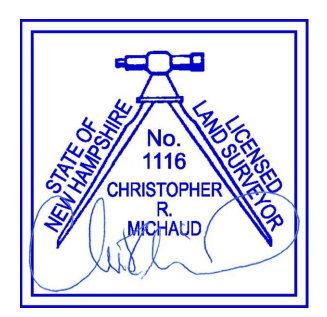
---	EXISTING CONTOUR
---	EXISTING SPOT ELEVATION
×	EXISTING TOP OF CURB ELEVATION
×	EXISTING TOP OF CURB ELEVATION
×	EXISTING TOP OF CURB ELEVATION
○	GAS VALVE
○	WATER VALVE
○	GAS METER
---	OVERHEAD WIRES
---	APPROX. LOC. UNDERGROUND GAS LINE
---	APPROX. LOC. UNDERGROUND ELECTRIC LINE
---	APPROX. LOC. UNDERGROUND DRAINAGE LINE
---	APPROX. LOC. UNDERGROUND TELEPHONE LINE
○	UTILITY POLE
---	GUY WIRE
□	AREA LIGHT
---	TRAFFIC SIGNAL POLE
---	TRAFFIC SIGNAL
○	MONITORING WELL
○	CLEAN OUT
---	SIGN
●	BOLLARD
○	SHRUBS
---	PAINTED ARROWS
---	LANDSCAPED AREA
---	UNDER GROUND
(TYP)	TYPICAL
DC	DEPRESSED CURB
EOC	EDGE OF CONCRETE
EOP	EDGE OF PAVEMENT
DMH	DRAINAGE/STORM MANHOLE
CB	CATCH BASIN OR INLET
NH&H	NEW HAMPSHIRE HIGHWAY BOUND
CPP	CORRUGATED PLASTIC PIPE
EL	ELEVATION
GRT	GRATE ELEVATION
SWL	SOLID WHITE LINE
[3.0']	BUILDING DIMENSION
UTO	UNABLE TO OPEN
1.0'	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
-0.0'	SUBSURFACE UTILITY QUALITY LEVEL D
(S)	SURVEY DIMENSION
(D)	DEED DIMENSION

SEE SHEET 1 OF 2 FOR NOTES AND REFERENCES



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL



1-10-2024
DATE

CHRISTOPHER R. MICHAUD, PLS
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #1116

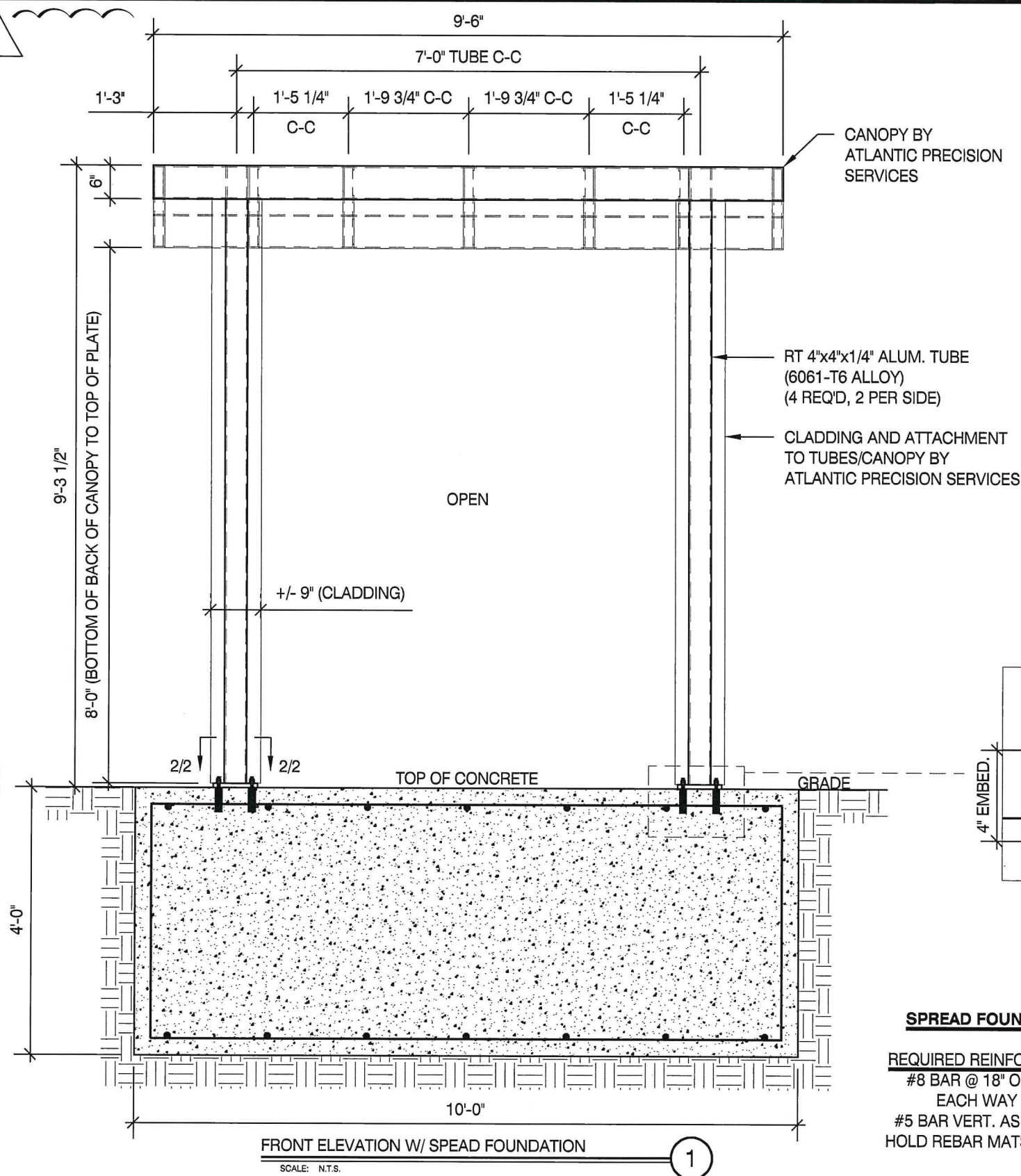
1	REVISED TO SHOW WETLANDS	S.C.	R.J.K.	C.R.M.	1-10-2024
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

FIELD DATE	09-28-2023	BOUNDARY & TOPOGRAPHIC & UTILITY SURVEY DFG I, L.L.C. 750 LAFAYETTE ROAD MAP 244, LOT 8 CITY OF PORTSMOUTH, ROCKINGHAM COUNTY STATE OF NEW HAMPSHIRE									
FIELD BOOK NO.	-										
FIELD BOOK PG.	134 & 135										
FIELD CREW	S.M.C.	CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 • 508.948.3003 FAX									
DRAWN	R.A.B.										
REVIEWED	R.J.K.	APPROVED	C.R.M.	DATE	11-9-2023	SCALE	1"=20'	FILE NO.	03-230460-00	DWG. NO.	2 OF 2

CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. NO PART OF THIS SURVEY OR THE INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. OR PROHIBITED.

GROUND SIGN DESIGN SPECIFICATIONS:

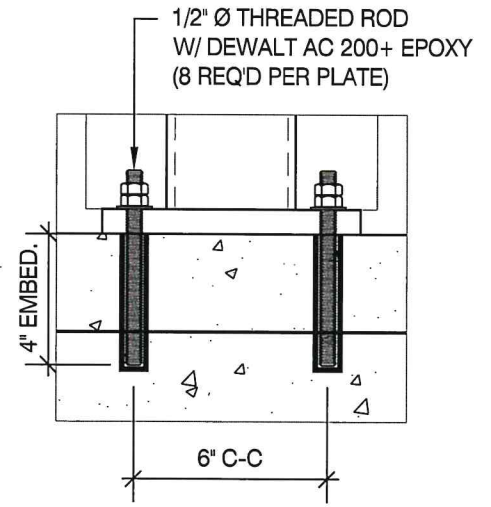
1. REFER TO SIGN COMPANY'S DRAWINGS FOR MORE DETAILS. ALL DESIGNS, DETAILING FABRICATION AND CONSTRUCTION SHALL CONFORM TO:
2015 IBC
ACI
AISC
AMERICAN WELDING SOCIETY
LOCAL BUILDING CODES & ORDINANCES
2. CONCRETE: 2500 PSI @ 28 DAYS
3. ALUMINUM PIPE: 6061-T6 ALLOY
4. ALUMINUM SQUARE/RECTANGULAR: 6061-T6 ALLOY
5. ANCHOR BOLTS: STAINLESS STEEL OR GALVANIZED ASTM F1554 GRADE 36 U.N.O. (ALTERNATES GRADE 55 & 105)
6. CONNECTION BOLTS: STAINLESS STEEL OR GALVANIZED ASTM A325
7. ALUMINUM ANGLES, CHANNELS, STRUCTURAL SHAPES: 6061-T6 ALLOY
8. ALUMINUM PLATE: 5052-H34 ALLOY
9. ALUMINUM SHEET: 5052-H32 ALLOY
10. REINFORCING: GRADE 60 ASTM A615
11. PROVIDE A MINIMUM OF THREE INCHES OF CONCRETE COVER OVER EMBEDDED STEEL.
12. THE CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS & METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
13. NO FIELD HEATING FOR BENDING OR CUTTING OF STEEL SHALL BE ALLOWED WITHOUT THE ENGINEER'S APPROVAL.
14. WELDING ELECTRODES: E70XX
15. ALLOWABLE SOIL BEARING PRESSURE ASSUMED: 2000 PSF
16. ASSUMED HORIZONTAL (PASSIVE PRESSURE) ASSUMED AT 150 PSF/FT OF DEPTH. ISOLATED LATERAL BEARING FOUNDATIONS FOR SIGNS NOT ADVERSELY AFFECTED A 1/2" MOTION AT THE GROUND SURFACE DUE TO SHORT TERM LATERAL LOADS SHALL BE PERMITTED TO BE DESIGNED USING TWO TIMES THE TABULATED CODE VALUES.
17. ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH.
18. FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE. THE SOIL BEARING CAPACITY IS TO BE VERIFIED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. IF ALLOWABLE BEARING AND/OR LATERAL PRESSURE IS LESS THAN THE ABOVE ASSUMED AND/OR CALCULATED PRESSURES, THE ENGINEER SHOULD BE CONTACTED FOR RE-EVALUATION.
19. EXCAVATION SHALL BE FREE OF LOOSE SOIL BEFORE POURING CONCRETE.
20. WELDERS SHALL BE CERTIFIED FOR THE TYPE OF WELDING.
21. ADEQUATELY BRACE POLE(S) UNTIL CONCRETE HAS SET UP FOR 14 DAYS.
22. GROUT UNDER BASE PLATES WITH NON-SHRINK GROUT.
23. THIS ENGINEER DOES NOT WARRANT THE ACCURACY OF DIMENSIONS FURNISHED BY OTHERS.
24. ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
25. THIS DESIGN IS FOR THE INDICATED ADDRESS ONLY, AND SHOULD NOT BE USED AT OTHER LOCATIONS WITHOUT WRITTEN PERMISSION OF THE ENGINEER.
26. DESIGN OF DETAILS AND STRUCTURAL MEMBERS NOT SHOWN, BY OTHERS.



NOTES

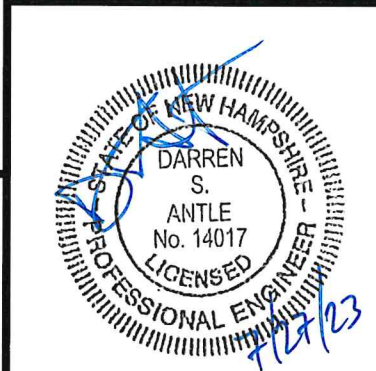
- 1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.
- 2.) SIGN CABINET AND CONNECTION BY ATLANTIC PRECISION SERVICES.

* CLIENT - ATLANTIC PRECISION SERVICES
 * 2015 IBC
 * RISK CATEGORY II
 * 125 MPH WIND SPEED, EXP. C
 * (4) POLES (1) FOUNDATION
 * 50 PSF GROUND SNOW LOAD



SPREAD FOUNDATION

REQUIRED REINFORCEMENT
 #8 BAR @ 18" O.C. MAX. EACH WAY T+B
 #5 BAR VERT. AS REQ'D TO HOLD REBAR MATS IN PLACE



DARREN S. ANTLE, P.E.

299 N. WEISGARBER RD. PHONE 865.584.0999
 SUITE #: 104 SIGN-ENGINEER.COM
 KNOXVILLE, TN 37919

PROJECT:
 750 Lafayette Rd, Portsmouth, NH 03801

DRAWING TITLE:

NORTHEAST CREDIT UNION

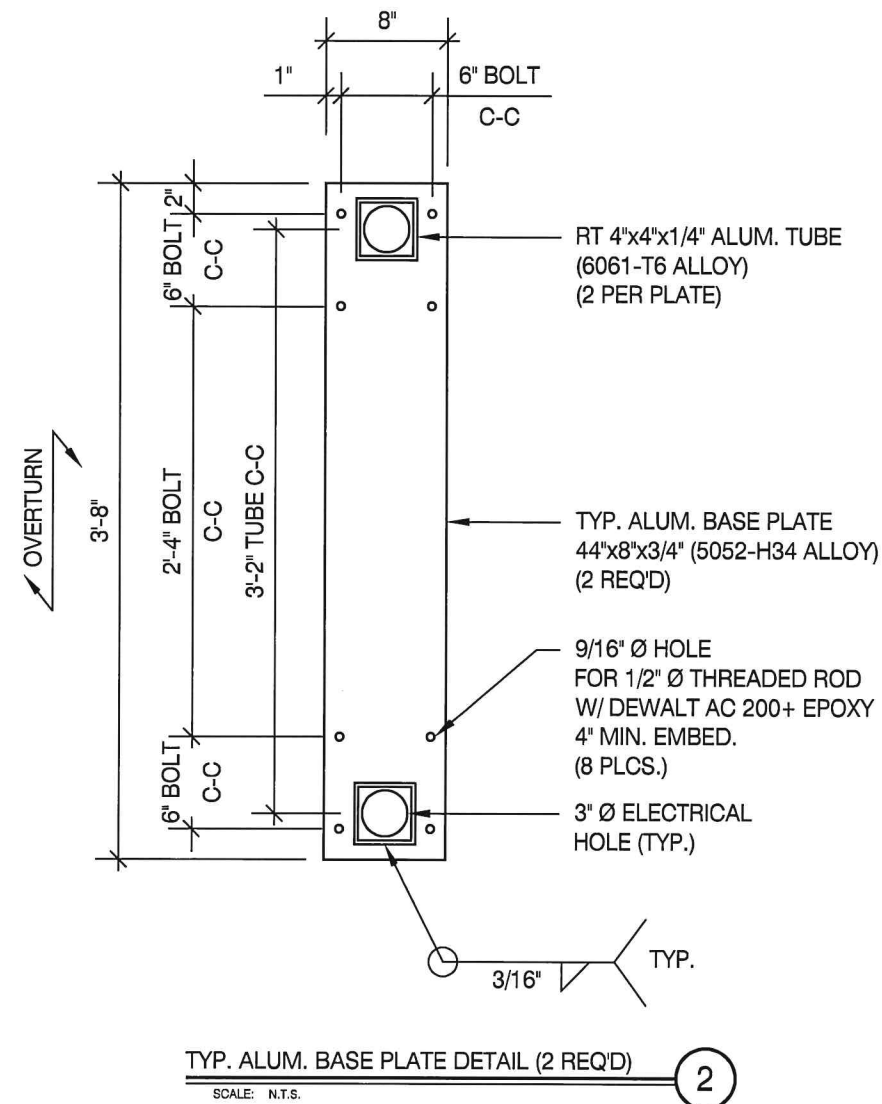
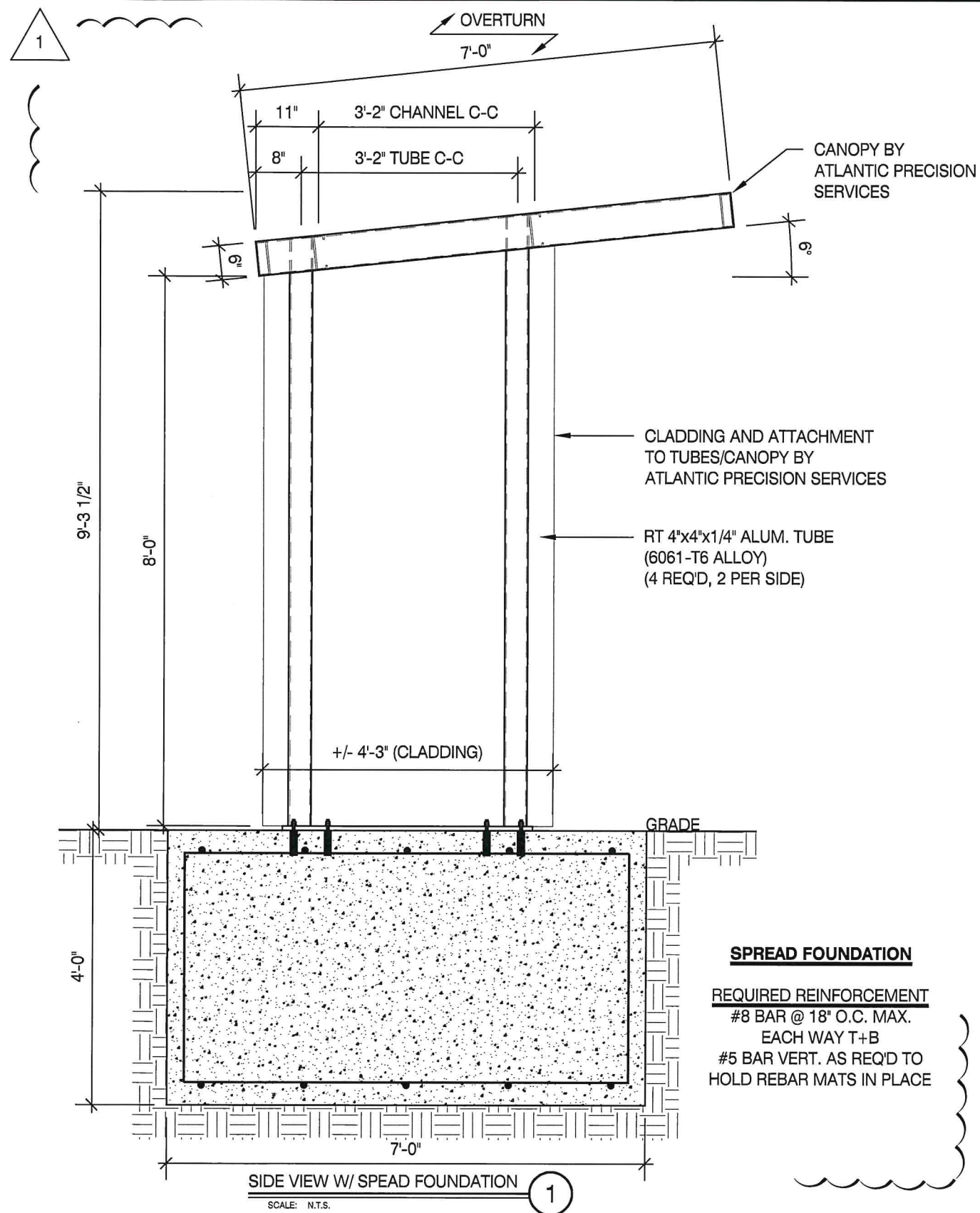
DRAWN BY: JBN
 CHECKED BY: TSM
 COMM. NO. 230117.001

DATE:
 07/25/23

DRAWING NO.
 DWG.

1

REV #	DATE	DRAWN BY
REV #1	07/27/23	JBN



NOTES

1.) SEE MANUFACTURERS DRAWINGS FOR ADDITIONAL DETAILS AND DIMENSIONS.

2.) SIGN CABINET AND CONNECTION BY ATLANTIC PRECISION SERVICES.

- * CLIENT - ATLANTIC PRECISION SERVICES
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299 N. WEISGARBER RD. PHONE 865.584.0999
SUITE #: 104 SIGN-ENGINEER.COM
KNOXVILLE, TN 37919

PROJECT:
750 Lafayette Rd, Portsmouth, NH 03801

DRAWING TITLE:

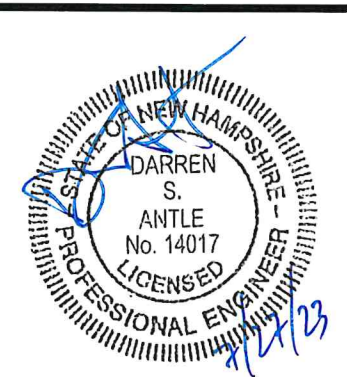
NORTHEAST CREDIT UNION

DRAWN BY: JBN
CHECKED BY: TSM
COMM. NO. 230117.001

DATE: 07/25/23

REV #	DATE	DRAWN BY
REV #1	07/27/23	JBN

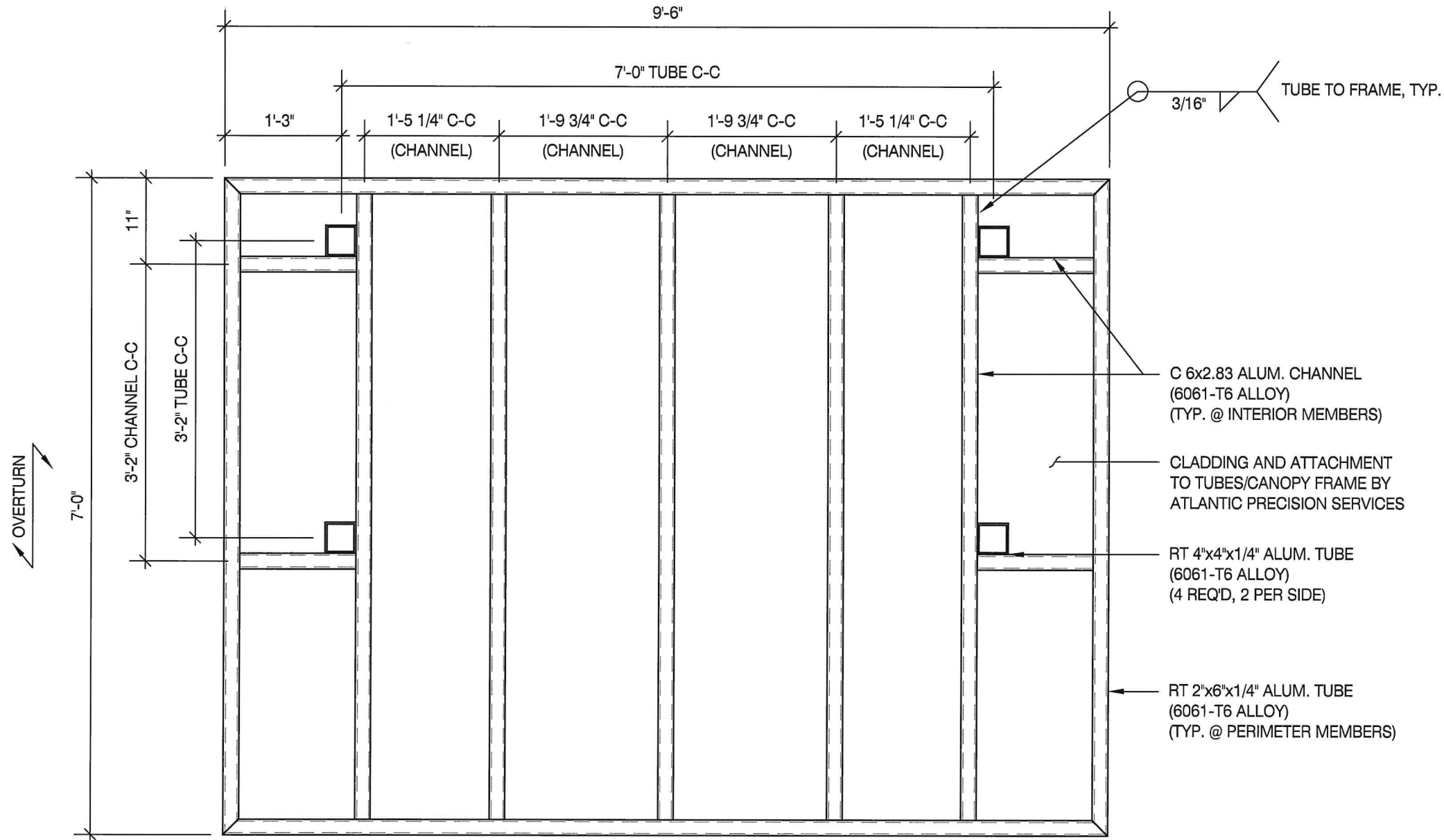
DRAWING NO.
DWG. 2



NOTE:
 FRAME TO BE ALL-WELDED
 CONSTRUCTION. ALL WELDS TO BE
 3/16" WELDS U.N.O.

NOTES
 1.) SEE MANUFACTURERS DRAWINGS FOR
 ADDITIONAL DETAILS AND DIMENSIONS.
 2.) SIGN CABINET AND CONNECTION
 BY ATLANTIC PRECISION SERVICES.

* CLIENT - ATLANTIC PRECISION SERVICES
 * 2015 IBC
 * RISK CATEGORY II
 * 125 MPH WIND SPEED, EXP. C
 * (4) POLES (1) FOUNDATION
 * 50 PSF GROUND SNOW LOAD



CANOPY - TOP VIEW
 SCALE: N.T.S. ①

DARREN S. ANTLE, P.E.

299 N. WEISGARBER RD.
 SUITE #: 104
 KNOXVILLE, TN 37919
 PHONE 865.584.0999
 SIGN-ENGINEER.COM

PROJECT:
 750 Lafayette Rd, Portsmouth, NH 03801

DRAWING TITLE:

NORTHEAST CREDIT UNION

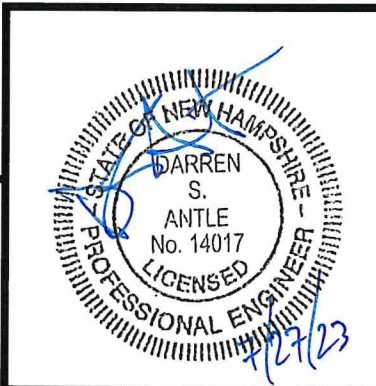
DRAWN BY: JBN
 CHECKED BY: TSM
 COMM. NO. 230117.001

DATE: 07/25/23

REV #	DATE	DRAWN BY
REV #1	07/27/23	JBN

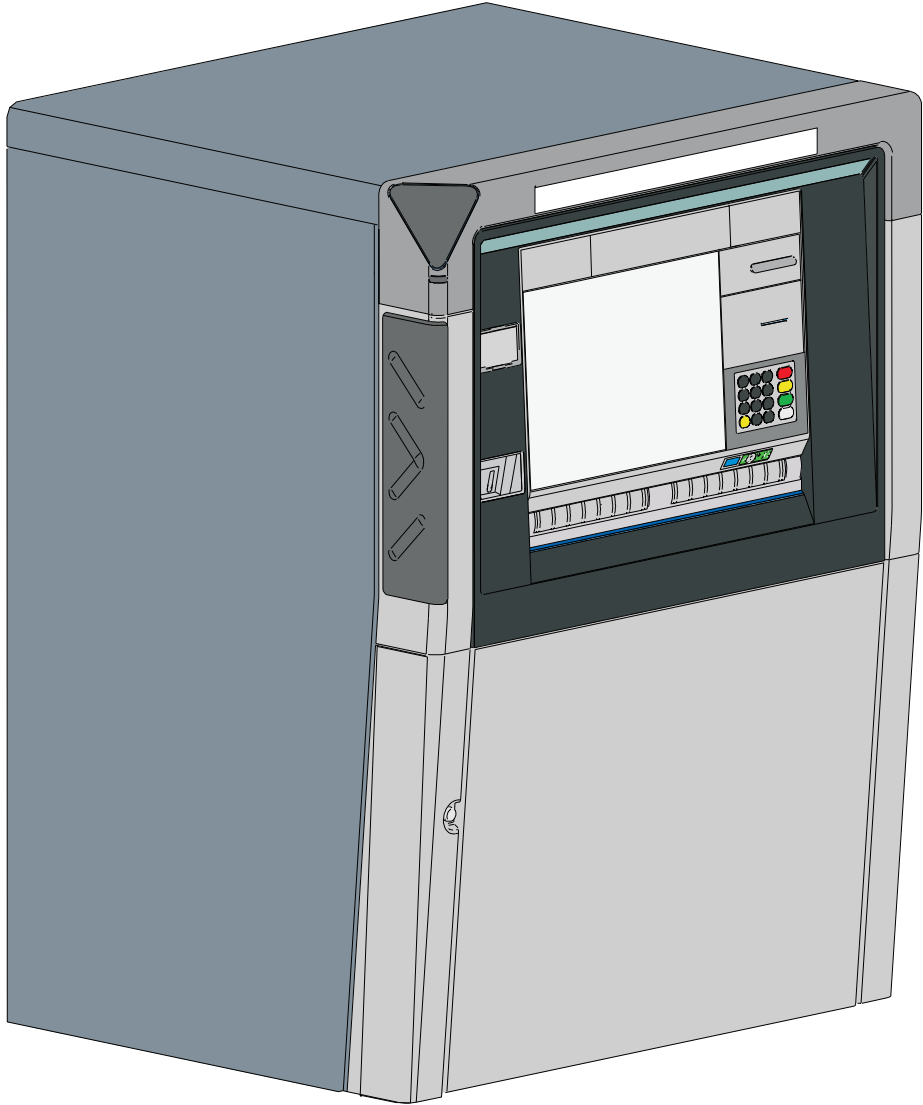
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 DWG.

3

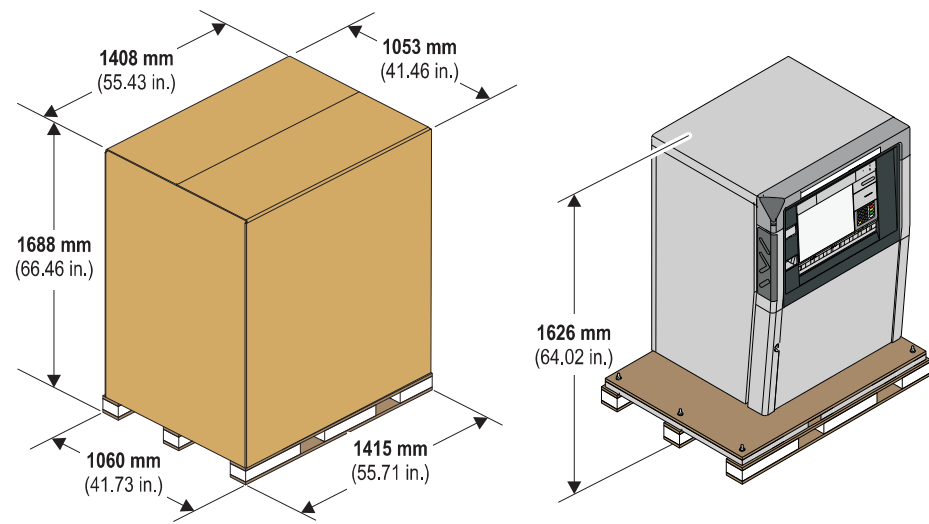




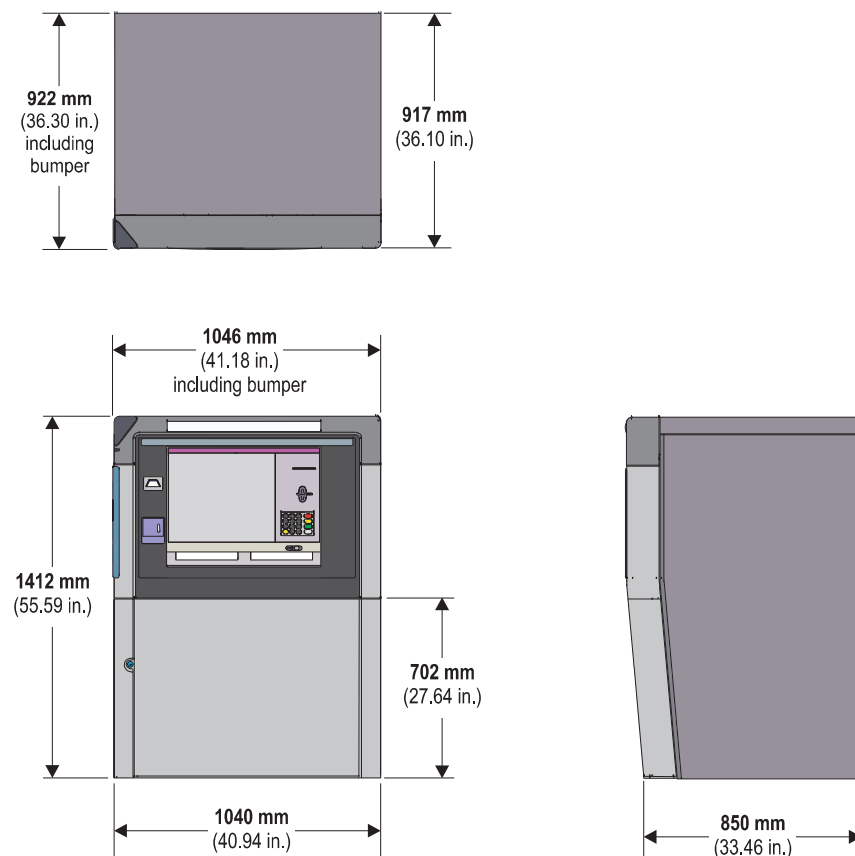
NCR SelfServ™ 88 ATM Site Preparation



PACKAGE DIMENSIONS

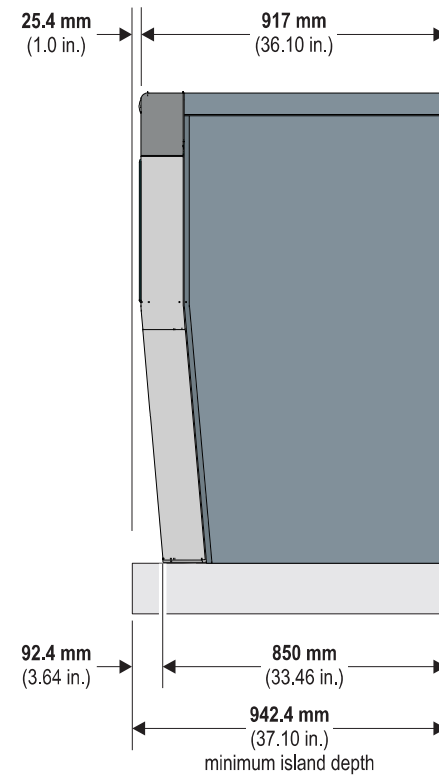


ATM DIMENSIONS



ATM POSITION ON ISLAND

The illustration below shows the dimensions for the minimum island size. NCR recommends that the base of the ATM be positioned **92.4 mm (3.64 in.)** from the front of the island, so that the front bollards are in line with the fascia surround (refer to Island Dimensions and Bollard Locations illustration).

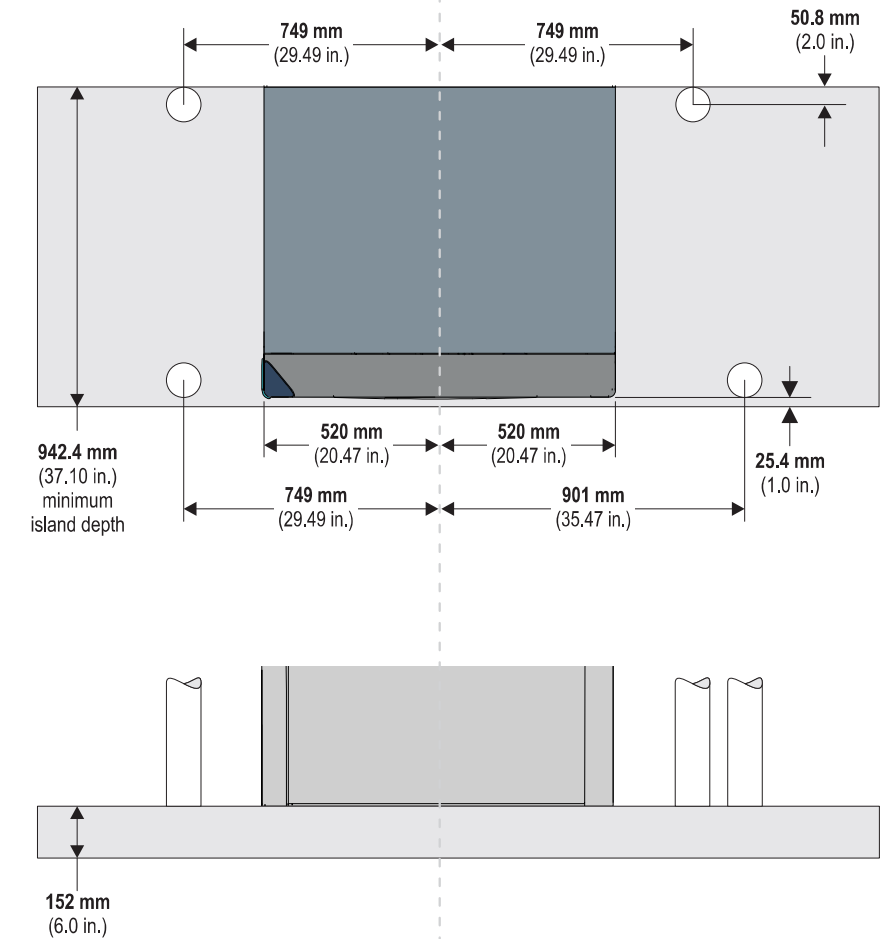


ISLAND DIMENSIONS AND BOLLARD LOCATIONS

The illustration below shows the dimensions for the minimum island size for a drive-up installation.

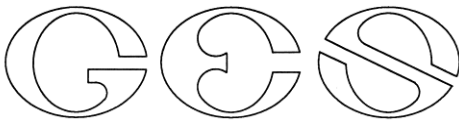
NCR recommends that the rear bollards are **102 mm (4.0 in.)** in diameter, and positioned in line with the rear of the ATM, front bollards are **102 mm (4.0 in.)** in diameter and positioned **25.4 mm (1.0 in.)** back from the front of the island.

When locating the bollards allow sufficient working space for servicing the air conditioning unit.



Anti-theft Bollards

If anti-theft bollards (also known as anti lassoing bollards) are to be fitted, the bollard exclusion zone around the ATM must be complied with to allow sufficient access for removing panels, refer to the [Servicing Areas](#) section.



GOVE ENVIRONMENTAL SERVICES, INC.

February 16, 2024

Subject: Wetland Delineation Letter
Greenleaf Woods Drive
Portsmouth, NH

Dear Keith Curran,

Per your request, this letter is to verify that Gove Environmental Services, Inc. (GES), performed a site inspection to identify wetlands and other jurisdictional areas adjacent to the subject property located on Tax Map 244 Lot 8 on 750 Lafayette Rd in Portsmouth, NH. Wetlands were evaluated utilizing the following standards:

1. *US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region*, Technical Report ERDC/EL TR-12-1 (January 2012).
2. *Field Indicators for Identifying Hydric Soils in New England – Version 4, June 2020*. New England Hydric Soils Technical Committee.
3. *US Army Corps of Engineers National Wetland Plant List, 2018*.
4. *Classification of Wetlands and Deepwater Habitats of the United States*. USFWS Manual FWS/OBS-79/31 (1979).

The delineation requested was performed by Brenden Walden CWS #297 of Gove Environmental Services, Inc. on December 1st 2023. This inspection was to evaluate wetlands that were identified on the City of Portsmouth's GIS to have potential to encroach on to the identified subject property and have potential impacts relative to local and state permitting for proposed site improvements. During the site investigation an area of tidal wetland was observed on the southern edge of Greenleaf Woods Drive. This tidal marsh area is dominantly composed of emergent grasses with some areas of dense Phragmites with notable ditching observed on the aerials. The HOTL line was delineated as the limit of the wetland which was identified by the notably steep slope transition between the wetland and uplands paired with the evidence of tidal activity and debris in at the boundary. During the delineation a contributing freshwater wetland was identified to the west of the subject property. This contributing area is due to the existing discharge pipe that outlets water to the marsh. Tidal areas were delineated using Blue flagging demarked HOTL1 start to HOTL19 stop, with the freshwater wetland connecting to HOTL18 and demarked using Pink Wetland Delineation Flagging A1 to A4 Stop. During the in-office review of the wetland it was noted that this area is also identified as a NH State Prime Wetland with a Duly Establish 100 ft buffer. No other Jurisdictional areas were observed during the site inspection.

This concludes the wetland delineation report. If I can be of further assistance, please feel free to contact me at (603) 778-0644.

Sincerely,

Brenden Walden
Business Manager & Wetland Scientist
Gove Environmental Services, Inc.

Enc. Wetland Delineation Sketch

8 Continental Dr Unit H, Exeter, NH 03833-7507
Ph (603) 778 0644 / Fax (603) 778 0654
www.gesinc.biz
info@gesinc.biz

HOTL- Blue Flagging
Pink Wetland Delineation Flagging

A1-A4

HOTL 19 stop

HOTL1 start

