

# SITE DEVELOPMENT PLANS

for

**TAX MAP 252 LOTS 4, 5 & 9**

**1400 LAFAYETTE ROAD**

**PORTSMOUTH, NEW HAMPSHIRE 03801**

Prepared for:

**4 AMIGOS, LLC**

**321D LAFAYETTE ROAD**

**HAMPTON, NEW HAMPSHIRE 03842**

**ENGINEER:**

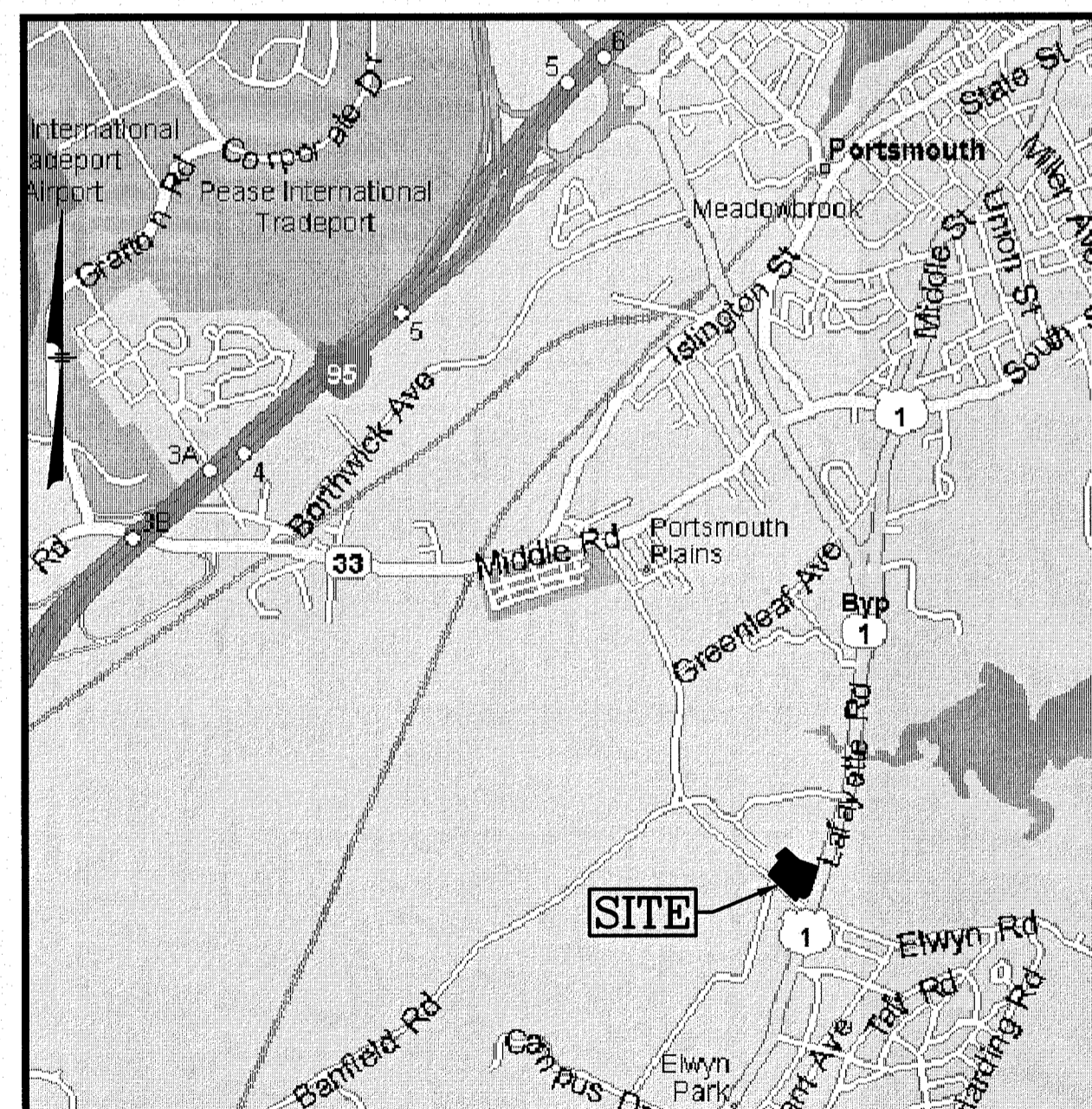
GREENMAN-PEDERSEN, INC. (GPI)  
FRANK C. MONTEIRO, PE  
44 STILES ROAD, SUITE ONE  
SALEM, NH 03079  
(603) 893-0720

**SURVEYOR:**

GREENMAN-PEDERSEN, INC. (GPI)  
JOEL A. CONNOLLY, LLS  
44 STILES ROAD, SUITE ONE  
SALEM, NH 03079  
(603) 893-0720

**ARCHITECT:**

MICHAEL J KEANE ARCHITECTS PLLC  
MICHAEL KEANE  
101 KENT PLACE  
NEWMARKET, NH 03857  
(603) 292-1400



**LOCATION MAP**

NOT TO SCALE

**INDEX TO DRAWINGS**

1. TITLE SHEET
2. EXISTING CONDITIONS PLAN
3. DEMOLITION PLAN
4. SITE OVERVIEW PLAN
5. SITE PLAN
6. GRADING & DRAINAGE PLAN
7. UTILITY PLAN
8. EROSION & SEDIMENT CONTROL PLAN
9. LANDSCAPE PLAN
10. LANDSCAPE DETAILS
11. DETAIL SHEET
12. DETAIL SHEET
13. DETAIL SHEET
14. DETAIL SHEET
15. DETAIL SHEET
- 1 OF 1. SEWER PLAN & PROFILE (P&P)
- 1 OF 1. COMMUNITY SPACE OVERVIEW PLAN
- 1 OF 1. LIGHTING PLAN (CREE)
- 1 OF 1. BUILDING A ELEVATIONS (A-1.A)
- 1 OF 1. BUILDING A PLANS (A-2.A)
- 1 OF 1. BUILDING B ELEVATIONS (A-1.B)
- 1 OF 1. BUILDING B PLANS (A-2.B)
- 1 OF 1. BUILDING C CONCEPT PLANS (A-1.C)
- 1 OF 1. BUILDING C RENDER CONCEPTS (A-2.C)

REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	REV SHEETS 3-9, 11, P&P, A-1.C	CMT	2/20/20

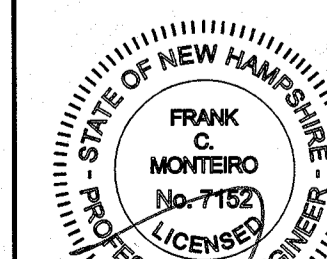
**TITLE SHEET**

ASSESSORS MAP 252 - LOTS 4, 5 & 9  
1400 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
PREPARED FOR:  
**4 AMIGOS, LLC**  
321 LAFAYETTE ROAD UNIT D  
HAMPTON, NEW HAMPSHIRE 03842

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON

DATE



**GPI** Engineering Design Planning Construction Management  
603.893.0720 GPINET.COM  
Greenman-Pedersen, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079

SCALE: NONE	DATE: JANUARY 20, 2020	DRAWING NO. 458219.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 458219
		SHEET NO. 1 OF 15

**LEGEND**

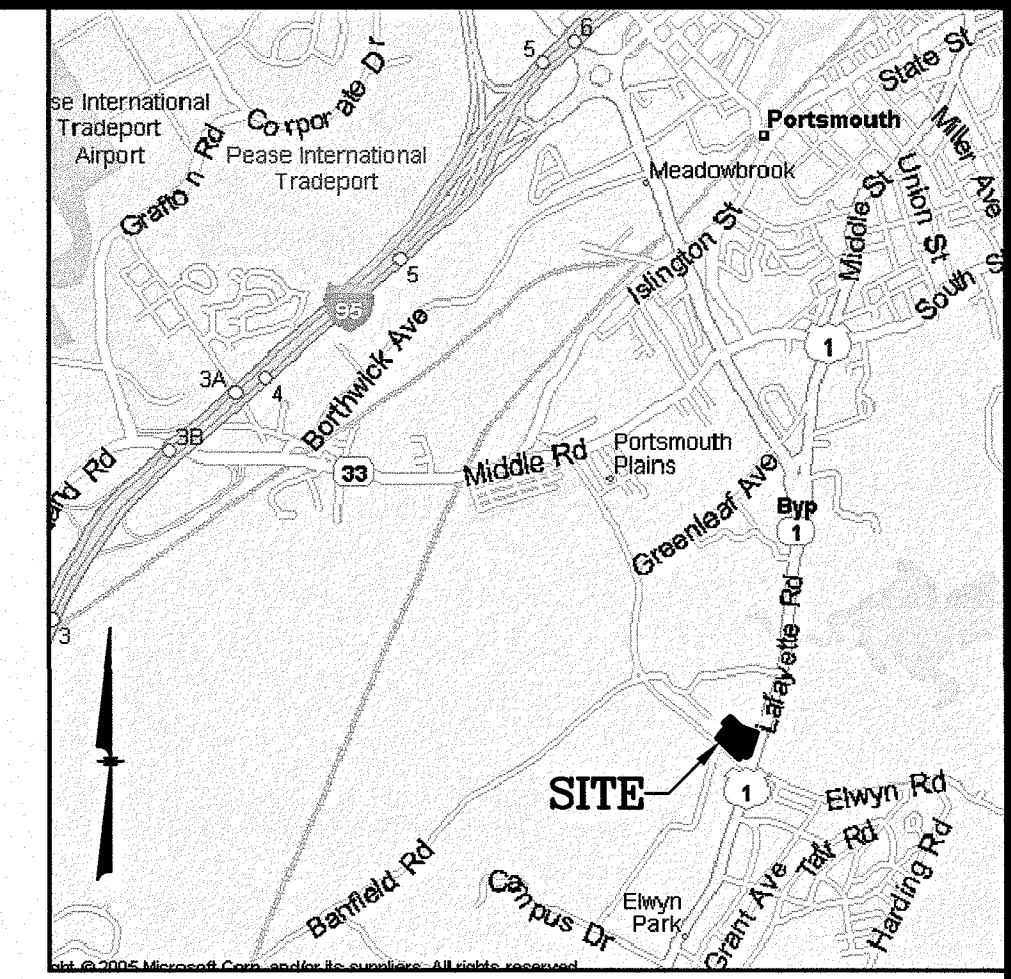
- IRON PIPE OR ROD
- △ CONCRETE OR GRANITE BOUND
- RAILROAD SPIKE FOUND
- DRILL HOLE FOUND
- SGC EXIST. SLOPED GRANITE CURB
- VGC EXIST. VERTICAL GRANITE CURB
- BCC EXIST. BITUMINOUS CONC. LIP CURBING
- VCC EXIST. VERTICAL CONCRETE CURB
- OVERHEAD SERVICE WIRES
- DSYL DOUBLE SOLID YELLOW LINE
- SSWL SINGLE SOLID WHITE LINE
- BWL BROKEN WHITE LINE
- SIGN
- UTILITY POLE
- ⊙ DRAIN MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- CATCH BASIN
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- GAS LINE
- ABANDONED GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC AND TELEPHONE
- TREELINE

**PLAN REFERENCES:**

- 1) SITE DEVELOPMENT PLANS TAX MAP 252 LOTS 7 & 9, 1390 & 1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE PREPARED FOR 4 AMIGOS, LLC; SCALE: 1"=30'; DATE: DECEMBER 19, 2011 (revised to 8/5/13) BY THIS OFFICE.
- 2) TRANSPORTATION IMPROVEMENT PROJECT, LAFAYETTE ROAD (ROUTE 1) AT PEVERLY HILL ROAD AND ELWYN ROAD ON THE CITY OF PORTSMOUTH, ROCKINGHAM COUNTY IN THE STATE OF NEW HAMPSHIRE, PROPOSED COMMERCIAL OFF-SITE IMPROVEMENTS PORTSMOUTH, NEW HAMPSHIRE PREPARED FOR 4 AMIGOS, LLC HAMPTON, NEW HAMPSHIRE; SCALE: 1"=20'; DATE: NOVEMBER 2012 BY VANASSE & ASSOCIATES, INC.
- 3) ALTA/ACSM LAND TITLE SURVEY OF TAX MAP 252 LOTS 3 & 8; SCALE: 1" = 40'; DATE: JUNE 25, 2004 (rev. 8/12/04); PREPARED BY DOUCET SURVEY, INC.
- 4) ALTA/ACSM LAND TITLE SURVEY OF TAX MAP 252 LOTS 4 & 5; SCALE: 1" = 40'; DATE: NOV. 18, 2004 (rev. 11/22/04); PREPARED BY DOUCET SURVEY, INC.
- 5) ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN #D-37860.
- 6) R.C.R.D. PLAN #D-37533.
- 7) R.C.R.D. PLAN #D-37532.
- 8) R.C.R.D. PLAN #D-34531.
- 9) R.C.R.D. PLAN #D-33990.
- 10) R.C.R.D. PLAN #D-32208.
- 11) R.C.R.D. PLAN #D-32207.
- 12) R.C.R.D. PLAN #D-32206.
- 13) R.C.R.D. PLAN #D-28308.
- 14) R.C.R.D. PLAN #D-27945.
- 15) R.C.R.D. PLAN #D-12125.
- 16) R.C.R.D. PLAN #D-11370.
- 17) R.C.R.D. PLAN #D-8831.
- 18) R.C.R.D. PLAN #D-4195.
- 19) R.C.R.D. PLAN #341.
- 20) R.C.R.D. PLAN #01637.
- 21) R.C.R.D. PLAN #01332.
- 22) R.C.R.D. BOOK 1165 PAGE 379.

**OWNER OF RECORD:**

MAP 252 LOT 4, 5 & 9  
 4 AMIGOS, LLC  
 321 LAFAYETTE ROAD, UNIT D  
 HAMPTON, NH 03842  
 BOOK 5391 PAGE 625 & PAGE 638



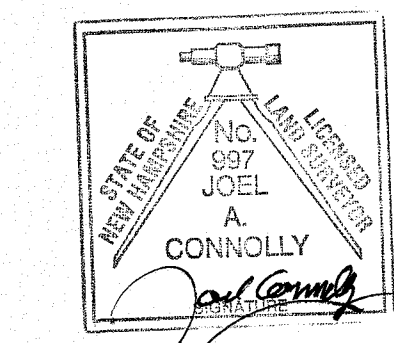
**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**

- 1) ZONE: GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2)  
 MIN. LOT SIZE: 10,000 Sq.Ft.  
 MIN. LOT FRONTAGE: 50 FT.  
 SETBACKS:  
 FRONT 80 FT. FROM CL LAFAYETTE ROAD  
 SIDE 30 FT. FROM PEVERLY HILL R.O.W.  
 REAR 50 FT.  
 REFER TO THE CITY OF PORTSMOUTH ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES.
- 2) THIS PLAN IS THE RESULT OF ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN 2008 AND 2019.
- 3) BEARINGS SHOWN HEREON ARE BASED ON PLAN REFERENCE #3.
- 4) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88. CURB ELEVATIONS SHOWN ARE AT THE "TOE" OF CURB. CURBS ARE 0.50'± HIGH.
- 5) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
- 6) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0270E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.

**CERTIFICATION:**

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.



JOEL A. CONNOLLY, LLS 997 DATE 1/21/2020

NO.	DESCRIPTION	BY	DATE
REVISIONS			

**EXISTING CONDITIONS PLAN**

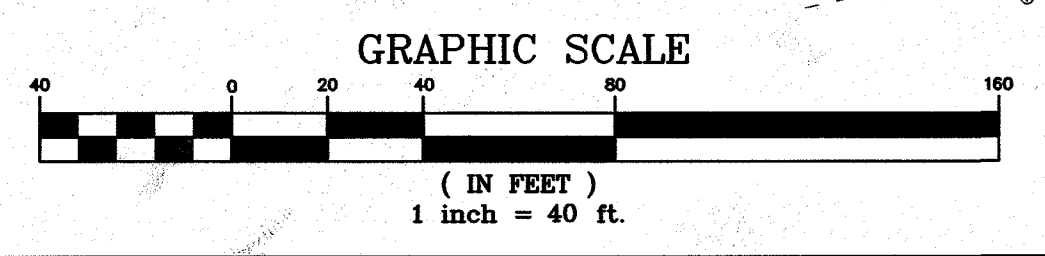
ASSESSORS MAP 252 - LOTS 4, 5 & 9  
 1400 LAFAYETTE ROAD  
 PORTSMOUTH, NEW HAMPSHIRE  
 PREPARED FOR:  
**4 AMIGOS, LLC**  
 321 LAFAYETTE ROAD, UNIT D  
 HAMPTON, NEW HAMPSHIRE 03842

**GPI** Engineering Design Planning Construction Management  
 603.893.0720 GPINET.COM  
 Greenman-Pedersen, Inc.  
 44 Stiles Road  
 Suite One  
 Salem, NH 03079

SCALE: 1"=40'	DATE: JANUARY 20, 2020	DRAWING NO. 4582TWS.DWG
DRAWN BY: JJW/JAC	CHECKED BY: JAC	PROJECT NO. 458219
		SHEET NO. 2 OF 15

**CITY OF PORTSMOUTH PLANNING BOARD**

CHAIRPERSON	DATE
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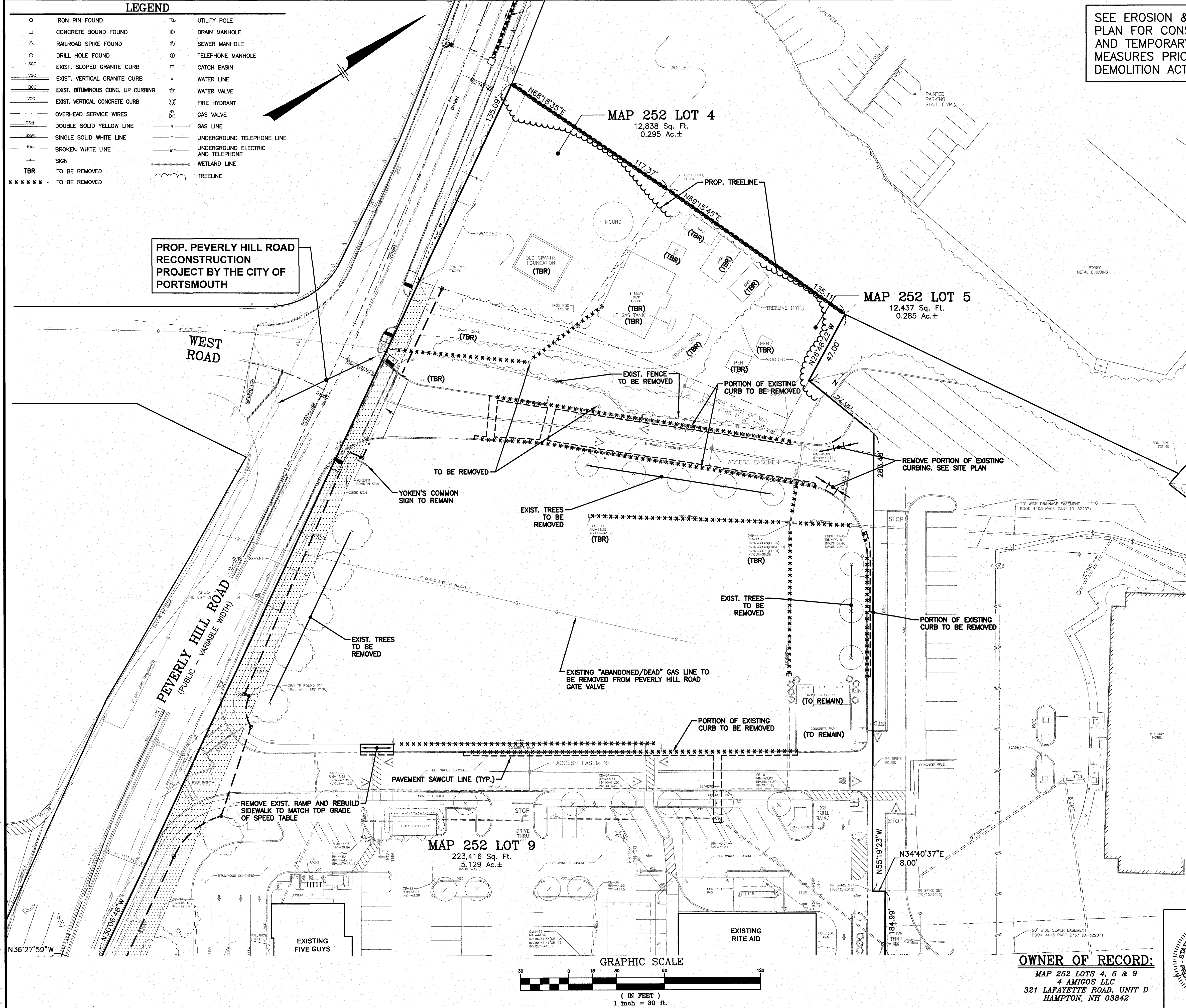
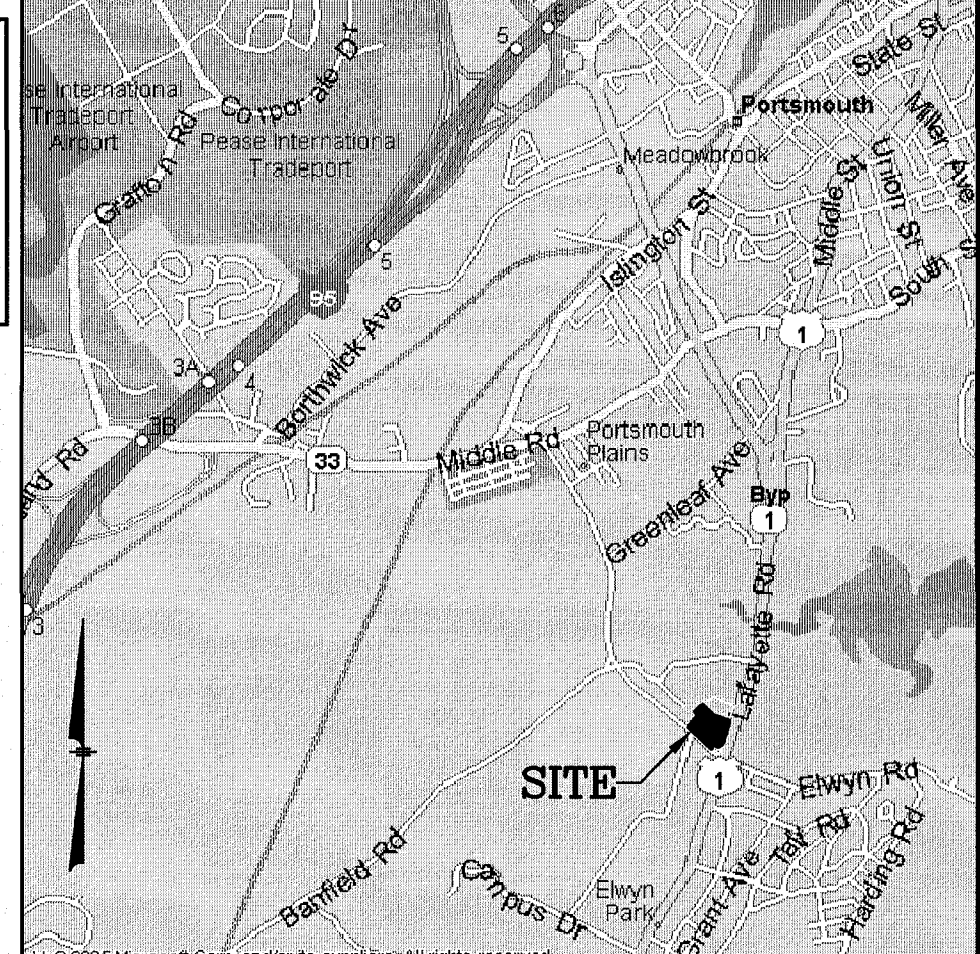
F:\Projects\CAD\4582TWS.dwg ECP 1/21/20 11:19am jconnolly

**LEGEND**

○	IRON PIN FOUND	○	UTILITY POLE
□	CONCRETE BOUND FOUND	⊙	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	⊙	SEWER MANHOLE
○	DRILL HOLE FOUND	⊙	TELEPHONE MANHOLE
---	EXIST. SLOPED GRANITE CURB	□	CATCH BASIN
---	EXIST. VERTICAL GRANITE CURB	---	WATER LINE
---	EXIST. BITUMINOUS CONC. LIP CURBING	⊕	WATER VALVE
---	EXIST. VERTICAL CONCRETE CURB	⊕	FIRE HYDRANT
---	OVERHEAD SERVICE WIRES	⊕	GAS VALVE
---	DOUBLE SOLID YELLOW LINE	---	GAS LINE
---	SINGLE SOLID WHITE LINE	---	UNDERGROUND TELEPHONE LINE
---	BROKEN WHITE LINE	---	UNDERGROUND ELECTRIC AND TELEPHONE
---	SIGN	---	WETLAND LINE
TBR	TO BE REMOVED	---	TREELINE
XXXXXX	TO BE REMOVED		

**PROP. PEVERLY HILL ROAD RECONSTRUCTION PROJECT BY THE CITY OF PORTSMOUTH**

SEE EROSION & SEDIMENT CONTROL PLAN FOR CONSTRUCTION SEQUENCE AND TEMPORARY EROSION CONTROL MEASURES PRIOR TO BEGINNING DEMOLITION ACTIVITIES.



**NOTES:**

- 1) ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 4) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 5) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 6) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 7) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 8) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 9) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 10) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE EROSION & SEDIMENT CONTROL PLAN.
- 11) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO CITY AND NHDOT STANDARDS.
- 12) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 13) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIG SAFE" (1-888-344-7233) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 14) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.
- 15) SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING AND GRUBBING. AFTER CLEARING, STRIP AND STOCKPILE TOP SOIL PER LANDSCAPE PLAN, IF APPLICABLE.
- 16) THE SITE CONTRACTOR SHALL TAKE NOTICE THAT THIS SITE MIGHT CONTAIN AN UNMARKED BURIAL GROUND WHICH IS REGISTERED WITH THE STATE AS AN ARCHAEOLOGICAL SITE KNOWN AS THE "WILLEY/LIGHTFORD" BURIAL GROUND. ACCORDING TO RECORDS FROM THE 1800'S, THIS BURIAL PLOT WAS 10'x10' LOCATED IN THE SOUTHWEST CORNER OF THE LOT NEAR PEVERLY HILL ROAD. IF THE CONTRACTOR ENCOUNTERS ANY REMAINS, HE SHALL CEASE OPERATIONS AND NOTIFY THE CITY AND THE NH DIVISION OF HISTORICAL RESOURCES (603-271-2813).
- 17) THE SITE CONTRACTOR SHALL COORDINATE DEMOLITION ACTIVITIES WITH THE COMFORT INN TO MINIMIZE DISTURBANCE TO THEIR OPERATION.

**LOCATION MAP (NOT TO SCALE)**

NO.	DESCRIPTION	BY	DATE
1	MISC. REVISIONS PER TAC	CMT	2/20/20
REVISIONS			

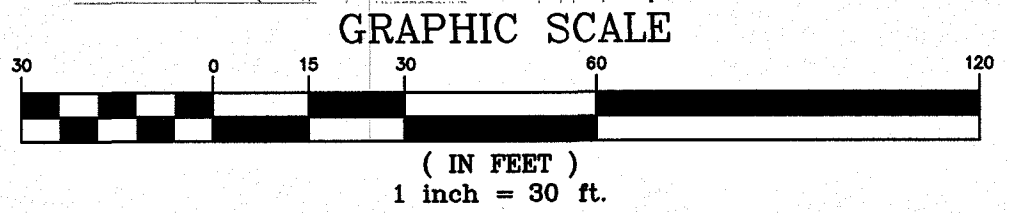
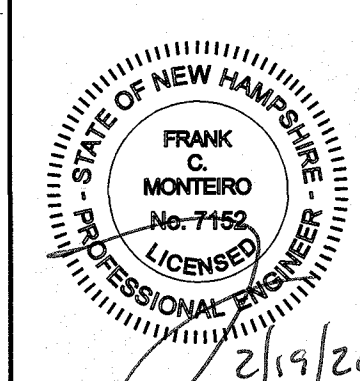
**DEMOLITION PLAN**

ASSESSORS MAP 252 - LOTS 4, 5 & 9  
 1400 LAFAYETTE ROAD  
 PORTSMOUTH, NEW HAMPSHIRE  
 PREPARED FOR:  
**4 AMIGOS, LLC**  
 321 LAFAYETTE ROAD UNIT D  
 HAMPTON, NEW HAMPSHIRE 03842

<b>GPI</b> 603.693.0720	Engineering Design Construction Management	Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079
	GINET.COM	

SCALE: 1"=30'	DATE: JANUARY 20, 2020	DRAWING NO. 4582SP.DWG
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219
		SHEET NO. 3 OF 15

**OWNER OF RECORD:**  
 MAP 252 LOTS 4, 5 & 9  
 4 AMIGOS LLC  
 321 LAFAYETTE ROAD, UNIT D  
 HAMPTON, NH 03842



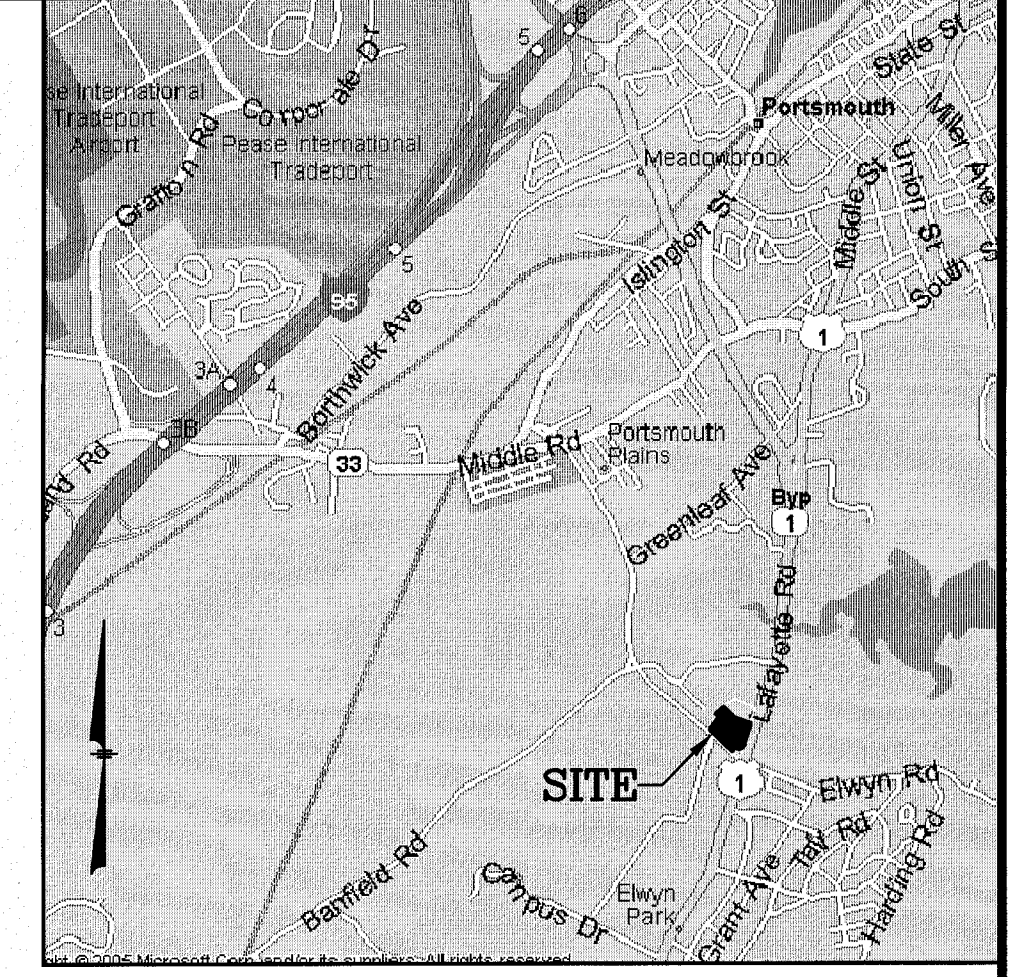
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**PROP. PEVERLY HILL ROAD RECONSTRUCTION PROJECT BY THE CITY OF PORTSMOUTH**

**MAP 252 LOT 4**  
12,838 Sq. Ft.  
0.295 Ac.±

**MAP 252 LOT 5**  
12,437 Sq. Ft.  
0.285 Ac.±

**MAP 252 LOT 9**  
223,416 Sq. Ft.  
5.129 Ac.±



**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**

- CURRENT ZONE IS GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2). REFER TO CITY OF PORTSMOUTH ZONING DISTRICTS AND USE REGULATIONS FOR ADDITIONAL INFORMATION.
- PROPOSED RESIDENTIAL PARKING BREAKDOWN:  
= 32 GARAGE SPACES (GARDEN STYLE)  
+ 46 GARAGE SPACES (TOWNHOUSE STYLE)  
(INCLUDES 2 GARAGE SPACES/UNIT)  
+ 28 EXTERIOR SPACES  
= 106 SPACES PROPOSED
- PROPOSED EXTERIOR PARKING ONLY:  
(EXCLUDING GARAGE OR BELOW GRADE PARKING) = 28 SPACES  
TOTAL REQUIRED OPEN SPACE/COMMUNITY SPACE = 20% (49,738 SF)  
TOTAL PROVIDED = 21.4% (53,135 SF)
- SEE SHEET 5 FOR ADDITIONAL NOTES & INFORMATION.

**LEGEND**

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- △ RAILROAD SPIKE FOUND
- DRILL HOLE FOUND
- SGC EXIST. SLOPED GRANITE CURB
- VGC EXIST. VERTICAL GRANITE CURB
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- TREELINE

**TABLE OF ZONING REGULATIONS – PORTSMOUTH, NH**

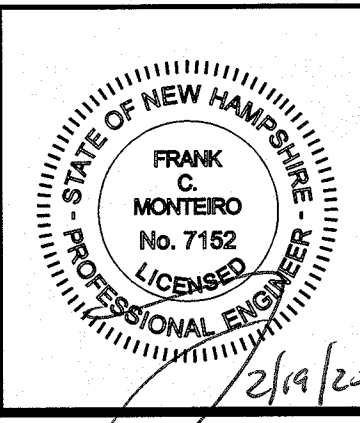
DESCRIPTION	REQUIRED	ZONE: GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2)	
		RETAIL DEVELOPMENT (PROVIDED)	APARTMENT BUILDING (PROVIDED)
MINIMUM LOT AREA Sq. Ft.	10,000 SF	248,691 SF	248,691 SF
MINIMUM LOT FRONTAGE	50'	>200'	>200'
MINIMUM FRONT YARD SETBACK	LAFAYETTE ROAD – 80 FEET FROM CENTERLINE PEVERLY HILL ROAD – 30 FEET	84' LAFAYETTE ROAD > 30' PEVERLY ROAD	5' MIN. TO 15' MAX. 25'
MINIMUM REAR YARD SETBACK	50'	> 50'	32.1'
MINIMUM SIDE YARD SETBACK	30'	> 30'	24.5'
MINIMUM FRONT YARD PAVEMENT SETBACK	30' FROM LOT LINE	> 30'	> 30'
PARKING SPACE DIMENSIONS	8.5' x 19'	9' x 19'	8.5' x 19'
MINIMUM NUMBER PARKING SPACES (RESIDENTIAL DEVELOPMENT)	DWELLING UNITS > 750 SF=1.3 SPACES/UNIT VISITOR PARKING=1 SPACE/5 DWELLING UNITS REQ. PARKING =53 UNITS * 1.3 SP/UNITS +53 UNITS * 1 SP/5 UNITS = 80 SPACES REQUIRED	NO CHANGE TO PREVIOUSLY APPROVED PARKING – 92 SPACES ONSITE	SEE PARKING BREAKDOWN ABOVE
MINIMUM OPEN SPACE	20%	53,135/248,691=21.4%	20%
MAXIMUM BUILDING HEIGHT	40', 25'-49' FROM ROW – 45 FEET	< 40'	2.5 STORIES OR 35'
MAXIMUM BUILDING COVERAGE	50%	17,186/248,691 = 6.9%	20.875/248,691=8.4%
MAXIMUM FREESTANDING SIGN AREA HEIGHT & SETBACK	100 SF PER SIDE FOR PRIMARY SIGN 75 SF PER SIDE FOR SECONDARY SIGN (N/A) 20' HEIGHT, 10' SETBACK	EXISTING SIGNAGE TO REMAIN	N/A
WALL SIGN AREA	UP TO 200 SF, CANNOT EXCEED AGGREGATE	EXISTING SIGNAGE TO REMAIN	N/A

**ORIGINAL 2013 APPROVALS**

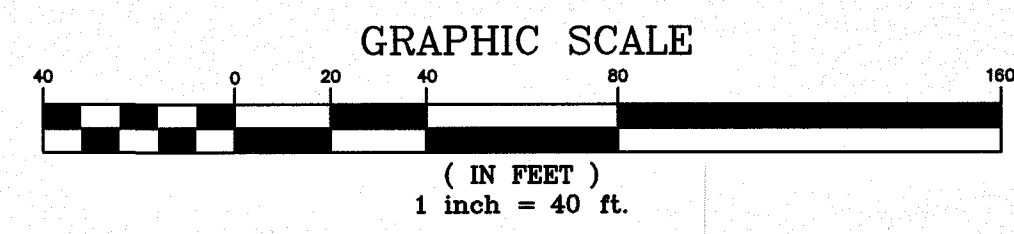
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**GPI** Engineering Design Planning Construction Management  
603.893.0720 GPINET.COM

Greenman-Pedersen, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079



**OWNER OF RECORD:**  
MAP 252 LOTS 4, 5 & 9  
4 AMIGOS LLC  
321 LAFAYETTE ROAD, UNIT D  
HAMPTON, NH 03842

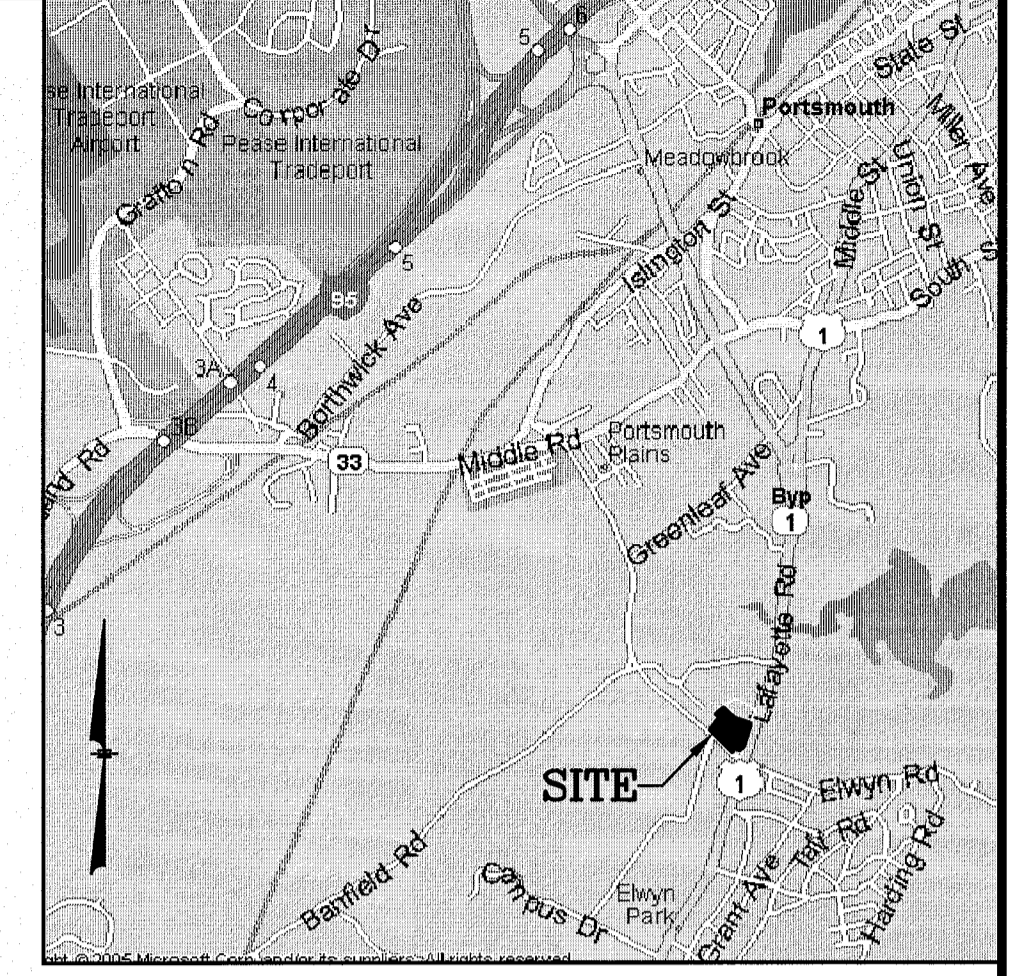
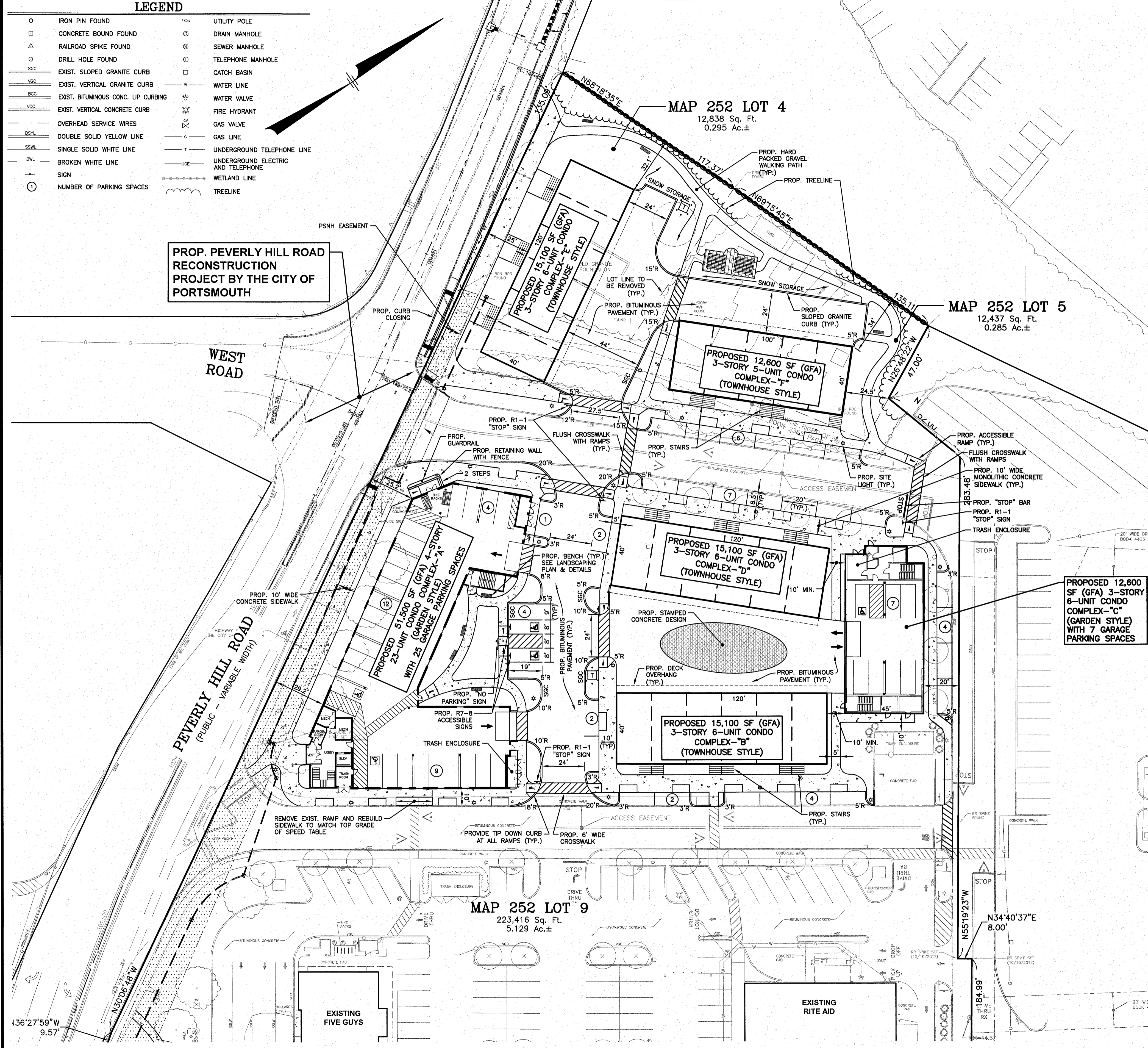


SCALE: 1"=40'	DATE: JANUARY 20, 2020	DRAWING NO. 4582SP.DWG
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219
		SHEET NO. 4 OF 15

**LEGEND**

○	IRON PIN FOUND	⊕	UTILITY POLE
□	CONCRETE BOUND FOUND	⊙	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	⊗	SEWER MANHOLE
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---	EXIST. BITUMINOUS CONC. LIP CURBING	---	WATER VALVE
---	EXIST. VERTICAL CONCRETE CURB	---	FIRE HYDRANT
---	OVERHEAD SERVICE WIRES	---	GAS VALVE
---	DOUBLE SOLID YELLOW LINE	---	GAS LINE
---	SINGLE SOLID WHITE LINE	---	UNDERGROUND TELEPHONE LINE
---	BROKEN WHITE LINE	---	UNDERGROUND ELECTRIC AND TELEPHONE
---	SIGN	---	WETLAND LINE
○	NUMBER OF PARKING SPACES	---	TREELINE

**PROP. PEVERLY HILL ROAD RECONSTRUCTION PROJECT BY THE CITY OF PORTSMOUTH**

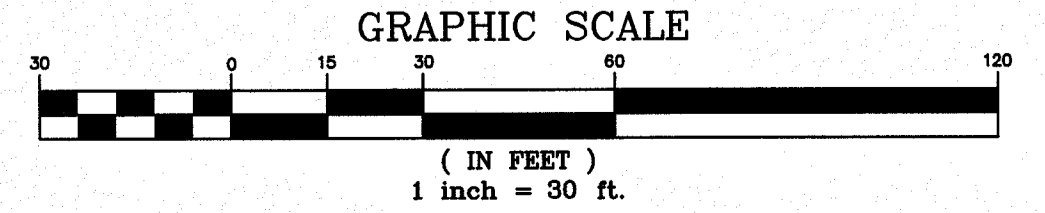


**NOTES:**

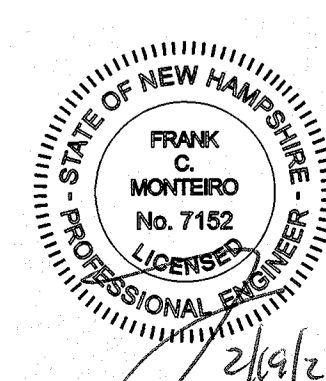
- TAX MAP 252 LOTS 4, 5 & 9
- ZONING DISTRICT: GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2)
- LOT 9 AREA = 223,416 Sq.Ft. (EXISTING) = 5.129 Ac.±
- LOT 4 AREA = 12,838 Sq.Ft. (EXISTING) = 0.295 Ac.±
- LOT 5 AREA = 12,437 Sq.Ft. (EXISTING) = 0.285 Ac.±
- EXISTING USE: VACANT REAR PARCEL ON PORTION OF LOT 9 AND RESIDENTIAL DWELLING ON LOTS 4 & 5. (FORMER YOKEN'S RESTAURANT AND FUNCTION FACILITY)  
PROPOSED USE: MULTI-UNIT RESIDENTIAL DEVELOPMENT
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN THE FEDERAL REGISTER, REVISED IN 2010.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 (72 HOURS PRIOR TO ANY EXCAVATION).
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH AND THE STATE OF NEW HAMPSHIRE.
- THE SITE IS NOT WITHIN THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE PANEL 270 OF 681, MAP NUMBER 3301500270E, EFFECTIVE DATE: MAY 17, 2005.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY RITE AID CORPORATION.
- A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- PROPOSED SNOW STORAGE AREAS AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING ON-SITE PAVEMENT, CONCRETE PADS, BRICKS, FILL PILES, AND ALL OTHER EXISTING SURFACE AND UNDERGROUND STRUCTURES WHICH ARE NOT RE-USED AS PART OF THE CONSTRUCTION. SEE DEMOLITION PLAN.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS ACCEPTABLE TO THE NHDOT AND CITY DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE SITE CONTRACTOR SHALL TAKE NOTICE THAT THIS SITE IS REGISTERED WITH THE STATE AS AN ARCHAEOLOGICAL SITE KNOWN AS THE "WILLEY/LIGHTFORD" BURIAL GROUND. THE APPLICANT HAS CONSULTED WITH INDEPENDENT ARCHAEOLOGICAL CONSULTING, LLC (IAC) OF PORTSMOUTH, NH TO FURTHER RESEARCH THE ALLEGED UNMARKED BURIAL GROUND. A SUMMARY REPORT WAS PREPARED BY IAC, DATED 6/11/12, WHICH OUTLINES THE GROUND PENETRATING RADAR TECHNOLOGIES THAT WERE USED TO IDENTIFY THE POTENTIAL BURIAL GROUND WHICH WAS SUBSEQUENTLY EXCAVATED. THE ARCHAEOLOGISTS CONCLUDED THAT THERE WAS NO BURIAL GROUND ON SITE WITHIN THE LIMITS OF MAP 252 LOT 9. ADDITIONAL EXPLORATION TO BE PERFORMED WITHIN THE LIMITS OF MAP 252 LOT 4.
- THE SITE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE COMFORT INN TO MAINTAIN ACCESS AND MINIMIZE DISRUPTION TO THEIR BUSINESS OPERATION.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- EXISTING IMPERVIOUS AREA = 115,532 SF± (46.5%)  
PROPOSED IMPERVIOUS AREA = 195,556 SF± (78.6%)
- REQUIRED STATE/FEDERAL PERMITS:  
NHDES ALTERATION OF TERRAIN (AOT): PENDING  
EPA CONSTRUCTION GENERAL PERMIT (SWPPP): PENDING  
NHDES SEWER EXTENSION PERMIT: PENDING  
NHDOT DRIVEWAY PERMIT: PENDING

**PROPOSED 12,600 SF (GFA) 3-STORY 6-UNIT CONDO COMPLEX "C" (GARDEN STYLE) WITH 7 GARAGE PARKING SPACES**

**MAP 252 LOT 9**  
223,416 Sq. Ft.  
5.129 Ac.±



**OWNER OF RECORD:**  
MAP 252 LOTS 4, 5 & 9  
4 AMIGOS LLC  
321 LAFAYETTE ROAD, UNIT D  
HAMPTON, NH 03842



1	MISC. REVISIONS PER TAC	CMT	2/20/20
NO.	DESCRIPTION	BY	DATE
REVISIONS			
<b>SITE PLAN</b>			
ASSESSORS MAP 252 - LOTS 4, 5 & 9			
1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE			
PREPARED FOR:			
<b>4 AMIGOS, LLC</b>			
321 LAFAYETTE ROAD UNIT D HAMPTON, NEW HAMPSHIRE 03842			
<b>GPI</b>		Greenman-Pedersen, Inc.	
Engineering Design Planning Construction Management		44 Stiles Road Suite One Salem, NH 03079	
603.893.0720		GPI.NET.COM	
SCALE: 1"=30'	DATE: JANUARY 20, 2020	DRAWING NO. 4582SP.DWG	
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219	SHEET NO. 5 OF 15

**LEGEND**

- IRON PIN FOUND
- CONCRETE BOUND FOUND
- △ RAILROAD SPIKE FOUND
- DRILL HOLE FOUND
- EXIST. SLOPED GRANITE CURB
- EXIST. VERTICAL GRANITE CURB
- EXIST. BITUMINOUS CONC. LIP CURBING
- EXIST. VERTICAL CONCRETE CURB
- OVERHEAD SERVICE WIRES
- DOUBLE SOLID YELLOW LINE
- SINGLE SOLID WHITE LINE
- BROKEN WHITE LINE
- SIGN
- C.O. PROP. CLEANOUT
- CB-1 PROP. CATCH BASIN
- DMH-1 PROP. DRAIN MANHOLE
- SMH-1 PROP. SEWER MANHOLE
- MEG MEET EXISTING GRADE
- PROP. SPOT ELEVATION
- PROP. CONTOUR ELEVATION
- G.B. GRADE BREAK
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- GAS VALVE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC AND TELEPHONE
- WETLAND LINE
- TREELINE

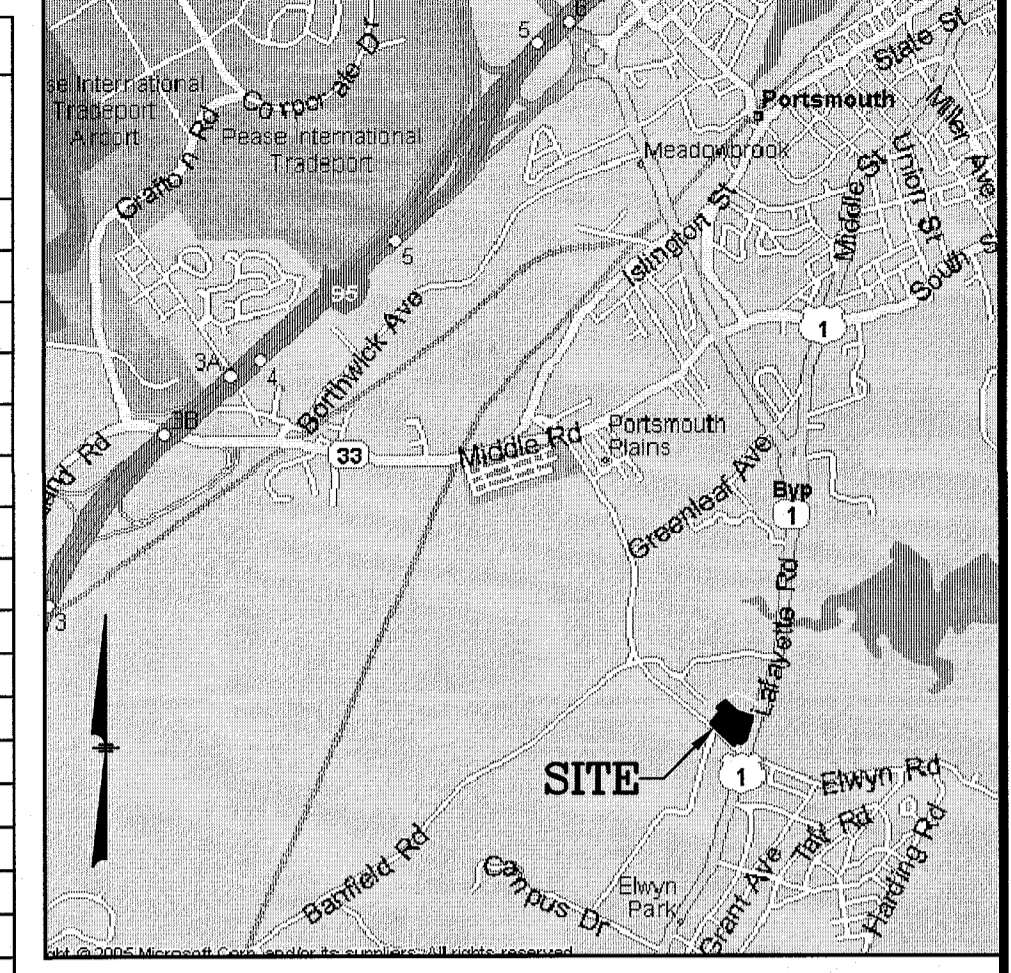
**PROP. PEVERLY HILL ROAD RECONSTRUCTION PROJECT BY THE CITY OF PORTSMOUTH**

**DRAINAGE STRUCTURES**

- CB-1 RIM=46.25 INV.OUT=42.75
- CB-2 RIM=47.10 INV.OUT=43.60
- CB-3 RIM=47.00 INV.OUT=42.75
- CB-4(FD) RIM=45.45 INV.IN=39.40(EX.CB-9) INV.OUT=39.40
- CB-5(FD) RIM=47.00 INV.IN=42.45(CB-3) INV.OUT=42.20
- CB-6(FD) RIM=45.90 INV.OUT=42.20
- CB-7(FD) RIM=45.60 INV.OUT=42.20
- DMH-1(FD) RIM=47.45 INV.IN=42.25(CB-1) INV.IN=42.25(CB-2) INV.OUT=42.00
- DMH-2 RIM=46.55 INV.IN=39.55(OCS-2) INV.IN=39.55(DMH-7) INV.OUT=39.55
- DMH-3 RIM=45.45 INV.IN=39.40(DMH-3) INV.IN=39.40(EX.CB-9) INV.OUT=39.40
- DMH-4 RIM=45.20 INV.IN=40.34(EX.CB-6) INV.OUT=40.20
- DMH-5 RIM=46.40 INV.IN=40.05(DMH-5) INV.OUT=40.05
- DMH-6 RIM=45.90 INV.IN=39.80(OCS-3) INV.IN=39.80(DMH-6) INV.OUT=39.80
- EX.CB RIM=47.45 INV.IN=41.50(OCS-1) INV.IN=42.25(CB-2) INV.OUT=42.00
- EX.DMH RIM=44.18 INV.IN=39.20(DMH-4) INV.OUT=39.09
- OUTLET CONTROL STRUCTURE #1 (OCS-1) RIM=48.00 INV.IN=41.75(INF-1) INV.IN=41.75 (SEE DETAIL)
- OUTLET CONTROL STRUCTURE #2 (OCS-2) RIM=48.50 INV.IN=40.50(INF-2) INV.IN=40.30 (SEE DETAIL)
- OUTLET CONTROL STRUCTURE #3 (OCS-3) RIM=45.90 INV.IN=40.00(INF-3) INV.IN=40.00 (SEE DETAIL)

- PROPOSED UNDERGROUND INFILTRATION SYSTEM #1 (INF-1) (5) 36" PERF. HDPE PIPE 32LF, S=0.000 FT/FT INV.PIPE=41.75 INV.IN'S=42.00(DMH-1) INV.OUT=41.25(24") (SEE DETAIL SHEET)
- PROPOSED UNDERGROUND INFILTRATION SYSTEM #2 (INF-2) (4) 36" PERF. HDPE PIPE 32LF, S=0.000 FT/FT INV.PIPES=40.50 INV.IN'S=42.00(CB-4/INF-4) INV.IN'S=42.00(CB-7) INV.OUT=40.00(24") (SEE DETAIL SHEET)
- PROPOSED UNDERGROUND INFILTRATION SYSTEM #3 (INF-3) (5) 36" PERF. HDPE PIPE 57LF, S=0.000 FT/FT INV.PIPES=40.00 INV.IN'S=42.00(CB6/CB-7) INV.OUT=40.00(24") (SEE DETAIL SHEET)
- PROPOSED UNDERGROUND INFILTRATION SYSTEM #4 (INF-4) (4) 36" PERF. HDPE PIPE 32LF, S=0.000 FT/FT INV.PIPES=40.50 INV.OUT=42.35(12") (SEE DETAIL SHEET)

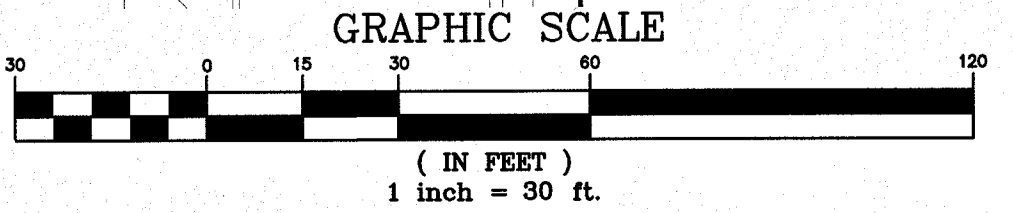
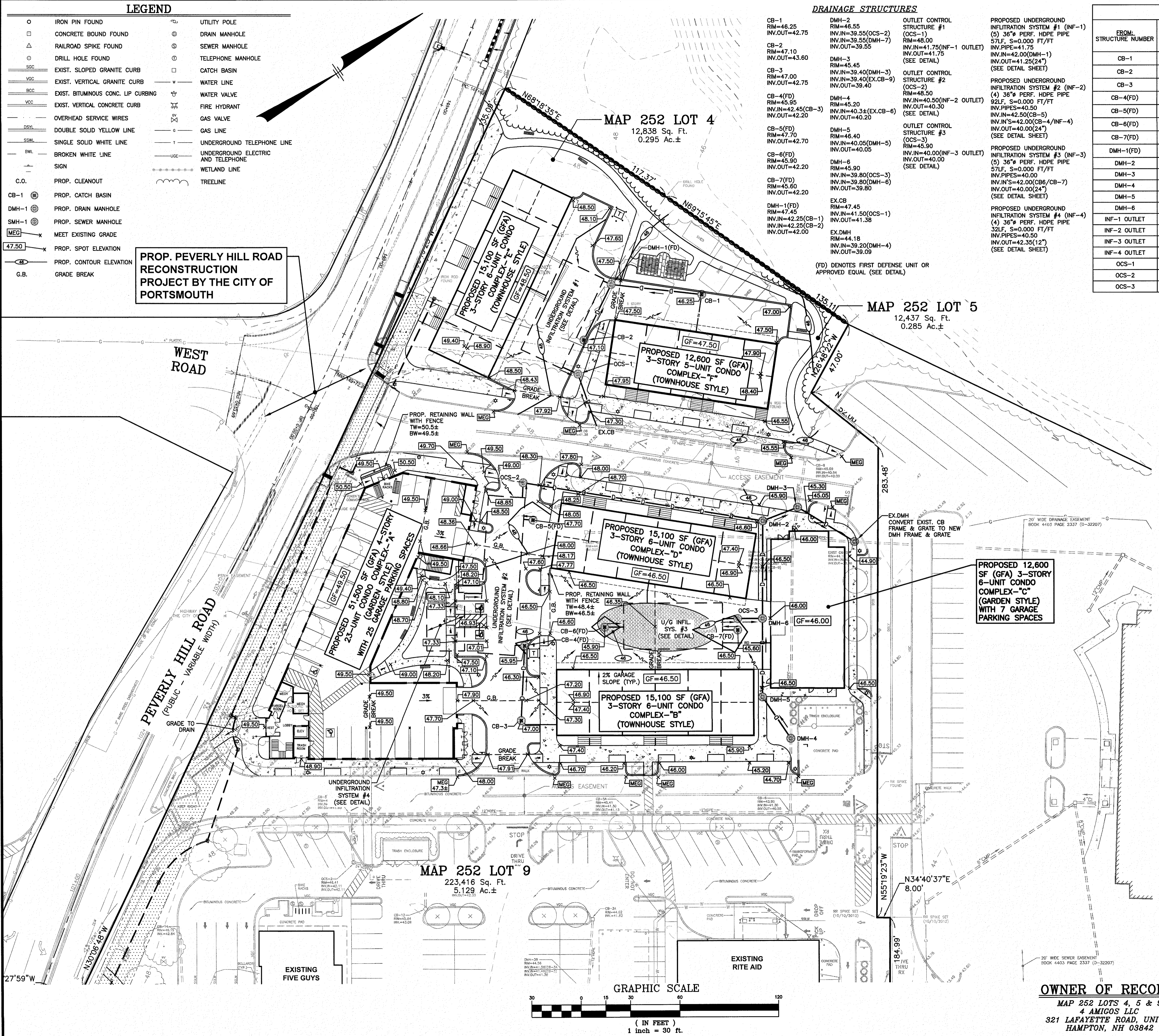
DRAINAGE PIPE SCHEDULE						
FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER	
CB-1	12	HDPE	55	0.009	DMH-1(FD)	
CB-2	12	HDPE	37	0.036	DMH-1(FD)	
CB-3	12	HDPE	45	0.007	CB-4(FD)	
CB-4(FD)	12	HDPE	6	0.034	INF-2 INLET-1	
CB-5(FD)	12	HDPE	6	0.035	INF-2 INLET-2	
CB-6(FD)	12	HDPE	12	0.017	INF-3 INLET-1	
CB-7(FD)	12	HDPE	9	0.022	INF-3 INLET-2	
DMH-1(FD)	12	HDPE	5	0.047	INF-1 INLET	
DMH-2	18	HDPE	23	0.007	DMH-3	
DMH-3	18	HDPE	40	0.005	EX.DMH	
DMH-4	18	HDPE	30	0.005	DMH-5	
DMH-5	18	HDPE	47	0.005	DMH-6	
DMH-6	18	HDPE	59	0.004	DMH-2	
INF-1 OUTLET	24	HDPE	10	0.000	OCS-1	
INF-2 OUTLET	24	HDPE	9	0.000	OCS-2	
INF-3 OUTLET	24	HDPE	9	0.000	OCS-3	
INF-4 OUTLET	12	HDPE	10	0.033	INF-2 INLET 3	
OCS-1	12	HDPE	33	0.008	EX.CB	
OCS-2	15	HDPE	147	0.005	DMH-2	
OCS-3	12	HDPE	15	0.013	DMH-6	



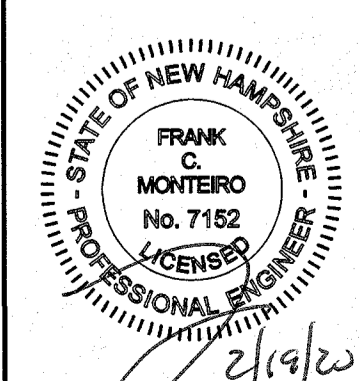
**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**

- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- ALL ROOF DRAIN PIPE SHALL BE MINIMUM 6" PVC(SDR-35).
- ELEVATIONS ARE BASED ON NAVD 1988 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- SEE UTILITIES PLAN FOR SERVICE CONNECTIONS.
- CONTRACTOR TO USE EXTREME CAUTION TO INSURE THAT NO PONDING OCCURS AT PROPOSED DRIVEWAYS.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS. ALL CASTINGS ARE PER DPW REQUIREMENTS.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AND NHDOT, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
- SEE EROSION & SEDIMENT CONTROL PLAN FOR CONSTRUCTION SEQUENCE AND EROSION CONTROL MEASURES.
- THE SITE WILL REQUIRE A NHDES ALTERATION OF TERRAIN (AOT) PERMIT SINCE THE PROJECT WILL DISTURB MORE THAN 100,000 SF OF TERRAIN. CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS IN THAT PERMIT.
- THE GENERAL CONTRACTOR IS TO PROVIDE 2" RIGID POLYSTYRENE THERMAL INSULATION WITH A MINIMUM "R" VALUE OF 10 AT LOCATIONS WHERE THERE IS LESS THAN 3' OF COVER OVER STORM DRAINS. SEE DETAIL SHEET FOR TRENCH SECTION.
- ALL CATCH BASINS SHALL BE FITTED WITH A OIL-WATER-DEBRIS HOODS ON THE OUTLET PIPE.
- FOR DRAINAGE STRUCTURE DETAILS SEE DETAIL SHEETS.
- ALL PIPE DATA IS CALCULATED TO CENTER OF STRUCTURE, TYP.
- CONTRACTOR TO REFER TO THE OPERATION & MAINTENANCE (O&M) MANUAL FOR STORMWATER MANAGEMENT SYSTEMS FOR SITE MAINTENANCE DURING AND AFTER CONSTRUCTION.
- ALL UNDERGROUND SYSTEMS TO BE CONSTRUCTED WITH RISERS AND CLEANOUTS.



**OWNER OF RECORD:**  
MAP 252 LOTS 4, 5 & 9  
4 AMIGOS LLC  
321 LAFAYETTE ROAD, UNIT D  
HAMPTON, NH 03842



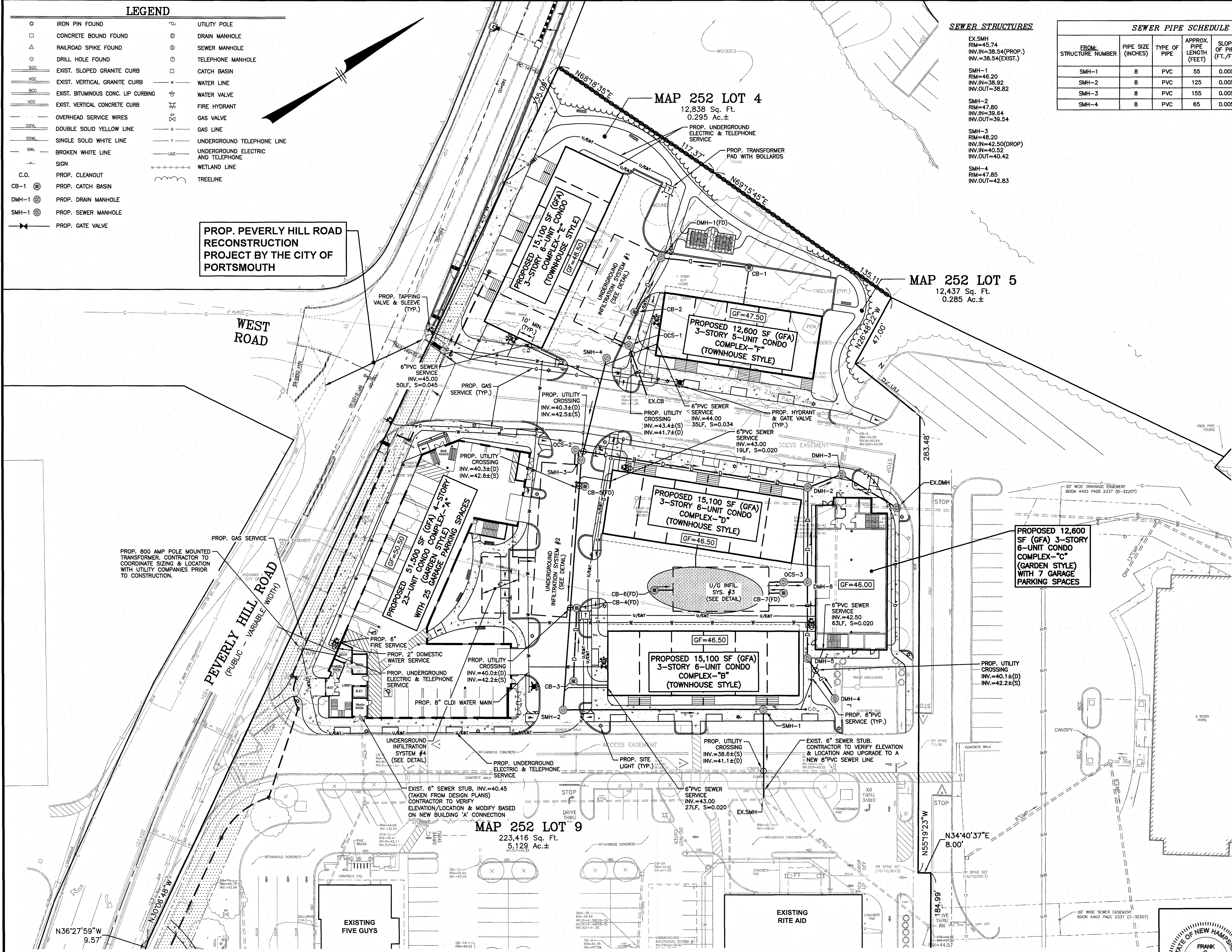
1	MISC. REVISIONS PER TAC	CMT	2/20/20
NO.	DESCRIPTION	BY	DATE
REVISIONS			
<b>GRADING &amp; DRAINAGE PLAN</b>			
ASSESSORS MAP 252 - LOTS 4, 5 & 9			
1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE			
PREPARED FOR: <b>4 AMIGOS, LLC</b> 321 LAFAYETTE ROAD UNIT D HAMPTON, NEW HAMPSHIRE 03842			
<b>GPI</b> Engineering Design Planning Construction Management		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
603.893.0720		GPINET.COM	
SCALE: 1"=30'	DATE: JANUARY 20, 2020	DRAWING NO. 458219.DWG	
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219	SHEET NO. 6 OF 15

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### LEGEND

○	IRON PIN FOUND	⊕	UTILITY POLE
□	CONCRETE BOUND FOUND	⊕	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	⊕	SEWER MANHOLE
○	DRILL HOLE FOUND	⊕	TELEPHONE MANHOLE
SGC	EXIST. SLOPED GRANITE CURB	⊕	CATCH BASIN
VSC	EXIST. VERTICAL GRANITE CURB	—	WATER LINE
BSC	EXIST. BITUMINOUS CONC. LIP CURBING	—	WATER VALVE
VCC	EXIST. VERTICAL CONCRETE CURB	—	FIRE HYDRANT
—	OVERHEAD SERVICE WIRES	—	GAS VALVE
EST	DOUBLE SOLID YELLOW LINE	—	GAS LINE
SWL	SINGLE SOLID WHITE LINE	—	UNDERGROUND TELEPHONE LINE
BWL	BROKEN WHITE LINE	—	UNDERGROUND ELECTRIC AND TELEPHONE
—	SIGN	—	WETLAND LINE
C.O.	PROP. CLEANOUT	—	TREELINE
CB-1	PROP. CATCH BASIN		
DMH-1	PROP. DRAIN MANHOLE		
SMH-1	PROP. SEWER MANHOLE		
—	PROP. GATE VALVE		

**PROP. PEVERLY HILL ROAD RECONSTRUCTION PROJECT BY THE CITY OF PORTSMOUTH**

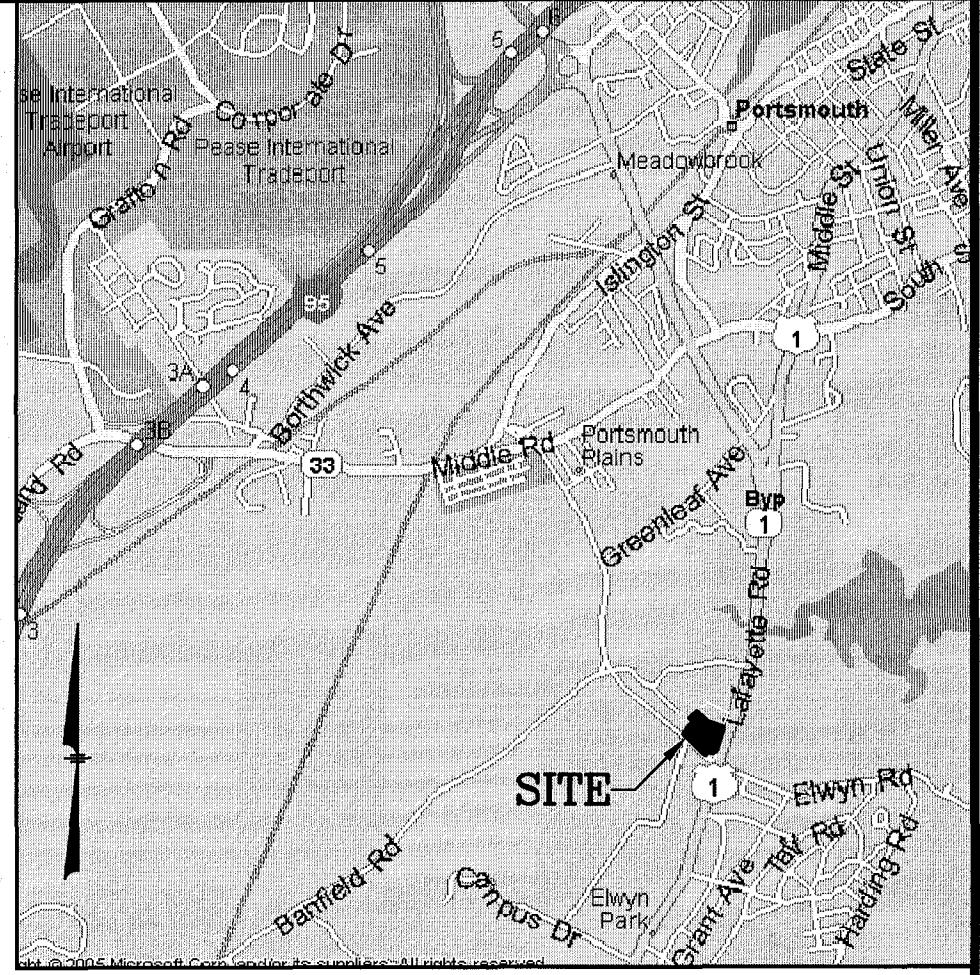


### SEWER STRUCTURES

EX-SMH	RM=45.74	INV.IN=38.54(POP.)	INV.OUT=38.54(EXIST.)
SMH-1	RM=46.20	INV.IN=38.92	INV.OUT=38.82
SMH-2	RM=47.80	INV.IN=39.64	INV.OUT=39.54
SMH-3	RM=48.20	INV.IN=42.50(DROP)	INV.IN=40.52
SMH-4	RM=47.85	INV.OUT=42.83	

### SEWER PIPE SCHEDULE

FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
SMH-1	8	PVC	55	0.005	EX-SMH
SMH-2	8	PVC	125	0.005	SMH-1
SMH-3	8	PVC	155	0.005	SMH-2
SMH-4	8	PVC	65	0.005	SMH-3



**LOCATION MAP**  
(NOT TO SCALE)

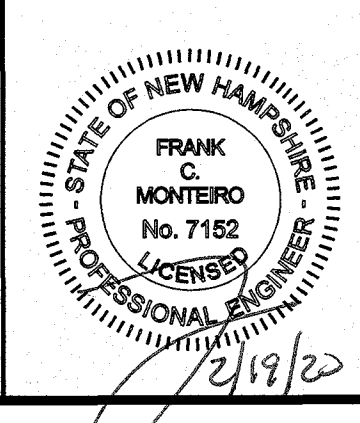
- ### NOTES:
- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
  - 2) ALL WATER PIPE SHALL BE COPPER OR CLDIP, AS NOTED ON PLAN.
  - 3) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
  - 4) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
  - 5) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
  - 6) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
  - 7) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
  - 8) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS. ALL BUILDINGS SHALL BE CONNECTED TO THE CITY FIRE ALARM SYSTEM.
  - 9) THE CONTRACTOR IS TO COORDINATE WITH THE MUNICIPAL DPW REGARDING WATER PRESSURE AT SERVICE. THE CONTRACTOR IS TO VERIFY IF PRESSURE REDUCING VALVE IS REQUIRED.
  - 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
  - 11) SEE GRADING & DRAINAGE PLAN FOR DRAINAGE INSTALLATION DETAILS.
  - 12) A MINIMUM OF 18" OF VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN BOTTOM OF WATER MAIN AND TOP OF SEWER, AND AT ALL DRAINAGE PIPE CROSSINGS. A MINIMUM OF 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ALL WATER AND SEWER MAINS (INCLUDING SERVICE CONNECTIONS), AND ALL DRAIN PIPE AND SEWER MAINS.
  - 13) THIS SITE WILL REQUIRE A NHDES WASTEWATER CONNECTION PERMIT. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS IN THAT PERMIT. THE CONTRACTOR SHALL ALSO COMPLY WITH THE TECHNICAL SPECIFICATIONS AS PREPARED BY THIS OFFICE, WHICH ARE PART OF THIS PERMIT.

### PUBLIC UTILITIES

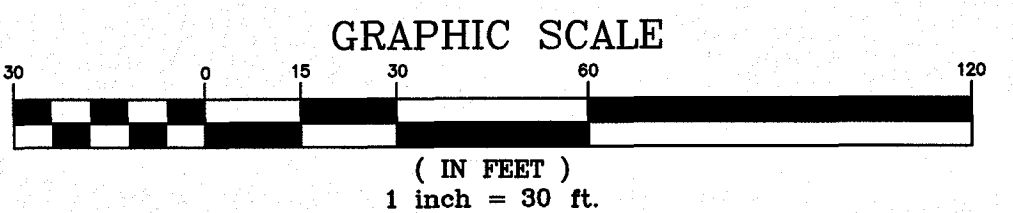
UTILITIES	AVAILABLE
(SEWER) CITY OF PORTSMOUTH PUBLIC WORKS DEPT., PETER RICE 603-427-1530	YES
(WATER) CITY OF PORTSMOUTH PUBLIC WORKS DEPT., PETER RICE 603-427-1530	YES
(GAS) NORTHERN UTILITIES, DAVID BEAULIEU 603-294-5144	YES
(ELECTRIC) PUBLIC SERVICE OF NEW HAMPSHIRE (PSNH), MARK COLLINS 603-332-4227 x5325	YES
(TELEPHONE) FAIRPOINT COMMUNICATIONS, DAVID KESTNER 603-743-1114	YES

NO.	REVISIONS	BY	DATE
1	MISC. REVISIONS PER TAC	CMT	2/20/20

**UTILITY PLAN**  
**ASSESSORS' MAP 252 - LOTS 4, 5 & 9**  
 1400 LAFAYETTE ROAD  
 PORTSMOUTH, NEW HAMPSHIRE  
 PREPARED FOR:  
**4 AMIGOS, LLC**  
 321 LAFAYETTE ROAD UNIT D  
 HAMPTON, NEW HAMPSHIRE 03842



**OWNER OF RECORD:**  
 MAP 252 LOTS 4, 5 & 9  
 4 AMIGOS LLC  
 321 LAFAYETTE ROAD, UNIT D  
 HAMPTON, NH 03842

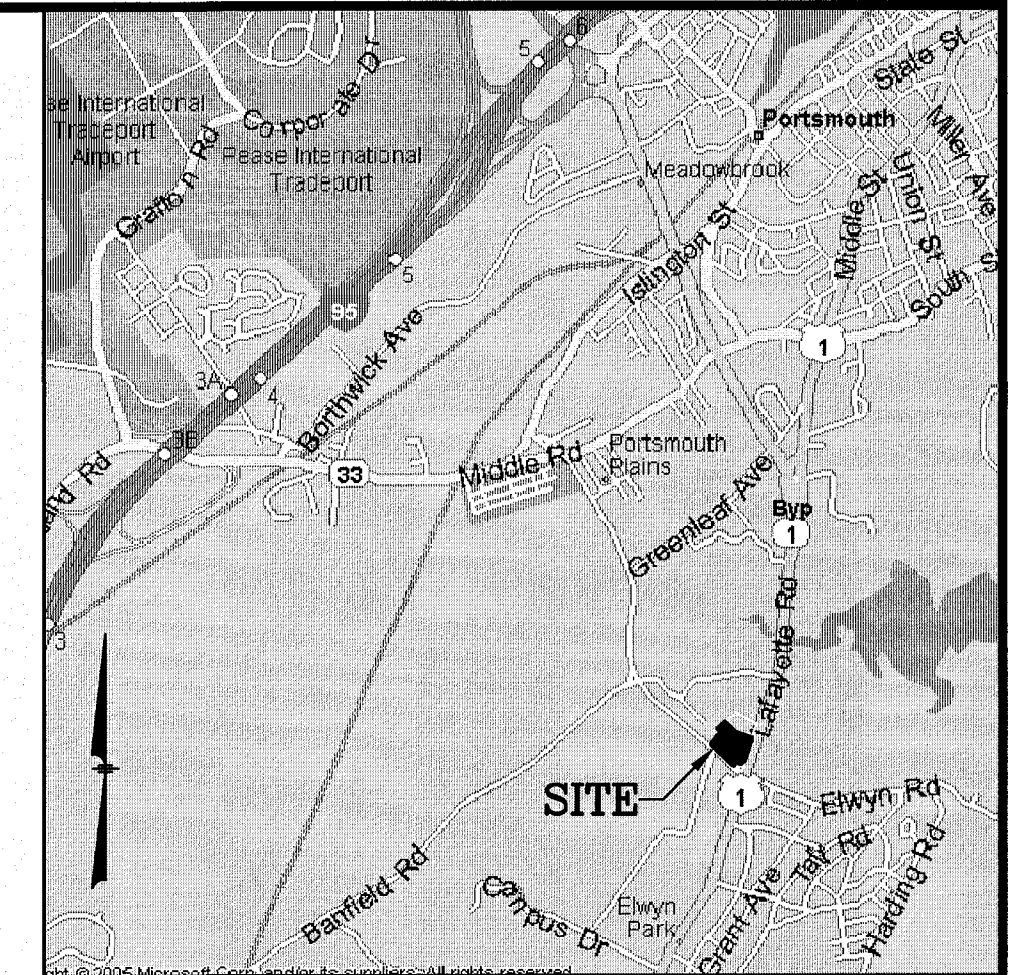


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**LEGEND**

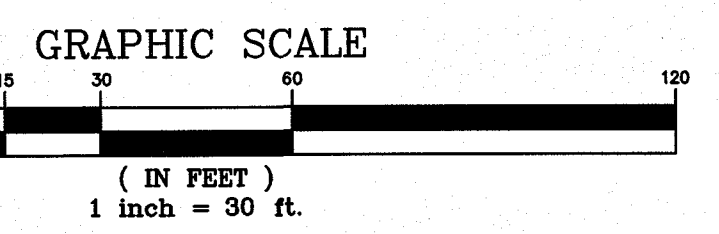
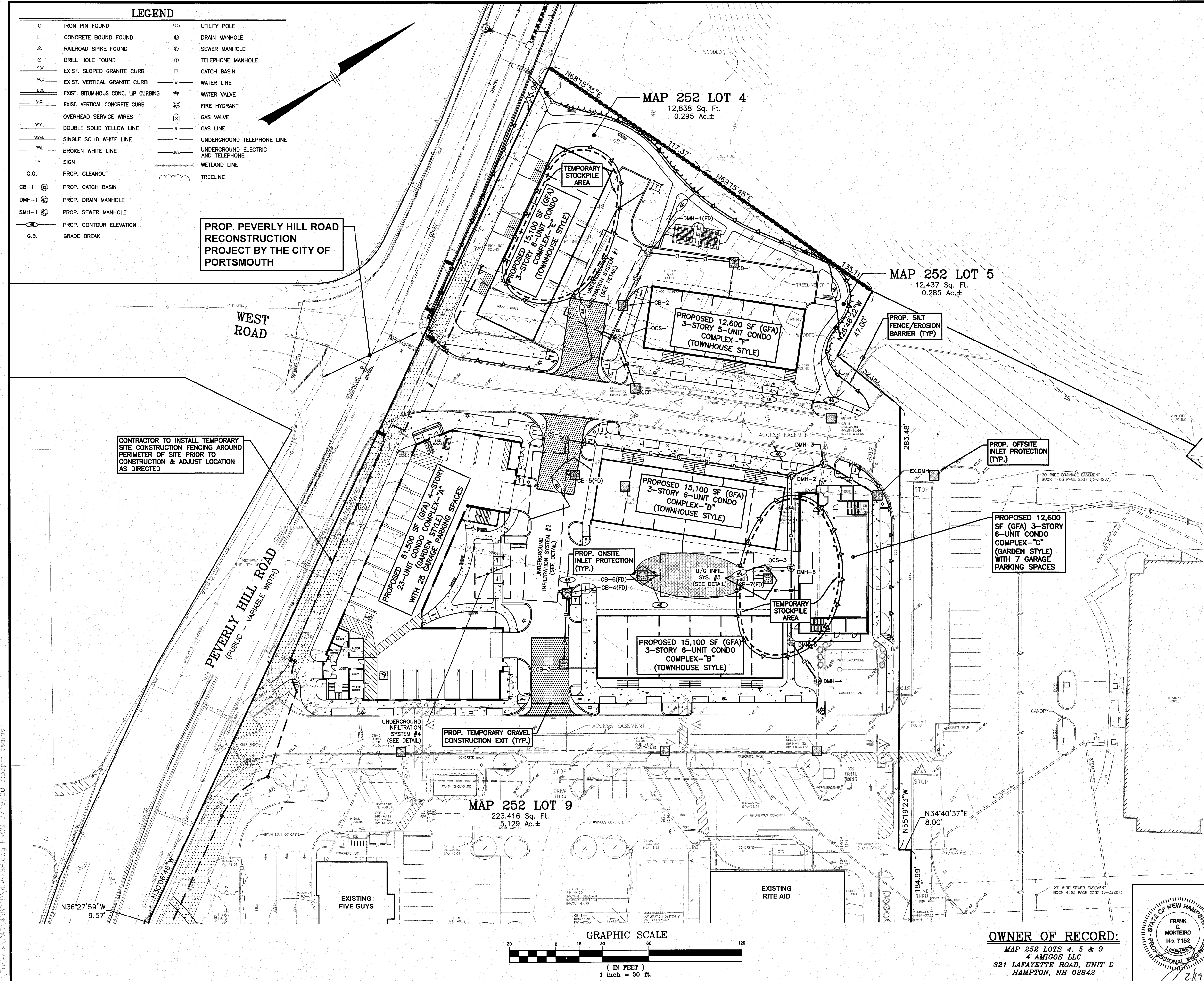
- IRON PIN FOUND
- CONCRETE BOUND FOUND
- △ RAILROAD SPIKE FOUND
- DRILL HOLE FOUND
- SSC EXIST. SLOPED GRANITE CURB
- VSC EXIST. VERTICAL GRANITE CURB
- BCC EXIST. BITUMINOUS CONC. LIP CURBING
- VCC EXIST. VERTICAL CONCRETE CURB
- OSW OVERHEAD SERVICE WIRES
- DSYL DOUBLE SOLID YELLOW LINE
- SSWL SINGLE SOLID WHITE LINE
- BWL BROKEN WHITE LINE
- SIGN
- C.O. PROP. CLEANOUT
- CB-1 PROP. CATCH BASIN
- DMH-1 PROP. DRAIN MANHOLE
- SMH-1 PROP. SEWER MANHOLE
- G.B. PROP. CONTOUR ELEVATION
- GRADE BREAK
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- WATER LINE
- FIRE VALVE
- FIRE HYDRANT
- GAS VALVE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC AND TELEPHONE
- WETLAND LINE
- TREELINE

**PROP. PEVERLY HILL ROAD RECONSTRUCTION PROJECT BY THE CITY OF PORTSMOUTH**

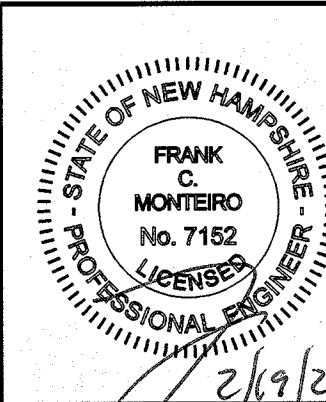


**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**  
1) SEE DETAIL SHEETS FOR EROSION CONTROL NOTES, CONSTRUCTION SEQUENCE, AND DETAILS.



**OWNER OF RECORD:**  
MAP 252 LOTS 4, 5 & 9  
4 AMIGOS, LLC  
321 LAFAYETTE ROAD, UNIT D  
HAMPTON, NH 03842



1	MISC. REVISIONS PER TAC	CMT	2/20/20
NO.	DESCRIPTION	BY	DATE
REVISIONS			
<b>EROSION &amp; SEDIMENT CONTROL PLAN</b>			
ASSESSORS MAP 252 - LOTS 4, 5 & 9			
1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE			
PREPARED FOR:			
<b>4 AMIGOS, LLC</b>			
321 LAFAYETTE ROAD UNIT D HAMPTON, NEW HAMPSHIRE 03842			
<b>GPI</b>		Engineering Design Planning Construction Management	Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079
603.893.0720		GPINET.COM	
SCALE: 1"=30'	DATE: JANUARY 20, 2020	DRAWING NO. 4582SP.DWG	
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219	SHEET NO. 8 OF 15

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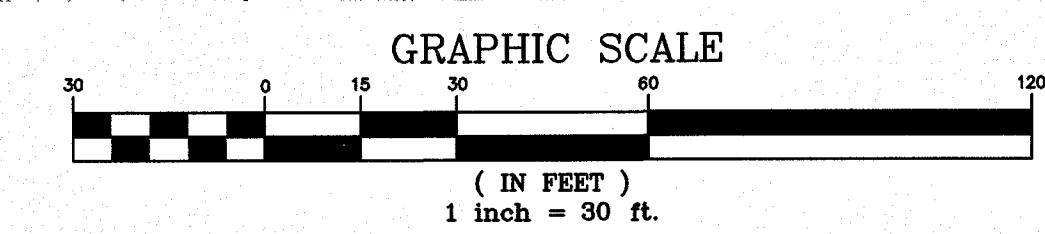
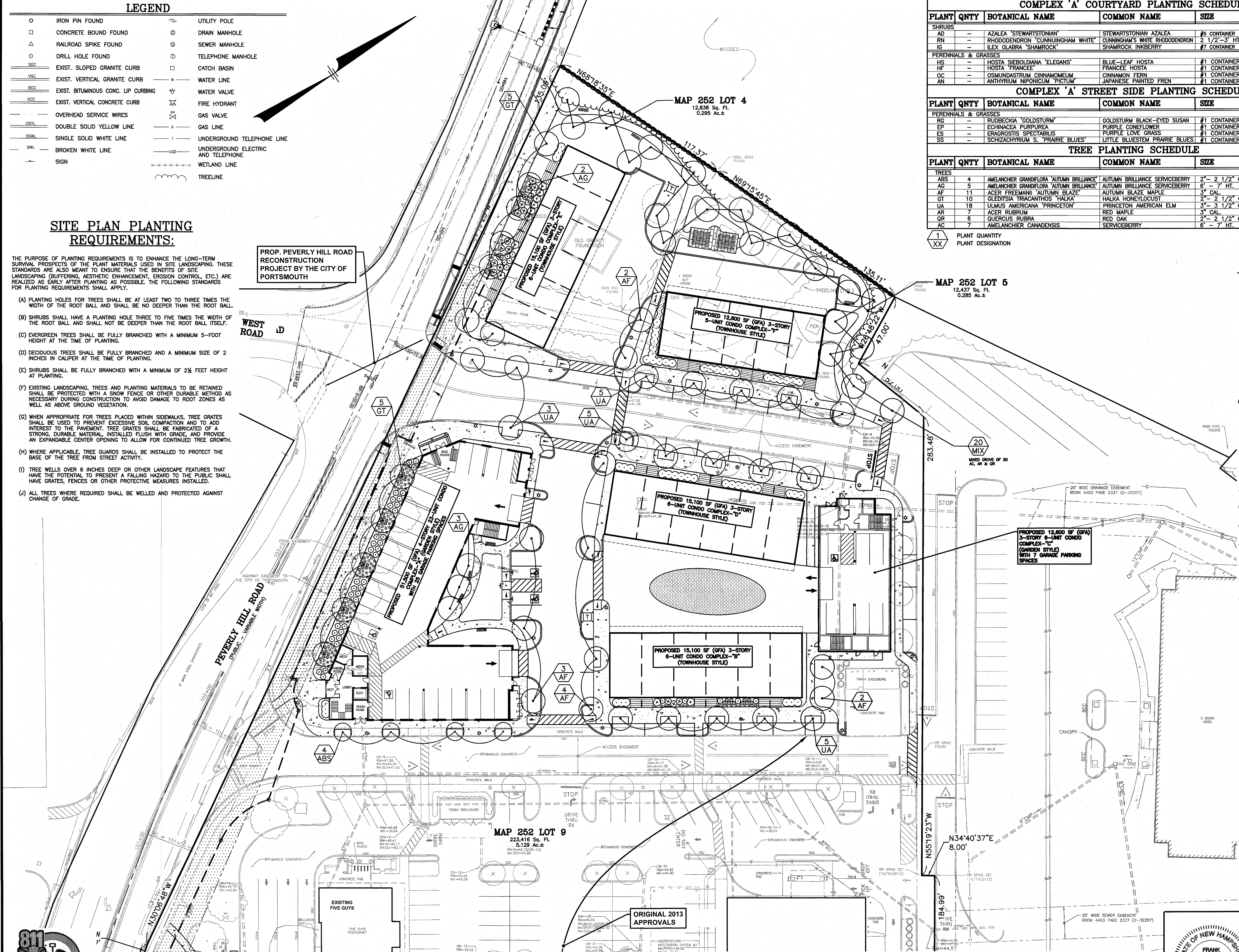
### LEGEND

○	IRON PIN FOUND	○	UTILITY POLE
□	CONCRETE BOUND FOUND	⊙	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	⊙	SEWER MANHOLE
○	DRILL HOLE FOUND	⊙	TELEPHONE MANHOLE
---	EXIST. SLOPED GRANITE CURB	□	CATCH BASIN
---	EXIST. VERTICAL GRANITE CURB	---	WATER LINE
---	EXIST. BITUMINOUS CONC. LIP CURBING	---	WATER VALVE
---	EXIST. VERTICAL CONCRETE CURB	---	FIRE HYDRANT
---	OVERHEAD SERVICE WIRES	---	GAS VALVE
---	DOUBLE SOLID YELLOW LINE	---	GAS LINE
---	SINGLE SOLID WHITE LINE	---	UNDERGROUND TELEPHONE LINE
---	BROKEN WHITE LINE	---	UNDERGROUND ELECTRIC AND TELEPHONE
---	SIGN	---	WETLAND LINE
		---	TREELINE

### SITE PLAN PLANTING REQUIREMENTS:

- THE PURPOSE OF PLANTING REQUIREMENTS IS TO ENHANCE THE LONG-TERM SURVIVAL PROSPECTS OF THE PLANT MATERIALS USED IN SITE LANDSCAPING. THESE STANDARDS ARE ALSO MEANT TO ENSURE THAT THE BENEFITS OF SITE LANDSCAPING (BUFFERING, AESTHETIC ENHANCEMENT, EROSION CONTROL, ETC.) ARE REALIZED AS EARLY AFTER PLANTING AS POSSIBLE. THE FOLLOWING STANDARDS FOR PLANTING REQUIREMENTS SHALL APPLY.
- PLANTING HOLES FOR TREES SHALL BE AT LEAST TWO TO THREE TIMES THE WIDTH OF THE ROOT BALL AND SHALL BE NO DEEPER THAN THE ROOT BALL.
  - SHRUBS SHALL HAVE A PLANTING HOLE THREE TO FIVE TIMES THE WIDTH OF THE ROOT BALL AND SHALL NOT BE DEEPER THAN THE ROOT BALL ITSELF.
  - EVERGREEN TREES SHALL BE FULLY BRANCHED WITH A MINIMUM 5-FOOT HEIGHT AT THE TIME OF PLANTING.
  - DECIDUOUS TREES SHALL BE FULLY BRANCHED AND A MINIMUM SIZE OF 2 INCHES IN CALIPER AT THE TIME OF PLANTING.
  - SHRUBS SHALL BE FULLY BRANCHED WITH A MINIMUM OF 2 1/2 FEET HEIGHT AT PLANTING.
  - EXISTING LANDSCAPING, TREES AND PLANTING MATERIALS TO BE RETAINED SHALL BE PROTECTED WITH A SNOW FENCE OR OTHER DURABLE METHOD AS NECESSARY DURING CONSTRUCTION TO AVOID DAMAGE TO ROOT ZONES AS WELL AS ABOVE GROUND VEGETATION.
  - WHEN APPROPRIATE FOR TREES PLACED WITHIN SIDEWALKS, TREE GRATES SHALL BE USED TO PREVENT EXCESSIVE SOIL COMPACTION AND TO ADD INTEREST TO THE PAVEMENT. TREE GRATES SHALL BE FABRICATED OF A STRONG, DURABLE MATERIAL, INSTALLED FLUSH WITH GRADE, AND PROVIDE AN EXPANDABLE CENTER OPENING TO ALLOW FOR CONTINUED TREE GROWTH.
  - WHERE APPLICABLE, TREE GUARDS SHALL BE INSTALLED TO PROTECT THE BASE OF THE TREE FROM STREET ACTIVITY.
  - TREE WELLS OVER 6 INCHES DEEP OR OTHER LANDSCAPE FEATURES THAT HAVE THE POTENTIAL TO PRESENT A FALLING HAZARD TO THE PUBLIC SHALL HAVE GRATES, FENCES OR OTHER PROTECTIVE MEASURES INSTALLED.
  - ALL TREES WHERE REQUIRED SHALL BE WELLED AND PROTECTED AGAINST CHANGE OF GRADE.

PROP. PEVERLY HILL ROAD RECONSTRUCTION PROJECT BY THE CITY OF PORTSMOUTH



#### COMPLEX 'A' COURTYARD PLANTING SCHEDULE

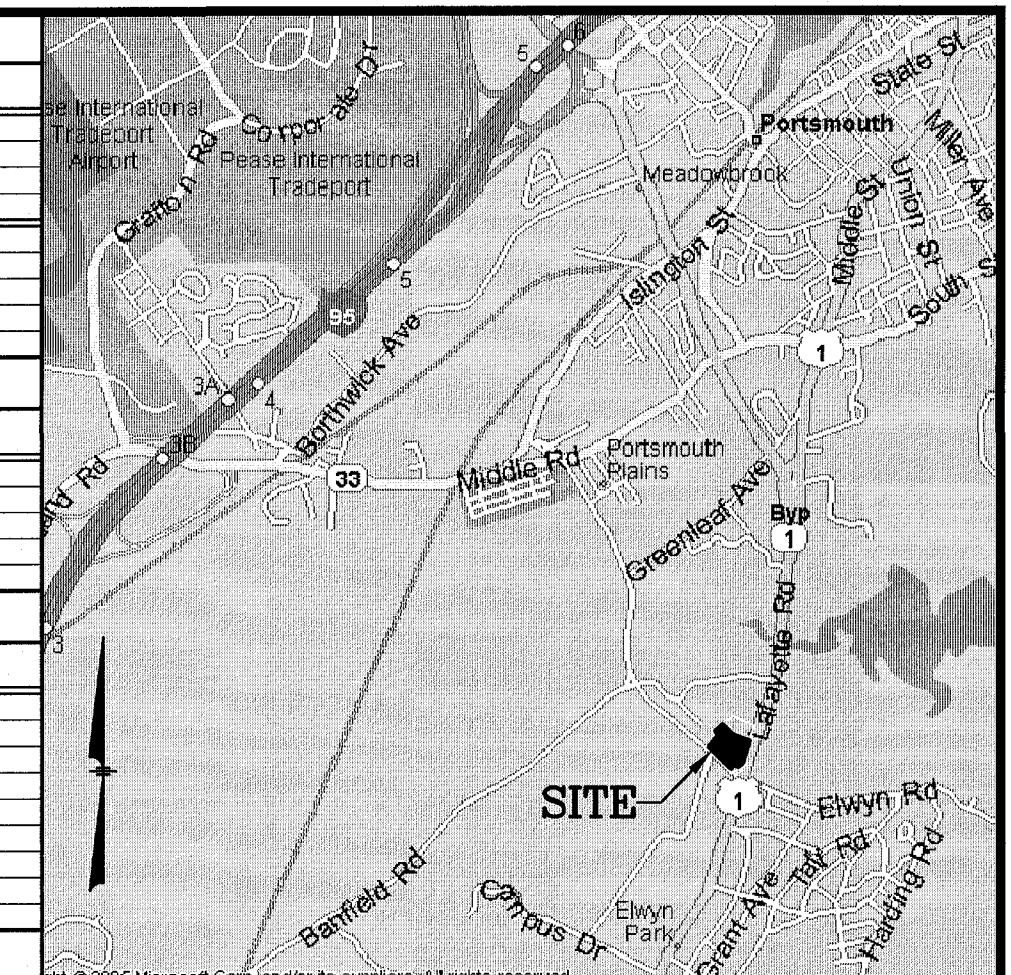
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHRUBS					
AD	--	AZALEA 'STEWARTSTONIAN'	STEWARTSTONIAN AZALEA	#5 CONTAINER	MIN. SIZE 30" HT.
RN	--	RHOODODENDRON 'DUNLUNGHAM WHITE'	CUNNINGHAM'S WHITE RHOODODENDRON	2 1/2"-3" HT.	MIN. SIZE 30" HT.
IG	--	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#7 CONTAINER	MIN. SIZE 30" HT.
PERENNIALS & GRASSES					
HS	--	HOSTA SIEBOLDIANA 'ELEGANS'	BLUE-LEAF HOSTA	#1 CONTAINER	
HF	--	HOSTA 'FRANCE'	FRANCE HOSTA	#1 CONTAINER	
OC	--	OSMUNDASTRUM CINNAMOMUM	CINNAMON FERN	#1 CONTAINER	
AN	--	ANTHYRUM NIPONICUM 'PICTUM'	JAPANESE PAINTED FREN	#1 CONTAINER	

#### COMPLEX 'A' STREET SIDE PLANTING SCHEDULE

PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
PERENNIALS & GRASSES					
RG	--	RUDBECKIA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	#1 CONTAINER	
EP	--	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1 CONTAINER	
ES	--	ERAGROSIS SPECTABILIS	PURPLE LOVE GRASS	#1 CONTAINER	
SS	--	SCHIZACHYRIUM S. 'PRAIRIE BLUES'	LITTLE BLUESTEM PRAIRIE BLUES	#1 CONTAINER	

#### TREE PLANTING SCHEDULE

PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
ABS	4	AMELANCHER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2"- 2 1/2" CAL.	
AG	5	AMELANCHER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6" - 7" HT.	MULTI-STEM
AF	11	ACER FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL.	
GT	10	GLEDITSIA TRIACANTHOS 'HALKA'	HALKA HONEYLOCUST	2"- 2 1/2" CAL.	
UA	18	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3"- 3 1/2" CAL.	
AR	7	ACER RUBRUM	RED MAPLE	3" CAL.	
QR	6	QUERCUS RUBRA	RED OAK	2"- 2 1/2" CAL.	
AC	7	AMELANCHER CANADENSIS	SERVICEBERRY	6" - 7" HT.	MULTI-STEM



### NOTES:

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PART OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
- ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA. ALL CLOUDS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:  
  

SEED MIX (SLOPES LESS THAN 4:1)	LBS/ACRE
CREeping RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
REDTOP	42
- FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION & SEDIMENT CONTROL PLAN.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER AND CITY PRIOR TO INSTALLATION.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE BY THE DEVELOPER.
- EXPOSED SOILS SHALL BE SEEDING OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED, SOD AREAS AND SHRUB BEDS. THE SYSTEM SHALL INCLUDE A TIMER WITH RAIN SENSOR AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

NO.	DESCRIPTION	BY	DATE
1	MISC. REVISIONS PER TAC	CMT	2/20/20

### LANDSCAPE PLAN

ASSESSORS MAP 252 - LOTS 4, 5 & 9  
1400 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
PREPARED FOR:  
**4 AMIGOS, LLC**  
321 LAFAYETTE ROAD UNIT D  
HAMPTON, NEW HAMPSHIRE 03842

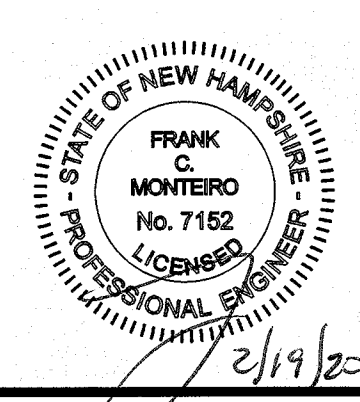
**GPI** Engineering Design Planning Construction Management  
603.893.0720 GPINET.COM

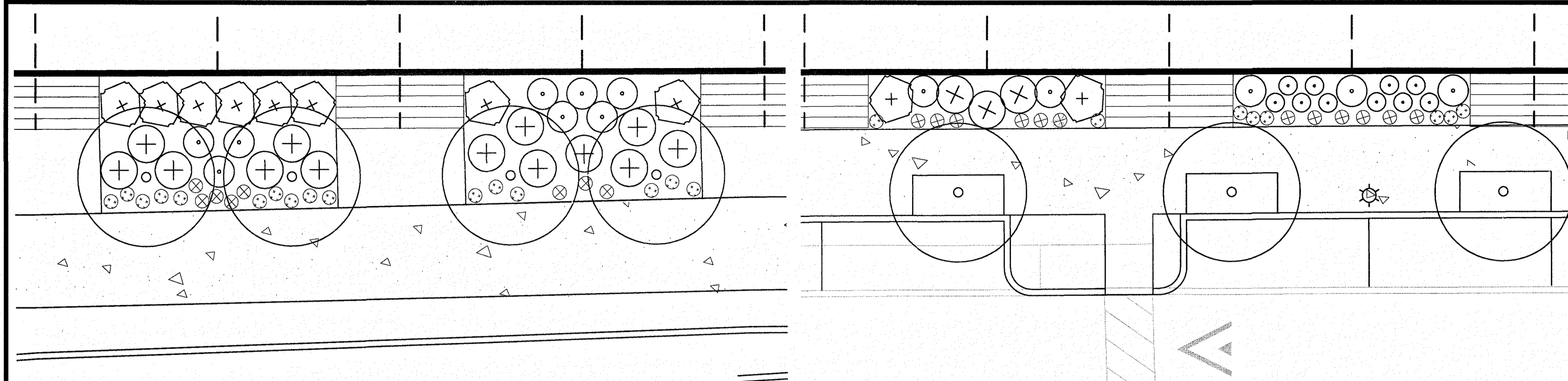
Greenman-Pedersen, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079

SCALE: 1"=30'	DATE: JANUARY 20, 2020	DRAWING NO. 4582SP.DWG
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219
		SHEET NO. 9 OF 15

### OWNER OF RECORD:

MAP 252 LOTS 4, 5 & 9  
**4 AMIGOS, LLC**  
321 LAFAYETTE ROAD, UNIT D  
HAMPTON, NH 03842





**COMPLEX 'E' TYPICAL PLANTING SCHEDULE**

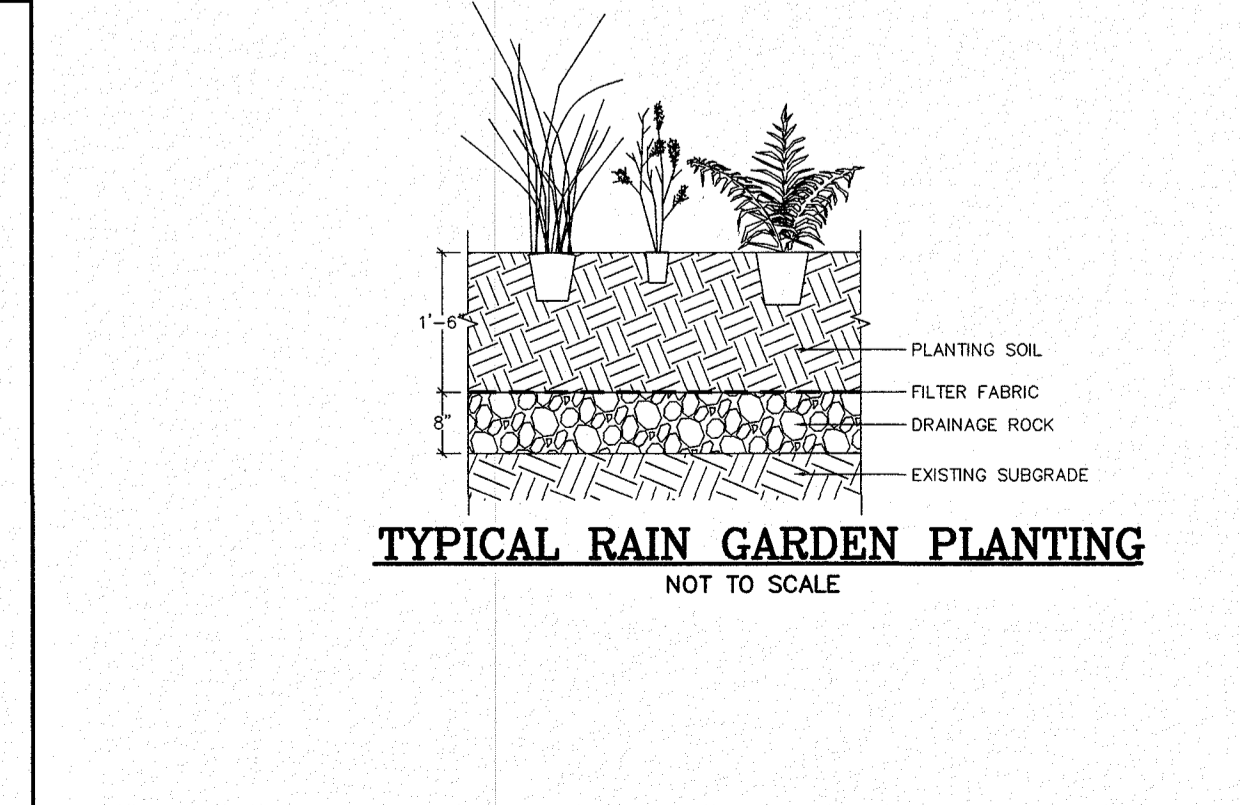
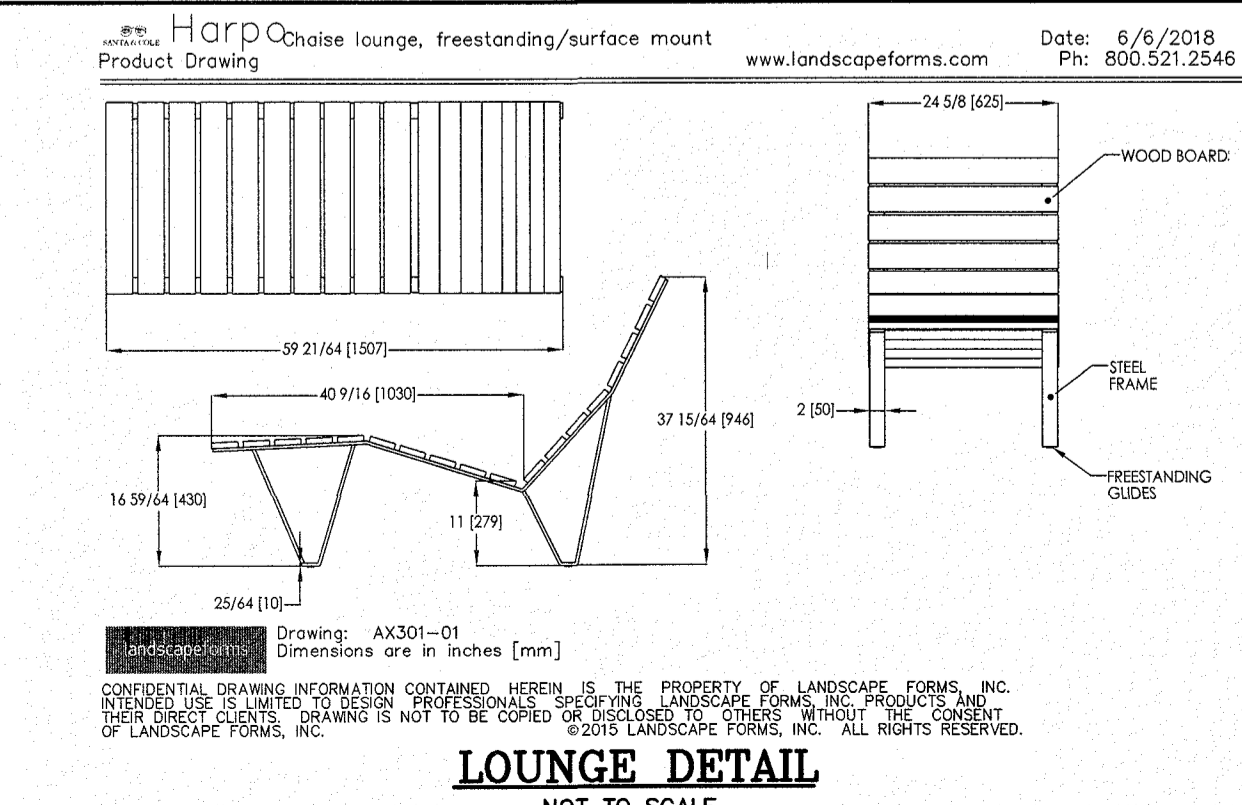
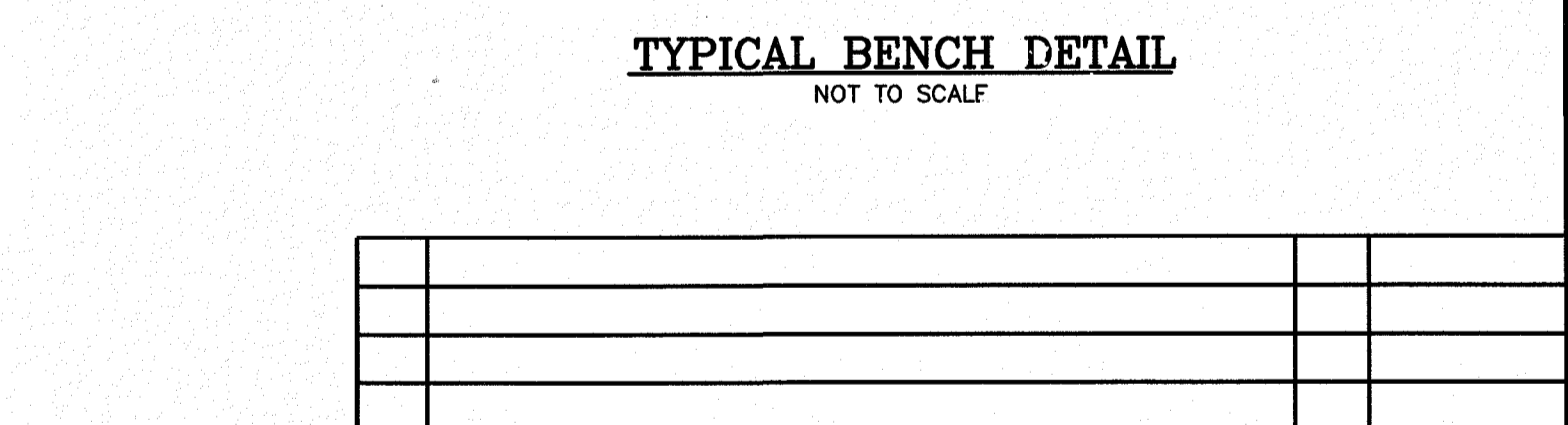
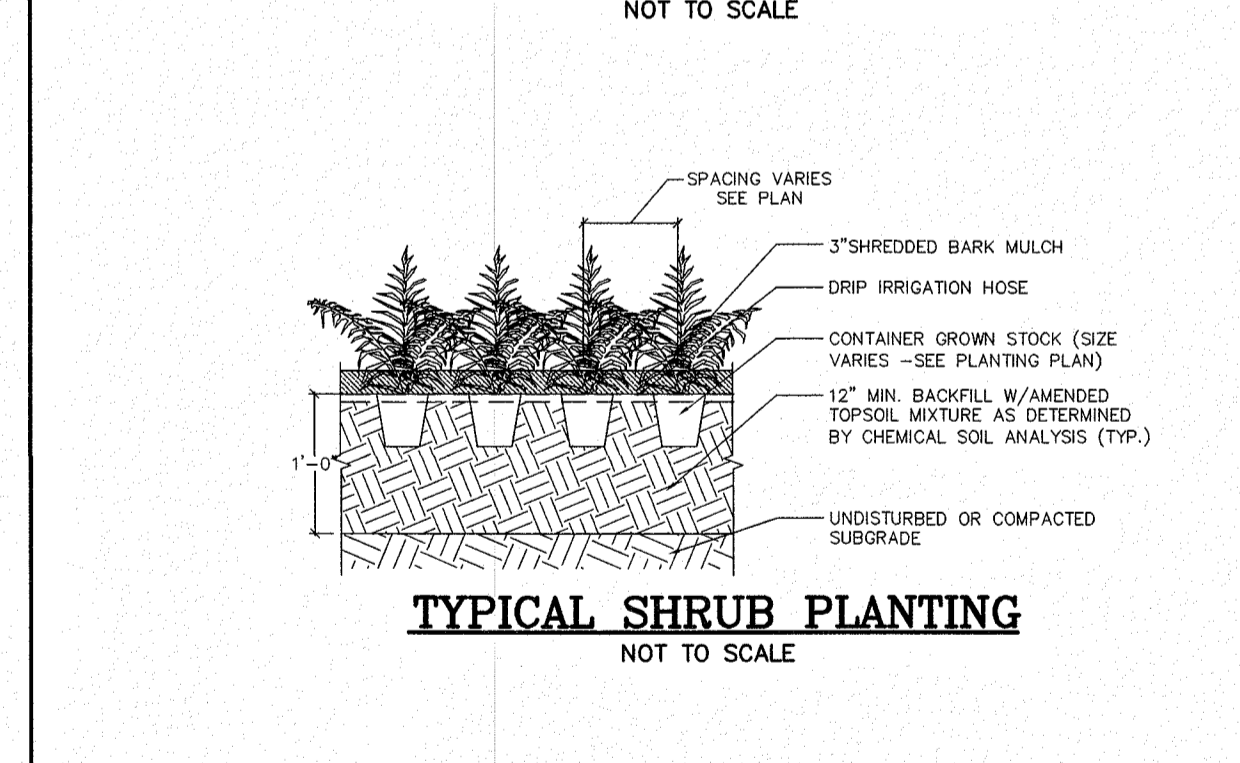
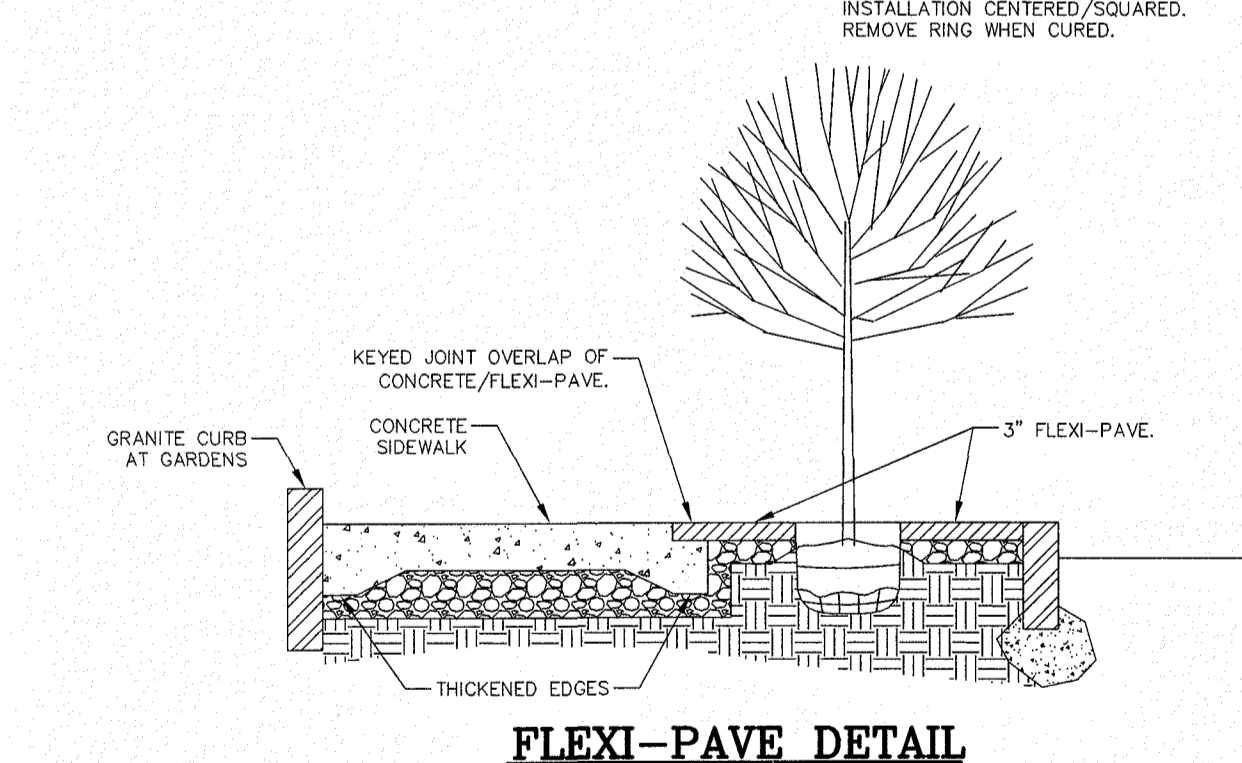
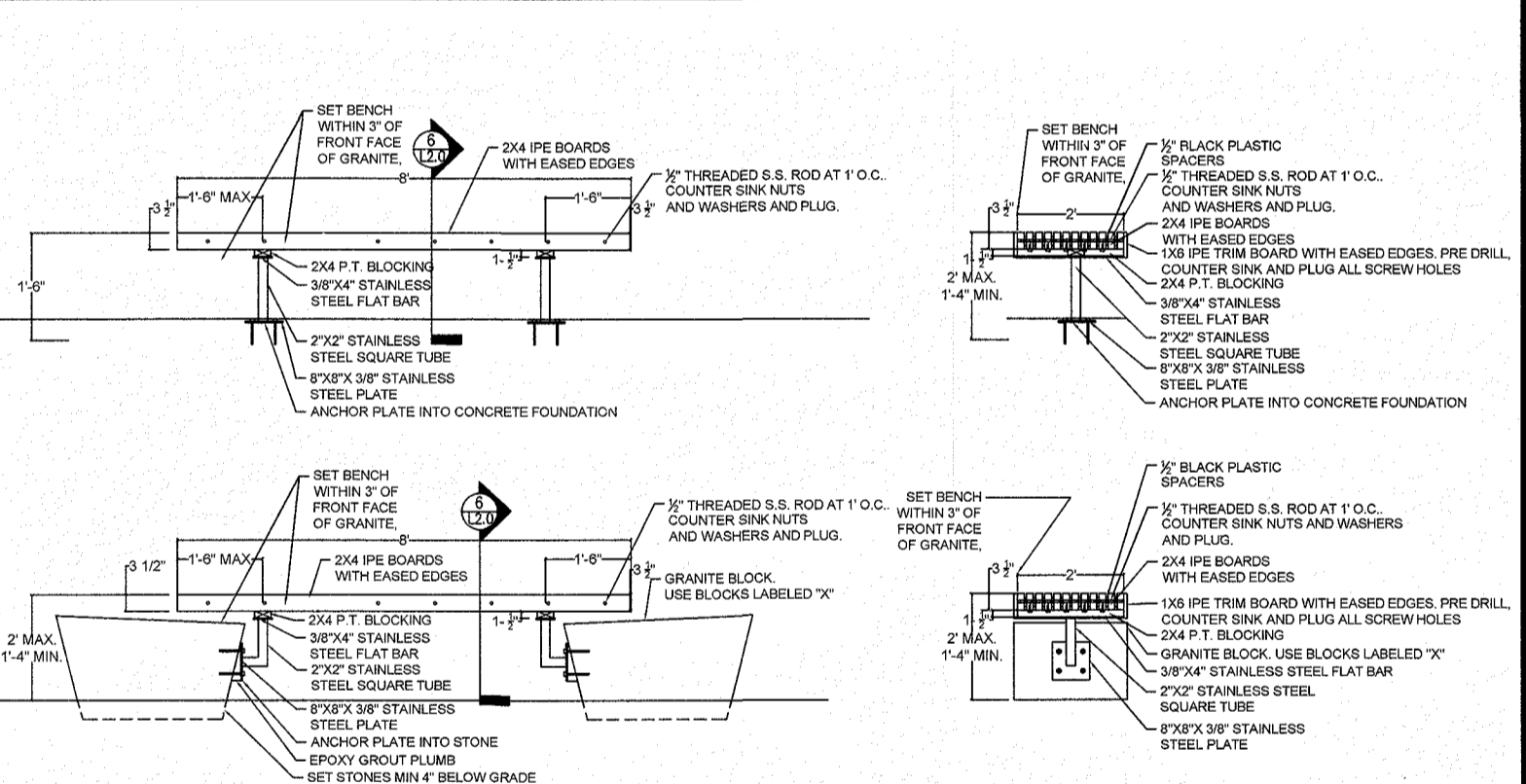
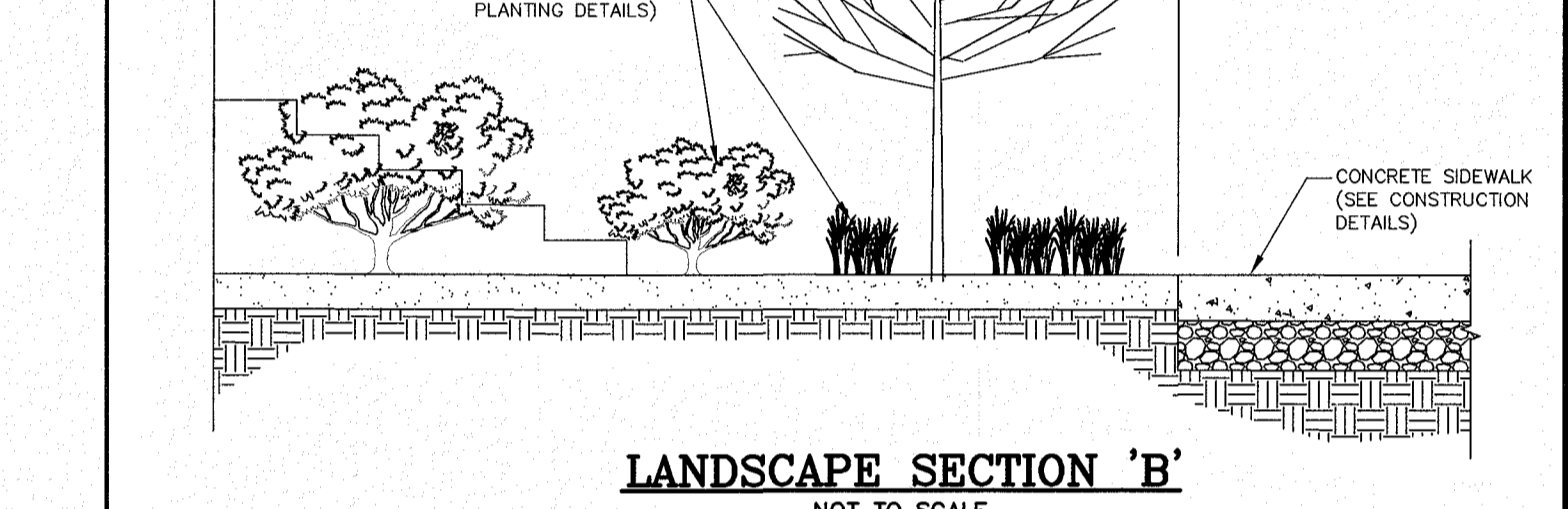
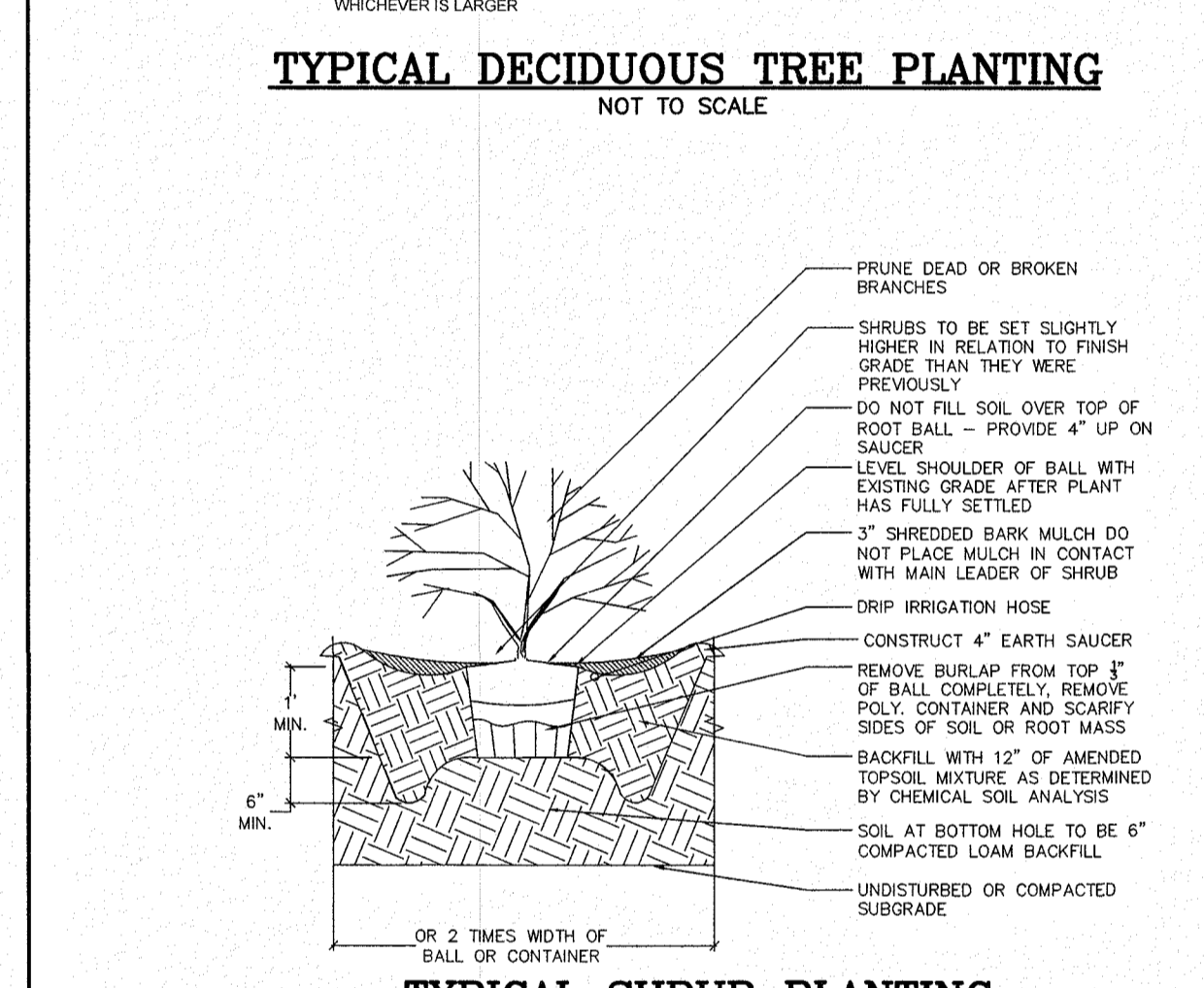
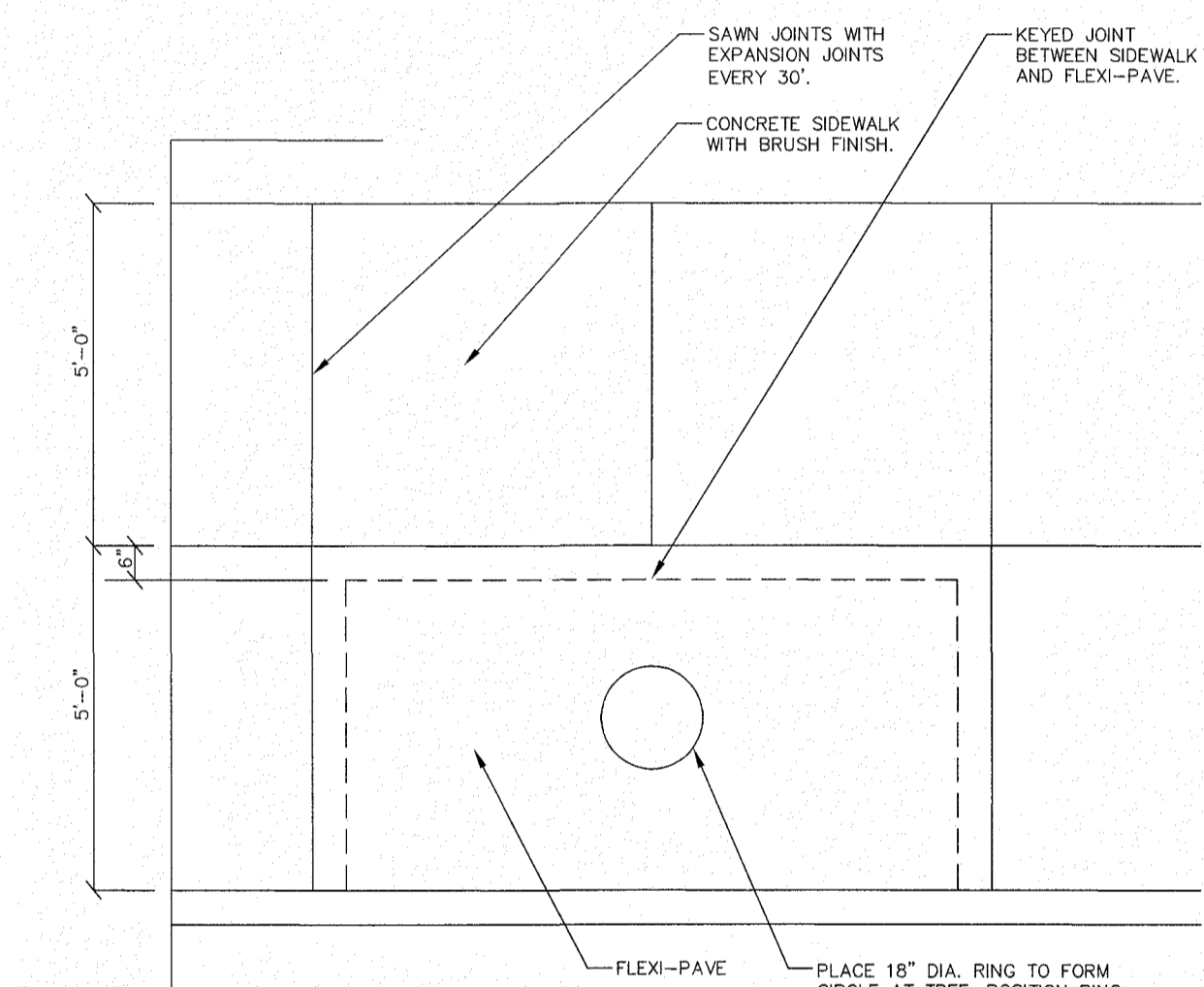
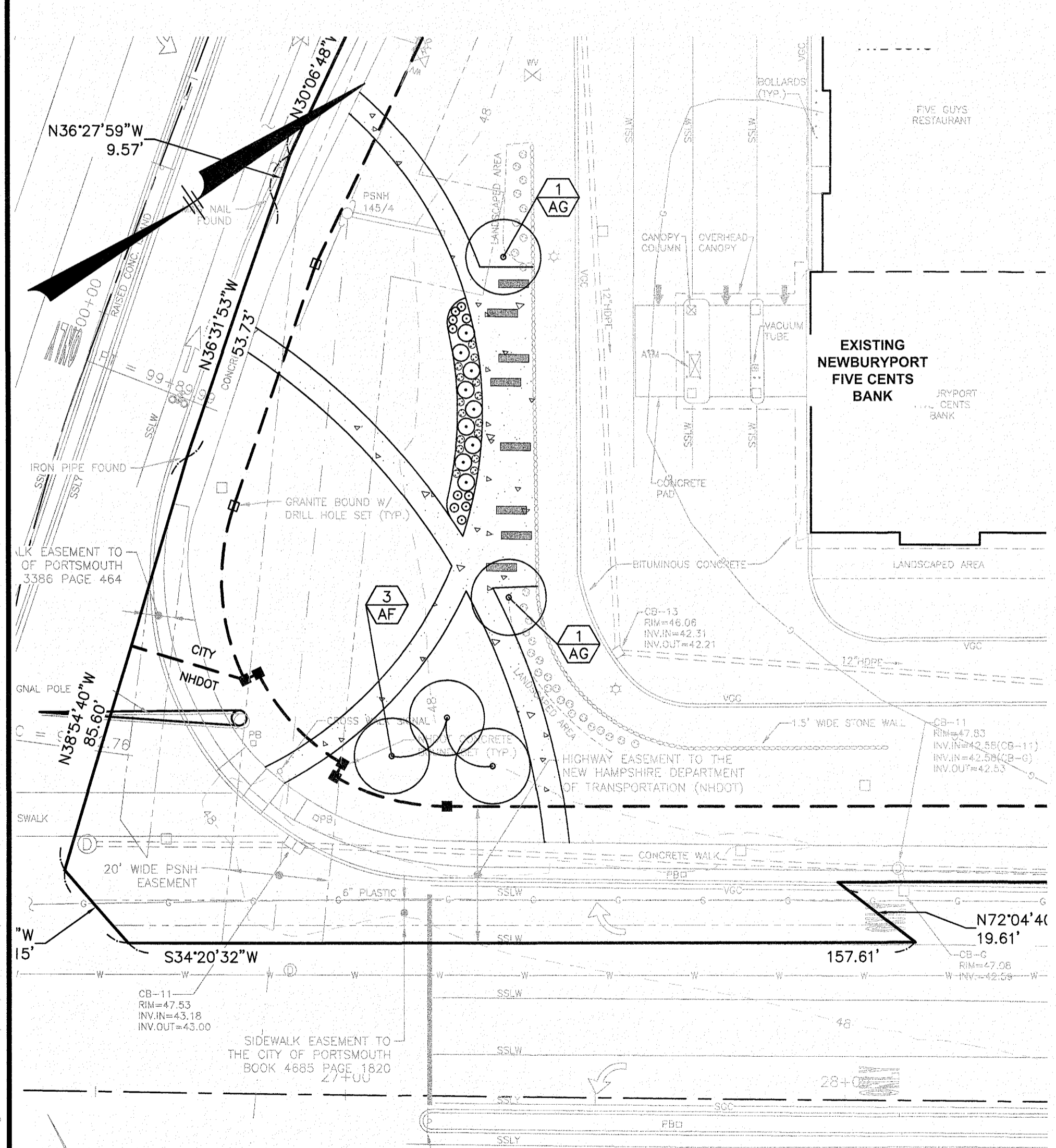
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>SHRUBS</b>					
IG	-	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	#7 CONTAINER	MIN. SIZE 30" HT.
PK	-	ROSA 'KNOCK OUT'	KNOCK OUT ROSE	#7 CONTAINER	MIN. SIZE 30" HT.
<b>PERENNIALS &amp; GRASSES</b>					
AM	-	ALCHEMILLA MOLLIS	LADY'S MANTLE	#1 CONTAINER	
RC	-	RUDBECKIA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	#1 CONTAINER	
PH	-	PENNISETUM ALOPERCUROIDES 'HADELIN'	DWARF FOUNTAIN GRASS	#1 CONTAINER	

**COMPLEX 'B, D & F' TYPICAL PLANTING SCHEDULE**

PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>SHRUBS</b>					
CS	-	CORNUS SERICEA 'ALLEMAN'S COMPACTA'	COMPACT REDTIG DOGWOOD	#3 CONTAINER	MIN. SIZE 30" HT.
CAH	-	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	#3 CONTAINER	MIN. SIZE 30" HT.
<b>PERENNIALS &amp; GRASSES</b>					
CKF	-	CALAMAGROSTIS A. 'KARL FOERSTER'	K. F. FEATHER REED GRASS	#1 CONTAINER	
PH	-	PENNISETUM ALOPERCUROIDES 'HADELIN'	DWARF FOUNTAIN GRASS	#1 CONTAINER	
RG	-	RUDBECKIA 'GOLDSTURM'	GOLDSTURM BLACK-EYED SUSAN	#1 CONTAINER	
IS	-	IRIS SIBERICA 'CAESAR'S BROTHER'	CAESAR'S BROTHER SIBERIAN IRIS	#1 CONTAINER	

1 XX PLANT QUANTITY PLANT DESIGNATION  
 SCALE: 1"=10'

1 XX PLANT QUANTITY PLANT DESIGNATION  
 SCALE: 1"=10'



**PLANTING SCHEDULE**

PLANT	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>TREES</b>					
AG	2	AMELANCHIER GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	6' - 7' HT.	MULTI-STEM
AF	3	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL.	
<b>PERENNIALS &amp; GRASSES</b>					
HD	-	HEMEROCALLIS 'STELLA DE ORO'	DWARF YELLOW DANIELLY	#1 CONTAINER	
ES	-	ERAGROSTIS SPECTABILIS	PURPLE LOVE GRASS	#1 CONTAINER	
SS	-	SCHIZACHYRIUM S. 'PRAIRIE BLUES'	LITTLE BLUESTEM PRAIRIE BLUES	#1 CONTAINER	

1 XX PLANT QUANTITY PLANT DESIGNATION  
 SCALE: 1"=20'

NO.	DESCRIPTION	BY	DATE
REVISIONS			

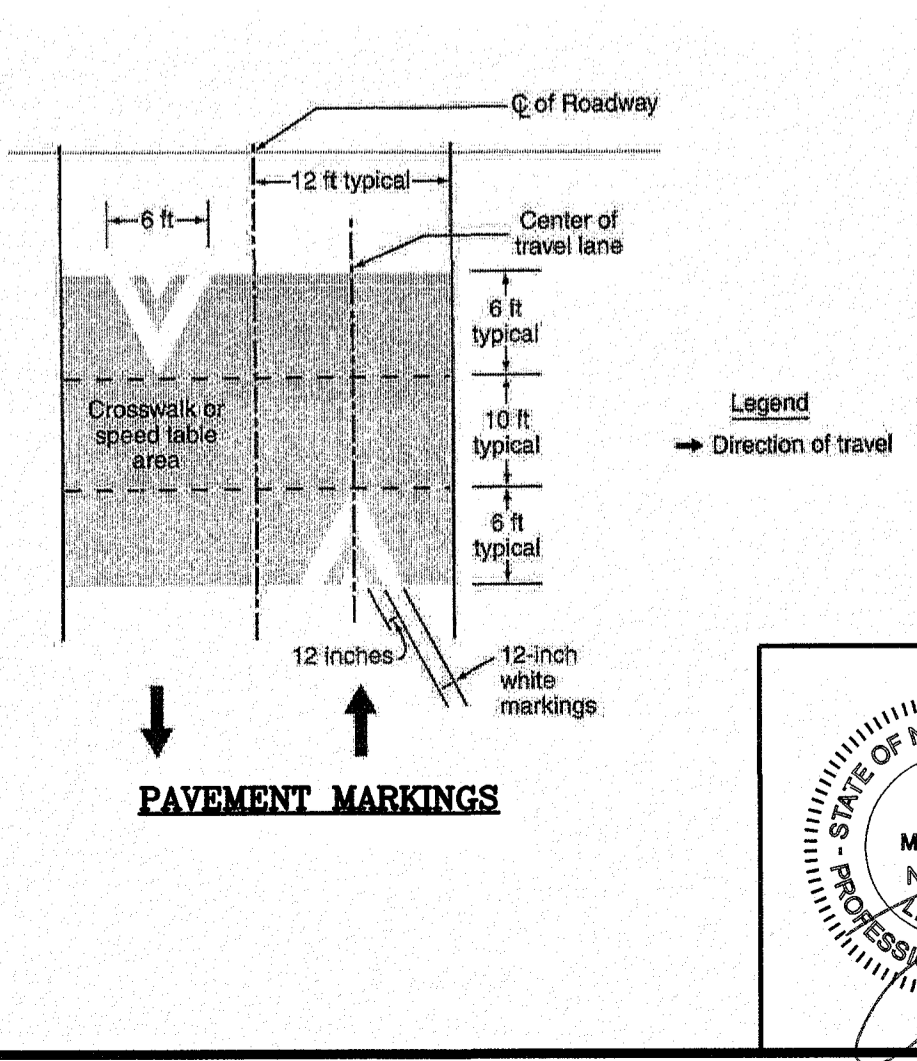
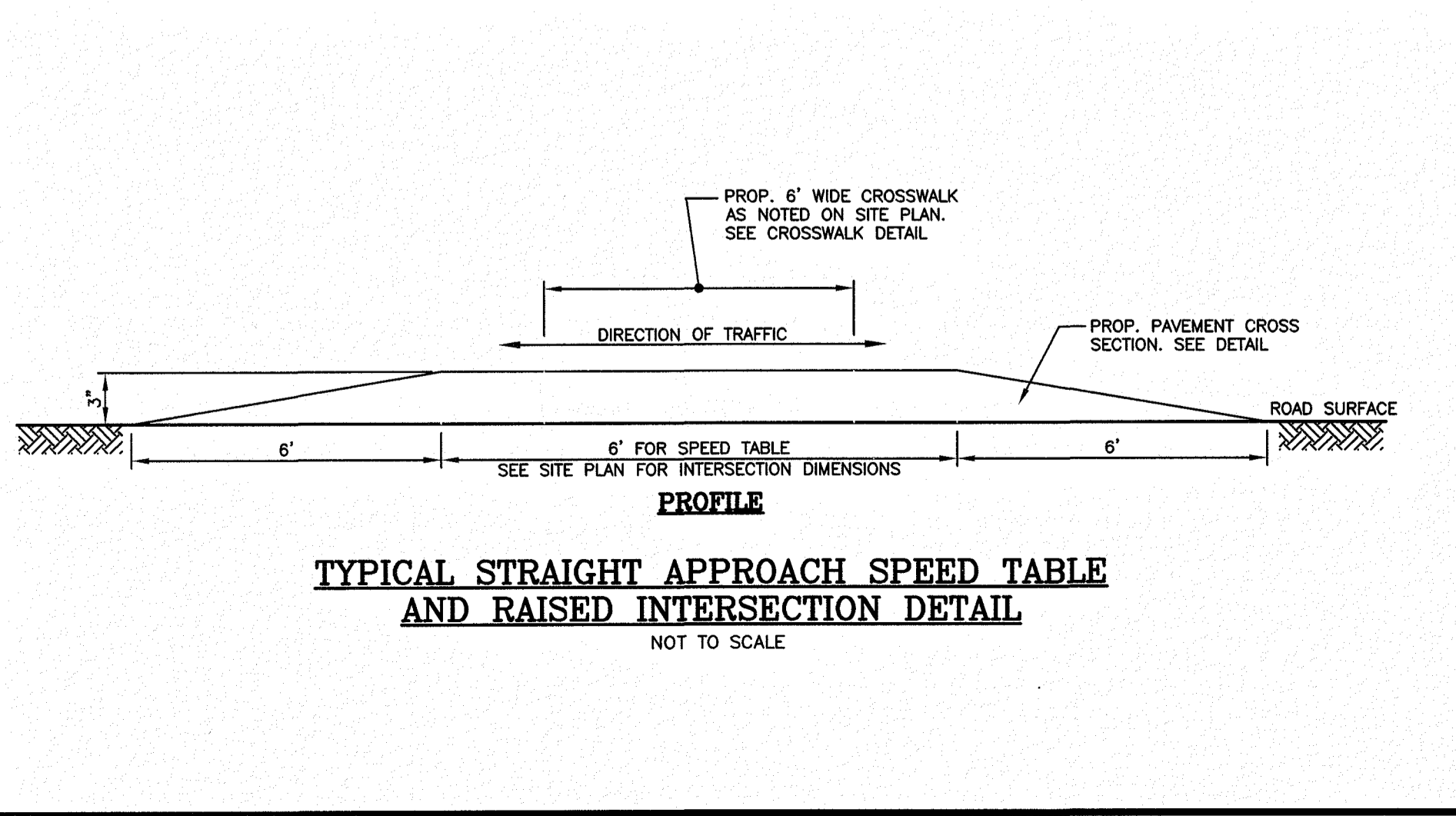
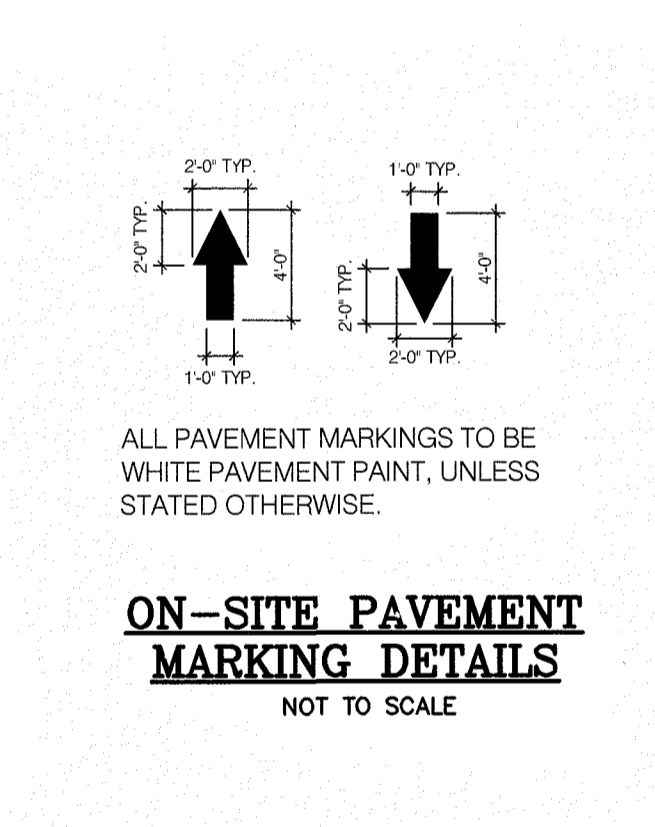
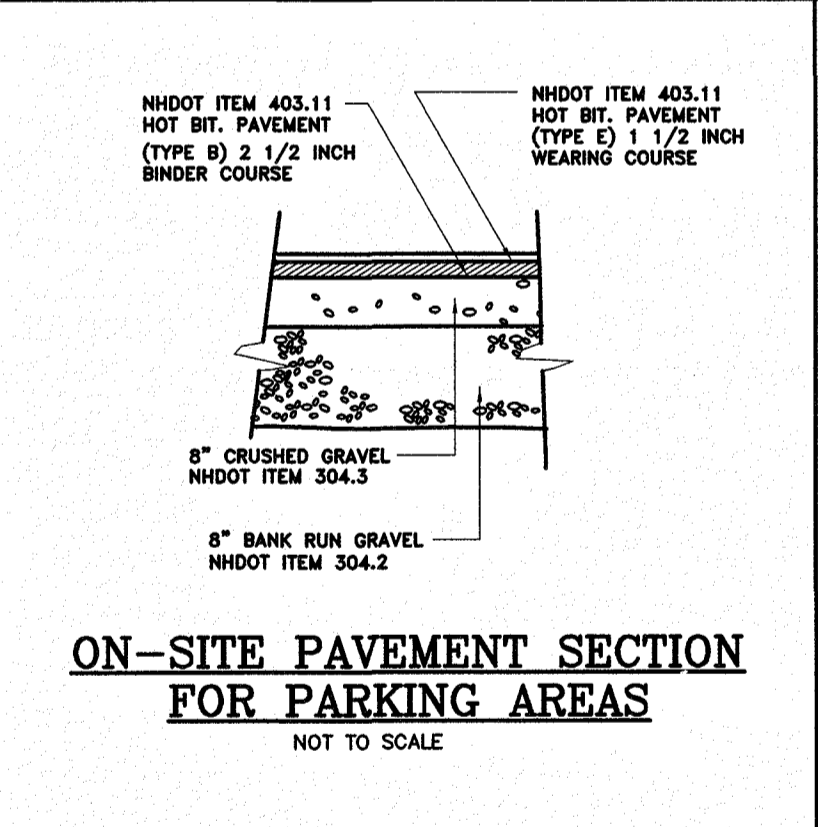
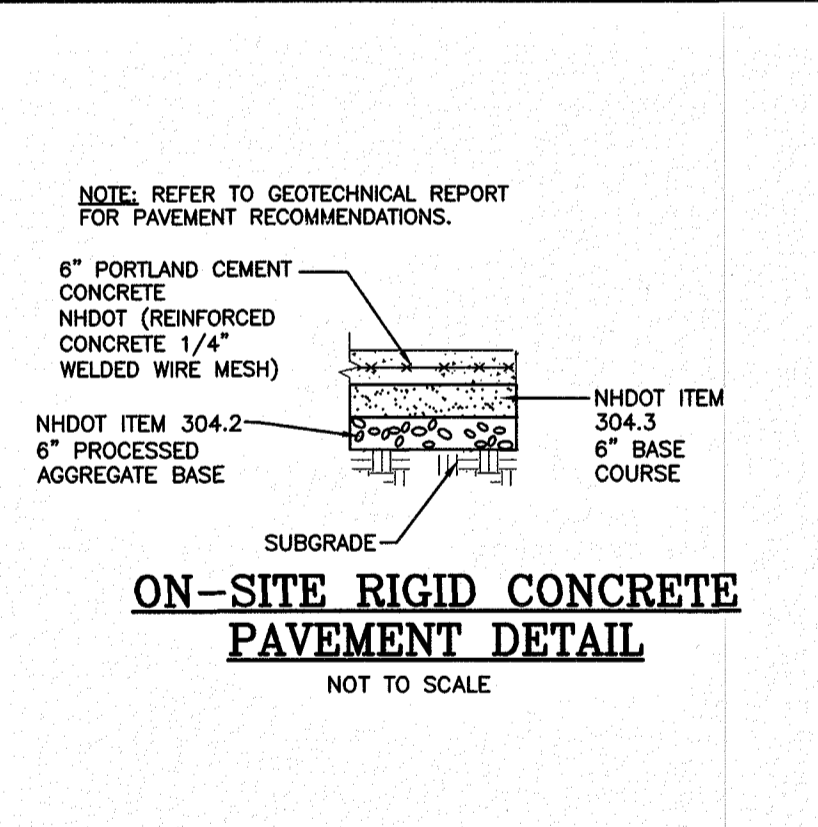
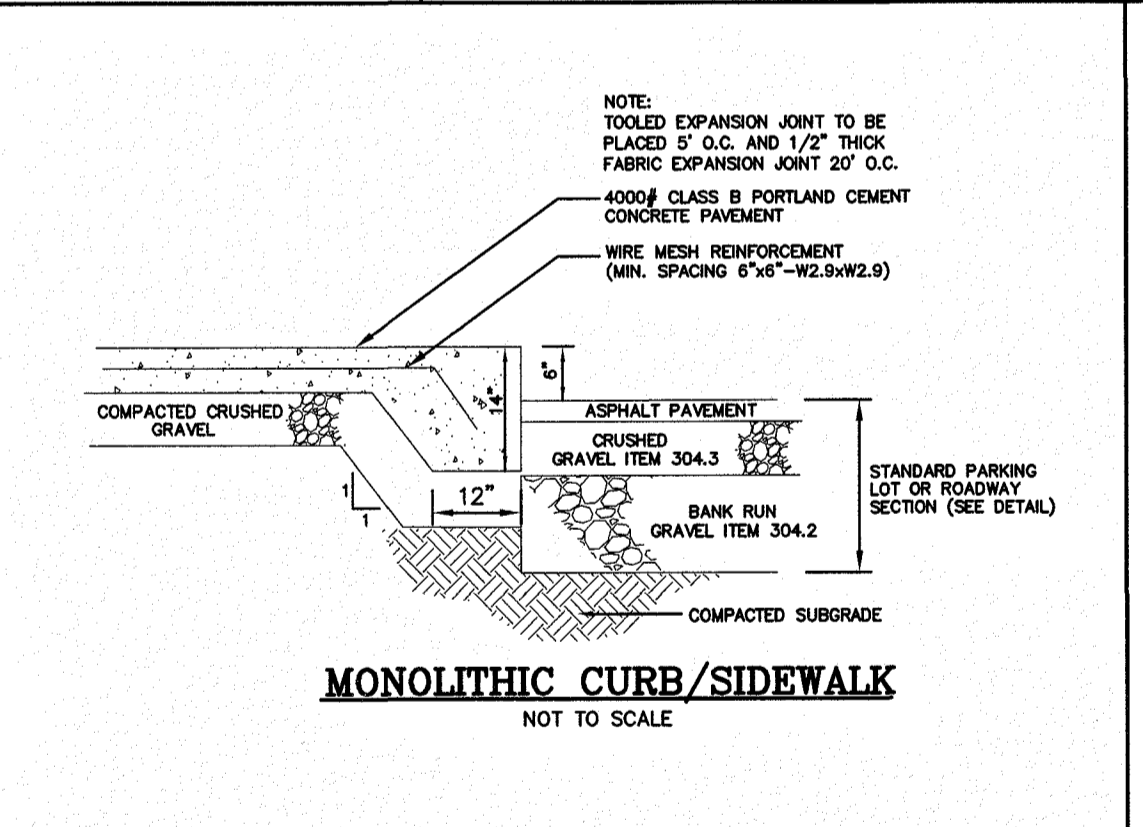
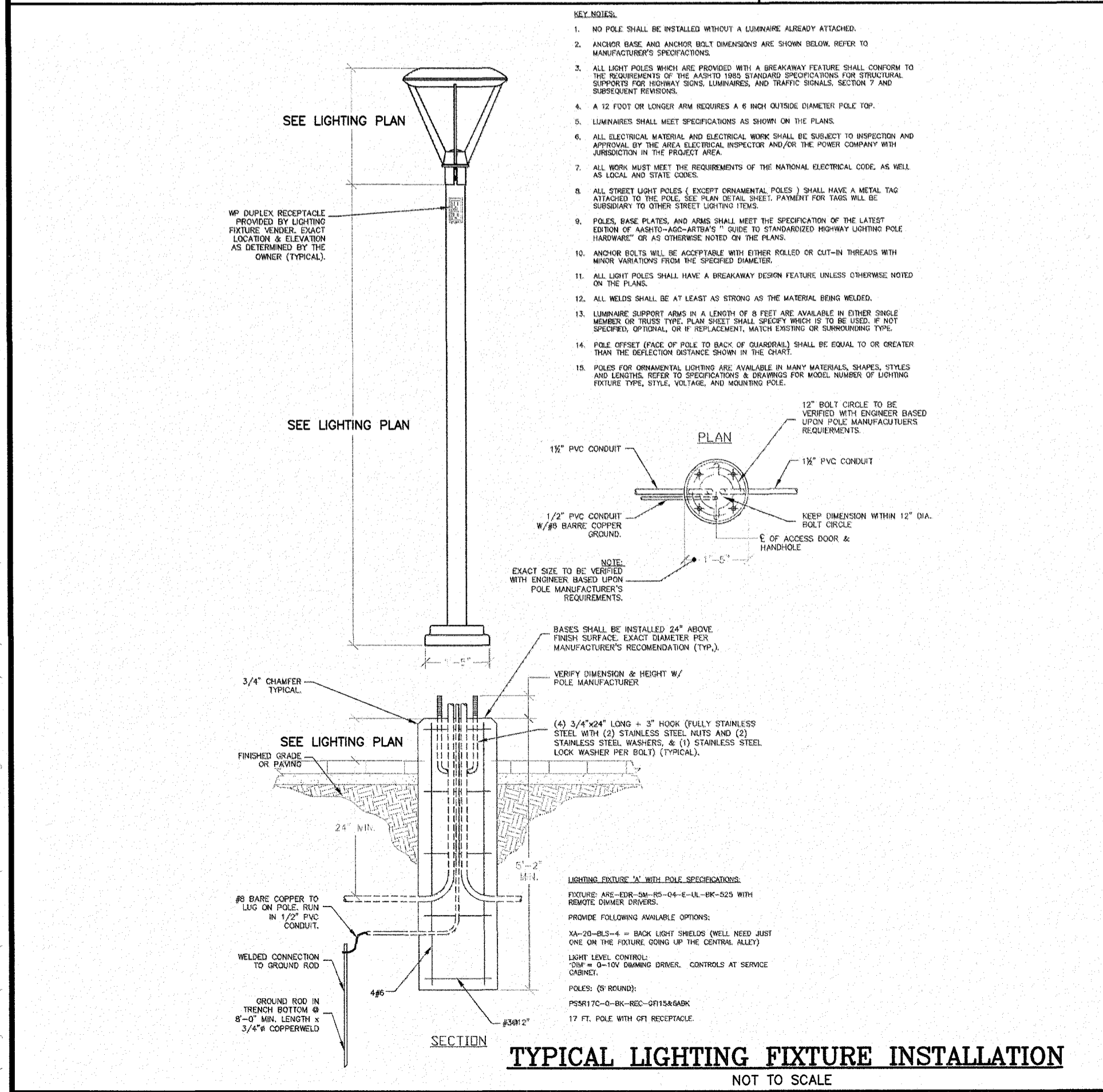
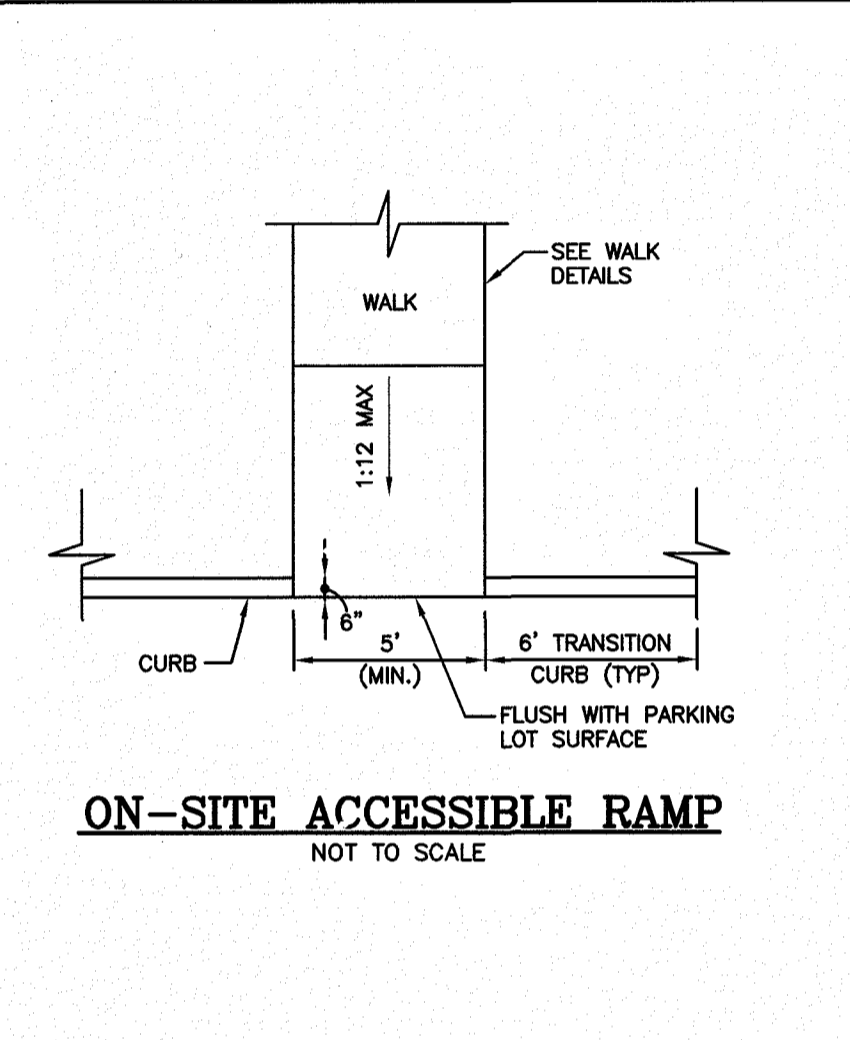
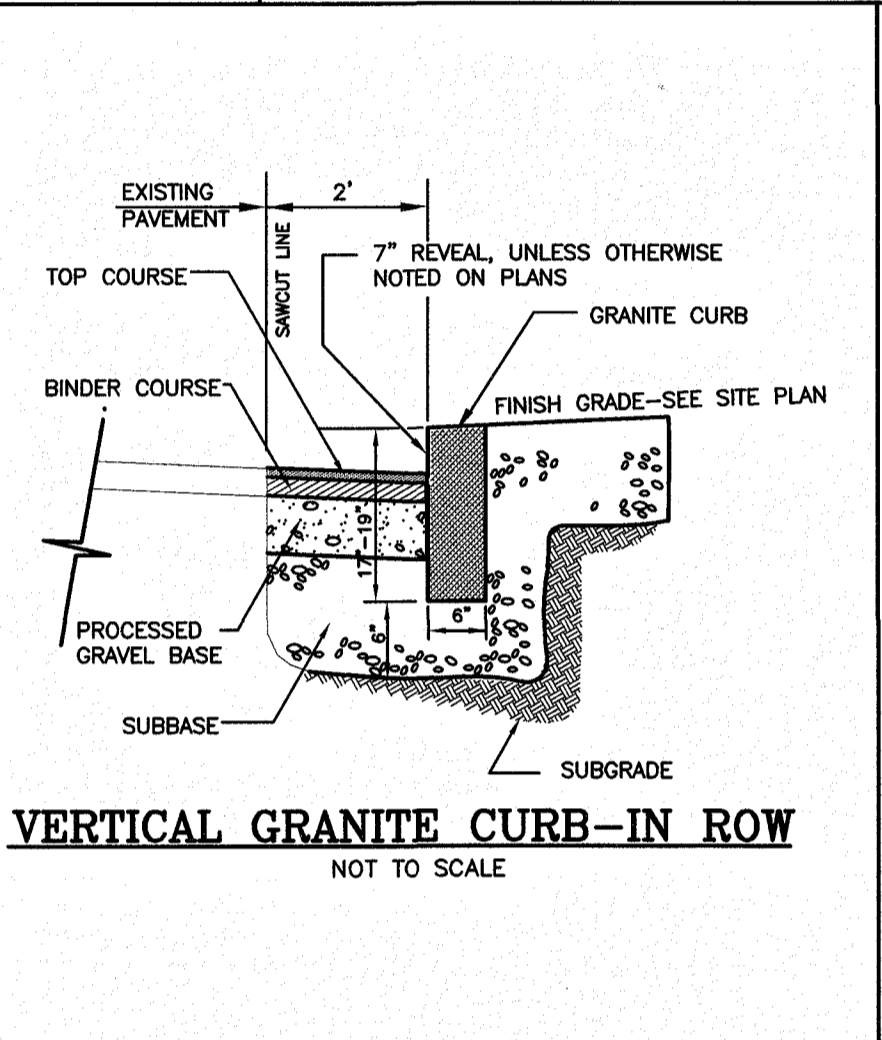
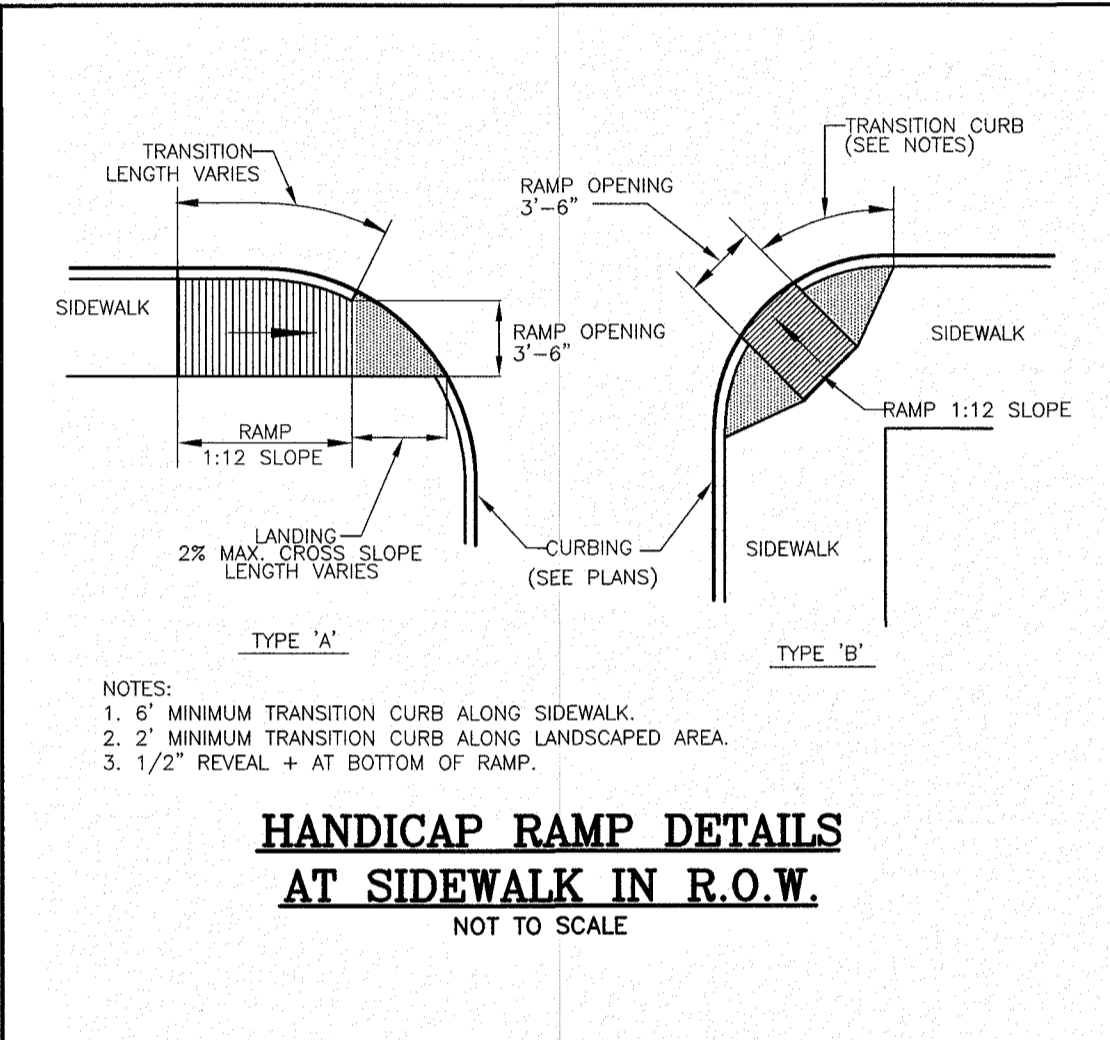
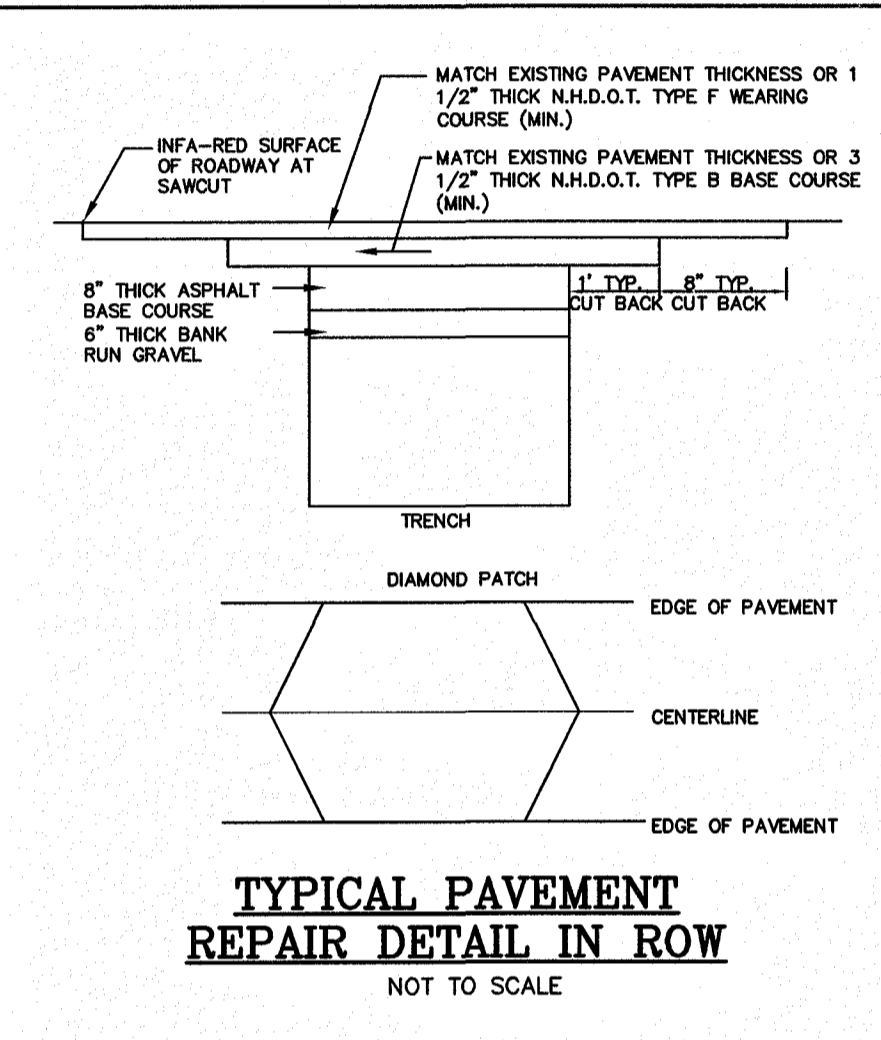
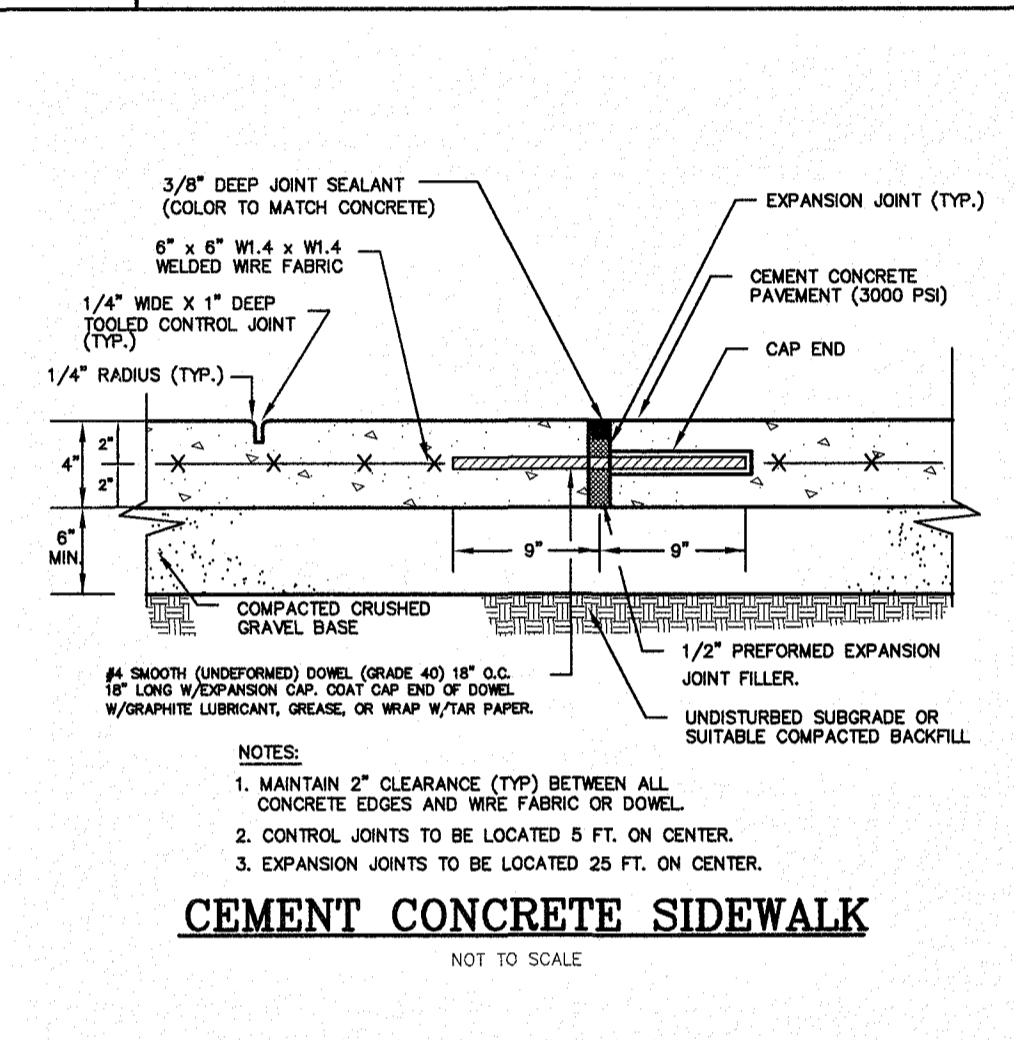
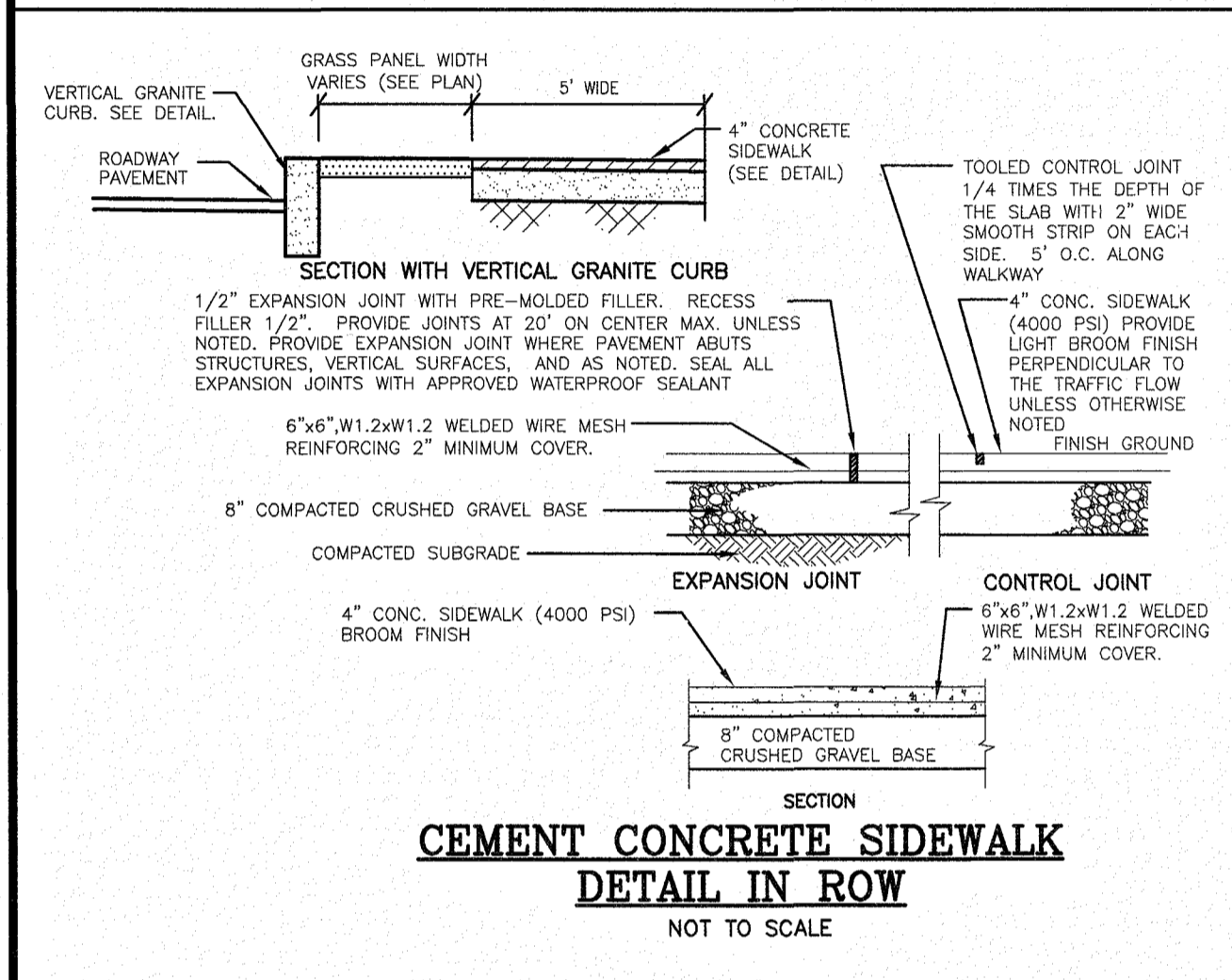
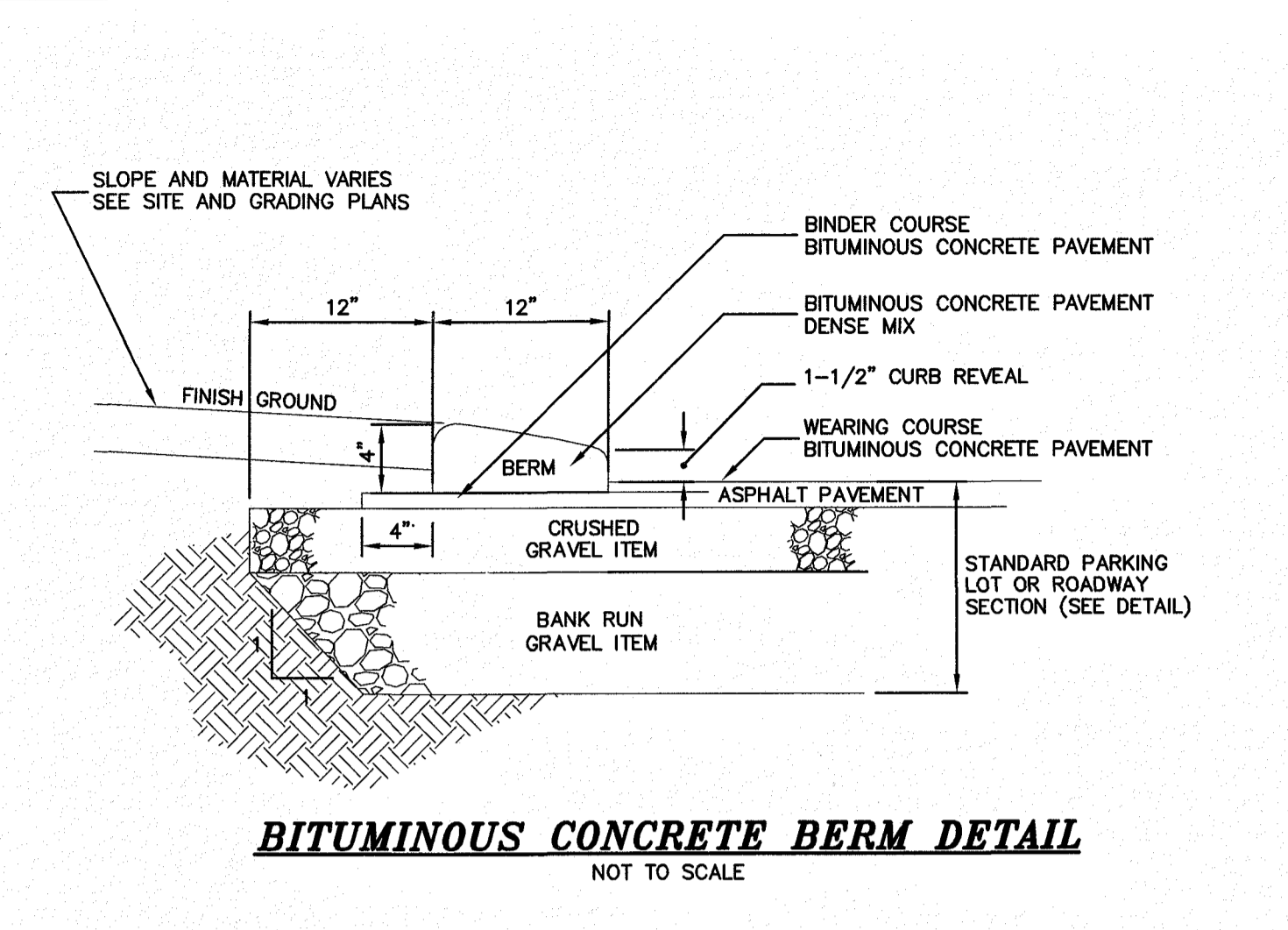
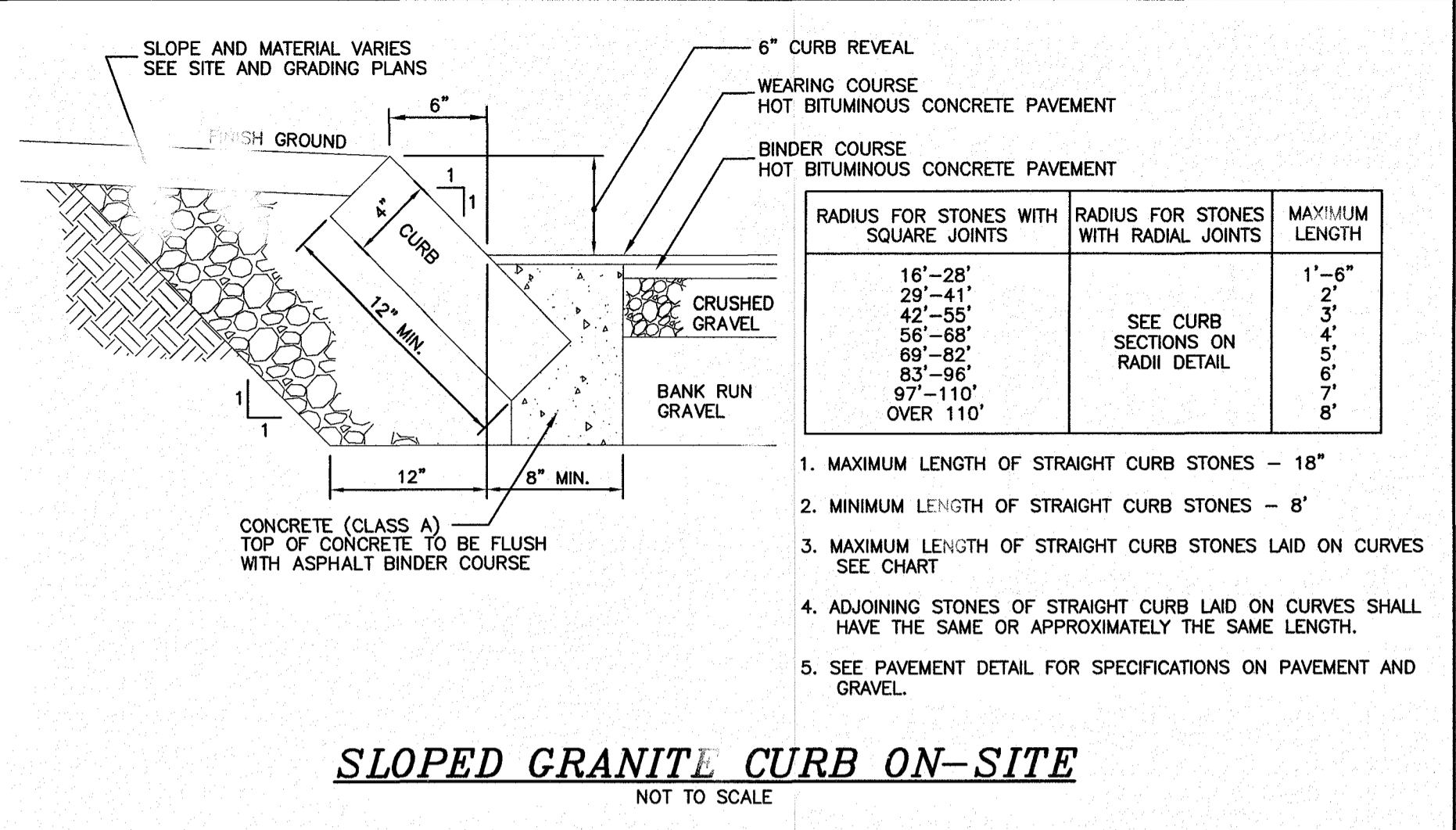
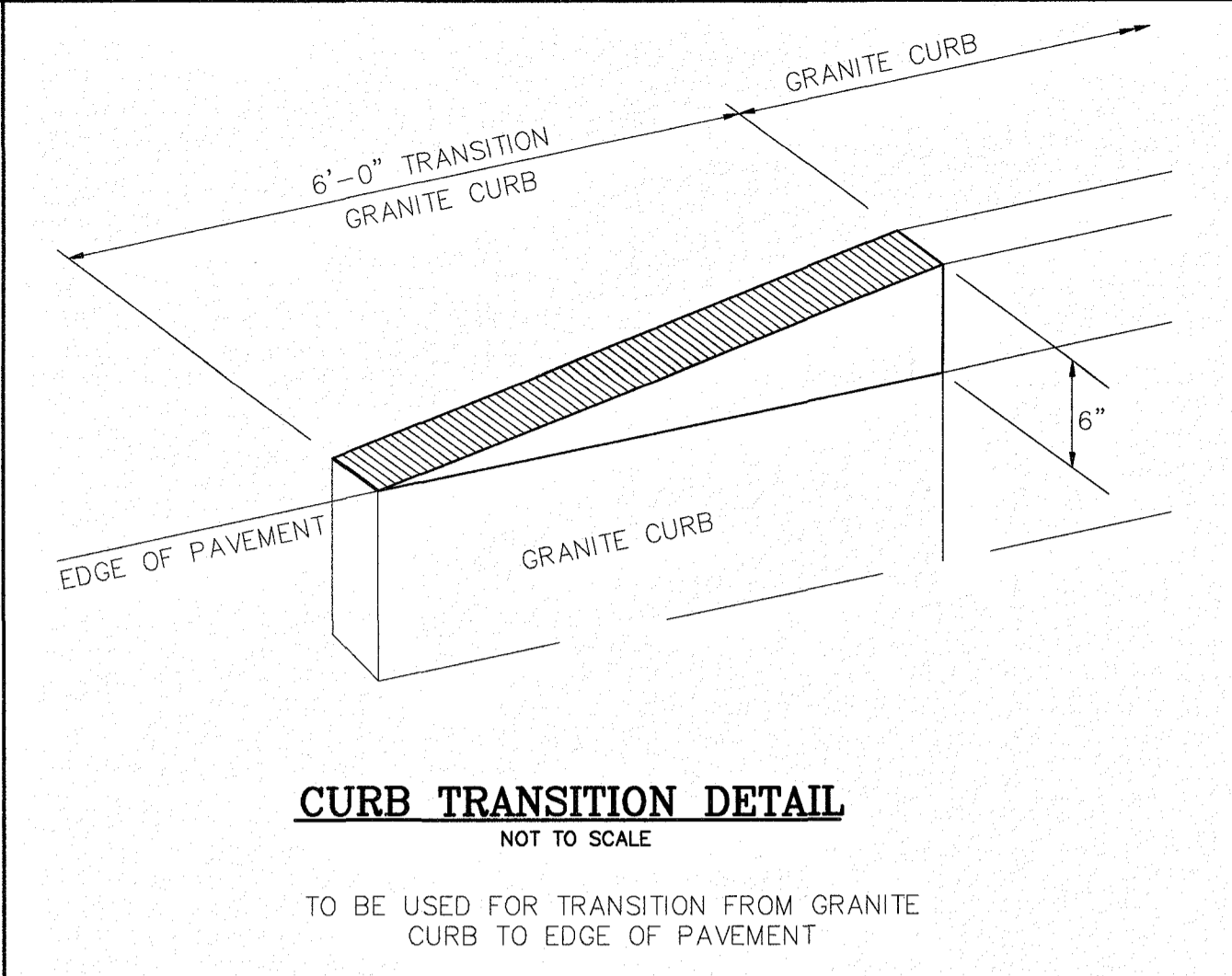
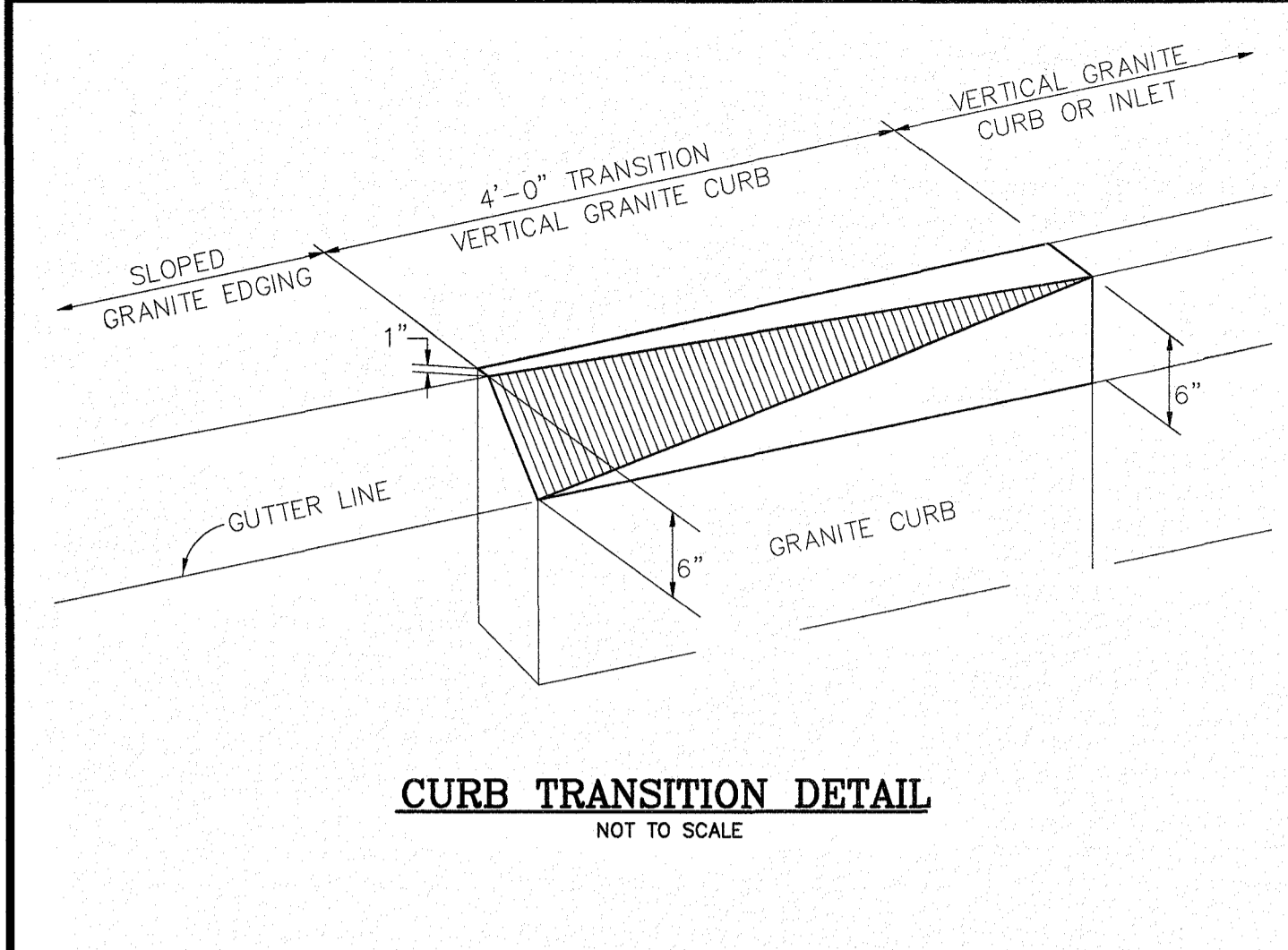
**LANDSCAPE DETAILS**  
 ASSESSORS MAP 252 - LOTS 4, 5 & 9  
 1400 LAFAYETTE ROAD  
 PORTSMOUTH, NEW HAMPSHIRE  
 PREPARED FOR:  
**4 AMIGOS, LLC**  
 321 LAFAYETTE ROAD UNIT D  
 HAMPTON, NEW HAMPSHIRE 03842

**GPI** Engineering Design Construction Management  
 603.893.0720 GPINET.COM

Greenman-Pedersen, Inc.  
 44 Stiles Road  
 Suite One  
 Salem, NH 03079

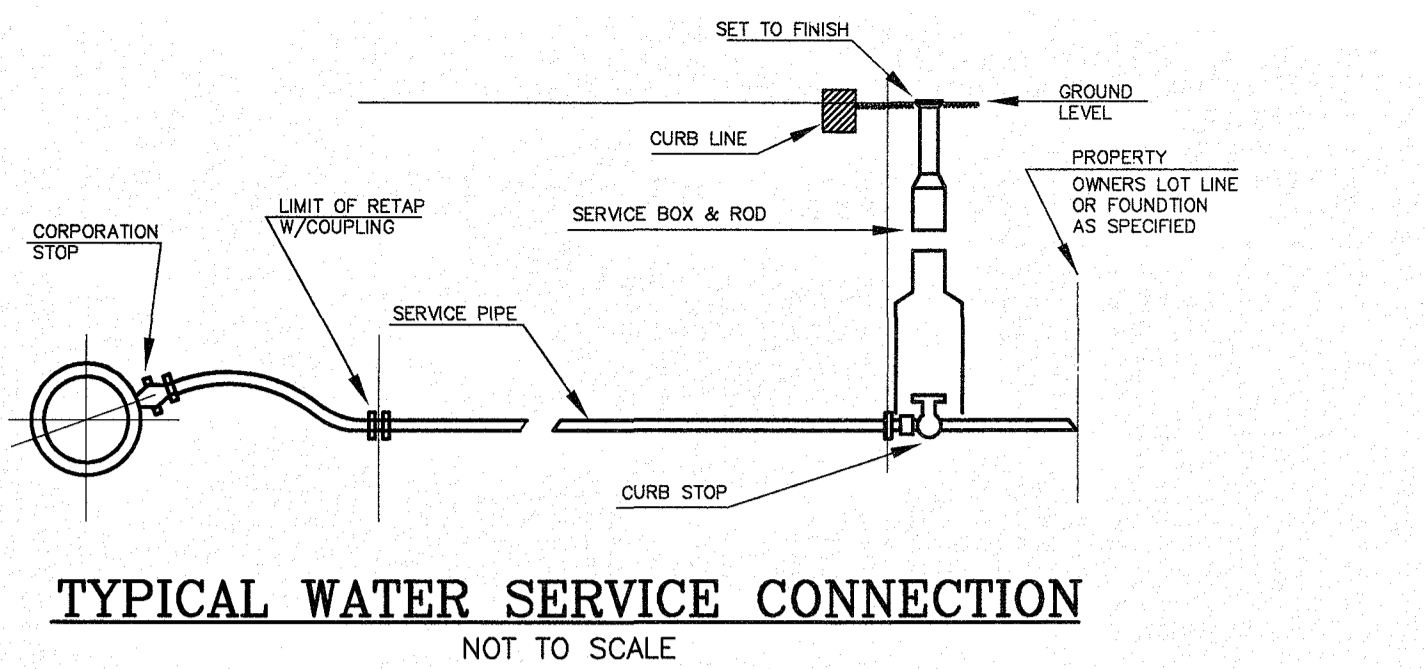
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 DRAWN BY: CCC CHECKED BY: CMT PROJECT NO: 458219 SHEET NO: 10 OF 15

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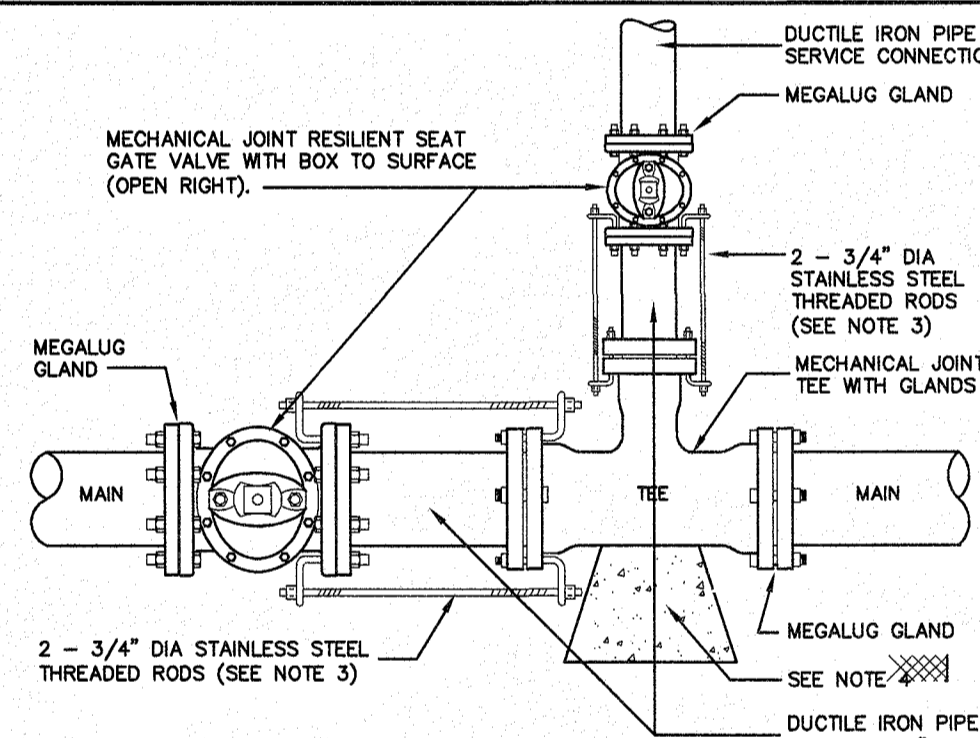
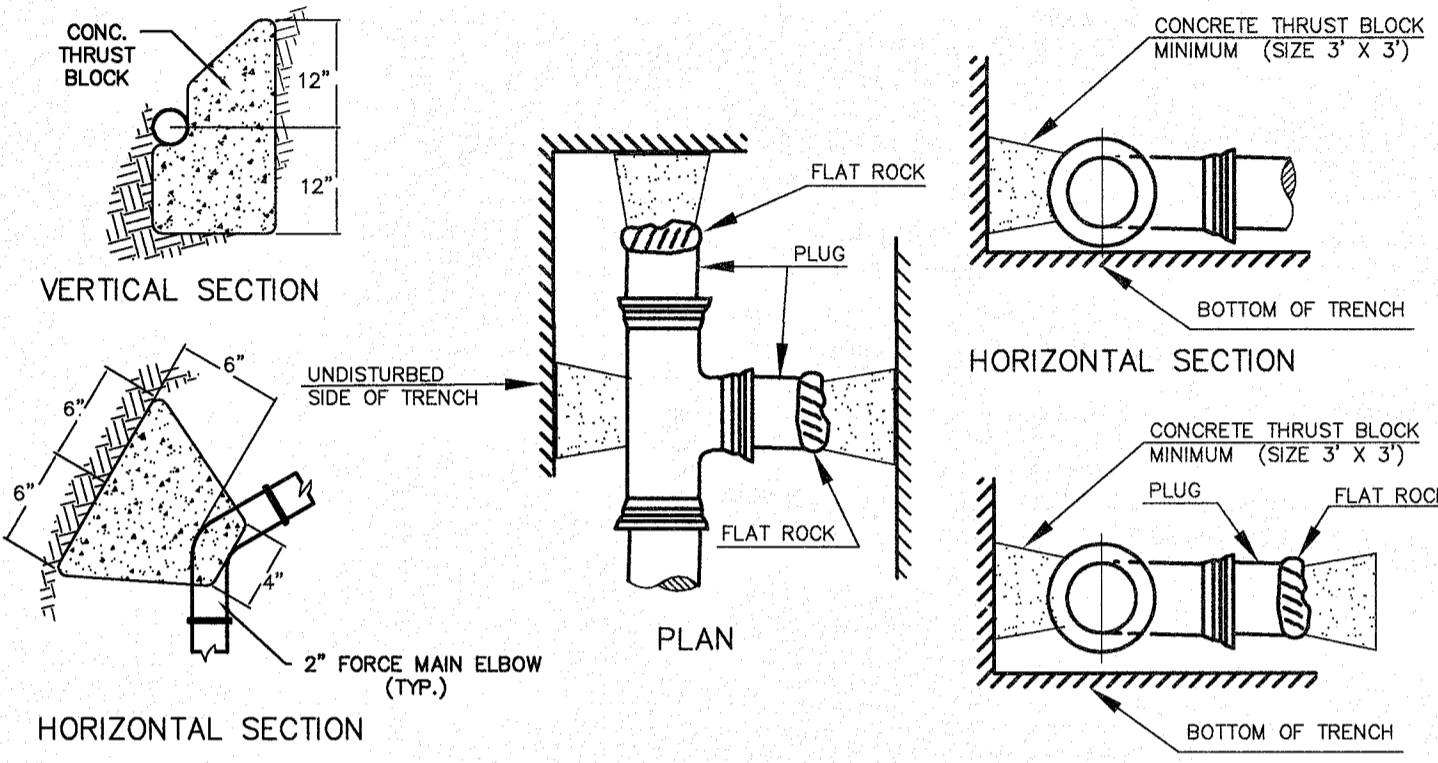


NO.	DESCRIPTION	BY	DATE
REVISIONS			
<b>DETAIL SHEET</b>			
ASSESSORS MAP 252 - LOTS 4, 5 & 9			
1400 LAFAYETTE ROAD			
PORTSMOUTH, NEW HAMPSHIRE			
PREPARED FOR:			
<b>4 AMIGOS, LLC</b>			
321 LAFAYETTE ROAD UNIT D			
HAMPTON, NEW HAMPSHIRE 03842			
<b>GPI</b>		Engineering Design Planning Construction Management	Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079
SCALE: 1"=20'		DATE:	DRAWING NO. 4582DET.DWG
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 458219	SHEET NO. 11 OF 15

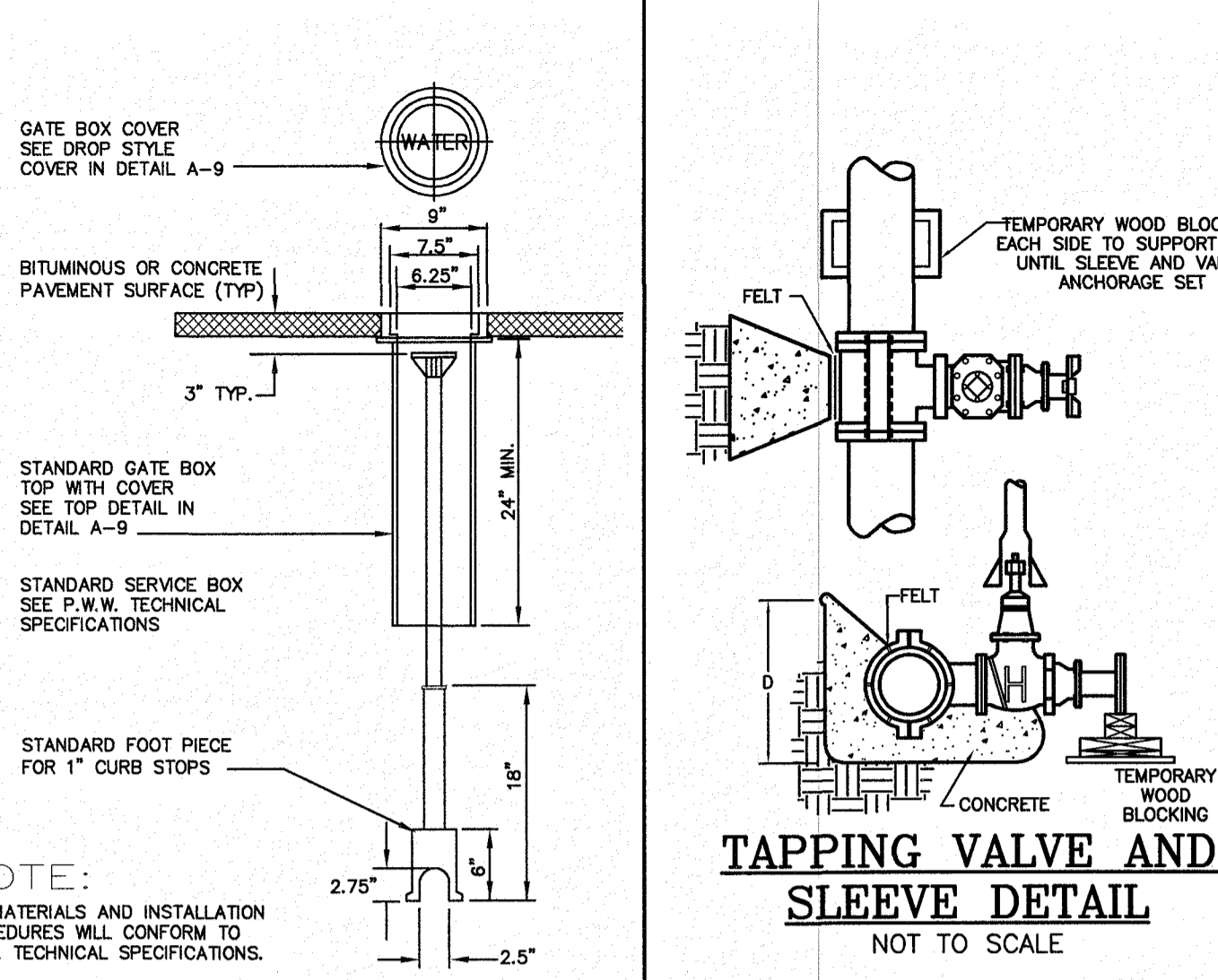
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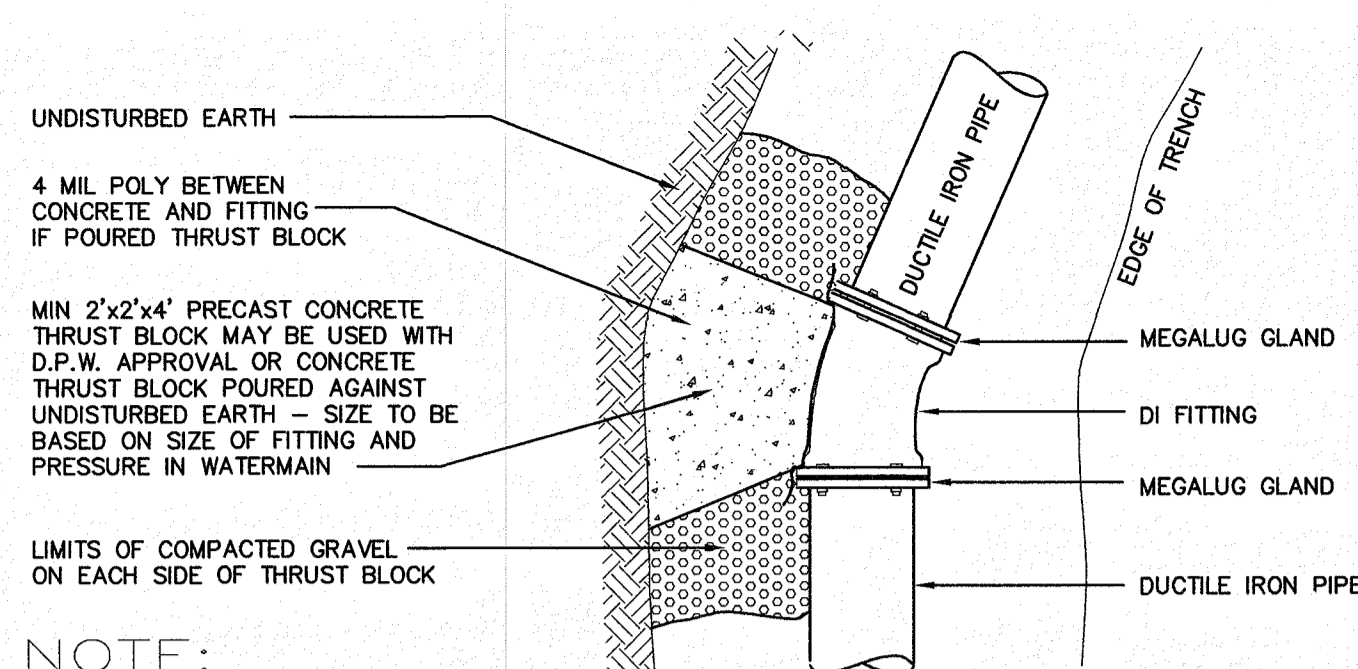
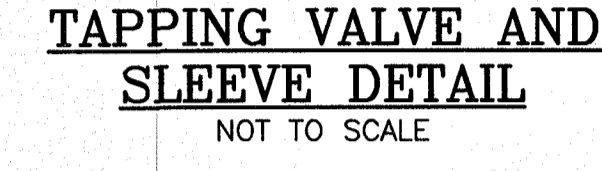
NOTE: ALL WATER SUPPLY MATERIALS TO MEET OR EXCEED LOCAL WATER WORKS SPECIFICATIONS.



NOTE:  
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.  
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 3' FROM TOP OF PIPE TO FINISH GRADE.  
3. ALL THREADED RODS AND NUTS MUST BE STAINLESS STEEL.  
4. MIN 2"x2" PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN.



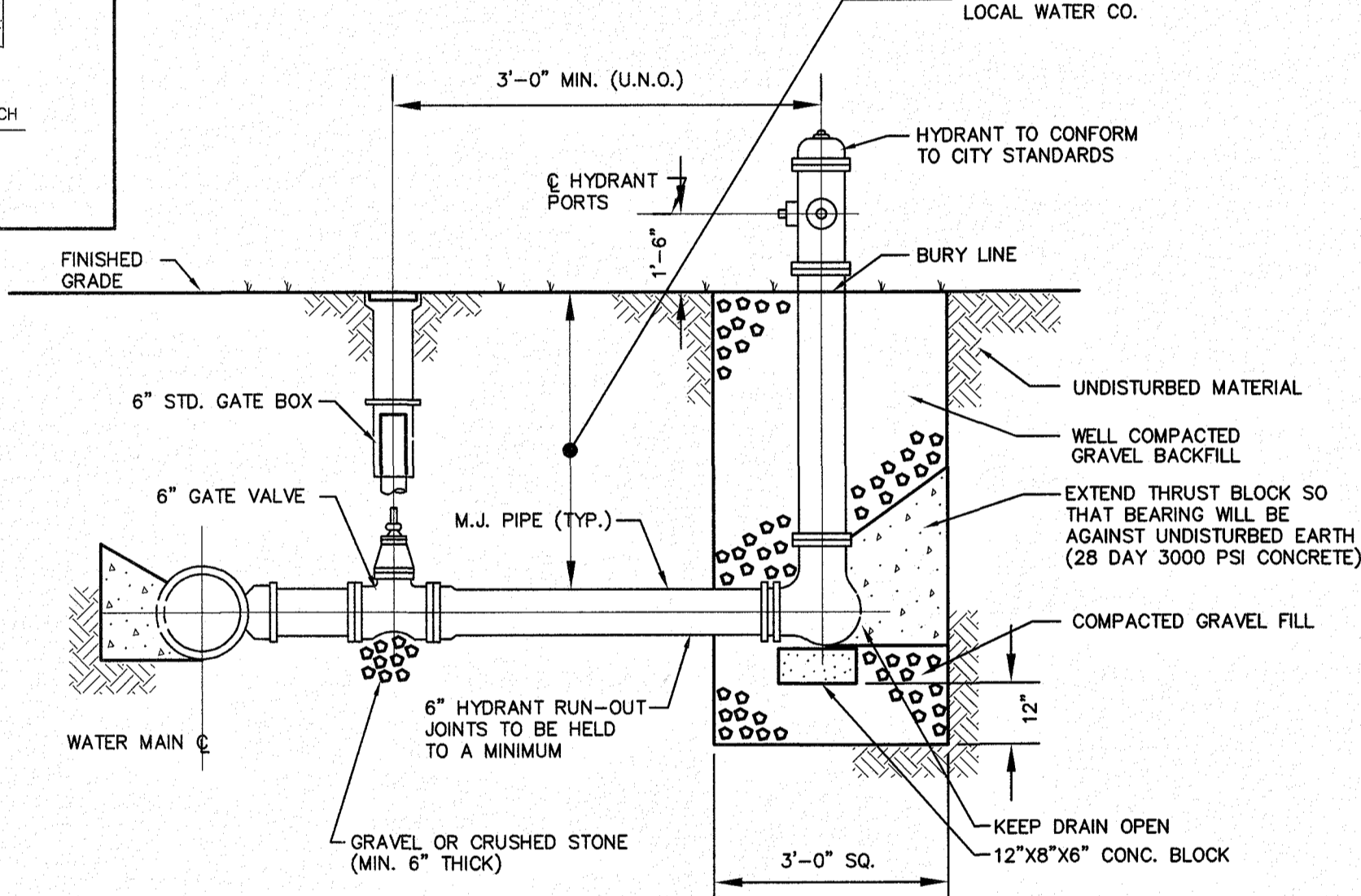
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ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.



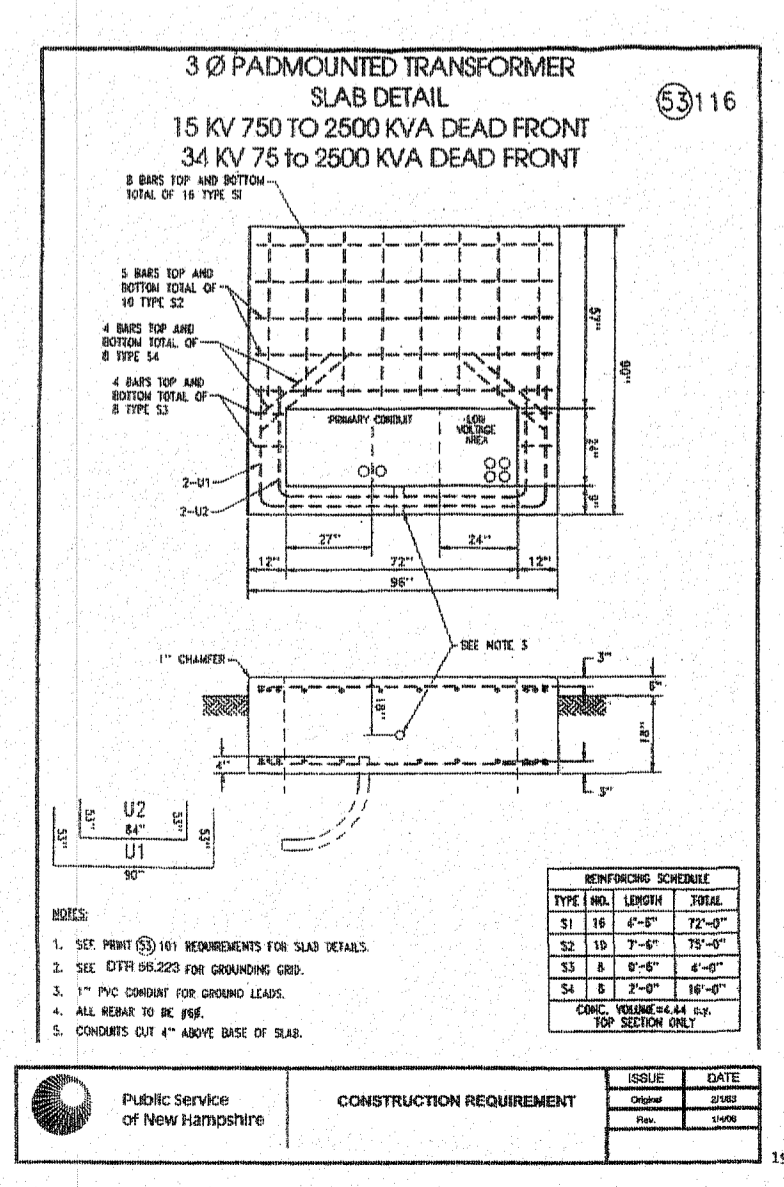
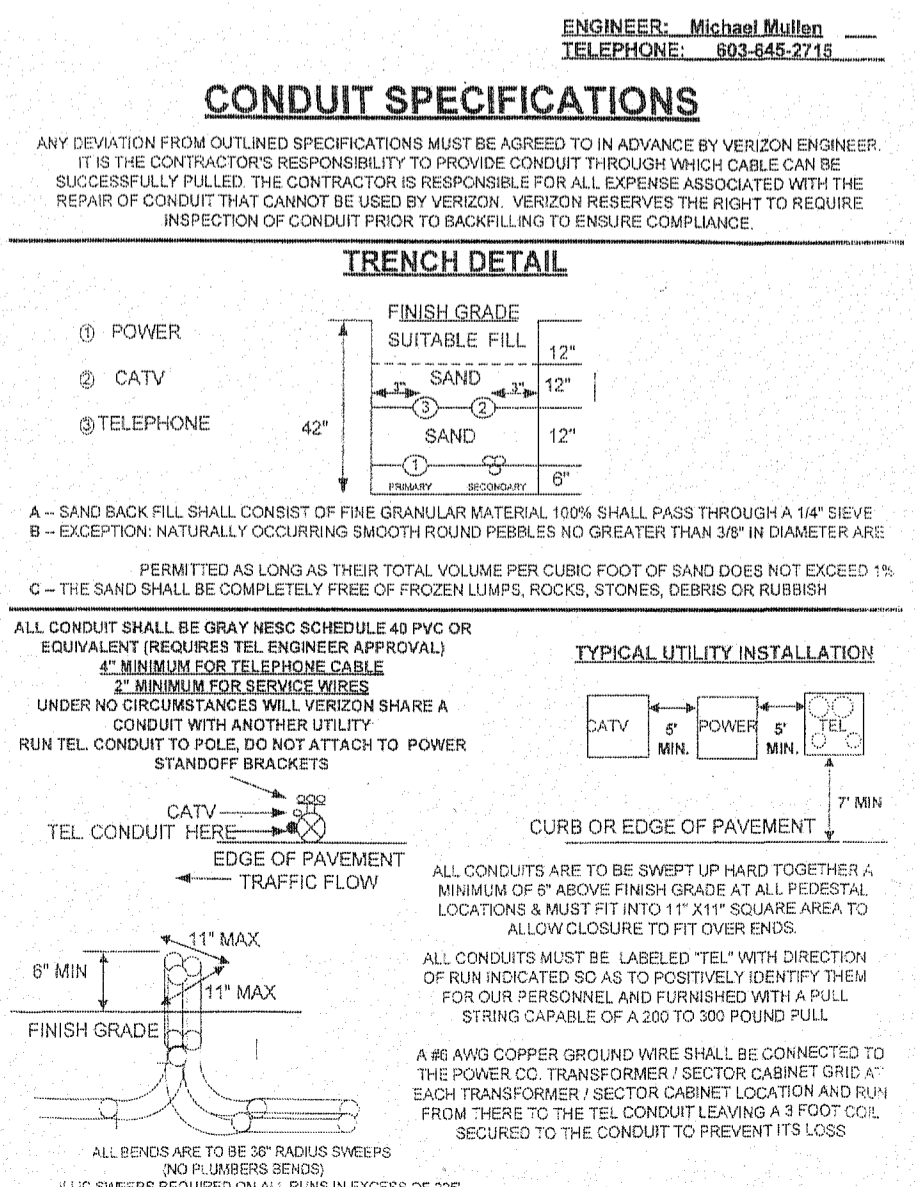
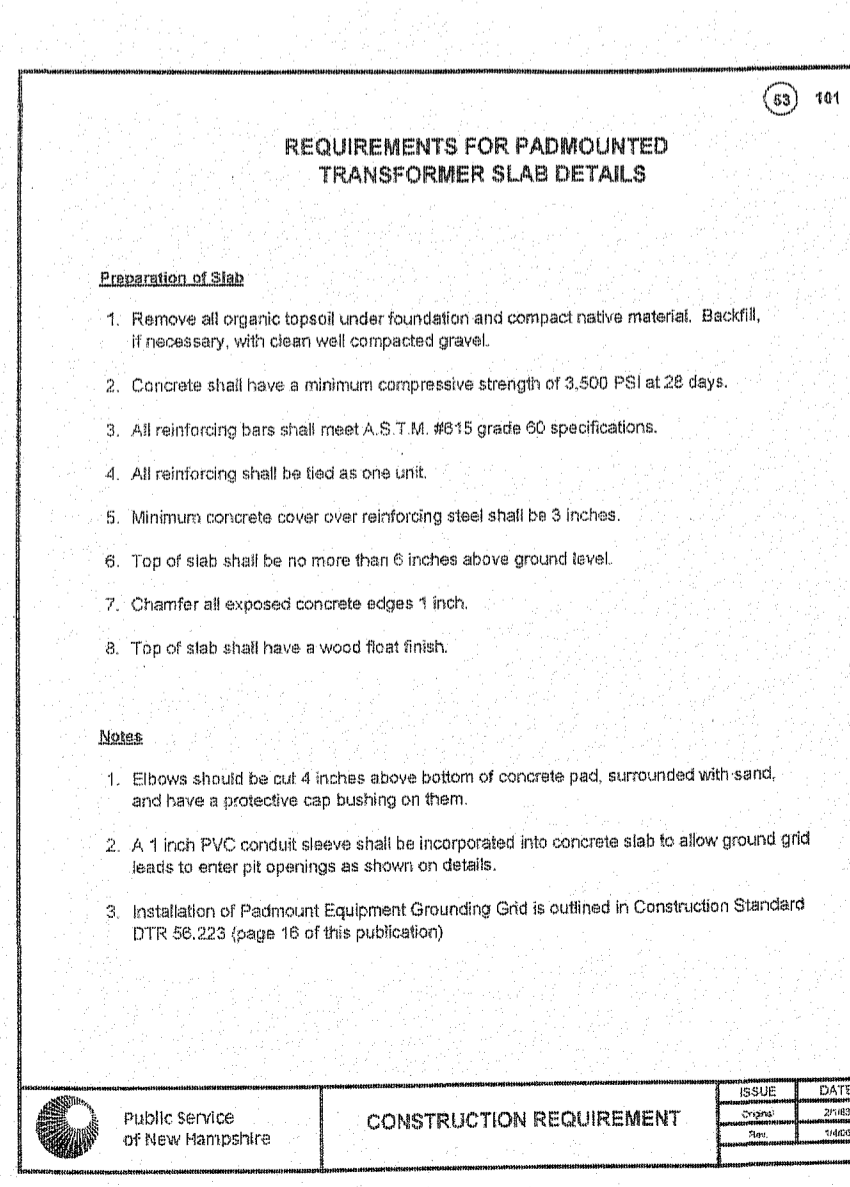
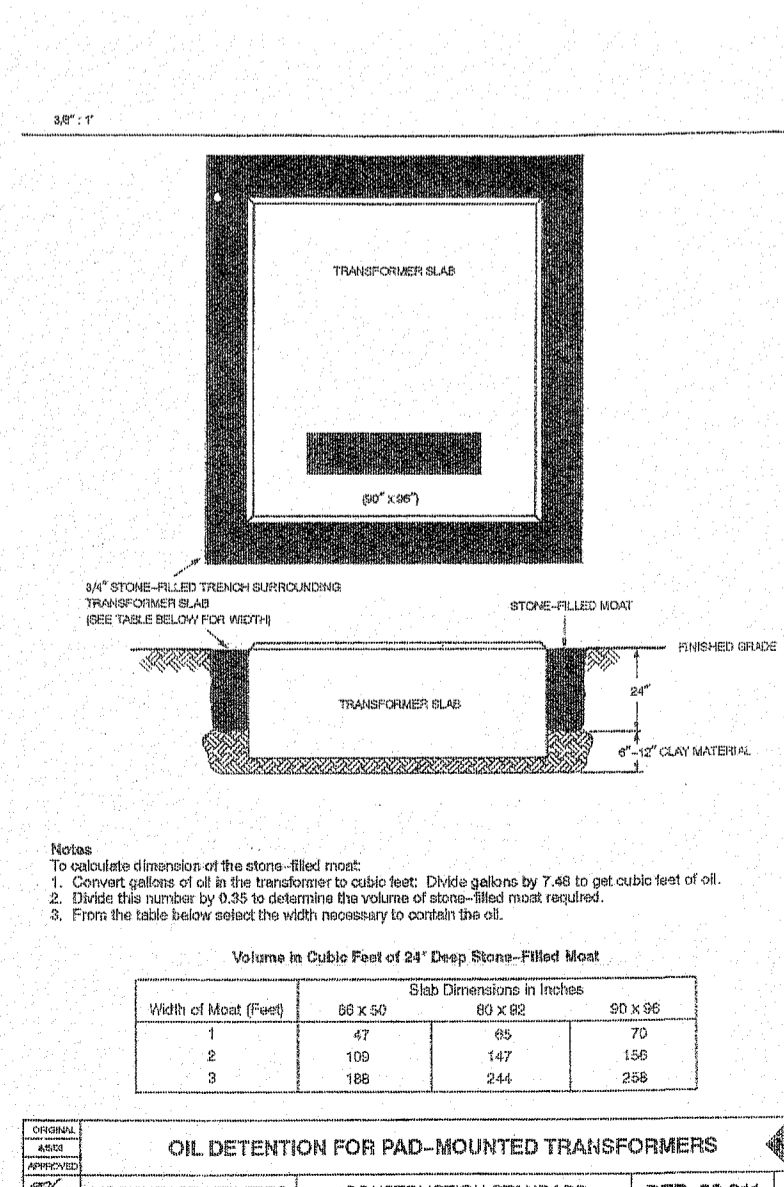
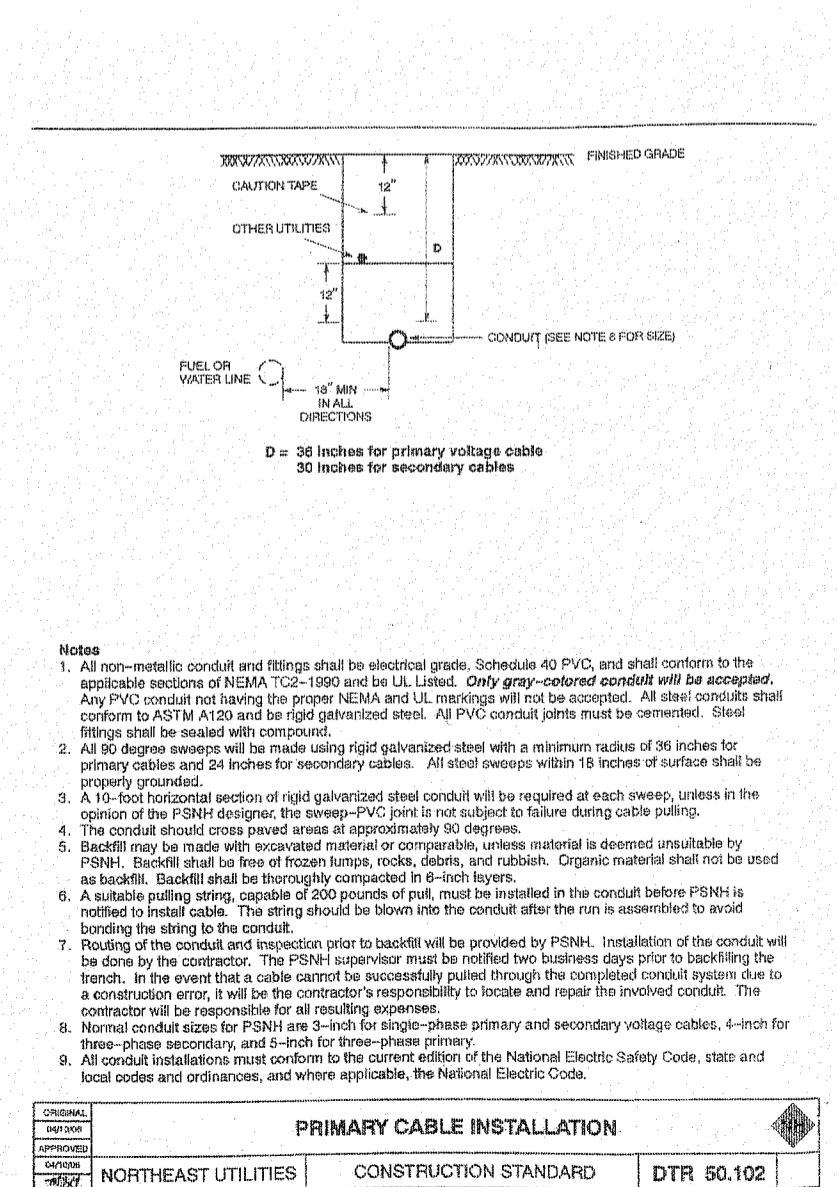
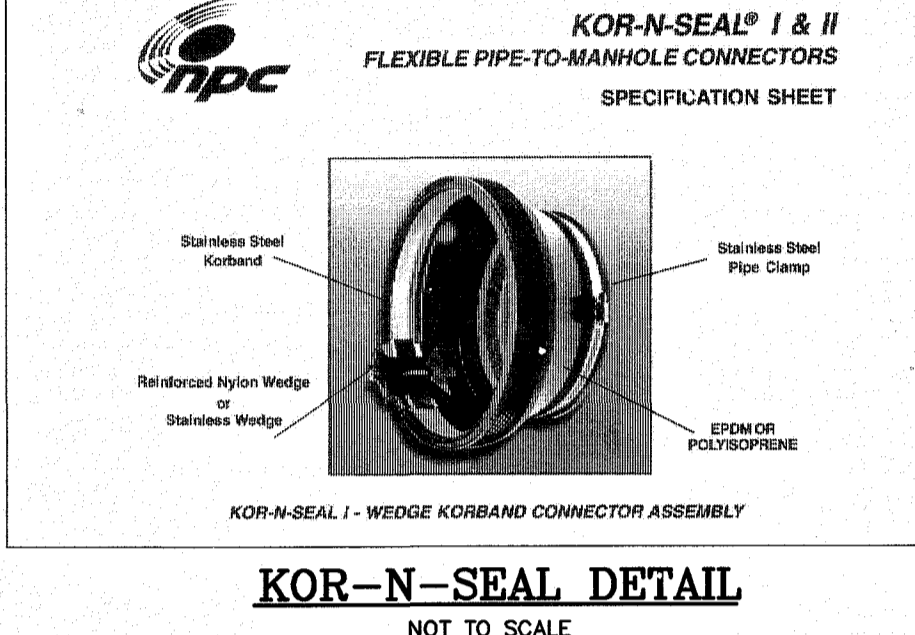
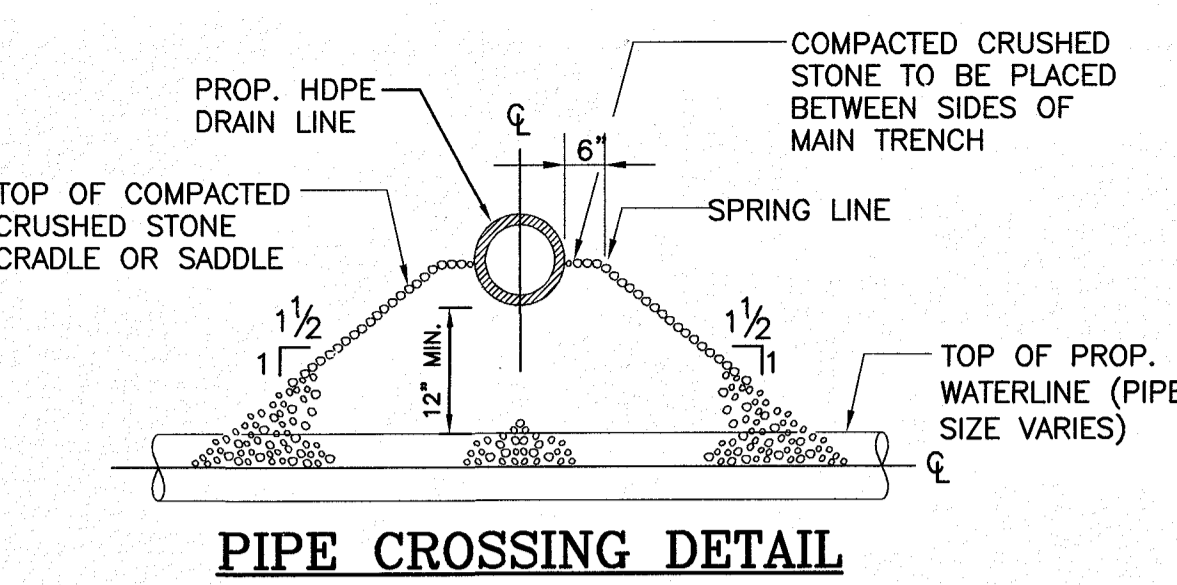
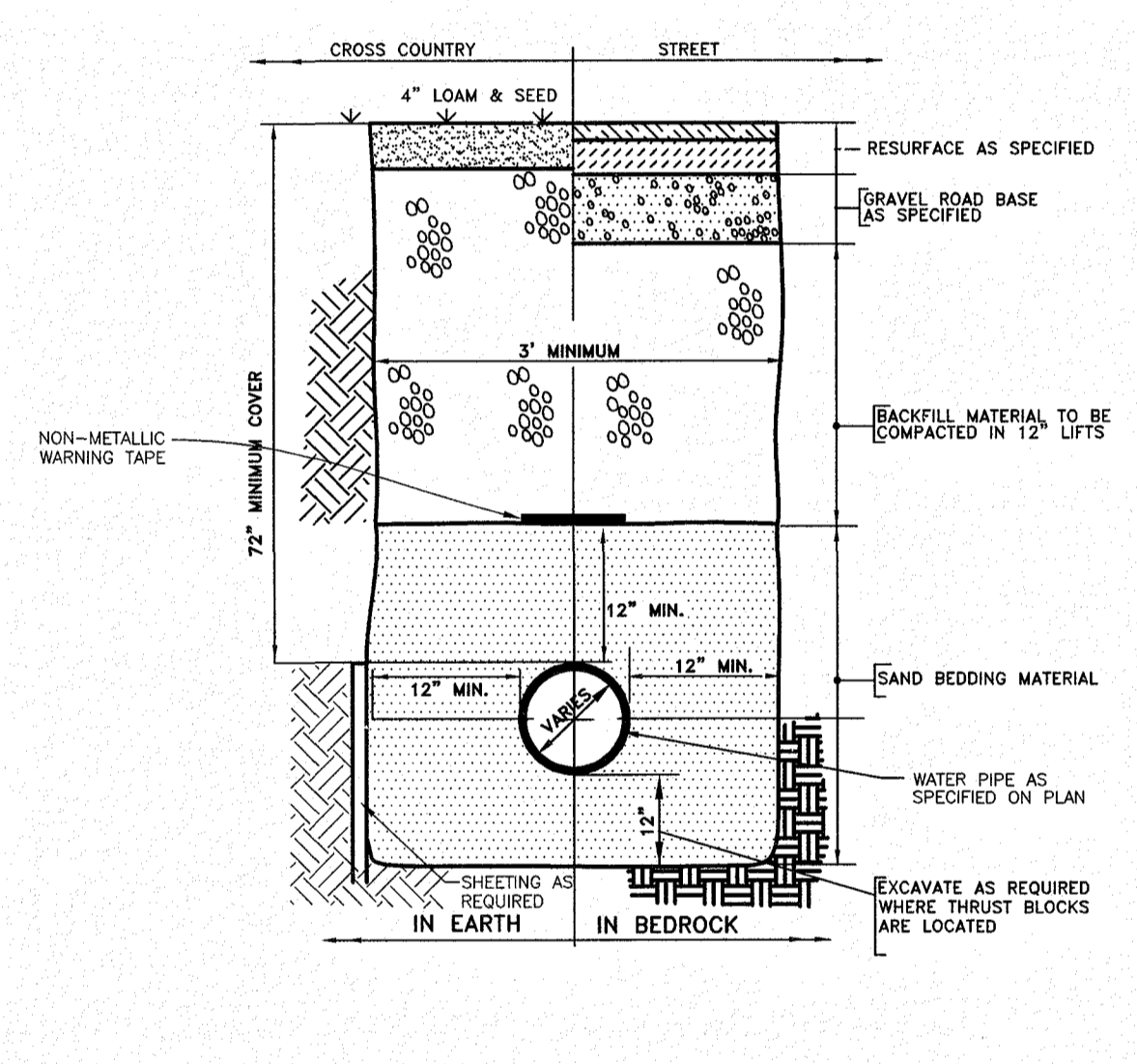
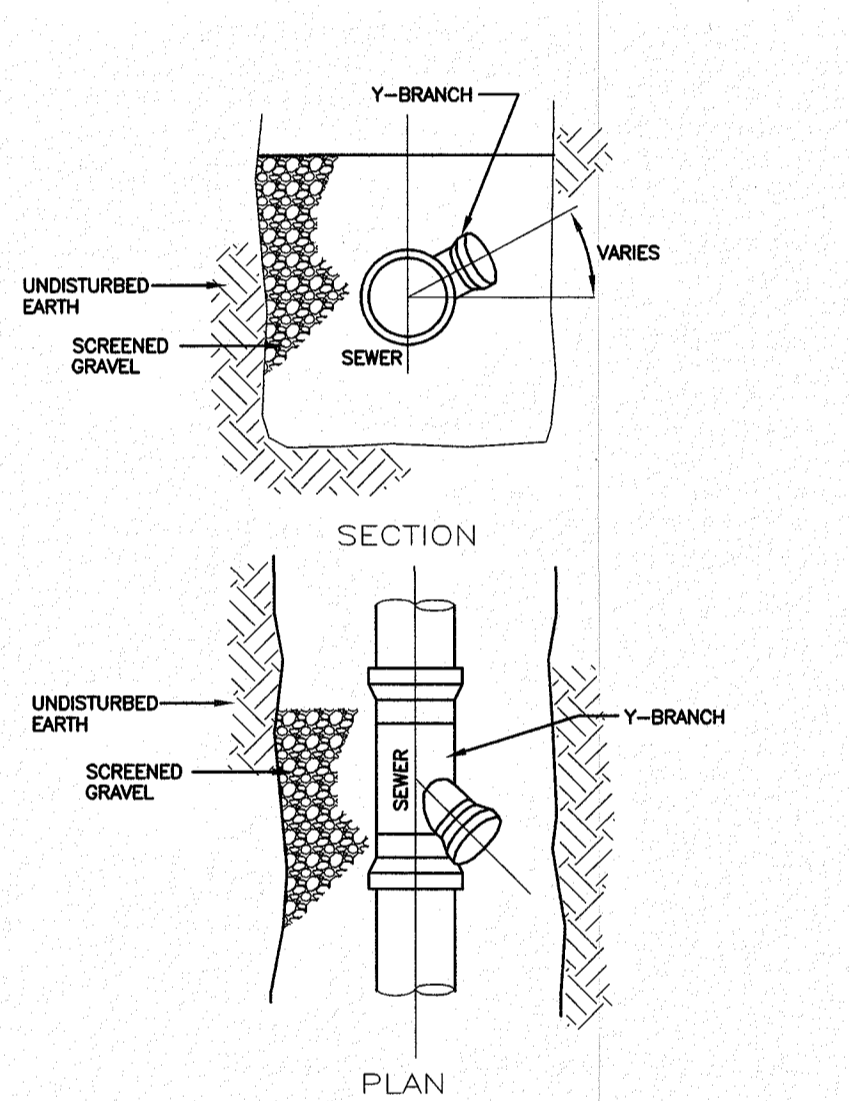
NOTE:  
1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.  
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.

**TABLE OF DIMENSIONS**

PIPE SIZE	90° BEND	45° BEND	22 1/2° BEND	1 1/2° BEND	TEE & PLUG	
	WIDTH	HGT.	WIDTH	HGT.	WIDTH	HGT.
6"	33"	21"	18"	21"	12"	21"
8"	45"	27"	24"	27"	18"	27"
10"	60"	36"	36"	36"	24"	36"
12"	66"	39"	36"	42"	24"	30"
14"	72"	45"	42"	48"	27"	36"



**THRUST BLOCKING BEHIND FITTINGS INSTALLATION**  
NOT TO SCALE



NO. DESCRIPTION BY DATE

REVISIONS

**DETAIL SHEET**

ASSESSORS MAP 252 - LOTS 4,5 & 9  
1400 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
PREPARED FOR:  
**4 AMIGOS, LLC**  
321 LAFAYETTE ROAD UNIT D  
HAMPTON, NEW HAMPSHIRE 03842

**GPI** Engineering Design Planning Construction Management  
603.893.0720 GPINET.COM

Greenman-Pedersen, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079

SCALE: 1"=20' DATE: DRAWING NO. 45821.DWG SHEET NO. 12 OF 15

DRAWN BY: CPS CHECKED BY: CMT PROJECT NO. 458219

**NOTES**

1. MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.

2. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

3. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

4. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

5. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

6. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

7. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

8. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

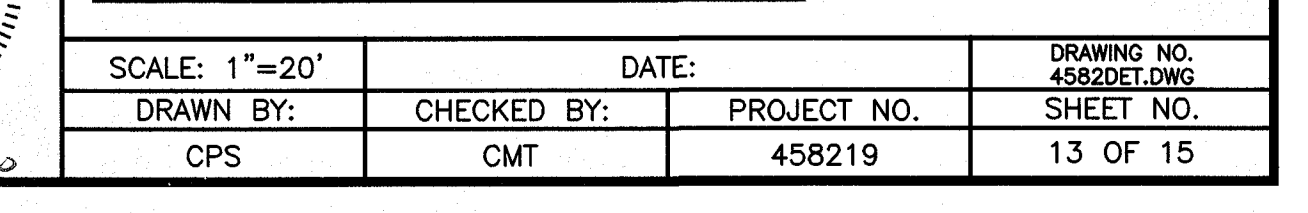
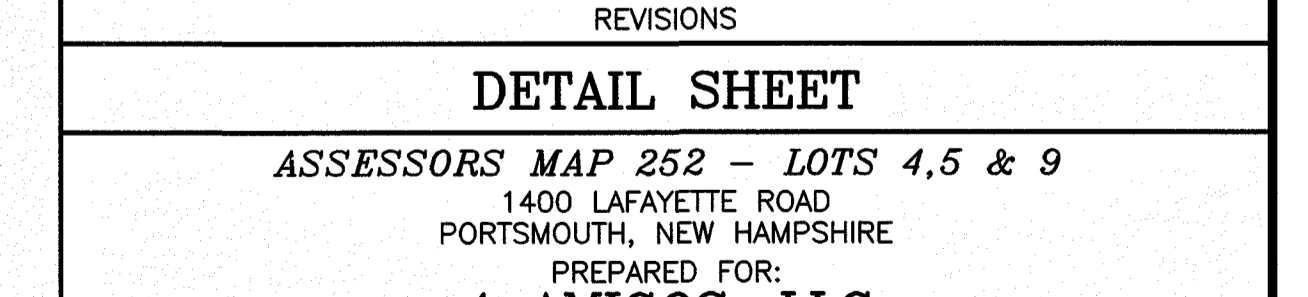
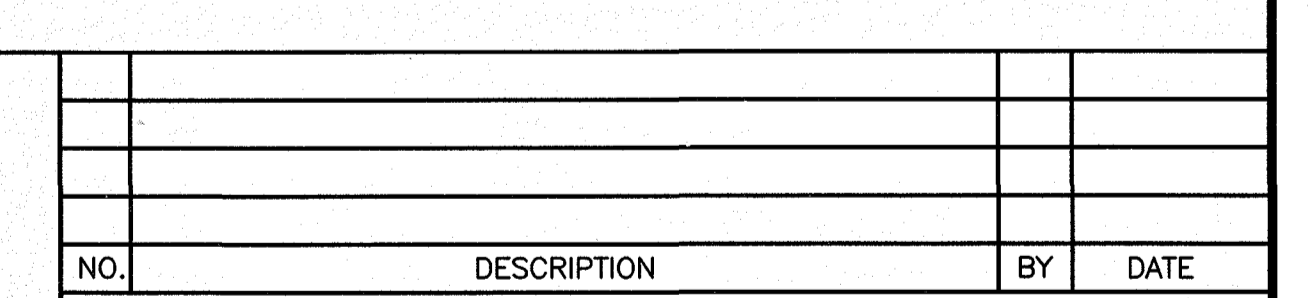
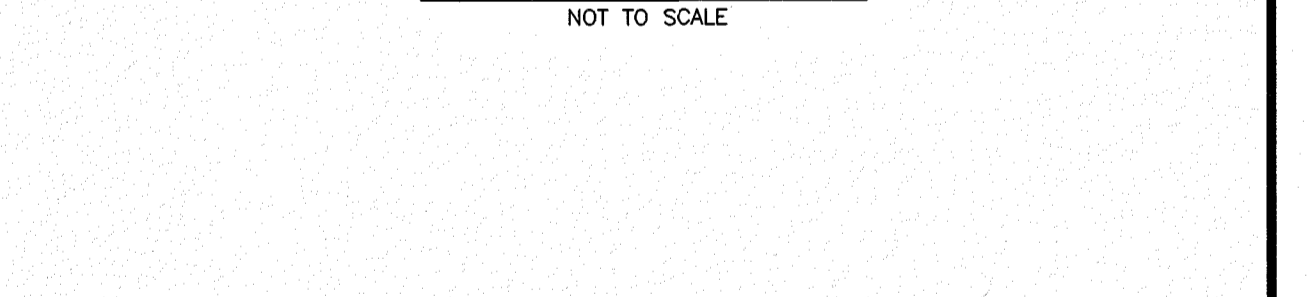
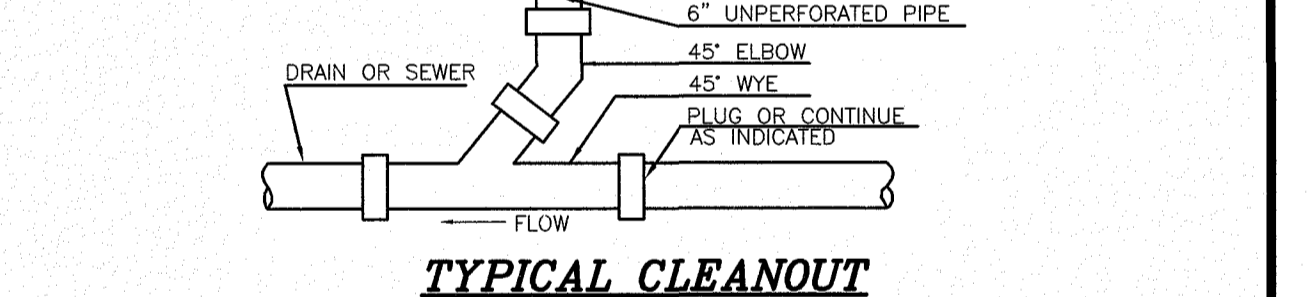
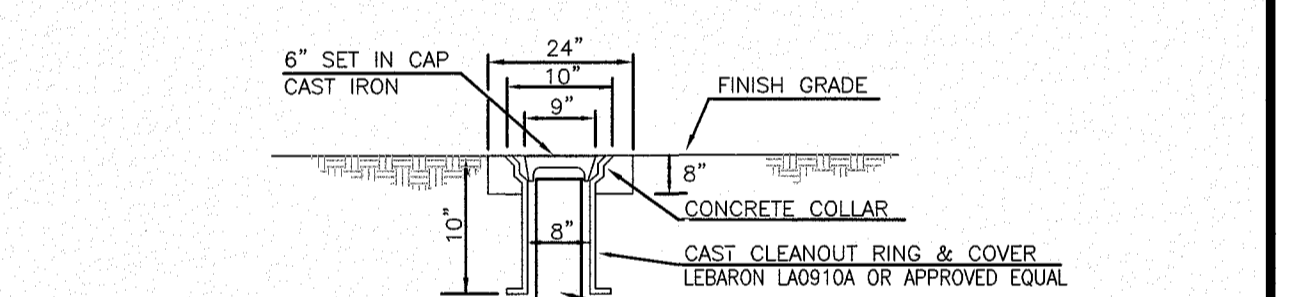
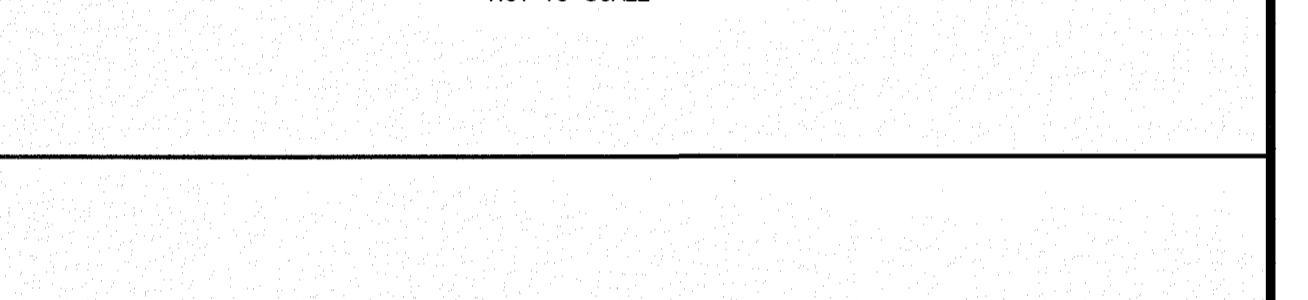
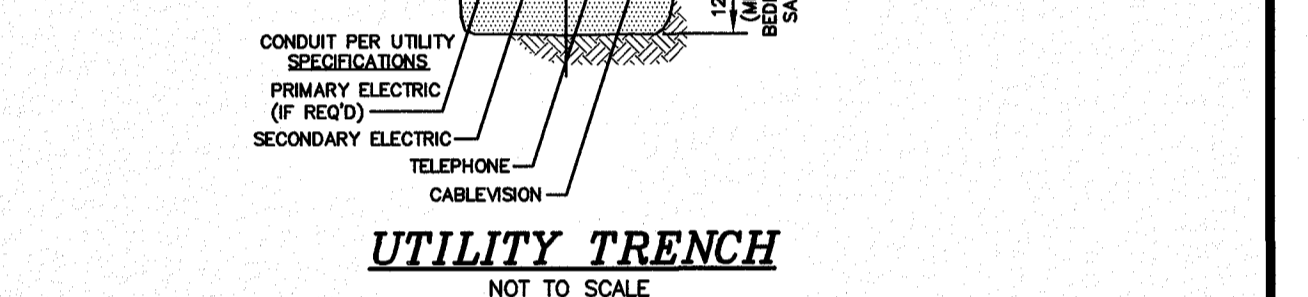
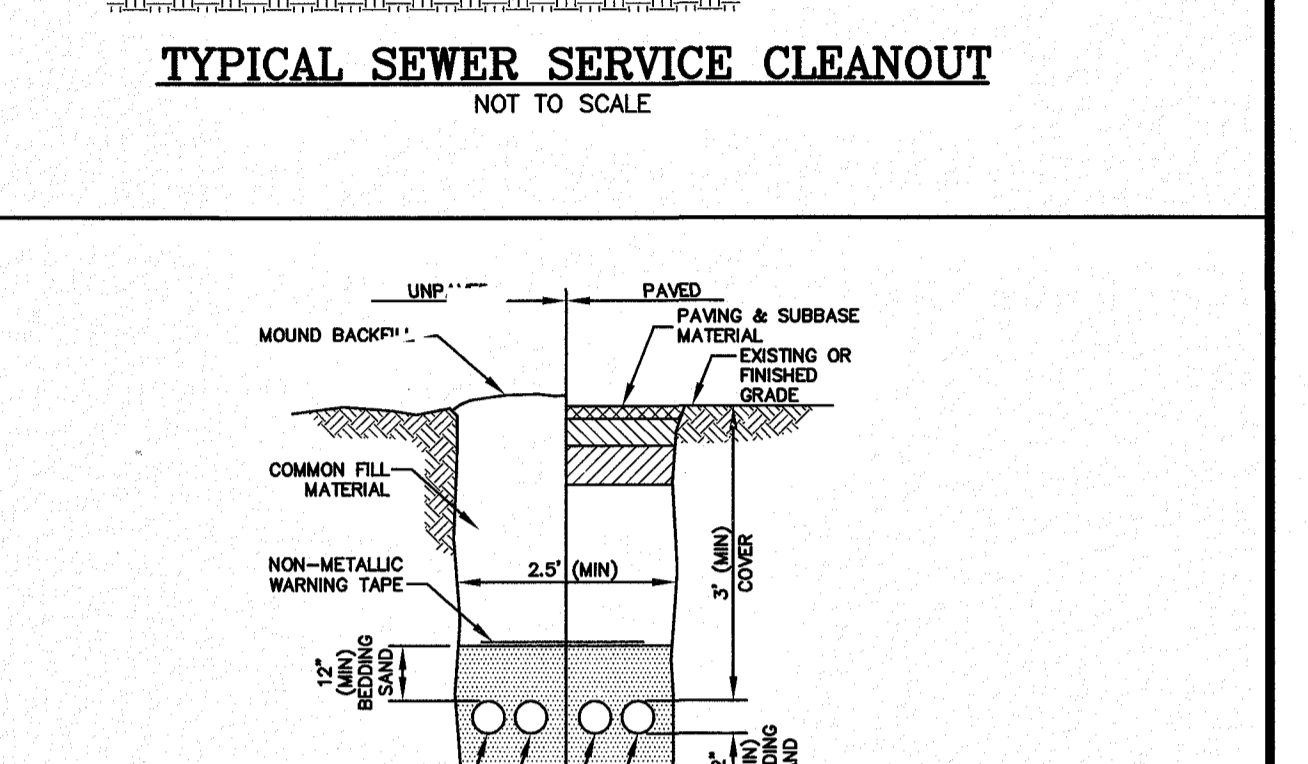
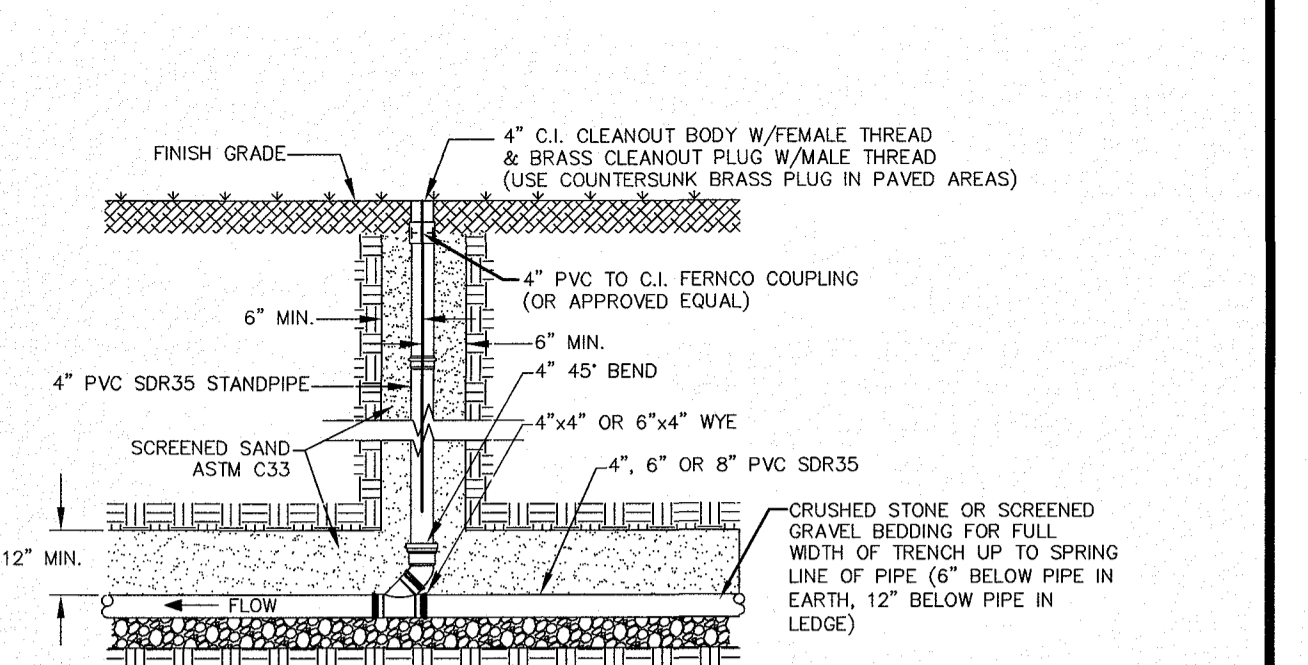
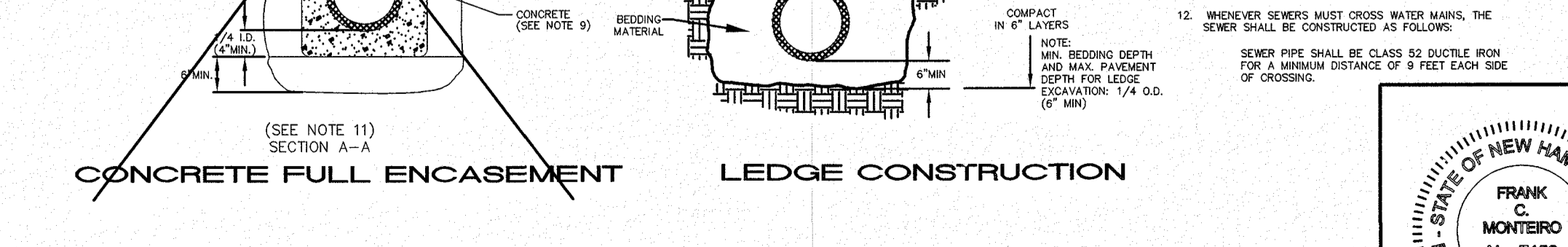
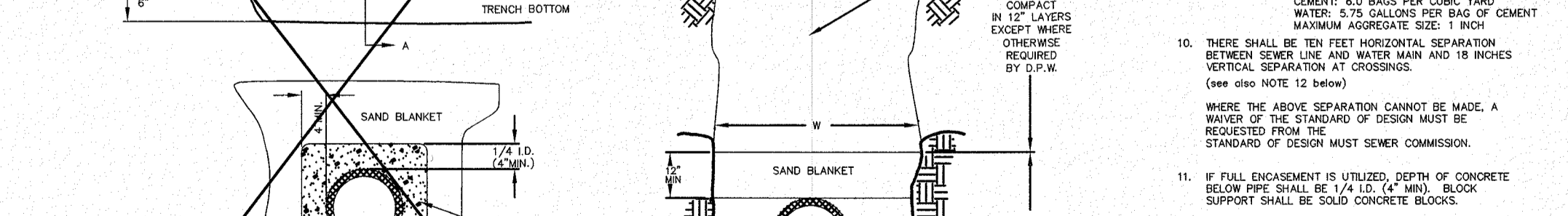
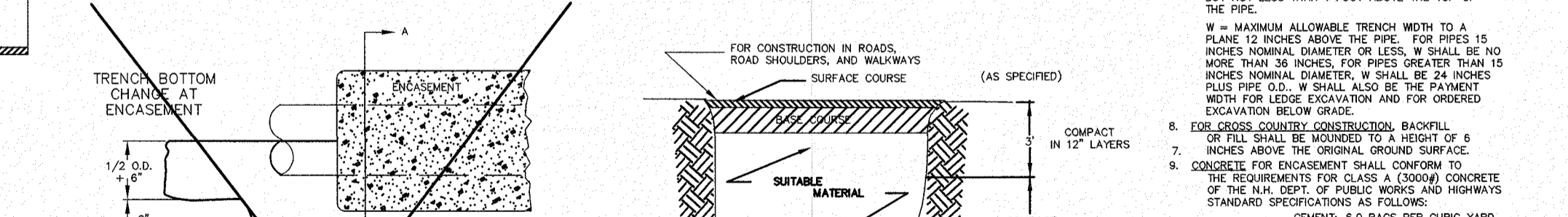
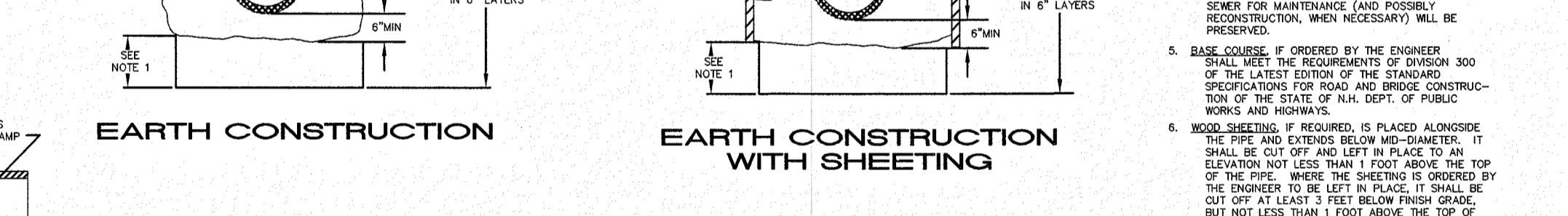
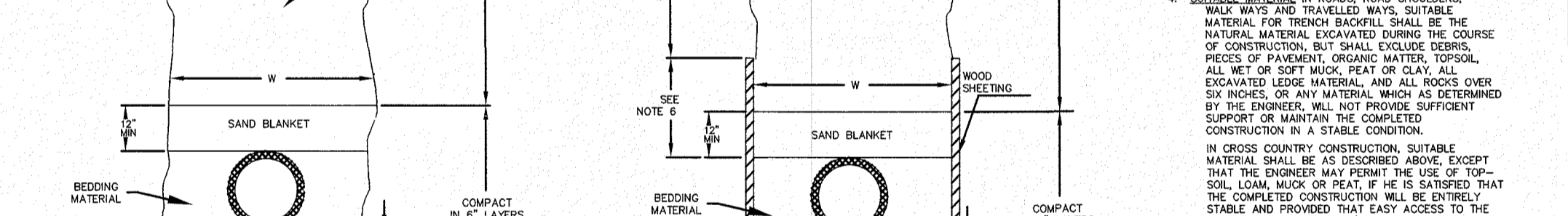
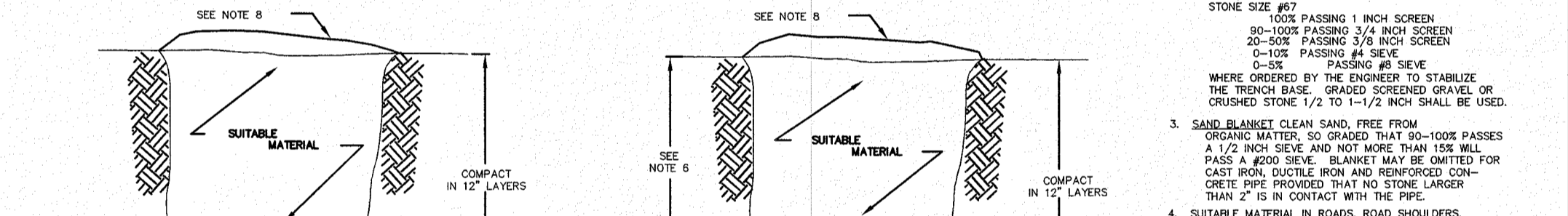
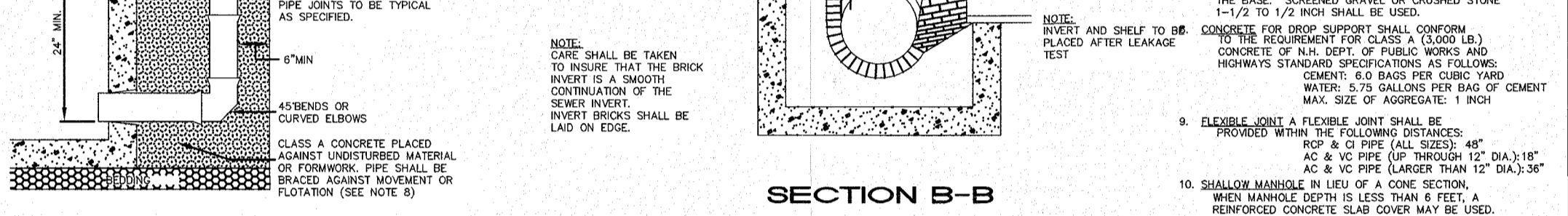
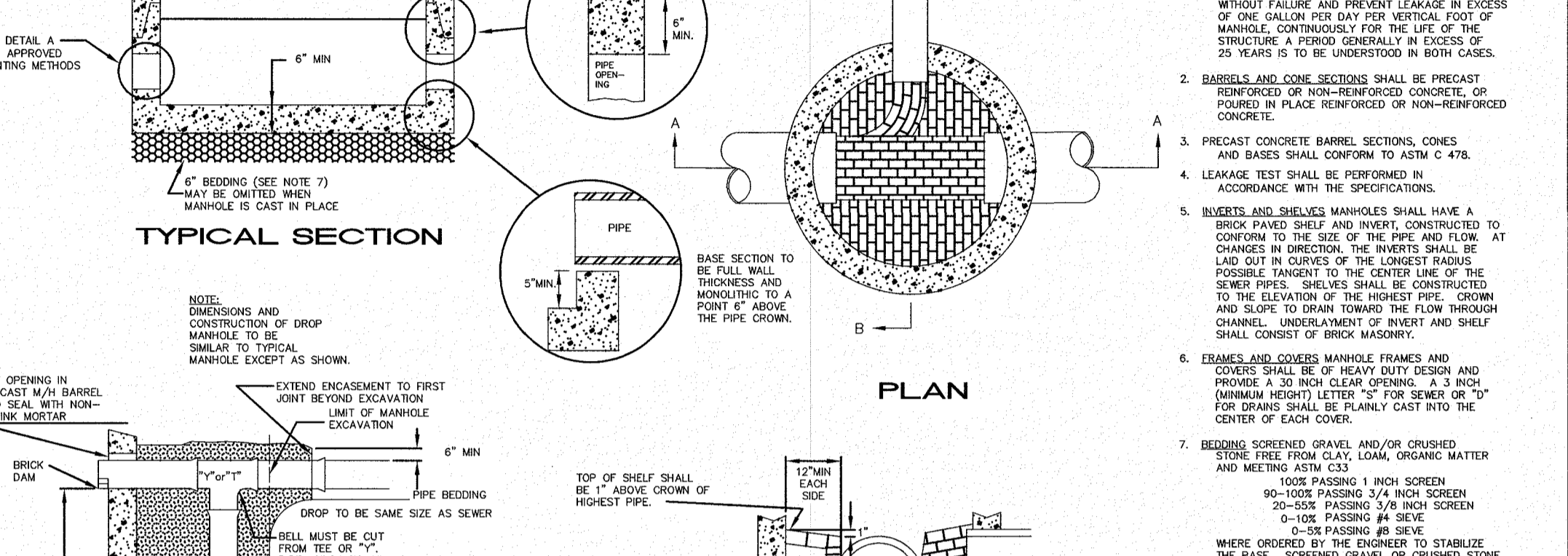
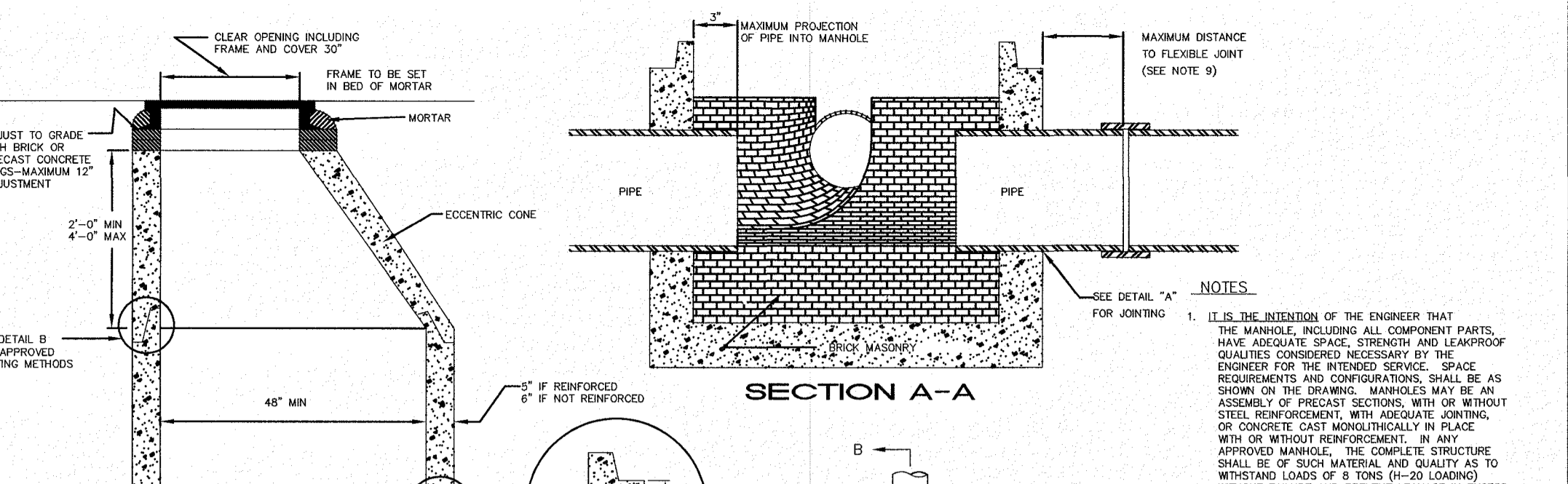
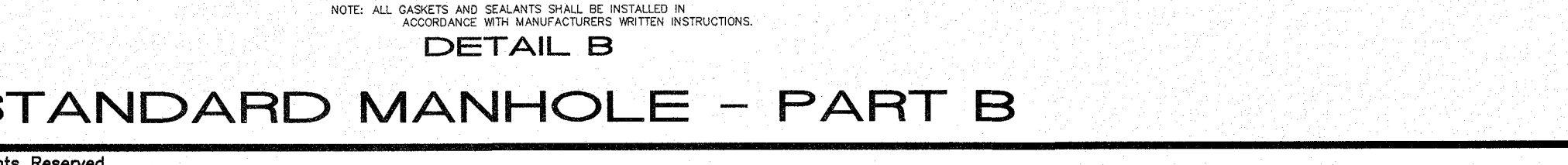
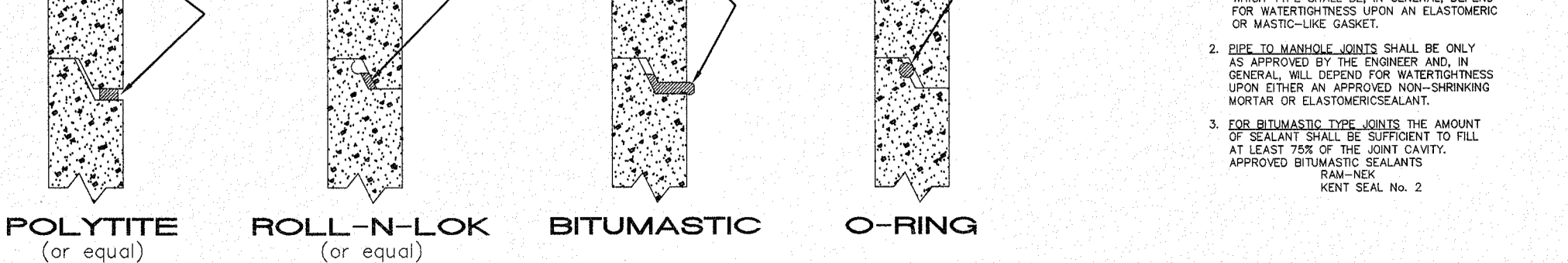
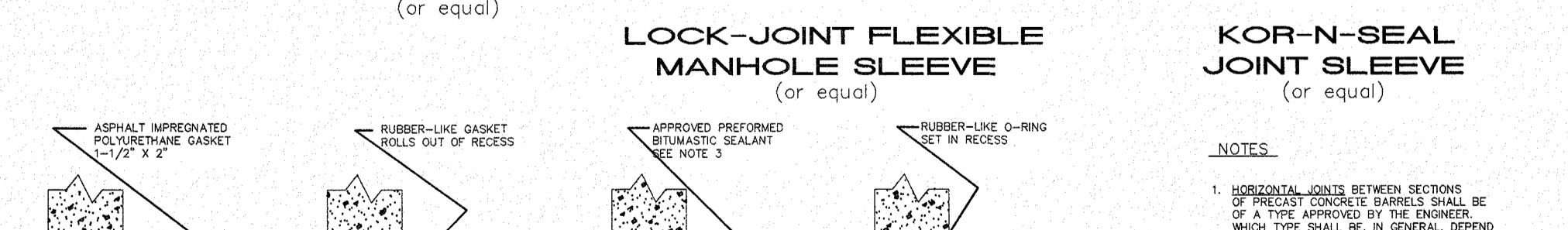
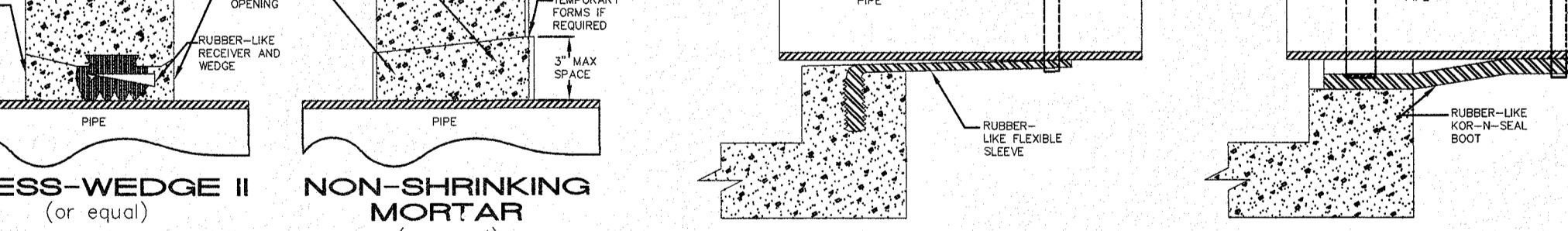
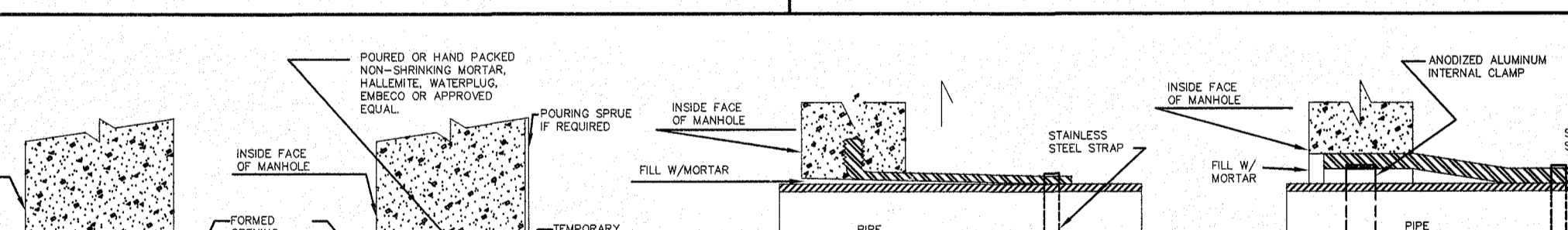
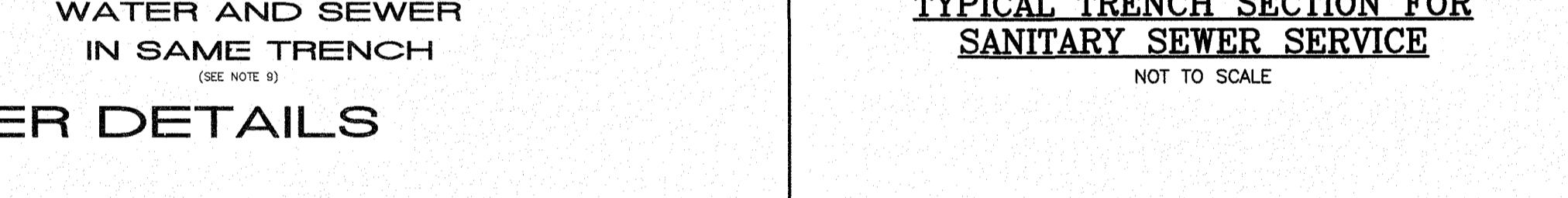
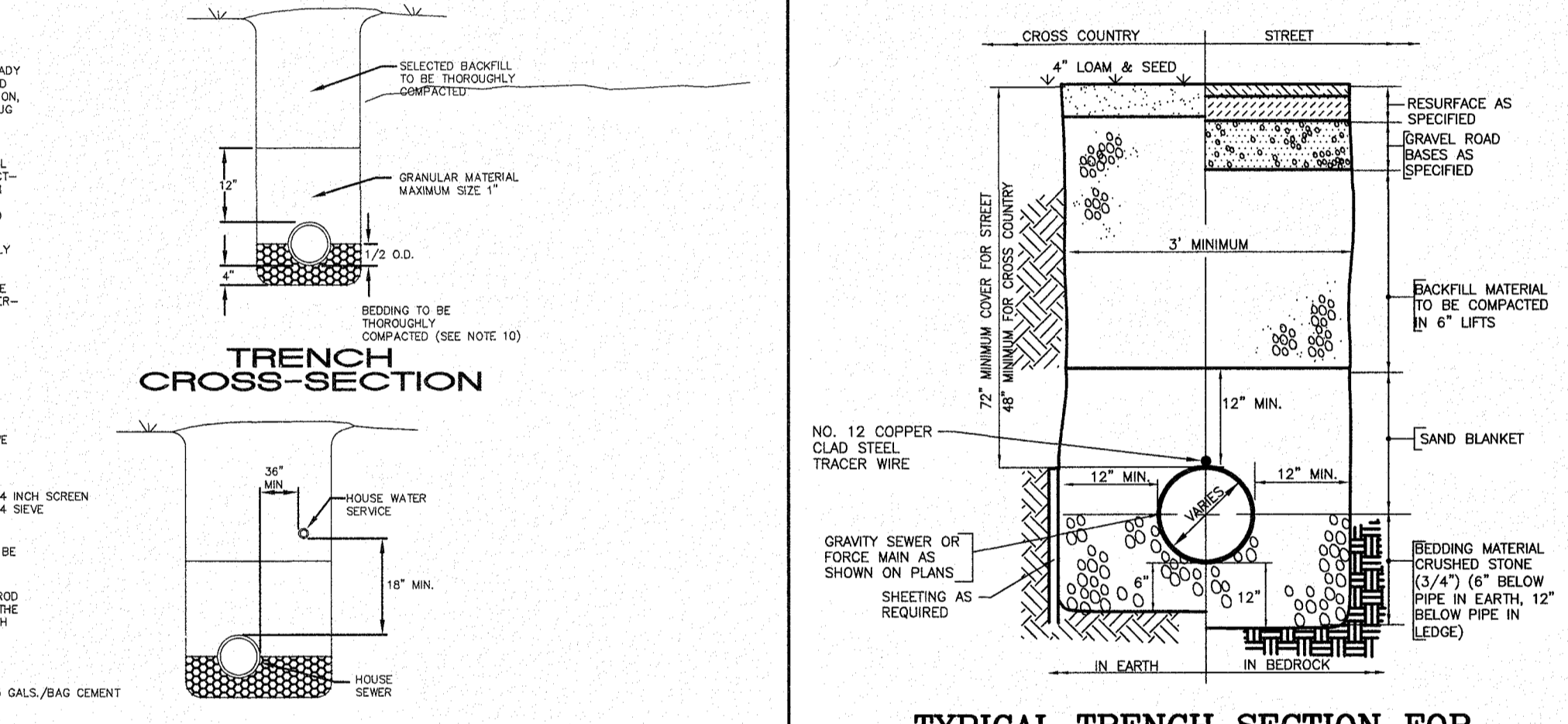
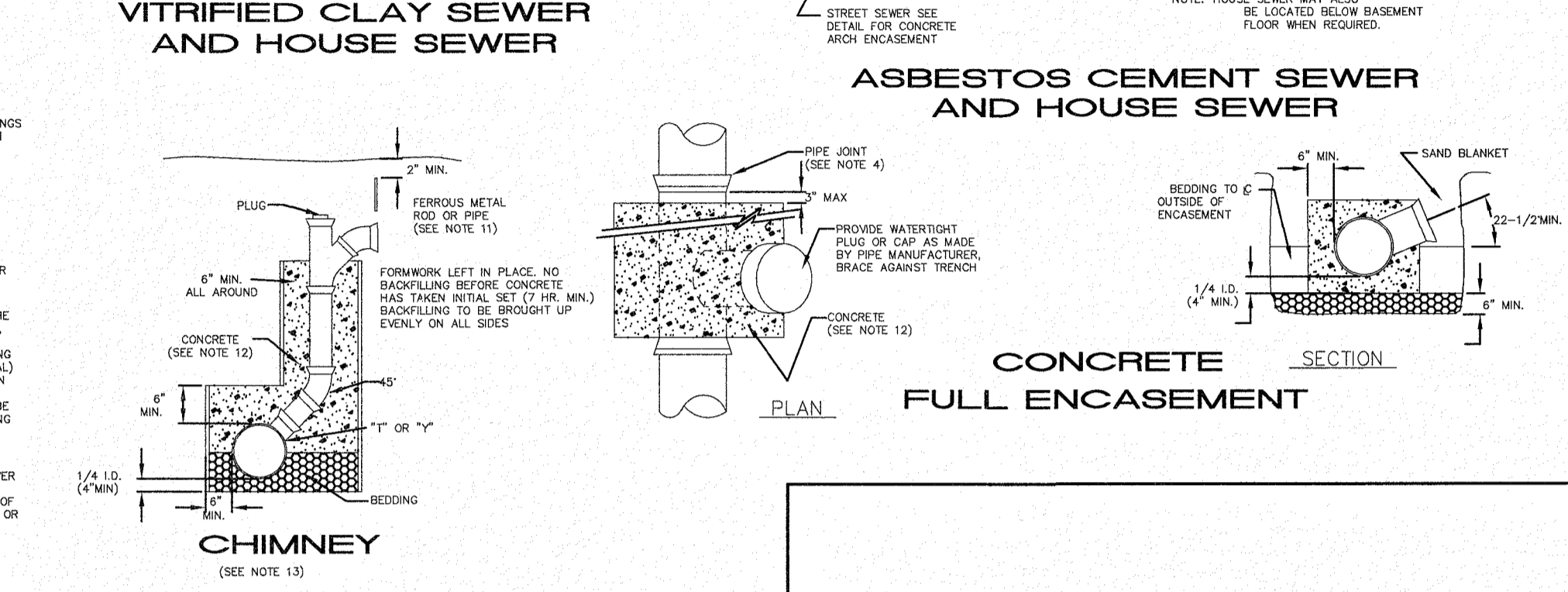
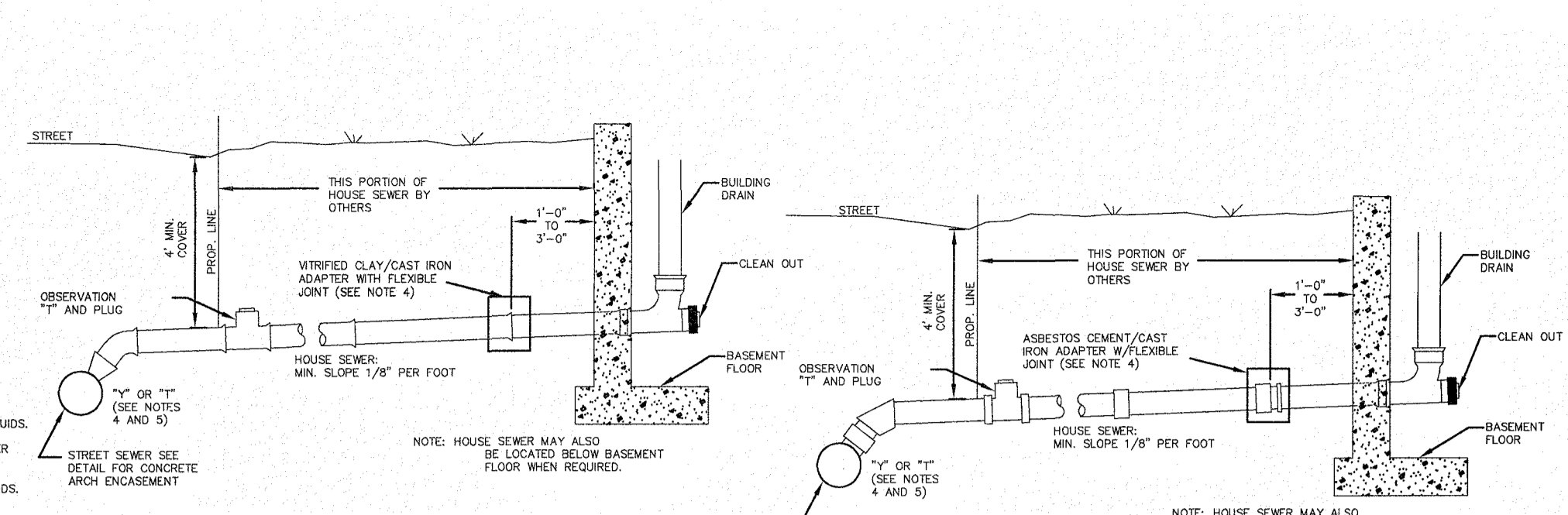
9. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

10. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

11. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

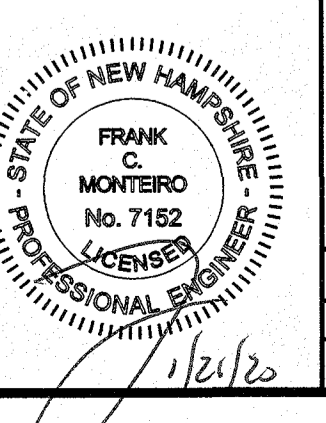
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13. SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.



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NO.	DESCRIPTION	BY	DATE
REVISIONS			
<b>DETAIL SHEET</b>			
<b>ASSESSORS MAP 252 - LOTS 4, 5 &amp; 9</b>			
1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE			
PREPARED FOR: <b>4 AMIGOS, LLC</b> 321 LAFAYETTE ROAD UNIT D HAMPTON, NEW HAMPSHIRE 03842			
<b>GPI</b>		Engineering Design Planning Construction Management	Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079
603.893.0720		GPINET.COM	
SCALE: 1"=20'	DATE:	DRAWING NO. 4582DET.DWG	
DRAWN BY: CPS	CHECKED BY: CMT	PROJECT NO. 458219	SHEET NO. 13 OF 15

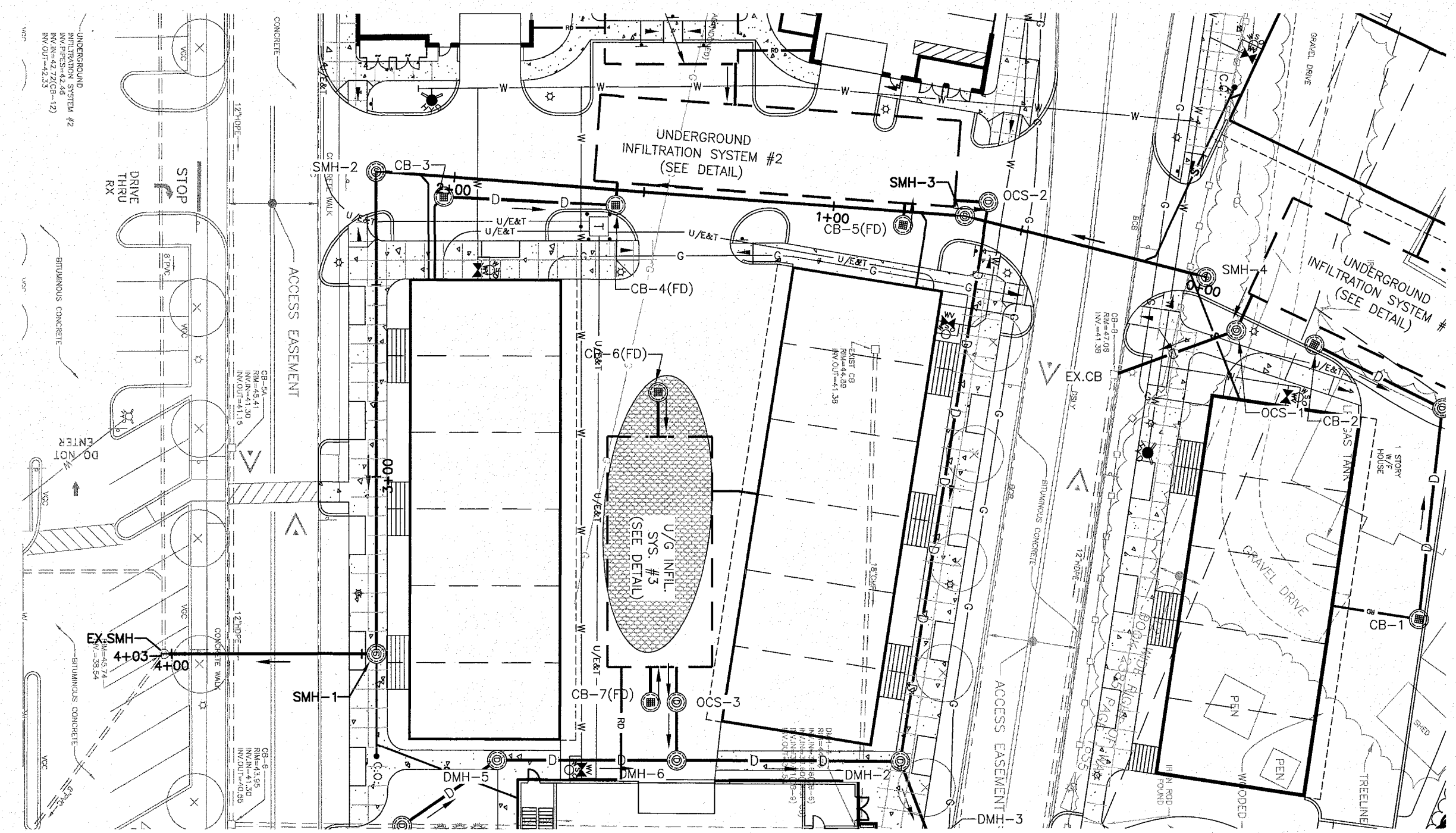




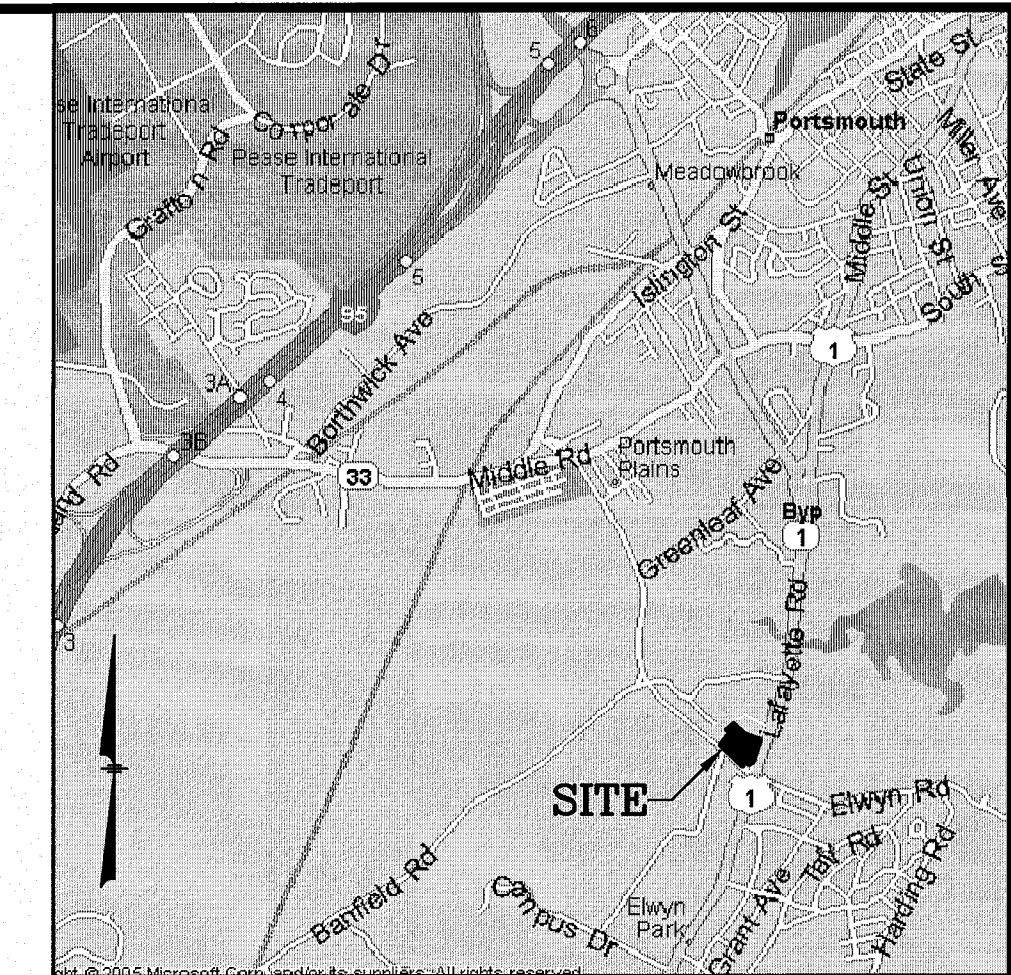
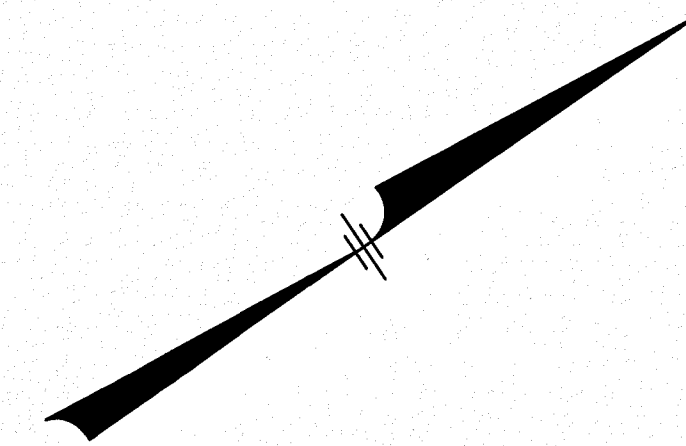


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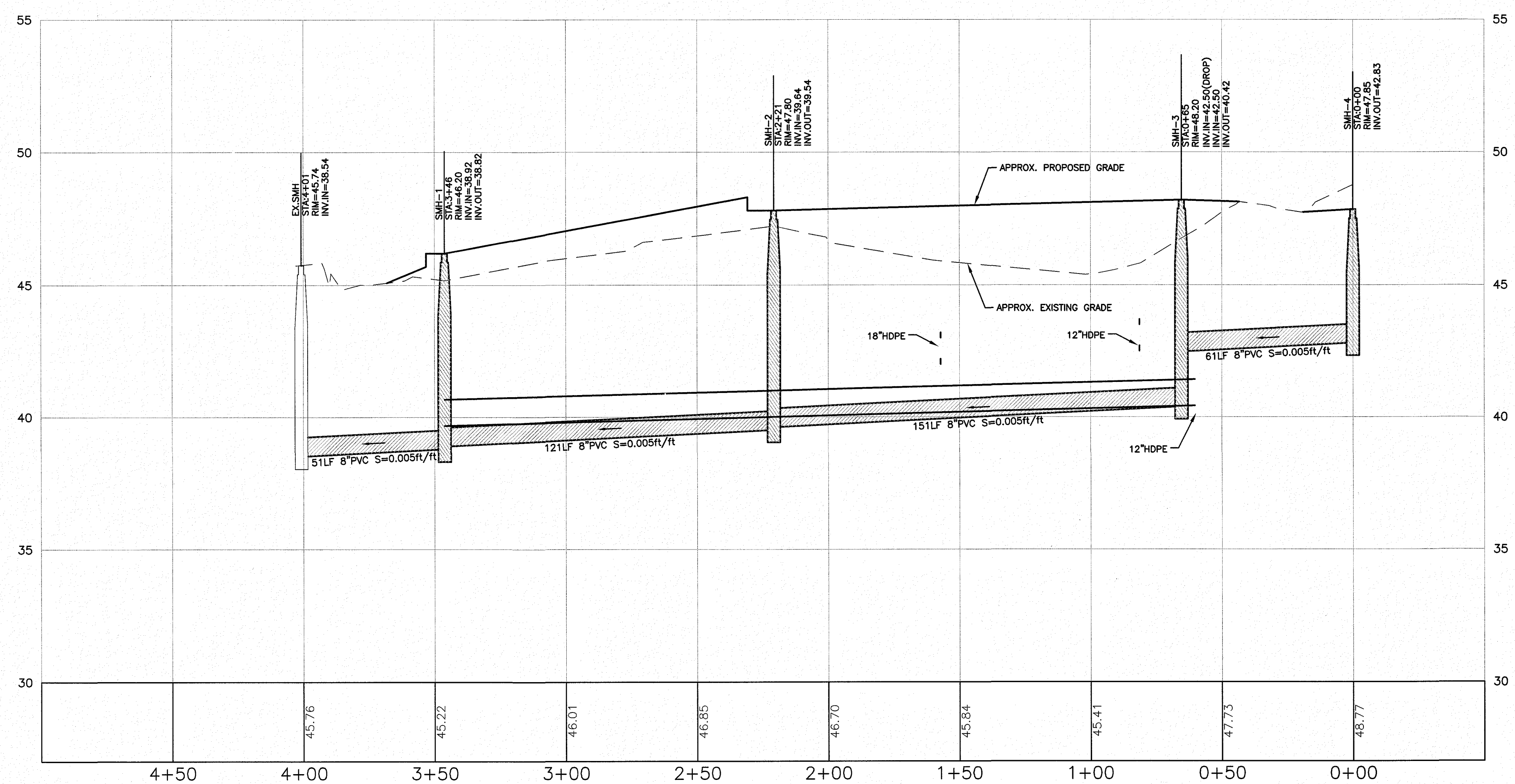
- IRON PIN FOUND
- CONCRETE BOUND FOUND
- △ RAILROAD SPIKE FOUND
- DRILL HOLE FOUND
- SSC EXIST. SLOPED GRANITE CURB
- VGC EXIST. VERTICAL GRANITE CURB
- BCC EXIST. BITUMINOUS CONC. LIP CURBING
- VCC EXIST. VERTICAL CONCRETE CURB
- DSYL OVERHEAD SERVICE WIRES
- DSYL DOUBLE SOLID YELLOW LINE
- SSWL SINGLE SOLID WHITE LINE
- BWL BROKEN WHITE LINE
- SIGN SIGN
- C.O. PROP. CLEANOUT
- CB-1 PROP. CATCH BASIN
- DMH-1 PROP. DRAIN MANHOLE
- SMH-1 PROP. SEWER MANHOLE
- PROP. GATE VALVE
- UTILITY POLE
- DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- WATER LINE
- FIRE HYDRANT
- GAS VALVE
- GAS LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND ELECTRIC AND TELEPHONE
- WETLAND LINE
- TREELINE



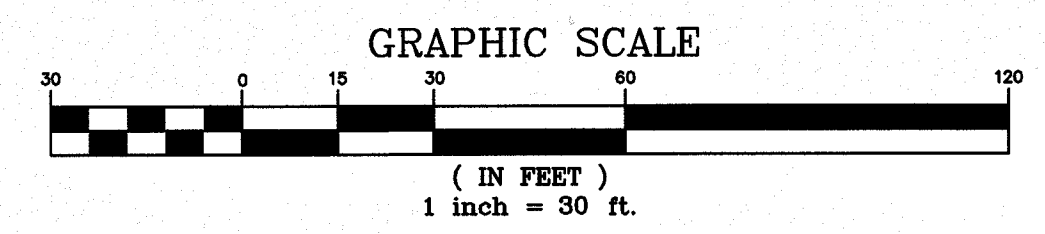
**PLAN**  
SCALE: 1"=30'



**LOCATION MAP**  
(NOT TO SCALE)

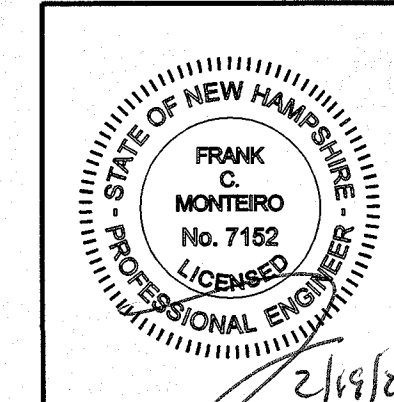


**PROFILE**  
SCALE: 1"=30'H/3'V



NO.	DESCRIPTION	BY	DATE
1	MISC. REVISIONS PER TAC	CMT	2/20/20

**SEWER PLAN/PROFILE**  
ASSESSORS MAP 252 - LOTS 4, 5 & 9  
1400 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
PREPARED FOR:  
**4 AMIGOS, LLC**  
321 LAFAYETTE ROAD UNIT D  
HAMPTON, NEW HAMPSHIRE 03842



**GPI** Engineering Design Planning Construction Management  
603.893.0720 GPINET.COM

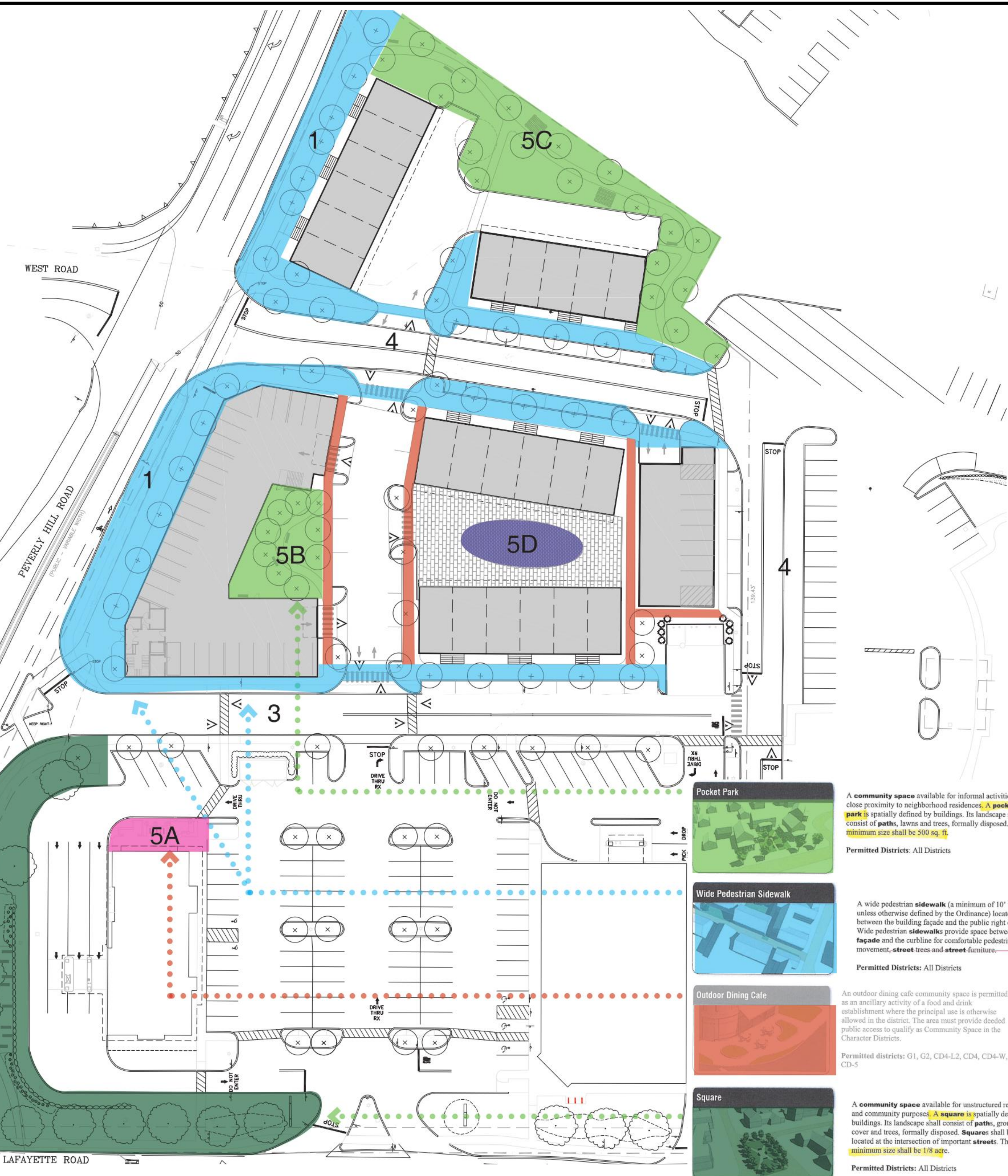
Greenman-Pedersen, Inc.  
44 Stiles Road  
Suite One  
Salem, NH 03079

SCALE: 1"=30'	DATE: JANUARY 20, 2020	DRAWING NO. 4582SP.DWG
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219
		SHEET NO. 1 OF 1

**OWNER OF RECORD:**  
MAP 252 LOTS 4, 5 & 9  
4 AMIGOS LLC  
321 LAFAYETTE ROAD, UNIT D  
HAMPTON, NH 03842



NO.	DESCRIPTION	BY	DATE
REVISIONS			
<b>COMMUNITY SPACE OVERVIEW PLAN</b>			
ASSESSORS MAP 252 - LOTS 4, 5 & 9			
1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE			
PREPARED FOR:			
<b>4 AMIGOS, LLC</b>			
321 LAFAYETTE ROAD UNIT D HAMPTON, NEW HAMPSHIRE 03842			
<b>GPI</b>	Engineering	Greenman-Pedersen, Inc.	
	Design	44 Stiles Road	
	Planning	Suite One	
	Construction Management	Salem, NH 03079	
603.893.0720	GPINET.COM		
SCALE: NTS	DATE: JANUARY 20, 2020	DRAWING NO.	
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO.	4582COM-SPACE.DWG
		SHEET NO.	1 OF 1



### Defining Community Space:

The gateway zoning district requires a clear definition of community space area as well as the typology of community space, based upon defined types in the Gateway Zoning District in the project's design. There is an overall requirement of 20% open space - which the project complies with a recent calculation at 21.3% if the total site is proposed as non-paved and non-building space, but there is not an actual numerical value required for community space. At the same time, the community space requirements mandates an acceptable percentage of open space must have a viable function for the aesthetic and social life of the project. The Planning process will make a determination on the appropriateness of the community space, but the objective of the projects design is to maximize that opportunity in balance with the projects density and development pattern.

The approach for community space in the project design is first to make all public street frontages community space in the form of Widened Sidewalks with street trees and sidewalk amenities and street furniture. Additional landscaped areas can have added Community Space values in smaller discrete locales.

#### 1. Frontage on Peveryly Hill Road:

We initially considered that we could use this frontage as a Greenway designation, but we perceived that the Greenway typology in the community space assumed something greater in width. Therefore we have used the **Wide Pedestrian Sidewalk**. The current plan shows 25 feet from the right of way to the face of the building, so the 10 foot sidewalk and landscaping along the building more than adequately fits. Entrances to the building doorways are shown on each of the corners. Wide Pedestrian Sidewalks can have parallel garden spaces as linear rain gardens to capture, detain, and treat roof runoff from the buildings and the sidewalks. Street tree plantings in the 10 foot sidewalk can use Flexi pave, a pervious surfacing material that also functions to protect the tree roots.

The city has planned a sidewalk and striped bicycle lanes along this whole frontage. It's assumed that the city will basically require the project to build this sidewalk and it is proposed to be done at 10'. There are questions if the widened sidewalk should be within or outside of the city right of way.

#### 2. Frontage on Lafayette Road to Rite Aid / Five Guys and Newburyport Bank property:

We are not anxious to make major changes to the parking areas because of lease requirements for Rite Aid. The percentage of building and parking is at somewhat a disadvantage except for the frontage along Lafayette Road because of the high percentage of building and parking coverage and the layout. Nevertheless, the project must integrate the entire property area for open space and community space.

The landscape frontage on Lafayette Road around the corner onto Peveryly Hill Road has opportunities for landscaping to activate the space for social uses. The plan shows the corner area incorporating the attractive stone wall with a patio and walkway for seating areas. Designated as a **Square** the prominent street frontage location - although it is not square shaped is a landmark public space location.

#### 3. Frontage Road facing Rite Aid and Five Guys:

This is the project's principal view from Lafayette Road and represents the transition from the commercial frontage to the residential neighborhood development as proposed. The previous project layout had 10 feet from the curb to the face of the buildings. In recognition that the entrance stairs for each of the townhouse unit pairs are not public space - the plan has been revised to set the bottom stair at the 10' edge, and to position the frontage gardens as 6' of additional streetscape space. Parallel on - street parking has also been located along this frontage for visitor parking.

The most appropriate community space for this street frontage is the **Wide Pedestrian Sidewalk**. That requires a minimum 10 foot space for widened paved sidewalk with street trees and street furniture. It's kind of a downtown street like experience and there are plenty of examples of this scale and character throughout the city in attractive neighborhoods. Wide Pedestrian Sidewalks can have parallel garden spaces as linear rain gardens to capture, detain, and treat roof runoff from the buildings and the sidewalks. Street tree plantings in the 10 foot sidewalk can use Flexi pave, a pervious surfacing material that also functions to protect the tree roots.

#### 4. Side connecting streets:

The street frontage connecting to the estate lot and the frontage to the hotel have a similar condition of being a pre - existing condition to which we must adapt the neighborhood design. On the Estate frontage the use of the **Wide Pedestrian Sidewalk** is the best and most efficient community space because it is the front door to all the new housing and a public streetscape. The hotel facing directional only has room for a 5' wide walk but it is a lesser perspective.

#### 5. Within the project itself there are also some additional community spaces:

A. Outdoor dining patio for Five Guys fits into a community space category of **Outdoor Dining cafe**.

B. The interior space of the larger condominium building is a **Pocket Park** due to its building enclosure

C. The western corner and boundary area of Peveryly Hill Road is a natural woodland area of native trees and ground covers - is also best designated as a **Pocket Park**.

D. Some of the parking areas can have pervious pavements so that they look more like a plaza and function to detain stormwater.

**Pocket Park**

A community space available for informal activities in close proximity to neighborhood residences. A pocket park is spatially defined by buildings. Its landscape shall consist of paths, lawns and trees, formally disposed. The minimum size shall be 500 sq. ft.

Permitted Districts: All Districts

**Wide Pedestrian Sidewalk**

A wide pedestrian sidewalk (a minimum of 10' in width unless otherwise defined by the Ordinance) located between the building facade and the public right of way. Wide pedestrian sidewalks provide space between the facade and the curbline for comfortable pedestrian movement, street trees and street furniture.

Permitted Districts: All Districts

**Outdoor Dining Cafe**

An outdoor dining cafe community space is permitted as an ancillary activity of a food and drink establishment where the principal use is otherwise allowed in the district. The area must provide deeded public access to qualify as Community Space in the Character Districts.

Permitted districts: G1, G2, CD4-L2, CD4, CD4-W, CD-5

**Square**

A community space available for unstructured recreation and community purposes. A square is spatially defined by buildings. Its landscape shall consist of paths, ground cover and trees, formally disposed. Squares shall be located at the intersection of important streets. The minimum size shall be 1/8 acre.

Permitted Districts: All Districts



A Portsmouth street scene that is comparable to the Wide Sidewalk community space - 10' wide sidewalk with street trees, the front gardens are set back 6' more.



Cross - block walkways offer pedestrian connectivity and can have attractive gardens.



Portsmouth Pocket Park



Outdoor cafe space in Portsmouth.

F:\Projects\CAD\4582COM-SPACE.dwg SP 1/20/20 1:20pm ccc

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	20	2MB	SINGLE	0.990	5348	70	ARE-EDR-2MB-R3-04-E-UL-xx-525-40K

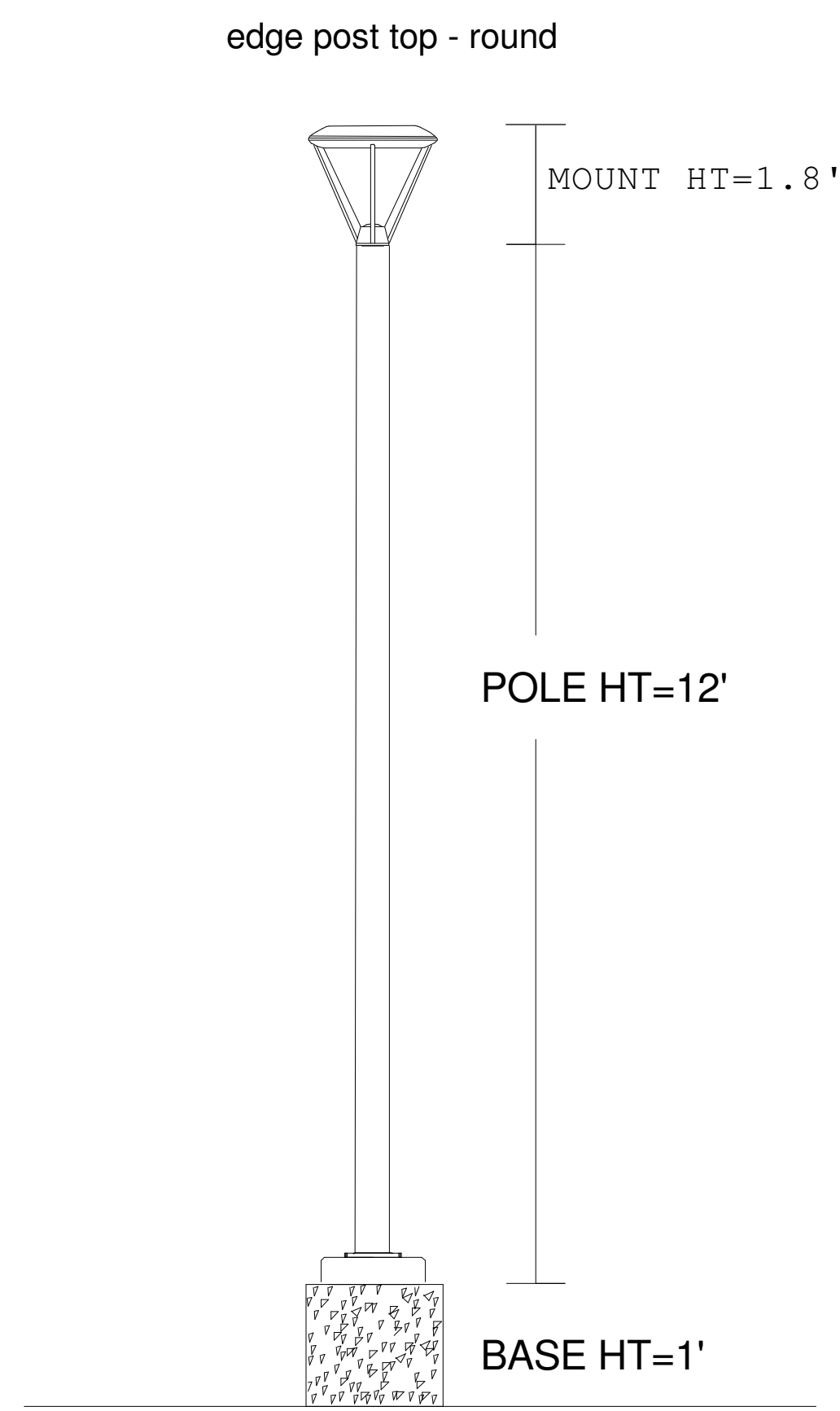
Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.60	3.9	0.0	N.A.	N.A.
Building A Walkway	Fc	0.63	2.2	0.0	N.A.	N.A.
Buildings B, C, & D Walkway	Fc	0.97	2.2	0.2	4.85	11.00
Buildings E & F Walkway	Fc	0.60	3.0	0.0	N.A.	N.A.

**Pole Schedule**  
 (20) SRS-5-11-12-SW-BS-OT-N-xx (12' X 5" X 11ga STEEL ROUND POLE)  
 Proposed poles meet 140 MPH sustained winds.

**Additional Equipment:**

(20) PB-1R5.00 - Single (Adapter Tenon connector)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*



Buildings E & F Walkway

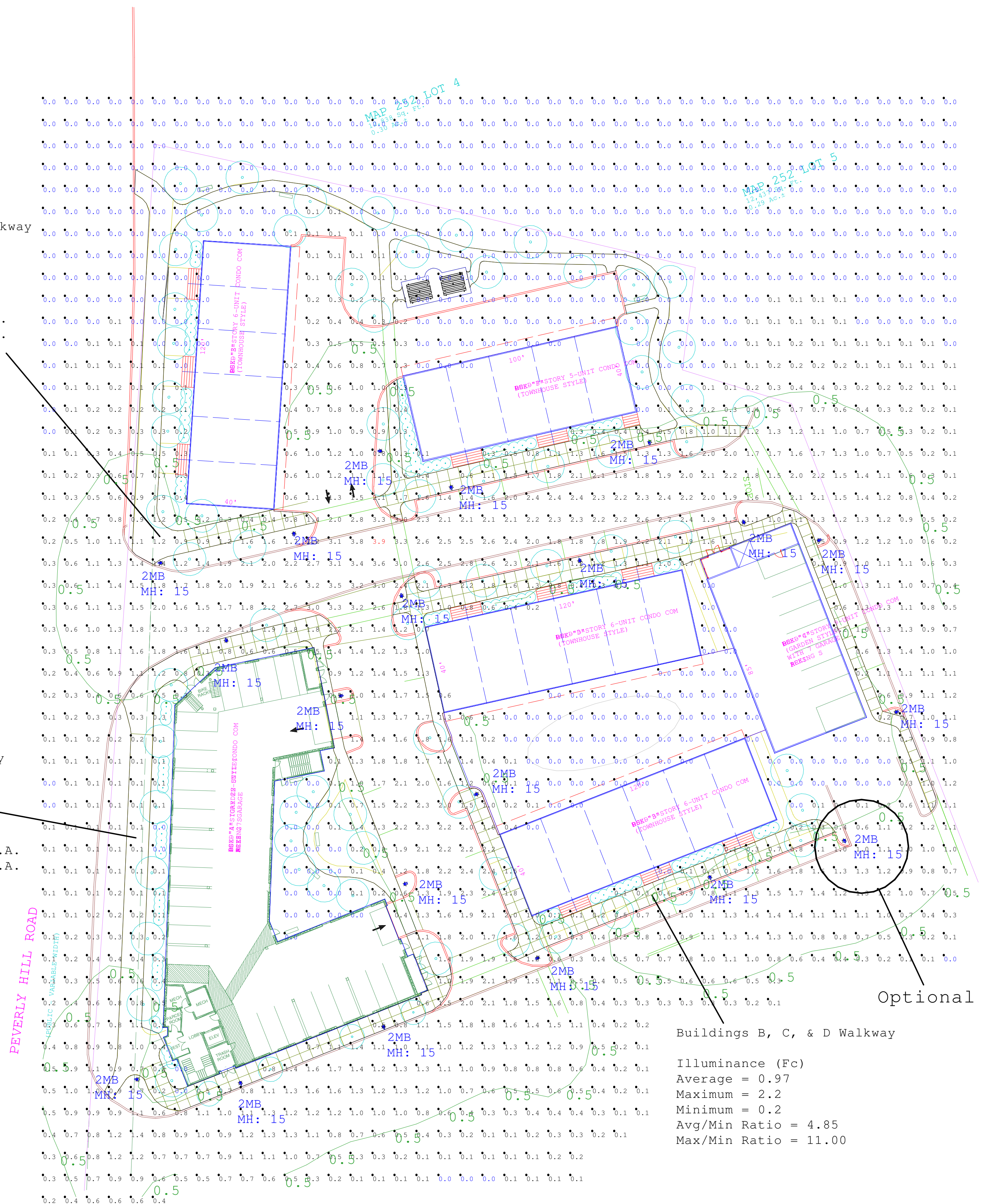
Illuminance (Fc)  
 Average = 0.60  
 Maximum = 3.0  
 Minimum = 0.0  
 Avg/Min Ratio = N.A.  
 Max/Min Ratio = N.A.

Building A Walkway

Illuminance (Fc)  
 Average = 0.63  
 Maximum = 2.2  
 Minimum = 0.0  
 Avg/Min Ratio = N.A.  
 Max/Min Ratio = N.A.

Buildings B, C, & D Walkway

Illuminance (Fc)  
 Average = 0.97  
 Maximum = 2.2  
 Minimum = 0.2  
 Avg/Min Ratio = 4.85  
 Max/Min Ratio = 11.00



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REVISIONS

NO.	DESCRIPTION	DATE

APPROVALS

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1/19/2020

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PROJECT

MAP 252-LOTS 4, 5 & 9  
140 LAFAYETTE ROAD  
PORTSMOUTH NH

FOR

4 AMIGOS, LLC  
321 LAFAYETTE ROAD  
HAMPTON, NH 03842,

TITLE

BUILDING A ELEVATIONS

DRAWN BY:

CHECKED BY:

DATE:

SCALE: AS NOTED

DRAWING NO.

# A-1.A



**WEST ELEVATION**

SCALE: 1" = 10'-0"



**NORTH ELEVATION**

SCALE: 1" = 10'-0"



**EAST ELEVATION**

SCALE: 1" = 10'-0"



**EAST ELEVATION DIMENSIONED**

SCALE: 1" = 10'-0"

FACADE MODULATION WHERE REQUIRED IS  
PROPOSED TO BE ACHIEVED BY MATERIAL CHANGES  
ROOF, DORMERS AND FENESTRATION VARIATIONS

SOUTH SIDE FIRST FLOOR FACADE OPENINGS			
SOUTH SIDE FIRST FLOOR 1	273.13 S.F.	149.00 S.F.	50.4 %
SOUTH SIDE FIRST FLOOR 2	1,657.50 S.F.	433.0 S.F.	26.0 %
	273.13 S.F.	0 S.F.	0 %
GROSS SOUTH SIDE FIRST FLOOR FACADE OPENINGS	1,930.62 S.F.	582 S.F.	30.1 %



**SOUTH ELEVATION**

SCALE: 1" = 10'-0"

DO NOT SCALE PRINTS

mjk

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FOR

4 AMIGOS, LLC  
321 LAFAYETTE ROAD  
HAMPTON, NH 03842,

TITLE

BUILDING A PLANS

DRAWN BY:

CHECKED BY:

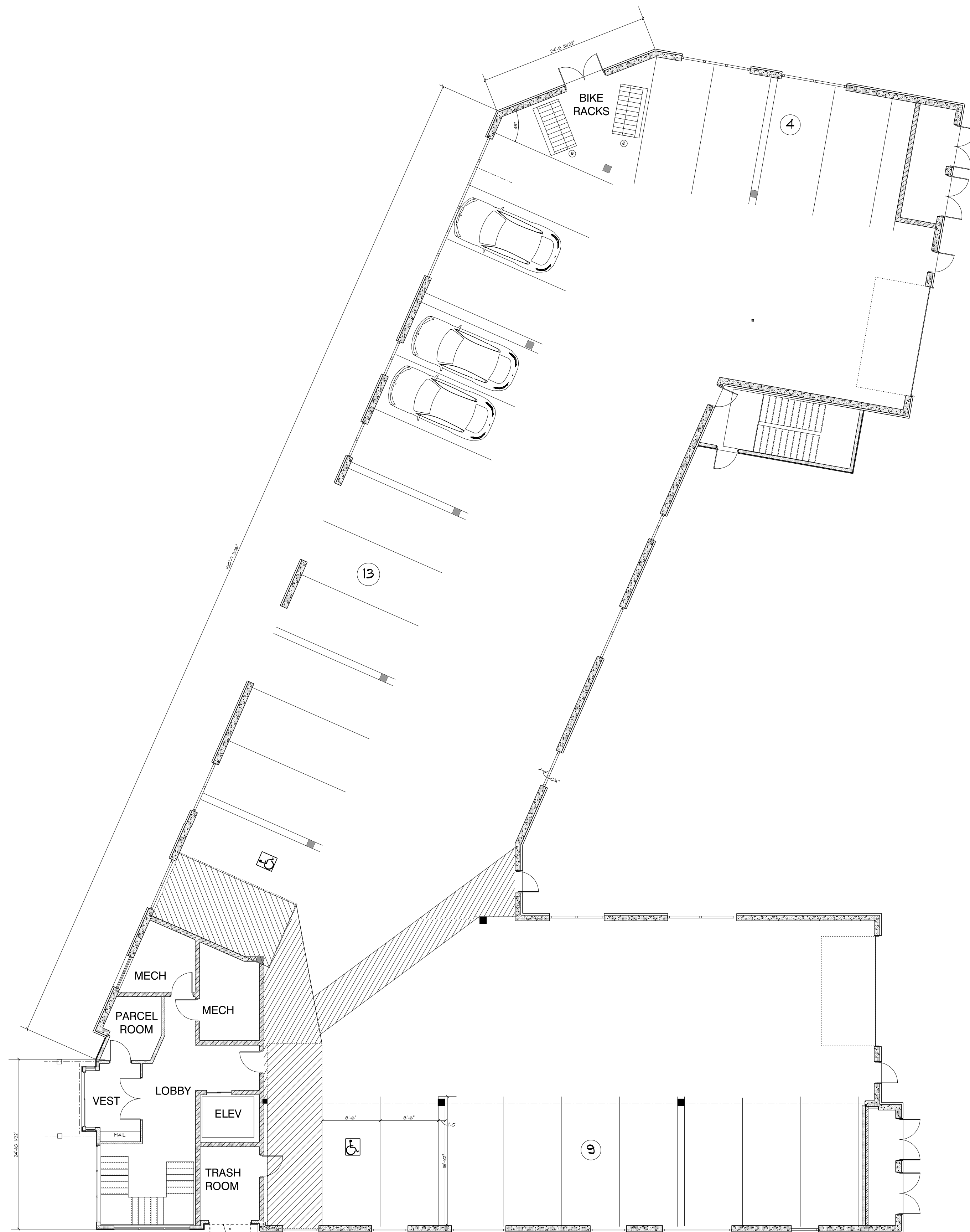
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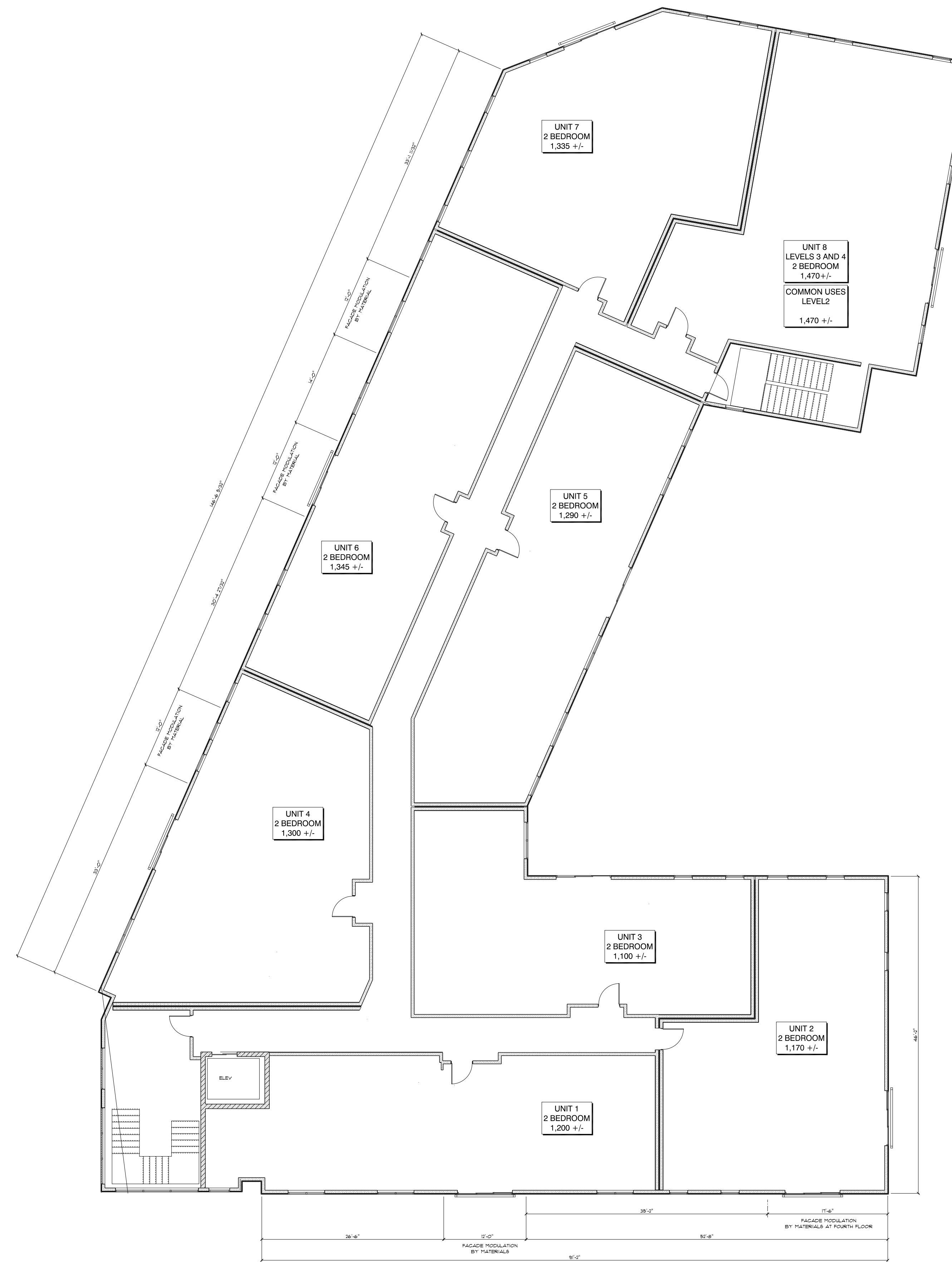
DRAWING NO.

A-2.A

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PARKING LEVEL PLAN  
SCALE: 1" = 10'-0"



TYPICAL FLOOR PLAN 2-4  
SCALE: 1" = 10'-0"



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1400 LAFAYETTE ROAD  
PORTSMOUTH NH

FOR

4 AMIGOS, LLC  
321 LAFAYETTE ROAD  
HAMPTON NH 03842,

TITLE

BUILDING B TYPICAL UNIT

DRAWN BY:

CHECKED BY:

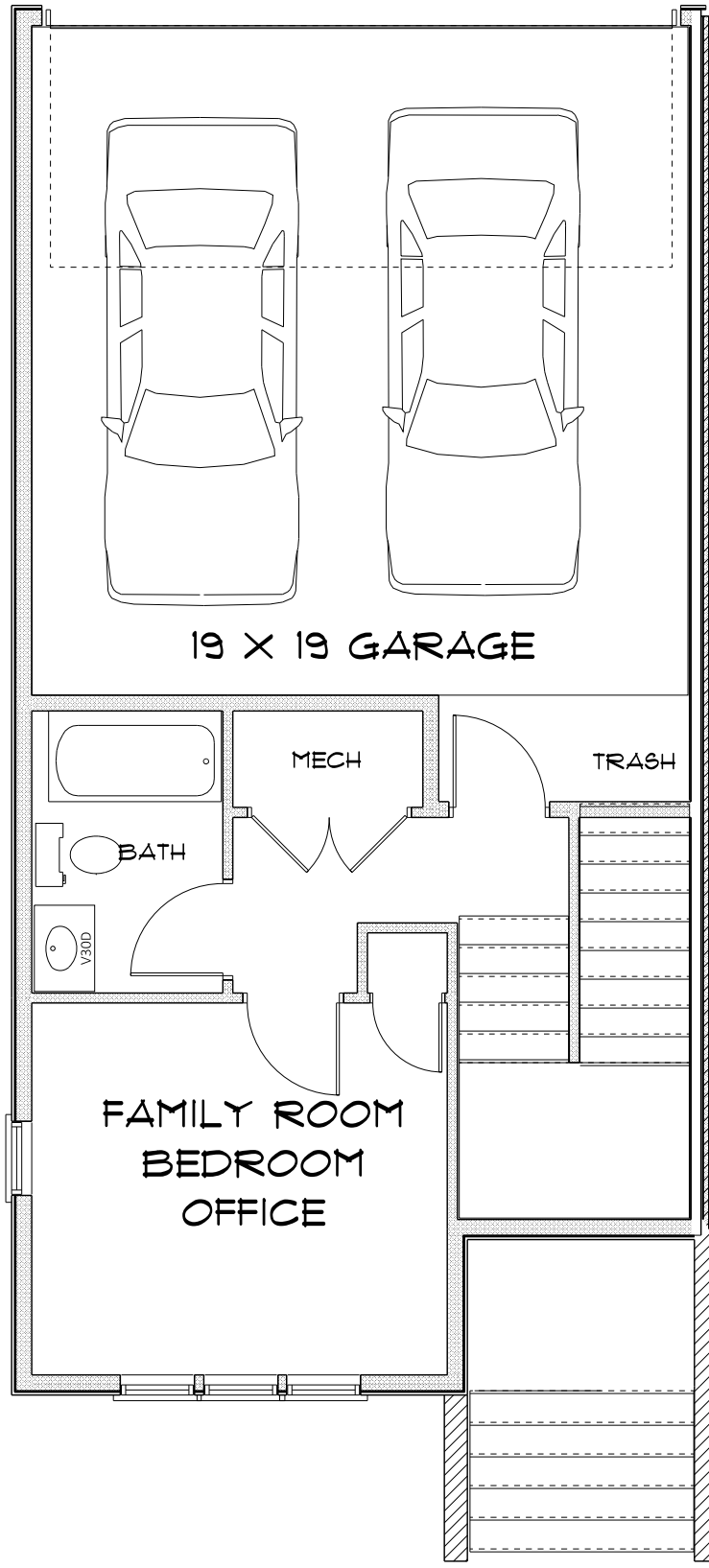
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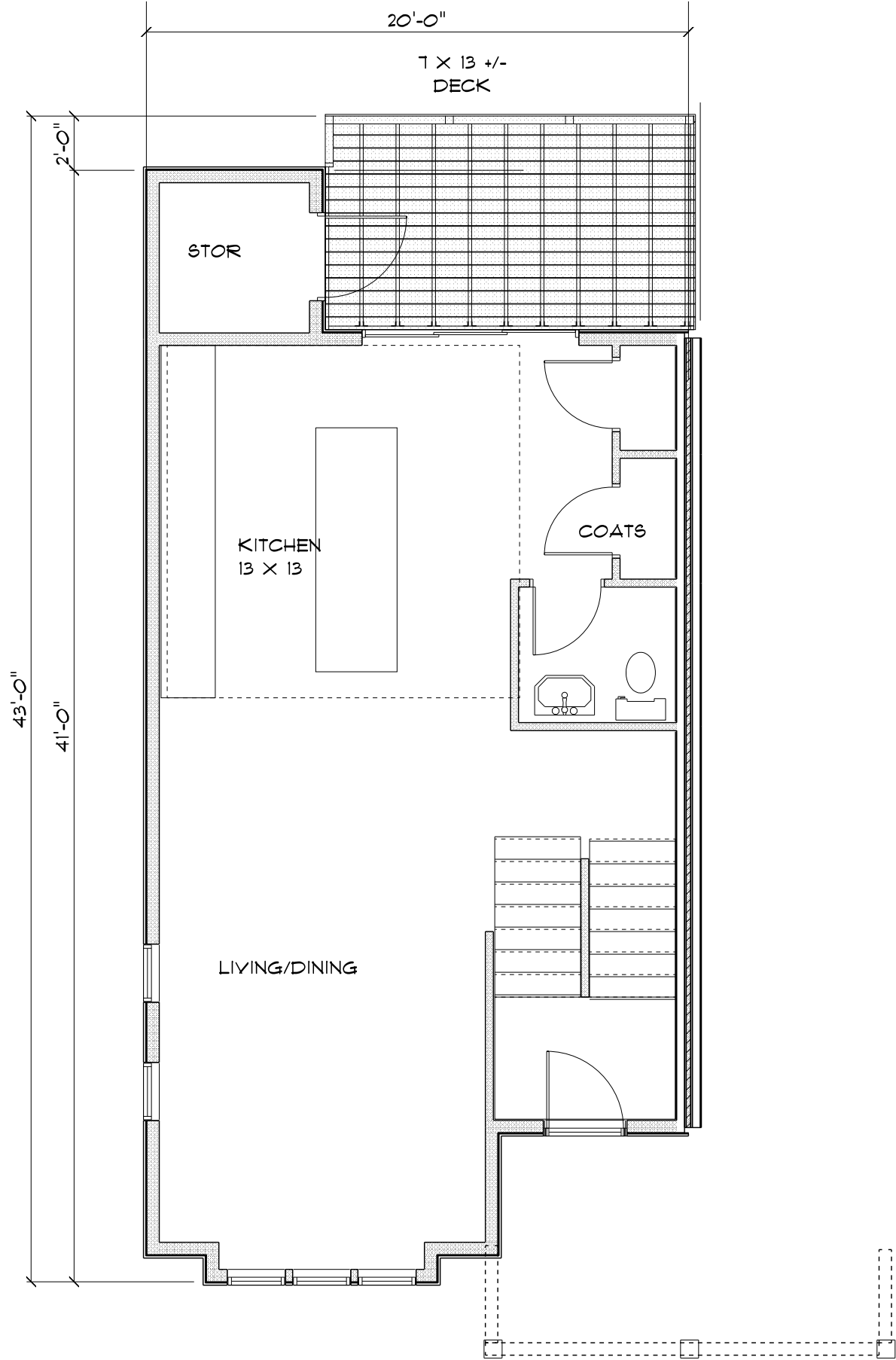
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**A-1.B**

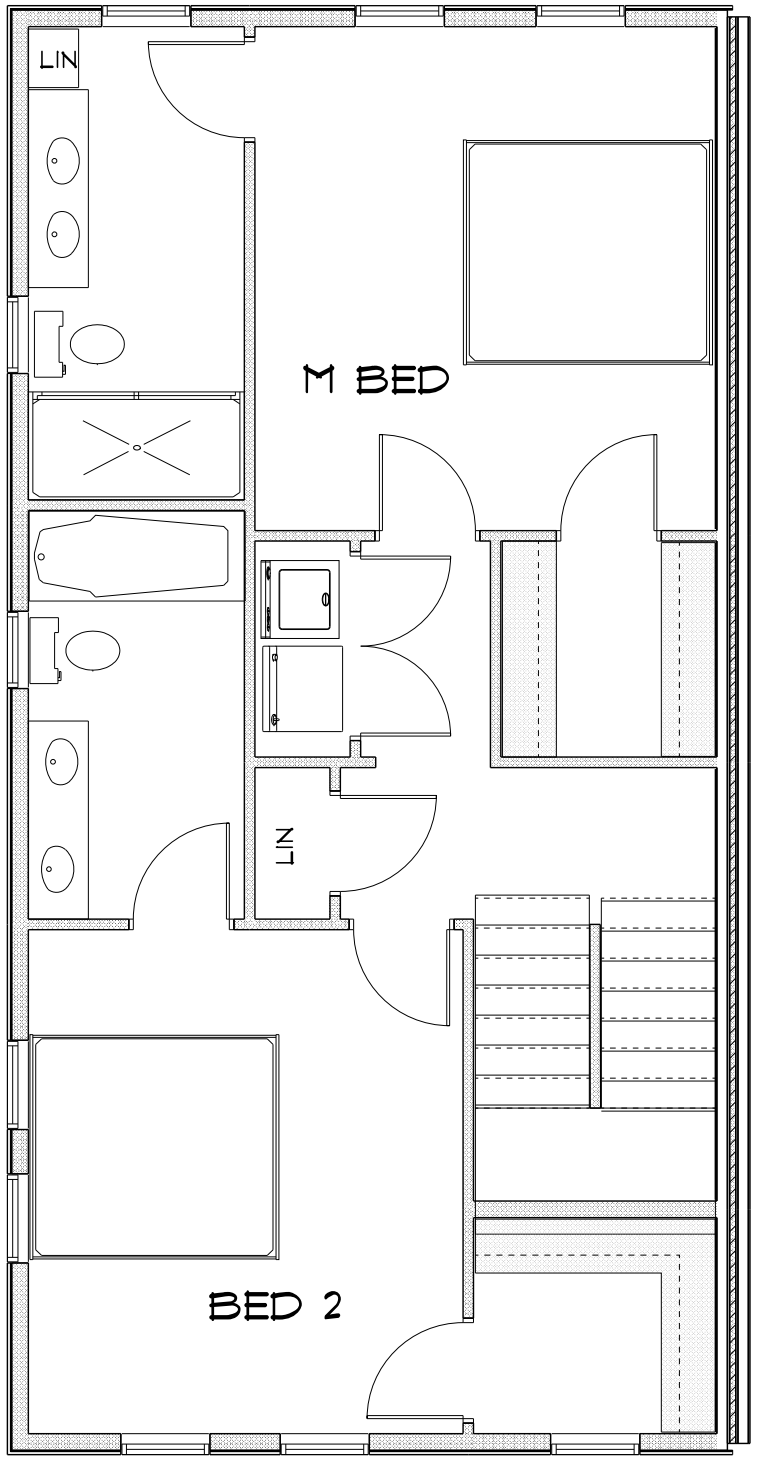
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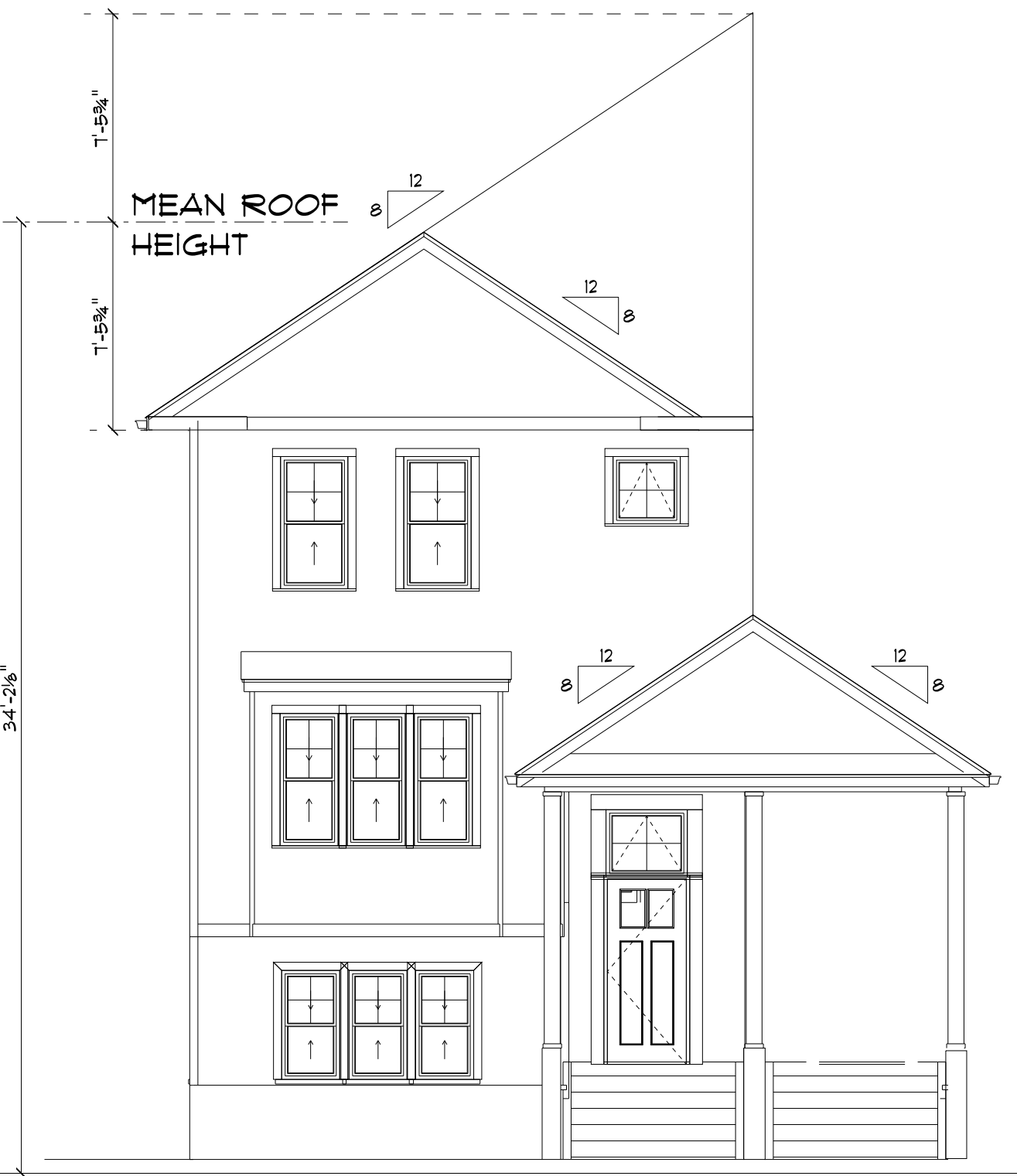
**TYPICAL GARAGE LEVEL PLAN**  
SCALE: 3/16" = 1'-0"



**TYPICAL SECOND FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**TYPICAL THIRD FLOOR PLAN**  
SCALE: 3/16" = 1'-0"



**FRONT ELEVATION DIMENSION**  
SCALE: 3/16" = 1'-0"

ASSUMED AVERAGE GRADE TO BE VERIFIED  
FACADE MODULATION WHERE REQUIRED IS  
PROPOSED TO BE ACHIEVED BY MATERIAL CHANGES  
ROOF, DORMERS AND FENESTRATION VARIATIONS

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1400 LAFAYETTE ROAD  
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FOR

4 AMIGOS, LLC  
321 LAFAYETTE ROAD  
HAMPTON NH 03842,

TITLE

BUILDING B PLANS AND ELEV

DRAWN BY:

CHECKED BY:

DATE:

SCALE: AS NOTED

DRAWING NO.

**A-2.B**

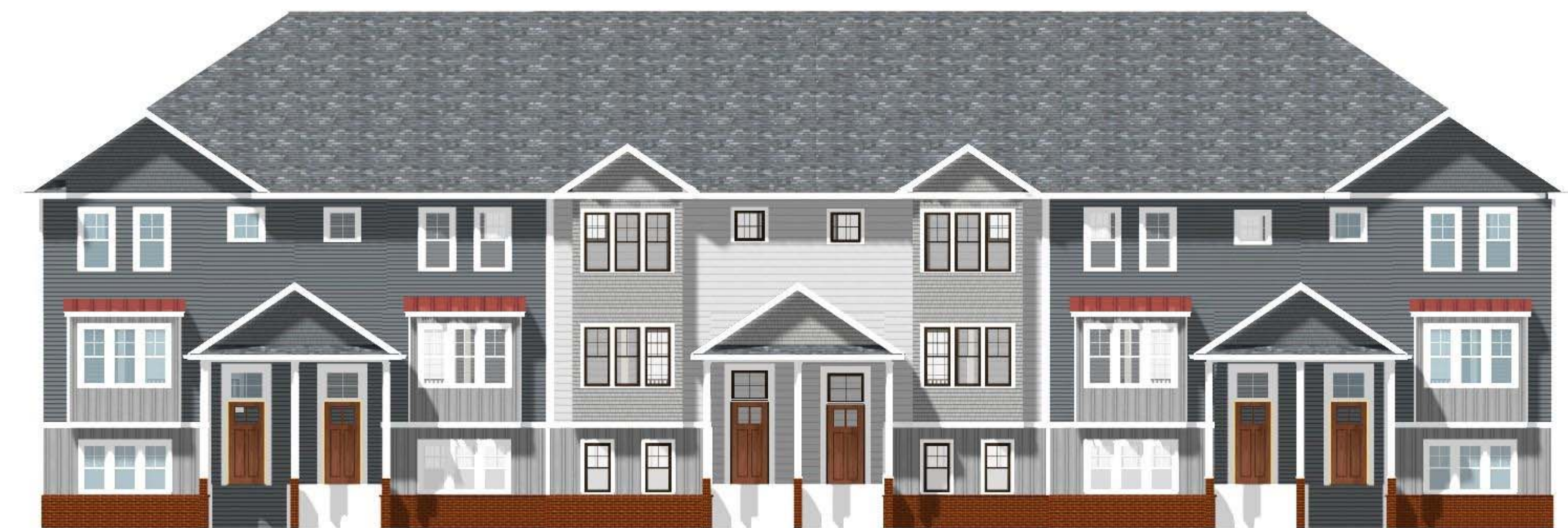
DO NOT SCALE PRINTS



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



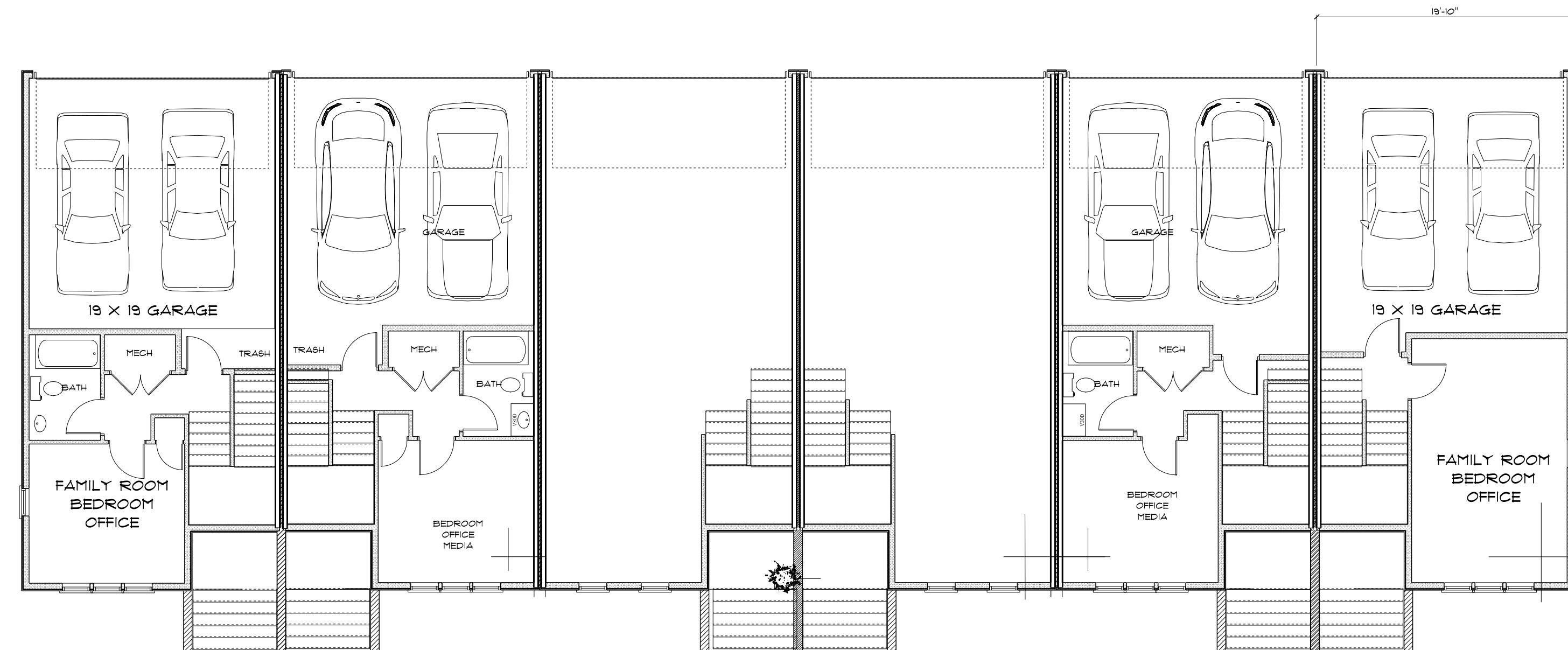
**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



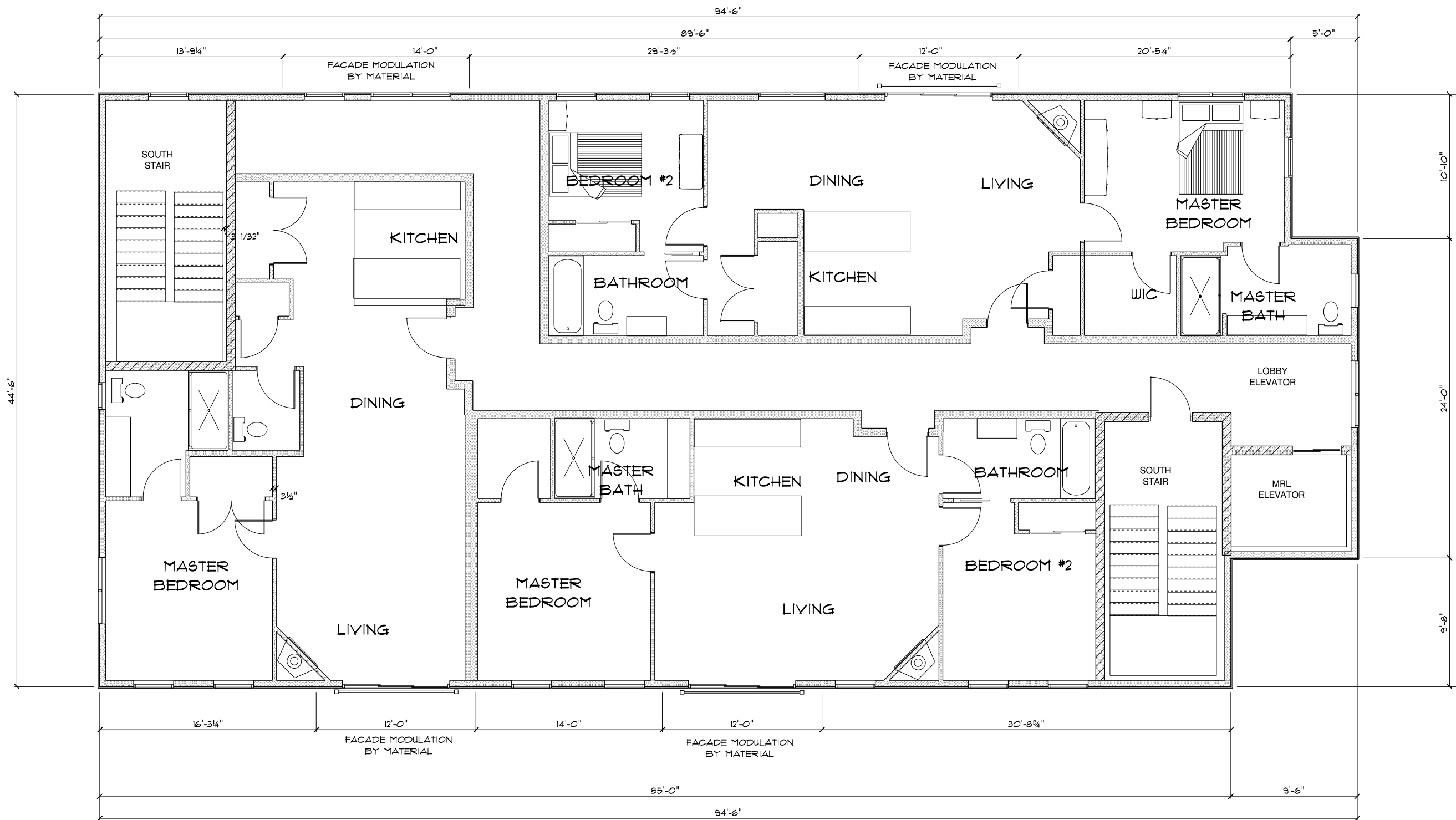
**GARAGE LEVEL PLAN**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



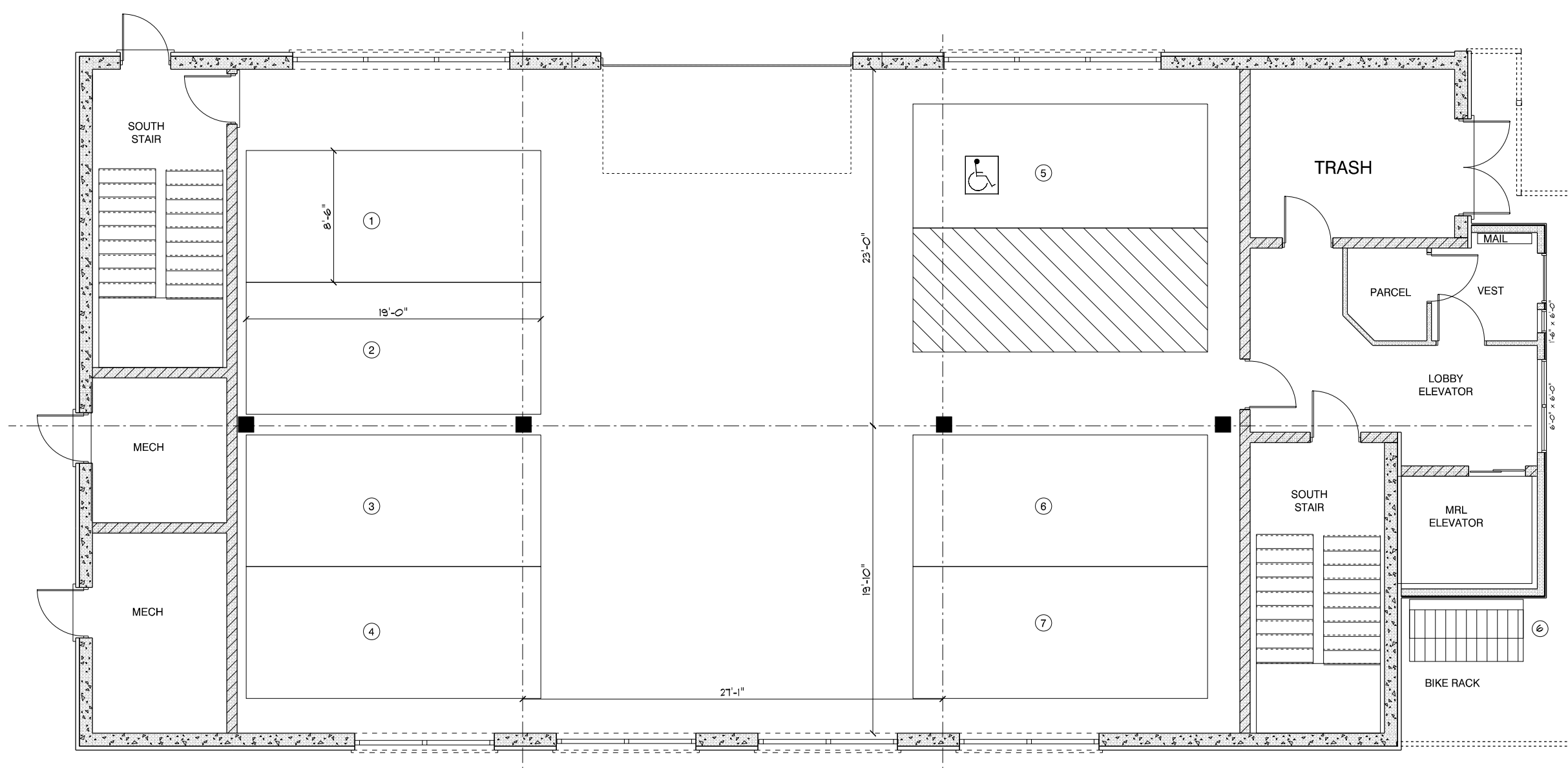
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



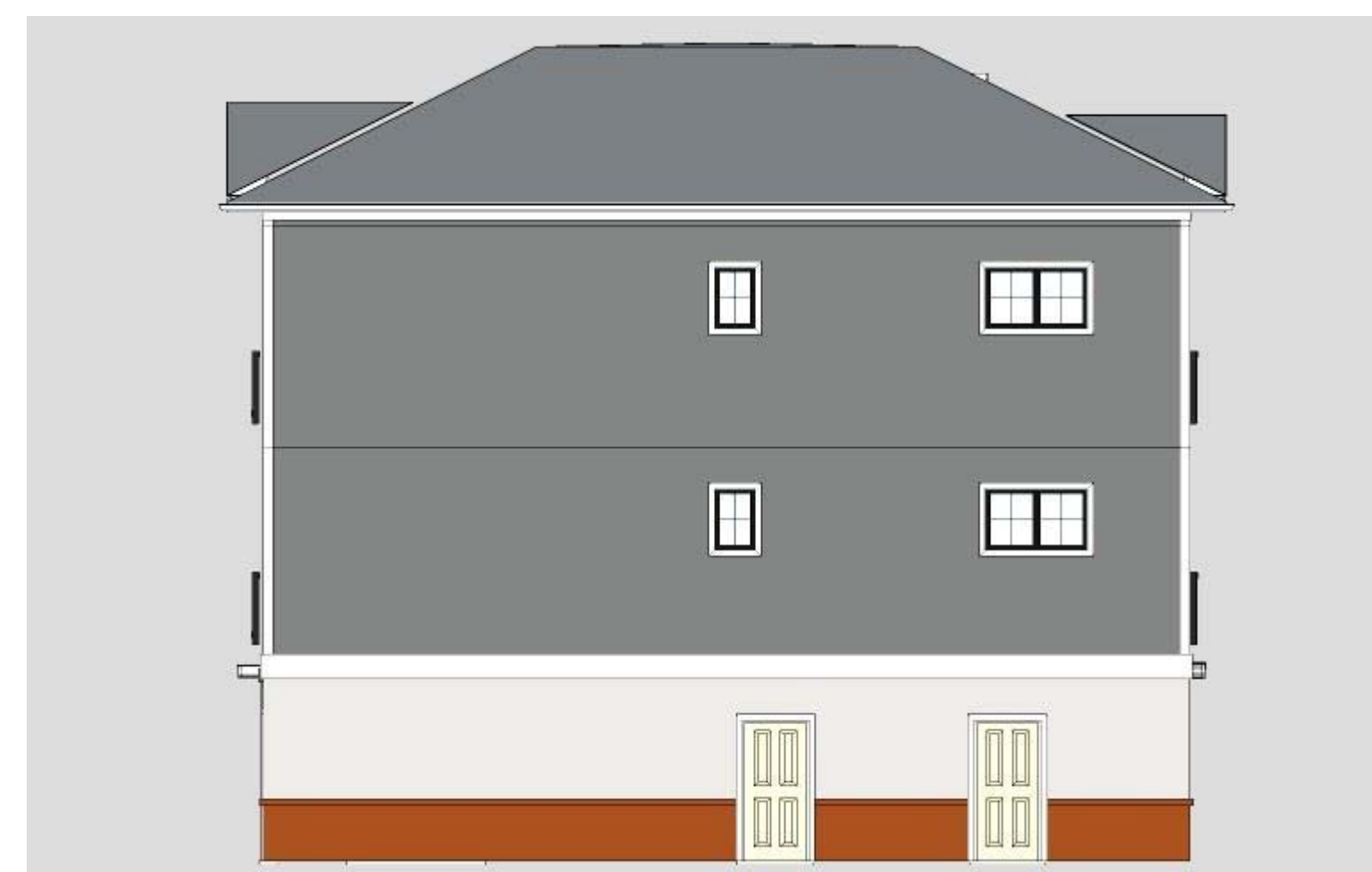
**TYPICAL SECOND AND THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



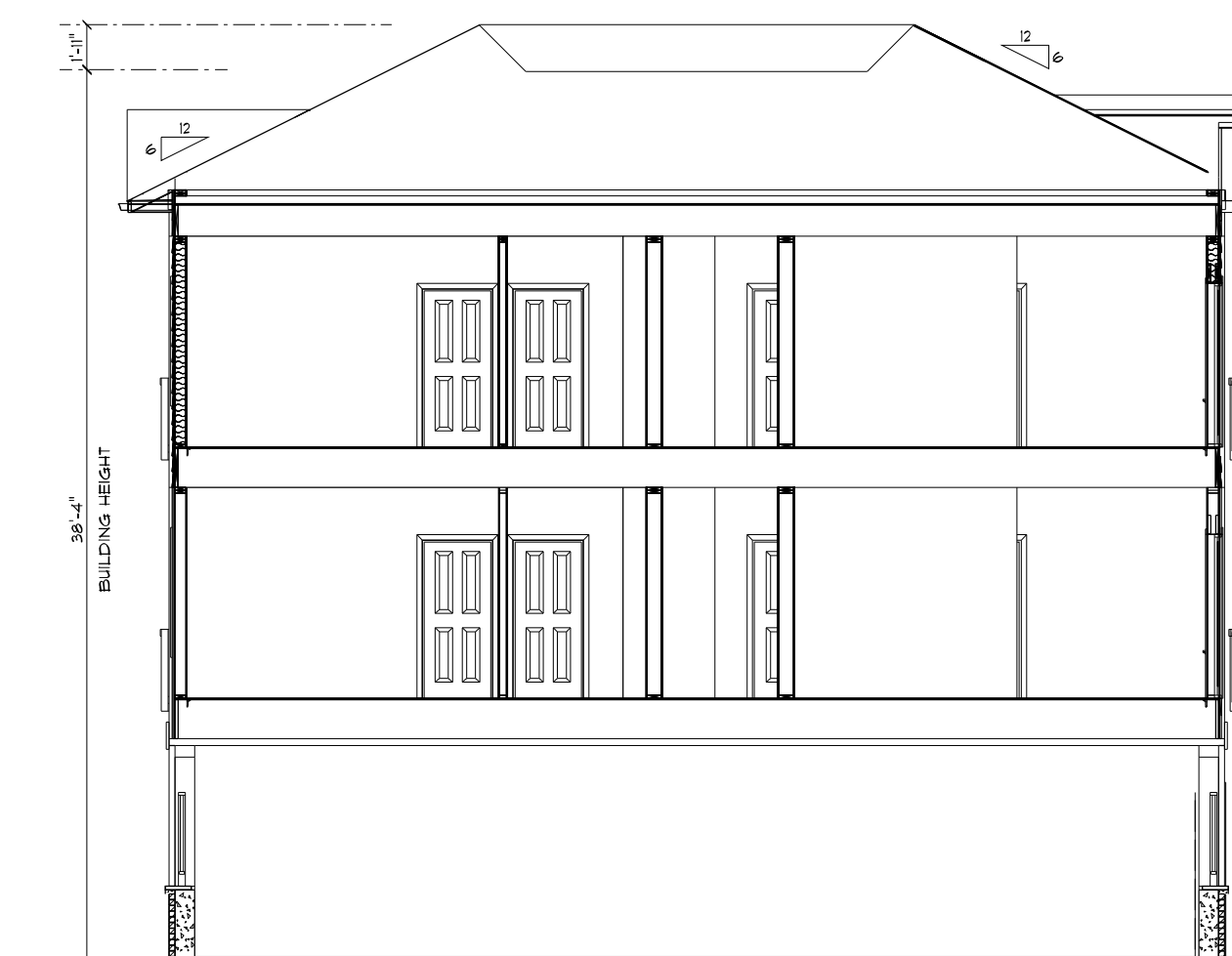
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**CONCEPT PARKING LEVEL PLAN**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**CONCEPT SECTION**  
SCALE: 1/8" = 1'-0"

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140 LAFAYETTE ROAD  
PORTSMOUTH NH

FOR

4 AMIGOS, LLC  
321 LAFAYETTE ROAD  
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BUILDING C  
CONCEPT PLANS

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DATE:

SCALE: AS NOTED

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**A-1.C**

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BUILDING C  
RENDER CONCEPTS

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DATE:

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DRAWING NO.

A-2.C

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