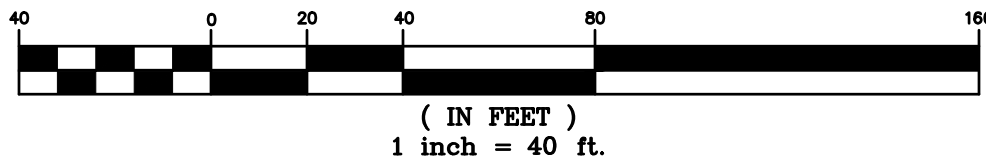


LEGEND

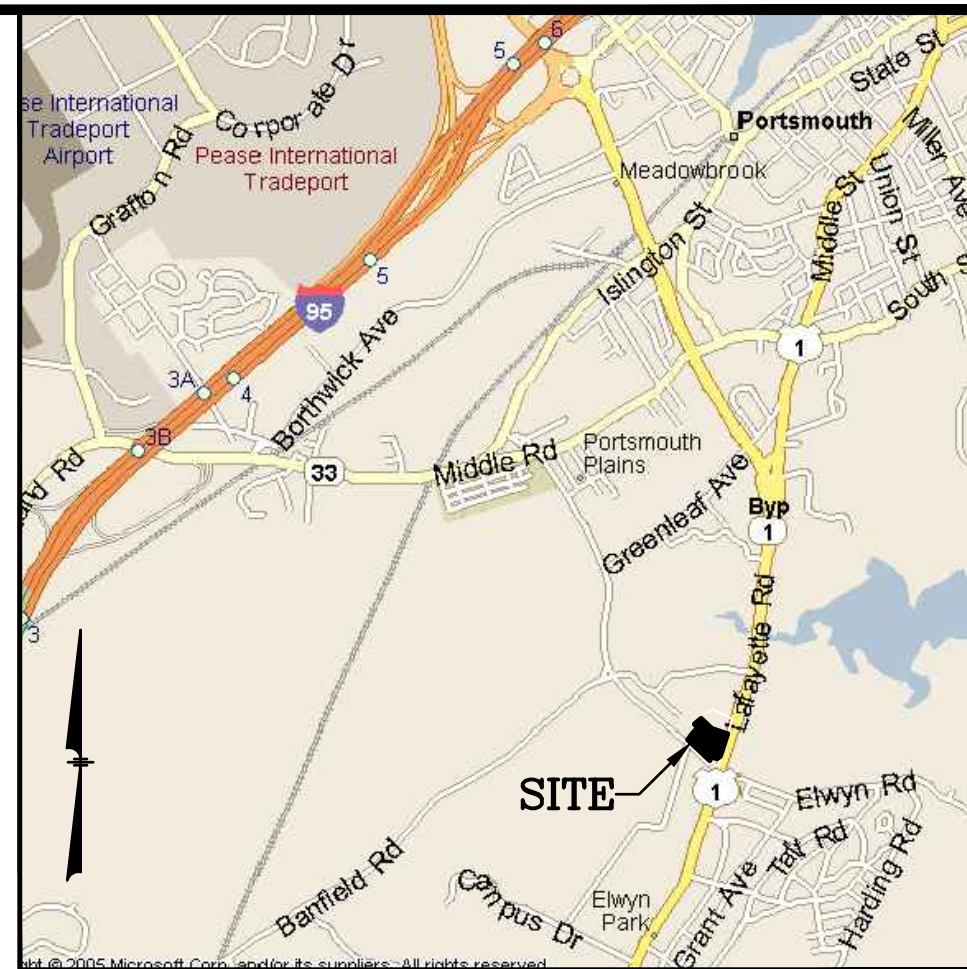
○	IRON PIN FOUND	○	UTILITY POLE
□	CONCRETE BOUND FOUND	⊗	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	⊗	SEWER MANHOLE
○	DRILL HOLE FOUND	⊗	TELEPHONE MANHOLE
SSC	EXIST. SLOPED GRANITE CURB	□	CATCH BASIN
VGC	EXIST. VERTICAL GRANITE CURB	—	WATER LINE
BCC	EXIST. BITUMINOUS CONC. LIP CURBING	—	WATER VALVE
VCC	EXIST. VERTICAL CONCRETE CURB	—	FIRE HYDRANT
—	OVERHEAD SERVICE WIRES	—	GAS VALVE
DSYL	DOUBLE SOLID YELLOW LINE	—	GAS LINE
SSWL	SINGLE SOLID WHITE LINE	—	UNDERGROUND TELEPHONE LINE
BWL	BROKEN WHITE LINE	—	UNDERGROUND ELECTRIC AND TELEPHONE
—	SIGN	•••••	WETLAND LINE
		—	TREELINE

EXISTING
SIDEWALK
EASEMENT10' WIDE SLOPE
EASEMENT TO THE
CITY OF PORTSMOUTH5 MIN. TO 15' MAX.
FRONT BUILDING SETBACK
(POTENTIAL VARIANCE REQUIRED)EXISTING
MAP 252 LOT 4
12,838 Sq. Ft.
0.295 Ac.±EXISTING
MAP 252 LOT 5
12,437 Sq. Ft.
0.285 Ac.±EXISTING PSNH
EASEMENTEXISTING HIGHWAY
EASEMENT TO THE CITY
OF PORTSMOUTHEXISTING
MAP 252 LOT 9
223,416 Sq. Ft.
5.129 Ac.±PROPOSED
LOT 9-1
136,649 Sq.Ft.
3.14 Ac.±PROPOSED
LOT 9-2
112,042 Sq.Ft.
2.57 Ac.±PROPOSED
LOT LINEORIGINAL 2013
APPROVALSEXISTING
FIVE GUYS
FIVE GUYS
RESTAURANTEXISTING
NEWBURYPORT
FIVE CENTS
BANKEXISTING
RITE AIDEXISTING HIGHWAY
EASEMENT TO NHDOTLAFAYETTE ROAD— ROUTE 1
(PUBLIC - VARIABLE WIDTH)

GRAPHIC SCALE



OWNER OF RECORD:

MAP 252 LOTS 4, 5 & 9
4 AMIGOS, LLC
321 LAFAYETTE ROAD, UNIT D
HAMPTON, NH 03842LOCATION MAP
(NOT TO SCALE)

NOTES:

- CURRENT ZONE IS GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2). REFER TO CITY OF PORTSMOUTH ZONING DISTRICTS AND USE REGULATIONS FOR ADDITIONAL INFORMATION.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF TWO PARCELS NOTED AS PROPOSED LOTS 9-1 AND 9-2. LOT 9-1 WILL CONSIST OF THE EXISTING RETAIL DEVELOPMENT, LOT 9-2 WILL INCLUDE A PROPOSED 32 TOWNHOUSE STYLE RESIDENTIAL UNIT DEVELOPMENT.
- PROPOSED RESIDENTIAL PARKING BREAKDOWN: (32 UNITS)
 - + 64 GARAGE SPACES (TOWNHOUSE STYLE)
 - (INCLUDES 2 GARAGE SPACES/UNIT)
 - + 31 EXTERIOR SPACES
 - = 95 SPACES PROPOSED

TABLE OF ZONING REGULATIONS - PORTSMOUTH, NH

ZONE: GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2)

DESCRIPTION	REQUIRED	PROPOSED LOT 9-1	PROPOSED LOT 9-2	
		RETAIL DEVELOPMENT (PROVIDED)	GATEWAY TOWNHOUSE (REQUIRED)	(PROVIDED)
MINIMUM LOT AREA Sq. Ft.	10,000 SF	136,649 SF	10,000 SF	112,042 SF
MINIMUM LOT FRONTAGE	50'	>200'	20'	>200'
MINIMUM FRONT YARD SETBACK	LAFAYETTE ROAD - 80 FEET FROM CENTERLINE PEVERLY HILL ROAD - 30 FEET	84.1' LAFAYETTE ROAD 81.7' PEVERLY ROAD	5' MIN. TO 15' MAX.	* 10' FROM PROPOSED SIDEWALK
MINIMUM REAR YARD SETBACK	50'	N/A	15'	16'
MINIMUM SIDE YARD SETBACK	30'	37.7'	10'	23.9'
MINIMUM FRONT YARD PAVEMENT SETBACK	30' FROM LOT LINE	> 30'	> 30'	> 30'
PARKING SPACE DIMENSIONS	8.5' x 19'	9' x 19'	8.5' x 19'	8.5' x 19'
MINIMUM NUMBER PARKING SPACES (RESIDENTIAL DEVELOPMENT)	DWELLING UNITS > 750 SF=1.3 SPACES/UNIT VISITOR PARKING=1 SPACE/5 DWELLING UNITS REQ. PARKING =32 UNITS * 1.3 SF/UNITS +32 UNITS * 1 SF/5 UNITS = 48 SPACES REQUIRED	NO CHANGE TO PREVIOUSLY APPROVED PARKING - 92 SPACES ONSITE	48 SPACES (SEE PARKING BREAKDOWN IN TABLE)	95 SPACES (SEE PARKING BREAKDOWN IN NOTE #3 ABOVE)
MINIMUM OPEN SPACE	20%	29,201/136,649=21.4%	20%	27,035/112,042=24.1%
MAXIMUM BUILDING HEIGHT	40', 25'-49' FROM ROW - 45 FEET	< 40'	2.5 STORIES OR 35'	< 35'
MAXIMUM BUILDING COVERAGE	50%	16,389/136,649 = 12.0%	50%	23,900/112,042=21.3%
MAXIMUM FREESTANDING SIGN AREA, HEIGHT & SETBACK	100 SF PER SIDE FOR PRIMARY SIGN 75 SF PER SIDE FOR SECONDARY SIGN (N/A) 20' HEIGHT, 10' SETBACK UP TO 200 SF. CANNOT EXCEED AGGREGATE	EXISTING SIGNAGE TO REMAIN	TBD	TBD
WALL SIGN AREA	EXISTING SIGNAGE TO REMAIN	EXISTING SIGNAGE TO REMAIN	TBD	TBD

* POTENTIAL VARIANCE REQUIRED TO EXCEED 15' MAX.
BUILDING SETBACK ALONG PEVERLY HILL ROAD

NO.	DESCRIPTION	BY	DATE
REVISIONS			

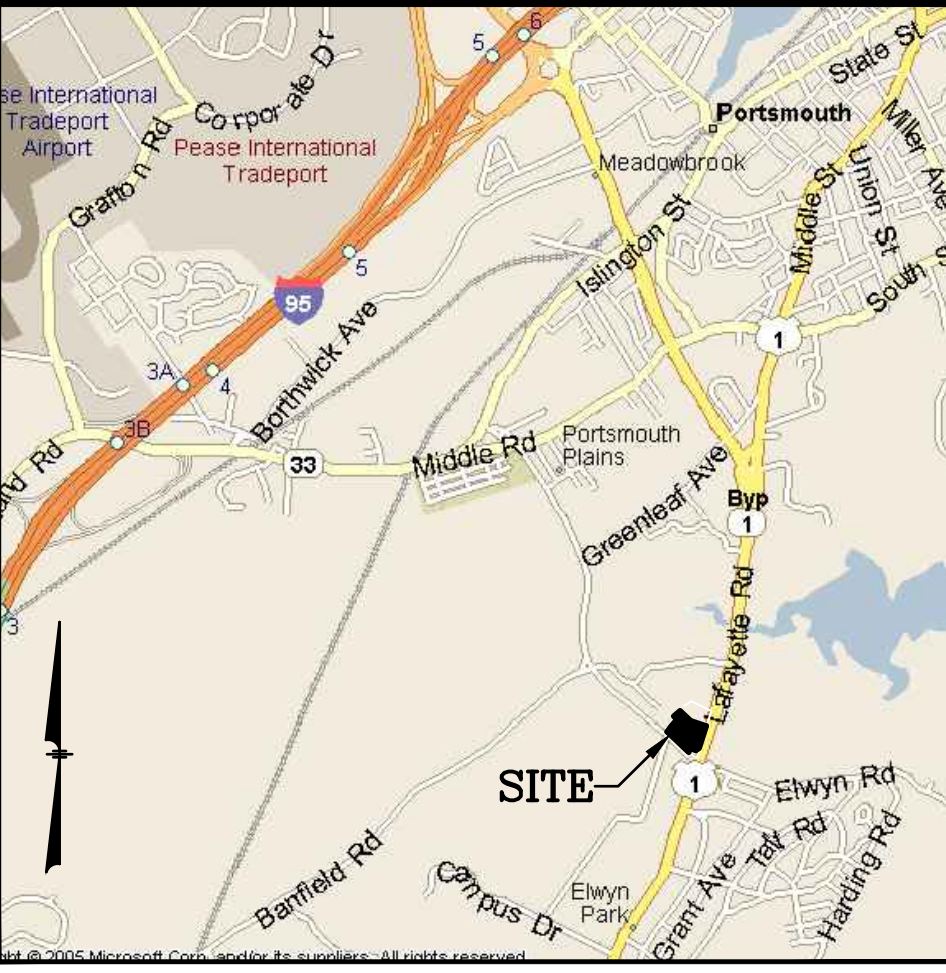
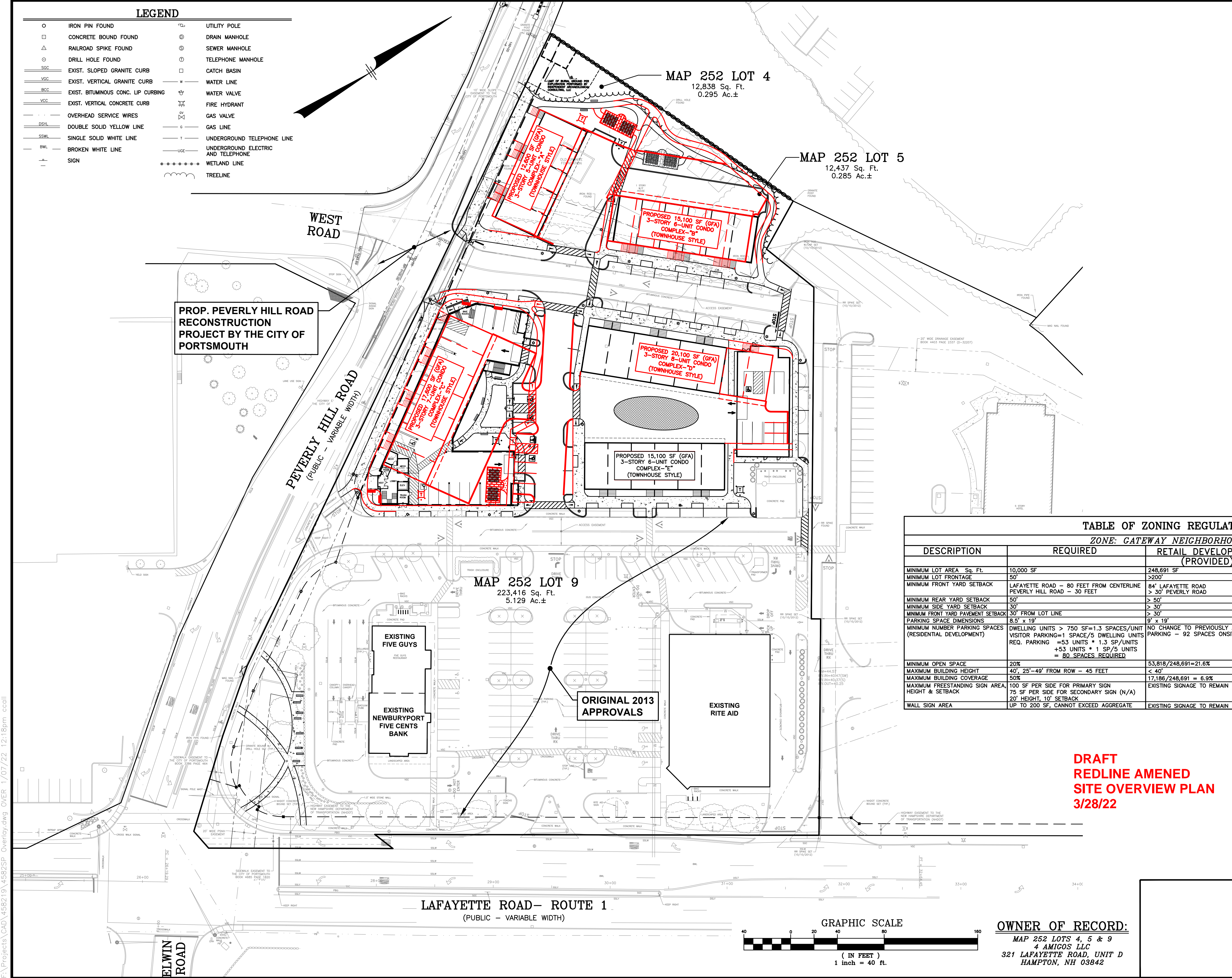
CONCEPT SUBDIVISION PLAN
& LOT CONSOLIDATION PLANASSESSORS MAP 252 - LOTS 4, 5 & 9
951 PEVERLY HILL ROAD & 1400 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIREPREPARED FOR:
4 AMIGOS, LLC
321 LAFAYETTE ROAD UNIT D
HAMPTON, NEW HAMPSHIRE 03842**GPI**Engineering
Design
Planning
Construction Management

603.893.0720

GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1"=40'	DATE: MARCH 28, 2022	4582 CSP-SUBD-LCP.DWG	DRAWING NO.
DRAWN BY: CCC	CHECKED BY: CMT	PROJECT NO. 458219	SHEET NO. 1 OF 1



LOCATION MAP
(NOT TO SCALE)

- NOTES:**
- CURRENT ZONE IS GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2). REFER TO CITY OF PORTSMOUTH ZONING DISTRICTS AND USE REGULATIONS FOR ADDITIONAL INFORMATION.
 - PROPOSED RESIDENTIAL PARKING BREAKDOWN:
= 32 GARAGE SPACES (GARDEN STYLE)
+ 46 GARAGE SPACES (TOWNHOUSE STYLE)
(INCLUDES 2 GARAGE SPACES/UNIT)
+ 28 EXTERIOR SPACES
= 106 SPACES PROPOSED
 - PROPOSED EXTERIOR PARKING ONLY:
(EXCLUDING GARAGE OR BELOW GRADE PARKING) = 28 SPACES
 - TOTAL REQUIRED OPEN SPACE/COMMUNITY SPACE = 20% (49,738 SF)
TOTAL PROVIDED = 21.4% (53,135 SF)
 - SEE SHEET 5 FOR ADDITIONAL NOTES & INFORMATION.

TABLE OF ZONING REGULATIONS – PORTSMOUTH, NH						
ZONE: GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2)						
DESCRIPTION	REQUIRED	RETAIL DEVELOPMENT	GATEWAY TOWNHOUSE		APARTMENT BUILDING	
		(PROVIDED)	REQUIRED	(PROVIDED)	REQUIRED	(PROVIDED)
MINIMUM LOT AREA Sq. Ft.	10,000 SF	248,691 SF	10,000 SF	248,691 SF	10,000 SF	248,691 SF
MINIMUM LOT FRONTAGE	50'	>200'	20'	>200'	50'	>200'
MINIMUM FRONT YARD SETBACK	LAFAYETTE ROAD – 80 FEET FROM CENTERLINE PEVERLY HILL ROAD – 30 FEET	84' LAFAYETTE ROAD > 30' PEVERLY ROAD	5' MIN. TO 15' MAX.	25'	10' MIN. TO 30' MAX.	25.2'
MINIMUM REAR YARD SETBACK	50'	> 50'	15'	28.1'	20'	58.3'
MINIMUM SIDE YARD SETBACK	30'	> 30'	10'	11'	15'	20'
MINIMUM FRONT YARD PAVEMENT SETBACK	30' FROM LOT LINE	> 30'		> 30'		> 30'
PARKING SPACE DIMENSIONS	8.5' x 19'	8.5' x 19'		8.5' x 19'		8.5' x 19'
MINIMUM NUMBER PARKING SPACES (RESIDENTIAL DEVELOPMENT)	DWELLING UNITS > 750 SF=1.3 SPACES/UNIT VISITOR PARKING=1 SPACE/5 DWELLING UNITS REQ. PARKING =53 UNITS * 1.3 SP/5 UNITS = 80 SPACES REQUIRED	NO CHANGE TO PREVIOUSLY APPROVED PARKING – 92 SPACES ONSITE		SEE PARKING BREAKDOWN ABOVE		SEE PARKING BREAKDOWN ABOVE
MINIMUM OPEN SPACE	20%	53,818/248,691=21.6%	20%	53,818/248,691=21.6%	20%	53,818/248,691=21.6%
MAXIMUM BUILDING HEIGHT	40', 25'-49' FROM ROW – 45 FEET	< 40'	2.5 STORIES OR 35'	34.2'	4 STORIES OR 50'	45'
MAXIMUM BUILDING COVERAGE	50%	17,186/248,691 = 6.9%	50%	20,875/248,691=8.4%	50%	16,900/248,691=6.8%
MAXIMUM PRESTANDING SIGN AREA, HEIGHT & SETBACK	100 SF PER SIDE FOR PRIMARY SIGN 75 SF PER SIDE FOR SECONDARY SIGN (N/A) 20' HEIGHT, 10' SETBACK	EXISTING SIGNAGE TO REMAIN		N/A		N/A
WALL SIGN AREA	UP TO 200 SF, CANNOT EXCEED AGGREGATE	EXISTING SIGNAGE TO REMAIN		N/A		N/A

5	MISC. REVISIONS PER PLANNING BOARD APPROVAL	CMT	10/18/21
4	REVISE BUILDING NUMBERS, ADD STREET ADDRESS	CMT	8/19/20
3	MISC. REVISIONS	CMT	8/6/20
2	MISC. REVISIONS PER TAC	CMT	3/9/20
1	MISC. REVISIONS PER TAC	CMT	2/20/20
NO.	DESCRIPTION	BY	DATE

REVISIONS

SITE OVERVIEW PLAN

ASSESSORS MAP 252 – LOTS 4, 5 & 9
951 PEVERLY HILL ROAD & 1400 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

PREPARED FOR:
4 AMIGOS, LLC
321 LAFAYETTE ROAD UNIT D
HAMPTON, NEW HAMPSHIRE 03842

Engineering
Design
Planning
Construction Management

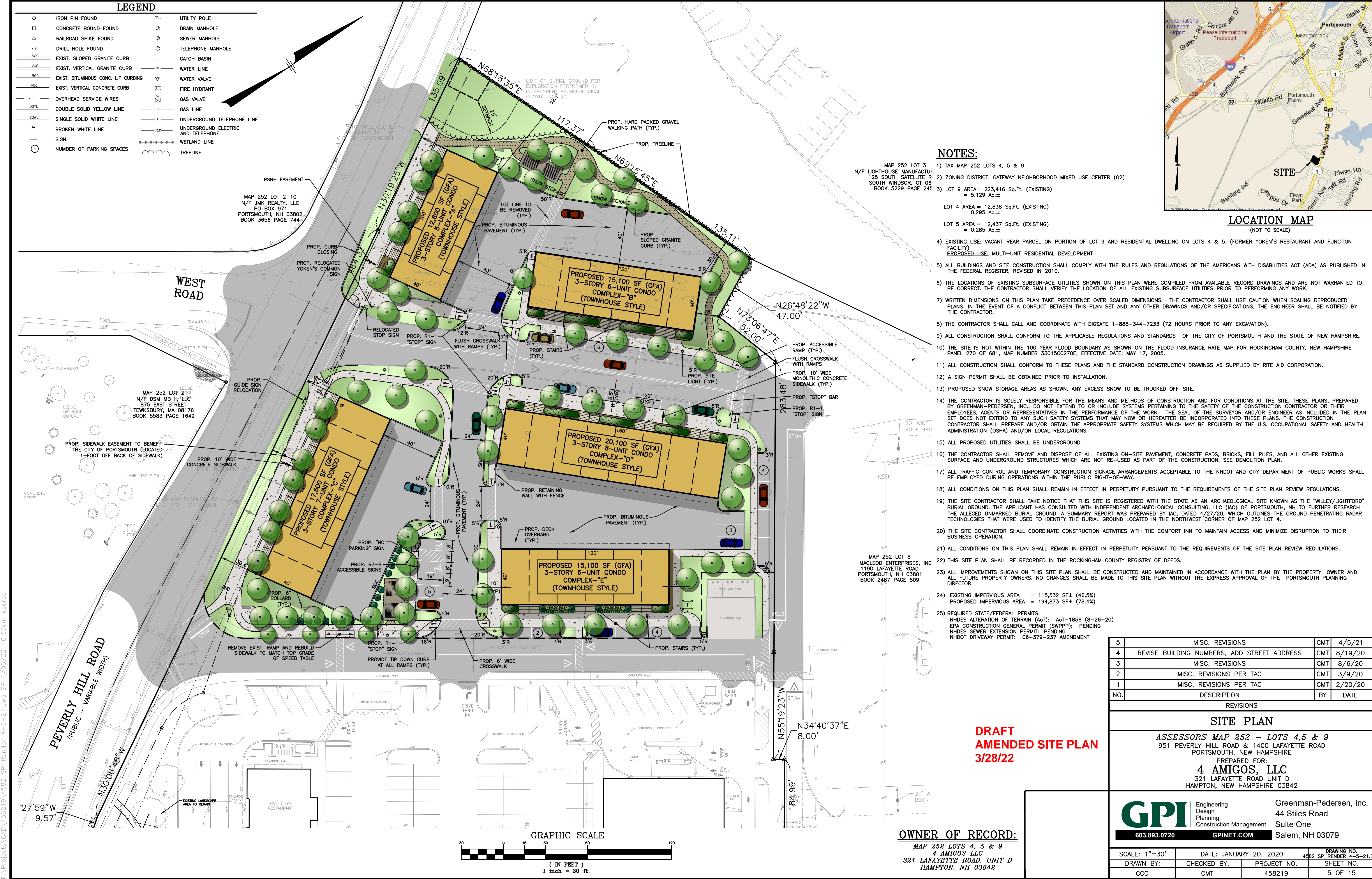
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Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1"=40'	DATE: JANUARY 6, 2022	DRAWING NO. 4582SP OVERLAY.DWG
DRAWN BY: CCC	CHECKED BY: CMT	SHEET NO. 1 OF 1
	PROJECT NO. 458219	

DRAFT
REDLINE AMENED
SITE OVERVIEW PLAN
3/28/22

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