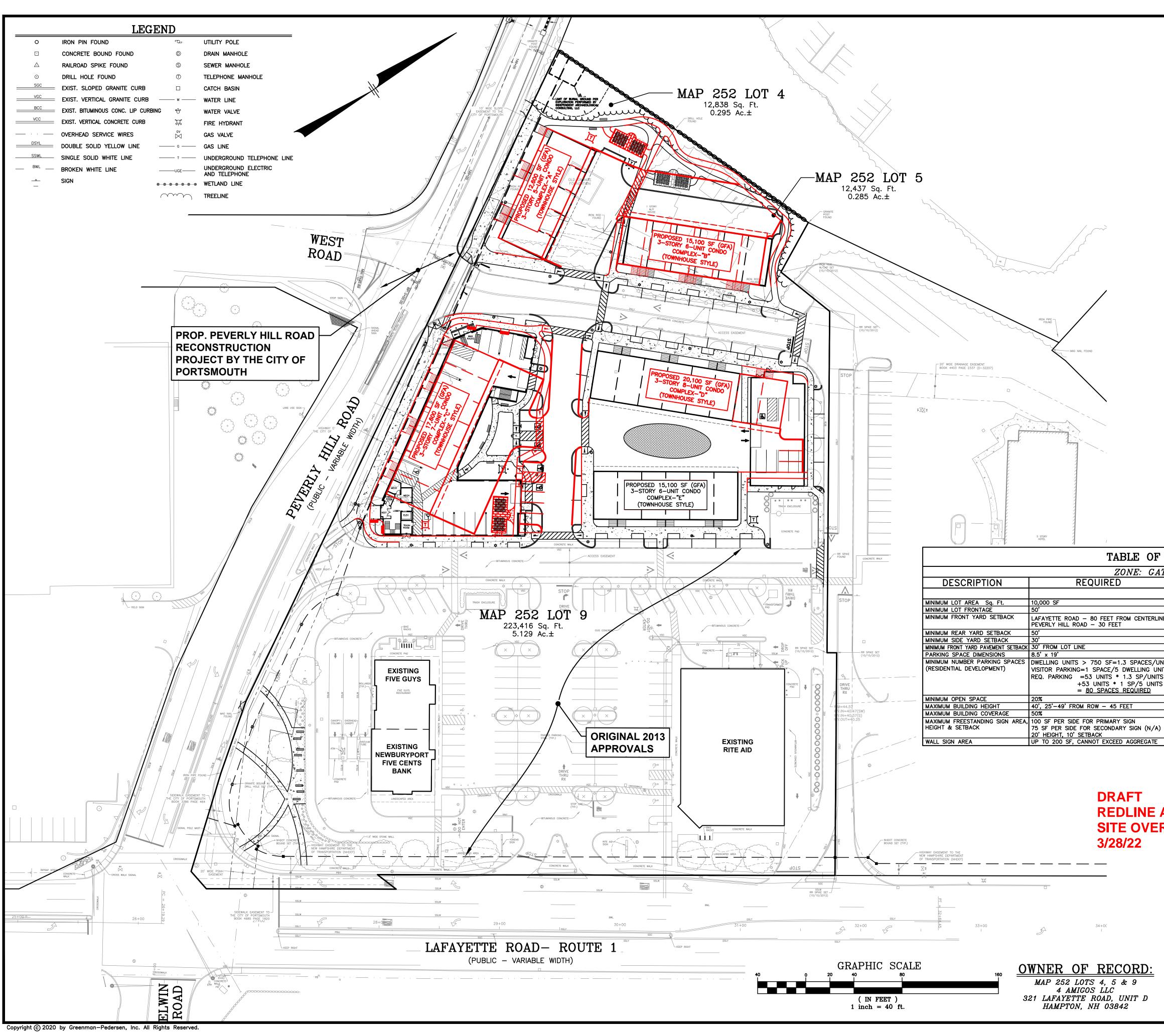
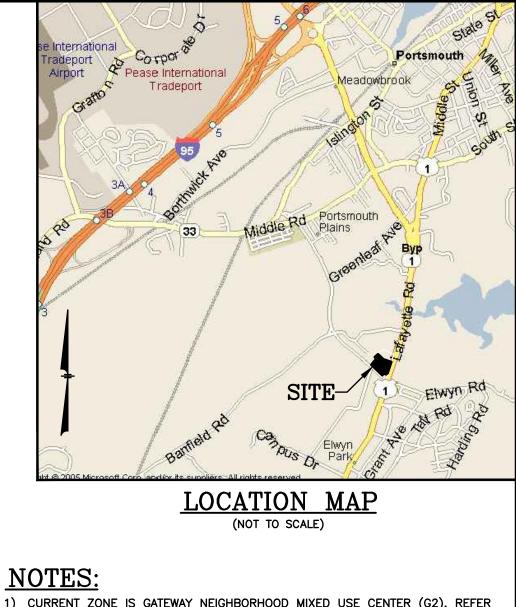


## NOTES:

- 1) CURRENT ZONE IS GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2). REFER TO CITY OF PORTSMOUTH ZONING DISTRICTS AND USE REGULATIONS FOR ADDITIONAL INFORMATION.
- 2) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF TWO PARCELS NOTED AS PROPOSED LOTS 9–1 AND 9–2. LOT 9–1 WILL CONSIST OF THE EXISTING RETAIL DEVELOPMENT. LOT 9–2 WILL INCLUDE A PROPOSED 32 TOWNHOUSE STYLE RESIDENTIAL UNIT DEVELOPMENT.
- 3) PROPOSED RESIDENTIAL PARKING BREAKDOWN: (32 UNITS) + 64 GARAGE SPACES (TOWNHOUSE STYLE) (INCLUDES 2 GARAGE SPACES/UNIT)
  - + 31 EXTERIOR SPACES = <u>95 SPACES PROPOSED</u>

BLE OF ZONING	REC	GUL	ATIONS	- PORTSMOUT	H, NH			
NE: GATEWAY NEI	GHE	BORH	OOD MI	XED USE CENTER	? (G2)			
					OPOSED LOT 9-2			
REQUIRED				PROPOSED LOT 9-1 PROPOSED LOT 9- RETAIL DEVELOPMENT GATEWAY TOWNHOU				
				(PROVIDED)	(REQUIRED)			
000 SF			136,649 SF	(***********	10,000 SF	SF		
			>200'		20'			
AYETTE ROAD - 80 FEET FROM ERLY HILL ROAD - 30 FEET	CENTE	RLINE	84.1' LAFAYE 81.7' PEVERL	TTE ROAD Y ROAD	5' MIN. TO 15' MAX.	SIDEWALK		
			N/A 37.7'		15' 10'	16' 23.9'		
FROM LOT LINE			> 30'			> 30'		
x 19'			9' x 19'			8.5' x 19		
LLING UNITS > 750 SF=1.3 S	PACES	s/unit	NO CHANGE	TO PREVIOUSLY APPROVED	48 SPACES 95 SPACES			
TOR PARKING=1 SPACE/5 DWELLING UNITS PARKING =32 UNITS * 1.3 SP/UNITS +32 UNITS * 1 SP/5 UNITS = 48 SPACES REQUIRED			PARKING -	92 SPACES ONSITE	(SEE PARKING BREAKDOWN IN TABLE) NOTE #3 ABOVE)		WN IN	
		-	29,201/136,6	649=21.4%	20%	27.035/1	12,042=24.1%	
25'-49' FROM ROW - 45 FEET			< 40'		2.5 STORIES OR 35' < 35'			
			16,389/136,6		50%			
SF PER SIDE FOR PRIMARY SIGN SF PER SIDE FOR SECONDARY SIGN (N/A) HEIGHT, 10' SETBACK			EXISTING SIG	NAGE TO REMAIN	TBD	TBD		
TO 200 SF, CANNOT EXCEED AG	GREGA	TE	EXISTING SIG	NAGE TO REMAIN	TBD	TBD TBD		
D EXCEED 15' MAX.		-					-	
Y HILL ROAD								
	NO.			DESCRIPTION		BY	DATE	
		REVISION			NS	1		
			CON		IVISION D	ΤΛΝ		
	CONCEPT SUBDIVISION PLAN & LOT CONSOLIDATION PLAN							
	ASSESSORS MAP 252 - LOTS 4,5 & 9							
	951 PEVERLY HILL ROAD & 1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE PREPARED FOR:							
					S, LLC			
				321 LAFAYETTE F				
				HAMPTON, NEW HAN				
				•				
				Engineering	Greenma	an-Ped	ersen, Inc.	
	Design				44 Stiles Road			
				Planning Construction Manag				
				•	_			
		60	3.893.0720	GPINET.CO	M Salem, N	IH 030	79	
	S	CALE:	1"=40'	DATE: MARCH	28, 2022		RAWING NO. P-SUBD-LCP.D	
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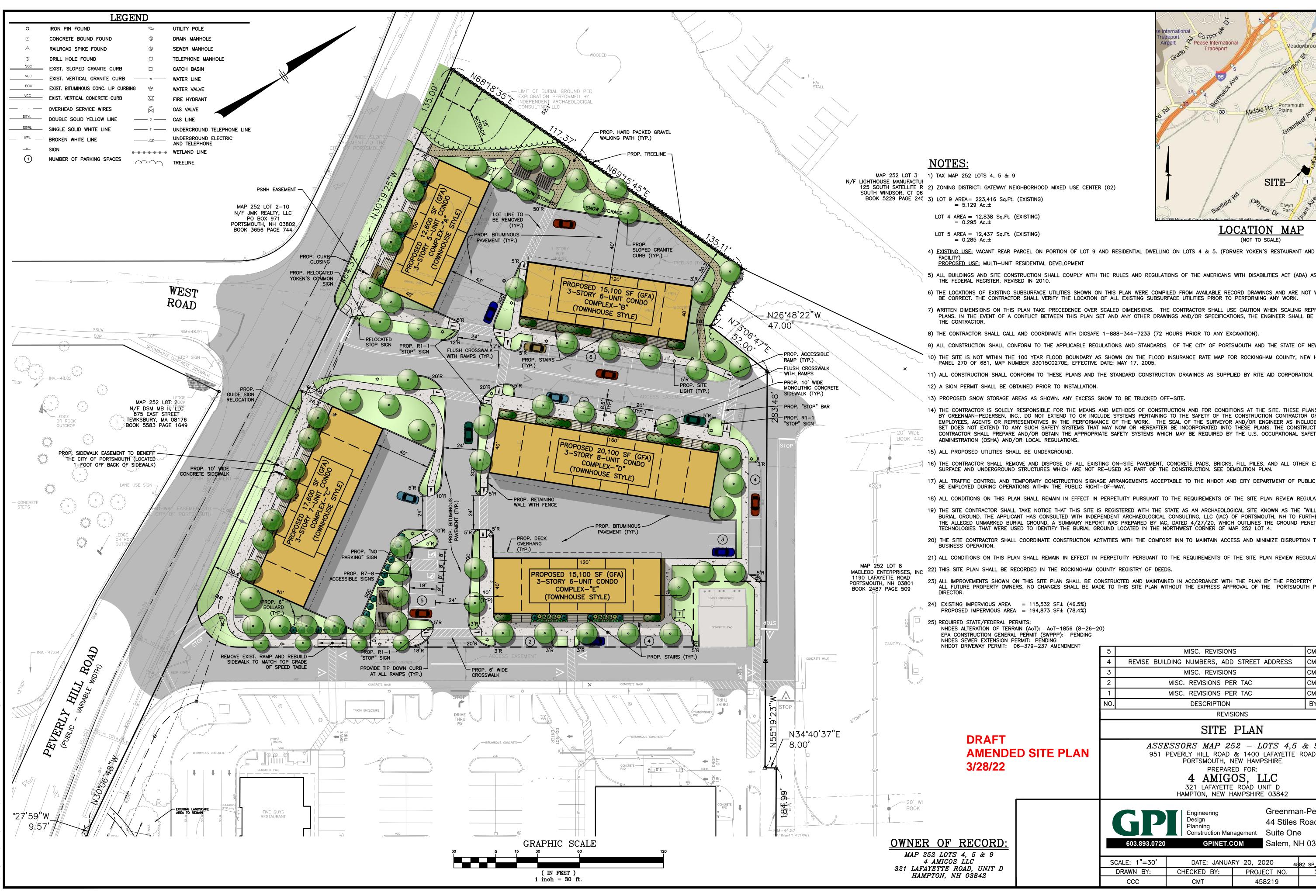


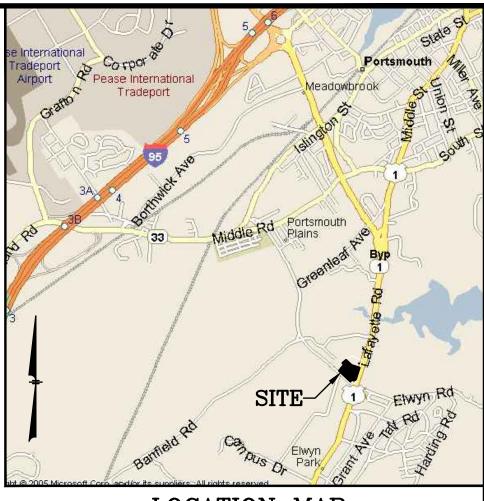
- 1) CURRENT ZONE IS GATEWAY NEIGHBORHOOD MIXED USE CENTER (G2). REFER TO CITY OF PORTSMOUTH ZONING DISTRICTS AND USE REGULATIONS FOR ADDITIONAL INFORMATION.
- 2) PROPOSED RESIDENTIAL PARKING BREAKDOWN: = 32 GARAGE SPACES (GARDEN STYLE) + 46 GARAGE SPACES (TOWNHOUSE STYLE) (INCLUDES 2 GARAGE SPACES/UNIT) + 28 EXTERIOR SPACES = 106 SPACES PROPOSED

PROPOSED EXTERIOR PARKING ONLY:

- (EXCLUDING GARAGE OR BELOW GRADE PARKING) = 28 SPACES
- 3) TOTAL REQUIRED OPEN SPACE/COMMUNITY SPACE = 20% (49,738 SF) TOTAL PROVIDED = 21.4% (53,135 SF)
- 4) SEE SHEET 5 FOR ADDITIONAL NOTES & INFORMATION.

TABLE OF Z	ONING REGULAT	IONS	– PORTS	SMO	UTH, NH			
ZONE: GATE	WAY NEIGHBORHOO	DD MIX	CED USE (	CEN	TER (G2)			
JIRED	RETAIL DEVELOPI	GATEWAY TOWNHOUSE			APARTMEN	APARTMENT BUILDING		
	(PROVIDED)	REQUIRED   (PROVIDED)						
	248,691 SF	10,000 SF		248,691 SF	10,000 SF	248,691 SF		
	>200'		20'		>200'	50'	>200'	
FEET FROM CENTERLINE 30 FEET	84' LAFAYETTE ROAD > 30' PEVERLY ROAD		5' MIN. TO 15' I	MAX.	25'	10' MIN. TO 30' MAX.	25.2'	
	> 50'		15'		28.1'	20' 15'	58.3'	
	> 30' > 30'		10'		<u>11'</u> > 30'	15	20' > 30'	
	9' x 19'				8.5' x 19'		8.5' x	
50 SF=1.3 SPACES/UNIT PACE/5 DWELLING UNITS UNITS * 1.3 SP/UNITS INITS * 1 SP/5 UNITS SPACES REQUIRED	NO CHANGE TO PREVIOUSLY A PARKING – 92 SPACES ONSIT			SEE PARKING BREAKDOWN ABOVE		SEE P/ BREAKI	ARKING DOWN ABOVE	
	53,818/248,691=21.6%		20%		53,818/248,691=21.		53,818/248,691=21.65	
N — 45 FEET	< 40'		2.5 STORIES OF	२ ३५'	34.2'	4 STORIES OR 50'	45'	/0.4.0.004 0.07
PRIMARY SIGN	17,186/248,691 = 6.9% EXISTING SIGNAGE TO REMAIN		50%		20,875/248,691=8.4	4% 50%		/248,691=6.8%
ECONDARY SIGN (N/A) CK	EXISTING SIGNAGE TO REMAIN				N/A		N/A	
T EXCEED AGGREGATE	EXISTING SIGNAGE TO REMAIN				N/A		N/A	
DRAFT REDLINE AMENED		5 MISC. REVISIONS PER PLANNING BOARD APPROVAL   4 REVISE BUILDING NUMBERS, ADD STREET ADDRESS   3 MISC. REVISIONS   2 MISC. REVISIONS PER TAC   1 MISC. REVISIONS PER TAC   NO. DESCRIPTION   REVISIONS				CMT CMT CMT CMT CMT BY	10/18/21 8/19/20 8/6/20 3/9/20 2/20/20 DATE	
SITE OVERVIEW PLAN 3/28/22			SITE OVERVIEW PLAN ASSESSORS MAP 252 - LOTS 4,5 & 9 951 PEVERLY HILL ROAD & 1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE PREPARED FOR: 4 AMIGOS, LLC 321 LAFAYETTE ROAD UNIT D					
RECORD: 44   4, 5 & 9 603.893.0720   Construction Management Sal   Scale: 1"=40'					Greenmar 44 Stiles I agement Suite One SM Salem, N			
20AD, UNIT D H 03842				СН	ECKED BY:	PROJECT NO.		IEET NO.
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## LOCATION MAP (NOT TO SCALE)

4) EXISTING USE: VACANT REAR PARCEL ON PORTION OF LOT 9 AND RESIDENTIAL DWELLING ON LOTS 4 & 5. (FORMER YOKEN'S RESTAURANT AND FUNCTION

5) ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS PUBLISHED IN

6) THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.

7) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY

8) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 (72 HOURS PRIOR TO ANY EXCAVATION).

9) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH AND THE STATE OF NEW HAMPSHIRE.

10) THE SITE IS NOT WITHIN THE 100 YEAR FLOOD BOUNDARY AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NEW HAMPSHIRE PANEL 270 OF 681, MAP NUMBER 33015C0270E, EFFECTIVE DATE: MAY 17, 2005.

13) PROPOSED SNOW STORAGE AREAS AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.

14) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES. AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH

16) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING ON-SITE PAVEMENT, CONCRETE PADS, BRICKS, FILL PILES, AND ALL OTHER EXISTING SURFACE AND UNDERGROUND STRUCTURES WHICH ARE NOT RE-USED AS PART OF THE CONSTRUCTION. SEE DEMOLITION PLAN.

17) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS ACCEPTABLE TO THE NHDOT AND CITY DEPARTMENT OF PUBLIC WORKS SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.

18) ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

19) THE SITE CONTRACTOR SHALL TAKE NOTICE THAT THIS SITE IS REGISTERED WITH THE STATE AS AN ARCHAEOLOGICAL SITE KNOWN AS THE "WILLEY/LIGHTFORD" BURIAL GROUND. THE APPLICANT HAS CONSULTED WITH INDEPENDENT ARCHAEOLOGICAL CONSULTING, LLC (IAC) OF PORTSMOUTH, NH TO FURTHER RESEARCH THE ALLEGED UNMARKED BURIAL GROUND. A SUMMARY REPORT WAS PREPARED BY IAC, DATED 4/27/20, WHICH OUTLINES THE GROUND PENETRATING RADAR TECHNOLOGIES THAT WERE USED TO IDENTIFY THE BURIAL GROUND LOCATED IN THE NORTHWEST CORNER OF MAP 252 LOT 4.

20) THE SITE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE COMFORT INN TO MAINTAIN ACCESS AND MINIMIZE DISRUPTION TO THEIR

21) ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PERSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

22) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

23) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING

ERMITS:		
RAIN (AoT):	AoT-1856	(8 - 26 - 20)
L PERMIT (S	SWPPP): P	ENDING

MISC. REVISIONS CMT 4/5/21 REVISE BUILDING NUMBERS, ADD STREET ADDRESS 8/19/20 CMT Ісмт 8/6/20 MISC. REVISIONS MISC. REVISIONS PER TAC СМТ 3/9/20 CMT 2/20/20 MISC. REVISIONS PER TAC DESCRIPTION BY DATE REVISIONS SITE PLAN ASSESSORS MAP 252 - LOTS 4,5 & 9 **AMENDED SITE PLAN** 951 PEVERLY HILL ROAD & 1400 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE PREPARED FOR: 4 AMIGOS, LLC 321 LAFAYETTE ROAD UNIT D HAMPTON, NEW HAMPSHIRE 03842

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