

GENERAL INFORMATION

**OWNER**  
ANTHONY DILORENZO  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801  
(603) 319-0440

**APPLICANT**  
2219 LAFAYETTE ROAD LLC  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801  
(603) 319-0440

**PREPARED FOR**  
2219 LAFAYETTE ROAD LLC  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801  
(603) 319-0440

**RESOURCE LIST**  
PLANNING/ ZONING DEPARTMENT  
1 JUNKINS AVENUE, 3RD FLOOR  
PORTSMOUTH, NH 03801  
(603) 610-7296  
JULIET WALKER, PLANNING DIRECTOR

**BUILDING DEPARTMENT**  
1 JUNKINS AVENUE, 3RD FLOOR  
PORTSMOUTH, NH 03801  
(603) 610-7261  
ROBERT MARSILIA, CHIEF BUILDING INSPECTOR

**PUBLIC WORKS**  
680 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801  
(603) 427-1530  
PETER RICE, DIRECTOR

**POLICE DEPARTMENT**  
3 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
(603) 427-1512  
ROBERT MERNER, CHIEF

**FIRE DEPARTMENT**  
170 COURT STREET  
PORTSMOUTH, NH 03801  
(603) 427-1515  
STEVEN E. ACHILLES, CHIEF

**ARCHITECT**  
TJW DESIGNS LLC  
254 DRAKE HILL ROAD  
STRAFFORD, NH 03884  
VISIONS@TW-DESIGNS.COM  
(603) 664-2181  
JOHN TUTTLE, PRINCIPAL

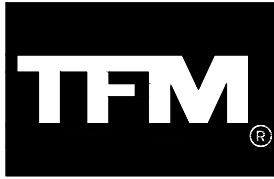
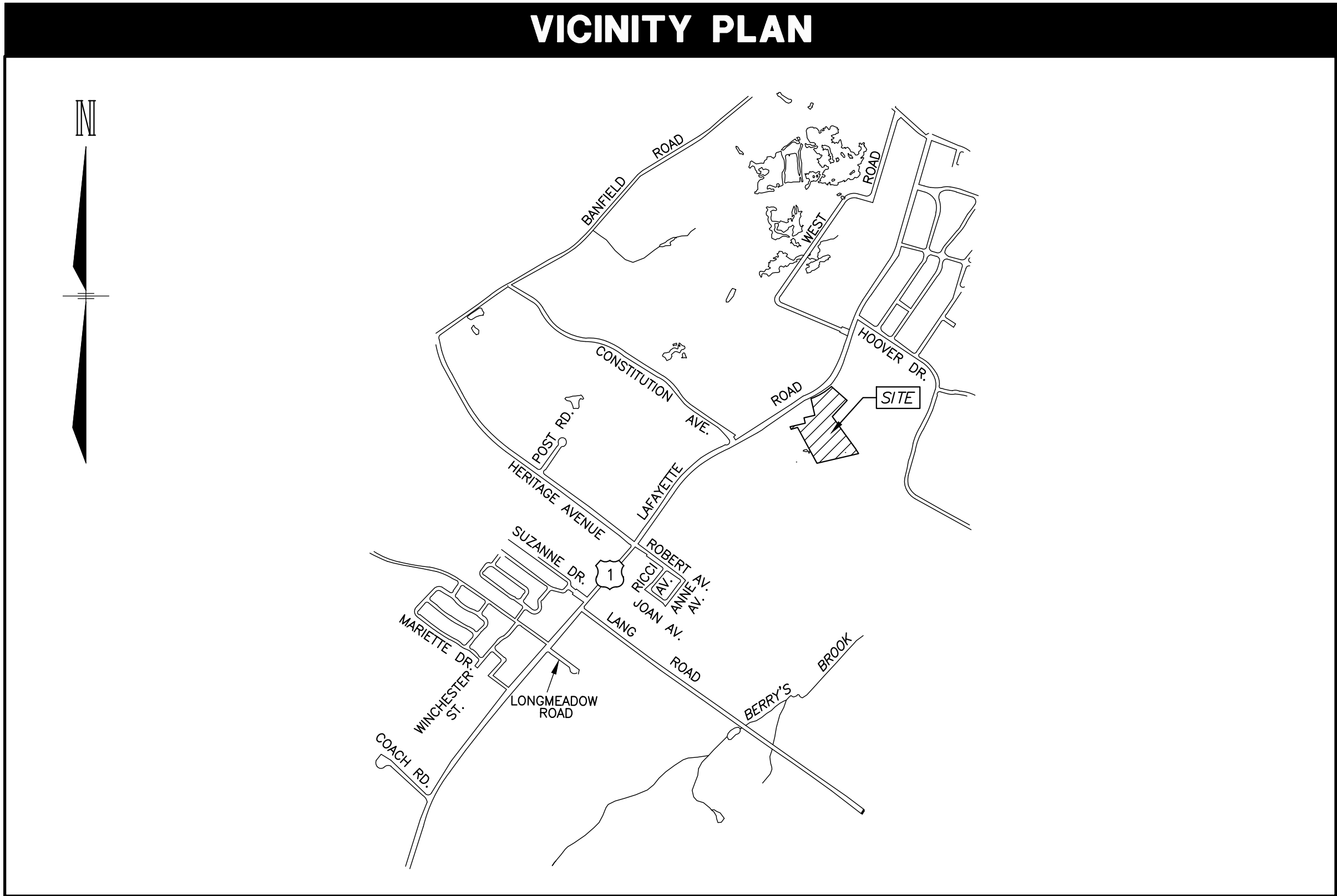
**LAND SURVEYORS**  
MSC ENGINEERS a division of TFMORAN  
170 COMMERCE WAY, SUITE 102  
PORTSMOUTH, NH 03801  
(603) 431-2222  
J. COREY COLWELL, LSS

KEY ACURA  
OF PORTSMOUTH

PORTSMOUTH, NEW HAMPSHIRE

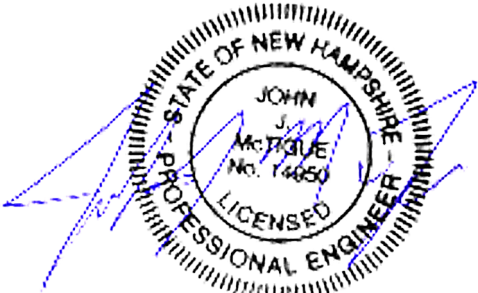
MAY 7, 2019  
LAST REVISED JULY 9, 2019

VICINITY PLAN



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com



PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110  
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.  
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



INDEX OF SHEETS

SHEET	SHEET TITLE
C-01	COVER
C-02	EXISTING CONDITIONS PLAN
C-03	NOTES SHEET
C-04	SITE PREPARATION AND DEMOLITION PLAN
C-05	SITE & LAYOUT PLAN
C-06	GRADING AND DRAINAGE PLAN
C-07	UTILITY PLAN
C-08	LANDSCAPE PLAN
C-09	LANDSCAPE NOTES, DETAILS AND SCHEDULES
C-10	LIGHTING PLAN
C-11	EROSION CONTROL PLAN
C-12	EROSION CONTROL NOTES AND DETAILS
C-13	TRUCK MOVEMENT
C-14 TO C-15	DETAIL SHEET
A1.1 TO A4.1	ARCHITECTURAL PLANS (TJW DESIGNS)

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
ZBA APPROVAL	PENDING	PENDING	PENDING
TOWN SITE PLAN	PENDING	PENDING	PENDING
NHDOT DRIVEWAY	PENDING	PENDING	PENDING

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**COVER SHEET**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

MAY 7, 2019



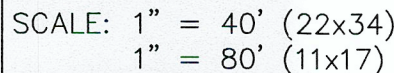
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

FILE	45407.80	DR	RCK	FB		C-01
		CK	CRR	CADFILE	45407-80_Cover.dwg	

REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR







Jul 09, 2019 - 1:07pm  
F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80\_Notes.dwg

SITE NOTES

1. THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
2. PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
3. AN ALTERATION OF TERRAIN PERMIT IS NOT REQUIRED SINCE THE DISTURBANCE IS LESS THAN 100,000 SF. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
4. CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
5. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
6. ALL WORK TO CONFORM TO CITY OF PORTSMOUTH, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS.
7. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER CITY/GOVERNMENTAL REGULATIONS.
8. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
9. SNOW SHALL NOT BE STOCKPILED IN SEDIMENT FOREBAYS, WETLAND BUFFERS OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.
10. TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
11. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
12. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
13. CONTRACTOR TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND EXISTING FEATURES.
14. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. MSC A DIVISION OF TMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
15. MSC A DIVISION OF TMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
16. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
17. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWING STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
18. THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY OF REGISTRY OF DEEDS.
19. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
20. CONTRACTOR'S RESPONSIBILITIES:
  - A. TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
  - B. THE CONTRACTOR SHALL EMPLOY A LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
  - C. EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
  - D. PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
  - E. PROTECTING NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  - F. TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS.
  - G. COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
  - H. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MSC A DIVISION OF TMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  - I. VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
  - J. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
  - K. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
  - L. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
21. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.



Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110  
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.  
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

PLANNING BOARD FILE #

PAVEMENT NOTES

1. WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE SEAM SHALL BE A SAW CUT EDGE AND TREATED WITH EMULSION.
2. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, MONITORING WELL BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF SURFACE PAVEMENT LAYER.
3. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE STOREFRONT, ACCESSIBLE PARKING, LOADING AREA AND FRONT ENTRANCE.
4. WHERE EXISTING PAVEMENT THAT IS OVERLAID MEETS EXISTING PAVEMENT TO REMAIN, THE LIMITS SHALL BE MILLED TO CREATE A 5' WIDE BY 1.5" DEEP KEY JOINT (SEE DETAIL).
5. THE GRADE SURFACE TOLERANCE AT THE INTERFACE BETWEEN EXISTING PAVEMENT TO REMAIN AND PROPOSED NEW PAVEMENT SHALL NOT VARY MORE THEN 3/8" FROM A 10' STRAIGHT EDGE, MEASURED IN ANY DIRECTION PLACED AT ANY LOCATION ALONG THE INTERFACE.
6. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS ¼".
7. COMPLETE PERMANENT PAVEMENT TRENCH PATCH FOR UTILITY INSTALLATION PRIOR TO OVERLAY.

VARIANCES

ZONING RELIEF HAS BEEN GRANTED FROM THE FOLLOWING ARTICLES OF THE CITY OF PORTSMOUTH ZONING ORDINANCE:

1. SECTION 10.1114.20--PARKING STALL LAYOUT; REQUIRED: 19 FEET, PROVIDED; 18 FEET.

CONSTRUCTION SEQUENCE

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.

MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING ADDITIONS CONSTRUCTION.
9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
13. CONSTRUCT PROPOSED PARKING AREAS, DISPLAY AREAS, AND AISLES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

CITY NOTES

1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING DIRECTOR.

LAYOUT & MATERIAL NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND FEDERAL CODES.
2. ALL ON-SITE CURBING SHALL BE VERTICAL GRANITE CURBING. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
3. ALL SIDEWALK AND OTHER CURB REVEALS NOT IDENTIFIED TO BE FLUSH SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8".
4. CURBING ALIGNMENT SHALL BE MODIFIED TO AVOID CONFLICTS WITH ALL UTILITY MANHOLES OR POLES AND OTHER CASTINGS. ALL CONFLICTS SHALL BE REVIEWED WITH THE OWNER PRIOR TO PLACEMENT OF CURB FOR APPROVAL OF MODIFIED ALIGNMENT.
5. WHERE NEW CURB MEETS EXISTING CURB OR CURBING OF A DIFFERENT MATERIAL OR CONFIGURATION, A TRANSITION PIECE SHALL BE INCLUDED SO THAT CONNECTION IS FLUSH IN ALIGNMENT, WIDTH AND REVEAL.
6. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
7. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY 4" WIDE LINES.
8. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO THE LATEST EDITIONS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
9. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS AND PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
10. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.



2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR	
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR	
REV.	DATE	DESCRIPTION	DR	CK	

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**NOTES SHEET**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

**MAY 7, 2019**

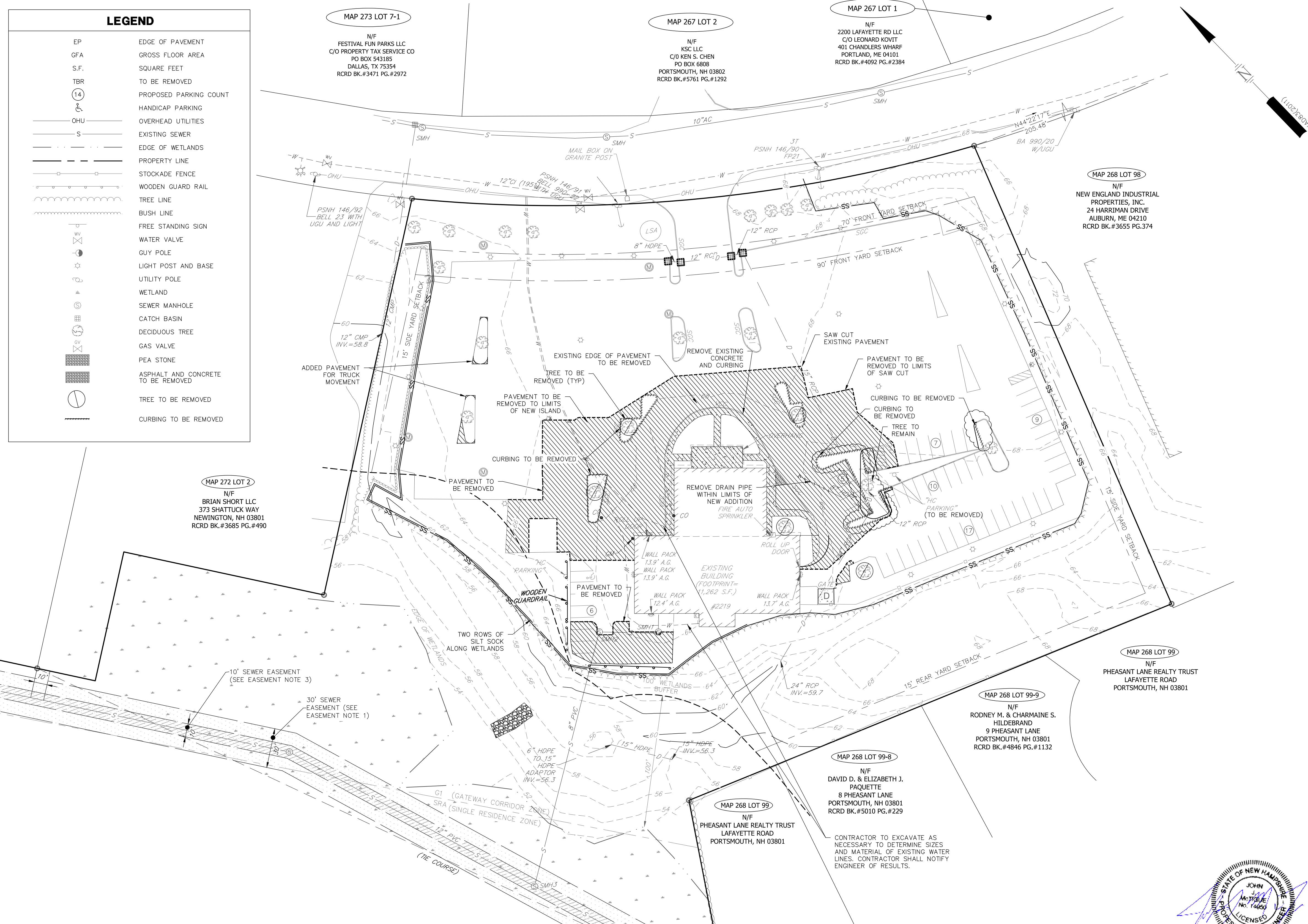
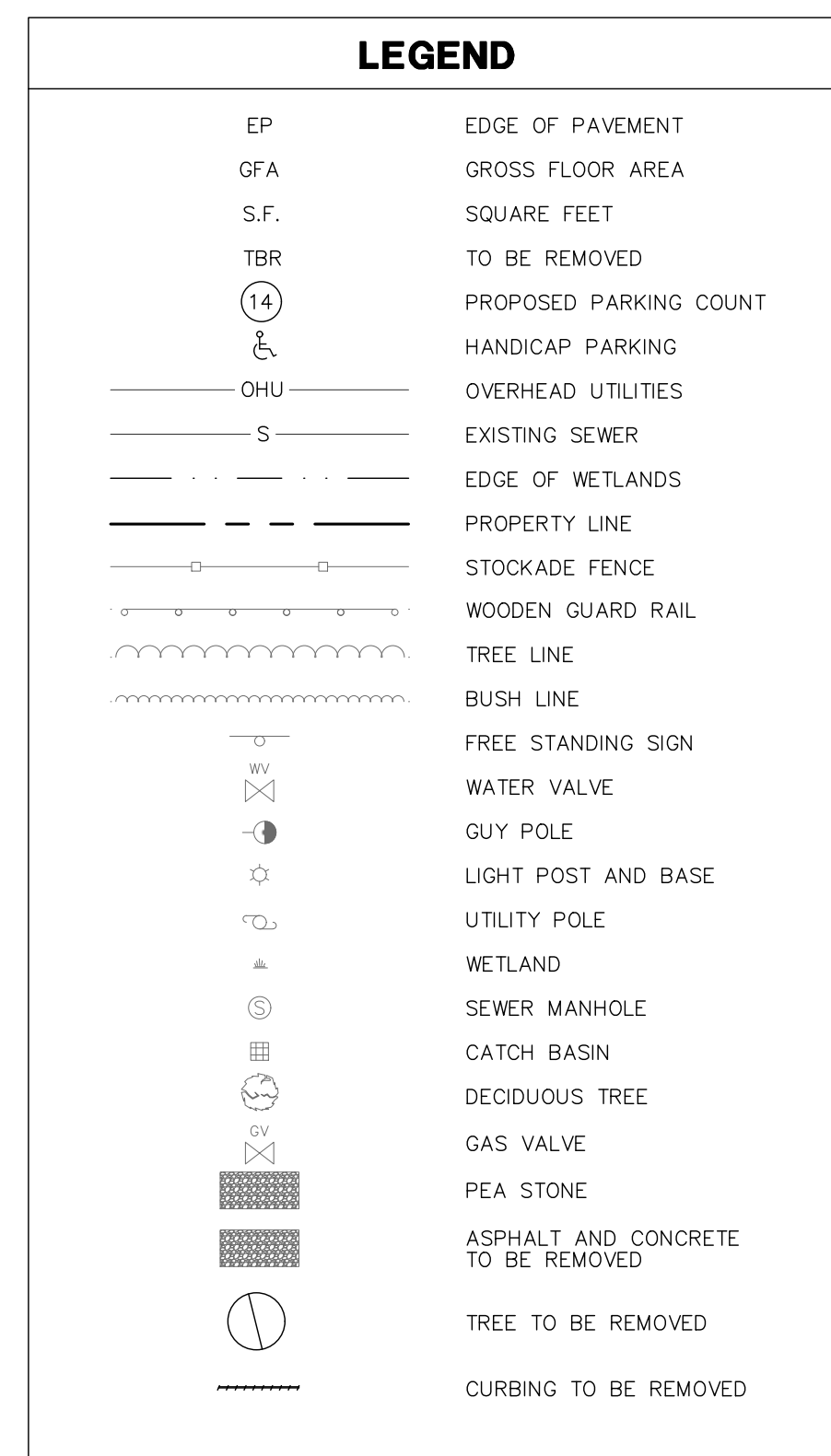


Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

FILE	45407.80	DR	CK	XXX	FB	CADFILE	45407-80_Notes.dwg	C-03
------	----------	----	----	-----	----	---------	--------------------	------





DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. CURBING TO BE SALVAGED FOR RE-USE ON SITE.
3. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER CITY/GOVERNMENTAL REGULATIONS.
4. CONTRACTOR TO SWEEP AS NEEDED TO PREVENT ANY VEHICLE TRACKING ON CITY STREETS.

## SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**SITE PREPARATION AND DEMOLITION PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

**SCALE: 1" = 40' (22X34)**  
**1" = 80' (11X17)**

MAY 7, 2019



- Civil Engineers
- Structural Engineers
- Traffic Engineers
- Land Surveyors
- Landscape Architects
- Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
[www.TFMoran.com](http://www.TFMoran.com)

FILE	45407.80	DR	RCK	FB	C-04
		CK	CRR	CADFILE	

## PLANNING BOARD FILE #

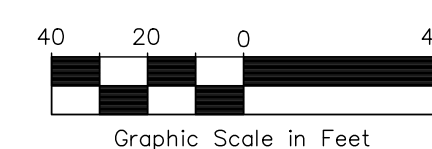
Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

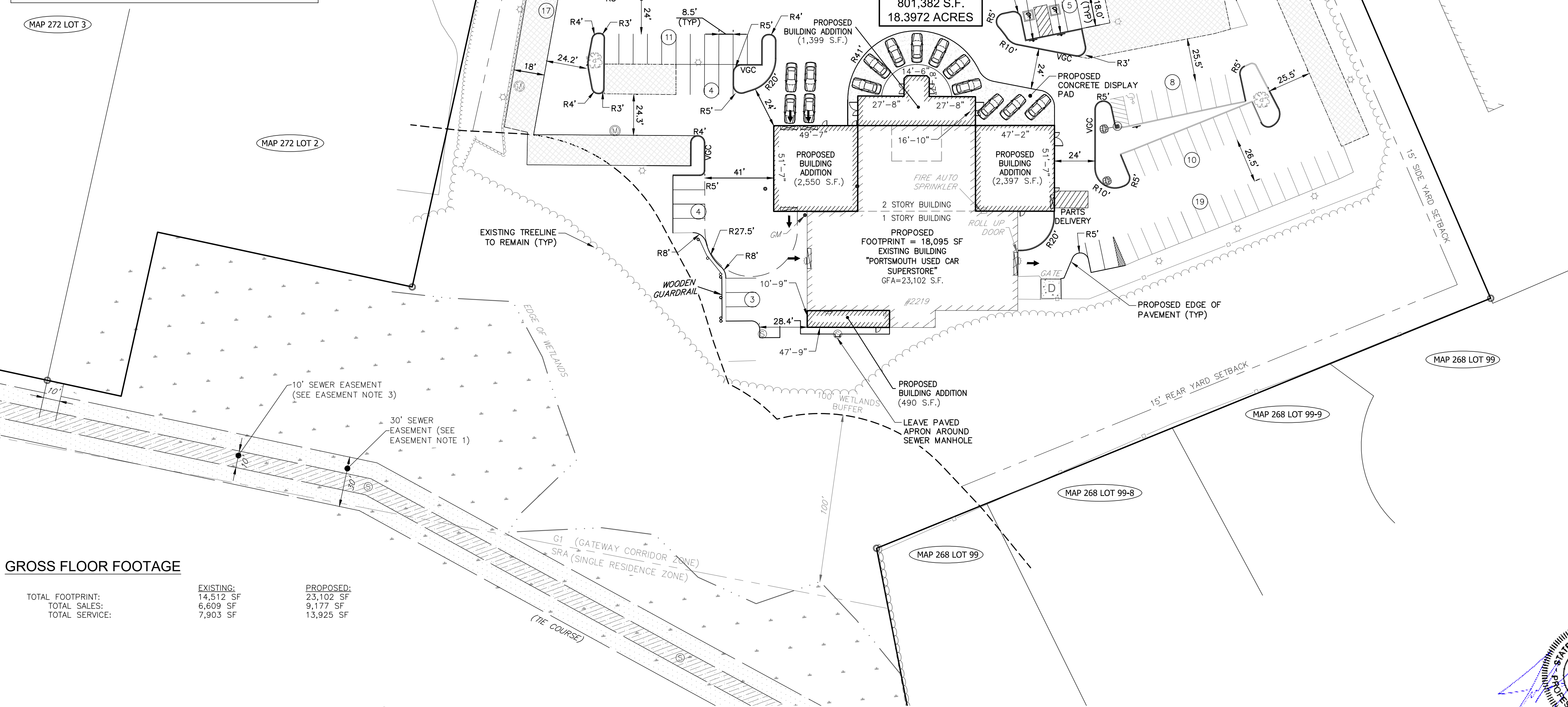


CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION



2	7/8/19	REVISED PER TAC COMMENTS		RCK	C
1	6/17/19	REVISED PER TAC COMMENTS		RCK	C
REV.	DATE	DESCRIPTION		DR	C





	<u>EXISTING:</u>	<u>PROPOSED:</u>
TOTAL FOOTPRINT:	14,512 SF	23,102 SF
TOTAL SALES:	6,609 SF	9,177 SF
TOTAL SERVICE:	7,903 SF	13,925 SF

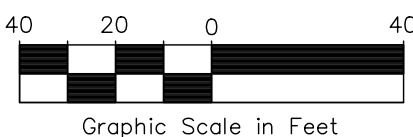
Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.






1. THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY OF REGISTRY OF DEEDS.
2. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
3. PROPOSED BUILDING ADDITIONS WILL HAVE NEW FOUNDATIONS.
4. SITE IS INTENDED TO BE OPEN DURING CONSTRUCTION; A LIFE-SAFETY PLAN WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPLICATION.
5. SEE SHEET C-03 FOR ADDITIONAL SITE NOTES.



2	7/8/19	REVISED PER TAC COMMENTS		RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS		RCK	CRR
REV.	DATE	DESCRIPTION		DR	CR

THE FOLLOWING VARIANCE WERE APPROVED BY THE CITY OF PORTSMOUTH ON 5/28/19:  
ZONING ORDINANCE 10.1114.20 STALL LAYOUT; REQUIRED: 19 FEET, PROVIDED: 18 FEET

DIRECTIONAL SIGN LEGEND		
	SIGN	NO/SIZE/COLOR
A		R7-8 12" x 18" GREEN LETTERS, BORDER & ARROWS, WHITE BACKGROUND & BLUE LOGO
B		R7-8P 12" x 6" GREEN LETTERS AND BORDER & WHITE BACKGROUND
C		R1-1 30" x 30" WHITE LETTERS AND BORDER & RED BACKGROUND

**MAY 7, 2019**



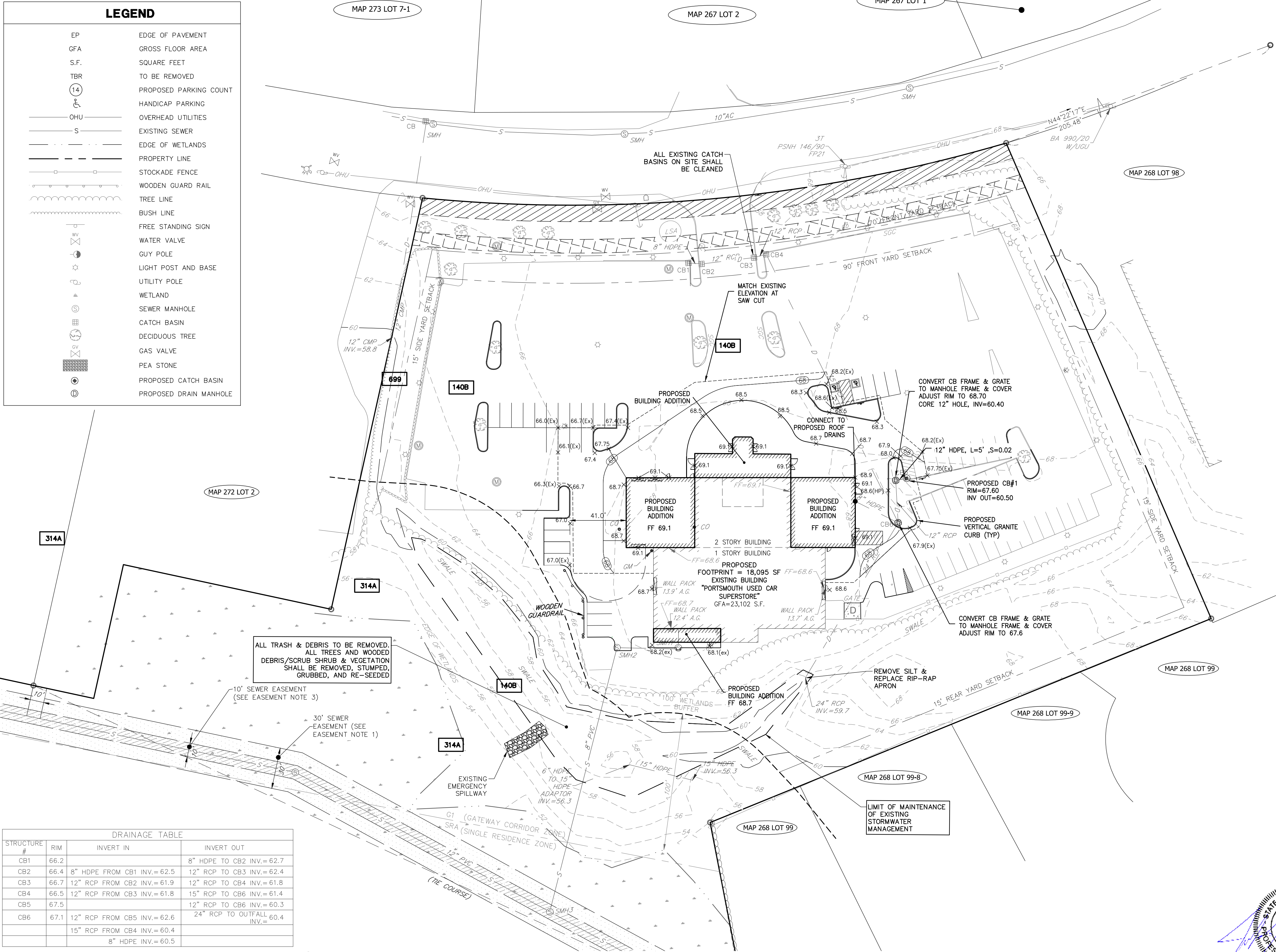
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
[www.TFMoran.com](http://www.TFMoran.com)



Jul 09, 2019 - 1:03pm  
F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - AcuraDesign\Production Drawings\45407-80\_Grading.dwg

LEGEND	
EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
WV	WATER VALVE
GUY	GUY POLE
☆	LIGHT POST AND BASE
U	UTILITY POLE
W	WETLAND
SMH	SEWER MANHOLE
CB	CATCH BASIN
DT	DECIDUOUS TREE
GV	GAS VALVE
PS	PEA STONE
CB	PROPOSED CATCH BASIN
DMH	PROPOSED DRAIN MANHOLE



## DRAINAGE NOTES

1. ALL STORM DRAIN LINES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HIQ", ADS "N-12", OR APPROVED EQUAL) UNLESS OTHERWISE NOTED FOR ROOF DRAINS & CANOPY LEADERS.
2. ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY/TOWN, COUNTY, AND STATE CODES.
4. LENGTH OF PIPE IS PROVIDED FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
5. COORDINATE ROOF AND CANOPY DRAINS WITH BUILDING PLANS.
6. ALL PROPOSED MANHOLES, CATCH BASINS AND OTHER STORMWATER STRUCTURES SHALL BE SUBJECT TO REVIEW AND APPROVAL UNDER SUBMITTAL REQUIREMENTS.
7. WHERE EXISTING MANHOLES AND CATCH BASINS ARE TO BE RETROFITTED TO ACCEPT NEW PIPES, CONTRACTOR SHALL MAKE ALL NEW PENETRATIONS WITH CONCRETE CORE. THE CONNECTION BETWEEN THE STRUCTURE AND PIPE SHALL BE MADE WATERTIGHT WITH NON-SHRINK GROUT. CONTRACTOR SHALL VERIFY SIZE OF STRUCTURE AND INVERT ELEVATIONS PRIOR TO COMPLETING WORK AND REPORT ANY DISCREPANCIES TO ENGINEER.
8. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
9. STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
10. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
11. ALL CATCH BASINS IN PAVEMENT SHALL HAVE GRATES SET 1" BELOW FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
12. STORMWATER AREAS SHALL BE MAINTAINED TWICE A YEAR (JULY & NOVEMBER). THIS INCLUDES TRASH PICK-UP AND MOWING OF ALL VEGETATION.

## GRADING NOTES

1. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
2. DENSITY REQUIREMENTS:

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.
3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
5. SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
6. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
7. THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4 INCH FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
8. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
9. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
10. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
11. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
12. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
13. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
14. COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
15. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
16. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
17. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.

## SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**GRADING AND DRAINAGE PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40' (22X34)  
1" = 80' (11X17)

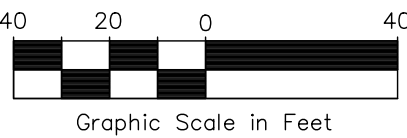
MAY 7, 2019

## PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110  
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.  
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

FILE	45407.80	DR	RCK	FB	CADFILE	45407-80_Grading.dwg	C-06
------	----------	----	-----	----	---------	----------------------	------

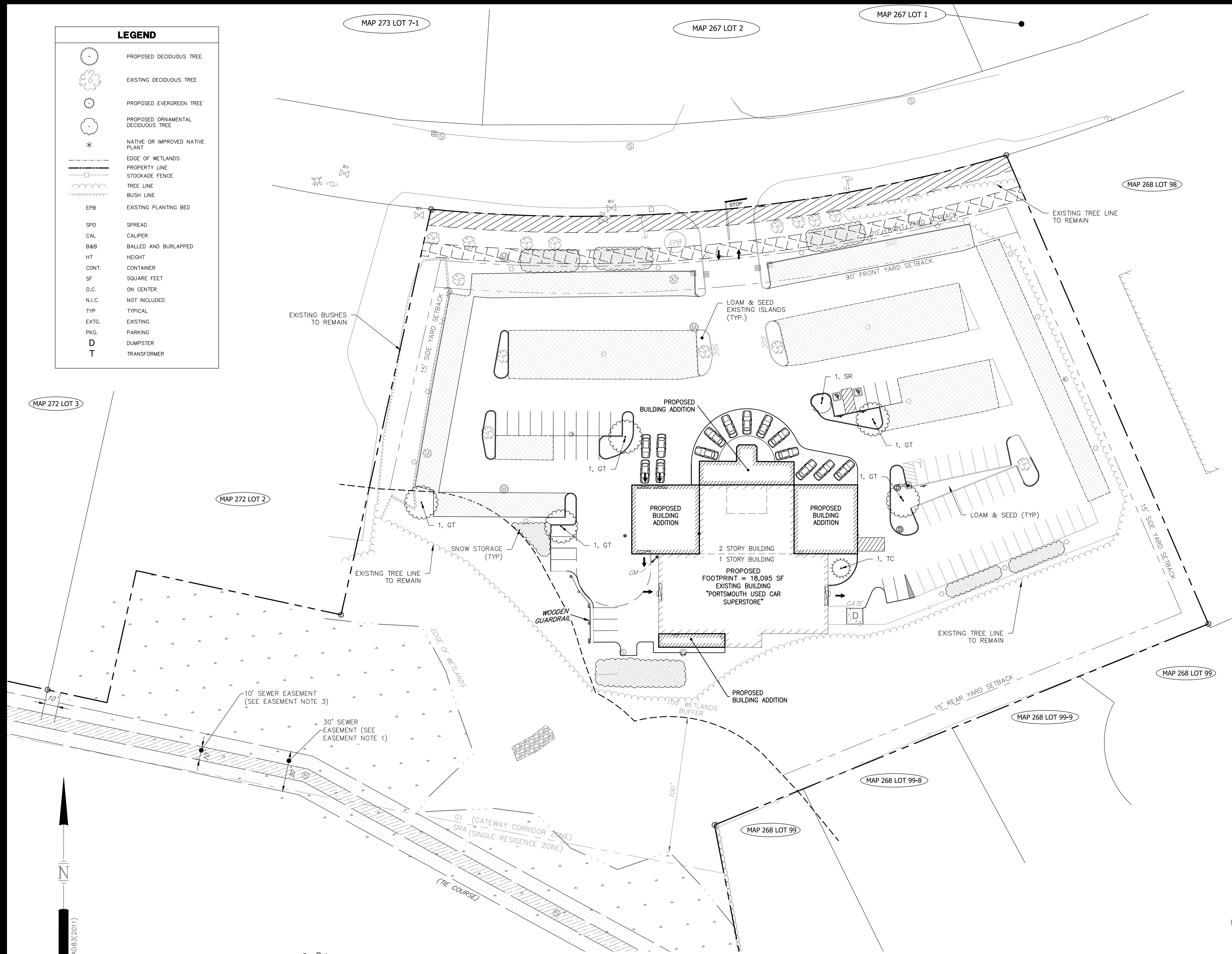






Jul 09, 2019 - 1:08pm  
F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80\_Landscape.dwg

LEGEND	
	PROPOSED DECIDUOUS TREE
	EXISTING DECIDUOUS TREE
	PROPOSED EVERGREEN TREE
	PROPOSED ORNAMENTAL DECIDUOUS TREE
	NATIVE OR IMPROVED NATIVE PLANT
	EDGE OF WETLANDS
	PROPERTY LINE
	STOCKADE FENCE
	TREE LINE
	BUSH LINE
	EXISTING PLANTING BED
	SPREAD
	CALIPER
	BALLED AND BURLAPPED
	HEIGHT
	CONTAINER
	SQUARE FEET
	ON CENTER
	NOT INCLUDED
	TYPICAL
	EXISTING
	PARKING
	DUMPSTER
	TRANSFORMER



#### C-08 NOTE

1. SEE C-09 FOR LANDSCAPE NOTES AND DETAILS

#### LANDSCAPE NOTES

1. THIS LANDSCAPE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
2. THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
3. ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
4. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED, AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
5. TREES TO BE PLANTED AND INSPECTED PER DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.

#### PLANT LIST

##### DECIDUOUS TREES:

KEY	QTY/S.F.	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
GT	5	GLEDITSIA TRIACANTHOS INERMIS 'SKYLINE' SKYLINE SEEDLESS HONEYLOCUST ✱ (BEGIN BRANCHING AT 6' HT.)	3" CAL.	B&B FULL, BUSHY, SYMMETRICAL CROWN STRAIGHT CENTRAL TRUNK
SR	1	SYRINGA RETICULATA JAPANESE LILAC TREE (BEGIN BRANCHING AT 6' HT.)	2 1/2" CAL.	B&B FULL, BUSHY, SYMMETRICAL CROWN STRAIGHT CENTRAL TRUNK

##### EVERGREEN TREES:

KEY	QTY/S.F.	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
TC	1	TSUGA CANADENSIS CANADIAN HEMLOCK ✱	6' HT	B-B FULL & BUSHY, SYMMETRICAL

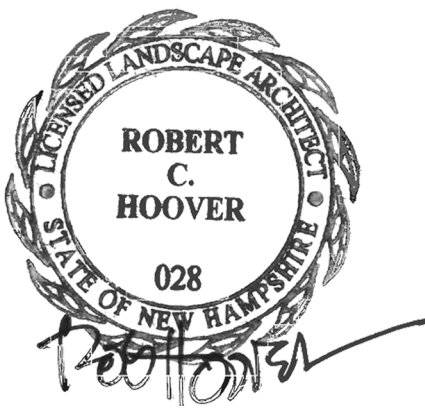
## SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**LANDSCAPE PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40'  
1" = 80'

MAY 7, 2019



#### PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110  
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.  
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION

REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

FILE	45407.80	DR	ETP	FB	45407-80_Landscape.dwg
		CK	CRR	CADFILE	

C-08

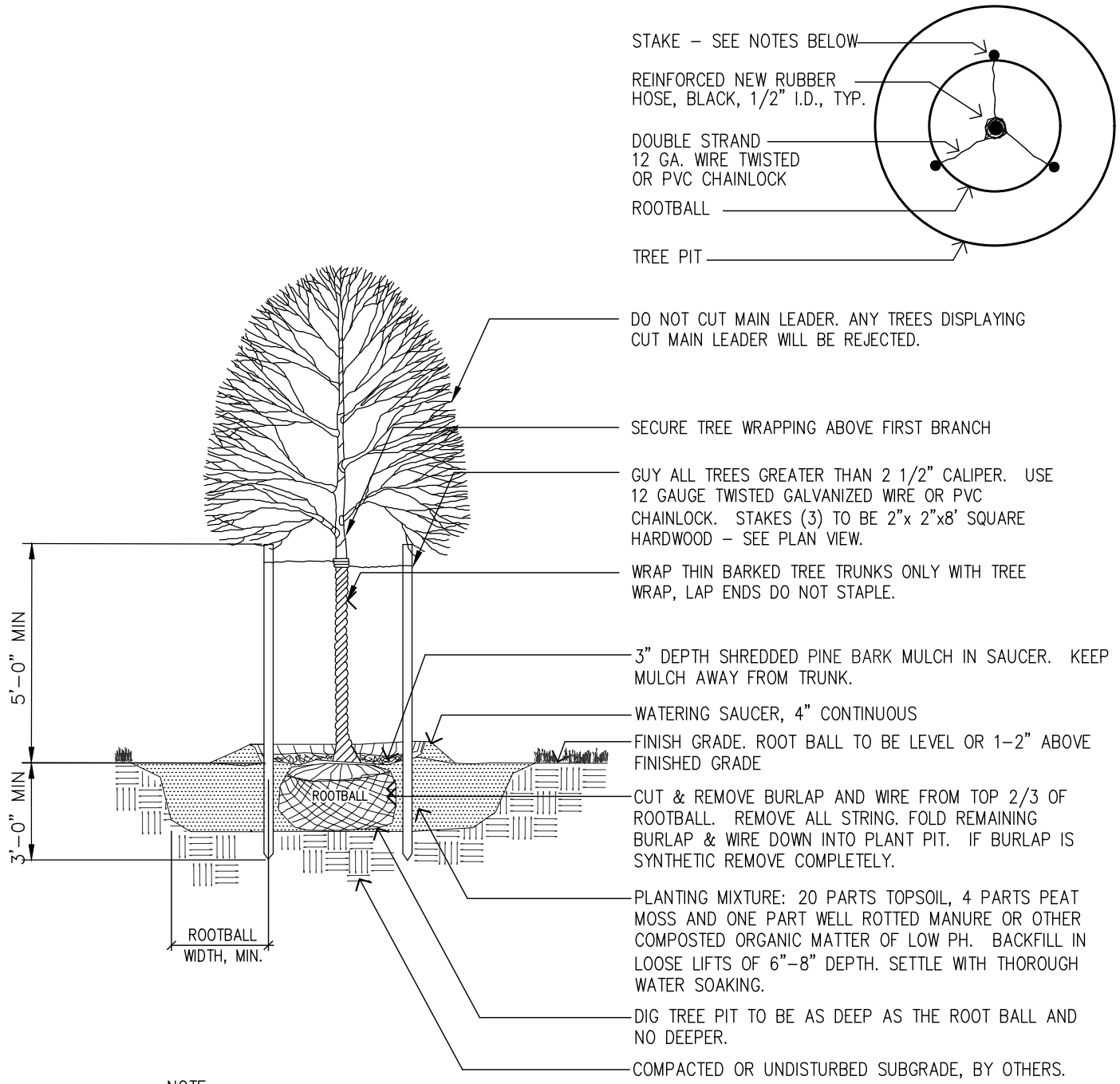


LANDSCAPE NOTES

1. CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES FOR IMPLEMENTATION OF PLANTING PLAN.
2. CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
3. CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
4. SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
5. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
6. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
7. ALL PLANTS WILL BE NURSERY GROWN.
8. PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
9. TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
10. PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
11. ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
12. PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
13. MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
14. PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIP LINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY RELOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
15. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE FIVE (5) INCH LOAM AND SEED.
16. TREE STAKES AND WRAP WILL REMAIN IN PLACE FOR NO MORE THAN 1 YEAR. CONTRACTOR WILL REMOVE.
17. ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.
18. ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
19. ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.
20. CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.
21. PARKING AREA PLANTED ISLANDS WILL HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
22. EXISTING TREES SHOWN ON THE PLAN WILL REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN WILL BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
23. CONTRACTOR WILL STAKE OR PLACE ON GROUND ALL PROPOSED PLANT MATERIALS PER PLAN. CONTACT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
24. CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
25. CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
26. WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
27. ALL GENERAL LAWN SEEDED AREAS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
28. THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR OR TWO (2) GROWING SEASONS, WHICHEVER IS GREATER, BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
29. DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
30. EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

SEEDING NOTES

1. GENERAL LAWN SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3 OR APPROVED EQUAL.

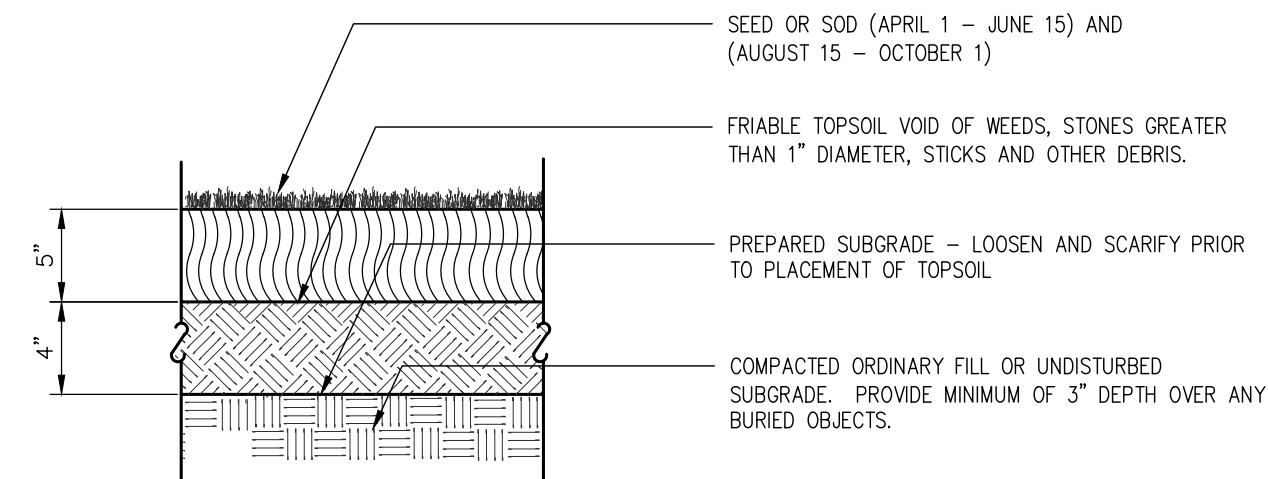


NOTE:

1. PROVIDE ALL DECIDUOUS TREES WITH "IRREGATOR" 20 GALLON IRRIGATION BAGS OR APPROVED EQUAL.

DECIDUOUS TREE PLANTING

NOT TO SCALE



NOTE:

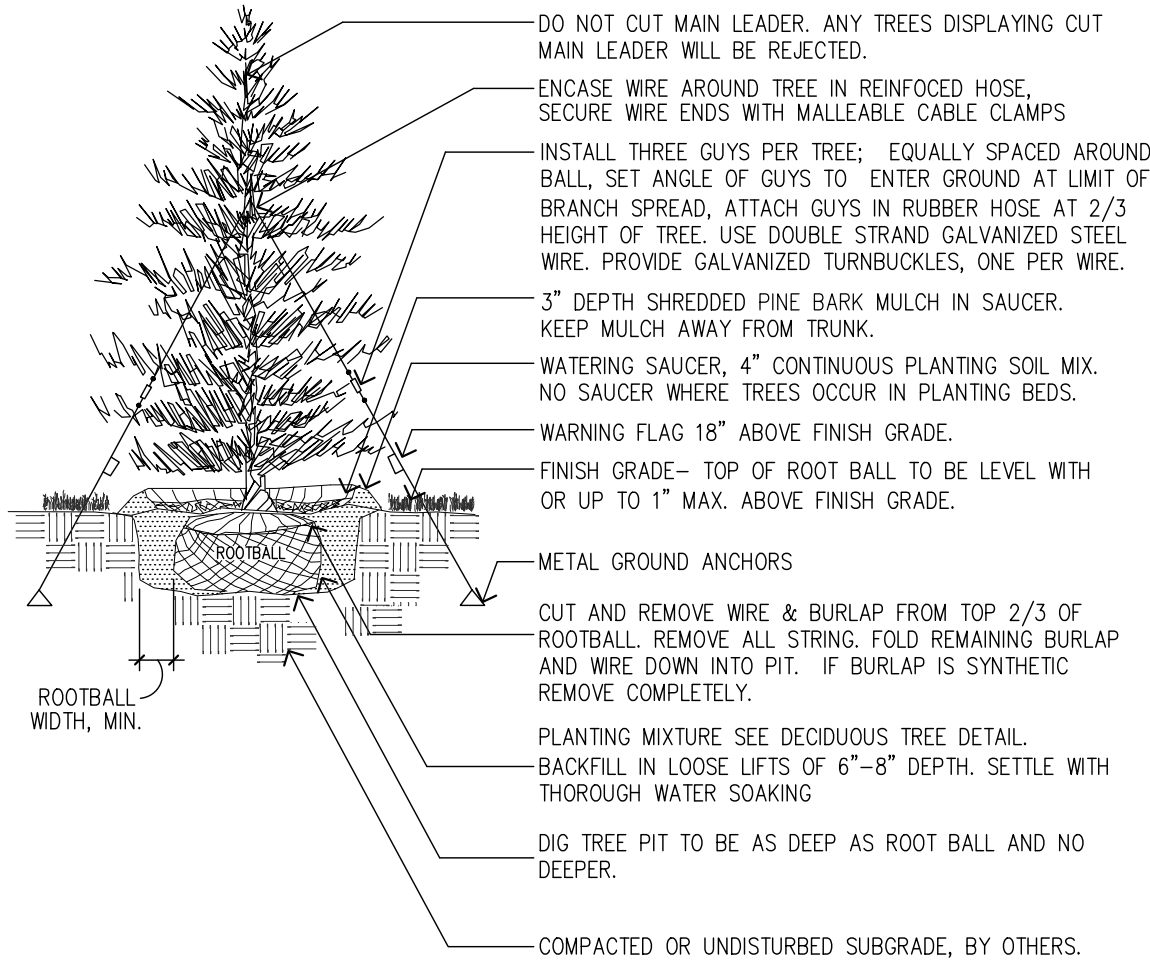
1. IF SEEDING OPERATIONS ARE COMPLETED TOO LATE IN THE FALL FOR ADEQUATE GERMINATION AND GROWTH OF GRASS, MAINTENANCE SHALL CONTINUE INTO FOLLOWING SPRING AND UNTIL FINAL ACCEPTANCE BY THE LAND. ARCH. AT NO ADDITIONAL COST TO OWNER.

LOAM AND SEED

NOT TO SCALE

C-09 NOTE

1. SEE C-08 FOR LANDSCAPE PLAN.



EVERGREEN TREE PLANTING

NOT TO SCALE

Jul 09, 2019 - 1:03pm  
F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80\_Landscape.dwg

PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110

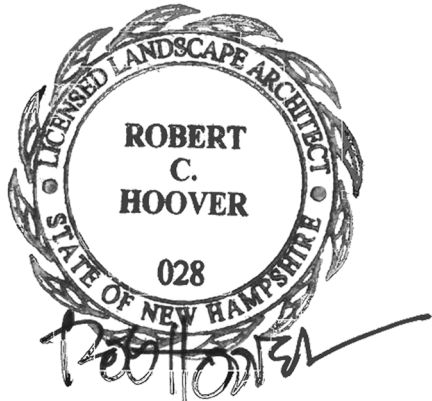
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

RECORDING NOTES

1. THIS LANDSCAPE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
2. THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
3. ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
4. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.



2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR	
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR	
REV.	DATE	DESCRIPTION	DR	CK	

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**LANDSCAPE NOTES, DETAILS, AND SCHEDULES**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40'  
1" = 80'

MAY 7, 2019



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

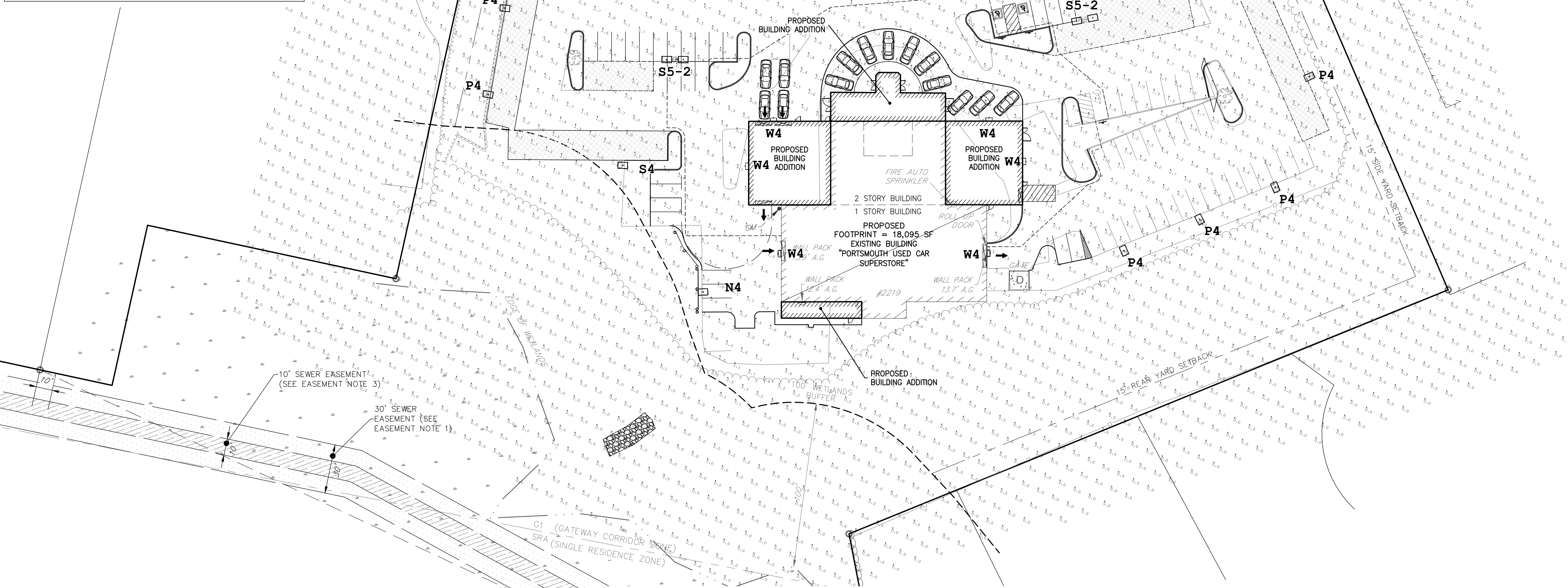
FILE	45407.80	DR	ETP	FB	
		CK	CRR	CADFILE	45407-80_Landscape.dwg

C-09



Jul 09, 2019 - 1:09pm  
F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - AcuraDesign\Production Drawings\45407-80\_Lighting.dwg

LEGEND	
EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
WV	WATER VALVE
GUY	GUY POLE
LP	LIGHT POST AND BASE
UP	UTILITY POLE
W	WETLAND
SW	SEWER MANHOLE
CB	CATCH BASIN
DT	DECIDUOUS TREE
GV	GAS VALVE
PS	PEA STONE



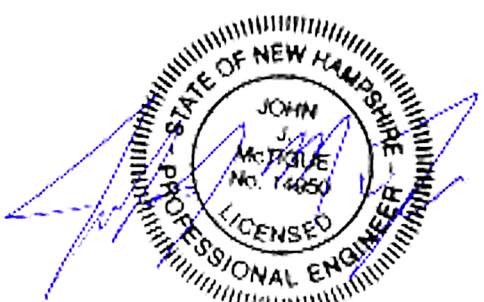
LIGHT POLE FIXTURE  
(N4, N5-2, P4, S5-2, SL, SR)



WALL MOUNTED FIXTURE  
W4

#### LIGHTING NOTES

- ALL FIXTURES SHALL BE LED FIXTURES MEETING FULL CUT-OFF, DARK SKY COMPLIANCE.
- ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE A MINIMUM COVER OF 24".
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPE.
- ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
- ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ABUTTING PROPERTIES.
- LUMINAIRES AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF 20' HIGH (SEE LUMINAIRE SCHEDULE).
- PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
- POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
- ALL LIGHT BASES TO BE SQUARE.
- LIGHTING DESIGN, CALCULATIONS, AND PHOTOMETRICS PROVIDED BY CHARRON, INC.



### SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**LIGHTING PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40'(22X34)  
1" = 80'(11X17)

MAY 7, 2019

#### PLANNING BOARD FILE #

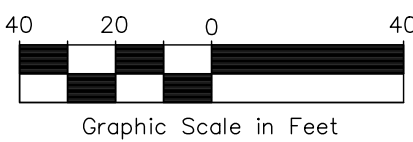
Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110  
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.  
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



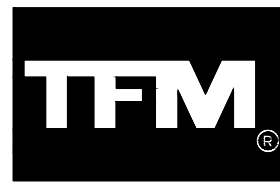
Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	1	N4	SINGLE	GLEON-AF-02-LED-E1-SL4-QM / NEW 20' POLE
	2	N5-2	BACK-BACK	2-GLEON-AF-02-LED-E1-5WQ-QM / NEW 20' POLE
	11	P4	SINGLE	GLEON-AF-02-LED-E1-SL4-QM / EXISTING 20' POLE
	4	S5-2	BACK-BACK	2-GLEON-AF-02-LED-E1-5WQ-QM / EXISTING 20' POLE
	6	SL	SINGLE	GLEON-AF-04-LED-E1-SLL-QM / EXISTING 20' POLE
	6	SR	SINGLE	GLEON-AF-04-LED-E1-SLR-QM / EXISTING 20' POLE
	6	W4	SINGLE	GWC-AF-01-LED-E1-SL4 / WALL MTD 15' AFG

StatArea\_1  
FRONT LINE  
Illuminance (Fc)  
Average = 13.70  
Maximum = 22.8  
Minimum = 4.6  
Avg/Min Ratio = 2.98  
Max/Min Ratio = 4.96

StatArea\_2  
PAVED LOT - 1888 FRONT LINE  
Illuminance (Fc)  
Average = 4.03  
Maximum = 22.3  
Minimum = 0.8  
Avg/Min Ratio = 5.04  
Max/Min Ratio = 27.88



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

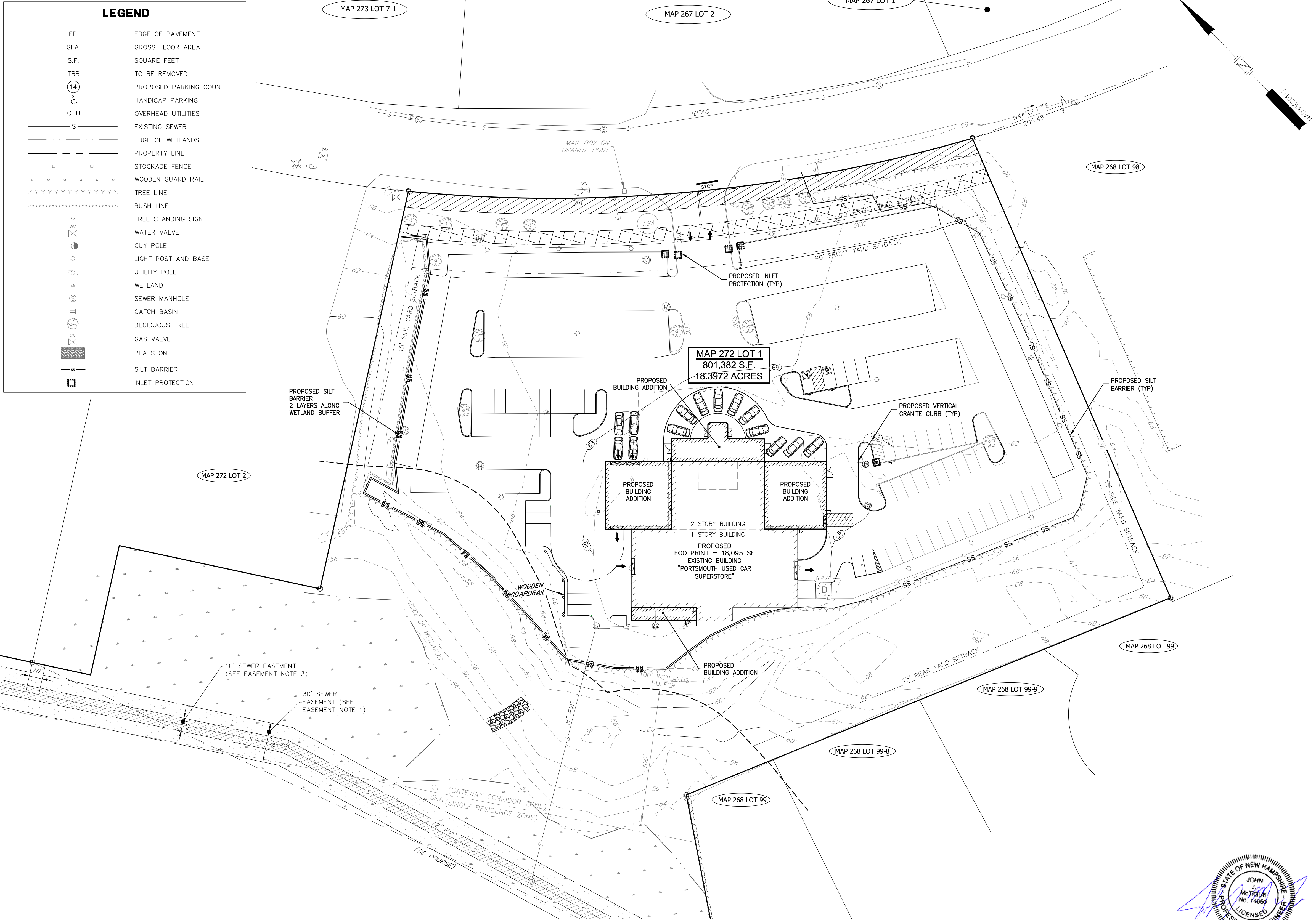
170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

FILE	45407.80	DR	ETP	FB		
		CK	CRR	CADFILE	45407-80_Lighting.dwg	C-10



Jul 09, 2019 - 1:09pm  
F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407 80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80\_Erosion.dwg

LEGEND	
EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
WV	WATER VALVE
GUY	GUY POLE
LIGHT	LIGHT POST AND BASE
UTILITY	UTILITY POLE
WETLAND	WETLAND
SEWER	SEWER MANHOLE
CATCH	CATCH BASIN
DECIDUOUS	DECIDUOUS TREE
GAS	GAS VALVE
PEA	PEA STONE
SILT	SILT BARRIER
INLET	INLET PROTECTION



EROSION CONTROL NOTES

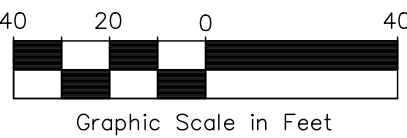
- SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
- INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
- PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
- DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
- SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
- CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1. DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
- INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10 INCH OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
- PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
  - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
- THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.  
48 Constitution Drive, Bedford, N.H. 03110  
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.  
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR

### SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**EROSION CONTROL PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40' (22X34)  
1" = 80' (11X17)

**MAY 7, 2019**

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

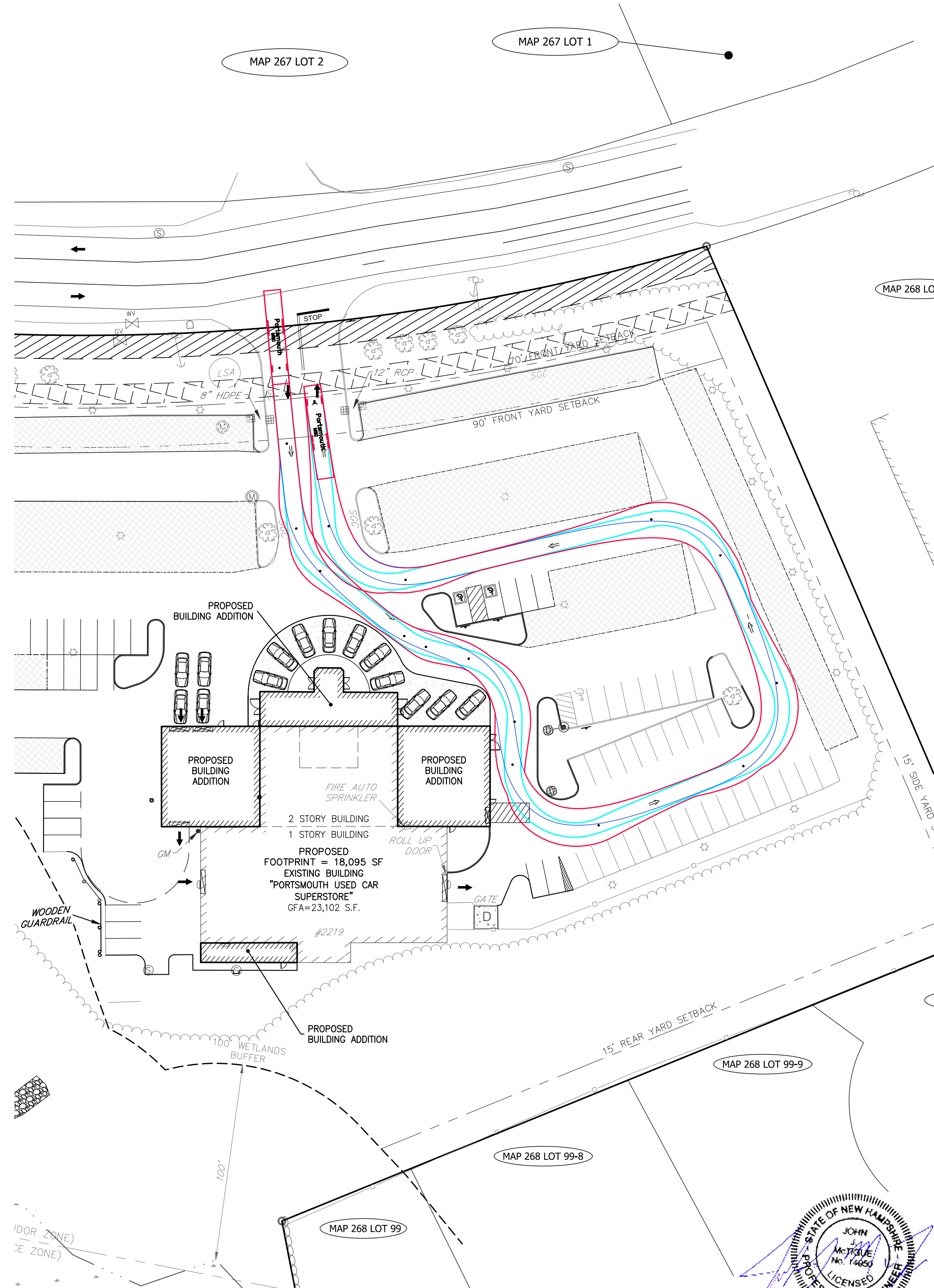
170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

FILE	45407.80	DR	RCK	FB	45407-80_Erosion.dwg	C-11
CK		CRR		CADFILE		





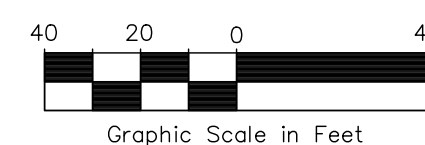




170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
[www.TFMoran.com](http://www.TFMoran.com)

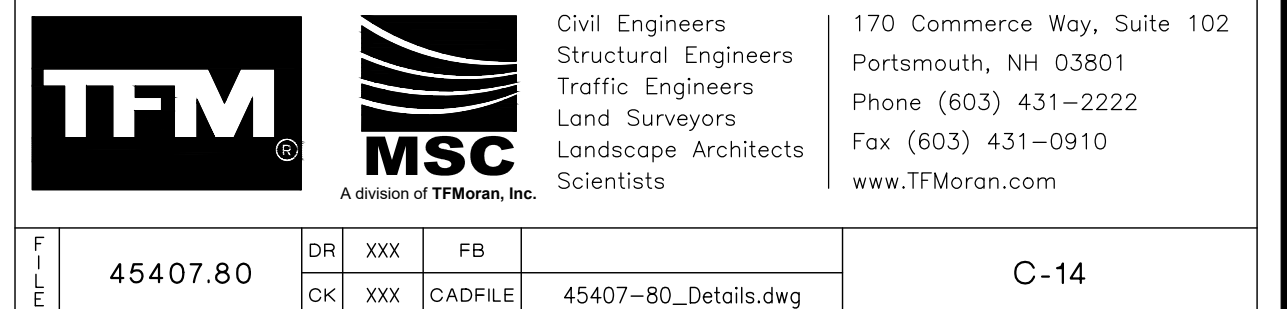
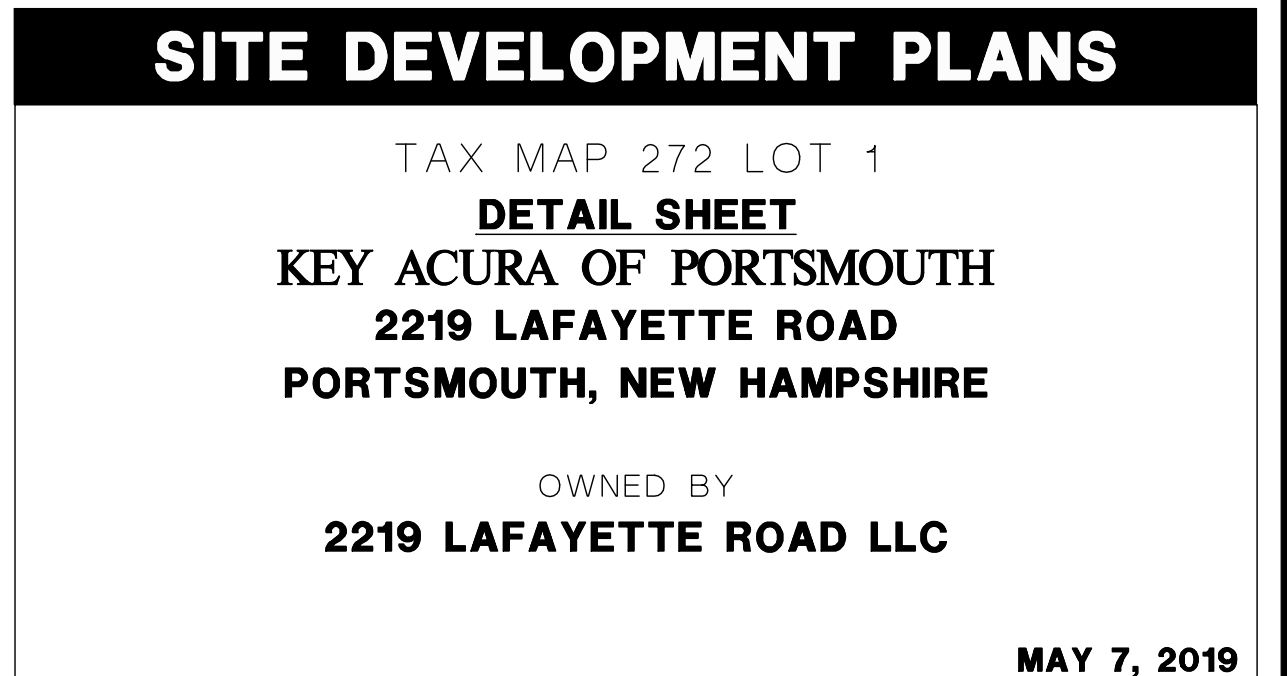
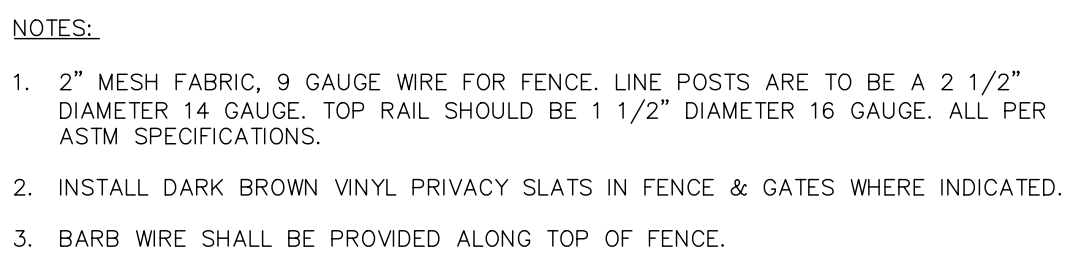
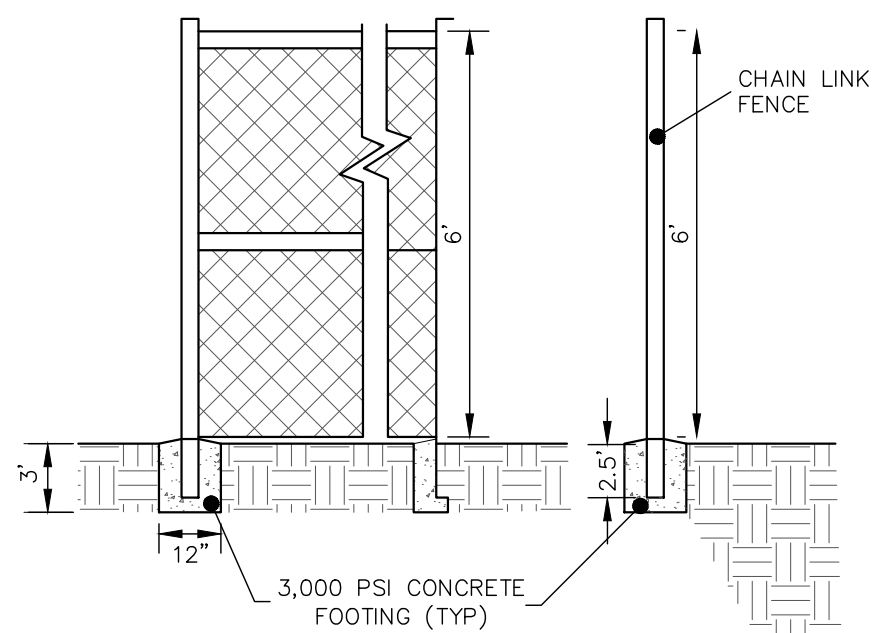
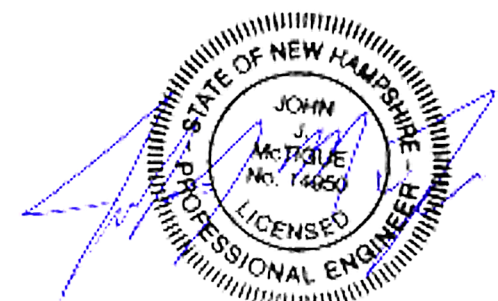
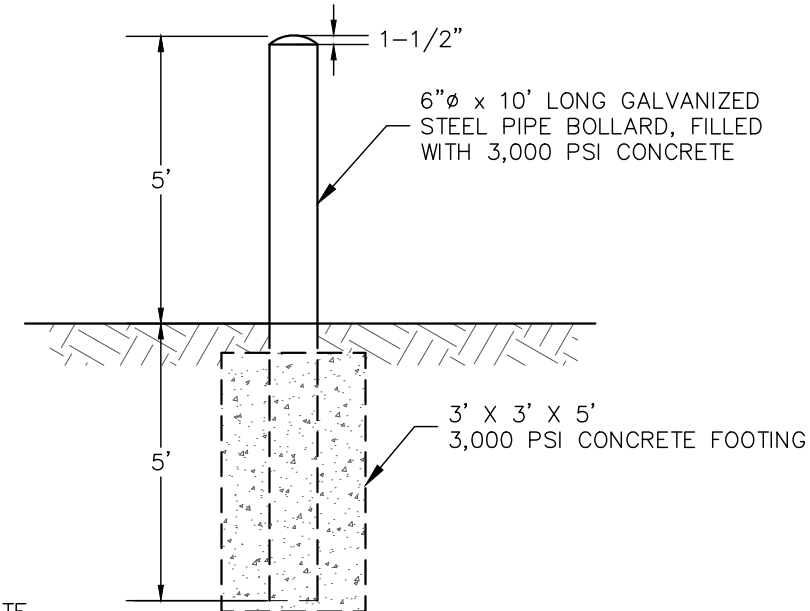
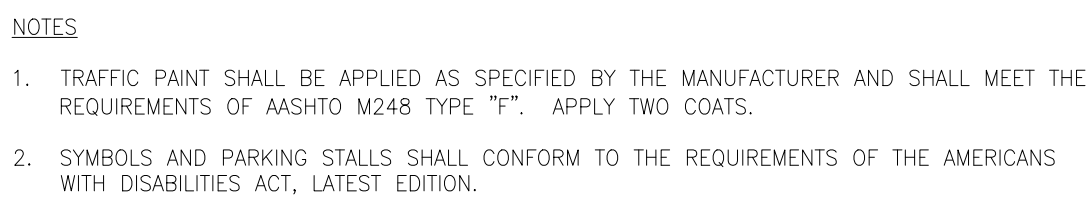
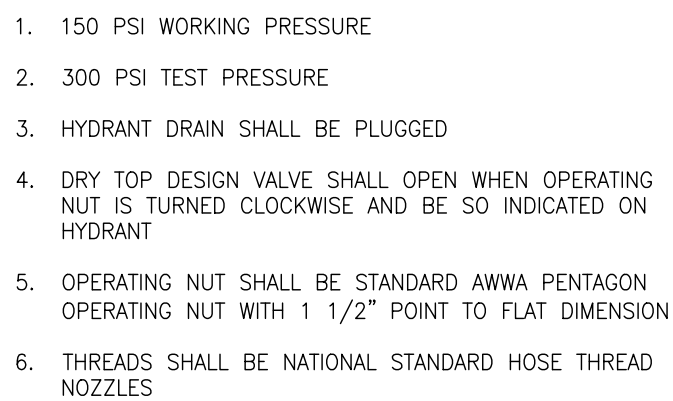
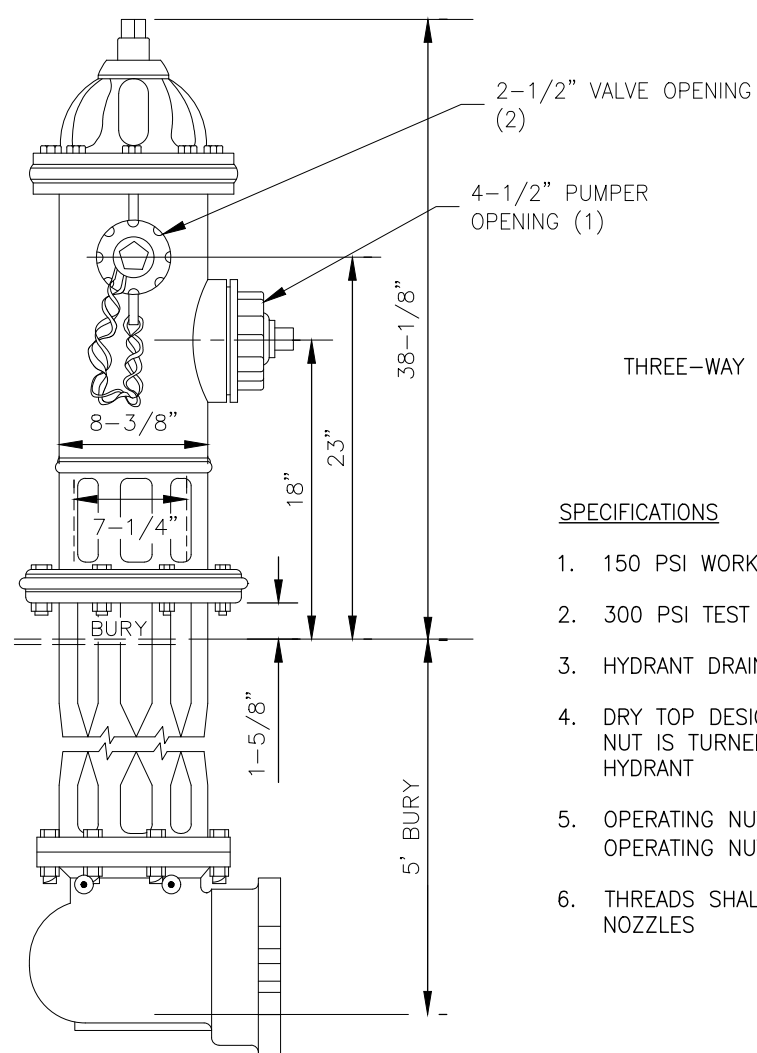
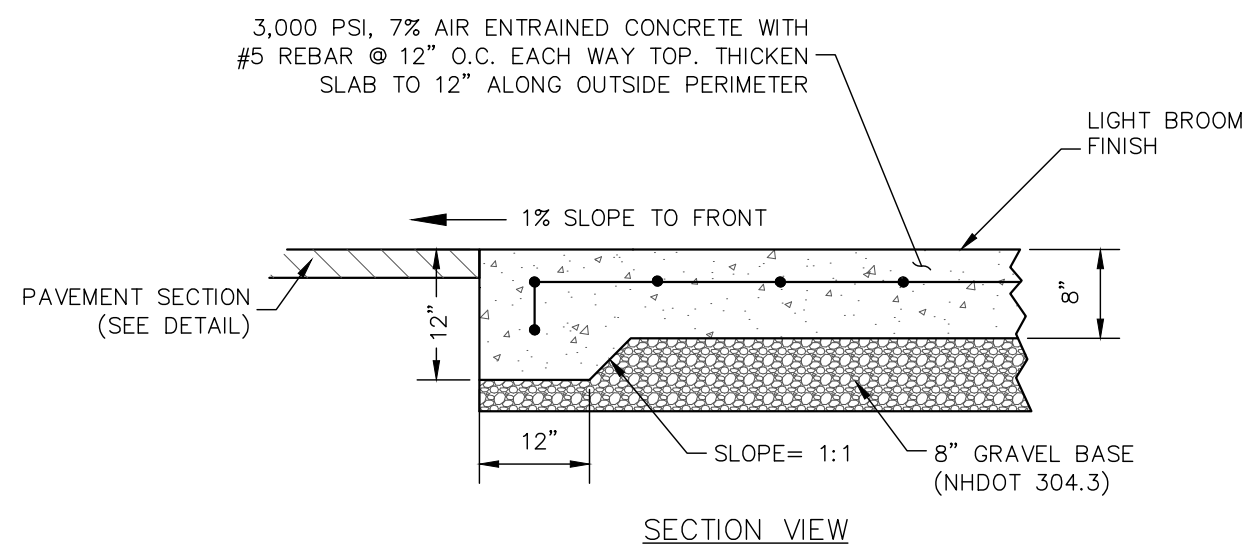
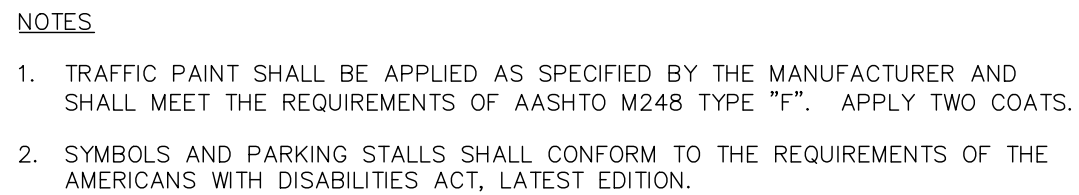
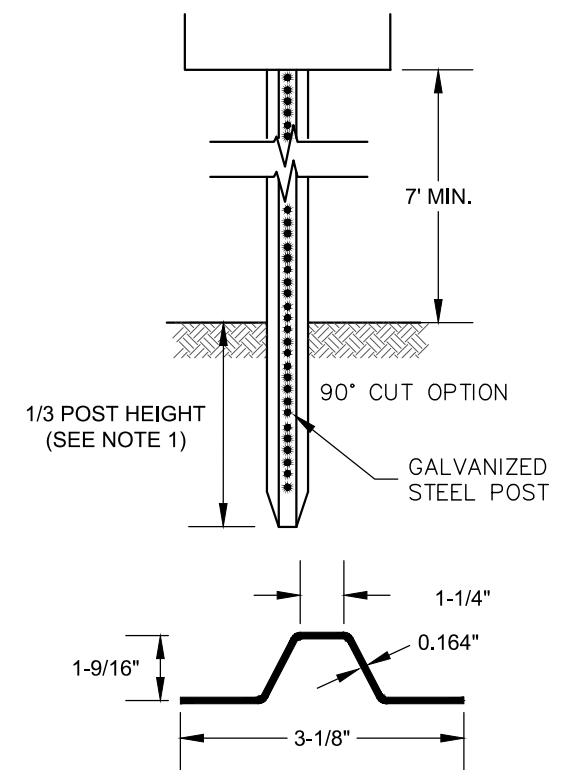
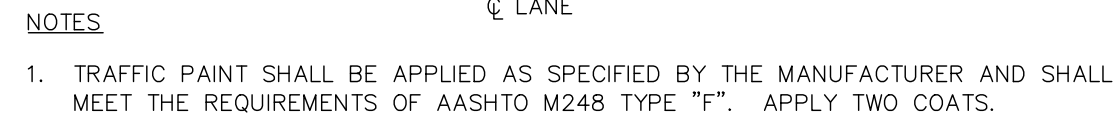
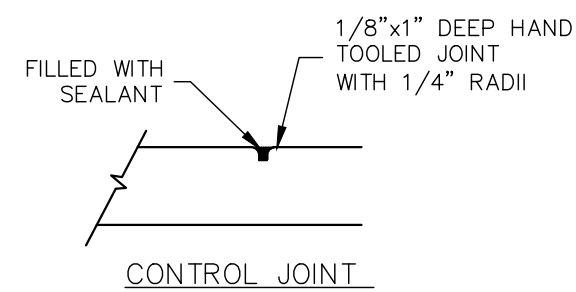
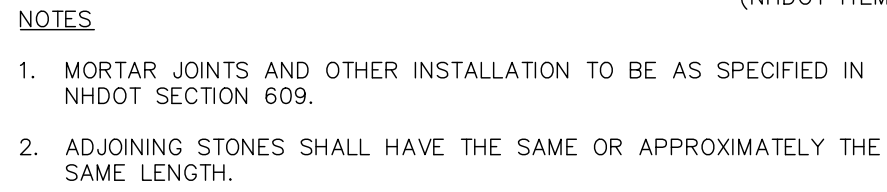
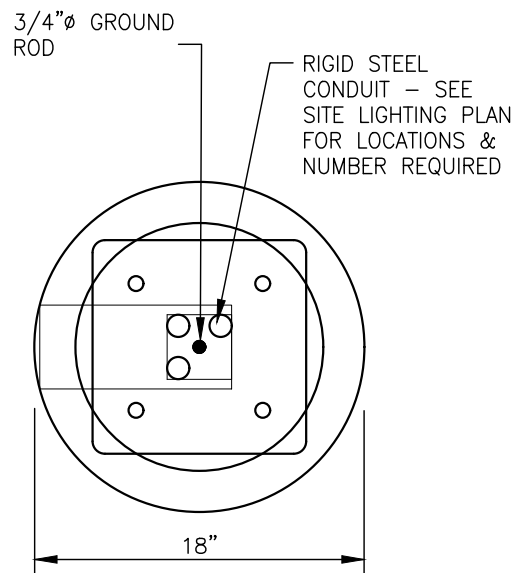
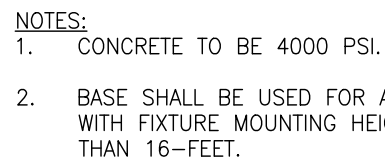
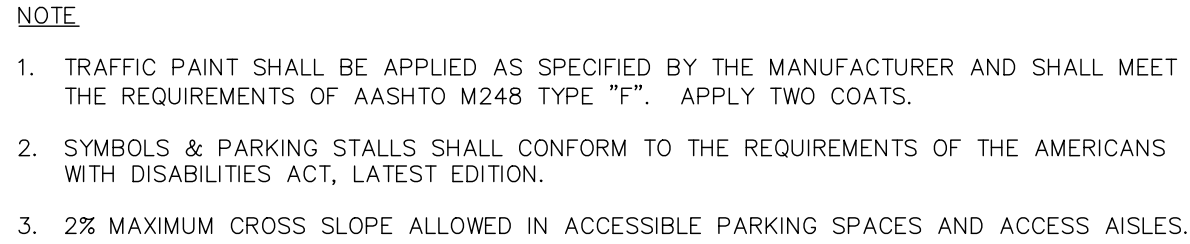
FILE	45407.80	DR	RCK	FB		C-13
		CK	CRR	CADFILE	45407-80_Truck.dwg	

CONTACT DIG SAFE 72 BUSINESS  
HOURS PRIOR TO CONSTRUCTION



2	7/8/19	REVISED PER TAG COMMENTS		RCK	GR
1	6/17/19	REVISED PER TAG COMMENTS		RCK	GR
REV.	DATE	DESCRIPTION		DR	CR

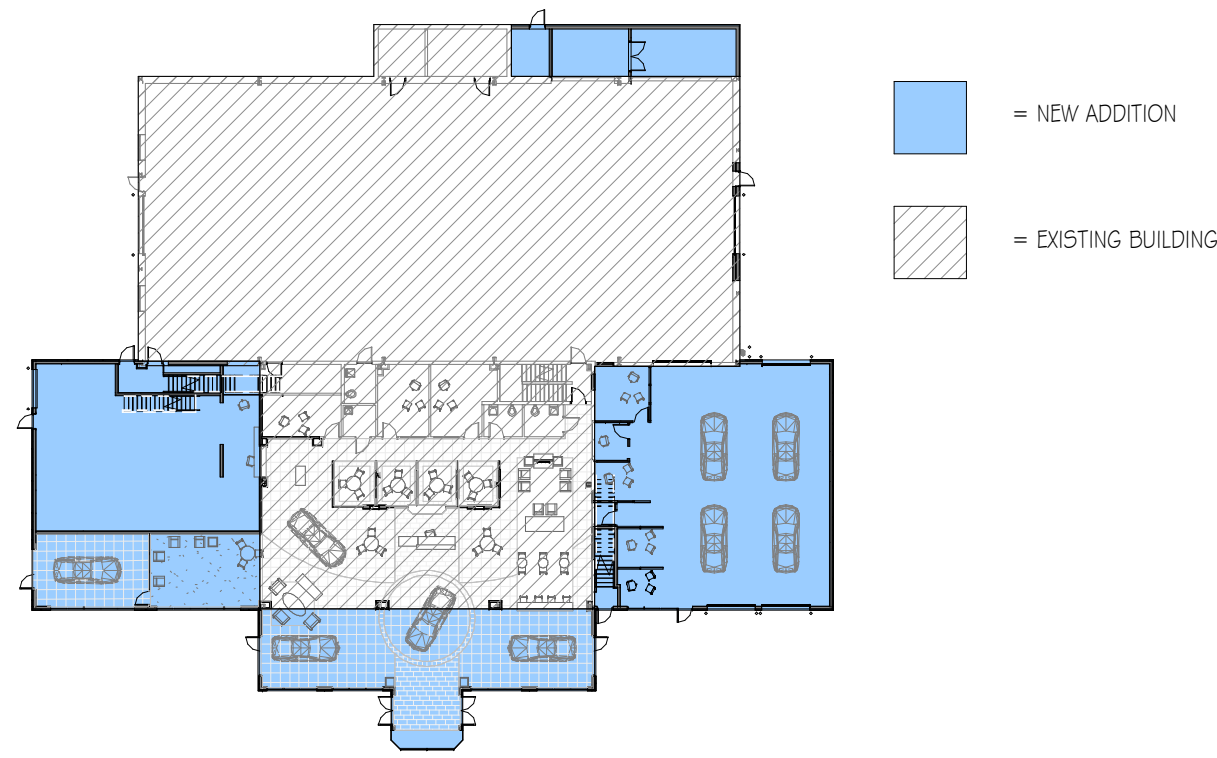




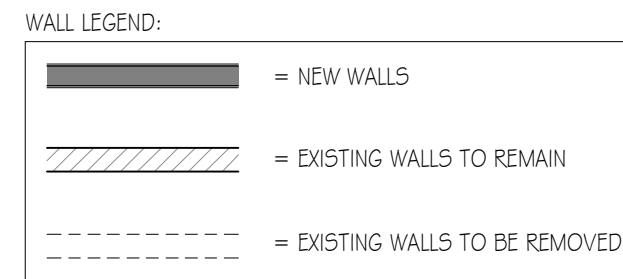




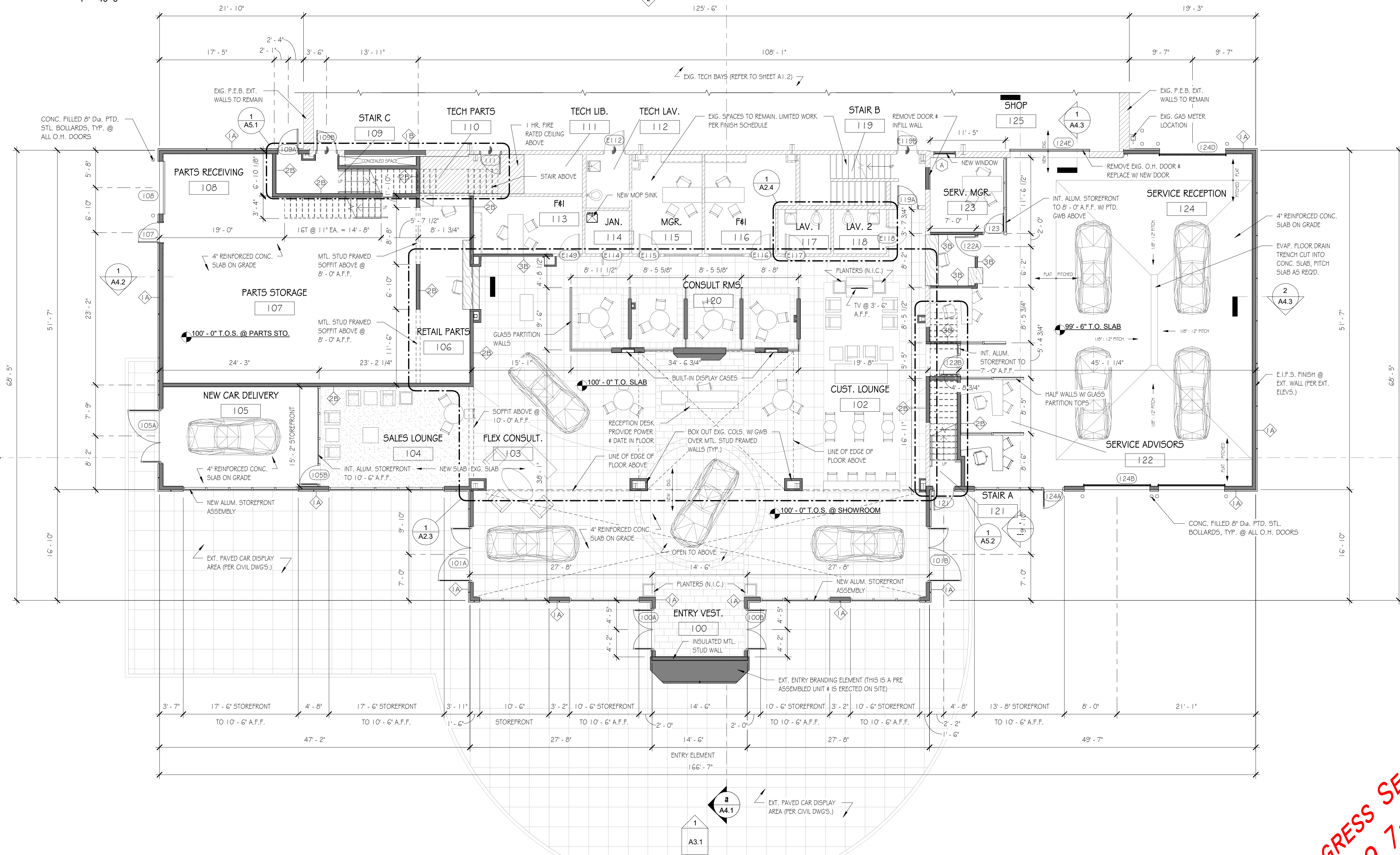




3 NEW VS. EXISTING KEY PLAN  
1" = 40'-0"



- FLOOR PLAN GENERAL NOTES:
- 1) REFER TO SHEETS A4.0 FOR WALL TYPE INFORMATION
  - 2) REFER TO SHEETS AG.2 FOR ROOM FINISH SCHEDULE
  - 3) REFER TO SHEETS AG.1 FOR DOOR & WINDOW SCHEDULE
  - 4) REFER TO SHEETS A1.4 & A1.5 FOR REFLECTED CEILING PLAN & LIGHTING FIXTURE SCHEDULE
  - 5) REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE SLAB THICKNESSES & REINFORCEMENT PLACEMENT LOCATIONS
  - 6) REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COLUMN SIZES & LOCATIONS
  - 7) GRID IS TO OUTSIDE FACE OF WALL OR CENTER LINE OF MAIN FRAME @ P.E.B. GRID IS TO CENTER LINE OF STEEL COLUMNS @ STRUCTURAL STEEL BUILDING
  - 8) ALL INTERIOR WALL DIMENSIONS ARE FROM CENTER OF WALL & OUTSIDE FACE OF EXT. WALL FOR NEW PARTITIONS
  - 9) REFER TO COVER SHEET FOR TYPICAL ABBREVIATIONS
  - 10) ALL UNDIMENSIONED DOORS TO MAINTAIN A MINIMUM JAMB DISTANCE OF 4" @ HINGE, U.N.O. OR SHOWN CENTERED IN WALL
  - 11) TOP OF FOUNDATION WALL @ ALL NEW EXTERIOR DOORS TO BE DROPPED 8" TO EL. 99'-4" REFER TO STRUCTURAL DRAWINGS
  - 12) REFER TO SHEET CR.2 FOR ALL NEW PLUMBING FIXTURE DIMENSIONAL CRITERIA. FIXTURE TAGS REFERENCE PARTICULAR FIXTURE
  - 13) REFER TO CIVIL DWGS. FOR SIDE WALK & PARKING LAYOUT
  - 14) REFER TO SHEET A1.2 FOR TECHNICIAN BAY FLOOR PLAN



1 EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:

**Key Acura of Portsmouth**

2219 Lafayette Rd.  
Portsmouth, NH

Sheet Status:

Latest Release:  
Issued For: Progress Set  
Org. Issue Date: N.F.C.

JOB NO:  
DRAFTED: MLN  
CHECKED: JMT  
SCALE: As indicated

Sheet Title:

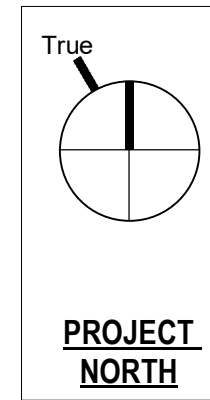
**First Floor Plan**

Sheet Number:

**A1.1**

Printed on: 4/11/2019 7:40:48 AM

PROGRESS SET  
4/11/2019 7:40:48 AM


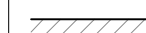



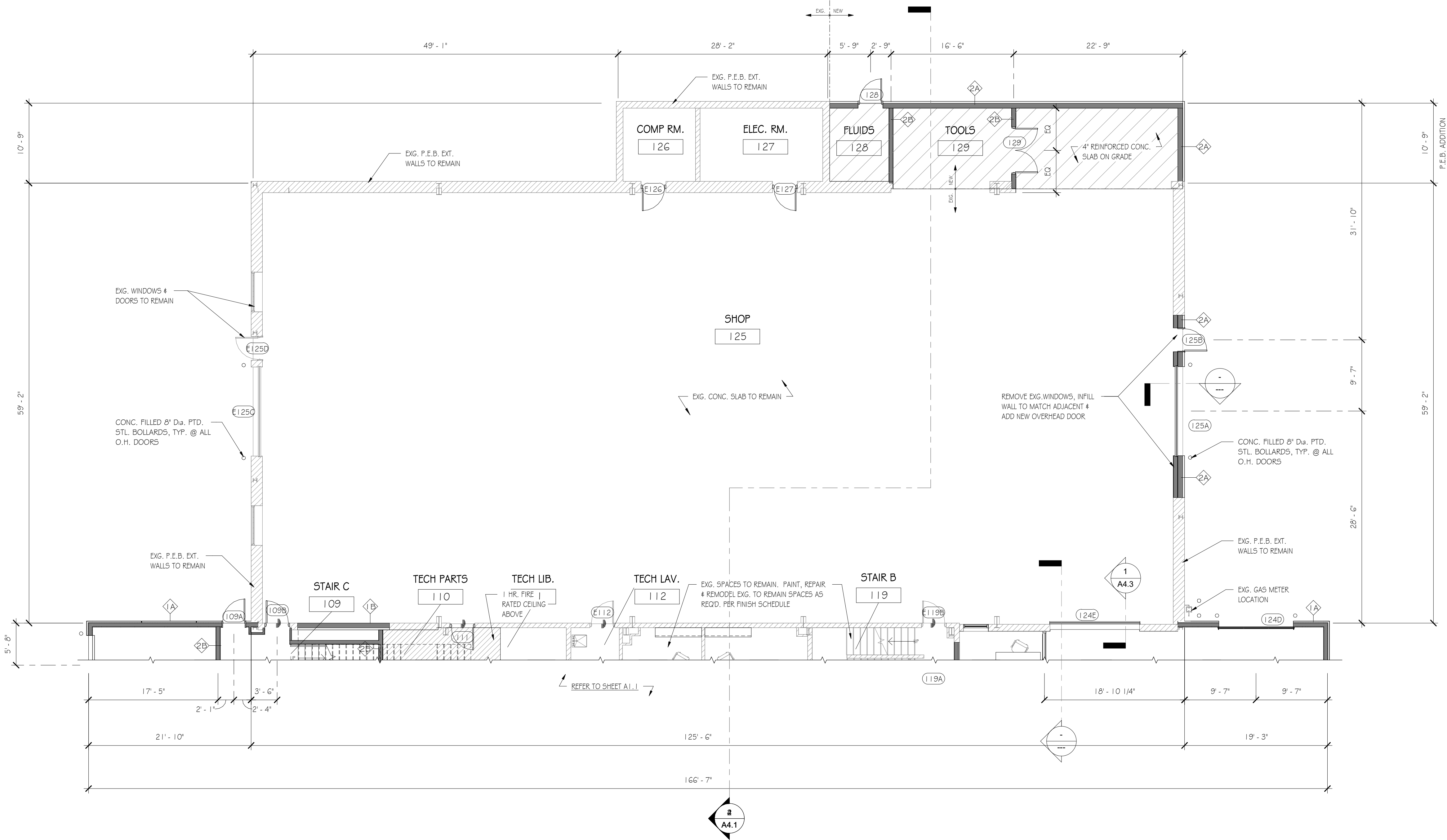


FLOOR PLAN GENERAL NOTES:

- 1) REFER TO SHEETS A4.0 FOR WALL TYPE INFORMATION
- 2) REFER TO SHEETS A6.2 FOR ROOM FINISH SCHEDULE
- 3) REFER TO SHEETS A6.1 FOR DOOR & WINDOW SCHEDULE
- 4) REFER TO SHEETS A1.4 & A1.5 FOR REFLECTED CEILING PLAN & LIGHTING FIXTURE SCHEDULE
- 5) REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE SLAB THICKNESSES & REINFORCEMENT PLACEMENT LOCATIONS
- 6) REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COLUMN SIZES & LOCATIONS
- 7) GRID 15 IS TO OUTSIDE FACE OF WALL GRT OR CENTER LINE OF MAIN FRAME @ P.E.B. GRID 15 IS TO CENTER LINE OF STEEL COLUMNS @ STRUCTURAL STEEL BUILDING
- 8) ALL INTERIOR WALL DIMENSIONS ARE FROM CENTER OF WALL & OUTSIDE FACE OF EXT. WALL FOR NEW PARTITIONS
- 9) REFER TO COVER SHEET FOR TYPICAL ABBREVIATIONS
- 10) ALL UNDIMENSIONED DOORS TO MAINTAIN A MINIMUM JAMB DISTANCE OF 4" @ HINGE, U.N.O. OR SHOWN CENTERED IN WALL
- 11) TOP OF FOUNDATION WALL @ ALL NEW EXTERIOR DOORS TO BE DROPPED 8" TO EL. 99'-4" REFER TO STRUCTURAL DRAWINGS
- 12) REFER TO SHEET CR.2 FOR ALL NEW PLUMBING FIXTURE DIMENSIONAL CRITERIA. FIXTURE TAGS REFERENCE PARTICULAR FIXTURE
- 13) REFER TO CIVIL DWGS. FOR SIDE WALK & PARKING LAYOUT
- 14) REFER TO SHEET A1.2 FOR TECHNICIAN BAY FLOOR PLAN

WALL LEGEND:

-  = NEW WALLS
-  = EXISTING WALLS TO REMAIN
-  = EXISTING WALLS TO BE REMOVED



① SHOP FLOOR PLAN  
1/8" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:  
**Key Acura of Portsmouth**  
  
2219 Lafayette Rd.  
Portsmouth, NH

Sheet Status:  
Latest Release:  
Issued For: Progress Set  
Org. Issue Date: N.F.C.  
  
JOB NO:  
DRAFTED: MLN  
CHECKED: JMT  
  
SCALE: As indicated

Sheet Title:  
**Shop Floor Plan**

Sheet Number:  
**A1.2**

**PROGRESS SET**  
**4/11/2019 7:40:49 AM**

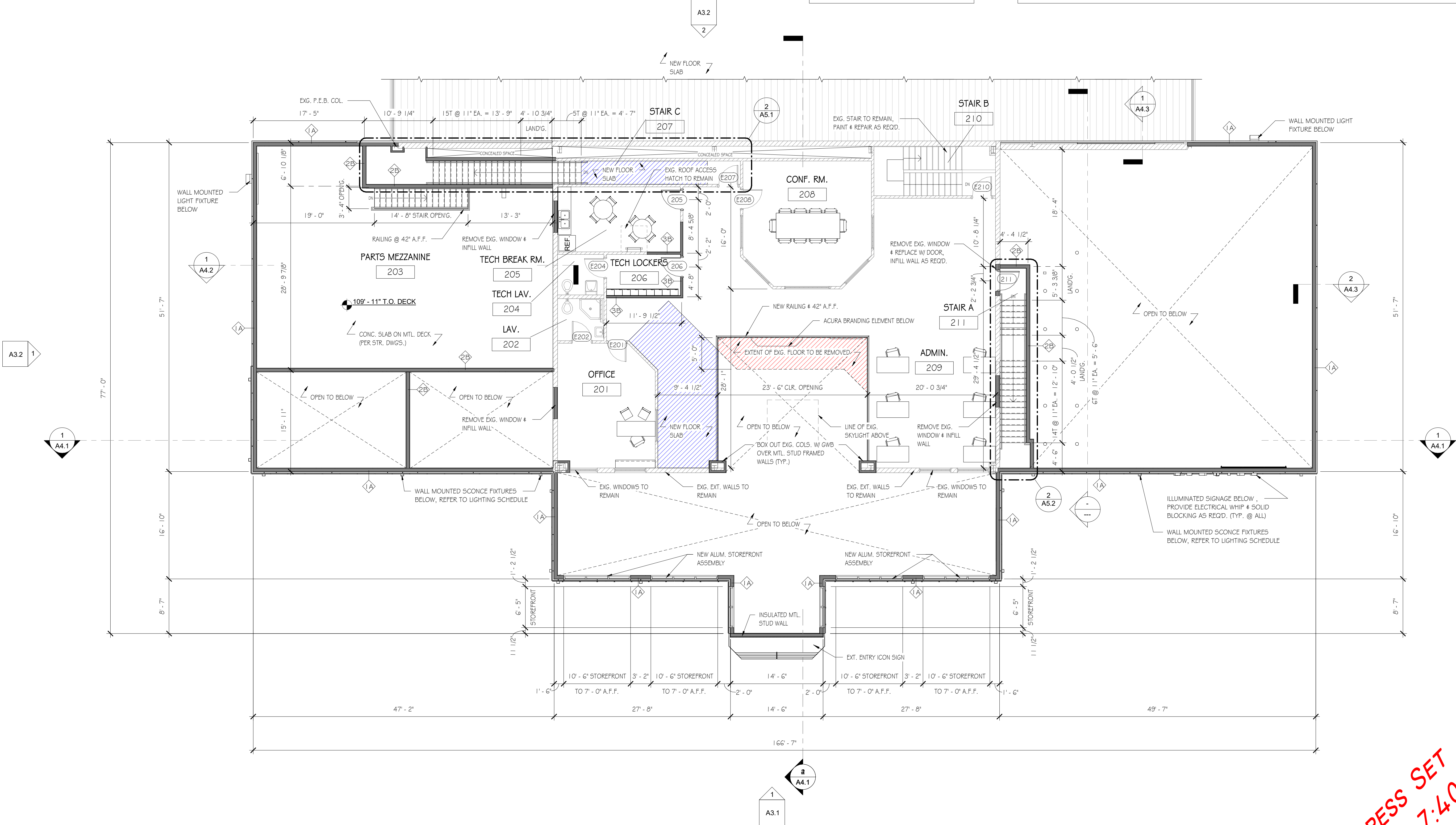


FLOOR PLAN GENERAL NOTES:

- 1) REFER TO SHEETS A4.0 FOR WALL TYPE INFORMATION
- 2) REFER TO SHEETS A6.2 FOR ROOM FINISH SCHEDULE
- 3) REFER TO SHEETS A6.1 FOR DOOR & WINDOW SCHEDULE
- 4) REFER TO SHEETS A1.4 & A1.5 FOR REFLECTED CEILING PLAN & LIGHTING FIXTURE SCHEDULE
- 5) REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE SLAB THICKNESSES & REINFORCEMENT PLACEMENT LOCATIONS
- 6) REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COLUMN SIZES & LOCATIONS
- 7) GRID IS TO OUTSIDE FACE OF WALL GIRT OR CENTER LINE OF MAIN FRAME @ P.E.B. GRID IS TO CENTER LINE OF STEEL COLUMNS @ STRUCTURAL STEEL BUILDING
- 8) ALL INTERIOR WALL DIMENSIONS ARE FROM CENTER OF WALL & OUTSIDE FACE OF EXT. WALL FOR NEW PARTITIONS
- 9) REFER TO COVER SHEET FOR TYPICAL ABBREVIATIONS
- 10) ALL UNDIMENSIONED DOORS TO MAINTAIN A MINIMUM JAMB DISTANCE OF 4" @ HINGE, U.N.O. OR SHOWN CENTERED IN WALL
- 11) TOP OF FOUNDATION WALL @ ALL NEW EXTERIOR DOORS TO BE DROPPED 8" TO EL. 99'-4" REFER TO STRUCTURAL DRAWINGS
- 12) REFER TO SHEET CR.2 FOR ALL NEW PLUMBING FIXTURE DIMENSIONAL CRITERIA. FIXTURE TAGS REFERENCE PARTICULAR FIXTURE
- 13) REFER TO CIVIL DWGS. FOR SIDE WALK & PARKING LAYOUT
- 14) REFER TO SHEET A1.2 FOR TECHNICIAN BAY FLOOR PLAN

WALL LEGEND:

- = NEW WALLS
- = EXISTING WALLS TO REMAIN
- = EXISTING WALLS TO BE REMOVED



① SECOND FLOOR  
1/8" = 1'-0"

**PROGRESS SET**  
4/11/2019 7:40:52 AM

No.	Description	Date
Revision Schedule		

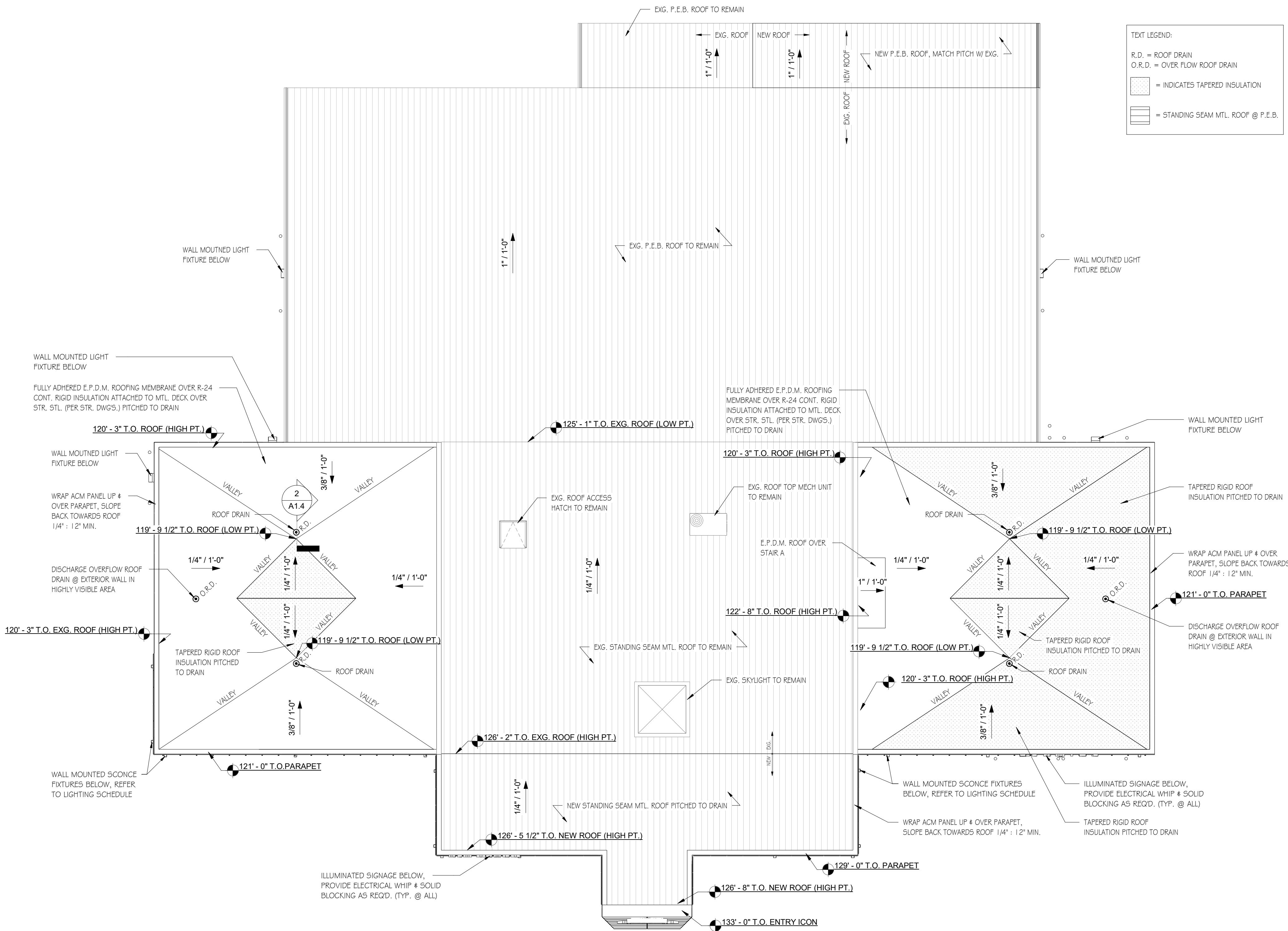
Project Info:  
**Key Acura of Portsmouth**  
  
2219 Lafayette Rd.  
Portsmouth, NH

Sheet Status:  
Latest Release:  
Issued For: Progress Set  
Org. Issue Date: N.F.C.  
  
JOB NO:  
DRAFTED: MLN  
CHECKED: JMT  
  
SCALE: As indicated

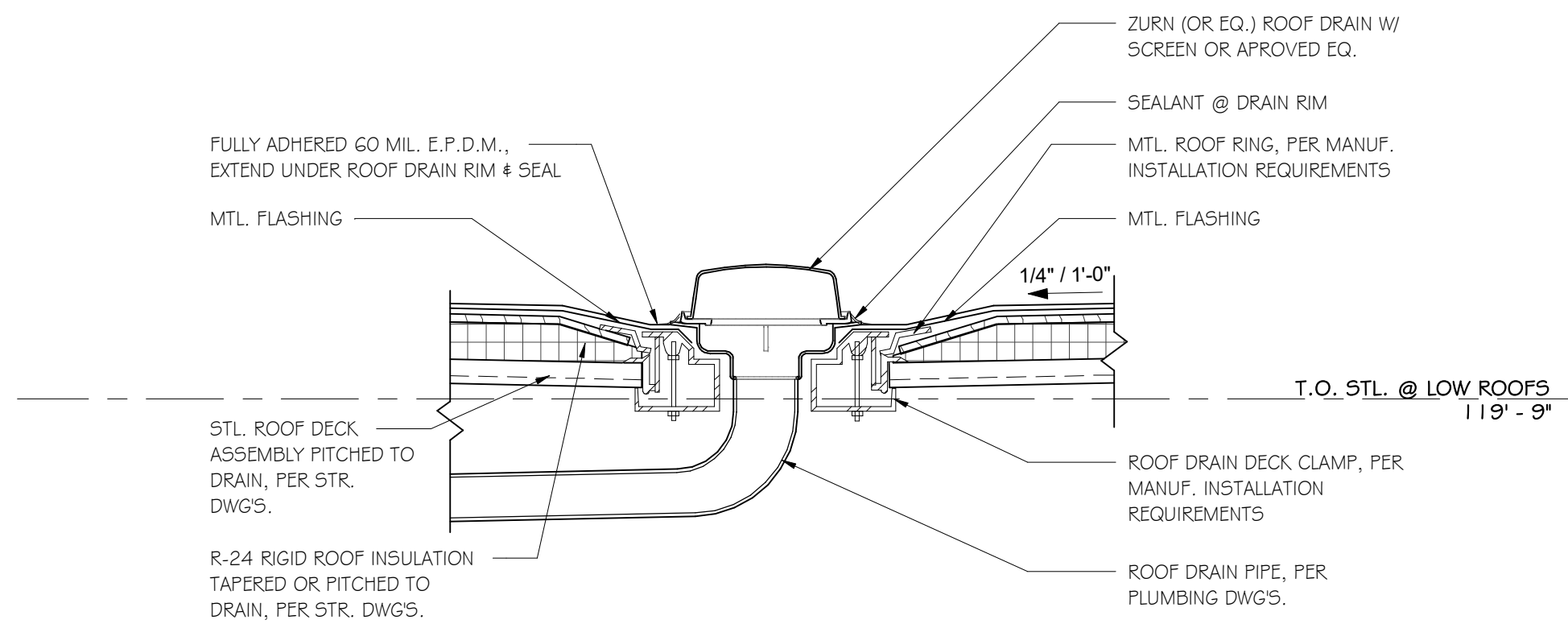
Sheet Title:  
**Second Floor Plan**

Sheet Number:  
**A1.3**





- TEXT LEGEND:
- R.D. = ROOF DRAIN  
O.R.D. = OVER FLOW ROOF DRAIN
- [Symbol] = INDICATES TAPERED INSULATION
- [Symbol] = STANDING SEAM MTL. ROOF @ P.E.B.
- GENERAL ROOF PLAN NOTES:
- 1) ALL ROOF SLOPES @ E.P.D.M. ROOFS ARE 1/4" PER FOOT MIN.
  - 2) PITCH STEEL AS REQD. TO ACHIEVE ROOF SLOPES INDICATED ON DWGS.
  - 3) HATCH INDICATES EXTENT OF SLOPED ROOF INSULATION
  - 4) ALL E.P.D.M. ROOFS TO BE 60 MIL FULLY ADHERED E.P.D.M.
  - 5) MIN. ROOF INSULATION THICKNESS SHALL BE 3"
  - 6) WRAP ACM PANELS UP & OVER T.O. PARAPET. SLOPED BACK TOWARDS ROOF @ 1/4" : 12" MIN., REFER TO SECTIONS FOR MORE DETAILS
  - 7) NEW P.E.B. ROOF & NEW STANDING SEAM MTL. ROOF OVER SHOWROOM ADDITION TO MATCH PITCH OF EXG. ADJACENT ROOF



2 ROOF DRAIN SECTION DETAIL  
1" = 1'-0"

No.	Description	Date
	Revision Schedule	

Project Info:

**Key Acura of Portsmouth**

2219 Lafayette Rd.  
Portsmouth, NH

Sheet Status:

Latest Release:  
Issued For: Progress Set  
Org. Issue Date: N.F.C.

JOB NO:  
DRAFTED: MLN  
CHECKED: JMT

SCALE: As indicated

Sheet Title:

**Roof Plan**

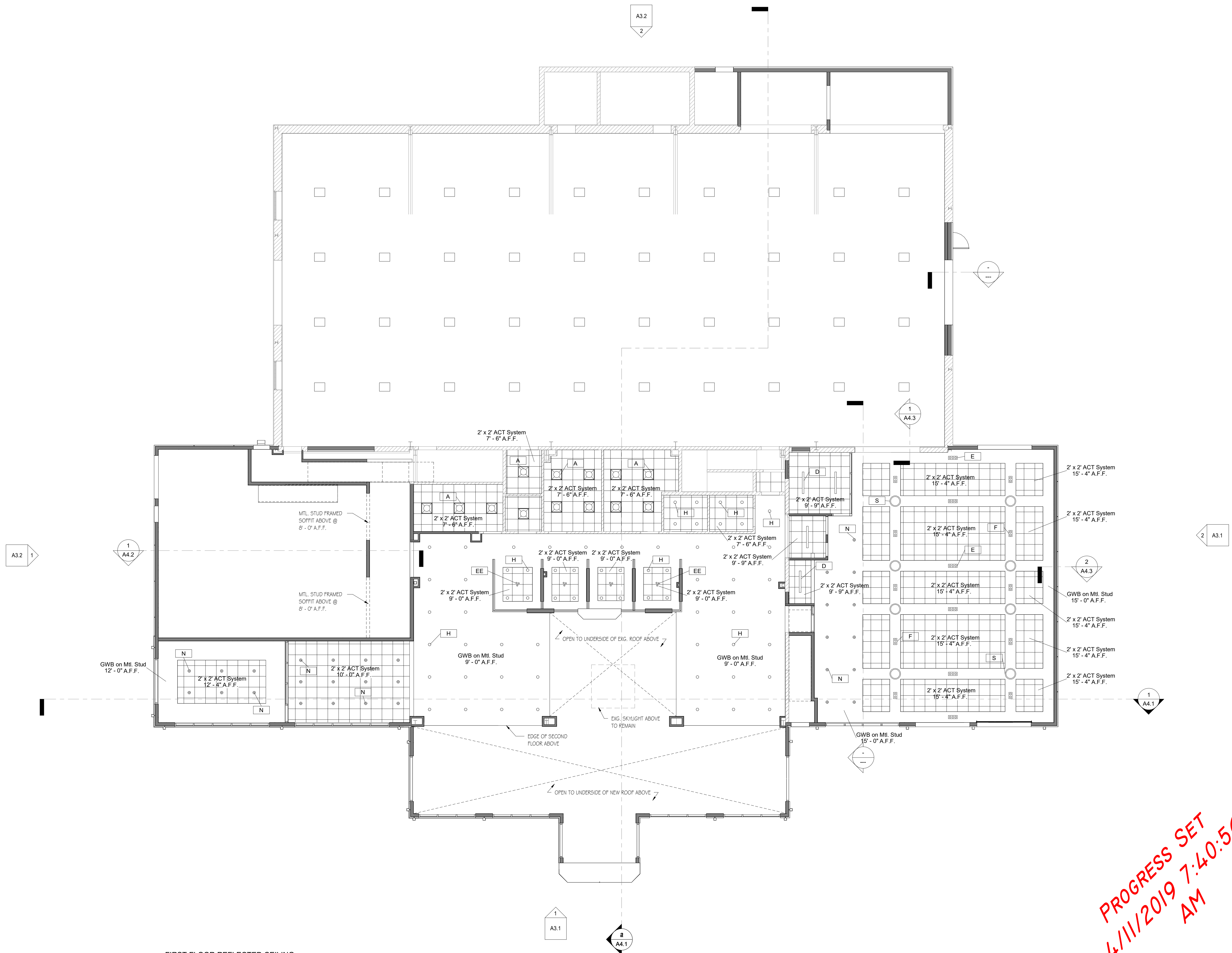
Sheet Number:

**A1.4**

Printed on: 4/11/2019 7:40:53 AM

PROGRESS SET  
4/11/2019 7:40:53 AM





**FIRST FLOOR REFLECTED CEILING  
PLAN**  
1/8" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:  
**Key Acura  
of  
Portsmouth**  
  
**2219 Lafayette  
Rd.  
Portsmouth, NH**

Sheet Status:  
Latest Release:  
Issued For: Progress Set  
Org. Issue Date: N.F.C.  
  
JOB NO:  
DRAFTED: MLN  
CHECKED: JMT  
  
SCALE: 1/8" = 1'-0"

Sheet Title:  
**First Floor  
Reflected Ceiling  
Plan**

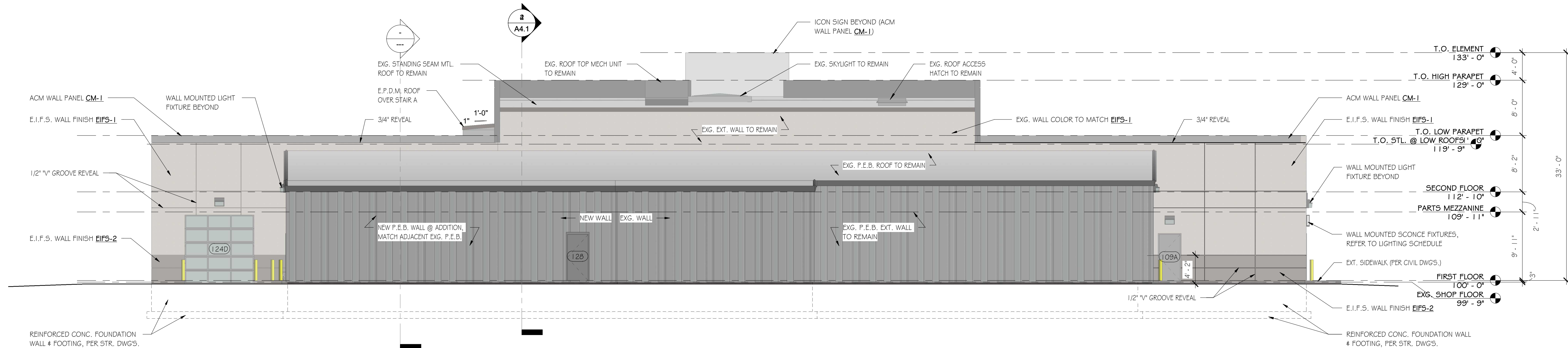
Sheet Number:  
**A2.1**

**PROGRESS SET  
4/11/2019 7:40:56  
AM**





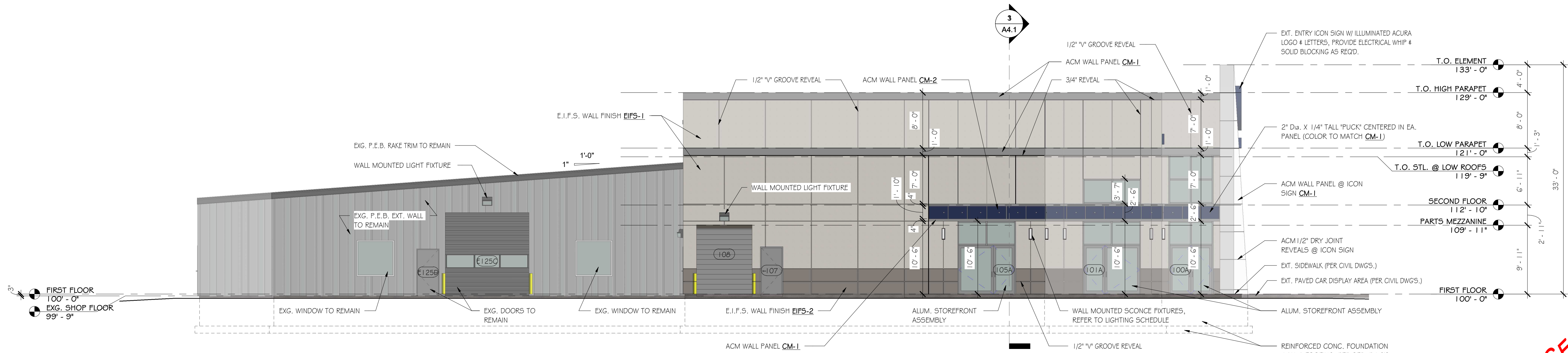




PROPOSED REAR EXTERIOR  
ELEVATION  
②  
1/8" = 1'-0"

- ELEVATION NOTES:
- 1) REFER TO SHEET A3.3 FOR ALL LOCATIONS OF E.I.F.S. 3/4" REVEALS & 1/2" "V" GROOVES
  - 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
  - 3) REFER TO SHEET A6.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
  - 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TYPES
  - 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
  - 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER ACURA DESIGN STANDARDS
  - 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTORS DESIGN / BUILD ENGINEER
  - 8) ALL ALPOUC ACM PANELS TO BE DRY-JOINT SYSTEM

- EXTERIOR FINISH SCHEDULE
1. CM-1 = COMPOSITE METAL PANEL - "CHAMPAGNE METALLIC" COLOR (ALPOUC OR APPROVED EQ.)
  2. CM-2 = COMPOSITE METAL PANEL - "AUB BLUE" COLOR (ALPOUC OR APPROVED EQ.)
  3. EIFS-1 = EXTERIOR INSULATING FINISH SYSTEM - "WHITE ASH" COLOR (DRYVIT AMERISTONE SERIES)
  4. EIFS-2 = EXTERIOR INSULATING FINISH SYSTEM - "KING'S GRAY" COLOR (DRYVIT QUARZPUTZ SERIES)



PROPOSED LEFT SIDE EXTERIOR  
ELEVATION  
①  
1/8" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:  
**Key Acura of Portsmouth**  
  
2219 Lafayette Rd.  
Portsmouth, NH

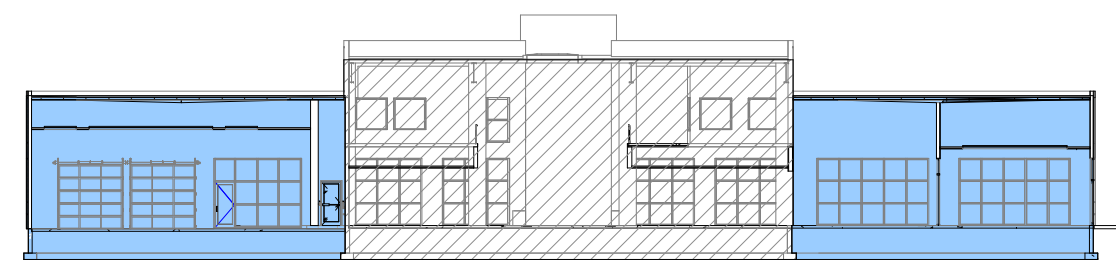
Sheet Status:  
Latest Release:  
Issued For: Progress Set  
Org. Issue Date: N.F.C.  
  
JOB NO:  
DRAFTED: MLN  
CHECKED: JMT  
  
SCALE: 1/8" = 1'-0"

Sheet Title:  
**Proposed Exterior Elevations**

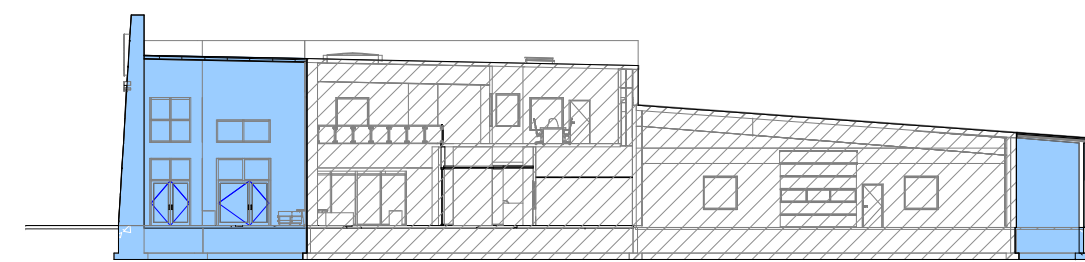
Sheet Number:  
**A3.2**

**PROGRESS SET**  
4/11/2019 7:41:39 AM

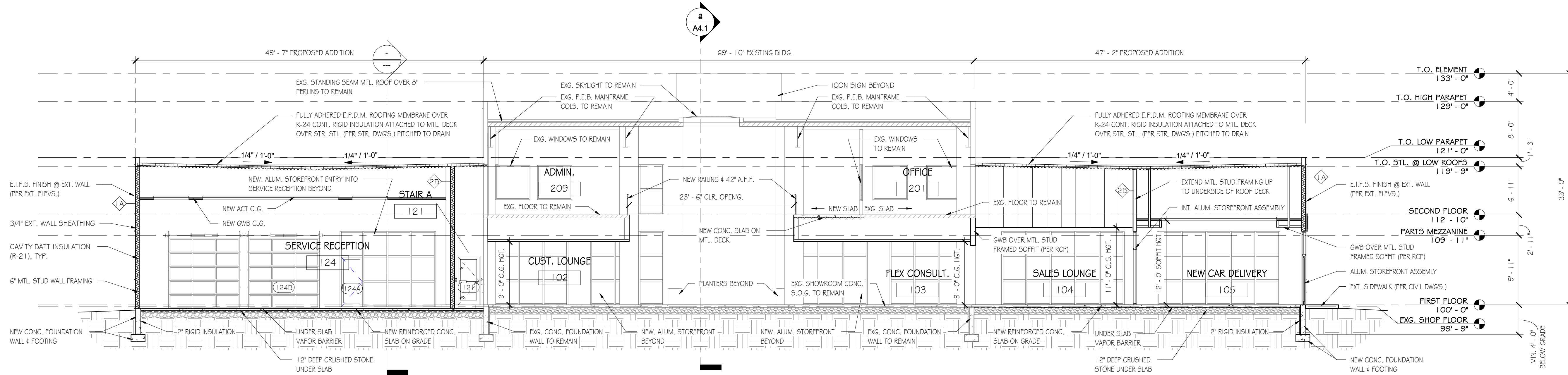




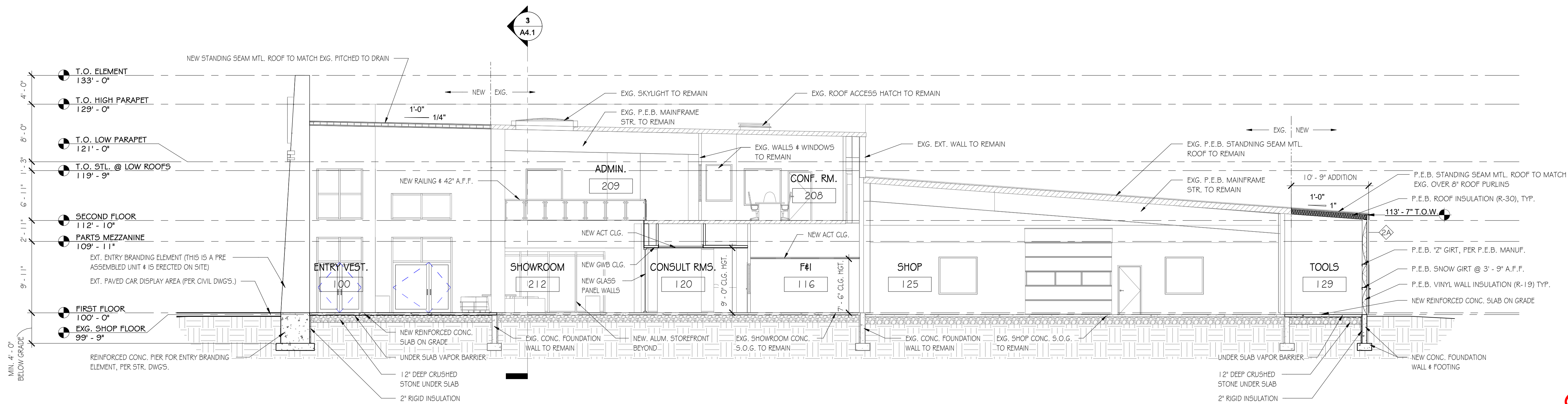
3 NEW VS. EXISTING KEY SECTION "A"  
1" = 30'-0"



4 NEW VS. EXISTING KEY SECTION "B"  
1" = 30'-0"



1 BUILDING SECTION "A"  
1/8" = 1'-0"



2 BUILDING SECTION "B"  
1/8" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:  
**Key Acura  
of  
Portsmouth**  
  
2219 Lafayette  
Rd.  
Portsmouth, NH

Sheet Status:  
Latest Release:  
Issued For: Progress Set  
Org. Issue Date: N.F.C.

JOB NO:  
DRAFTED: MLN  
CHECKED: JMT  
SCALE: As indicated

Sheet Title:  
**Building Sections**

Sheet Number:  
**A4.1**

Printed on: 4/11/2019 7:41:46 AM

**PROGRESS SET  
4/11/2019 7:41:46  
AM**