



REFERENCE PLANS

1. PORTSMOUTH, NH GIS.
2. PORTLAND GLASS, PORTSMOUTH, NH SITE PLAN DATED JANUARY 1, 1988. BY CAQ PLANNING & ENGINEERING.

NOTES

1. CURRENT ZONING IS GATEWAY NEIGHBORHOOD MIXED USE DISTRICT (G1) ZONING DISTRICT. -DRIVE-THRU FACILITY REQUIRES A CONDITIONAL USE PERMIT AND SITE PLAN REVIEW.

SMALL COMMERCIAL BUILDING	REQUIRED	PROVIDED
MIN. LOT FRONTAGE:	50'	200.11'
MIN. BUILDING SETBACKS:		
FRONT	*70' MIN./90' MAX	102±' (VARIANCE)
SIDE	10'	80±'
REAR	15'	79±'
MAX. BUILDING HEIGHT:	40'	<40'
MAX. LOT COVERAGE:	90%	<90%
MAX. BUILDING COVERAGE:	70%	<70%
MAX. FOOTPRINT:	10,000 SF	<10,000 SF

*SPECIAL SETBACK REQUIREMENTS ON LAFAYETTE ROAD: FOR ALL LOTS AND DEVELOPMENT SITES WITH FRONTAGE ON LAFAYETTE ROAD BUILDINGS SHALL BE SETBACK A MINIMUM OF 70 FEET AND A MAXIMUM OF 90 FEET FROM THE CENTERLINE OF THE ROAD. (10.5822.30)
2. PARKING CALCULATIONS: (8.5'X19'X24')

REQUIRED:

JUICE SHOP: 1 SP./100 SF (900 SF) = 9 SPACES

UNIT "A": RETAIL, 1 SP./300 SF (2,016 SF) = 8 SPACES

UNIT "B": VEHICLE REPAIR, 2 SP. + 1/400 SF (3,144 SF) = 10 SPACES

OFFICE, 1 SP./350 SF (513 SF) = 1 SPACE

TOTAL REQUIRED: 28 SPACES

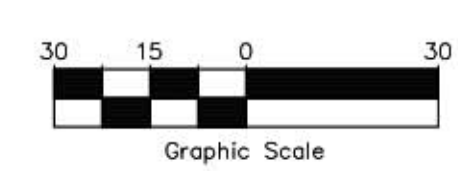
PROPOSED: 28 SPACES
3. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON REFERENCE INFORMATION.
4. WETLANDS INFORMATION DEPICTED ON THIS PLAN IS FROM GIS INFORMATION
5. EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTSMOUTH, NEW HAMPSHIRE, COMMUNITY PANEL NUMBER 33015C0270C, EFFECTIVE DATE: 5-17-2005 INDICATES THAT THE SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD AREA.
6. A TRAFFIC ANALYSIS WILL NEED TO BE DONE TO THE SATISFACTION OF THE NHDOT; THE STUDY WILL NEED TO MITIGATE TRAFFIC IMPACTS FROM THE DEVELOPMENT.
7. WETLAND IMPACTS WILL REQUIRE AN APPLICATION TO NHDES WETLANDS BUREAU AND A VARIANCE FROM THE TOWN ZONING BOARD OF ADJUSTMENTS. OBTAINING THESE PERMITS WILL DEPEND ON THE WETLAND FUNCTION AND VALUES, AND SENSITIVITY OF THE PROJECT.
8. TESTING FOR SUITABLE AREAS FOR SEPTIC SYSTEMS AND WELLS WILL BE REQUIRED TO CONFIRM THAT SERVICES CAN BE PROVIDED ON SITE, AND/OR AVAILABLE MUNICIPAL SEWER AND WATER CAPACITY WILL NEED TO BE VERIFIED DURING THE DESIGN PROCESS.
9. SITE DEVELOPMENT MAY REQUIRE RETAINING WALLS FOR GRADE CHANGES.
10. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN ARE THOSE WHICH IDENTIFIED BASED ON DATA USED IN CONCEPTUAL DESIGN. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH DEED RESEARCH AND A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
11. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-344-7233.
12. A COMPLETE EXISTING CONDITIONS SURVEY AND SITE DESIGN CONSIDERATIONS MAY IMPACT SQUARE FOOTAGE, BUILDING ENVELOPE AND SITE LAYOUT.
13. INFORMATION DEPICTED ON THIS PLAN IS NOT A RESULT OF A SURVEY CONDUCTED BY TFMORAN INC. THIS PLAN IS SOLELY FOR CONCEPTUAL PURPOSES.

This plan is for conceptual purposes only. It is not necessarily the result of a complete on-site survey, nor is it intended for construction uses. Locations of boundaries and wetlands are approximate, and not necessarily correct or accurate. Compliance with current regulations must be verified.

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48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

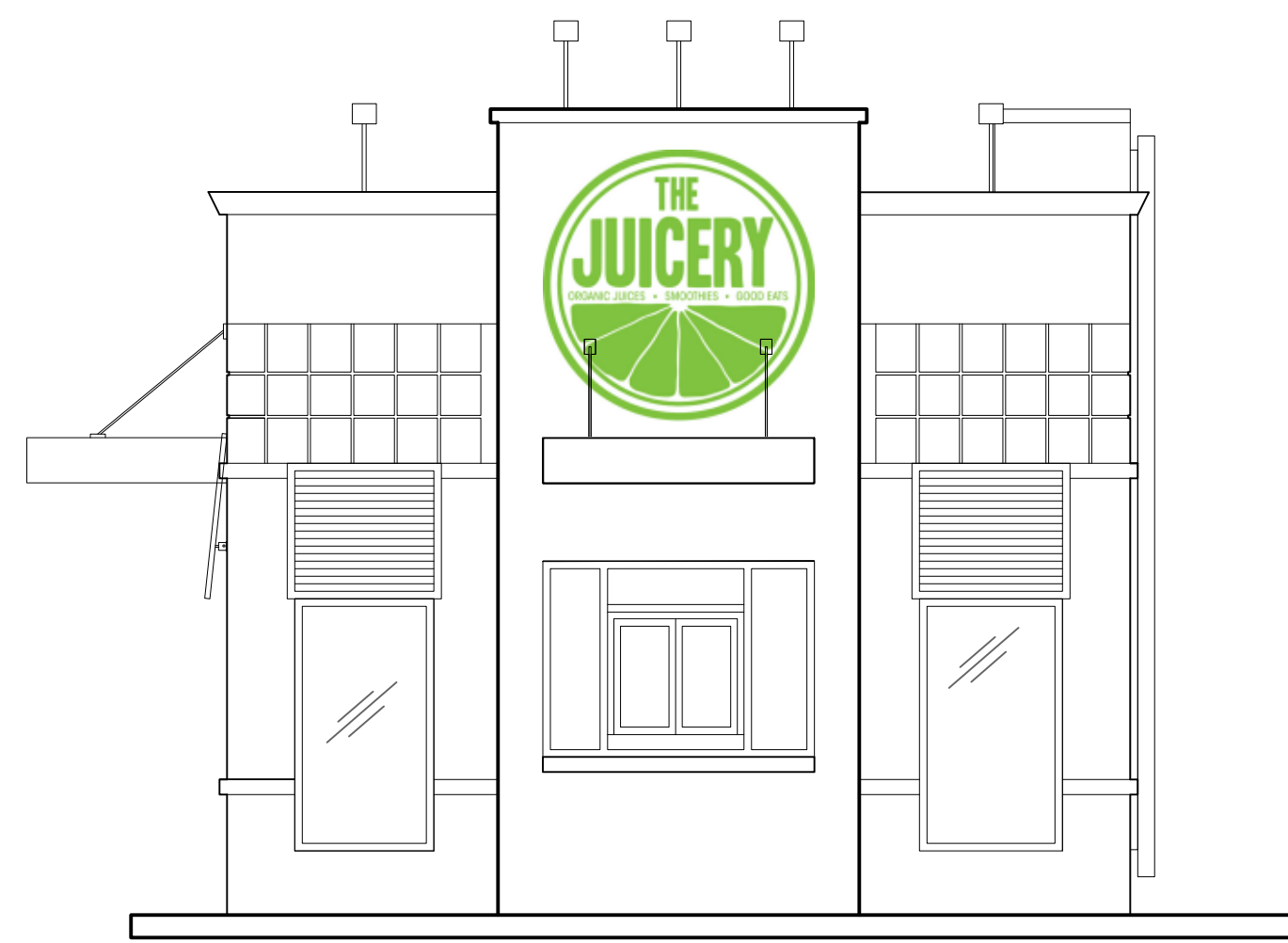


REV.	DATE	DESCRIPTION	DR	CK

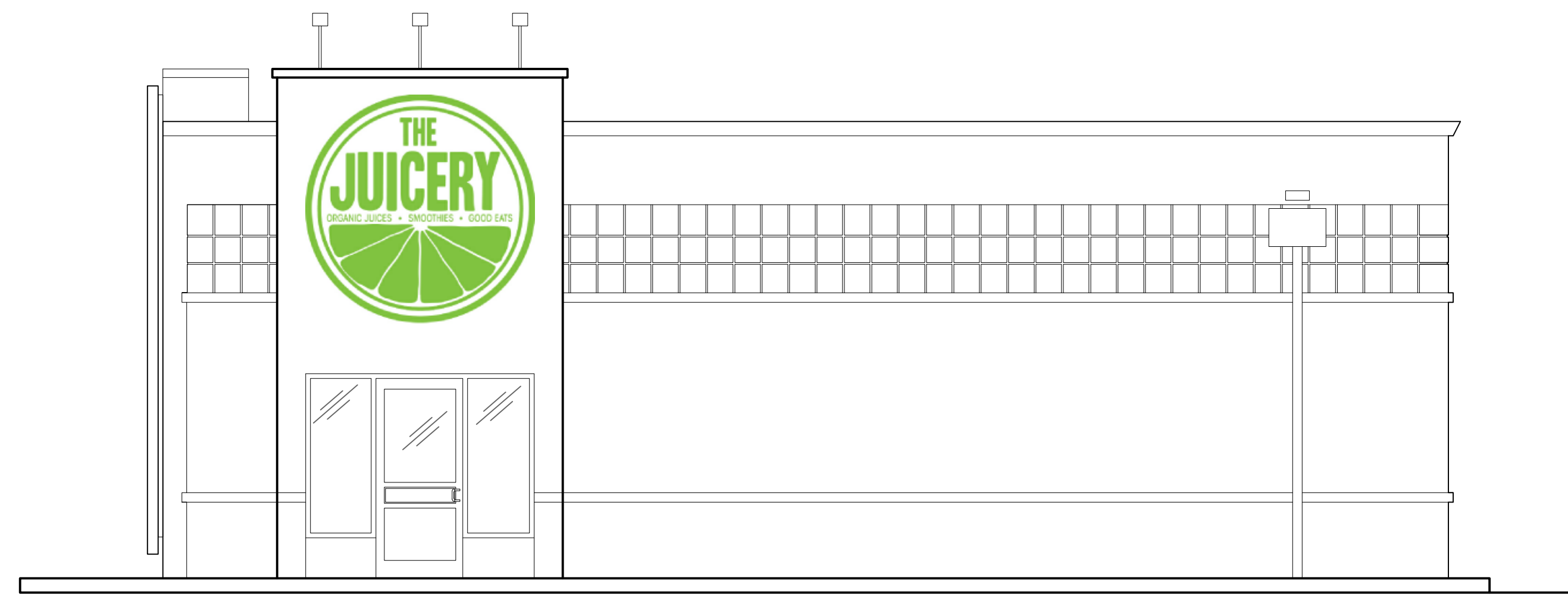
TAX MAP 272 LOT 2
CONCEPTUAL SITE PLAN 'A-1'
 2225 LAFAYETTE ROAD
 PORTSMOUTH, NH
 OWNED BY
SHORT BRIAN LLC
 PREPARED FOR
ALEX VANDERMARK

SCALE: 1"=30' **SEPTEMBER 15, 2020**

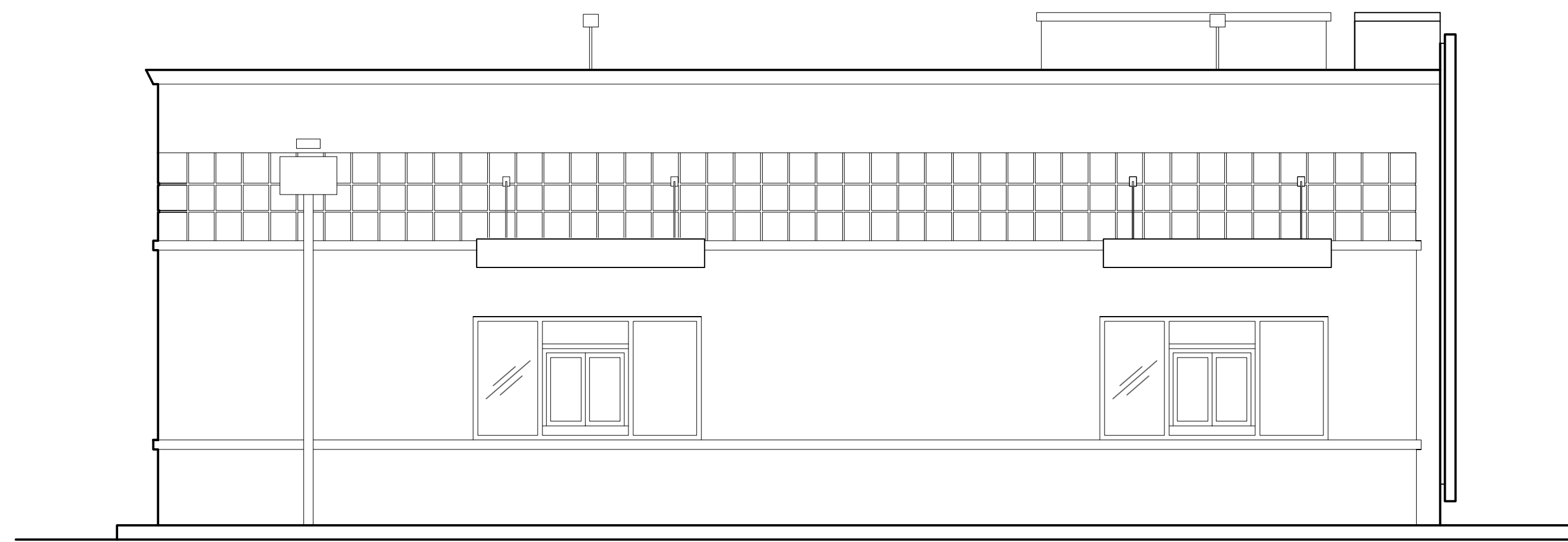
	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	DR MSK CK CR	FB CADFILE VANDERMARK



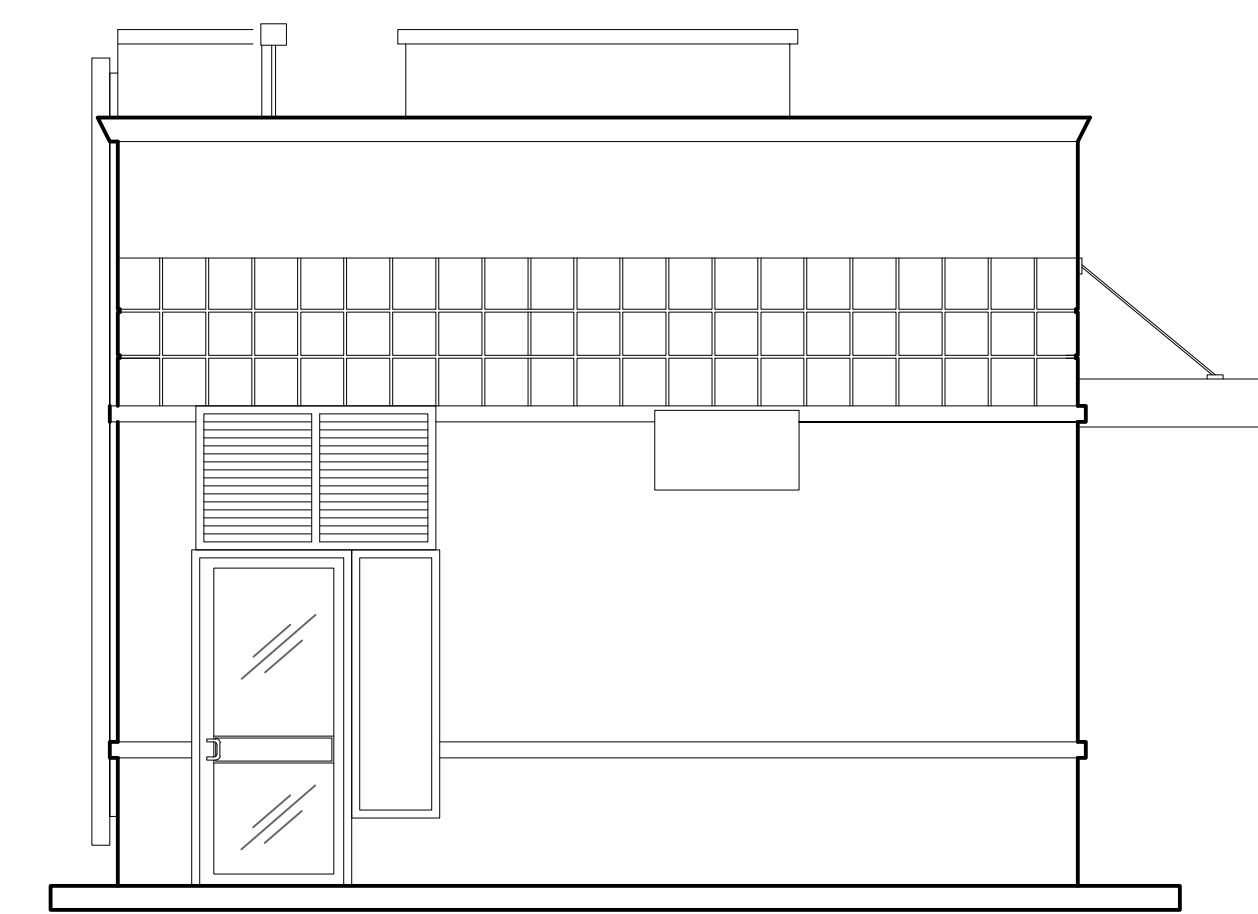
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

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Architect
AGA DESIGNS, LLC
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AGA DESIGNS

PRELIMINARY
NOT FOR CONSTRUCTION

Number	Date	Description

THE JUICERY
2225 LAFAYETT ROAD
Portsmouth, NH

Drawing Scale	
Project Number	
Date Issued	09/29/20

CONCEPTUAL
ELEVATIONS

A1.00