

March 22, 2022

Stefanie Casella, Planner  
Portsmouth Planning Department  
1 Junkins Avenue  
Portsmouth, NH 03801

SUBJECT: Response to TAC comments  
Site Plan Application for a Site Redevelopment  
2255 Lafayette Road

Dear Stefanie:

**Greenman-Pedersen, Inc. (GPI)** is in receipt of the comments provided by the TAC members both in the email dated February 28, 2022 and at the March 1, 2022 TAC meeting, regarding the review of the above mentioned application. Our response to comments is as follows:

- 1. The OCS HDPE flow control tee outlet structure should have at least 3 SS straps holding it. Also, there should be no or virtually no sump in that assembly as the concrete structure itself has sufficient sump and it could keep animals from drowning. The OCS detail shows a 24" opening in the concrete top for a 32" manhole cover. The opening should be 30" for entry like a standard manhole, not 24". You should specify the distance required from the open top of the tee to the underside of the manhole top to ensure enough flow can enter the tee in peak flow conditions.*

**Response:** The Outlet Control Structure (OCS) detail has been revised to include 3 stainless steel straps, reduce the sump within the flow control tee, and revise the structure opening size to accommodate a 32" manhole cover. The distance from the OCS rim elevation to the elevation of the open top of the flow control tee is approximately 4.7 feet, therefore, there will be no flow restrictions for runoff to enter the open top.

- 2. The two bollards in front of the Handicapped unloading area don't look like they are spaced out enough to safely pass.*
- Response:** The bollards at the ADA accessible loading space are proposed at 5ft from center to center, which complies with ADA guidelines. A dimension has been added to the site plan to ensure proper construction.

- 3. Please show the multi-use path with shading so we can see it clearly and confirm that there are no physical obstructions in the way. Please confirm it will be graded at no more than 1.6% cross pitch and that it extends from property line to property line.*
- Response:** Shading has been added to the added to the multi-use path on the Site Plan and spot shots have been added on the Grading and Drainage Plan to show the path is graded at no more than a 1.6% cross slope.

- 4. Televis and provide video of existing sewer to DPW for review/approve for adequacy for reuse.*
- Response:** The existing sewer line was televised, and it was determined that due to the numerous breaks in the line, a new service connection should be proposed. The existing sewer line shall be abandoned in place and plugged at the main.

5. *Water shut off to be inside of a gate valve box if the shut off is located in the paved area.*  
**Response: The domestic line has changed to a domestic/fire protection line. The new water shutoff is proposed near the eastern building wall.**
6. *Existing water line will need to be abandoned at the main prior to demolition if it is not being reused. Existing service is 1.25" copper. CTS water service will need tracing wire installed, contact Water Dept. for information.*  
**Response: A note has been added that the existing water service should be abandoned at the main.**
7. *Stormwater maintenance plan will be required.*  
**Response: The Stormwater Inspection & Maintenance Plan was included toward the back of the Stormwater Management Report.**
8. *Multi use path cross section detailing needs to be provided for approval. 2.5" thick asphalt on 8" of crushed gravel base.*  
**Response: A new detail has been added to Sheet 9.**
9. *What are the plans for the "future EV charging station"?*  
**Response: The applicant is currently working with Tesla on timing of construction. Most likely conduit will be installed, and area brought to grade for their construction in the future.**
10. *A Conditional Use Permit will be needed for the drive-through.*  
**Response: A letter requesting the CUP and addressing the criteria was submitted with the original submission.**
11. *A Wetland Conditional Use Permit will be needed for the impacts to the buffer area.*  
**Response: A letter requesting a Wetland CUP for the impacts to the buffer were submitted within the Wetland CUP section of the Land Use Application.**
12. *Please provide variance info on the plan set.*  
**Response: The date the variances were granted has been added to the Site Plan.**
13. *Commercial buildings greater than 5,000 sf require fire sprinkler systems.*  
**Response: A fire protection water line has been added to the Utility Plan.**
14. *Remove the crosswalk in the back.*  
**Response: Per discussions with Tesla, an accessible space with connection to the building sidewalk is required.**
15. *Extend a sidewalk along the eastern pavement edge from the multi-use path to the sidewalk in front of the building.*  
**Response: A bituminous concrete sidewalk has been added.**
16. *The truck turning plan should show the turning path for a Portsmouth Fire Truck.*  
**Response: The Truck Turn Plan has been revised.**

2255 Lafayette Road  
3/22/22  
Page 3

If you have any questions or need additional information, please feel free to contact me by phone at 603-374-7906 or by email to [nduquette@gpinet.com](mailto:nduquette@gpinet.com).

Sincerely,

*Nicole Duquette*

Nicole Duquette, PE, LEED AP  
Project Manager

enclosure(s)

# PROPOSED RETAIL MOTOR FUEL OUTLET SITE REDEVELOPMENT PLANS

for

ASSESSORS MAP 272 LOT 3  
2255 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE

Prepared for:

GRANITE STATE CONVENIENCE, LLC  
25 SPRINGER ROAD  
HOOKSETT, NH 03106



**LOCATION MAP**  
(NOT TO SCALE)

## INDEX TO DRAWINGS

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- 1 OF 3. EXTERIOR ELEVATIONS (A201)
- 2 OF 3. EXTERIOR ELEVATIONS (A202)
- 3 OF 3. PERSPECTIVE VIEWS (A801)
- 1 OF 1. PROPOSED CANOPY ELEVATIONS

**GPI**

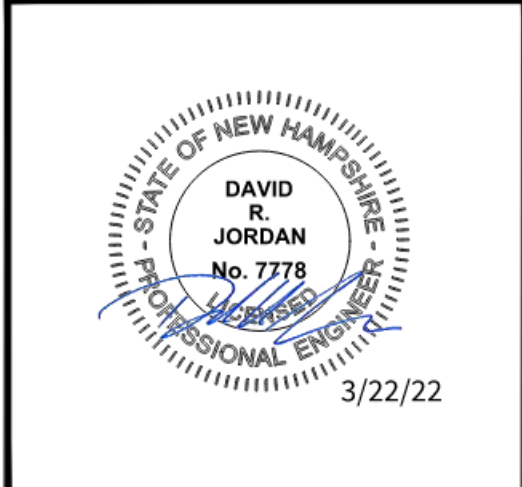
Engineering  
Design  
Planning  
Construction Management

603.893.0720  
Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

GPINET.COM

PREPARED FOR  
GRANITE STATE  
CONVENIENCE, LLC  
25 SPRINGER ROAD  
HOOKSETT, NH

PROPOSED RETAIL MOTOR  
FUEL OUTLET  
2255 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801



REVISIONS		
2	REV. SHEETS 2-9, 11, TT	3/22/22
1	REV. SHEET 4	2/9/22
NO.	REVISION	DATE
JANUARY 26, 2022		
DRAWN/DESIGN BY CCC/NID		CHECKED BY DRJ

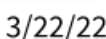
TITLE SHEET

SCALE:  
NOT TO SCALE

PROJECT NO.  
NEX-2021163

1 OF 14





## REVISIONS

1	REVISE SEWER	3/22/22
NO.	REVISION	DATE
JANUARY 26, 2022		
DRAWN/DESIGN BY AKC		CHECKED BY DRJ

# EXISTING CONDITIONS PLAN

SCALE: 1"=30'

PROJECT NO.  
NEX-2021163

2 OF 14



**LOCATION MAP**  
(NOT TO SCALE)

**NOTES:**

- 1) ZONE: GATEWAY CORRIDOR DISTRICT (G1)  
MIN. LOT SIZE: 1 ACRE  
SETBACKS:
- |       |  |
|-------|--|
| FRONT | 70' TO 90' FROM CENTER OF LAFAYETTE RD |
| SIDE  | 10 FT.                                 |
| REAR  | 15 FT.                                 |
- REFER TO THE CITY OF PORTSMOUTH ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE PORTSMOUTH ZONING ORDINANCE.
- 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 10 AND NOVEMBER 3, 2021.
- 3) WETLAND FLAGS WERE DELINEATED BY WEST ENVIRONMENTAL, INC. ON JULY 30, 2021 AND LOCATED BY THIS OFFICE.
- 4) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 16, 2021.
- 5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 16, 2021.
- 6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
- 7) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0270F, WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- 8) A TOTAL OF 73 (71 REGULAR, 2 ACCESSIBLE) CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED IN CONDUCTING THIS SURVEY.

### WETLAND NOTES

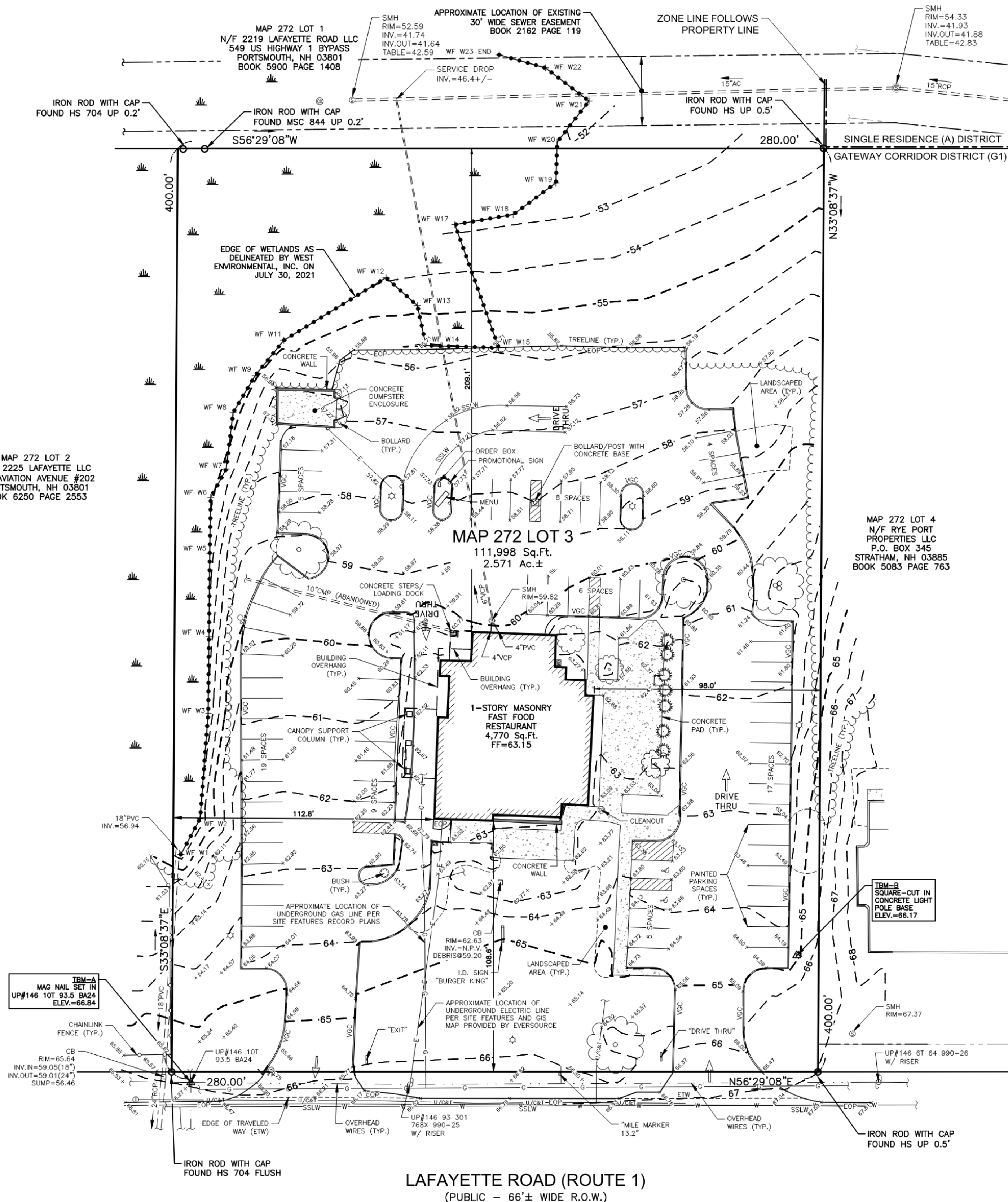
WETLANDS WERE DELINEATED BY WEST ENVIRONMENTAL, INC. ON JULY 30, 2021 UTILIZING THE FOLLOWING STANDARDS:

- 1) US ARMY CORPS OF ENGINEERS INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-09-19 (OCT 2009).
- 2) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009).
- 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1979).































**OWNER OF RECORD:**

MAP 272 LOT 3  
MASTORAN RESTAURANTS, INC.  
822 LEXINGTON STREET  
WALTHAM, MA 02154  
BOOK 3572 PAGE 199



### LEGEND

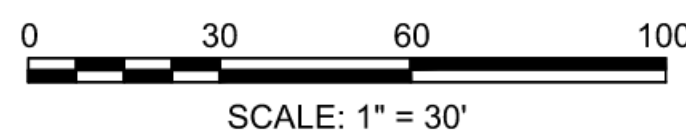
	VERTICAL GRANITE CURB
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND COMM
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	90 CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	CATCH BASIN
	CLEANOUT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	WATER SHUT OFF
	BOLLARD
	GAS METER
	LIGHT POLE
	WETLAND LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	ZONE LINE

**PLAN REFERENCES:**

ROCKINGHAM COUNTY REGISTRY OF DEEDS

- 1) R.C.R.D. PLAN D-33166
- 2) R.C.R.D. PLAN D-37134
- 3) R.C.R.D. PLAN D-20705
- 4) R.C.R.D. PLAN D-15321
- 5) R.C.R.D. PLAN C-3702
- 6) R.C.R.D. PLAN C-7649
- 7) R.C.R.D. PLAN D-41895

LAFAYETTE ROAD (ROUTE 1)  
(PUBLIC - 66'± WIDE R.O.W.)







- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE CITY OF PORTSMOUTH PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 4) DEMOLISH CONCRETE IN ALL SECTIONS
- 5) BREAK UP CONCRETE SLABS--ON--GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND, CLOSER OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 15) ALL WORK WITHIN ROADWAY RIGHT--OF--WAYS TO CONFORM TO CITY STANDARDS.
- 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY DIG SAFE (DIAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.

SEE EROSION & SEDIMENT CONTROL  
PLAN FOR CONSTRUCTION SEQUENCE,  
TEMPORARY EROSION CONTROL  
MEASURES, AND LOCATION OF EROSION  
CONTROL DEVICES. SEE LANDSCAPE PLAN  
FOR LIMITS OF CLEARING.







LEGEND	
	VERTICAL GRANITE CURB
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND COMM
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	CONTOUR ELEVATION
	TREE
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	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	CATCH BASIN
	CLEANOUT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	WATER SHUT OFF
	BOLLARD
	GAS METER
	LIGHT POLE
	WETLAND LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	ZONE LINE
	NUMBER OF PARKING SPACES

SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	R/W	30" x 30" NEW SIGN WITH POST
R5-1	R/W	30" x 30" NEW SIGN WITH POST
R7-8	G/B/W	12" x 18" NEW SIGN WITH POST
R7-8A	G/W	6" x 12"

SITE COMPARISON TABLE		
DESCRIPTION	EXISTING	PROPOSED
SURFACE PARKING & DRIVEWAY	59,940 SF	57,064 SF
OTHER IMPERVIOUS SURFACES	5,358 SF	5,750 SF
NUMBER OF PARKING SPACES	73	35
IMPERVIOUS AREA WITHIN WETLAND BUFFER	29,452 SF	20,328 SF

TABLE OF ZONING REGULATIONS - PORTSMOUTH, NH		
DESCRIPTION	ZONE: GATEWAY CORRIDOR (G1)	
	REQUIRED	PROVIDED
MINIMUM LOT AREA	1 ACRE	2.57 ACRES
MINIMUM FRONT YARD BUILDING SETBACK	70' TO 90' FROM CENTER OF LAFAYETTE RD	120' (CANOPY), 203' (C-STORE) *
MINIMUM SIDE YARD BUILDING SETBACK	10'	63' (CANOPY), 83' (C-STORE)
MINIMUM REAR YARD BUILDING SETBACK	15'	173' (C-STORE)
PARKING DIMENSIONS	8.5'x19', 24' DRIVE AISLE	9'x19', 24' DRIVE AISLE
MINIMUM NUMBER PARKING SPACES	RETAIL = 4,555 SF x 1 SPACE/300 SF GFA = 15.18 SPACES RESTAURANT = 1,000 SF x 1 SPACE/100 SF = 10 SPACES RETAIL FUEL = 2 SPACES + 0 SF x 1 SPACE/400 SF GFA = 2 SPACES TOTAL SPACES REQUIRED = 28 SPACES	35 SPACES (14 PARKING SPACES + 11 PARKING SPACES/CHARGING STATION SPACES + 10 PARKING SPACES AT THE PUMPS) *
MAXIMUM COVERAGE	70%	555,660 SF/111,998 SF = 49.7%
MINIMUM OPEN SPACE	10%	56,338 SF/111,998 SF = 50.3%
MAXIMUM BUILDING HEIGHT	40 FT OR 3 STORIES	<40 FT, 1 STORY * SEE NOTE 17



LOCATION MAP  
(NOT TO SCALE)

NOTES:

- TAX MAP 272 LOT 3
- ZONING DISTRICT: Gateway Corridor (G1)
- LOT AREA = 111,988 Sq.Ft. = 2.571 Ac.±
- EXISTING USE: FAST FOOD RESTAURANT WITH DRIVE-THRU
- PROPOSED USE: RETAIL MOTOR FUEL OUTLET WITH 5,555 SF CONVENIENCE STORE/SANDWICH SHOP WITH 6 SEATS INTERIOR & UP TO 40 EXTERIOR SEATS AND DRIVE-THRU AND 5 FUEL DISPENSER ISLANDS WITH OVERHEAD CANOPY.
- ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010.
- THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 811 PRIOR TO ANY EXCAVATION.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH AND THE STATE OF NEW HAMPSHIRE.
- THE SITE IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0270F, WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY THE DEVELOPER.
- A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- PROPOSED SNOW STORAGE AREAS AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF-SITE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN-PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND E.P.A. REGULATIONS.
- SELF-SERVICE APPROVAL IS REQUIRED FROM THE OFFICE OF THE STATE FIRE MARSHAL. SEE APPROVED FIRE SUPPRESSION PLAN FOR LAYOUT OF SPILL CONTAINMENT GROOVES (POSITIVE LIMING BARRIER).
- RELIEF WAS GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON FEBRUARY 15, 2022 TO ALLOW THE FOLLOWING:
  - PARKING SPACES BETWEEN PRINCIPAL BUILDING AND ROAD (ZONING 10.1113.20)
  - GREATER THAN 90' BUILDING SETBACK FROM LAFAYETTE ROAD (ZONING 10.5.B.22.40)
  - LESS THAN 75% FRONT LOT LINE BUILDOUT (SECTION 10.5.B.33.20)
  - MORE THAN ONE DRIVEWAY PER LOT (SECTION 10.1114.31)
  - TO ALLOW A 160 SF FREESTANDING SIGN (SECTION 10.1251.20)
- RELIEF IS REQUESTED FROM THE PLANNING BOARD TO ALLOW THE FOLLOWING:
  - GREATER THAN ONE DRIVEWAY PER LOT. (SITE PLAN 3.3.2). EXISTING SITE HAS TWO DRIVEWAYS
- A CONDITIONAL USE PERMIT IS REQUIRED FROM THE PLANNING BOARD TO ALLOW THE FOLLOWING:
  - A WETLAND BUFFER DISTURBANCE OF 33,555 SF PER SECTION 10.241.23. THIS TOTAL INCLUDES DISTURBANCE REQUIRED TO REMOVE EXISTING DISTURBANCES AND RETURN THEM TO A MORE NATURAL STATE.
  - A DRIVE-THRU FACILITY PER SECTION 10.440
- APPROPRIATE EROSION CONTROL MEASURES (HAY BALES, SILT FENCE) SHALL BE INSTALLED PRIOR TO INITIATION OF ANY SITE WORK & SHALL BE MAINTAINED BY THE DEVELOPER UNTIL ADEQUATE VEGETATIVE COVER IS ESTABLISHED ON ALL GRADED AREAS. SEE EROSION & SEDIMENT CONTROL PLAN.
- ELECTRIC CONDUIT TO BE INSTALLED FOR FUTURE CHARGING STATIONS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- PERMITS REQUIRED:
  - NHDT DRIVEWAY PERMIT
  - USEPA NPDES CONSTRUCTION GENERAL PERMIT

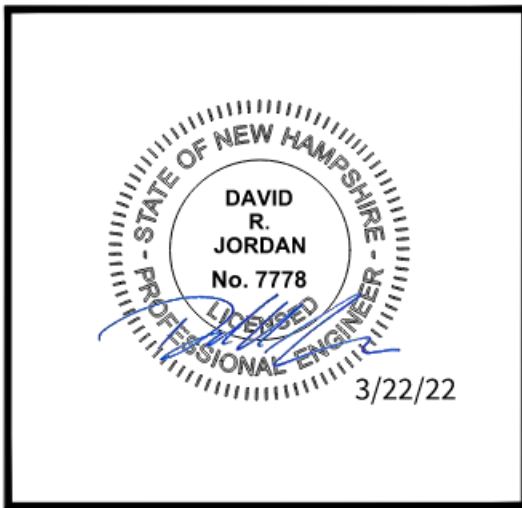
OWNER OF RECORD:

MAP 272 LOT 3  
MASTORAN RESTAURANTS, INC.  
822 LEXINGTON STREET  
WALTHAM, MA 02154  
BOOK 3572 PAGE 199

**GPI** Engineering  
Design  
Planning  
Construction Management  
603.893.0720 GPINET.COM  
Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

PREPARED FOR  
GRANITE STATE  
CONVENIENCE, LLC  
25 SPRINGER ROAD  
HOOKSETT, NH

PROPOSED RETAIL MOTOR  
FUEL OUTLET  
2255 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801



REVISIONS		
NO.	REVISION	DATE
2	REV. PER CITY COMMENTS	3/22/22
1	REV. FOR SITE PLAN APPROVAL	2/9/22
JANUARY 26, 2022		
DRAWN/DESIGN BY CCC/NID		CHECKED BY DRJ

SITE PLAN

SCALE: 1"=30'

PROJECT NO. NEX-2021163

4 OF 14





VGC	VERTICAL GRANITE CURB
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
U/G	UNDERGROUND COMM
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
90	CONTOUR ELEVATION
UT	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
SE	SIGN
CB	CATCH BASIN
CE	CLEANOUT
SM	SEWER MANHOLE
TM	TELEPHONE MANHOLE
WS	WATER SHUT OFF
B	BOLLARD
GM	GAS METER
LP	LIGHT POLE
WL	WETLAND LINE
EL	EASEMENT LINE
PL	PROPERTY LINE
APL	ABUTTER PROPERTY LINE
ZL	ZONE LINE
C.O.	PROP. CLEANOUT
CB-1	PROP. CATCH BASIN
DMH-1	PROP. DRAIN MANHOLE
MEG	MEET EXISTING GRADE
331.25	PROP. SPOT ELEVATION
90	PROP. CONTOUR ELEVATION
TW	TOP OF WALL ELEV.
BW	BOTTOM OF WALL ELEV.
G.B.	GRADE BREAK
TP	TEST PIT

## LEGEND

DRAINAGE PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
CB-1	12	HDPE	51	0.011	DMH-1
CB-2	12	HDPE	139	0.005	CB-6
CB-3(FD)	12	HDPE	29	0.063	DET IN-1
CB-4(FD)	18	HDPE	81	0.005	DMH-2
CB-5	18	HDPE	70	0.005	CB-4(FD)
CB-6	15	HDPE	94	0.005	CB-5
DET OUT	24	HDPE	7	0.000	OCS-1
DMH-1	12	HDPE	66	0.014	CB-6
DMH-2	6	HDPE	10	0.010	OWS-IN
DMH-2	18	HDPE	29	0.032	DET IN-2
DMH-3	12	HDPE	30	0.010	CB-3(FD)
OCS-1	18	HDPE	26	0.019	FES-1
OWS-OUT	6	HDPE	7	0.013	DET IN-3

## DRAINAGE STRUCTURES

CB-1  
RIM=64.55  
INV.OUT=61.05

CB-2  
RIM=63.70  
INV.OUT=60.10

CB-3(FD)  
RIM=62.80  
INV.IN=58.90(DMH-3)  
INV.OUT=58.80

CB-4(FD)(DG)  
RIM=61.70  
INV.IN=58.05(CB-5)  
INV.OUT=57.95

CB-5  
RIM=63.05  
INV.IN=58.65(CB-6)  
INV.OUT=58.40

CB-6  
RIM=63.90  
INV.IN=59.40(CB-2)  
INV.IN=59.50(DMH-1)  
INV.OUT=59.15

DMH-1  
RIM=65.30  
INV.IN=60.50(CB-1)  
INV.OUT=60.40

DMH-2  
RIM=63.30  
INV.IN=57.55(CB-4(FD))  
INV.OUT=57.95 (18" BYPASS)  
INV.OUT=59.20

DMH-3  
RIM=64.00  
INV.IN=59.25(RD)  
INV.OUT=59.20

FES-1  
INV.=56.50

4,000 GAL OIL/WATER SEPARATOR-1  
(OWS-1)  
RIM=63.75±  
INV.IN=57.35  
INV.OUT=57.10

UNDERGROUND DETENTION SYSTEM  
(UG DET)  
36" SOLID (WT) PIPES  
4 ROWS + 2 HEADERS  
87,001' x 19.25' W  
S=0.000 FT/FT  
INV.PIPE=57.00  
INV.S.IN=57.00  
INV.OUT=57.00  
(SEE DETAIL)

OUTLET CONTROL STRUCTURE (OCS-1)  
RIM=63.70  
INV.IN=57.00  
INV.OUT=57.00  
(SEE DETAIL)

(FD) DENOTES FIRST DEFENSE FD-4HC  
HYDRODYNAMIC PARTICLE SEPARATOR OR  
APPROVED EQUAL.

(WT) DENOTES WATERTIGHT PIPE JOINTS

(DG) DENOTES DOUBLE CATCH BASIN  
FRAME AND GRATE

(OWS) DENOTES OIL/WATER SEPARATOR

(UG DET) DENOTES UNDERGROUND DETENTION SYSTEM

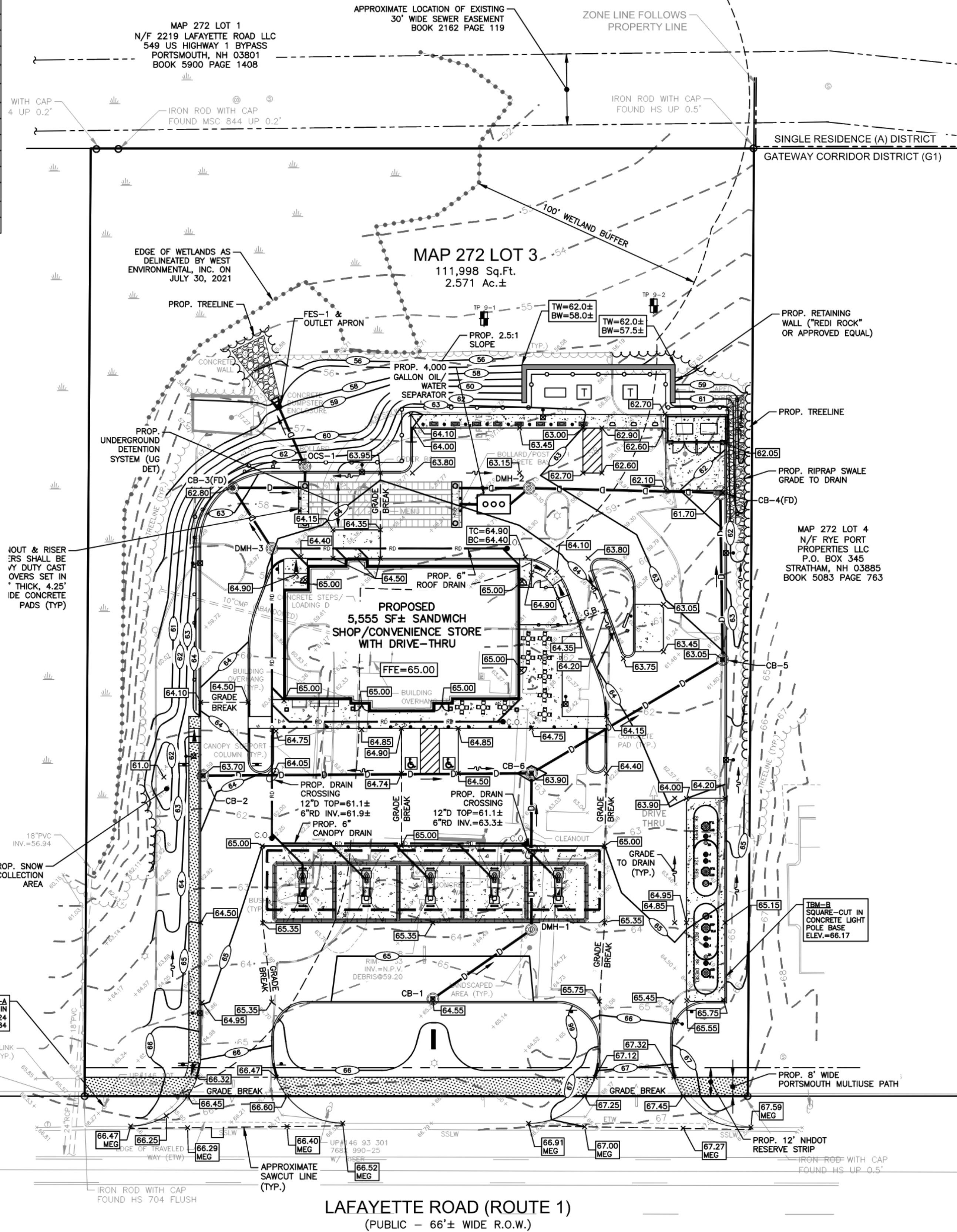
(DET IN) DENOTES DETENTION INLET

(DET OUT) DENOTES DETENTION OUTLET

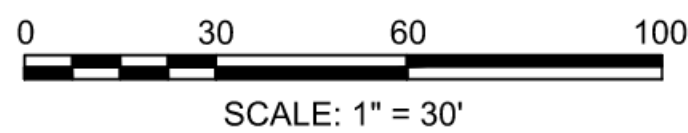
(DET IN-1) DENOTES DETENTION INLET 1

(DET IN-2) DENOTES DETENTION INLET 2

(DET IN-3) DENOTES DETENTION INLET 3



LAFAYETTE ROAD (ROUTE 1)  
(PUBLIC - 66'± WIDE R.O.W.)



LOCATION MAP  
(NOT TO SCALE)

## NOTES:

- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN. THE UNDERGROUND DETENTION SYSTEM SHALL HAVE WATER TIGHT JOINTS MEETING ASTM D3212 SPECIFICATIONS.
- ALL ROOF AND CANOPY DRAIN PIPE SHALL BE 6" PVC (SDR-35).
- ELEVATIONS ARE BASED ON NAVD83 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (DIAL 811) PRIOR TO COMMENCING ANY EXCAVATION.
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 75,000 SF±). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND THE CITY DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND ACCESSIBLE PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SEE UTILITY PLAN FOR DETAILED UTILITY LAYOUT.
- ALL PROPOSED CATCH BASINS SHALL HAVE 4" SUMPS AND OUTLETS EQUIPPED WITH "ELIMINATOR" OIL HOODS OR APPROVED EQUAL.
- ALL PIPE DATA IS CALCULATED TO CENTER OF STRUCTURE, TYP.
- CONTRACTOR TO REFER TO THE INSPECTION & MAINTENANCE (I&M) MANUAL FOR STORMWATER MANAGEMENT SYSTEMS & SITE MAINTENANCE DURING AND AFTER CONSTRUCTION.
- CONTRACTOR TO INSTALL RISER STRUCTURES AT EACH CORNER OF UNDERGROUND DETENTION SYSTEMS AND CLEANOUTS AT EACH END OF EACH ROW TO PROVIDE ACCESS POINTS FOR CLEANING AND MAINTENANCE.
  - TOTAL RISERS PROPOSED = 4
  - TOTAL CLEANOUTS PROPOSED = 4

**GPI**

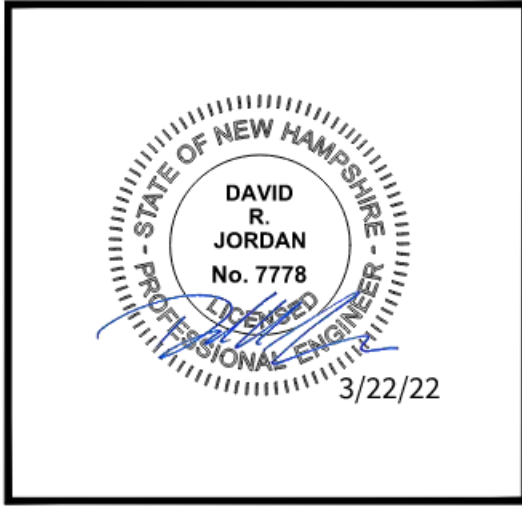
Engineering  
Design  
Planning  
Construction Management

603.893.0720  
Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

GPI.NET.COM

PREPARED FOR  
GRANITE STATE  
CONVENIENCE, LLC  
25 SPRINGER ROAD  
HOOKSETT, NH

PROPOSED RETAIL MOTOR  
FUEL OUTLET  
2255 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801



REVISIONS		
NO.	REV. PER CITY COMMENTS	DATE
1	REV. PER CITY	3/22/22
	REVISION	
JANUARY 26, 2022		
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GRADING &  
DRAINAGE  
PLAN

SCALE:  
1"=30'

PROJECT NO.  
NEX-2021163

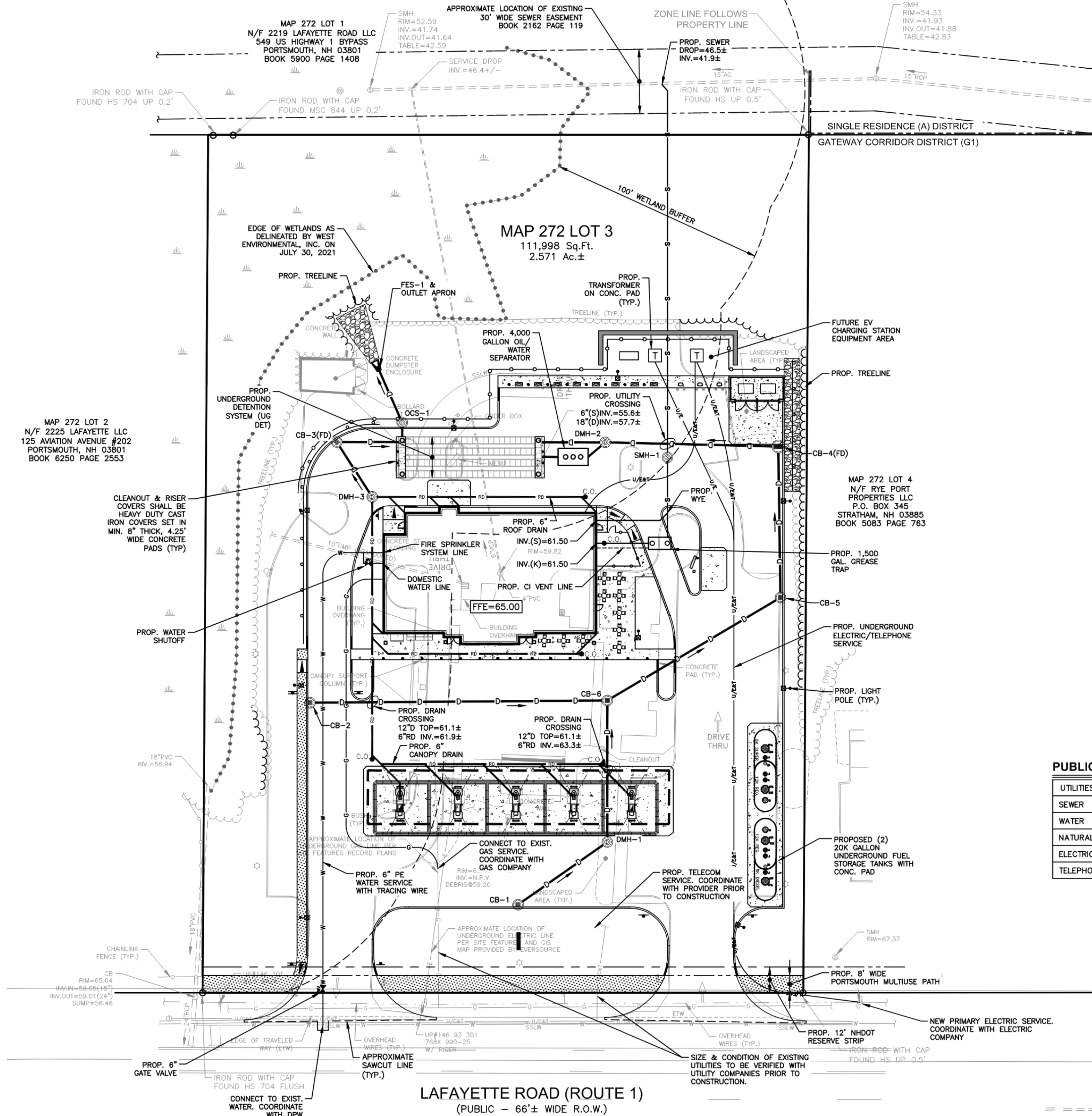
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LEGEND	
	VERTICAL GRANITE CURB
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND COMM
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	CATCH BASIN
	CLEANOUT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	WATER SHUT OFF
	BOLLARD
	GAS METER
	LIGHT POLE
	WETLAND LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	ZONE LINE
	PROP. CLEANOUT
	PROP. CATCH BASIN
	PROP. DRAIN MANHOLE
	PROP. SEWER MANHOLE
	PROP. GATE VALVE



LOCATION MAP  
(NOT TO SCALE)

#### NOTES:

- 1) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 2) ALL WATER PIPE SHALL BE POLYETHYLENE, UNLESS OTHERWISE NOTED.
- 3) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE ENGINEER OF RECORD AND COORDINATED WITH THE APPROPRIATE LOCAL UTILITY COMPANY.
- 4) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- 5) ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL DPW AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- 6) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 7) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
- 8) THIS SITE IS SERVED BY MUNICIPAL SEWER AND WATER.
- 9) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 10) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 11) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDOT AND CITY DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 12) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- 13) ELECTRICAL CONDUIT WITHIN 20' OF TANKS OR DISPENSERS MAY NEED TO BE RIGID METAL CONDUIT WITH CONCRETE ENCASEMENT. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY AND/OR TOWN ELECTRICAL INSPECTOR AS REQUIRED.
- 14) REFER TO DETAIL SHEETS FOR ALL UTILITY AND DRAINAGE STRUCTURE DETAILS AND ADDITIONAL INFORMATION.
- 15) ELECTRIC CONDUIT TO BE PROVIDED FOR FUTURE EV CHARGING STATIONS.
- 16) EXISTING WATER SERVICE LOCATION IS UNKNOWN. CONTRACTOR TO LOCATE AND DISCONTINUE SERVICE AT THE MAIN.

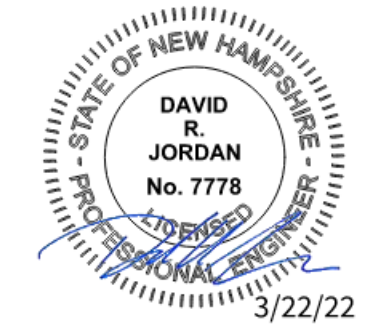
#### PUBLIC UTILITIES

UTILITIES		AVAILABLE
SEWER	CITY OF PORTSMOUTH PUBLIC WORKS DEPT., PETER RICE 603-427-1530	YES
WATER	CITY OF PORTSMOUTH PUBLIC WORKS DEPT., PETER RICE 603-427-1530	YES
NATURAL GAS	UNITIL, DAVE MACLEAN 603-294-5261	YES
ELECTRIC	EVERSOURCE, CASEY MCDONALD 603-519-0924	YES
TELEPHONE	CONSOLIDATED COMMUNICATIONS	YES

SEWER PIPE SCHEDULE				
FROM: STRUCTURE NUMBER	PIPE SIZE (inches)	TYPE OF PIPE	APPROX. PIPE LENGTH (feet)	TO: STRUCTURE NUMBER
BLDG.	6	CI	20	GR. TRAP
GR. TRAP	6	PVC	35	SMH-1
BLDG.	6	PVC	38	WYE
SMH-1	6	PVC	178	SEWER MAIN

#### SEWER STRUCTURES

1,500 GAL. GREASE TRAP  
RIM=64.10  
INV.IN=60.10  
INV.OUT=59.85  
  
SMH-1 (DROP)  
RIM=63.00  
INV.IN=57.00  
INV.OUT=55.70  
  
PROP. WYE  
INV.=58.95±



#### REVISIONS

NO.	REV. PER CITY COMMENTS	DATE
1	REV. PER CITY COMMENTS	3/22/22

JANUARY 26, 2022

DRAWN/DESIGN BY CCC/NID	CHECKED BY DRJ
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#### UTILITY PLAN

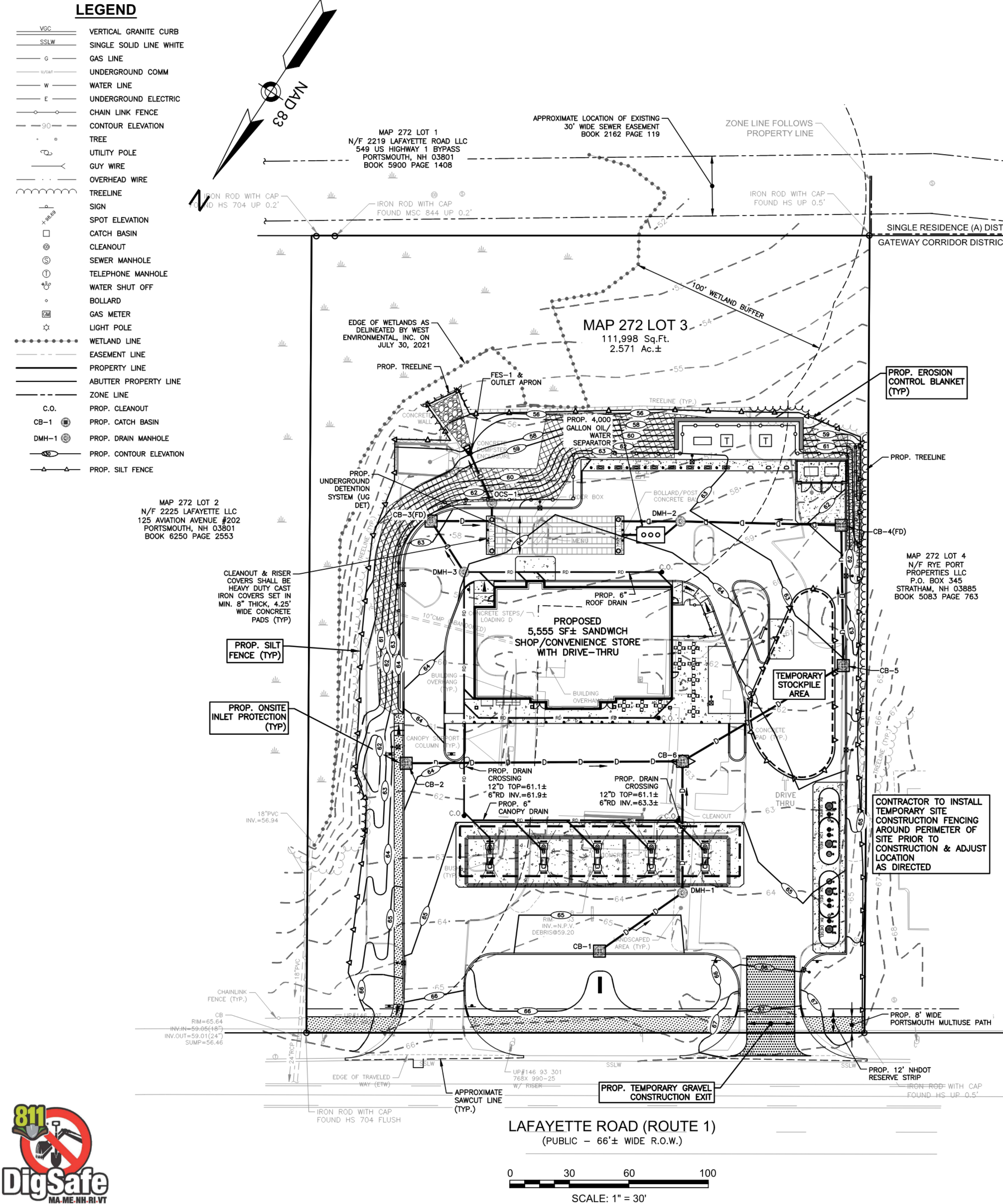
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PROJECT NO.  
NEX-2021163

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**CONSTRUCTION SEQUENCE:**

- 1) SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
- 2) REMOVE AND STOCKPILE SOIL AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH HAYBALES TO PREVENT EROSION.
- 3) CONSTRUCT DRIVEWAYS AND PERFORM SITE GRADING.
- 4) INSTALL UNDERGROUND UTILITIES & DRAINAGE.
- 5) BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED OR MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
- 6) DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, HAYBALES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING.
- 7) BEGIN EXCAVATION FOR AND CONSTRUCTION OF BUILDINGS.
- 8) FINISH PAVING ALL DRIVES AND PARKING AREAS. CLEAN ALL DRAINAGE STRUCTURES.
- 9) COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- 10) AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

**WINTER STABILIZATION NOTES:**

**MAINTENANCE REQUIREMENTS:**  
MAINTENANCE MEASURES SHOULD CONTINUE AS NEEDED THROUGHOUT CONSTRUCTION, INCLUDING THE OVER-WINTER PERIOD, AFTER EACH RAINFALL, SNOWSTORM, OR PERIOD OF THAWING AND RUNOFF, THE SITE CONTRACTOR SHOULD CONDUCT AN INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES AND PERFORM REPAIRS AS NEEDED TO INSURE THEIR CONTINUING FUNCTION. FOR ANY AREA STABILIZED BY TEMPORARY OR PERMANENT SEEDING PRIOR TO THE ONSET OF THE WINTER SEASON, THE CONTRACTOR SHOULD CONDUCT AN INSPECTION IN THE SPRING TO ASCERTAIN THE CONDITION OF VEGETATION COVER, AND REPAIR ANY DAMAGE AREAS OR BARE SPOTS AND RESEED AS REQUIRED TO ACHIEVE AN ESTABLISHED VEGETATIVE COVER (AT LEAST 85% OF AREA VEGETATED WITH HEALTHY, VIGOROUS GROWTH).

**SPECIFICATIONS:**  
TO ADEQUATELY PROTECT WATER QUALITY DURING COLD WEATHER AND DURING SPRING RUNOFF, THE FOLLOWING STABILIZATION TECHNIQUES SHOULD BE EMPLOYED DURING THE PERIOD FROM OCTOBER 15TH THROUGH MAY 15TH.

- 1) THE AREA OF EXPOSED, UNSTABILIZED SOIL SHOULD BE LIMITED TO ONE ACRE AND SHOULD BE PROTECTED AGAINST EROSION BY THE METHODS DESCRIBED IN THIS SECTION PRIOR TO ANY THAW OR SPRING MELT EVENT. SUBJECT TO APPLICABLE REGULATIONS, THE ALLOWABLE AREA OF EXPOSED SOIL MAY BE INCREASED IF ACTIVITIES ARE CONDUCTED ACCORDING TO A WINTER CONSTRUCTION PLAN, DEVELOPED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW HAMPSHIRE OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIROCERT INTERNATIONAL, INC.
- 2) STABILIZATION AS FOLLOWS SHOULD BE COMPLETED WITHIN A DAY OF ESTABLISHING THE GRADE THAT IS FINAL OR THAT OTHERWISE WILL EXIST FOR MORE THAN 5 DAYS:
  - A. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF LESS THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDED AND COVERED WITH 3 TO 4 TONS OF HAY OR STRAW MULCH PER ACRE SECURED WITH ANCHORED NETTING, OR 2 INCHES OF EROSION CONTROL MIX (SEE DESCRIPTION OF EROSION CONTROL MIX BERMS FOR MATERIAL SPECIFICATION).
  - B. ALL PROPOSED VEGETATED AREAS HAVING A SLOPE OF GREATER THAN 15% WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE SEEDED AND COVERED WITH A PROPERLY INSTALLED AND ANCHORED EROSION CONTROL BLANKET OR WITH A MINIMUM 4 INCH THICKNESS OF EROSION CONTROL MIX, UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER. NOTE THAT COMPOST BLANKETS SHOULD NOT EXCEED 2 INCHES IN THICKNESS OR THEY MAY OVERHEAT.
- 3) ALL STONE-COVERED SLOPES MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
- 4) INSTALLATION OF ANCHORED HAY MULCH OR EROSION CONTROL MIX SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH.
- 5) ALL MULCH APPLIED DURING WINTER SHOULD BE ANCHORED (E.G., BY NETTING, TRACKING, WOOD CELLULOSE FIBER).
- 6) STOCKPILES OF SOIL MATERIALS SHOULD BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR WITH A FOUR-INCH LAYER OF EROSION CONTROL MIX. MULCHING SHOULD BE DONE WITHIN 24 HOURS OF STOCKING, AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. NO SOIL STOCKPILE SHOULD BE PLACED (EVEN COVERED WITH MULCH) WITHIN 100 FEET FROM ANY WETLAND OR OTHER WATER RESOURCE AREA.
- 7) FROZEN MATERIALS, (E.G., FROST LAYER THAT IS REMOVED DURING WINTER CONSTRUCTION), SHOULD BE STOCKPILED SEPARATELY AND IN A LOCATION THAT IS AWAY FROM ANY AREA NEEDING TO BE PROTECTED. STOCKPILES OF FROZEN MATERIAL CAN MELT IN THE SPRING AND BECOME UNWORKABLE AND DIFFICULT TO TRANSPORT DUE TO THE HIGH MOISTURE CONTENT IN THE SOIL.
- 8) INSTALLATION OF EROSION CONTROL BLANKETS SHOULD NOT OCCUR OVER SNOW OF GREATER THAN ONE INCH IN DEPTH OR ON FROZEN GROUND.
- 9) ALL GRASS-LINED DITCHES AND CHANNELS SHOULD BE CONSTRUCTED AND STABILIZED BY SEPTEMBER 1. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHOULD BE STABILIZED TEMPORARILY WITH STONE, OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS, AS DETERMINED BY A QUALIFIED PROFESSIONAL ENGINEER OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL AS CERTIFIED BY THE CSPESC COUNCIL OF ENVIROCERT INTERNATIONAL, INC. IF A STONE LINING IS NECESSARY, THE CONTRACTOR MAY NEED TO RE-GRADE THE DITCH AS REQUIRED TO PROVIDE ADEQUATE CROSS-SECTION AFTER ALLOWING FOR PLACEMENT OF THE STONE.
- 10) ALL STONE-LINED DITCHES AND CHANNELS MUST BE CONSTRUCTED AND STABILIZED BY OCTOBER 15.
- 11) AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- 12) SEDIMENT BARRIERS THAT ARE INSTALLED DURING FROZEN CONDITIONS SHOULD CONSIST OF EROSION CONTROL MIX BERMS, OR CONTINUOUS CONTAINED BERMS. SILT FENCES AND HAY BALES SHOULD NOT BE INSTALLED WHEN FROZEN CONDITIONS PREVENT PROPER EMBEDMENT OF THESE BARRIERS.



**LOCATION MAP**  
(NOT TO SCALE)

**EROSION CONTROL NOTES:**

- 1) THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3, EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008, OR LATEST EDITION.
- 2) DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED: THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
- 3) LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
- 4) ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - B) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - C) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
  - D) OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- 5) SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SILT FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 6) ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
- 7) ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION. THE MAXIMUM LENGTH OF TIME FOR THE EXPOSURE OF DISTURBED SOILS SHALL BE 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPOILED, AIR DRIED, AND FREE FROM WEED, SEEDS AND ANY COARSE MATERIAL.
- 8) DURING GRADING OPERATIONS INSTALL HAY BALE BARRIERS ALONG TOE OF SLOPE OF FILL AREAS WHERE SHOWN. BARRIERS ARE TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PAVED OR GRASSED.
- 9) THE FILL MATERIAL SHALL BE OF APPROVED SOIL TYPE FREE FROM STUMPS, ROOTS, WOOD, ETC. TO BE PLACED IN 12" LIFTS OR AS SPECIFIED. BULLDOZERS, TRACTORS, OR ROLLERS MAY BE USED FOR COMPACTION BY ROUTING THE EQUIPMENT TO ALL AREAS OR EACH LAYER.
- 10) AVOID THE USE OF FUTURE OPEN SPACES (LOAM & SEED) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ROADS.

**TEMPORARY EROSION CONTROL MEASURES:**

- 1) THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- 2) HAY BALE BARRIERS AND SEDIMENT CONTROL FENCE SHALL BE INSTALLED AS REQUIRED. BARRIERS AND FENCE ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
- 3) BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
- 4) FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
- 5) STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY HAY BALE BARRIERS AND SEEDED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
- 6) ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA.
- 7) SEED MIX SHALL BE EQUAL PARTS OF RED FESCUE (CREEPING), KENTUCKY BLUE GRASS, REDTOP, PERENNIAL RYEGRASS.
- 8) AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
- 9) PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 10) ALL CATCH BASIN INLETS WILL BE PROTECTED WITH INLET PROTECTION.
- 11) ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- 12) ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
- 13) TO PREVENT TRACKING OF SEDIMENT ONTO THE EXISTING ROADS, ALL CONSTRUCTION TRAFFIC CAN ONLY EXIT THE SITE OVER THE CONSTRUCTION ENTRANCES SHOWN ON THIS PLAN.

**GPI** Engineering  
Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

603.893.0720  
GPINET.COM

PREPARED FOR  
**GRANITE STATE  
CONVENIENCE, LLC**  
25 SPRINGER ROAD  
HOOKSETT, NH

**PROPOSED RETAIL MOTOR  
FUEL OUTLET**

**2255 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801**

DAVID  
R. JORDAN  
No. 7778  
Professional Engineer  
3/22/22

REVISIONS		
NO.	REVISION	DATE
1	REV. PER CITY COMMENTS	3/22/22

**JANUARY 26, 2022**

DRAWN/DESIGN BY CCC/NID	CHECKED BY DRJ
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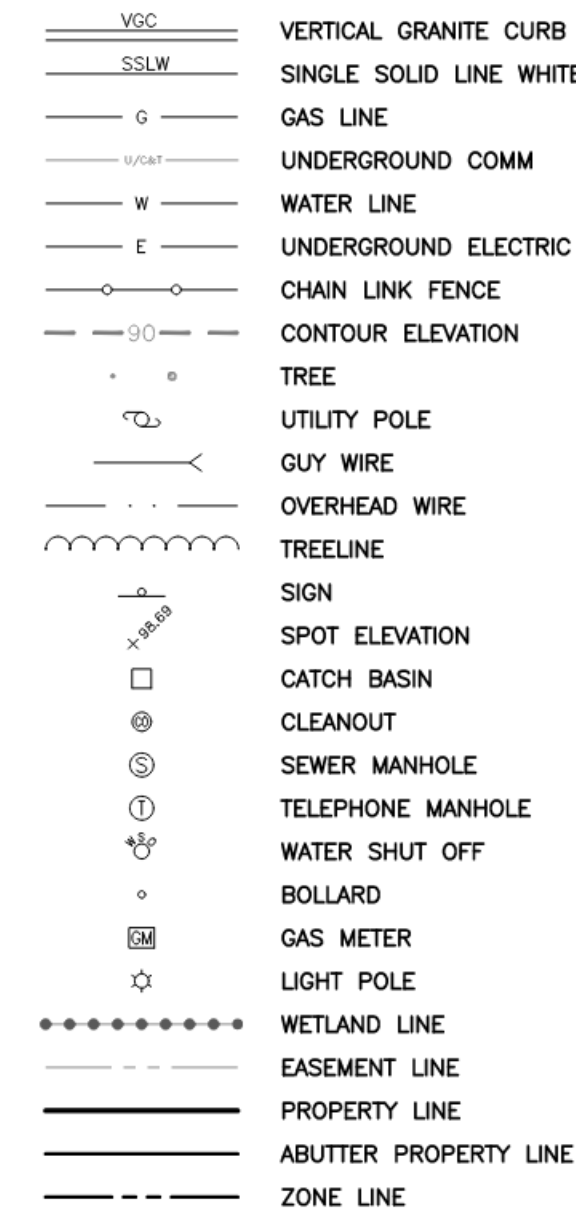
**EROSION &  
SEDIMENT  
CONTROL PLAN**

SCALE: 1"=30'

PROJECT NO.  
NEX-2021163

**7 OF 14**





MAP 272 LOT 2  
N/F 2225 LAFAYETTE LLC  
125 AVIATION AVENUE #202  
PORTSMOUTH, NH 03801  
BOOK 6250 PAGE 2553

MAP 272 LOT 1  
N/F 2219 LAFAYETTE ROAD LLC  
549 US HIGHWAY 1 BYPASS  
PORTSMOUTH, NH 03801  
BOOK 5900 PAGE 1408

IRON ROD WITH CA  
FOUND HS 704 UP 0.

- IRON ROD WITH CAP  
FOUND MSC 844 UP 0.2'

APPROXIMATE LOCATION OF EXISTING  
30' WIDE SEWER EASEMENT  
BOOK 2162 PAGE 119

MAP 272 LOT 3  
111,998 Sq.Ft.  
2.571 Ac.±

PROP. 6" LOAM AND SEED  
ALL DISTURBED AREAS (TYP.)

PROPOSED  
5,555 SF± SANDWICH  
SHOP/CONVENIENCE STORE  
WITH DRIVE-THRU

MAP 272 LOT 4  
N/F RYE PORT  
PROPERTIES LLC  
P.O. BOX 345  
STRATHAM, NH 03885  
BOOK 5083 PAGE 763

- PROP. LANDSCAPE STONE  
WITH WEED BARRIER (TYP.)


PROP. 6" LOAM AND SEED  
ALL DISTURBED AREAS (TYP.)

PROP. 4' DIA. AGED PINE  
BARK MULCH RING (TYP.)

CHAINLINK  
FENCE (TYP.)

- IRON ROD WITH CAP  
FOUND HS 704 FLUSH

LAFAYETTE ROAD (ROUTE 1)  
(PUBLIC - 66'± WIDE R.O.W.)





- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 – NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 2) A 4" DIA. TREE RING WITH 3" AGED PINE BARK MULCH TO BE INSTALLED AT BASE OF ALL TREES IN LAWN AREAS.
- 3) AGED PINEBARK MULCH SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS.
- 4) LANDSCAPE STONE SHALL BE TAN RIVERBED STONE. STONE SHALL BE (1½) INCHES IN DIAMETER AND APPLIED AT A THICKNESS OF (4) INCHES DEEP. ALL FINES SHALL BE SCREENED FROM THE AGGREGATE. THE MATERIAL SHALL BE FREE OF ORGANIC AND INORGANIC DEBRIS AND TRASH. SUBMIT SAMPLE IN A 5-GALLON BUCKET TO THE DEVELOPER FOR APPROVAL.
- 5) A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 6) THE CONTRACTOR SHALL PROVIDE TESTING OF SOILS IN PLANTING LOCATIONS. THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND RECOMMENDATIONS AS NECESSARY FOR SOIL AMENDMENT TO THE ENGINEER FOR THEIR APPROVAL. BACKFILL SHALL BE A BLEND OF ONE-PART LOAM BORROW, ONE PART ORGANIC MATERIAL AND TWO-PARTS EXISTING SUBSOIL.
- 7) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED AS INDICATED ON PLANS.
- 8) ALL SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- 9) APPLICATION OF GRASS SEED, FERTILIZERS AND STRAW MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OBTAINED BELOW:

<u>LIMESTONE:</u>	100 LBS./1,000 SQUARE FEET.
<u>FERTILIZER:</u>	500 LBS./ACRE OF 10-20-20 OR 1000
<u>STRAW MULCH:</u>	APPROXIMATELY 3 TONS/ACRE

<u>SEED MIX (SLOPES LESS THAN 4:1)</u>	<u>LBS./ACRE</u>
CREeping RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
REDTOP	2
	<u>42</u>

<u>SLOPE MIX (SLOPES GREATER THAN 4:1)</u>	<u>LBS/ACRE</u>
CREEPING RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREEFOIL	8
	<u>48</u>

- 1) FOR TEMPORARY EROSION CONTROL NOTES, SEE DETAIL SHEET.
- 11) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- 12) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND CITY PRIOR TO INSTALLATION.
- 13) CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- 14) FOR SEED AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS AND FREE FROM INVASIVE PLANTS.
- 15) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE BY THE DEVELOPER.
- 16) EXPOSED SOILS SHALL BE SEEDDED OR STRAW MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- 17) ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- 18) THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS SHOWN ON THIS PLAN. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.

PREPARED FOR  
GRANITE STATE  
CONVENIENCE, LLC  
25 SPRINGER ROAD  
HOOKSETT, NH

**PROPOSED RETAIL MOTOR  
FUEL OUTLET**  
**2255 LAFAYETTE ROAD**  
**PORTSMOUTH, NH 03801**



REVISIONS		
1	REV. PER CITY COMMENTS	3/22/22
NO.	REVISION	DATE

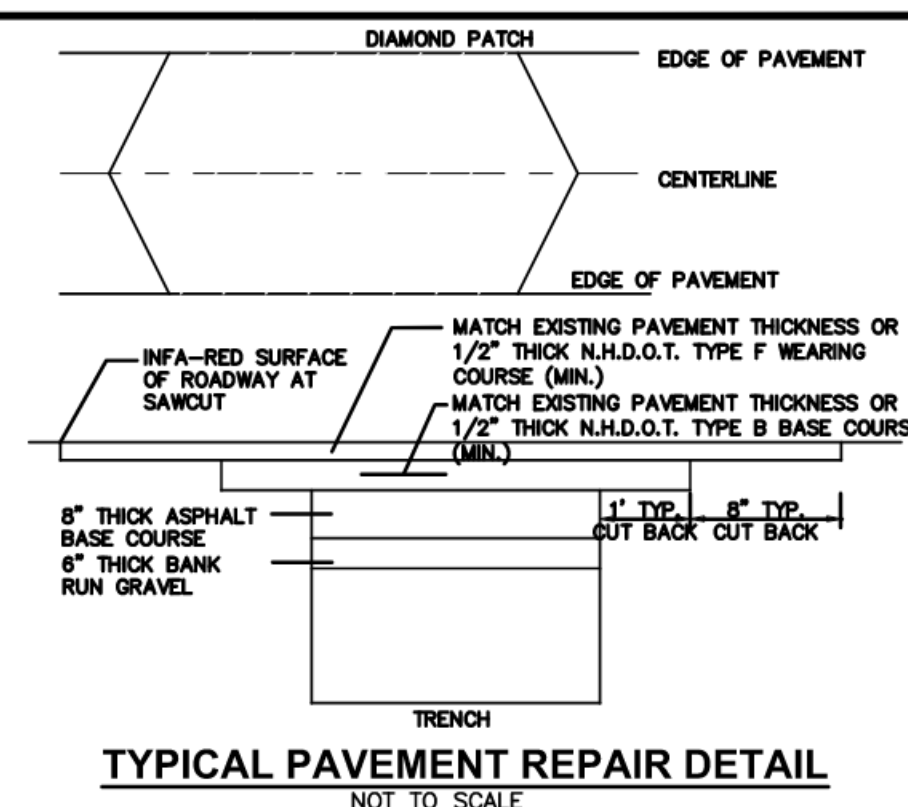
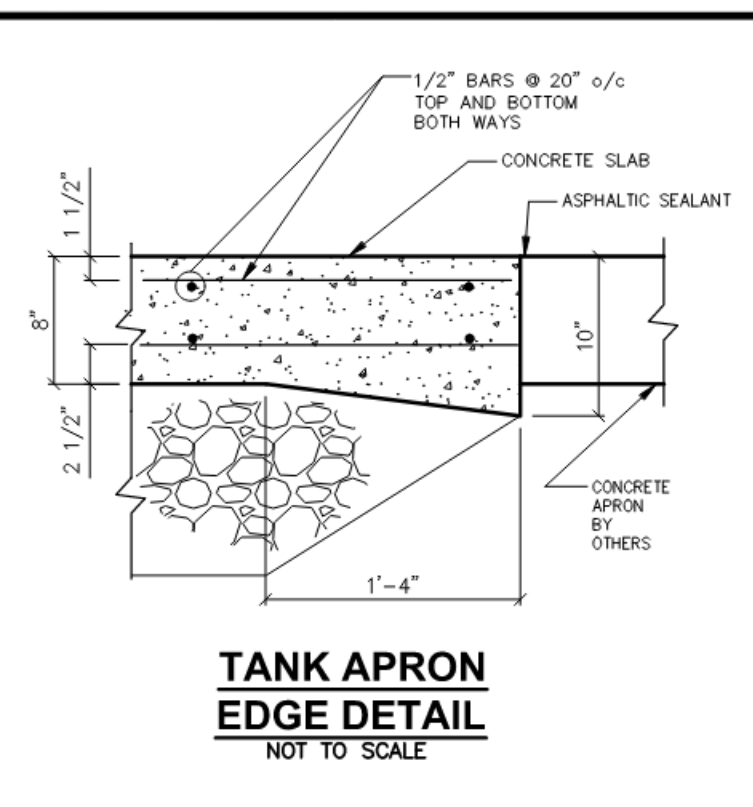
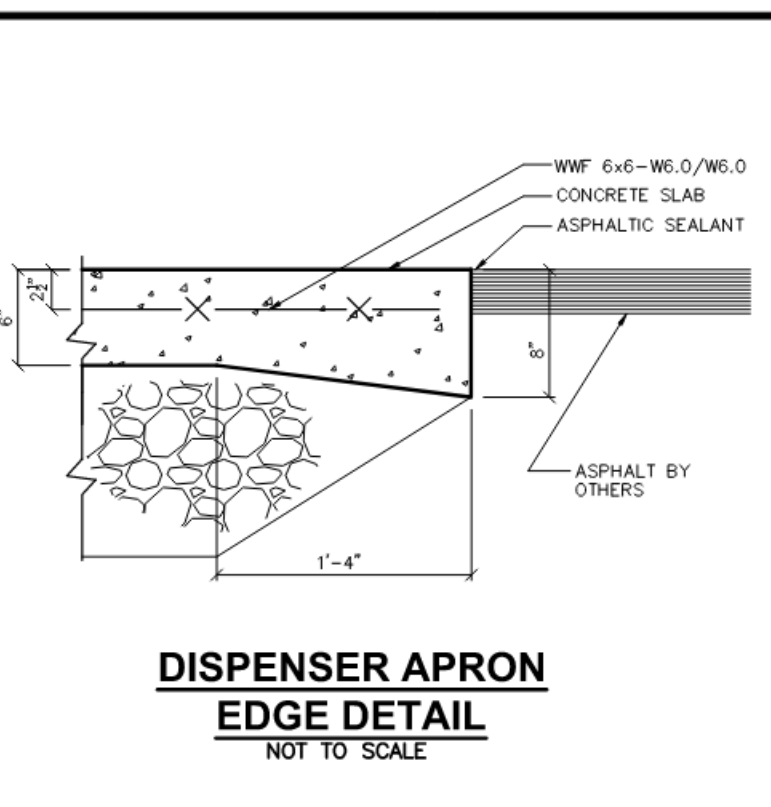
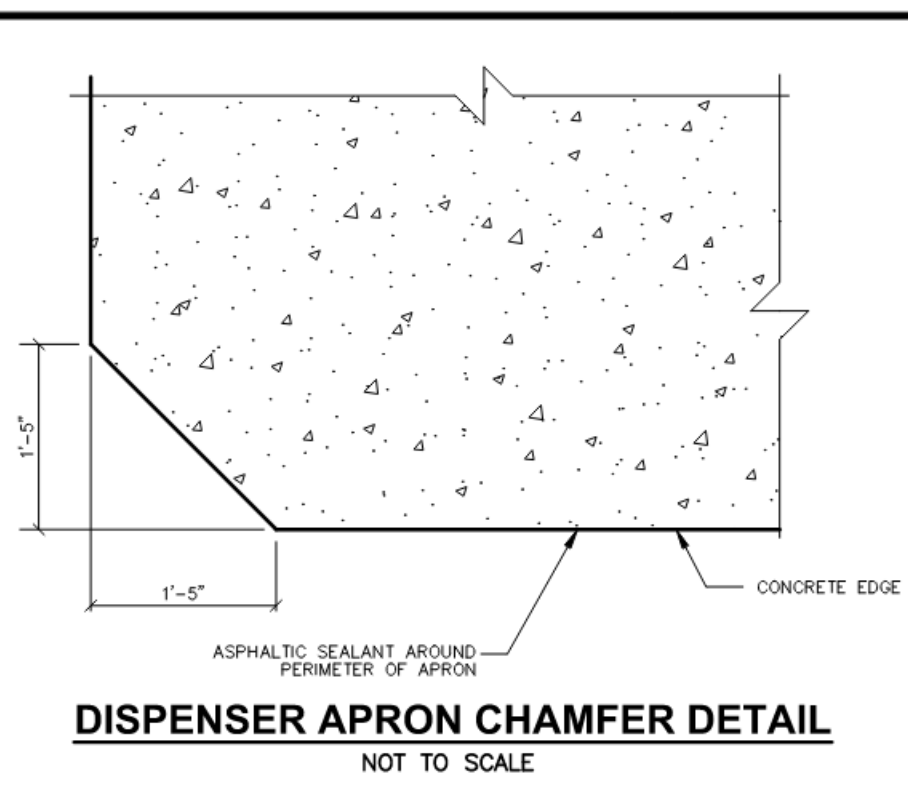
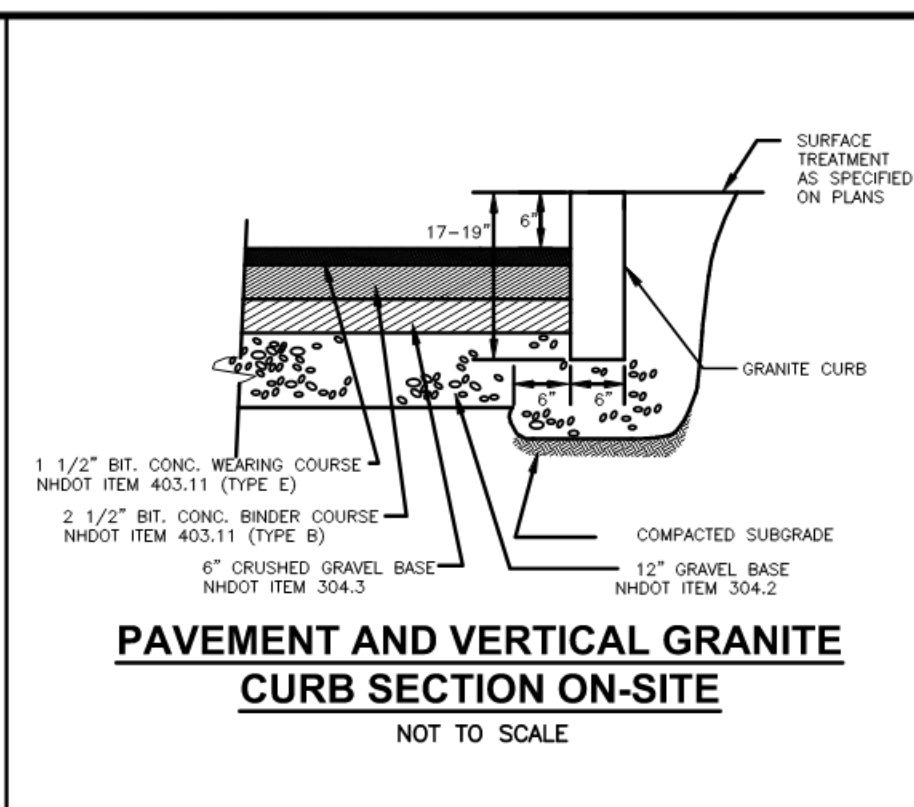
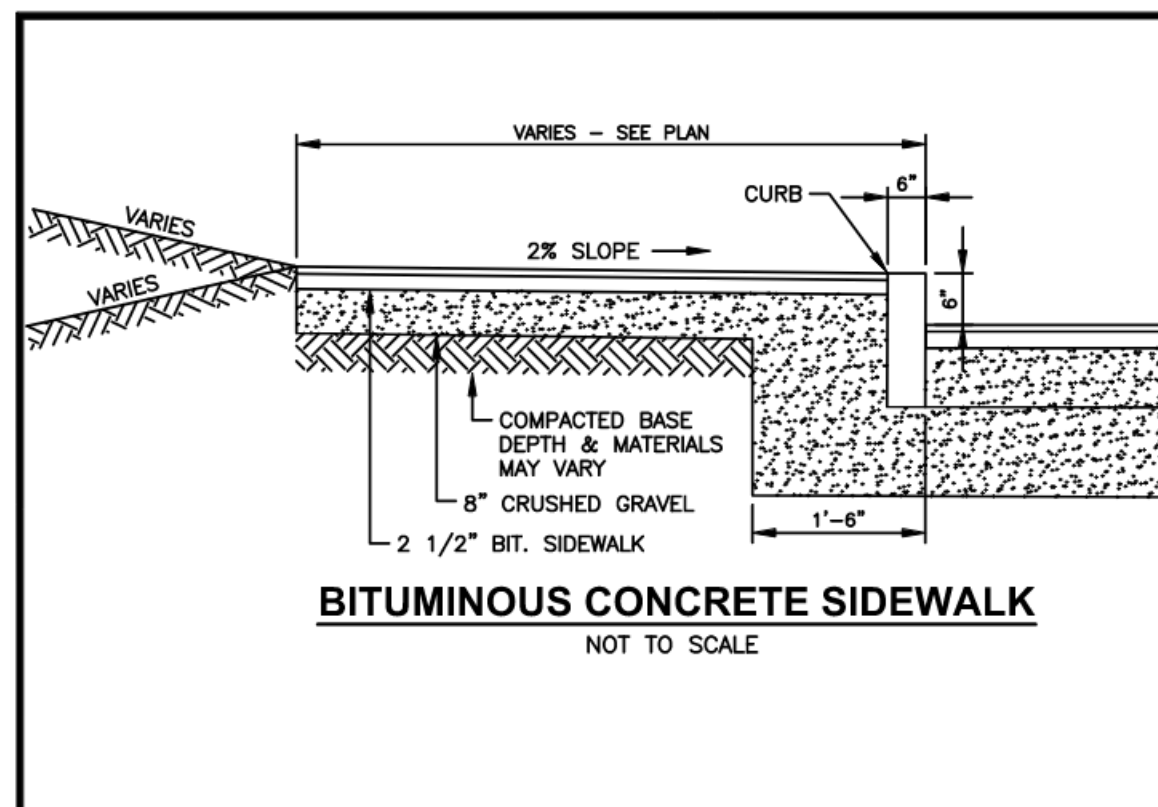
JANUARY 26, 2022	
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SCALE: 1"=30'

PROJECT NO. NEX-2021163

8 OF 14






**GPI** Engineering  
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Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

PREPARED FOR  
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25 SPRINGER ROAD  
HOOKSETT, NH

PROPOSED RETAIL MOTOR  
FUEL OUTLET  
22255 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801



DAVID  
R.  
JORDAN  
No. 7778  
DECEMBER 1998  
REGIONAL ENGINEER

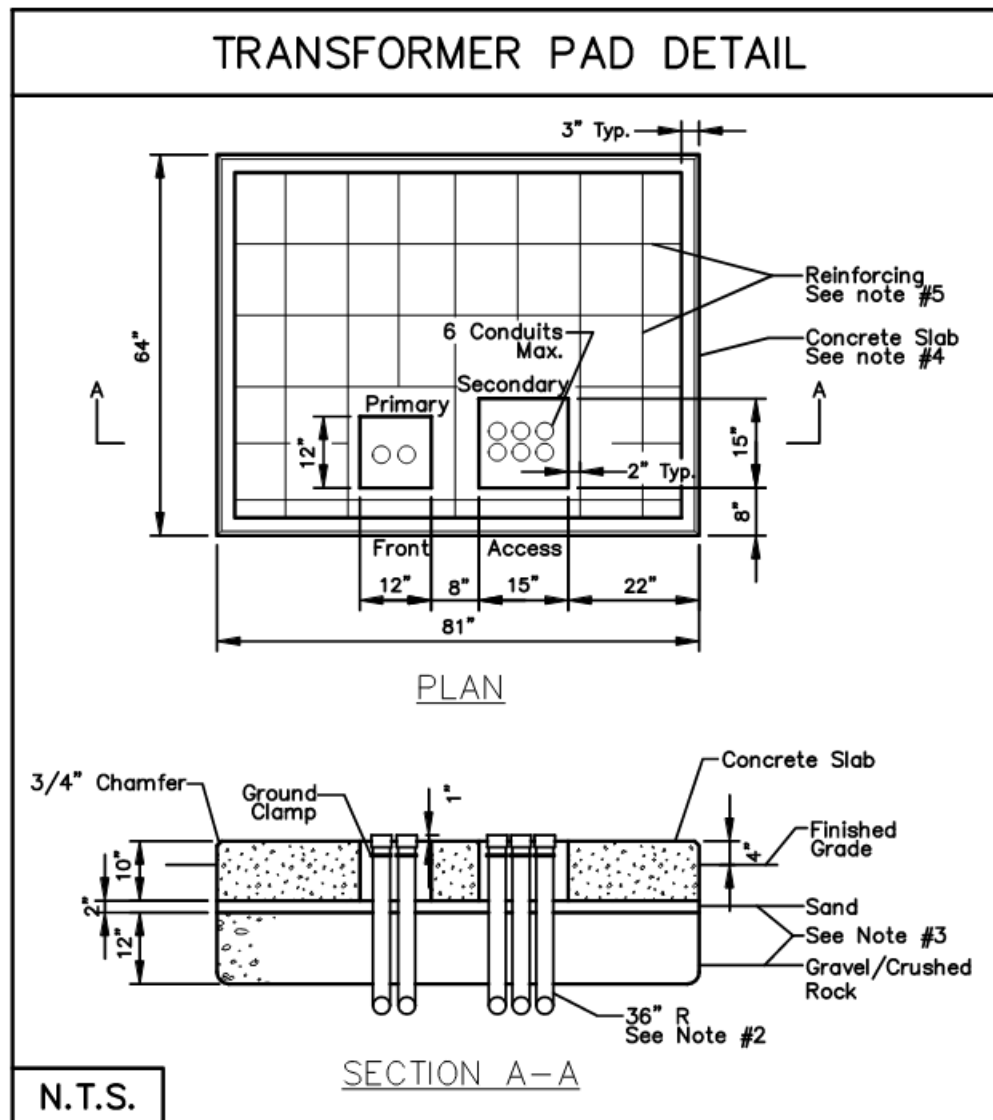
3/22/22

REVISIONS		
1	REV. PER CITY COMMENTS	3/22/22
NO.	REVISION	DATE
JANUARY 26, 2022		
DRAWN/DESIGN BY CCC/NID		CHECKED BY DR.J

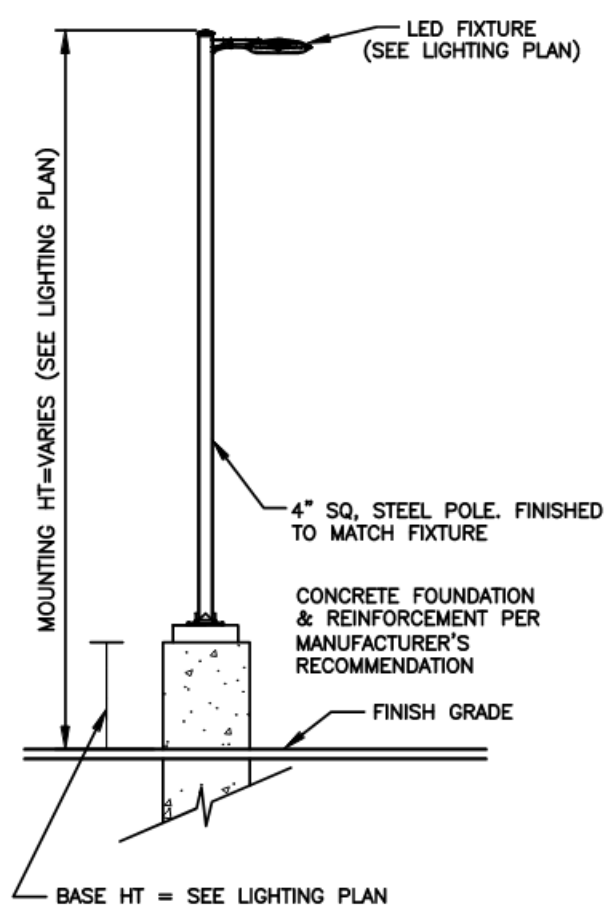
DETAIL SHEET	
SCALE:	NOT TO SCALE
PROJECT NO.	NEX-2021163
9 OF 14	

NOTES:

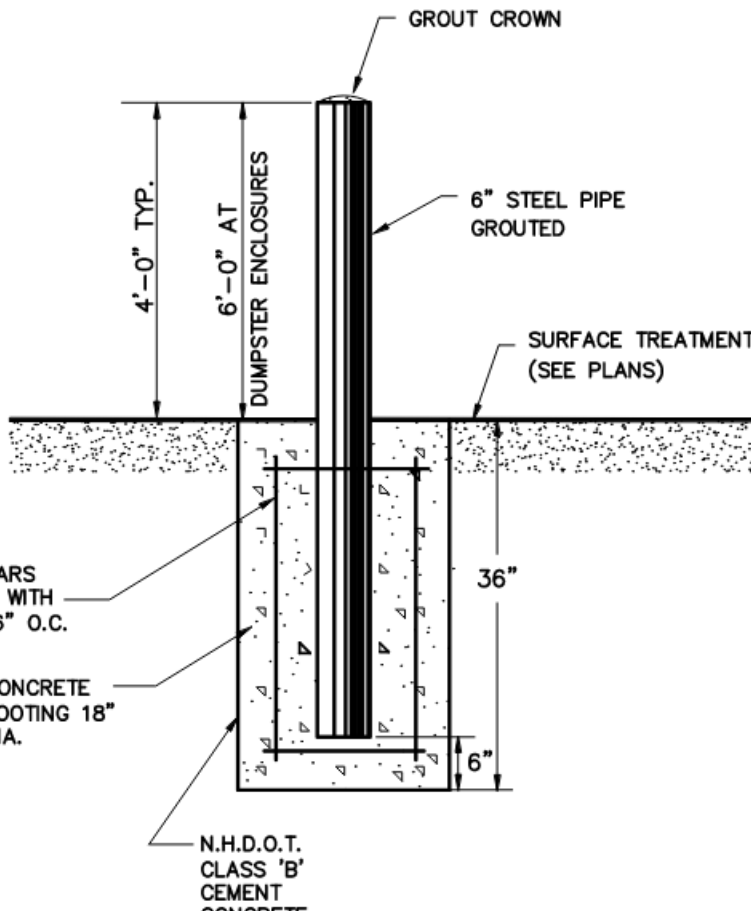
- 1) THIS STANDARD COVERS SPECIFICATIONS FOR THE CONSTRUCTION OF A CONCRETE FOUNDATION FOR PAD-MOUNTED TRANSFORMER.
- 2) INSTALL CONDUIT AS SHOWN BEFORE SLAB IS POURED. USE 3/6" RADIUS BENDS, WITH COUPLINGS, NIPPLES AND BUSHINGS AS REQUIRED. BENDS FOR PRIMARY CABLES SHALL BE GALVANIZED STEEL. TERMINATIONS OF CONDUITS SHALL BE LOCATED AS SHOWN IN SECTION A-A. THE NIPPLE AND BUSHING SHALL BE INSTALLED AFTER THE TRANSFORMER IS PLACED AND BEFORE THE CABLES ARE PULLED.
- 3) GRAVEL AND SAND SHALL BE PLACED AS SHOWN IN SECTION A-A; THE GRAVEL BEING COMPACTED AND THE SAND THOROUGHLY WETTED JUST BEFORE PLACING THE CONCRETE.
- 4) CONCRETE TO CONFORM TO GS 0211 OF LATEST DATE, (MIX M-4) FOR READY MIX CONCRETE. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
- 5) REINFORCING TO BE #4 GRADE 60 BARS AND SHALL CONFORM TO ASTM STANDARD A-615 OF LATEST DATE. REINFORCING ROD TO BE LOCATED IN CENTER OF THE SLAB, WITH A MINIMUM OF 2" CLEARANCE FROM FACE OF CONCRETE.
- 6) GROUND GRID TO BE INSTALLED AS PER GS 2586.



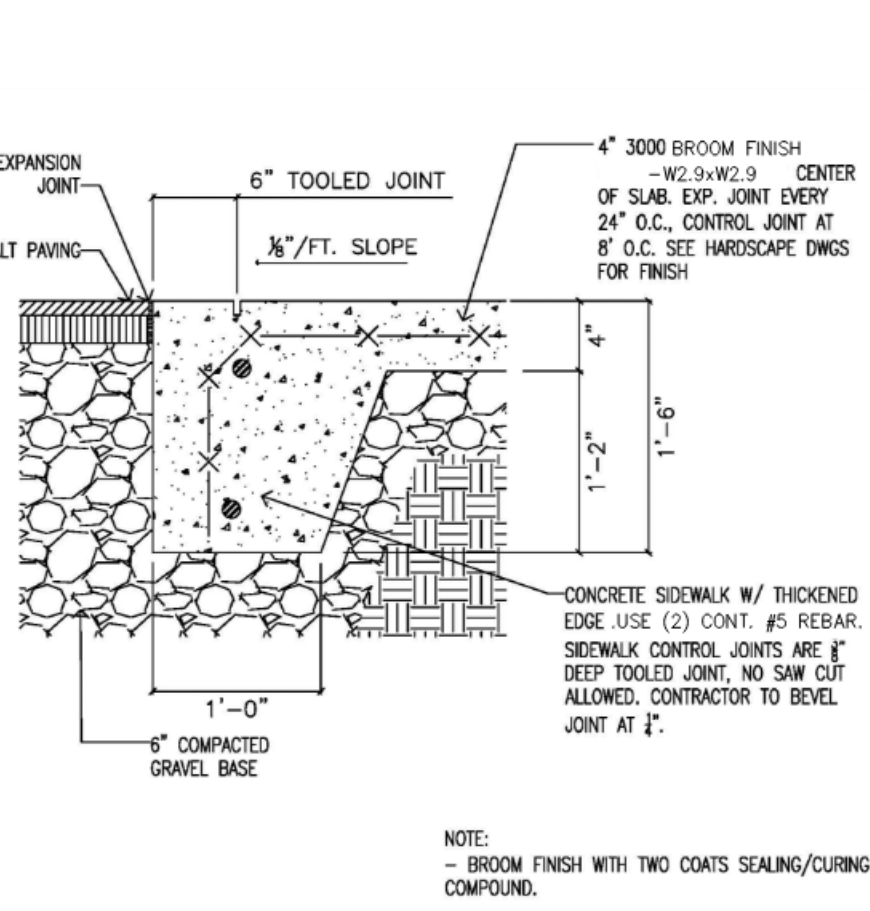
NOTE: REVISE TRANSFORMER PAD DETAILS AS DIRECTED BY LOCAL ELECTRIC  
COMPANY



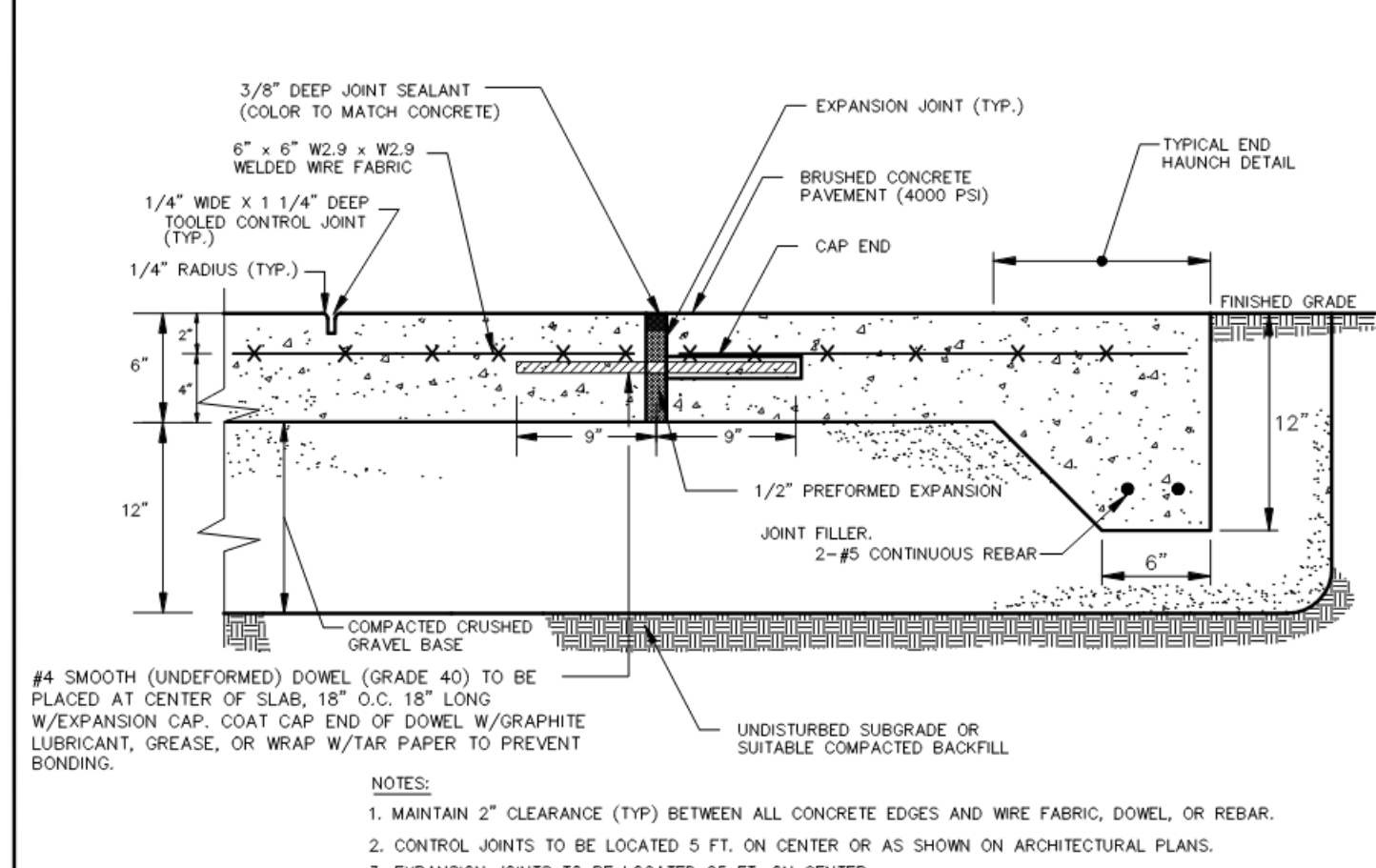
**LIGHT FIXTURE DETAIL**  
NOT TO SCALE



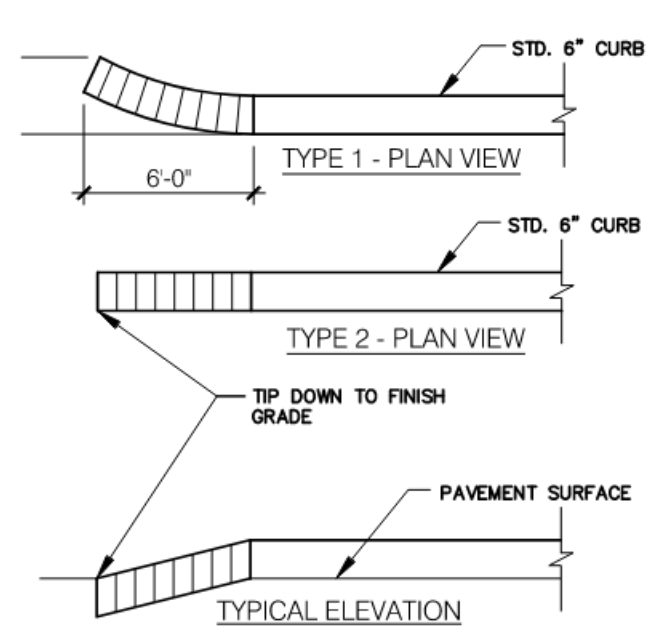
**BOLLARD DETAIL**  
NOT TO SCALE



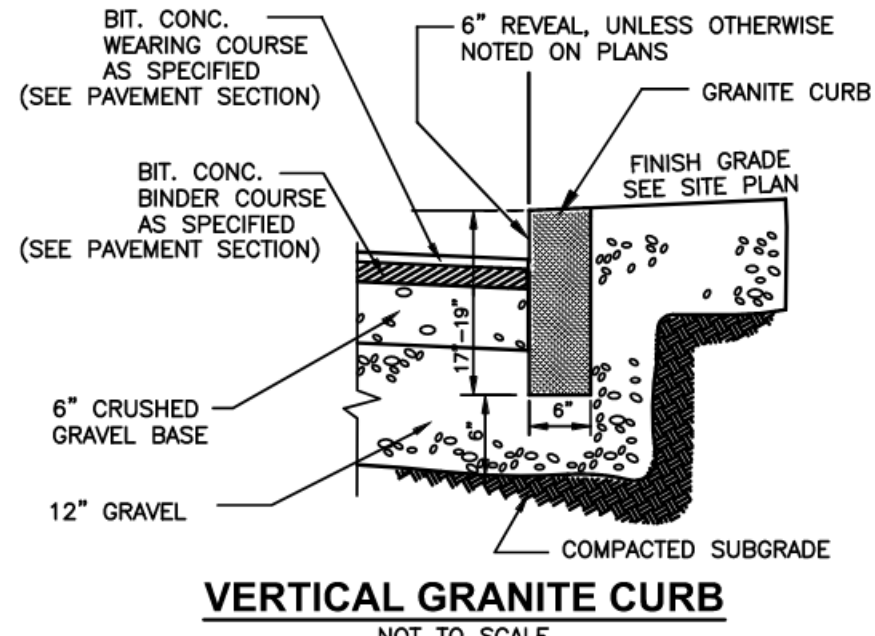
**FLUSH CONCRETE SIDEWALK/PARKING DETAIL**



### 6" HEAVY DUTY CONCRETE PAD DETAILS

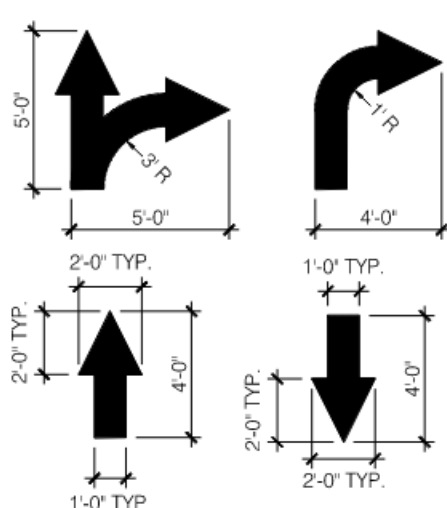


**TYPICAL TIP DOWN CURB DETAIL**  
NOT TO SCALE



**VERTICAL GRANITE CURB**  
NOT TO SCALE

NOTE: SAWCUT 1' OFF FACE OF CURB WHERE  
INSTALLED IN EXISTING PAVEMENT. PATCH  
PAVEMENT TO MATCH EXISTING THICKNESS.

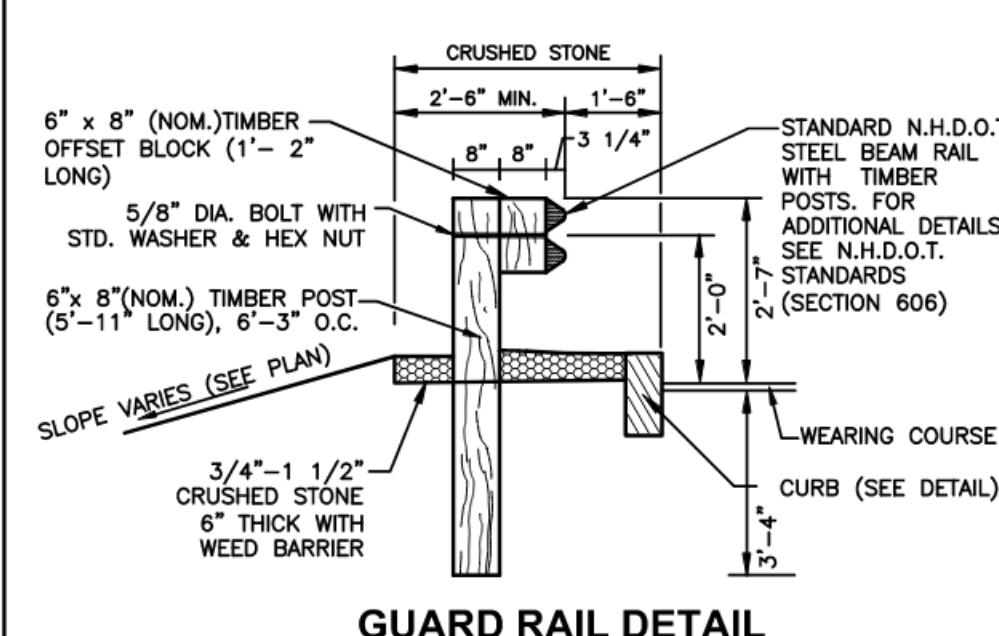


ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE.

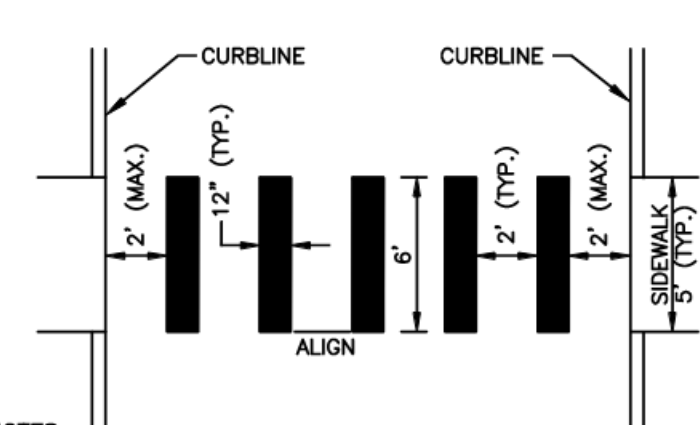
## ON-SITE PAVEMENT MARKING

### DETAILS

NOT TO SCALE

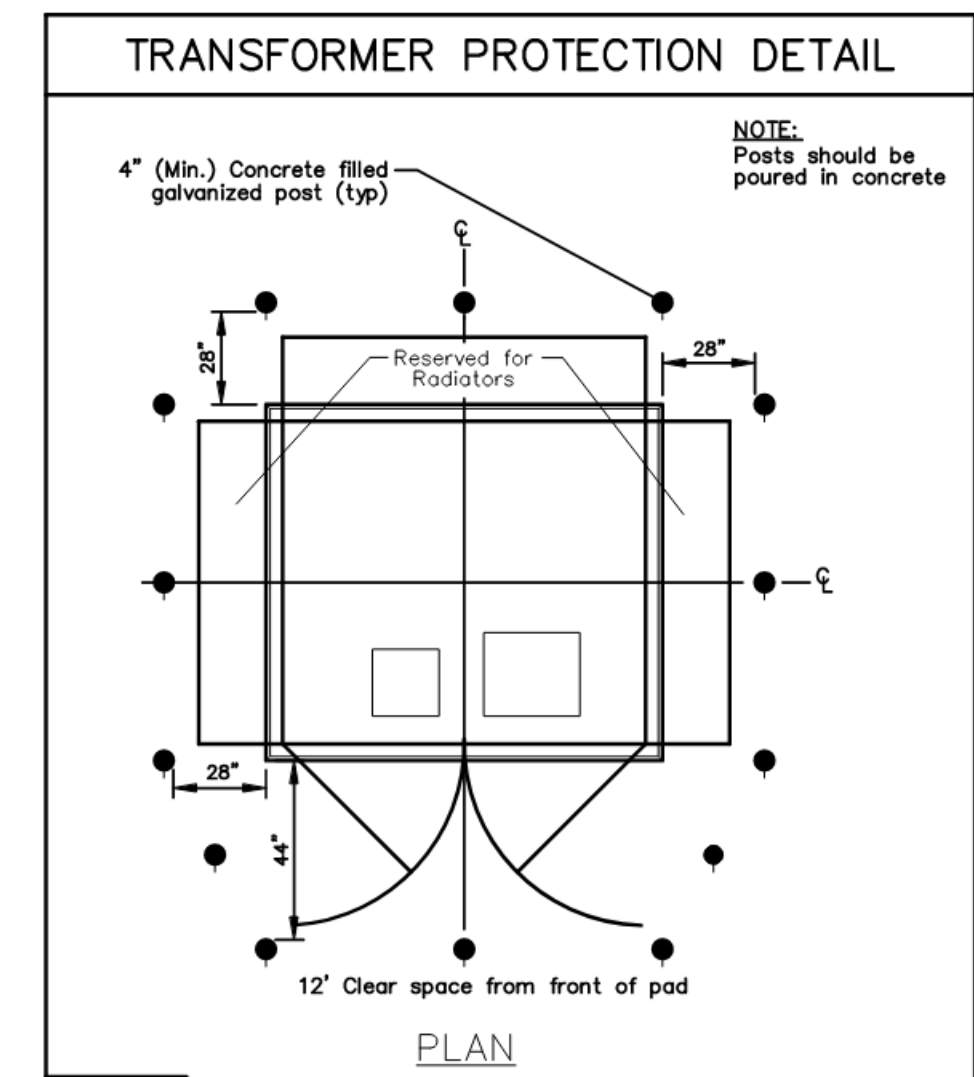


**GUARD RAIL DETAIL**  
NOT TO SCALE



1. TWELVE INCH (12") WHITE THERMOPLASTIC LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.

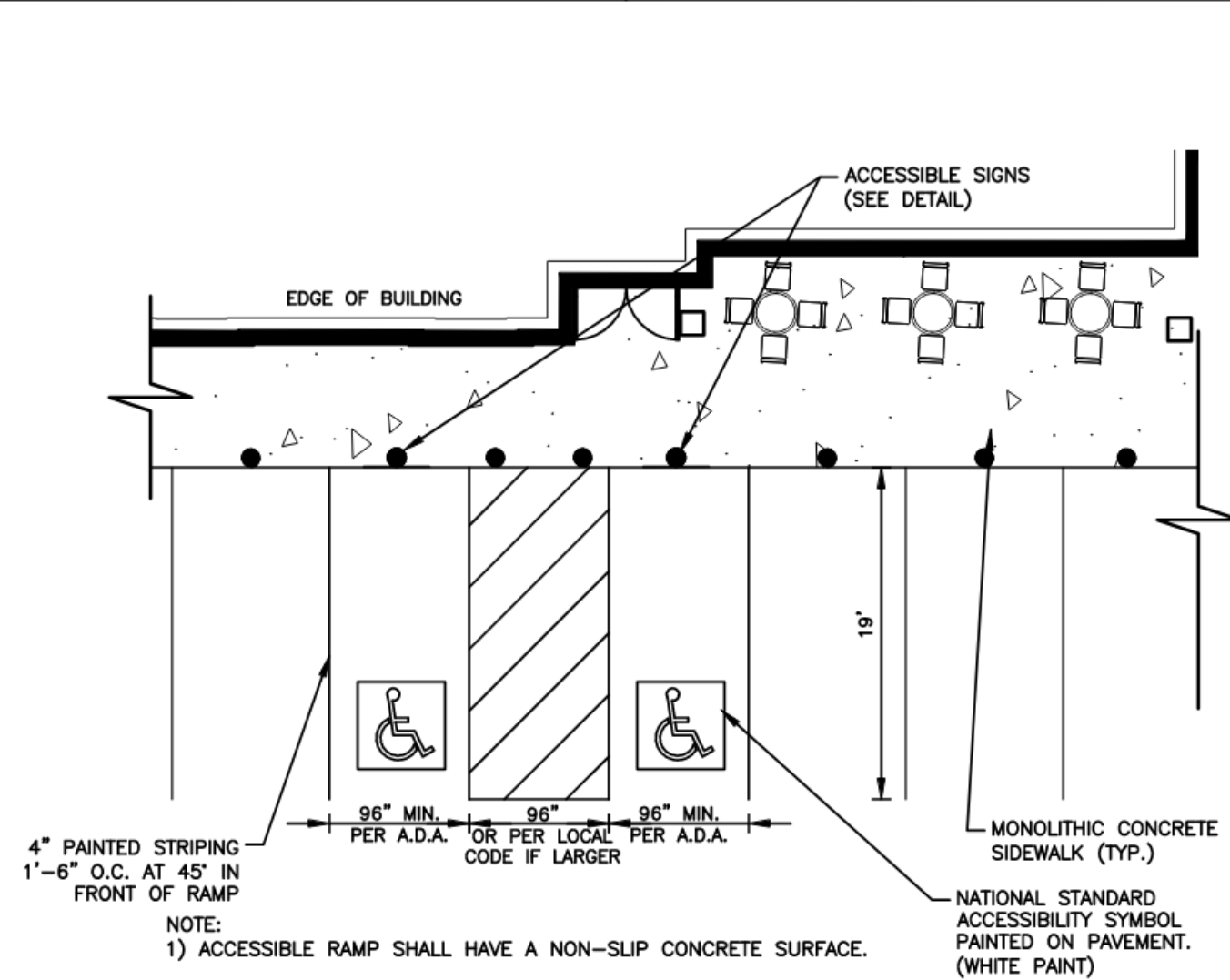
**CROSSWALK**  
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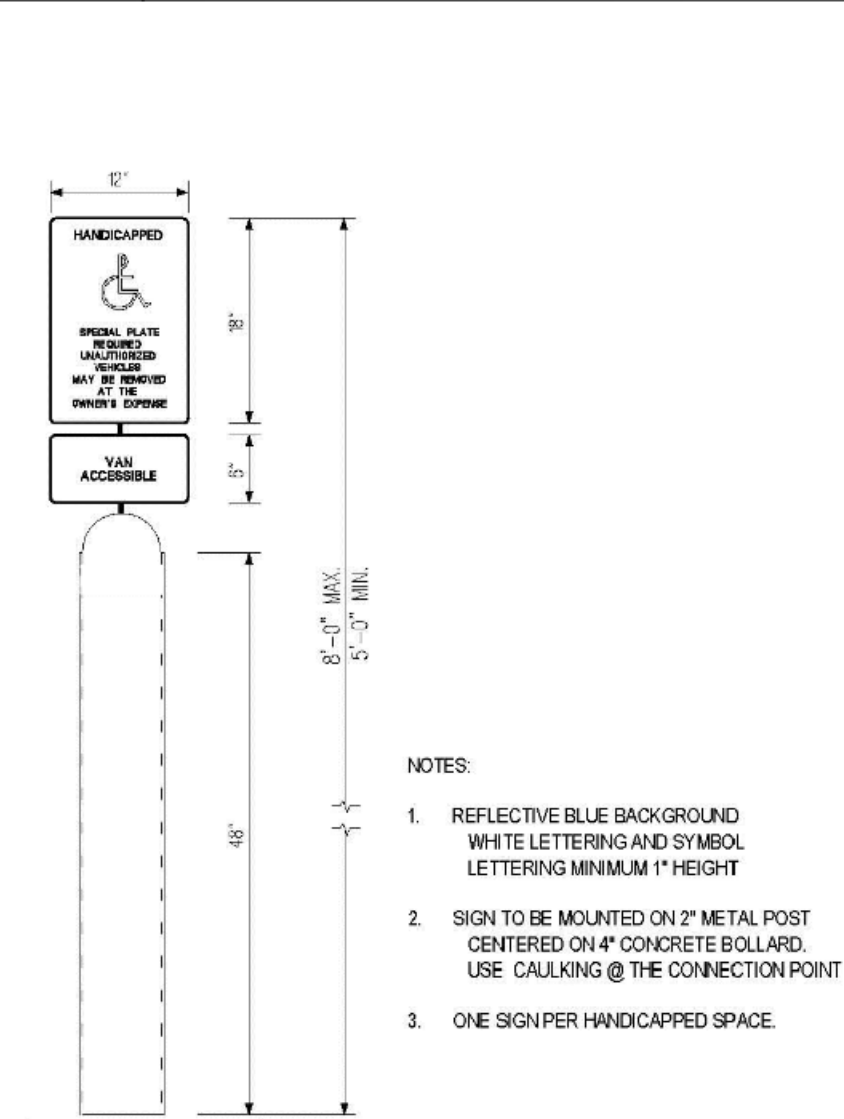
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**TRANSFORMER PAD DETAILS**

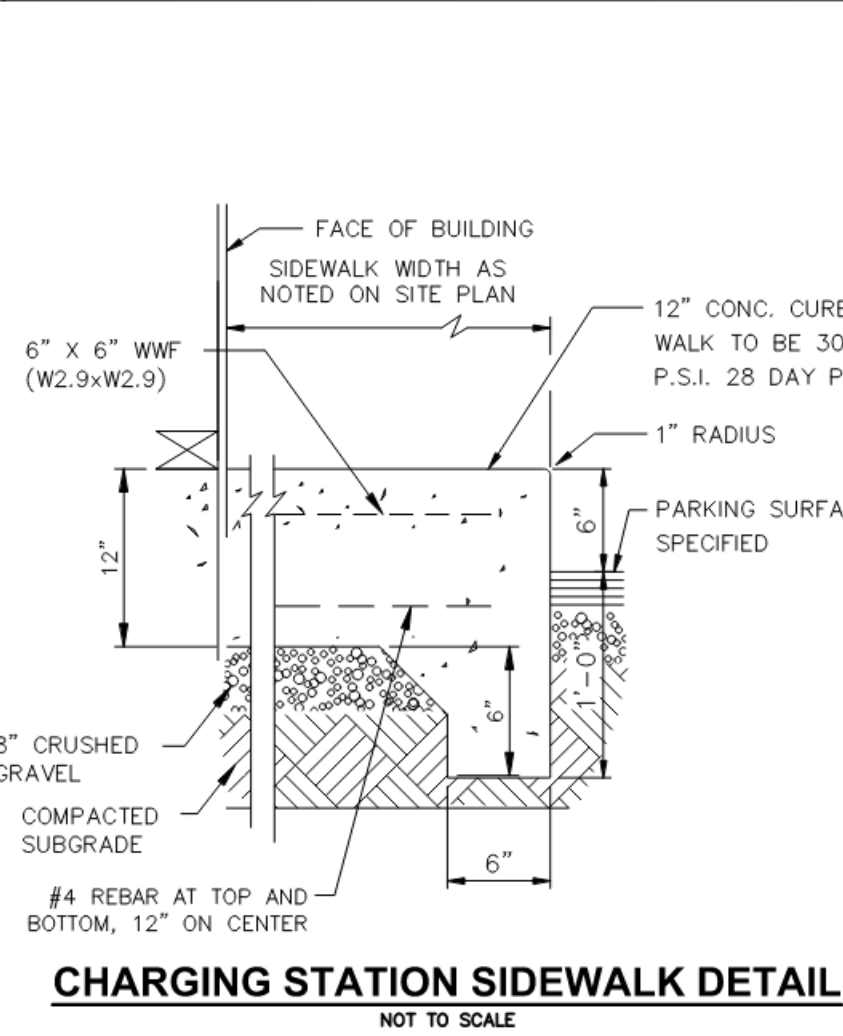
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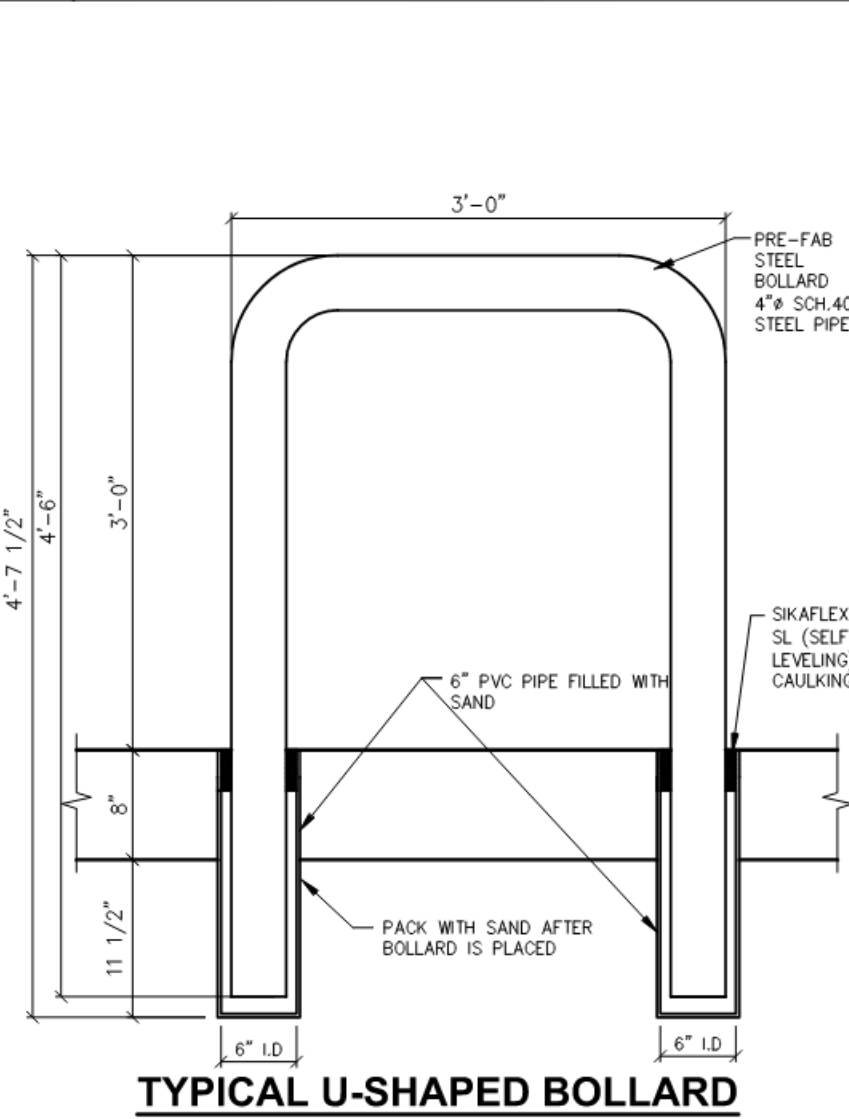
**ACCESSIBLE PARKING STALLS**  
NOT TO SCALE



**ACCESSIBLE SIGN DETAIL**  
NOT TO SCALE



### CHARGING STATION SIDEWALK DETAIL



**TYPICAL U-SHAPED BOLLARD**  
NOT TO SCALE







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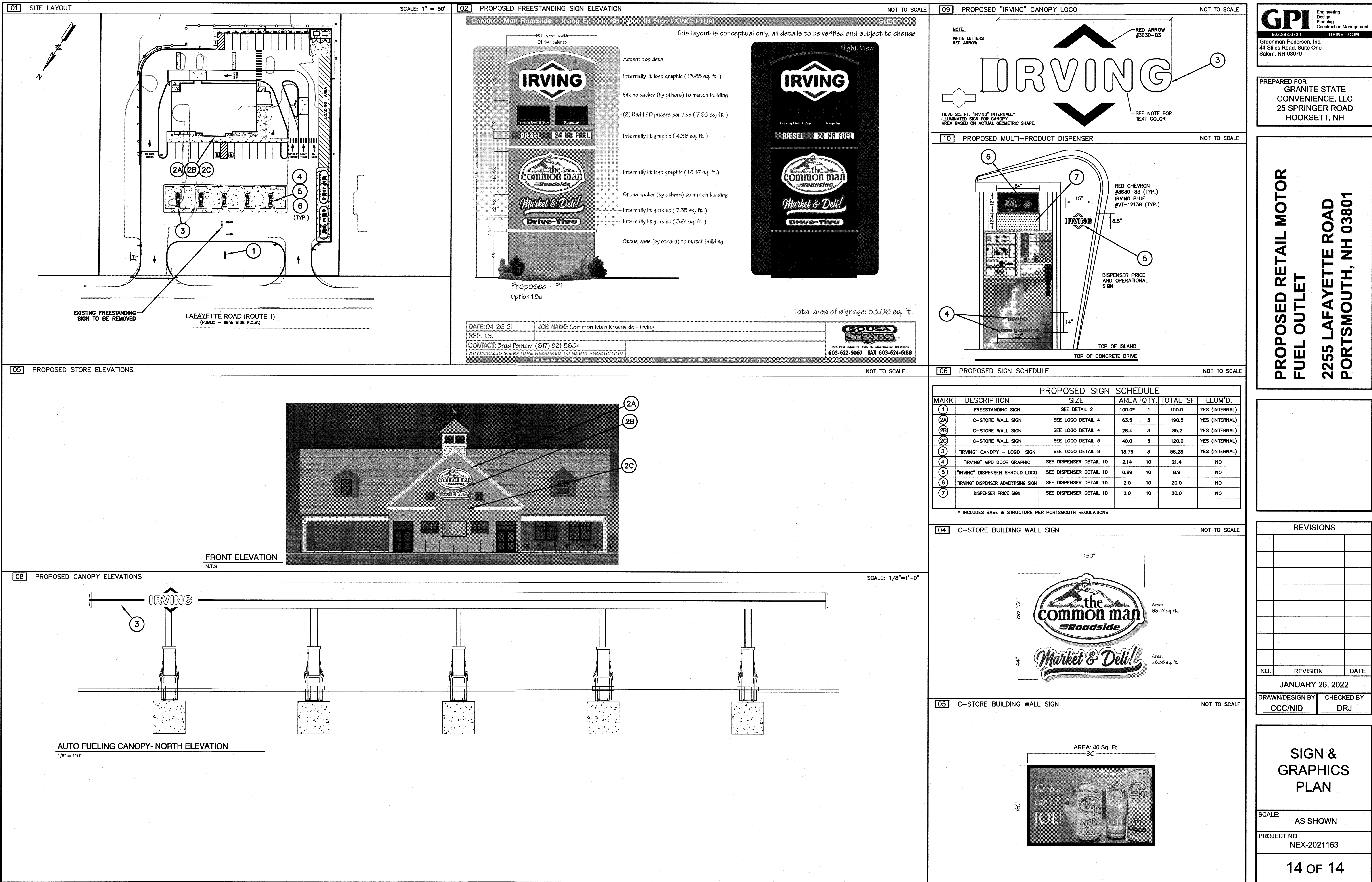
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## BLANKET SLOPE PROTECTION FOR EROSION CONTROL

13 OF 14



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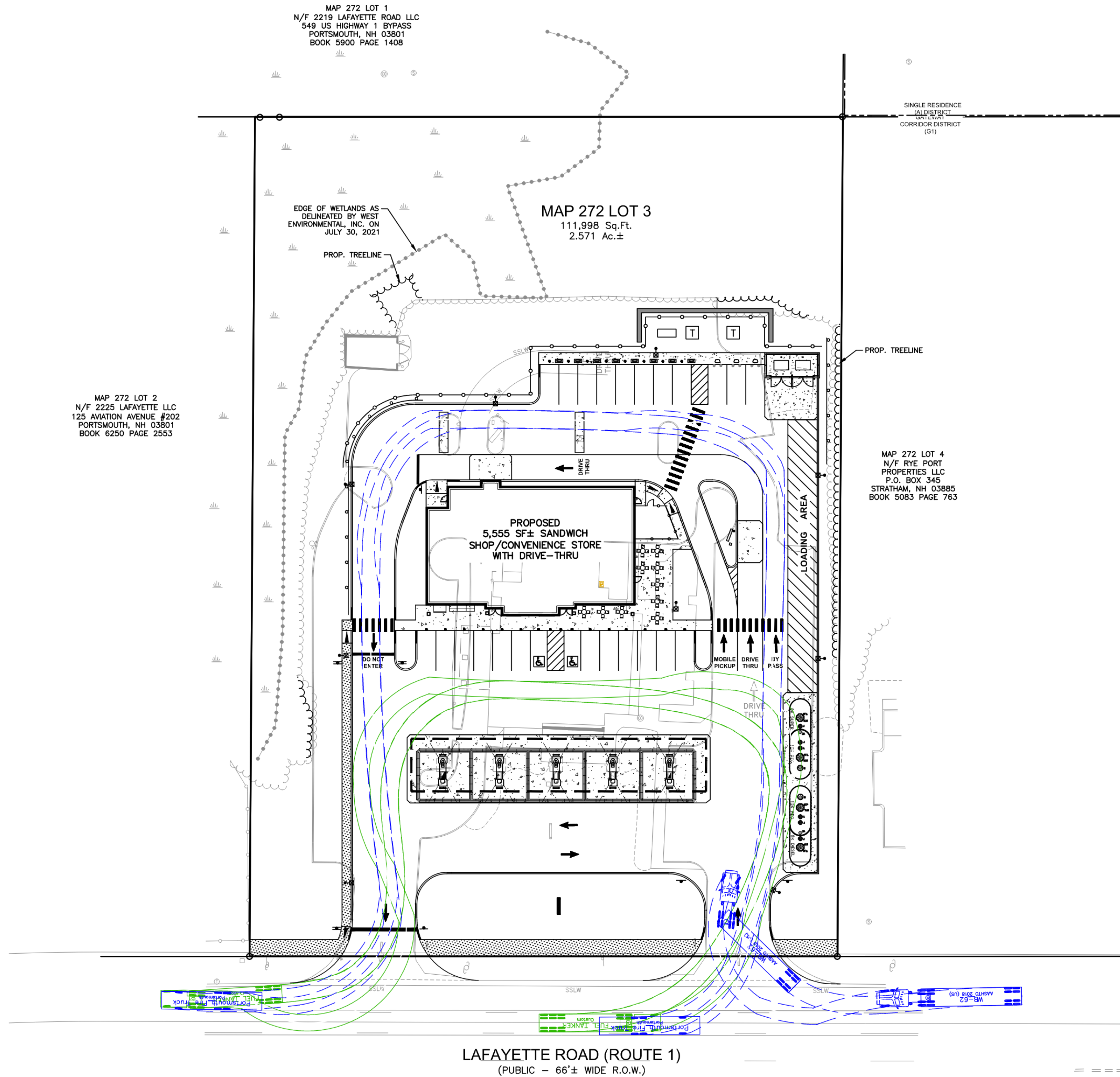
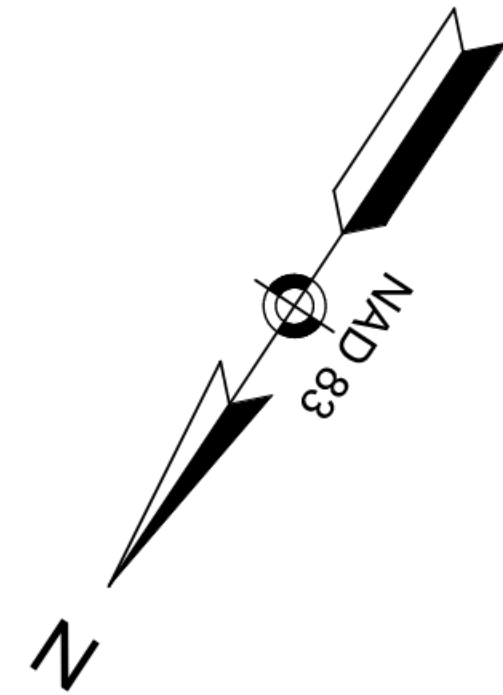




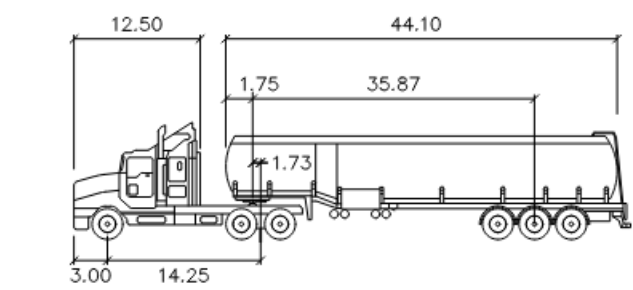
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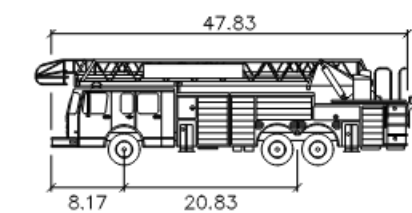
- LEGEND**
- VGC VERTICAL GRANITE CURB
  - SSLW SINGLE SOLID LINE WHITE
  - G GAS LINE
  - UNDERGROUND COMM
  - W WATER LINE
  - E UNDERGROUND ELECTRIC
  - CHAIN LINK FENCE
  - 90 CONTOUR ELEVATION
  - TREE
  - UTILITY POLE
  - GUY WIRE
  - OVERHEAD WIRE
  - TREELINE
  - SIGN
  - SPOT ELEVATION
  - CATCH BASIN
  - CLEANOUT
  - SEWER MANHOLE
  - TELEPHONE MANHOLE
  - WATER SHUT OFF
  - BOLLARD
  - GAS METER
  - LIGHT POLE
  - WETLAND LINE
  - EASEMENT LINE
  - PROPERTY LINE
  - ABUTTER PROPERTY LINE
  - ZONE LINE



**LOCATION MAP**  
(NOT TO SCALE)



FUEL TANKER		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 40.0
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



Portsmouth Fire Truck		feet
Width	: 8.50	
Track	: 8.50	
Lock to Lock Time	: 6.0	
Steering Angle	: 35.0	

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PREPARED FOR  
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**PORTSMOUTH, NH 03801**

DAVID  
R. JORDAN  
No. 7778  
PROFESSIONAL ENGINEER  
3/22/22

REVISIONS		
1	REV. PER CITY COMMENTS	3/22/22
NO.	REVISION	DATE

JANUARY 26, 2022

DRAWN/DESIGN BY CCC/NID	CHECKED BY DRJ
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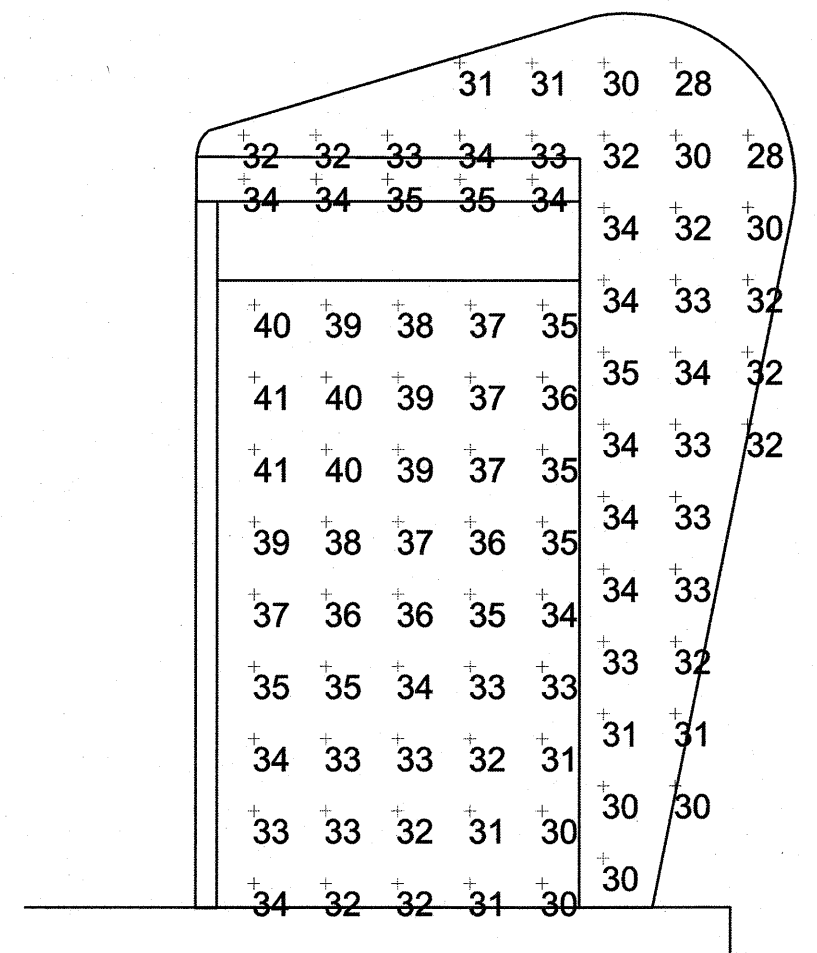
**TRUCK TURN  
PLAN**

SCALE: 1"=30'

PROJECT NO.  
NEX-2021163

1 OF 1










HARP FACE  
VERTICAL LIGHTING DETAIL  
SCALE:  $\frac{1}{2}" = 1'$

THIS SITE IS LOCATED IN A REGION WHERE  
LIGHTING IS REGULATED BY LOCAL ORDINANCES

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A	19.5
2	A	19.5
3	B	19.5
4	B	19.5
5	B	19.5
6	C1	14.5
7	C1	14.5
8	C1	14.5
9	C1	14.5
10	C1	14.5
11	C1	14.5
12	C1	14.5
13	C1	14.5
14	C1	14.5
15	C1	14.5
16	C2	14.5
17	C2	14.5
18	C2	14.5
19	C2	14.5
20	C2	14.5
21	C2	14.5
22	C2	14.5
23	C2	14.5
24	C2	14.5
25	C2	14.5
26	D	19.5
27	D	19.5
28	D	19.5
29	D	19.5

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
IRVING HARP FACE (VERTICAL)	33.88	41	28	1.21	1.46
PAVED AREA	4.78	36.4	0.5	9.56	72.80
UNDEFINED	0.35	7.1	0.0	N.A.	N.A.
UNDER CANOPY	42.73	58	12	3.56	4.83

NOTE:  
- ALL AREA LIGHTS ON NEW 17 FT. POLE MOUNTED ON 2-1/2 FT. CONCRETE BASE

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	2	A	SINGLE	16998	1.030	B2-U0-G3	132	264	Cree Inc	OSQ-ML-B-DA-XX + OSQ-L-B-22L-57K7-4M-UL-NM-XX + OSQ-BLSLF
	3	B	SINGLE	22098	1.030	B3-U0-G3	132	396	Cree Inc	OSQ-ML-B-DA-XX + OSQ-L-B-22L-57K7-4M-UL-NM-XX
	10	C1	SINGLE	12862	1.030	B2-U1-G1	141	1410	RUUD LIGHTING, INC., A CREE COMPANY	CAN-304-AF-RS-06-E-UL-WH-700-57K
	10	C2	SINGLE	13251	1.030	B3-U0-G1	134	1340	CREE, INC.	CAN-304-SL-RS-06-E-UL-XX-700-57K
	4	D	Single	17499	1.030	B2-U0-G3	132	528	Cree Inc	OSQ-ML-B-DA-XX + OSQ-L-B-22L-57K7-3M-UL-NM-XX + OSQ-BLSLF

## DISCLAIMER

[illegible]

SCALE: 1" = 30'

LAYOUT BY: JSG

DWG SIZE: D

DATE: 1/10/22

PROJECT NAME:  
**IRVING OIL  
GRANITE STATE C-STORE**

DRAWING NUMBER:  
**RL-7838-S1**





AREA	QTY	LABEL	DESCRIPTION
	2	A	OSQ-ML-B-DA-XX + OSQ-L-B-22L-57K7-4M-UL-NM--XX + OSQ-BLSLF
	3	B	OSQ-ML-B-DA-XX + OSQ-L-B-22L-57K7-4M-UL-NM-XX
	4	D	OSQ-ML-B-DA-XX + OSQ-L-B-22L-57K7-3M-UL-NM-XX + OSQ-BLSLF

## OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology - Medium & Large

### Product Description

The OSQ™ recessed luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherlight LED driver compartment. Mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 4L luminaire package is a suitable upgrade for HID applications up to 250 Watts, and the 11L luminaire package is a suitable upgrade for HID applications up to 400 Watts. The 22L luminaire package is a suitable upgrade for HID applications up to 750 Watts, and the 30L luminaire package is a suitable upgrade for HID applications up to 1000 Watts.

**Applications:** Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, underpasses, and internal roadways.

### Performance Summary

Utilizes Cree TrueWhite® Technology on 3000K Luminaire

Integrated® Precision Delivery Craft™ optics

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumens: 1,000 - 70,000

Efficiency Up to 173 LPW

Color Rendering Index (CRI): 90-95, 4000K & 5000K, R9 CRI (optional)

CCT: 3000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years on luminaire, 10 years on Colorfast Delivered™ finish, up to 5 years for optional accessories, 1 year on luminaire accessories

The luminaire is warranted against material and workmanship defects. For further information, contact Cree Lighting at 1-800-451-7777.

**Ordering Information**

For complete information on components that must be ordered separately:

Example: Mount (102-46-06-06) + Luminaire (OSQ-M-4L-22L-57K7-4M-UL-NM-XX)

**Mount Luminaire must be ordered separately:**

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

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OSQ-M-4L-22L-57K7-4M-UL-NM-XX

OSQ-M-4L-22L-57K7-4M-UL-NM-XX

CANOPY	QTY	LABEL	DESCRIPTION
	10	C1	CAN-304-AF-RS-06-E-UL-WH-700-57K
	10	C2	CAN-304-SL-RS-06-E-UL-XX-700-57K

## 304 Series™

LED Recessed Canopy Luminaire

### Product Description

The 304 Series™ recessed luminaire is constructed from rugged die cast aluminum components (RS Mount) or die cast and extruded aluminum components (RS Mount). LED driver is mounted in a sealed, weatherlight canister chamber that allows for access from below the fixture. Luminaire housing is directly to the canopy deck and is secured in place with die cast aluminum trim frame. Luminaire housing is provided with factory applied foam gasket that provides a watertight seal between luminaire housing and canopy deck. Suitable for use in single or double wide canopies with 1" x 10" metal side panels. Designed for canopies of 17-22 gauge (minimum 0.016" thick).

**Applications:** Petroleum stations, convenience stores, drive-thru banks and restaurants, retail and grocery

### Performance Summary

Utilizes Cree TrueWhite® Technology

Assembled in the U.S.A. of U.S. and imported parts

CRI: Minimum 90 CRI

CCT: 4000K (w/ 3000K, 5000K (w/ 5000K standard

Limited Warranty: 10 years on luminaire/10 years on Colorfast Delivered™ finish

The luminaire is warranted against material and workmanship defects. For further information, contact Cree Lighting at 1-800-451-7777.

**Ordering Information**

Example: Mount (102-46-06-06) + Luminaire (CAN-304-AF-RS-06-E-UL-WH-700-57K)

**Mount Luminaire must be ordered separately:**

CAN-304-AF-RS-06-E-UL-WH-700-57K

CAN-304-AF-RS-06-E-UL-WH-700-57K

CAN-304-AF-RS-06-E-UL-WH-700-57K

CAN-304-AF-RS-06-E-UL-WH-700-57K

CAN-304-AF-RS-06-E-UL-WH-700-57K

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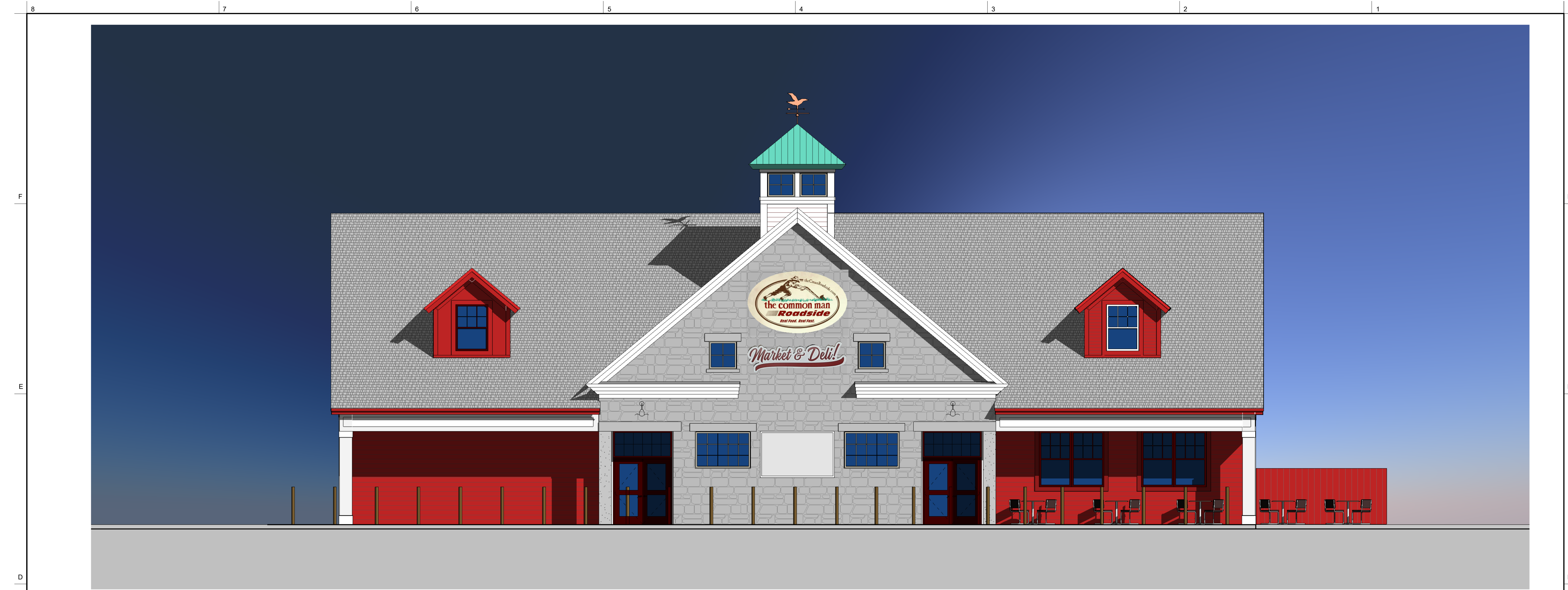
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CAN-304-AF-RS-06-E-UL-WH-700-57K

CAN-304-AF-RS-06-E-UL-WH-700-57K

CAN-304-AF-RS-06-E-UL-WH-700-57





**1** NORTH ELEVATION - PRESENTATION  
Scale: 3/16" = 1'-0"



**2** EAST ELEVATION - PRESENTATION  
Scale: 3/16" = 1'-0"

**SAMYN - D'ELIA**  
ARCHITECTS, P.A.

CONSULTANTS / DESIGN TEAM:  
**ARCHITECT:**  
SAMYN-D'ELIA ARCHITECTS, P.A.  
P.O. BOX 1259  
ASHLAND, NH 03217  
T: (603) 968-7133 F: (603) 968-3057

**STRUCTURAL ENGINEER:**  
Foley Buhl & Roberts  
500 Commercial Street  
Manchester, NH 03101  
T: (603) 622-4578

**HVAC, ELEC. & PLUMB. ENGINEER:**  
Charles P. Buckley, P.E.  
500 Depot Street  
Rumney, NH 03266  
T: (603) 786-9992

**SCHEMATIC  
DESIGN**  
1/20/2022

KEY PLAN & NORTH ARROW:

DRAWN BY:

MR

CHECKED BY:

WD

PROJECT:  
PORTSMOUTH ROADSIDE

PORTSMOUTH, NEW  
HAMPSHIRE

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SAMYN-D'ELIA ARCHITECTS

DRAWING TITLE:  
EXTERIOR ELEVATIONS -  
PRESENTATION

ISSUED:  
Schematic Design

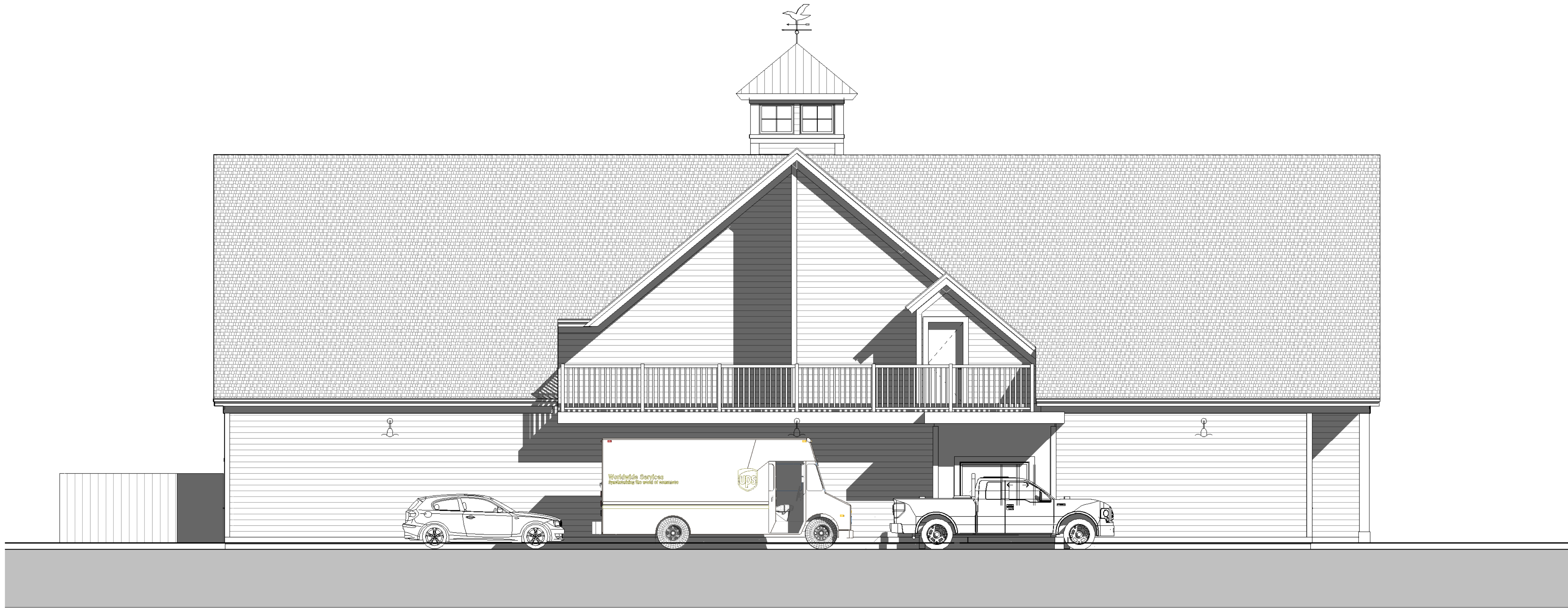
PROJECT NO: 2130 DATE: Jan. 20, 2022

REVISION	DATE	COMMENTS

SHEET NUMBER:

**P201**





**1** SOUTH ELEVATION - PRESENTATION  
Scale: 3/16" = 1'-0"



**2** WEST ELEVATION - PRESENTATION  
Scale: 3/16" = 1'-0"

**SAMYN - D'ELIA**  
ARCHITECTS, P.A.

CONSULTANTS / DESIGN TEAM:

**ARCHITECT:**  
SAMYN-D'ELIA ARCHITECTS, P.A.  
P.O. BOX 1259  
ASHLAND, NH 03217  
T: (603) 968-7133 F: (603) 968-3057

**STRUCTURAL ENGINEER:**

Foley Buhl & Roberts  
500 Commercial Street  
Manchester, NH 03101  
T: (603) 622-4578

**HVAC, ELEC. & PLUMB. ENGINEER:**

Charles P. Buckley, P.E.  
500 Depot Street  
Rumney, NH 03266  
T: (603) 786-9992

**SCHEMATIC  
DESIGN**  
1/20/2022

KEY PLAN & NORTH ARROW:

DRAWN BY:

MR

CHECKED BY:

WD

PROJECT:  
PORTSMOUTH ROADSIDE

PORTSMOUTH, NEW  
HAMPSHIRE

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SAMYN-D'ELIA ARCHITECTS

DRAWING TITLE:  
EXTERIOR ELEVATIONS -  
PRESENTATION

ISSUED:  
Schematic Design

PROJECT NO: 2130 DATE: Jan. 20, 2022

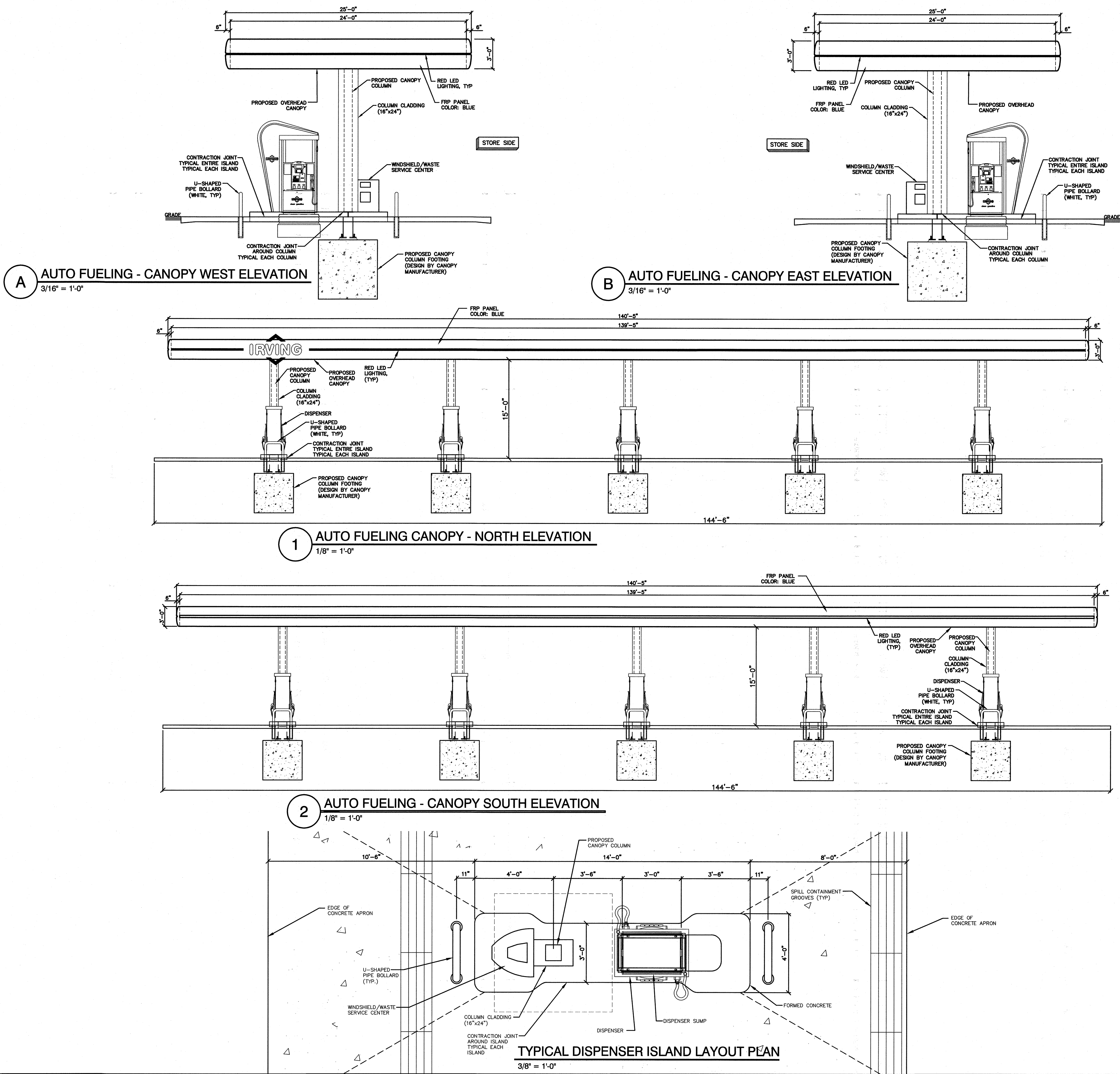
REVISION	DATE	COMMENTS

SHEET NUMBER:

**P202**



F:\Projects\NEX-2021163 - Portsmouth, NH - GSC\CAD Files\21163\_CANOPY.dwg ELEVATIONS 1/28/22 4:31pm ccall



**GPI** Engineering  
Design  
Planning  
Construction Management  
603.893.0720  
Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079  
GPINET.COM

PREPARED FOR  
GRANITE STATE  
CONVENIENCE, LLC  
25 SPRINGER ROAD  
HOOKSETT, NH

PROPOSED RETAIL MOTOR  
FUEL OUTLET

2255 LAFAYETTE ROAD  
PORTSMOUTH, NH 03801

REVISIONS		
NO.	REVISION	DATE

JANUARY 26, 2022

DRAWN/DESIGN BY  
CCC/NID

CHECKED BY  
DRJ

PROPOSED  
CANOPY  
ELEVATIONS

SCALE:  
AS SHOWN

PROJECT NO.  
NEX-2021163

1 OF 1





## City of Portsmouth, New Hampshire

### Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Granite State Convenience Date Submitted: February 14, 2022

Application # (in City's online permitting): LU-22-13

Site Address: 2255 Lafayette Road Map: 272 Lot: 3

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete <a href="#">application</a> form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))		N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)		N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)		
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Sheet 2 & 4	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Sheet 2 & 4	N/A



Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. <b>(2.5.3.1E)</b>	Sheet 2 & 4	N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. <b>(2.5.3.1F)</b>	Sheet 2	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. <b>(2.5.3.1G)</b>	Title Sheet	N/A
<input checked="" type="checkbox"/>	List of reference plans. <b>(2.5.3.1H)</b>	Sheet 2	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. <b>(2.5.3.1I)</b>	Sheet 4	N/A

Site Plan Specifications			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. <b>(2.5.4.1A)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. <b>(2.5.4.1B)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. <b>(2.5.4.1C)</b>	Sheet 2	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. <b>(2.5.4.1E)</b>	Sheet 2	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. <b>(2.5.4.2A)</b>		N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>		N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. <b>(2.5.4.2C)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. <b>(2.5.4.2D)</b>		N/A



Site Plan Specifications – Required Exhibits and Data			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	<b>1. Existing Conditions: (2.5.4.3A)</b> <ul style="list-style-type: none"> <li>Surveyed plan of site showing existing natural and built features;</li> <li>Existing building footprints and gross floor area;</li> <li>Existing parking areas and number of parking spaces provided;</li> <li>Zoning district boundaries;</li> <li>Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre;</li> <li>Existing impervious and disturbed areas;</li> <li>Limits and type of existing vegetation;</li> <li>Wetland delineation, wetland function and value assessment (including vernal pools);</li> <li>SFHA, 100-year flood elevation line and BFE data, as required.</li> </ul>	Sheet 2	
<input checked="" type="checkbox"/>	<b>2. Buildings and Structures: (2.5.4.3B)</b> <ul style="list-style-type: none"> <li>Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;</li> <li>Elevations: Height, massing, placement, materials, lighting, façade treatments;</li> <li>Total Floor Area;</li> <li>Number of Usable Floors;</li> <li>Gross floor area by floor and use.</li> </ul>	Sheet 4, Arch Elevations	
<input checked="" type="checkbox"/>	<b>3. Access and Circulation: (2.5.4.3C)</b> <ul style="list-style-type: none"> <li>Location/width of access ways within site;</li> <li>Location of curbing, right of ways, edge of pavement and sidewalks;</li> <li>Location, type, size and design of traffic signing (pavement markings);</li> <li>Names/layout of existing abutting streets;</li> <li>Driveway curb cuts for abutting prop. and public roads;</li> <li>If subdivision; Names of all roads, right of way lines and easements noted;</li> <li>AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).</li> </ul>	Sheet 4	
<input checked="" type="checkbox"/>	<b>4. Parking and Loading: (2.5.4.3D)</b> <ul style="list-style-type: none"> <li>Location of off street parking/loading areas, landscaped areas/buffers;</li> <li>Parking Calculations (# required and the # provided).</li> </ul>	Sheet 4	
<input checked="" type="checkbox"/>	<b>5. Water Infrastructure: (2.5.4.3E)</b> <ul style="list-style-type: none"> <li>Size, type and location of water mains, shut-offs, hydrants &amp; Engineering data;</li> <li>Location of wells and monitoring wells (include protective radii).</li> </ul>	Sheet 6	
<input checked="" type="checkbox"/>	<b>6. Sewer Infrastructure: (2.5.4.3F)</b> <ul style="list-style-type: none"> <li>Size, type and location of sanitary sewage facilities &amp; Engineering data, including any onsite temporary facilities during construction period.</li> </ul>	Sheet 6	



<input checked="" type="checkbox"/>	<b>7. Utilities: (2.5.4.3G)</b> <ul style="list-style-type: none"> <li>The size, type and location of all above &amp; below ground utilities;</li> <li>Size type and location of generator pads, transformers and other fixtures.</li> </ul>	Sheet 6	
<input checked="" type="checkbox"/>	<b>8. Solid Waste Facilities: (2.5.4.3H)</b> <ul style="list-style-type: none"> <li>The size, type and location of solid waste facilities.</li> </ul>	Sheet 4	
<input checked="" type="checkbox"/>	<b>9. Storm water Management: (2.5.4.3I)</b> <ul style="list-style-type: none"> <li>The location, elevation and layout of all storm-water drainage.</li> <li>The location of onsite snow storage areas and/or proposed off-site snow removal provisions.</li> <li>Location and containment measures for any salt storage facilities</li> <li>Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures.</li> </ul>	Sheet 5	
<input checked="" type="checkbox"/>	<b>10. Outdoor Lighting: (2.5.4.3J)</b> <ul style="list-style-type: none"> <li>Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan.</li> </ul>	Lighting Plan	
<input checked="" type="checkbox"/>	<b>11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)</b>	Lighting Plan	
<input checked="" type="checkbox"/>	<b>12. Landscaping: (2.5.4.3K)</b> <ul style="list-style-type: none"> <li>Identify all undisturbed area, existing vegetation and that which is to be retained;</li> <li>Location of any irrigation system and water source.</li> </ul>	Sheet 8	
<input checked="" type="checkbox"/>	<b>13. Contours and Elevation: (2.5.4.3L)</b> <ul style="list-style-type: none"> <li>Existing/Proposed contours (2 foot minimum) and finished grade elevations.</li> </ul>	Sheet 5	
<input checked="" type="checkbox"/>	<b>14. Open Space: (2.5.4.3M)</b> <ul style="list-style-type: none"> <li>Type, extent and location of all existing/proposed open space.</li> </ul>	Sheet 4	
<input checked="" type="checkbox"/>	<b>15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)</b>	Sheet 2 & 4	
<input type="checkbox"/> N/A	<b>16. Character/Civic District (All following information shall be included): (2.5.4.3P)</b> <ul style="list-style-type: none"> <li>Applicable Building Height (10.5A21.20 &amp; 10.5A43.30);</li> <li>Applicable Special Requirements (10.5A21.30);</li> <li>Proposed building form/type (10.5A43);</li> <li>Proposed community space (10.5A46).</li> </ul>		
<input type="checkbox"/> N/A	<b>17. Special Flood Hazard Areas (2.5.4.3Q)</b> <ul style="list-style-type: none"> <li>The proposed development is consistent with the need to minimize flood damage;</li> <li>All public utilities and facilities are located and construction to minimize or eliminate flood damage;</li> <li>Adequate drainage is provided so as to reduce exposure to flood hazards.</li> </ul>		



Other Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)		
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Sheet 5	
<input type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)		
<input checked="" type="checkbox"/>	Stormwater Management and Erosion Control Plan. (7.4)	Sheet 7	
<input checked="" type="checkbox"/>	Inspection and Maintenance Plan (7.6.5)	Stormwater Management Report	

Final Site Plan Approval Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>• Waivers;</li> <li>• Driveway permits;</li> <li>• Special exceptions;</li> <li>• Variances granted;</li> <li>• Easements;</li> <li>• Licenses.</li> </ul> (2.5.3.2A)	Sheet 4 notes 17, 18, 23	
<input checked="" type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>• Calculations relating to stormwater runoff;</li> <li>• Information on composition and quantity of water demand and wastewater generated;</li> <li>• Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>• Estimates of traffic generation and counts pre- and post-construction;</li> <li>• Estimates of noise generation;</li> <li>• A Stormwater Management and Erosion Control Plan;</li> <li>• Endangered species and archaeological / historical studies;</li> <li>• Wetland and water body (coastal and inland) delineations;</li> <li>• Environmental impact studies.</li> </ul> (2.5.3.2B)	Stormwater Management Report	
<input checked="" type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)		



### Final Site Plan Approval Required Information

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	Sheet 4 note 23	
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)		N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)		
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)		N/A

Applicant's Signature: \_\_\_\_\_

Date: \_\_\_\_\_