

APPLICATION OF 2422 LAFAYETTE ROAD ASSOCIATION, LLC
2454 LAFAYETTE ROAD
Map 273, Lot 10

APPLICANT'S NARRATIVE

A. The Project.

The Applicant, 2422 Lafayette Road Association, LLC, is seeking to lease 3230 square feet of retail space at the mall property located at 2454 Lafayette Road for a Tesla Sales Gallery. The space is currently vacant, having last housed the Empire Beauty School, and is located next to the McKinnon's supermarket. The property is in the G-1 zoning district.

The location would be a Tesla Sales Gallery offering test drives for potential customers to learn more about the vehicles, educate them on the vehicles' features, and ultimately purchase a vehicle from this location. Inside the space will be 2-3 demo models for potential customers to touch and feel. There will also be information about charging and Tesla's other products such as solar panels. There will be an 8' wide storefront entrance door that will allow intermittent access to the space for the vehicles but the vehicles inside the space will be moved infrequently.

In addition, two parking spaces within the shopping center will be equipped with EV chargers so that up to two Tesla demo vehicles can be charged for test drives. These will NOT be the same vehicles as the demo models that will be in the showroom.

Motor vehicle sales are permitted in the G-1 zone by special exception. §10.440.11.10.

The Special Exception.

The Applicant believes the proposal easily meets the criteria for the necessary special exception. Those criteria are set forth in the ordinance at §10.232.20.

First, the use proposed here, "motor vehicle sales," is permitted within this district by special exception, see §10.440 Table of Uses, no. 11.10. §10.232.10.

Second, the proposed use will pose no hazard to the public or adjacent properties on account of potential fire, explosion or release of toxic materials. §10.232.22. No explosives, toxic materials or unusual accelerants will be stored on site. No servicing or repairs of motor vehicles will occur at this location, and no motor vehicle fluids are anticipated to escape the vehicles. In the unlikely event that this does occur, any fluids will be disposed of properly by the Applicant privately in accordance with accepted practices.

Third, there will be no detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures,

parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials. §10.232.23. The location is in an existing, fully developed shopping center. There will be, at most, three vehicles stored outdoors in the existing parking lot. There is no other outdoor storage of product or equipment on site. The proposed use does not produce odor, smoke, gas, dust, noise, glare, heat, or vibration.

Although there will be some work on the storefront, the building already exists and no new construction or site disturbance is contemplated except for minor work to create a temporary ramp in front of the 8' wide entrance. There will be no detriment to property values or change in the essential characteristics of the vicinity.

Fourth, there will be no creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity. §10.232.23. The proposal is for a retail use in a retail shopping center that has more than adequate parking and site circulation.

Fifth, there will be no excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools. §10.232.24. None of these services will be implicated by this proposal.

Finally, the project will result in no significant increase of stormwater runoff onto adjacent property or streets. §10.232.25. There will be no change to the existing building footprint or impervious surfaces.

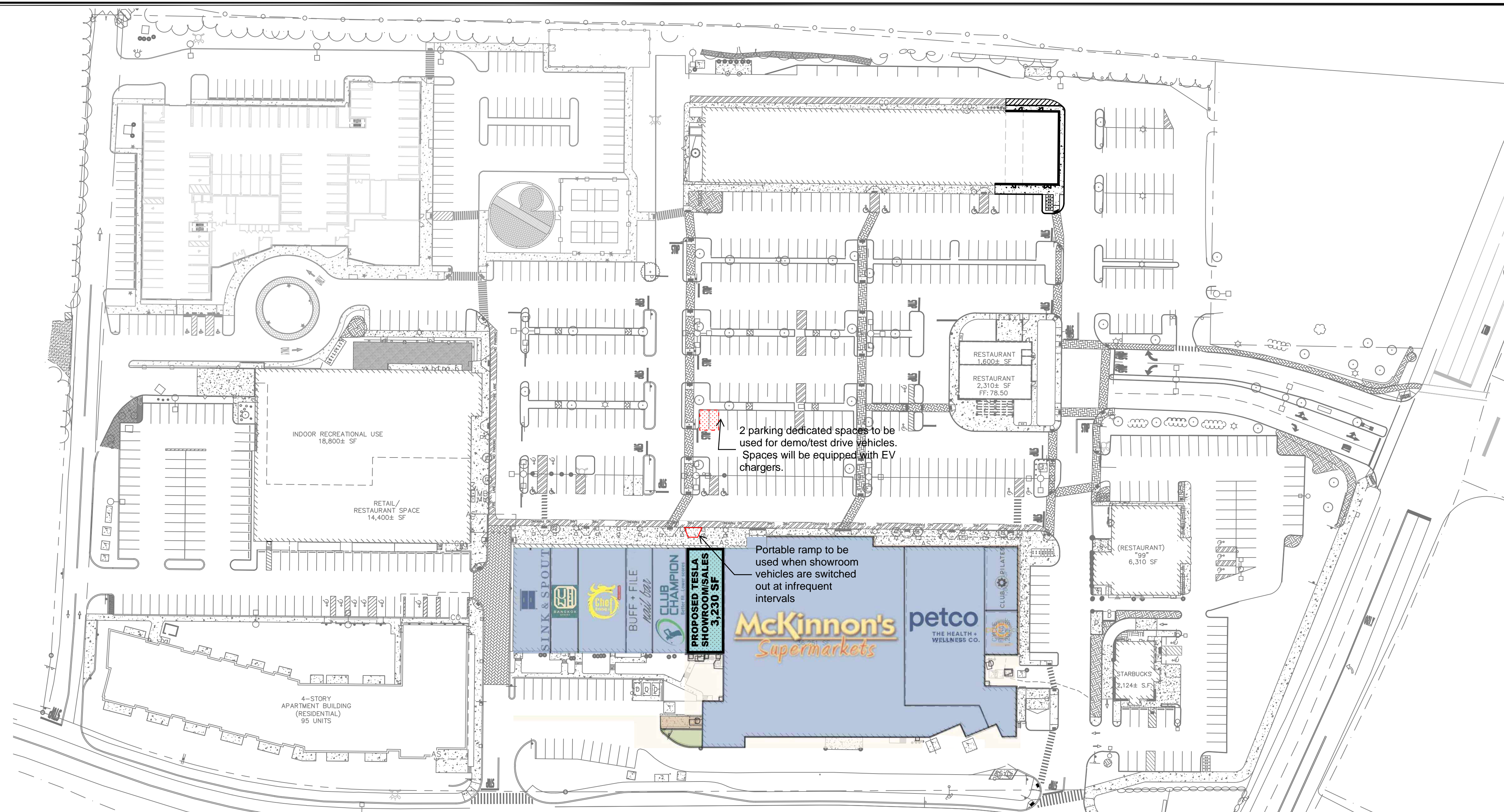
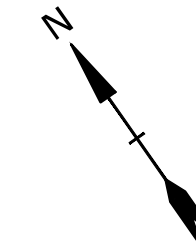
Conclusion.

For the foregoing reasons, the applicant respectfully requests the Board grant the special exception as requested and advertised.

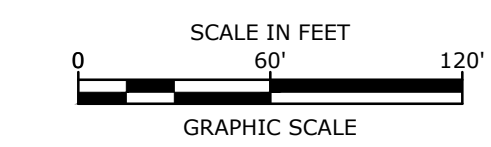
Respectfully submitted,

Dated: 10-6-23

By: *John K. Bosen*
John K. Bosen, Esquire



PROPOSED TESLA SALES AND SHOWROOM



OVERALL PLAZA SITE DATA:

LOCATION: TAX MAP 273, LOT 3 OWNER: 2422 LAFAYETTE ROAD ASSOCIATES, LLC
 C/O WATERSTONE RETAIL DEVELOPMENT
 250 FIRST AVENUE, SUITE 202
 NEEDHAM, MASSACHUSETTS 02494

ZONING DISTRICT: GATEWAY CORRIDOR (G1)
 PROPOSED USE: SHOPPING CENTER/RESIDENTIAL
 PROPOSED LOT SIZE: ±18.71 ACRES (±814,896 SF)

OVERALL PLAZA PARKING REQUIREMENTS

PARKING CALCULATIONS:	LOADING CALCULATIONS:
RETAIL: 1 SPACE PER 300 GFA	RETAIL: 0 SPACES FOR 0 - 10,000 SF
RESTAURANT: 1 SPACE PER 100 GFA	1 SPACE FOR 10,001 - 25,000 SF
INDOOR RECREATION: 1 SPACE PER 4 PERSONS	2 SPACES FOR 25,001 - 60,000 SF
RESIDENTIAL: 0.5 SPACES PER UNIT <500 SF	0 SPACES FOR 0 - 10,000 SF
1 SPACE PER UNIT 500 SF - 750 SF	1 SPACE FOR 10,001 SF - 40,000 SF
1.3 SPACES PER UNIT >750 SF	

OVERALL PLAZA BUILDING PLACEMENT & LOT STANDARDS

BUILDING STANDARDS:	REQUIRED	PROVIDED
MINIMUM LOT DEPTH:	NR	NR
MINIMUM STREET FRONTAGE:	50 FT	±450 FT
FRONT BUILDING SETBACK:	10 FT MIN, 30 FT MAX	± 419 FT ⁽¹⁾
MINIMUM SIDE BUILDING SETBACK:	15 FT	± 57 FT
MINIMUM REAR BUILDING SETBACK:	20 FT	± 52 FT
MINIMUM OPEN SPACE COVERAGE:	20%	±21.6%
FRONT LOT LINE BUILDOUT:	75%	0% ⁽⁴⁾
BUILDING DESIGN STANDARDS:		
MAXIMUM BUILDING HEIGHT:	4 STORIES	5 STORIES ⁽²⁾
MINIMUM STREET FACING FACADE HEIGHT:	50 FT	<60 FT ⁽²⁾
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	24 FT	>24 FT
MAXIMUM BUILDING FOOTPRINT:	NR	<36 IN
MAXIMUM FACADE MODULATION LENGTH:	50 FT	<50 FT
MINIMUM STREET FACING FACADE GLAZING:	20% GROUND FLOOR	>20%
DEVELOPMENT SITE STANDARDS:⁽³⁾		
MINIMUM DEVELOPMENT SITE AREA:	20,000 SF	±814,896 SF
MINIMUM SITE WIDTH:	100 FT	±721 FT
MINIMUM SITE DEPTH:	100 FT	±1,137 FT
MINIMUM PERIMETER BUFFER FROM RESIDENTIAL, MIXED RESIDENTIAL, OR CD4-L1 DISTRICTS:	75 FT	N/A
MAXIMUM DEVELOPMENT BLOCK DIMENSIONS:	800 FT	±1,137 FT ⁽⁴⁾
BLOCK LENGTH:	2,200 FT	±3,780 FT ⁽⁴⁾
MAXIMUM BUILDING COVERAGE:	70%	25.6%
MINIMUM OPEN SPACE COVERAGE:	20%	±21.6%
FRONT LOT LINE BUILDOUT:	75%	0% ⁽⁴⁾
DENSITY THRESHOLDS AND BONUSES:		
DWELLING UNITS PER ACRE:	16 UNITS	10.2 UNITS
DWELLING UNITS PER BUILDING:	36 UNITS	95 UNITS ⁽¹⁾⁽³⁾
PLUS 1-STORY, MAX 10 FT	5 STORIES	5 STORIES ⁽³⁾
	60 FT	<60 FT ⁽²⁾

SHOPPING CENTER:	AREA (SF):	MINIMUM	PROVIDED	LOADING SPACES:
RETAIL:				MINIMUM
PETCO	±12,588		1	PROVIDED
CYCLE FIERCE	±1,200		0	
EXISTING RETAIL/RESTAURANT	±20,075		0	
PROPOSED RETAIL AREA	±3,650		0	
EXISTING RETAIL/RESTAURANT (MUSE)	±3,616		0	
EXISTING RETAIL/RESTAURANT (SHIO JAPANESE)	±7,400		0	
PROPOSED RESTAURANT (OLD BIG LOTS)	±14,400		1	
INDOOR RECREATIONAL (PINZ)	±18,800		1	
SUBWAY	±1,800		0	
THE 99	±6,310		0	
McKINNON'S	±36,251		2	
RETAIL	±9,134		0	
PROPOSED RESTAURANT	±1,600		1	
PROPOSED RESTAURANT	±2,310		0	
STARBUCKS	±2,124		0	
TOTAL SHOPPING CENTER	±141,258	406 SPACES ⁽¹⁾	8	15
RESIDENTIAL:				
PREVIOUSLY APPROVED DWELLING UNITS				95 UNITS
EXISTING DWELLING UNITS				95 UNITS
VISITOR PARKING				
TOTAL:		654 SPACES ⁽¹⁾	795 SPACES	9 15

(1) - PER PARKING DEMAND ANALYSIS PERFORMED BY TIGHE & BOND DATED OCTOBER 18, 2021, BASED ON A TOTAL SHOPPING CENTER AREA OF ±139,441 SF.

ACCESSIBLE SPACES (2% OF TOTAL):	REQUIRED	PROVIDED
VAN ACCESSIBLE SPACES	15	32
(1 PER 6 ACCESSIBLE SPACES):	2	24
PARKING STALL SIZE:	8.5 FT X 19 FT	8.5 FT X 19 FT
DRIVE AISLE:	24 FT	24 FT, 26 FT
BIKE SPACES REQUIRED:		
SHOPPING CENTER:	REQUIRED	PROVIDED
1 BIKE SPACE / 10 PARKING SPACES	30 SPACES	42 SPACES
MAXIMUM OF 30 SPACES		
RESIDENTIAL:		
EXISTING 95 DWELLING UNITS	19 SPACES	30 SPACES
PREVIOUSLY APPROVED 95 DWELLING UNITS	19 SPACES	20 SPACES

LEGEND

---	PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED CURB
---	PROPOSED BUILDING
---	PROPOSED PAVEMENT SECTION
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED BRICK SIDEWALK
•	PROPOSED BOLLARD
•	BUILDING
•	TYPICAL
•	COORD
•	30'R
•	VGC
•	SGC
---	PROPOSED VERTICAL GRANITE CURB
---	PROPOSED SLOPED GRANITE CURB

- (1) - MODIFICATION OF STANDARDS ALLOWED AS PART OF CONDITIONAL USE PERMIT PER 10.5B74.30, APPROVED JANUARY 19, 2022.
- (2) - ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B72 FOR PROVIDING 20% WORK FORCE HOUSING AND PUBLIC REALM IMPROVEMENTS, APPROVED JANUARY 19, 2022.
- (3) - USE OF DEVELOPMENT SITE STANDARDS ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B40, APPROVED JANUARY 19, 2022.
- (4) - EXISTING NON-CONFORMING CONDITION, MODIFICATION OF STANDARDS ALLOWED AS PART OF CONDITIONAL USE PERMIT PER 10.5B74.30, APPROVED JANUARY 19, 2022.

Waterstone Properties Group, Inc.

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	4/27/2022	PB Submission
A	3/22/2022	Amended Site Plan Review Submission
PROJECT NO:	W5008-008A	
DATE:	3/22/2022	
FILE:	W5008-008A_C-DSGN.DWG	
DRAWN BY:	CML	
CHECKED:	NAH	
APPROVED:	PMC	

OVERALL PROPOSED PLAZA PLAN

SCALE: AS SHOWN

Last Save Date: April 14, 2023 11:50 AM BY: MAHANSEN
 Plot Date: Thursday, August 24, 2023 Plotted By: Neil A. Hansen
 P&E File Location: J:\W5008-Waterstone Retail\008A - Portsmouth Green - Building 2 Expansion\Drawings - Figures\AutoCAD Sheet\W5008-008A_C-DSGN.dwg Layout Tab: C-102

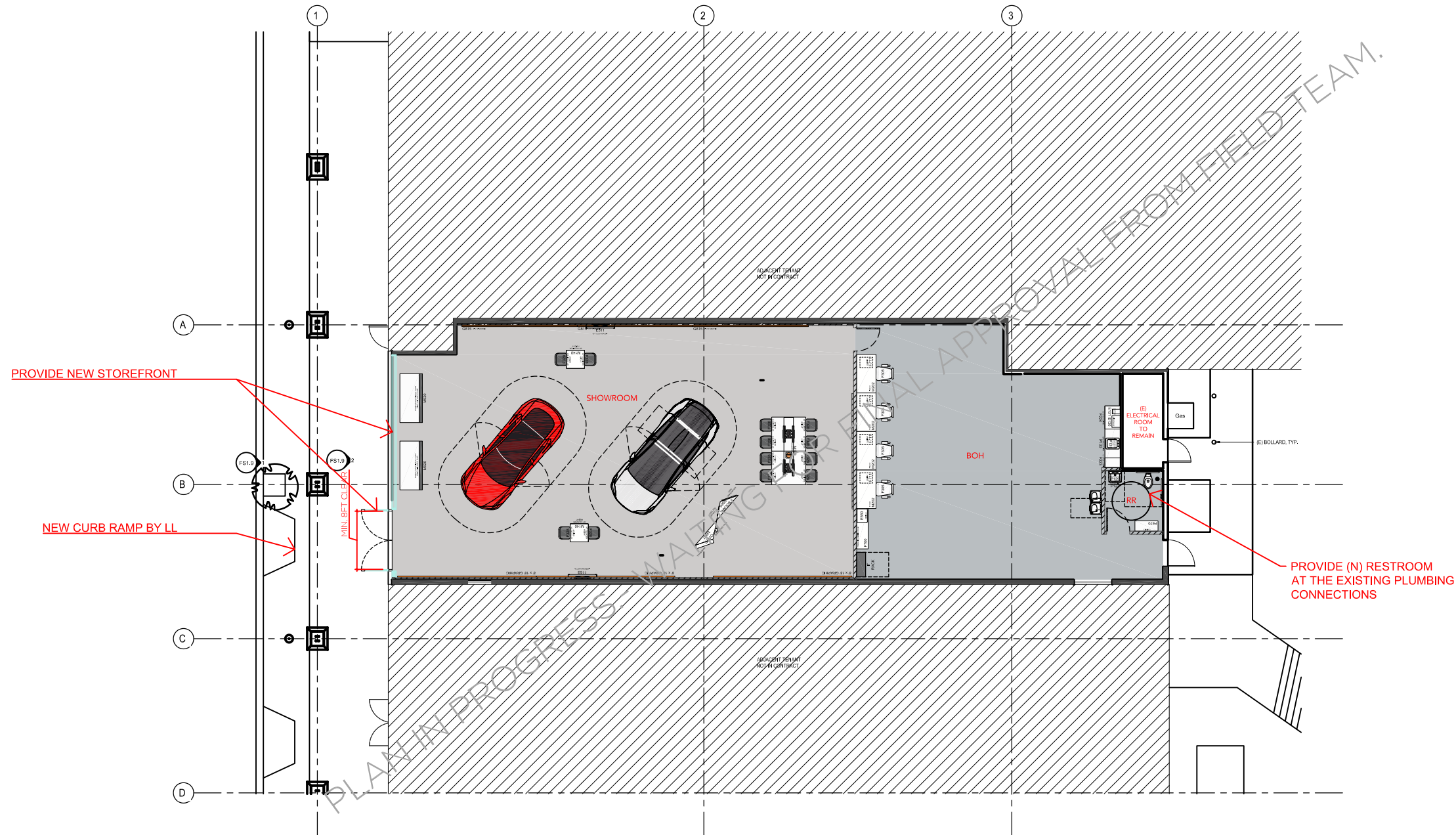
PORTSMOUTH - RETAIL - COLD CLIMATE

CONCEPT FLOOR PLAN

TRT ID - 58562

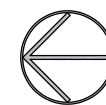
PARKING SPACES: TEST DRIVE SPOTS TBC

- SPECIAL CONDITIONS:**
- NEW STOREFRONT
 - NEW RESTROOM AND BREAK AREA



AREA BREAKDOWN (SF):

Category	SF	%
GROSS TOTAL:	3,098	-
FIRST FLOOR:	3,098	-
SECOND FLOOR:	0	-
NET TOTAL:	3,098	100
SERVICE SHOP:	0	0
PARTS AND STORAGE:	0	0
LOUNGE:	0	0
BOH:	1,127	36
SHOWROOM:	1,971	64
DELIVERY:	0	0
UNBUILT/OTHER:	0	0



SCALE: 1/16" = 1'-0"

TESLA August 11, 2023

- EXISTING WALL
- SERVICE CIRCULATION
- COLLISION REPAIR CIRCULATION
- NEW WALL
- DELIVERY CIRCULATION

NA | 2454 Lafayette Rd, Unit 8B Portsmouth, NH 03801 | USA

*PLEASE NOTE: ANY SUBSEQUENT REVISION TO AN APPROVED CONCEPT WILL CAUSE DELAY AND IMPACT COST

