

# SOUTHGATE PLAZA REDEVELOPMENT

2454 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE

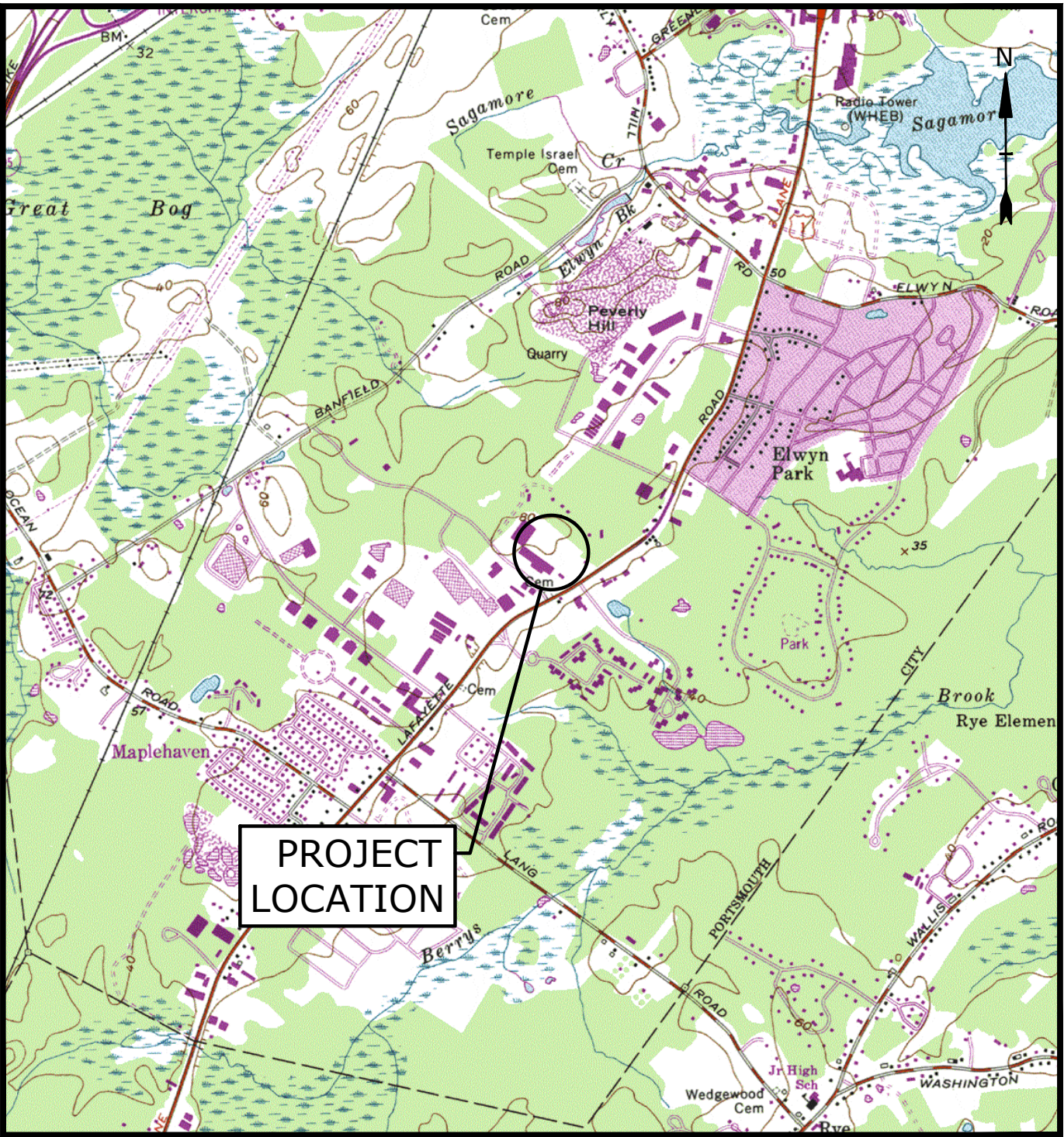
PERMIT DRAWINGS

NOVEMBER 19, 2018

LAST REVISED: DECEMBER 10, 2018

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	12/10/2018
C-1	PLAZA GENERAL NOTES SHEET	12/10/2018
C-2	PLAZA EXISTING CONDITIONS / DEMOLITION PLAN	12/10/2018
C-3	PLAZA OVERALL SITE PLAN	12/10/2018
C-3A	PLAZA SITE PLAN	12/10/2018
C-4	PLAZA GRADING, DRAINAGE & EROSION CONTROL PLAN	12/10/2018
C-5	PLAZA UTILITY PLAN	12/10/2018
C-6	PLAZA LANDSCAPE PLAN	12/10/2018
C-7	PLAZA PHOTOMETRICS PLAN	12/10/2018
C-8	EROSION CONTROL NOTES & DETAILS SHEET	12/10/2018
C-9	DETAILS SHEET	12/10/2018
C-10	DETAILS SHEET	12/10/2018
C-11	DETAILS SHEET	12/10/2018
C-12	DETAILS SHEET	12/10/2018
C-14	PLAZA TRUCK TURNING PLAN	12/10/2018
P1	EXTERIOR RENDERINGS	11/29/2018

LIST OF PERMITS & APPROVALS		
STATE	STATUS	DATE
NHDES ALTERATION OF TERRAIN	APPROVED	06/21/2016
NHDES SEWER CONNECTION PERMIT	APPROVED	08/16/2016
NHDOT DRIVEWAY PERMIT	APPROVED	12/22/2017
LOCAL		
SITE PLAN REVIEW	APPROVED	12/08/2017



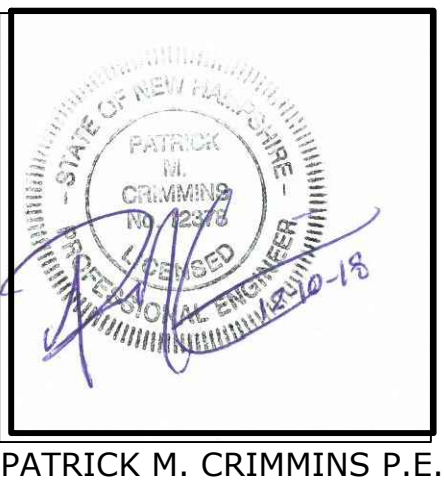
LOCATION MAP  
SCALE: 1" = 2,000'

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.
3. TIGHE & BOND, ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.

PREPARED BY:

**Tighe&Bond**  
Engineers | Environmental Specialists



PATRICK M. CRIMMINS P.E.



BRAD MEZQUITA P.E.

APPLICANT:

2422 Lafayette Road Associates, LLC  
c/o Waterstone Retail Development  
322 Reservoir Street, 2<sup>nd</sup> Floor  
Needham, Massachusetts 02494

SURVEY CONSULTANT:

Doucet Survey, Inc.  
102 Kent Place  
Newmarket, NH 03110

ARCHITECT:

JD LaGrasse & Associates, Inc  
One Elm Square  
Andover, Massachusetts 01801

LANDSCAPE ARCHITECT:

Site Solutions, LLC  
3715 Northside Parkway  
300 Northcreek, Suite 720  
Atlanta, Georgia 30327

COMPLETE SET 16 SHEETS





FILENAME: J:\V\W1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA (DWG-CAD) DESIGN\W-1725-4-DSGN.DWG  
SAVE DATE: 12/11/2018 4:09 PM  
PLOT DATE: 12/11/2018 4:14 PM

DEMOLITION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDERGROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, TREES AND LANDSCAPING.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- CONTRACTOR SHALL CONDUCT CONSTRUCTION ACTIVITIES SO AS NOT TO DISTURB EXISTING BOUNDS OR OTHER PROPERTY LINE MONUMENTATION. SHOULD ANY PROPERTY LINE MONUMENTATION BE ACCIDENTALLY DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED LAND SURVEYOR TO RESET THE MONUMENT TO ITS ORIGINAL LOCATION, AND TO PREPARE A RECORDABLE PLAN CERTIFYING THE LOCATION OF THE RESET MONUMENT.
- CONTRACTOR SHALL PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION ALONG ROUTE ONE SHALL BE PROVIDED IF DETERMINED NECESSARY BY THE NHDOT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACKS" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED. INLET PROTECTION ALONG ROUTE ONE SHALL BE COORDINATED WITH THE NHDOT.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES, TEMPORARY SERVICES, IF REQUIRED, SHALL FULLY COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.
- A CONSTRUCTION MANAGEMENT PLAN SHALL BE APPROVED PRIOR TO THE START OF DEMOLITION. DEMOLITION PLANS SHALL BE INCLUDED IN THE CONSTRUCTION MANAGEMENT PLAN DOCUMENT.
- THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- TREE PROTECTION SHALL BE CONSTRUCTED AROUND LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN FOR LANDSCAPING TO REMAIN.
- ALL PAVEMENT SHALL BE RECLAIMED, REGRADED, AND REMOVED AS NECESSARY.
- DEMOLITION LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF REMOVAL PRIOR TO SUBMITTING BID AND APPROVAL OF CMMP. ANY CHANGES SHALL BE PROVIDED TO THE CITY OF PORTSMOUTH.
- CONTRACTOR SHALL NOTIFY CITY OF PORTSMOUTH PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES.

SITE NOTES:

- STRIPE PARKING AREA AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. STOP BARS, HANDICAP SYMBOLS, CROSS WALKS, ARROWS AND LEGENDS SHALL BE THERMOPLASTIC MATERIAL. PARKING SPACES AND PAINTED ISLANDS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINES AND MEDIAN ISLANDS SHALL BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDINGS.
- ALL WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.

14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

- CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT WHICH IS COMPATIBLE WITH THE CITY'S GIS FORMAT ON A DISK TO THE PORTSMOUTH DPW UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW REMOVAL WILL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN SNOW STORAGE AREAS HAVE REACHED CAPACITY.
- BIKE STORAGE WILL BE PROVIDED IN THE DEDICATED STORAGE UNITS PROPOSED ON THE SECOND STORY OF THE RESIDENTIAL BUILDING.
- PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN NECESSARY TO MAINTAIN ADEQUATE SNOW STORAGE AREAS.
- THE MULTI-USE PATH SHALL BE COMPLETED WITHIN TWO MONTHS OF THE COMPLETION OF THE RESIDENTIAL DEVELOPMENT.
- BASED ON THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ONESTOP GIS MAPPING SERVICE THE PROPOSED DEVELOPMENT IS NOT LOCATED WITH A WELLHEAD PROTECTION AREA.
- MEASURES USED TO MINIMIZE THE IMPERVIOUS SURFACES ON SITE HAVE BEEN IMPLEMENTED THROUGH THE USE OF PERVIOUS PAVER SIDEWALKS.

GRADING AND DRAINAGE NOTES:

- COMPACTION REQUIREMENTS  
BELOW PAVED OR CONCRETE AREAS 95%  
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%  
BELOW LOAM AND SEED AREAS 90%  
\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- ALL STORM DRAIN SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HIQ", ADS N-12, OR APPROVED EQUAL) UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTSMOUTH STANDARDS.
- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
- ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRACK AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL DRAINAGE STRUCTURES FREE OF SEDIMENT AND DEBRIS IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION. THESE DRAINAGE STRUCTURES SHALL INCLUDE ALL STRUCTURES THAT ARE WITHIN THE LIMIT OF WORK AND MUNICIPAL STRUCTURES THAT ARE DOWNSTREAM FROM THE PROJECT TIE-INS.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
- ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
- THE CONTRACTOR SHALL COMPLY WITH THE CITY OF PORTSMOUTH APPROVED CONSTRUCTION MANAGEMENT PLAN PRIOR TO THE START OF CONSTRUCTION.
- PROJECT SURVEY TO PROVIDE PERMANENT PROJECT BENCHMARKS.
- TREE BOX FILTERS SHOULD NOT BE PLACED INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN STABILIZED.

EROSION CONTROL NOTES:

- INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
- SEE GENERAL EROSION CONTROL NOTES ON EROSION CONTROL NOTES AND DETAIL SHEETS.
- PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS AND ON CITY MAINTAINED ROADS. INLET PROTECTION ON ROUTE ONE SHALL BE PROVIDED PER THE REQUIREMENTS OF THE NHDOT. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AS REQUIRED FOR EACH PHASE OF CONSTRUCTION. EXISTING LOCATIONS OF TEMPORARY STABILIZED CONSTRUCTION ENTRANCES SHALL BE COORDINATED WITH THE ENGINEER AND THE CITY OF PORTSMOUTH PRIOR TO THE START OF CONSTRUCTION.
- INSPECT INLET PROTECTION AND SILT FENCES DAILY AND AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
- CONSTRUCT EXCELSIOR MAT ON ALL SLOPES STEEPER THAN 3:1.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
- SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
- CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.
- SILT CONTROL MEASURES SHALL BE PROVIDED FOR CONSTRUCTION DEWATERING DISCHARGED TO EXISTING DRAINAGE STRUCTURES. A DEWATERING PLAN SHALL BE INCLUDED WITH THE CONSTRUCTION MANAGEMENT AND MITIGATION PLAN THAT IS TO BE APPROVED BY THE CITY OF PORTSMOUTH PRIOR TO THE START OF CONSTRUCTION.

UTILITIES NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.  
NATURAL GAS -UNITIL  
WATER -CITY OF PORTSMOUTH DPW WATER DIVISION  
SEWER -CITY OF PORTSMOUTH DPW SEWER DIVISION  
ELECTRIC -EVERSOURCE  
TELEPHONE -FAIRPORT COMMUNICATIONS
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLANS FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.

- ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH DPW WATER DIVISION. ALL LEAKAGE TESTING SHALL CONFORM TO AWWA STANDARDS AND REPAIRED TO MEET STANDARDS AS NECESSARY.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN THE CITY ROW SHALL BE COORDINATED WITH CITY OF PORTSMOUTH. ALL WORK WITHIN THE STATE ROW SHALL BE COORDINATED WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING BUSINESSES AND ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS AND ELECTRIC SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH DPW WATER DIVISION.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO EXISTING BUSINESSES AND ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO EXISTING BUSINESSES AND ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT WHICH IS COMPATIBLE WITH THE CITY'S GIS FORMAT ON A DISK TO THE PORTSMOUTH DPW, OWNER, AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- COORDINATE ALL GREASE TRAP INSTALLATIONS/RELOCATIONS WITH CITY OF PORTSMOUTH WATER/SEWER ENGINEER.
- THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND FIRE RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- EACH OF THE NEW BUILDINGS SHALL INCLUDE A SEPARATE KNOX BOX. EACH NEW TENANT SHALL HAVE A SEPARATE FIRE ALARM SYSTEM AND SHALL COMPLY WITH ANY APPLICABLE NFPA CODES AND STANDARDS. KNOX BOX LOCATIONS AND FIRE ALARM SYSTEMS SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH FIRE DEPARTMENT.
- ALL WATER MAIN PIPE AND FITTINGS SHALL BE POLYWRAPPED AND THREE (3) BRASS WEDGES SHALL BE INSTALLED AT ALL NON-CONDUCTIVE PIPE JOINTS.
- SHOP DRAWINGS SUBMITTALS SHALL BE SENT TO ENGINEER OF RECORD AND TO 3RD PARTY INSPECTOR AND PORTSMOUTH DPW FOR REVIEW/APPROVAL. ENGINEER OF RECORD SHALL INDICATE CONFORMANCE TO PLANS OR NOTE THE DEVIATION PRIOR TO SENDING TO 3RD PARTY INSPECTOR AND DPW.

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER AND CITY. ALL PLANTS SHALL BE NURSERY GROWN.
- ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
- PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP. MISCELLANEOUS PUBLICATION NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
- ALL PLANTS MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT SHALL BE BART OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS SHALL BE FRESHLY DUG. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEeled-IN BY SETTING IN THE GROUND, AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS SHALL BE WRAPPED WITH WIND PROOF COVERING.
- PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
- THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED.
- SEE PLANTING DETAILS FOR WEED BARRIER INFORMATION.
- SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
- TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 "TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
- EXISTING TREES SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A COMPARABLE SIZE AND SPECIES TREE.

- THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF (1) YEAR PERIOD SHALL BE REPLACED IN KIND BY THE CONTRACTOR. AFTER THE (1) YEAR GUARANTEED PERIOD, SHOULD ANY TREES ON SITE DIE, THEY SHALL BE REPLACED IN KIND BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
- BENCHES TO BE VICTOR STANLEY CLASSIC SERIES MODEL C-10 (6' LONG WITH MAHOGANY WOOD SLATS) OR APPROVED EQUAL. BOLT BENCH TO SIDEWALK WITH STAINLESS STEEL HARDWARE.

REFERENCE PLANS:

- "STANDARD BOUNDARY SURVEY MAP 273 -- LOT 3 FOR LAFAYETTE PLAZA, LLC" DATED FEBRUARY 2004 BY AMBIT ENGINEERING, INC. R.C.R.D. PLAN D-34306.
- "CONDOMINIUM SITE PLAN OF PORTSMOUTH GREEN CONDOMINIUM FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL, TAX MAP 273 LOT 3, 2454 LAFAYETTE ROAD (US TOUTE 1) PORTSMOUTH, NEW HAMPSHIRE" DATED OCTOBER XX, 2016 BY DOUCET SURVEY, INC. TO BE RECORDED IN THE R.C.R.D'.
- "SOUTHGATE PLAZA RESIDENTIAL DEVELOPMENT, 2454 LAFAYETTE ROAD PORTSMOUTH NEW HAMPSHIRE SITE PLANS" DATED JANUARY 19, 2016 (REVISED SEPTEMBER 26, 2016) BY TIGHE & BOND CONSULTING ENGINEERS.
- "PROPOSED EASEMENT PLAN" FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL. DATED OCTOBER 26, 2016 BY DOUCET SURVEY, INC.

ABUTTERS

- TAX MAP 273 LOT 5  
BELLWOOD ASSOCIATES LTD PARTNERSHIP  
C/O FESTIVAL FUN PARK  
PO BOX 543185  
DALLAS, TX 75354  
R.C.R.D. 3471/2972
- TAX MAP 273 LOT 2-1  
MCLAUGHLIN MOVING CO INC  
75 CONSTITUTION AVE  
PORTSMOUTH, NH 03801  
R.C.R.D. 2387/132
- TAX MAP 273 LOT 2-2  
MCLAUGHLIN MOVING CO INC  
75 CONSTITUTION AVE  
PORTSMOUTH, NH 03801  
R.C.R.D. 2387/132
- TAX MAP 273 LOT 2-4  
MCLAUGHLIN MOVING CO INC  
75 CONSTITUTION AVE  
PORTSMOUTH, NH 03801  
R.C.R.D. 2404/1899
- TAX MAP 273 LOT 2-5000  
O ICE LLC  
ATTN: PM DEPT #2422  
11995 EL CAMINO REAL  
SAN DIEGO, CA 92130  
R.C.R.D. 4847/2169
- TAX MAP 273  
LOT 0
- TAX MAP 272  
LOT 9-6
- TAX MAP 272 LOT 8-2  
GAIL NELSON  
47 STONEWALL RD  
ALTON, NH 03809  
R.C.R.D. 5231/1684
- TAX MAP 272 LOT 7  
ALISSA C BOURNIVAL  
REV LIVING TRUST  
PO BOX 855  
NORTH HAMPTON, NH 03862  
R.C.R.D. 5572/1895
- TAX MAP 272 LOT 6-27  
STEVE LOUIE  
204 SPRINGBROOK CIR  
PORTSMOUTH, NH 03801  
R.C.R.D. 5719/1628
- TAX MAP 272 LOT 10  
RYE PORT PROPERTIES LLC  
PO BOX 345  
STRATHAM, NH 03885  
R.C.R.D. 5083/763
- TAX MAP 273 LOT 6  
FIRST COLEBROOK BANK  
ATTN: FINANCE DEPARTMENT  
132 MAIN ST  
COLEBROOK, NH 03576  
R.C.R.D. 5364/192
- TAX MAP 273 LOT 5  
BELLWOOD ASSOCIATES LTD PARTNERSHIP  
C/O FESTIVAL FUN PARK  
PO BOX 543185  
DALLAS, TX 75354  
R.C.R.D. 3471/2972



**Waterstone Retail  
Development**

**Southgate Plaza  
Redevelopment**

Portsmouth,  
New Hampshire

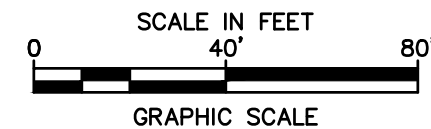
C	12/10/18	PB Submission
B	12/4/18	Rev. per TAC Comments
A	11/19/18	TAC Submission
Mark	Date	Description
PROJECT NO:		W1725
FILE:		W-1725-4-DSGN.dwg
DRAWN BY:		NAH/CML
CHECKED:		PMC
APPROVED BY:		BLM/PMC
PLAZA GENERAL NOTES SHEET		
SCALE: AS SHOWN		
C-1		



Portsmouth,  
New Hampshire

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CHECKED:	PMC
APPROVED BY:	BLM/PMC

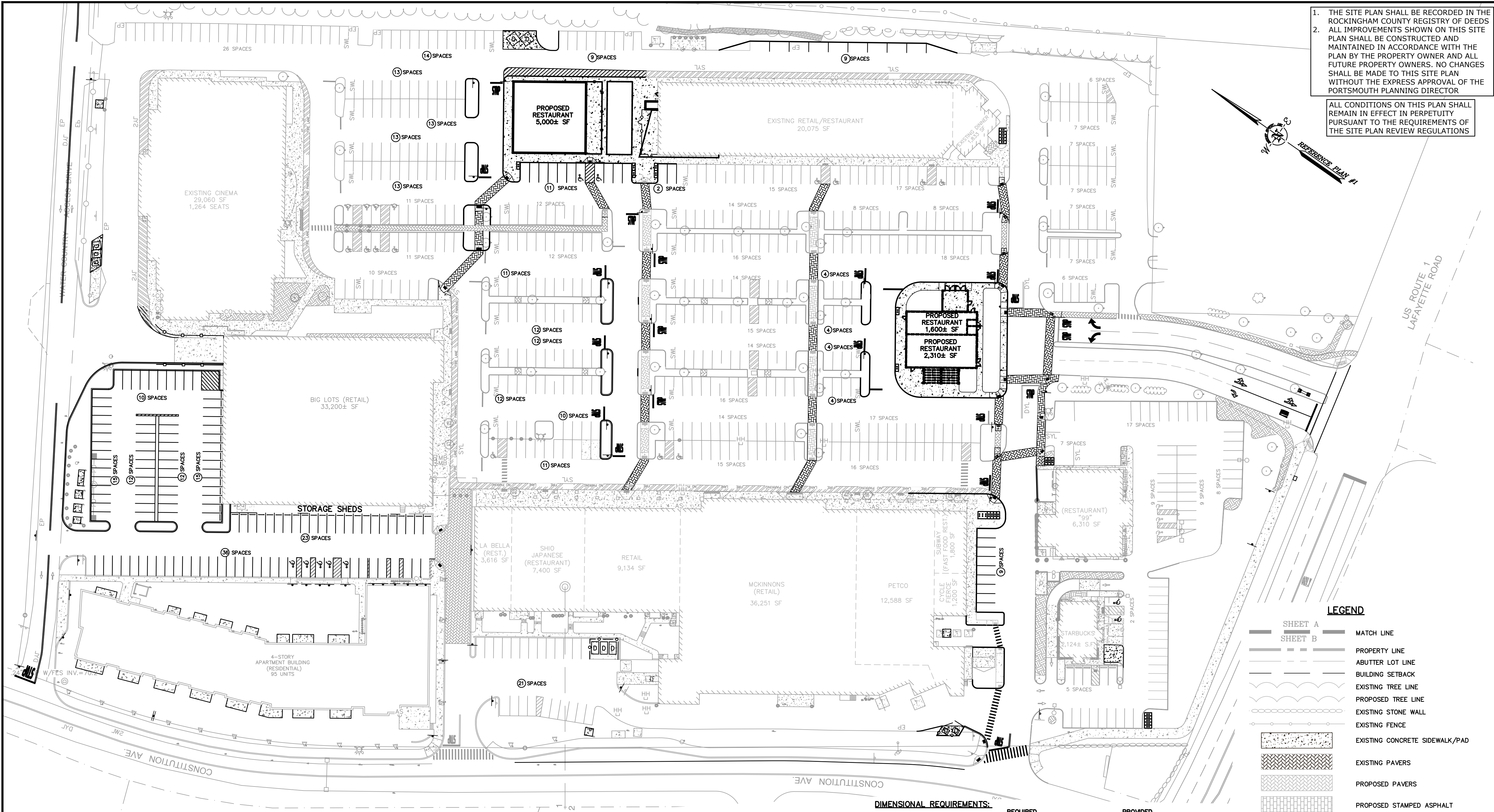
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FILENAME: J:\W\1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA\DWG-CAD\DESIGN\W-1725-4-DSGN.DWG  
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 PLOT DATE: 12/11/2018 4:14 PM



FILENAME: J:\W\1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA (DMG-CAD DESIGN)\W-1725-4-DSGN.DWG  
SAVE DATE: 12/11/2018 4:09 PM  
PLOT DATE: 12/11/2018 4:15 PM



1. THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS



#### LEGEND

SHEET A	SHEET B	
---	---	MATCH LINE
---	---	PROPERTY LINE
---	---	ABUTTER LOT LINE
---	---	BUILDING SETBACK
---	---	EXISTING TREE LINE
---	---	PROPOSED TREE LINE
---	---	EXISTING STONE WALL
---	---	EXISTING FENCE
---	---	EXISTING CONCRETE SIDEWALK/PAD
---	---	EXISTING PAVERS
---	---	PROPOSED PAVERS
---	---	PROPOSED STAMPED ASPHALT
---	---	PROPOSED CONCRETE SIDEWALK/PAD
---	---	PROPOSED BITUMINOUS CONCRETE
---	---	EXISTING SIGN
---	---	PROPOSED SIGN
---	---	EXISTING LIGHT
---	---	LIGHT POLE BASE
---	---	EXISTING BOLLARD
---	---	PROPOSED BOLLARD
---	---	EXISTING TRAFFIC SIGNAL
---	---	PROPOSED EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURBING
---	---	SLOPED GRANITE CURBING
---	---	MONOLITHIC CONCRETE CURB
---	---	CAPE COD BERM
---	---	RADIUS
---	---	DOUBLE YELLOW CENTERLINE
---	---	SINGLE SOLID WHITE LINE
---	---	SINGLE DASHED WHITE LINE
---	---	PROPOSED PARKING SPACES
---	---	EXISTING PARKING SPACES

#### PARKING CALCULATIONS:

**SHOPPING CENTER:** MIN.=1 SPACE PER 350 SF GFA  
MAX.=1 SPACE PER 250 SF GFA  
**RESIDENTIAL:** MIN.=1.3 SPACE PER DWELLING UNIT  
MAX.=1.8 SPACE PER DWELLING UNIT

#### LOADING CALCULATIONS:

**RETAIL:** 0 SPACES FOR 0 - 10,000 SF  
1 SPACE FOR 10,001 - 25,000 SF  
2 SPACES FOR 25,001 - 60,000 SF

**OTHER NON-RESIDENTIAL:** 0 SPACES FOR 0 - 10,000 SF  
1 SPACE FOR 10,001 SF - 40,000 SF

SHOPPING CENTER:	AREA (SF):	MIN. REQ'D	PARKING SPACES:	LOADING SPACES:
TENANT:			MAX. ALLOWED	MIN. REQ'D
PETCO	±12,588			1
CYCLE FIERCE	±1,200			0
EXISTING RETAIL/RESTAURANT	±20,075			0
LA BELLA	±3,616			0
SHIO JAPANESE	±7,400			1
BIG LOTS	±33,200			2
SUBWAY	±1,800			0
THE 99	±6,310			0
MCKINNON'S	±36,251			2
RETAIL	±9,134			0
DINER	±1,833			0
CINEMA	±29,060			1
PROPOSED RESTAURANT	±5,000			1
PROPOSED RESTAURANT	±1,800			1
PROPOSED RESTAURANT	±2,310			0
STARBUCKS	±2,124			0
TOTAL SHOPPING CENTER	±173,501	496	694	9
RESIDENTIAL:				
PROPOSED RESIDENTIAL (LOBBY)	±2,413	N/A	N/A	
DWELLING UNITS-FLOORS 1-4	95 UNITS	124	171	
TOTAL PARKING		620	865	760

#### SITE DATA

**LOCATION:** 2454 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
MAP 273 LOT 3

**ZONING DISTRICT:** GATEWAY PLANNED DEVELOPMENT (GPD) IN GATEWAY DISTRICT (GW)

**PERMITTED USE:** SHOPPING CENTER/RESIDENTIAL

#### PARKING REQUIREMENTS:

	REQUIRED	MAX. ALLOWED	PROVIDED
TOTAL PARKING SPACES:	617	861	760*
ACCESSIBLE SPACES (2% OF TOTAL):	14		23
VAN ACCESSIBLE SPACES (1 PER 8 ACCESSIBLE SPACES):	3		16
PARKING STALL SIZE:	8.5 FT X 19 FT		9.0 FT X 19 FT
DRIVE AISLE:	24 FT		24 FT, 26 FT

\* VARIANCE GRANTED BY BOARD OF ADJUSTMENT ON JULY 24, 2012 FOR UP TO 848 SPACES

#### LOADING REQUIREMENTS:

	REQUIRED	PROVIDED
TOTAL LOADING SPACES:	9	16
LOADING BERTH SIZE:		
FIRST REQUIRED BERTH:	12 FT X 20 FT	12 FT X 20 FT
ADDITIONAL REQUIRED BERTH:	12 FT X 45 FT	12 FT X 45 FT

#### DIMENSIONAL REQUIREMENTS:

DEVELOPMENT INTENSITY:	REQUIRED	PROVIDED
MAXIMUM FLOOR RATIO:	1.0	0.34 RESIDENTIAL = 104,528 SF NON-RESIDENTIAL = 173,501 SF (RATIO = 278,029 SF / 814,896 SF)
MINIMUM LOT AREA PER DWELLING UNIT:	237,500 SF (95 UNITS X 2,500 SF/UNIT)	814,896 SF
RESIDENTIAL AREA RATIO:	30% - 70%	38%
LOT REQUIREMENTS:		
MINIMUM CONTINUOUS STREET FRONTAGE:	100 FT	±450 FT
MAXIMUM BUILDING COVERAGE:	75%	±22.6%
MINIMUM OPEN SPACE:	20%	±20.0%
MINIMUM PERCENT OF LOT FRONTAGE OPEN SPACE OR BUILDING:	60%	±84%
MINIMUM FRONT YARD FROM CENTERLINE OF LAFAYETTE:	90 FT	±151 FT(1)
MAXIMUM FRONT YARD FROM CENTERLINE OF LAFAYETTE:	45 FT (1.5 X 30FT)	51'-7"(2)
MAXIMUM BUILDING HEIGHT:	90 FT	±151 FT(1)
SITE DESIGN STANDARDS:		
PEDESTRIAN ORIENTED SPACE:	9,874 SF (1% OF TOTAL LOT AREA + 1% OF NON-RESIDENTIAL GFA)	34,760 SF
PARKING SETBACKS:	50 FT	±21.9 FT(1)(2)
BICYCLE PARKING:	15% OF OFF-STREET PARKING	108 SPACES
PEDESTRIAN WALKWAY THROUGHOUT SITE:	678 SPACES*0.15=102 SPACES	8 FT
WALKWAYS:	8 FT	
	150 FT APART IN PARKING LOTS	

- (1) EXISTING NON-CONFORMING
- (2) WAIVER GRANTED ON APRIL 21, 2016

## Waterstone Retail Development

## Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

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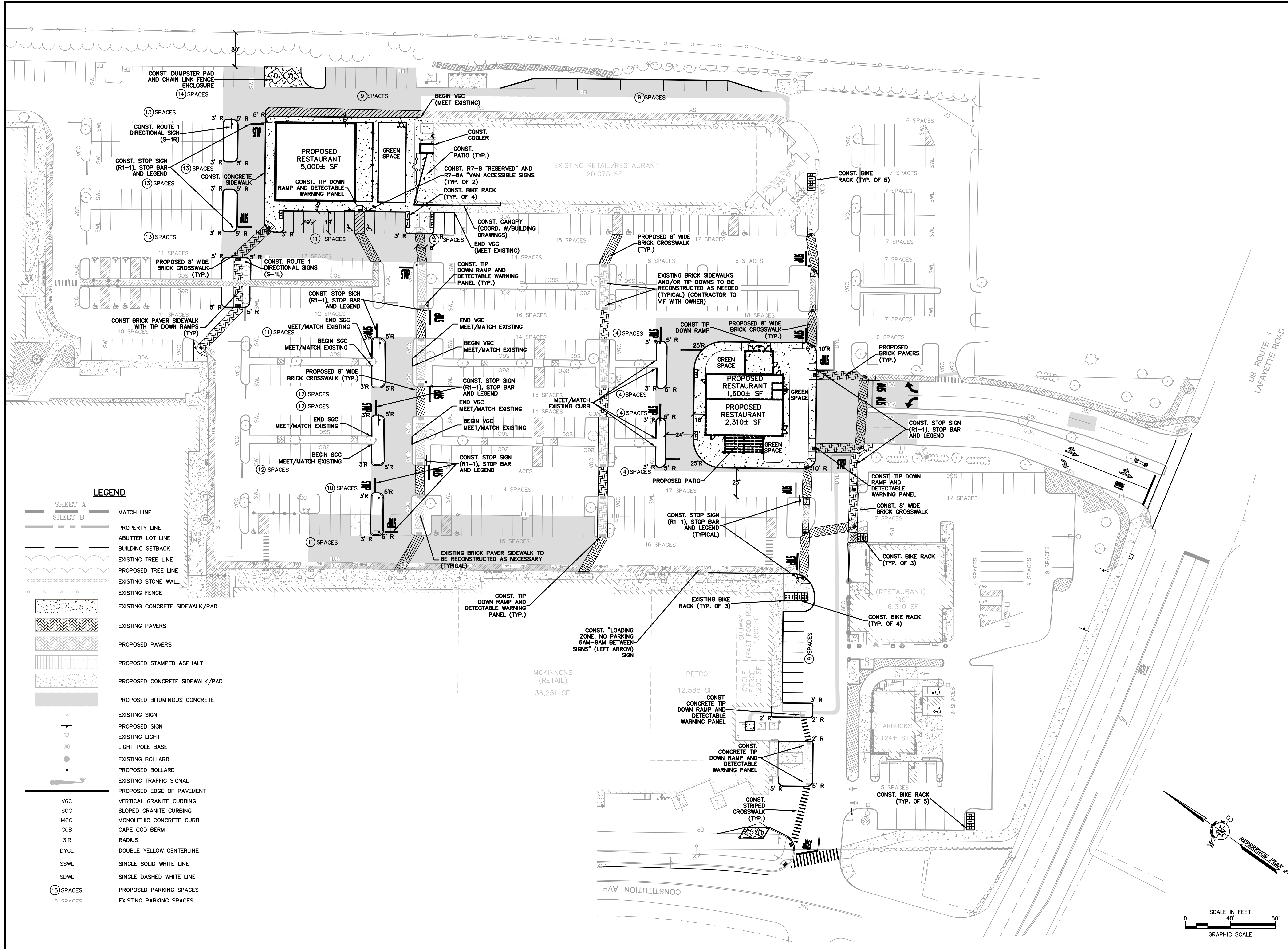
PROJECT NO: W1725  
FILE: W-1725-4-DSGN.dwg  
DRAWN BY: NAH/CML  
CHECKED: PMC  
APPROVED BY: BLM/PMC

#### PLAZA OVERALL SITE PLAN

SCALE: AS SHOWN



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SAVE DATE: 12/11/2018 4:09 PM  
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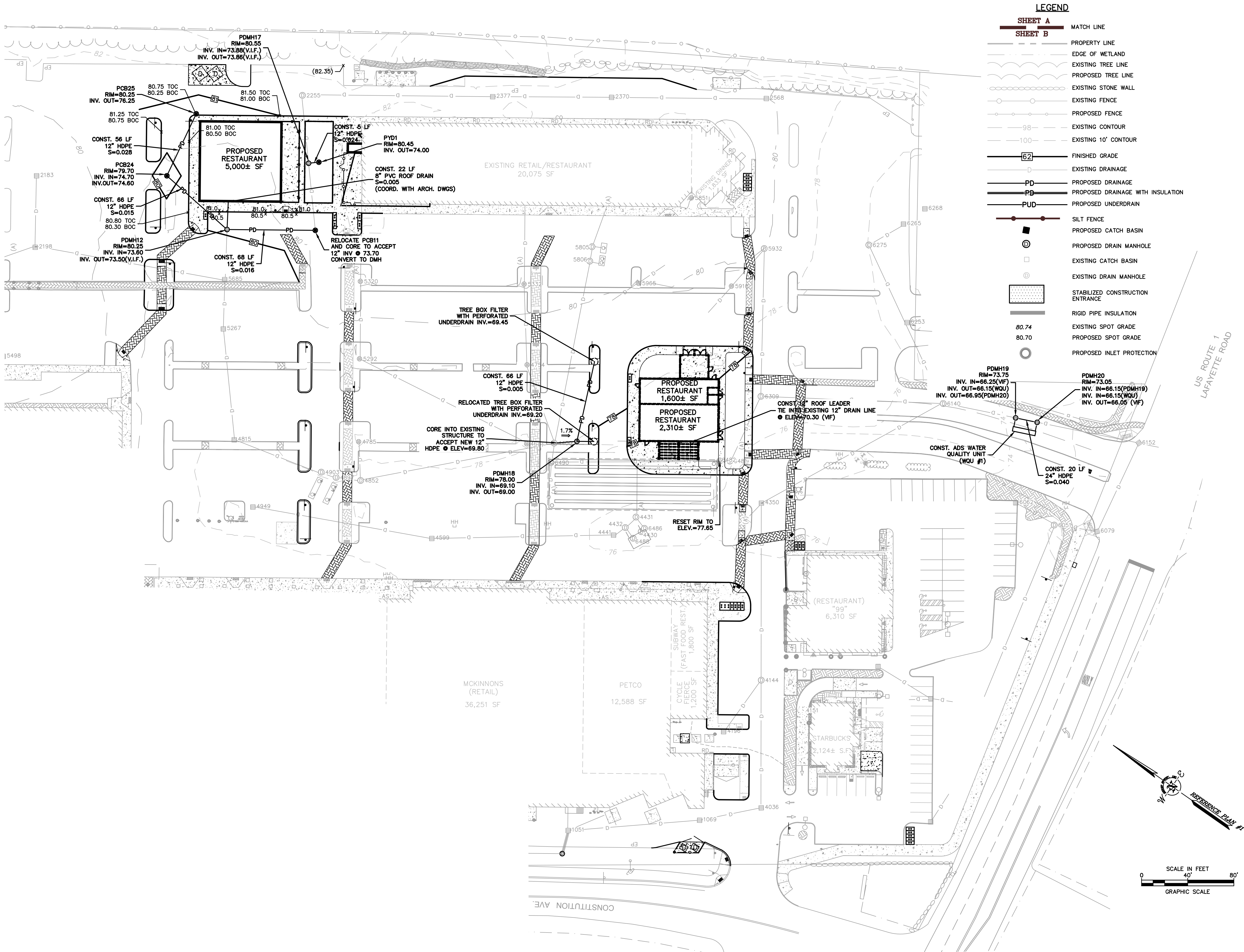
PLAZA SITE PLAN

SCALE: AS SHOWN

C-3A



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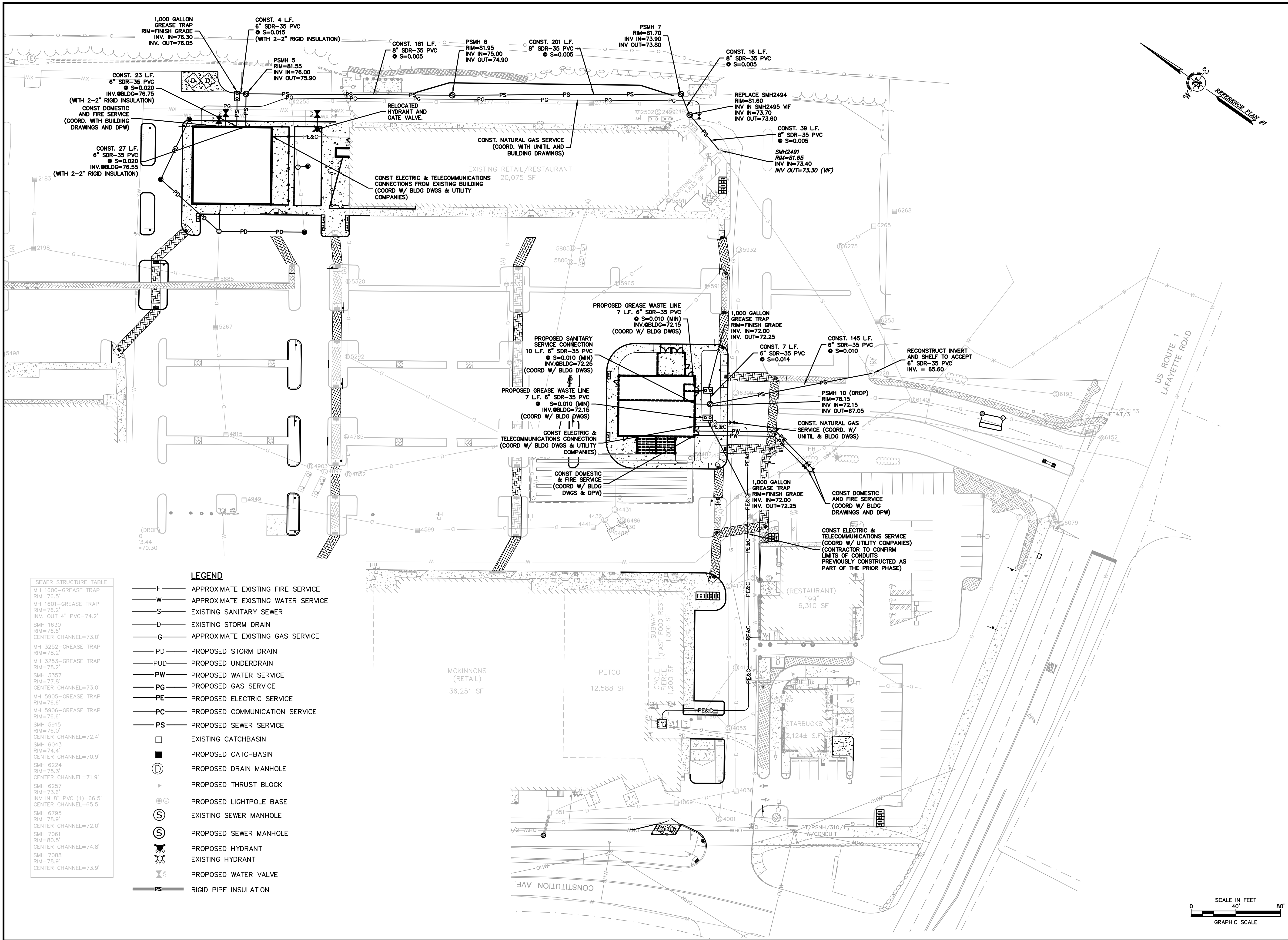
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PLAZA GRADING, DRAINAGE, AND  
EROSION CONTROL PLAN

SCALE: AS SHOWN

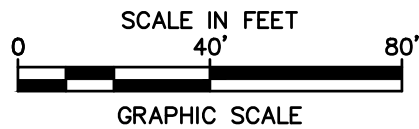


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SEWER STRUCTURE TABLE	
MH 1600-GREASE TRAP	RIM=76.5'
MH 1601-GREASE TRAP	RIM=76.2'
INV. OUT 4" PVC=74.2'	
SMH 1630	RIM=76.6'
CENTER CHANNEL=73.0'	
MH 3252-GREASE TRAP	RIM=78.2'
MH 3253-GREASE TRAP	RIM=78.2'
SMH 3357	RIM=77.8'
CENTER CHANNEL=73.0'	
MH 5905-GREASE TRAP	RIM=76.6'
MH 5906-GREASE TRAP	RIM=76.6'
SMH 5915	RIM=76.0'
CENTER CHANNEL=72.4'	
SMH 6043	RIM=74.4'
CENTER CHANNEL=70.9'	
SMH 6224	RIM=75.3'
CENTER CHANNEL=71.9'	
SMH 6257	RIM=73.6'
INV. IN 8" PVC (1)=66.5'	
CENTER CHANNEL=65.5'	
SMH 6795	RIM=78.9'
CENTER CHANNEL=72.0'	
SMH 7061	RIM=80.5'
CENTER CHANNEL=74.8'	
SMH 7088	RIM=78.9'
CENTER CHANNEL=73.9'	

LEGEND	
— F —	APPROXIMATE EXISTING FIRE SERVICE
— W —	APPROXIMATE EXISTING WATER SERVICE
— S —	EXISTING SANITARY SEWER
— D —	EXISTING STORM DRAIN
— G —	APPROXIMATE EXISTING GAS SERVICE
— PD —	PROPOSED STORM DRAIN
— PUD —	PROPOSED UNDERDRAIN
— PW —	PROPOSED WATER SERVICE
— PG —	PROPOSED GAS SERVICE
— PE —	PROPOSED ELECTRIC SERVICE
— PC —	PROPOSED COMMUNICATION SERVICE
— PS —	PROPOSED SEWER SERVICE
□	EXISTING CATCHBASIN
■	PROPOSED CATCHBASIN
⊙	PROPOSED DRAIN MANHOLE
▶	PROPOSED THRUST BLOCK
⊙	PROPOSED LIGHTPOLE BASE
⊙	EXISTING SEWER MANHOLE
⊙	PROPOSED SEWER MANHOLE
⊙	PROPOSED HYDRANT
⊙	EXISTING HYDRANT
⊙	PROPOSED WATER VALVE
— PS —	RIGID PIPE INSULATION



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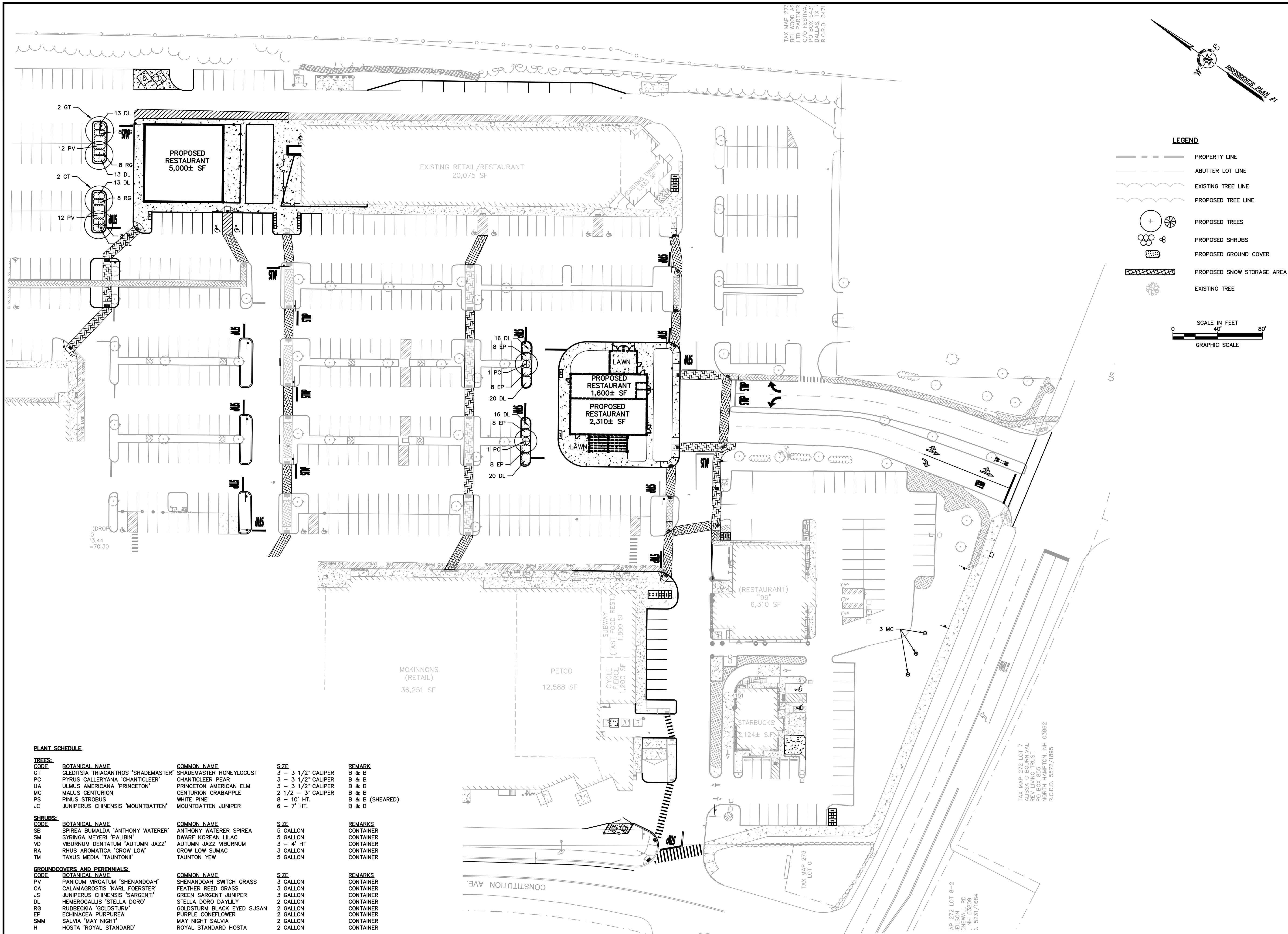
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PLAZA LANDSCAPE PLAN

SCALE: AS SHOWN




C-6



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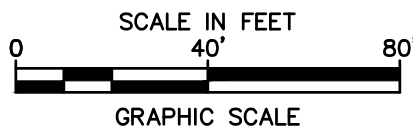
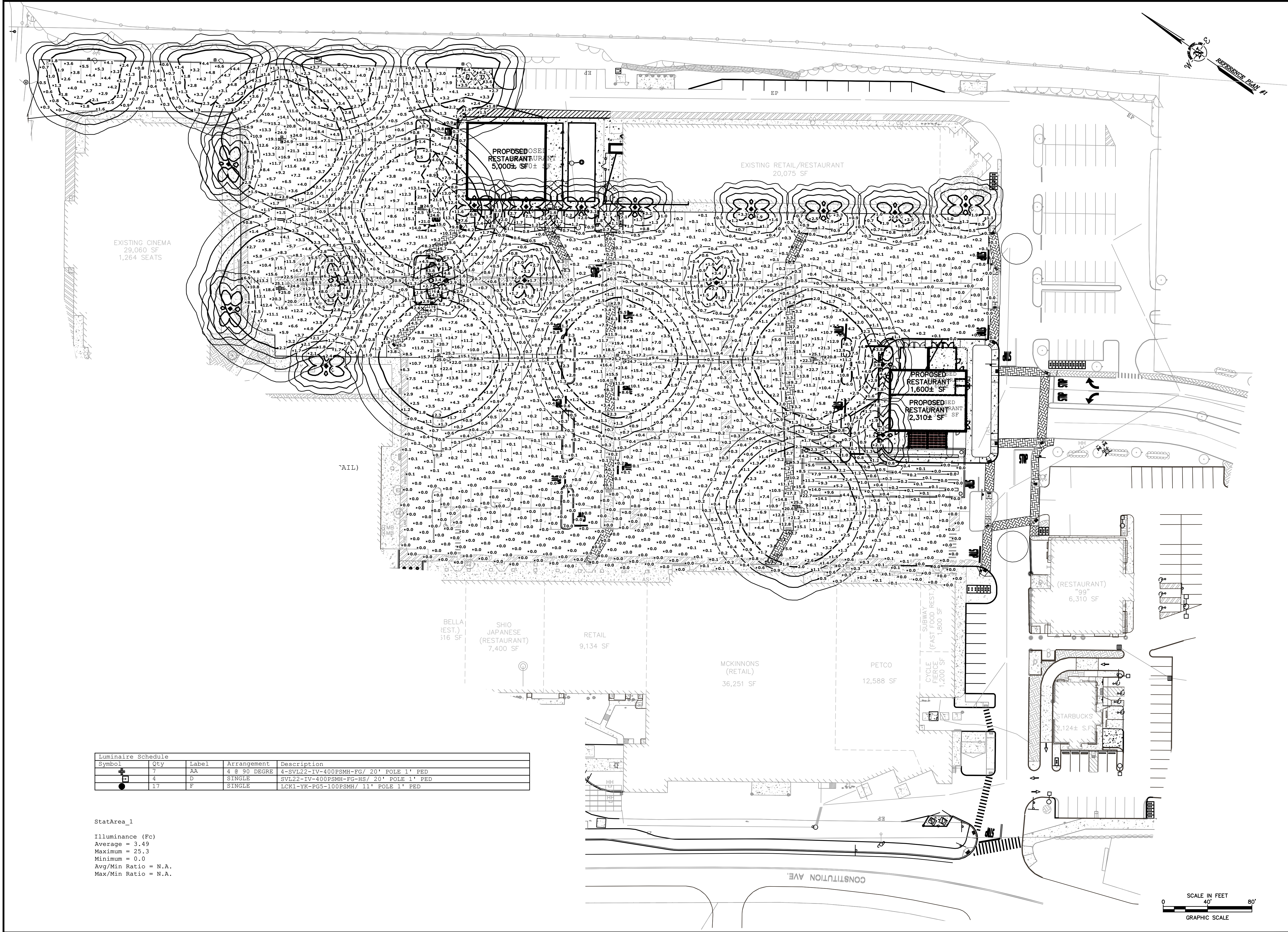


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SAVE DATE: 12/11/2018 4:09 PM  
PLOT DATE: 12/11/2018 4:16 PM

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	7	AA	4 @ 90 DEGRE	4-SVL22-IV-400PSMH-PG/ 20' POLE 1' PED
	4	D	SINGLE	SVL22-IV-400PSMH-PG-HS/ 20' POLE 1' PED
	17	F	SINGLE	LCK1-YK-PG5-100PSMH/ 11' POLE 1' PED

StatArea\_1

Illuminance (Fc)  
Average = 3.49  
Maximum = 25.3  
Minimum = 0.0  
Avg/Min Ratio = N.A.  
Max/Min Ratio = N.A.



## Waterstone Retail Development

## Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

Mark	Date	Description
C	12/10/18	PB Submission
B	12/14/18	Rev. per TAC Comments
A	11/19/18	TAC Submission
PROJECT NO: W1725		
FILE: W-1725-4-DSGN.dwg		
DRAWN BY: NAH/CML		
CHECKED: PMC		
APPROVED BY: BLM/PMC		

### PLAZA PHOTOMETRICS PLAN

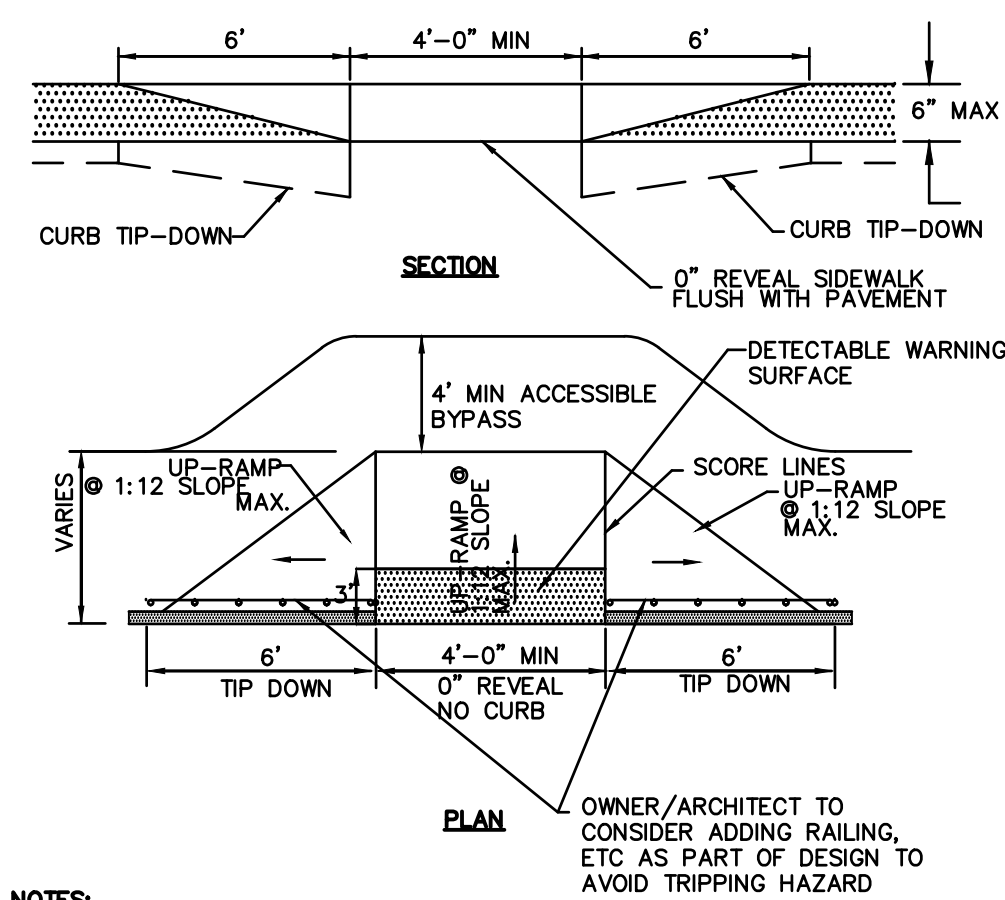
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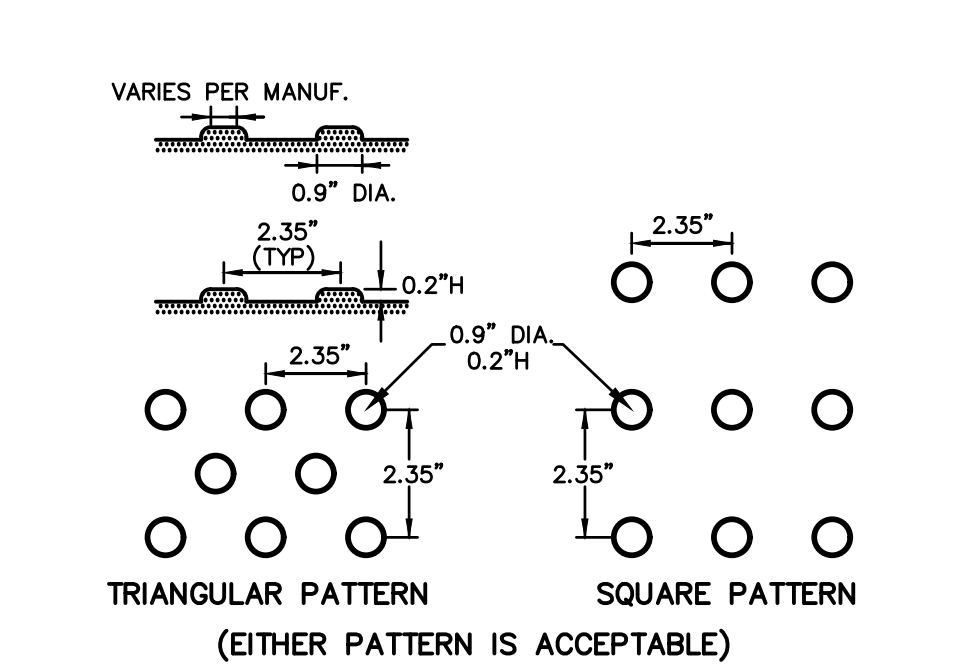


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SAVE DATE: 12/11/2018 4:01 PM  
PLOT DATE: 12/11/2018 4:17 PM



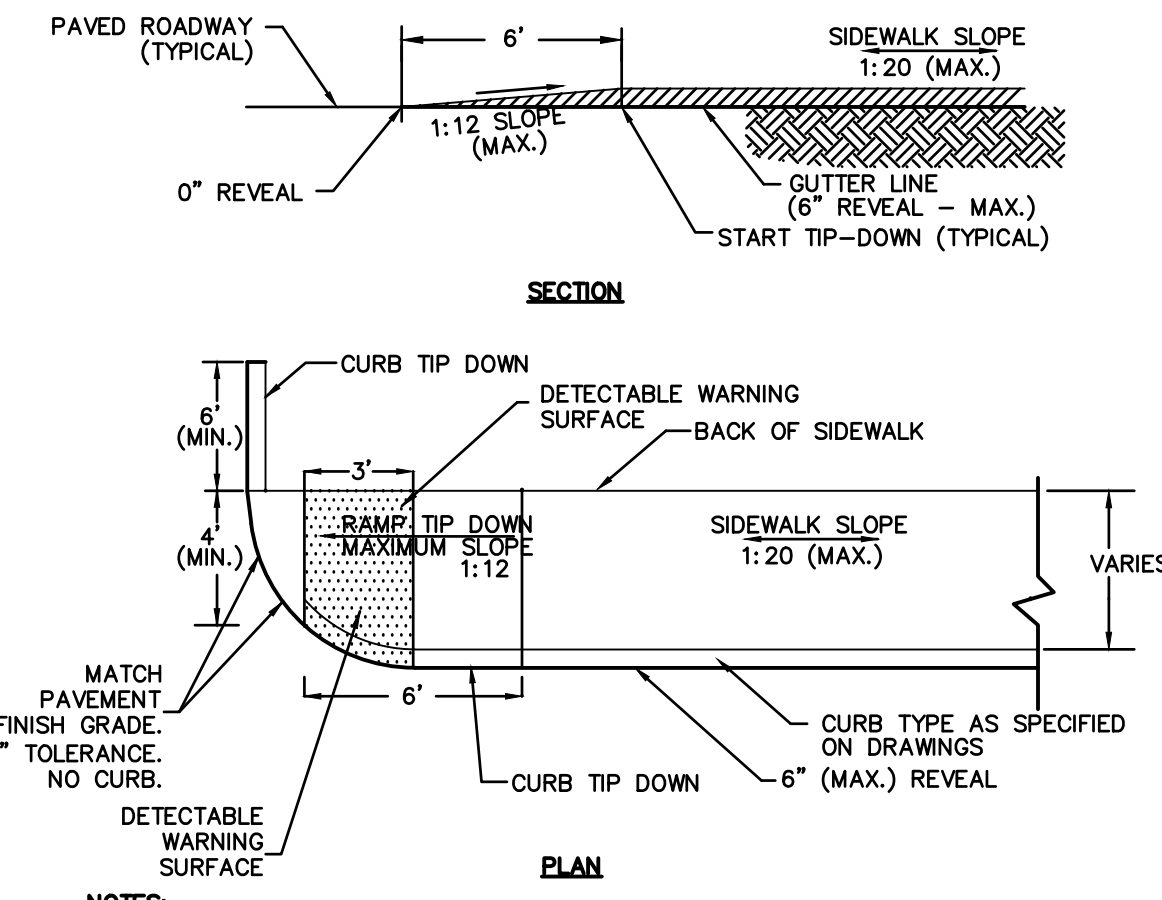
- NOTES:**
1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS
  2. RAMP SHALL BE 6" THICK WITH WWF OR FIBER REINFORCED CONCRETE (4,000 PSI)
  3. PROVIDE 6" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMP.
  4. DETECTABLE WARNING STRIP SHALL BE CAST IRON. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

**HANDICAP ACCESSIBLE RAMP**  
NOT TO SCALE



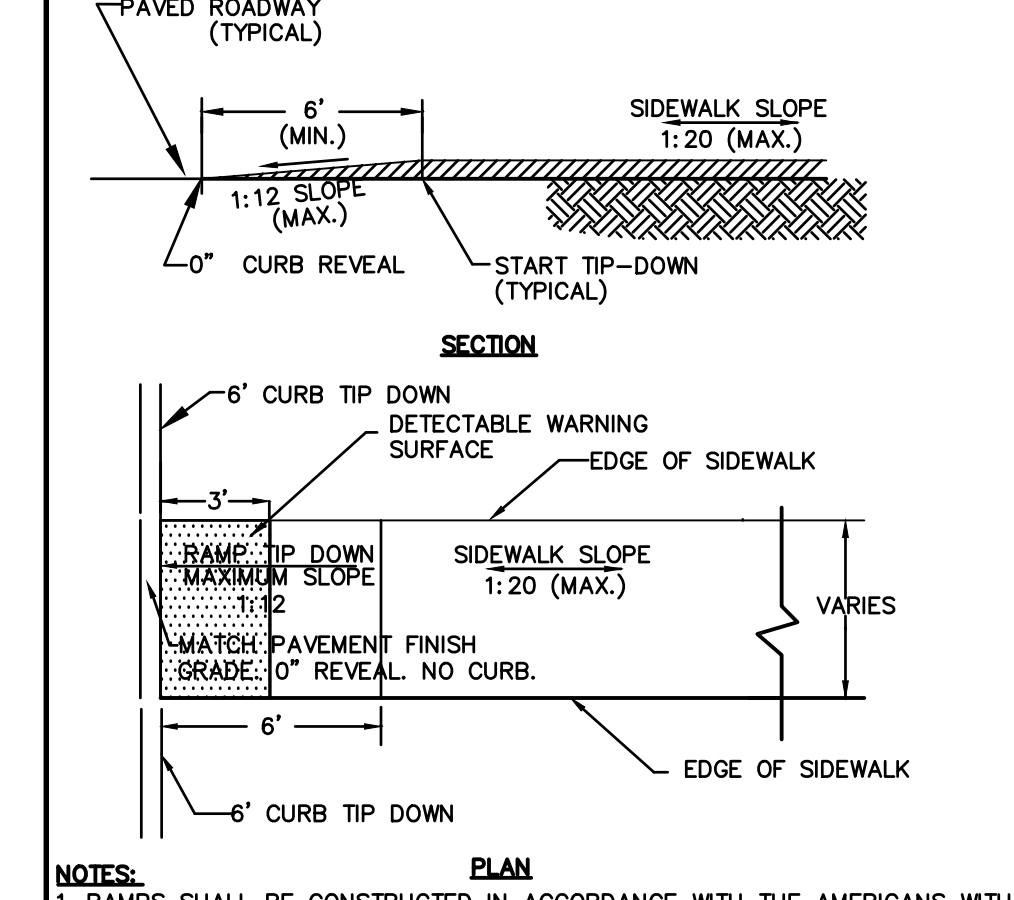
- NOTE:**
- CURB RAMP MUST HAVE A DETECTABLE WARNING FEATURE EXTENDING THE FULL WIDTH AND DEPTH OF THE RAMP (MID-WALK "IN-LINE" RAMP ONLY NEED DETECTABLE WARNINGS AT WALK/PARKING TRANSITION). THE DETECTABLE SURFACE MUST CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT).

**DETECTABLE WARNING SURFACE**  
NOT TO SCALE



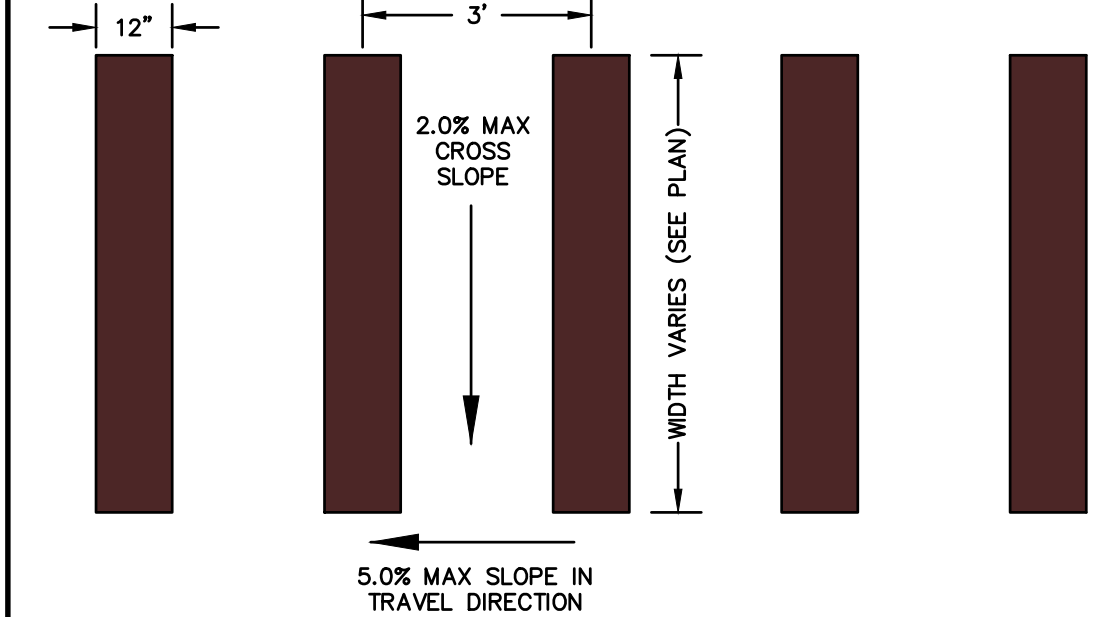
- NOTES:**
1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS
  2. RAMP SHALL BE 6" THICK WITH WWF OR FIBER REINFORCED CONCRETE (4,000 PSI)
  3. PROVIDE 6" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMP.
  4. DETECTABLE WARNING STRIP SHALL BE CAST IRON. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

**CORNER TIP DOWN RAMP**  
NOT TO SCALE



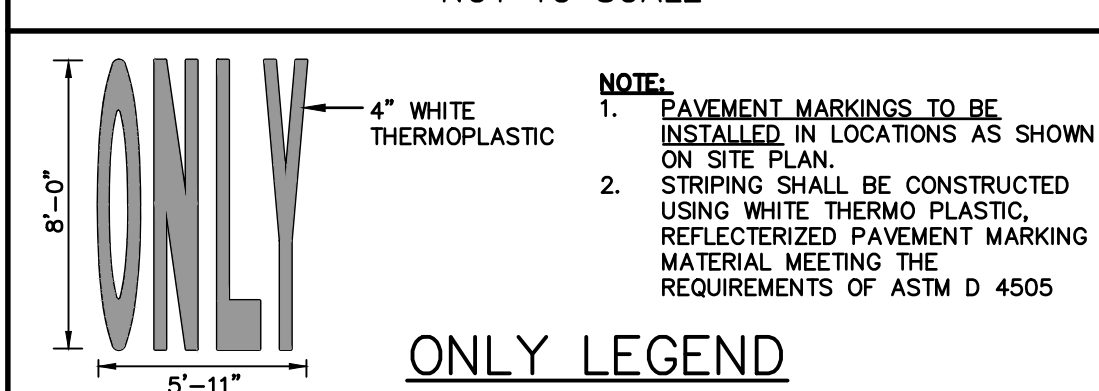
- NOTES:**
1. RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS
  2. RAMP SHALL BE 6" THICK WITH WWF OR FIBER REINFORCED CONCRETE (4,000 PSI)
  3. PROVIDE 6" COMPACTED CRUSHED GRAVEL BASE BENEATH RAMP.
  4. DETECTABLE WARNING STRIP SHALL BE CAST IRON. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

**SIDEWALK TIP-DOWN RAMP**  
NOT TO SCALE



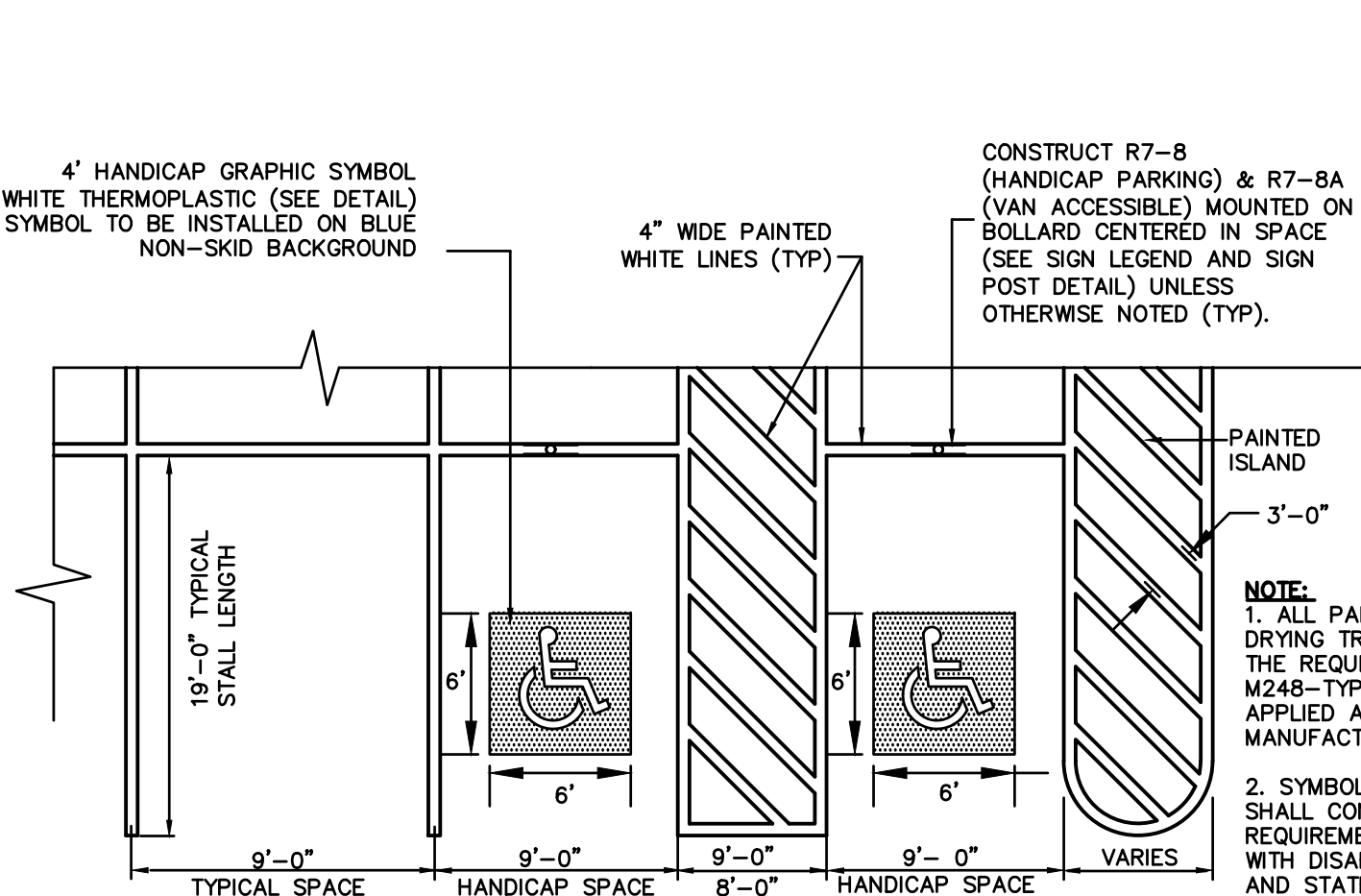
- NOTE:**
- STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

**CROSSWALK STRIPING**  
NOT TO SCALE

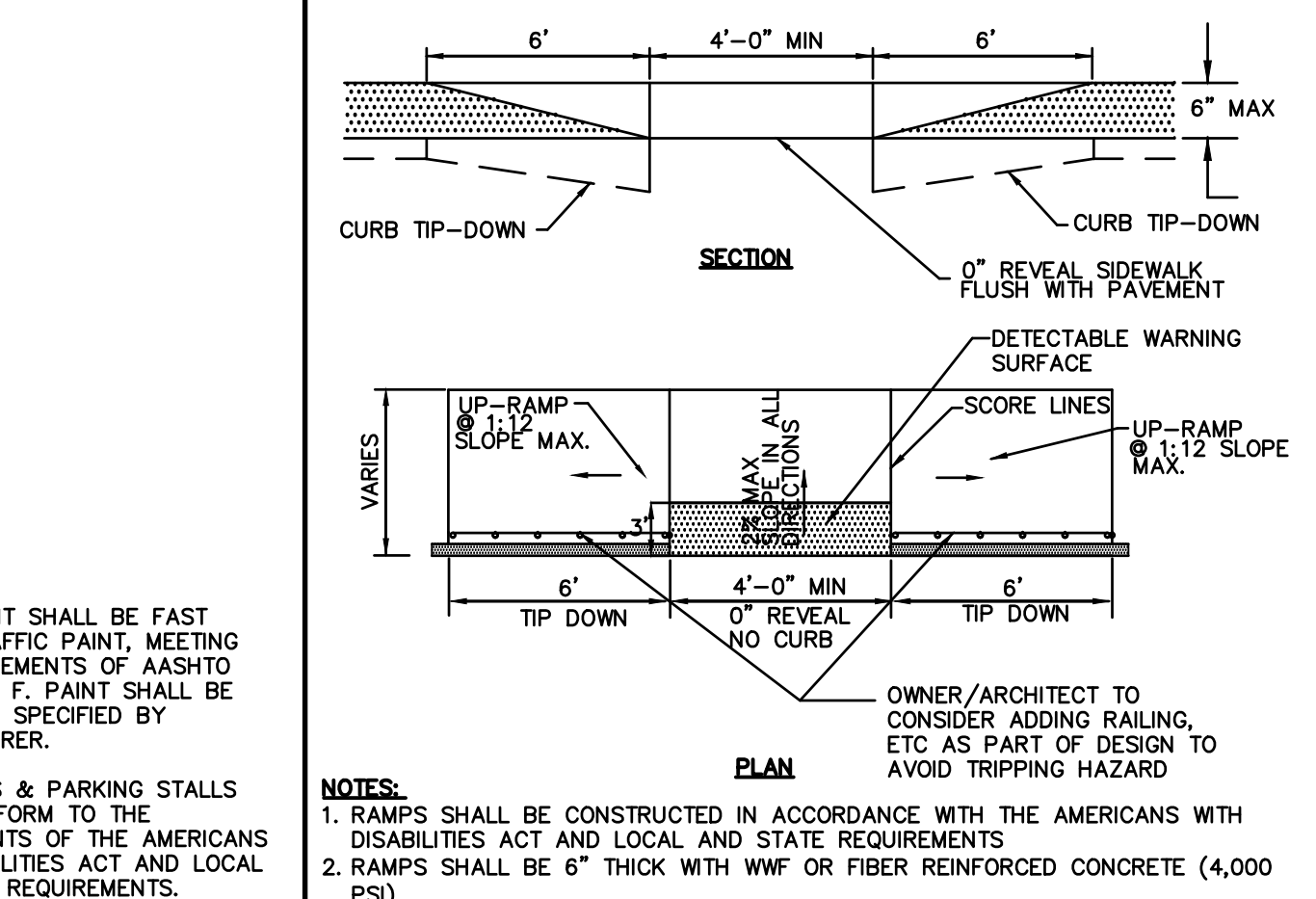


- NOTE:**
1. PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
  2. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

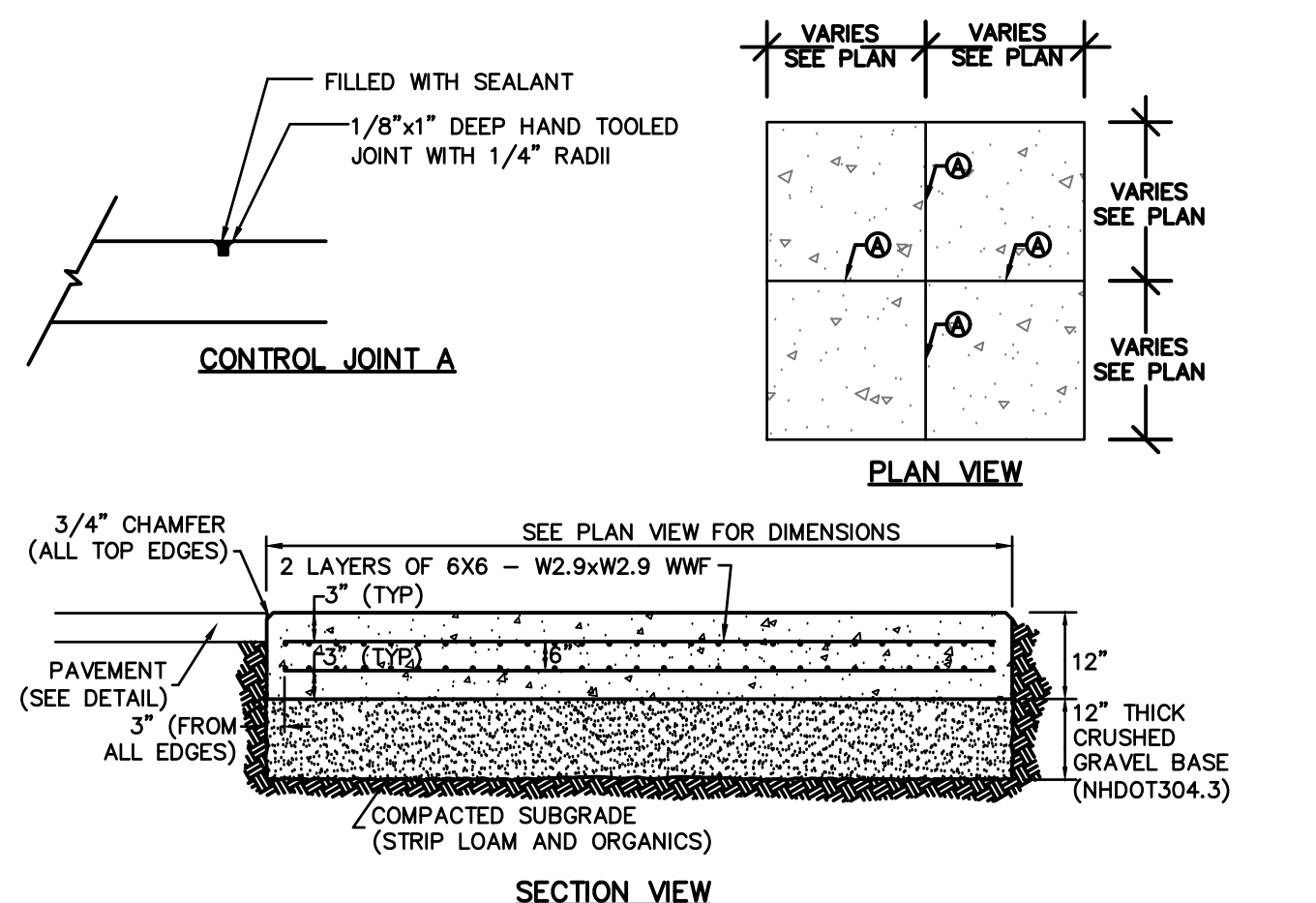
**ONLY LEGEND**  
NOT TO SCALE



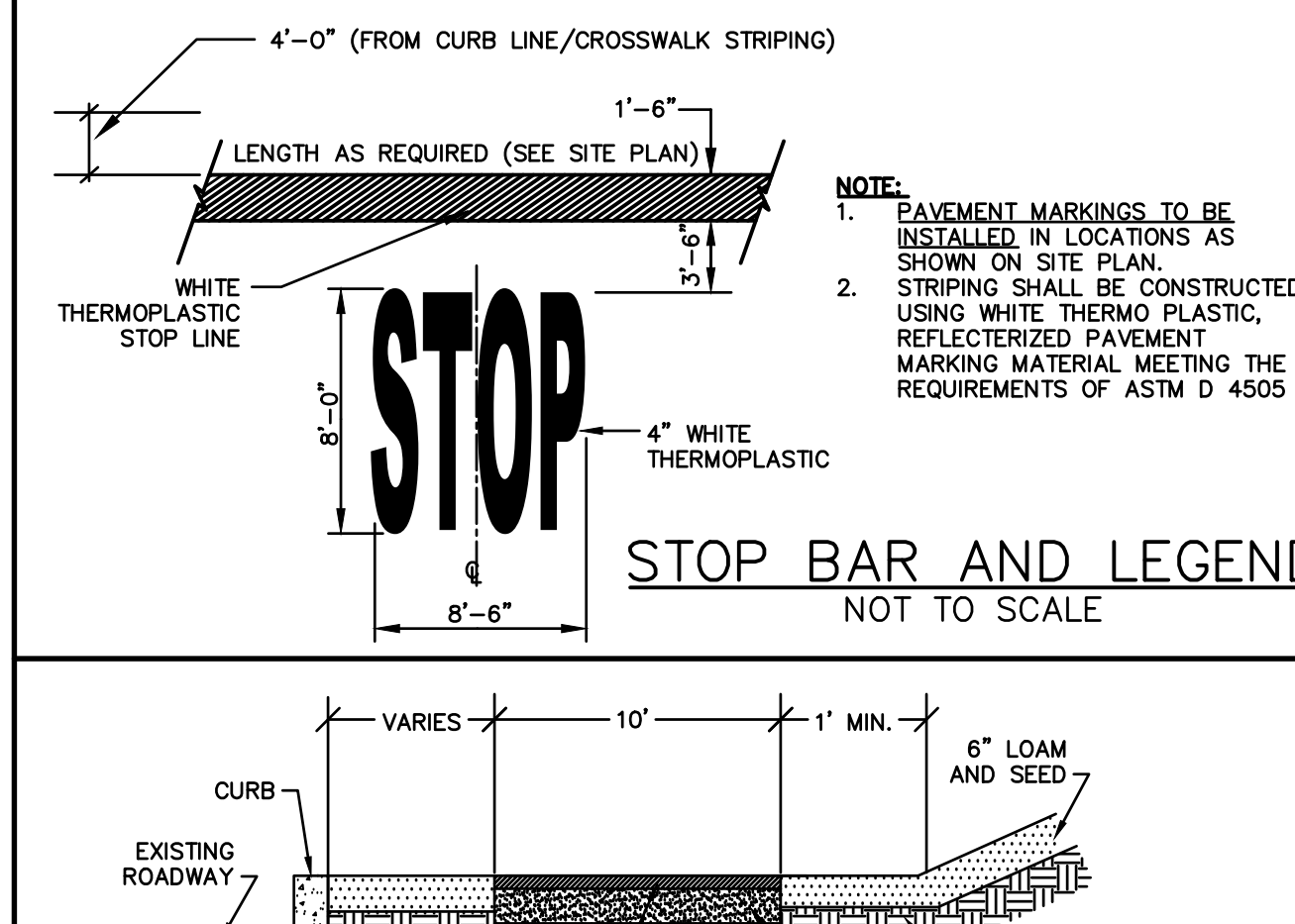
**STALL STRIPING-SINGLE STRIPE**  
NOT TO SCALE



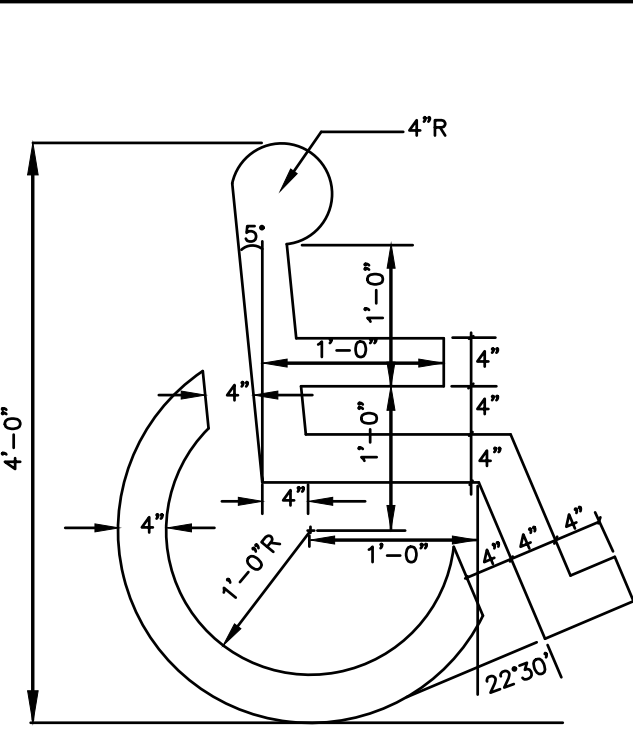
**HANDICAP TIP DOWN RAMP**  
NOT TO SCALE



**DUMPSTER PAD**  
NOT TO SCALE

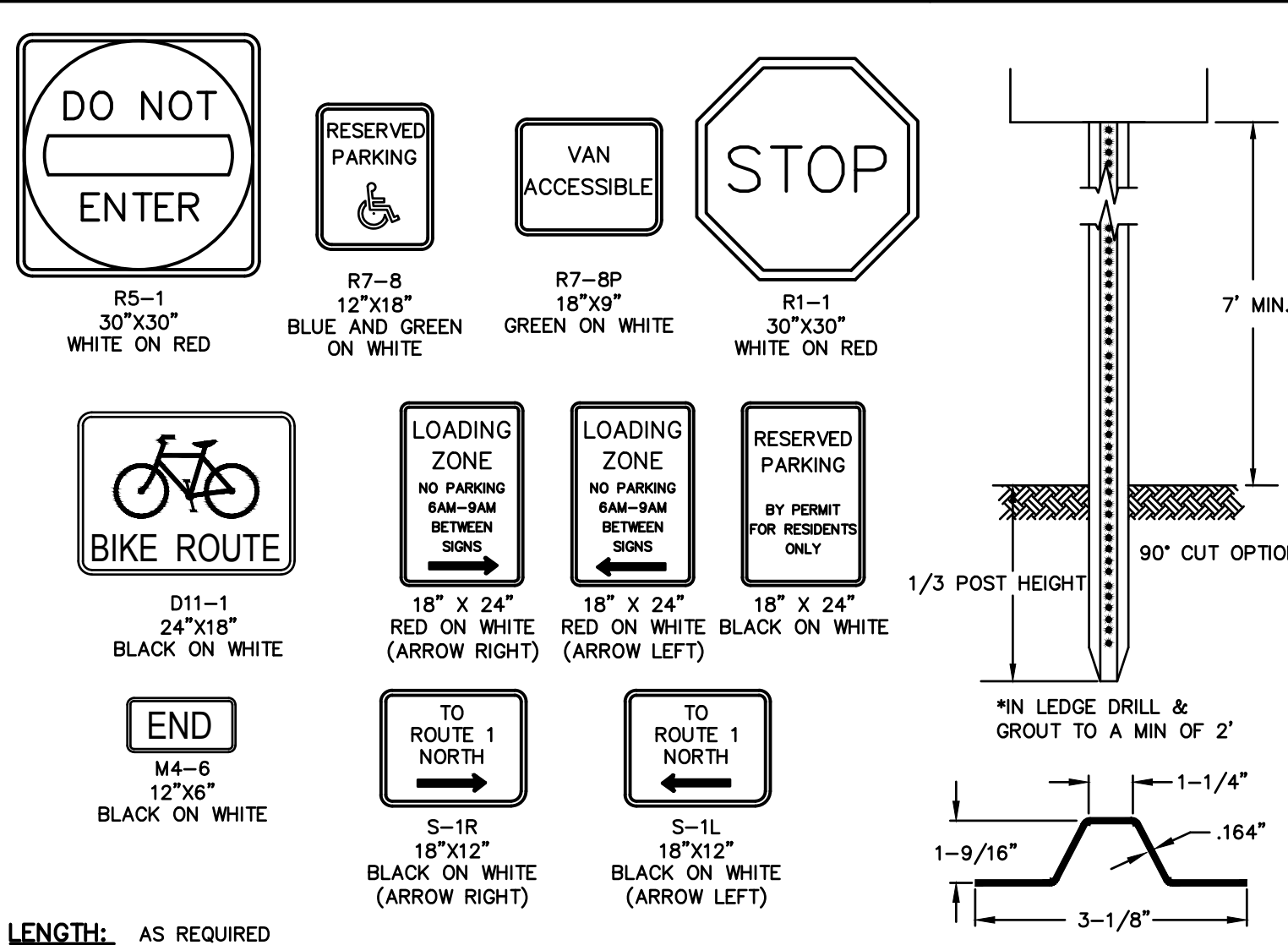


**STOP BAR AND LEGEND**  
NOT TO SCALE



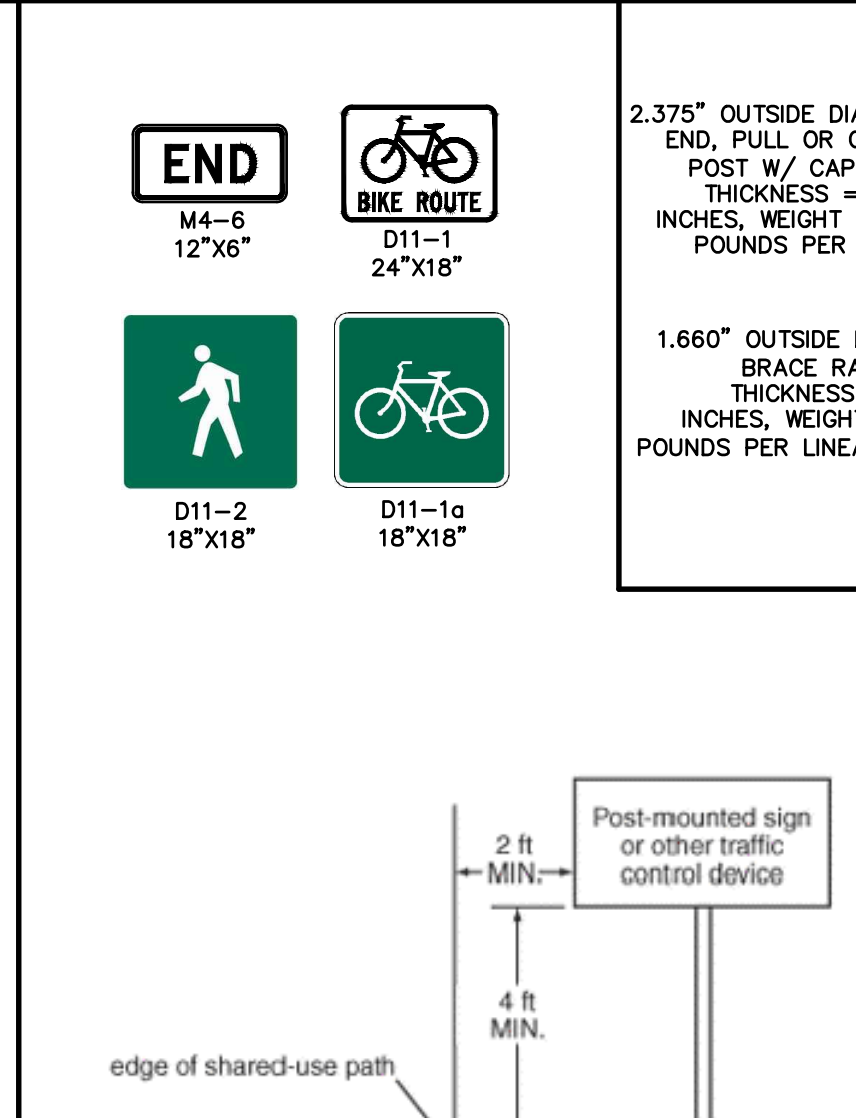
- NOTES:**
1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
  2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

**ACCESSIBLE SYMBOL**  
NOT TO SCALE



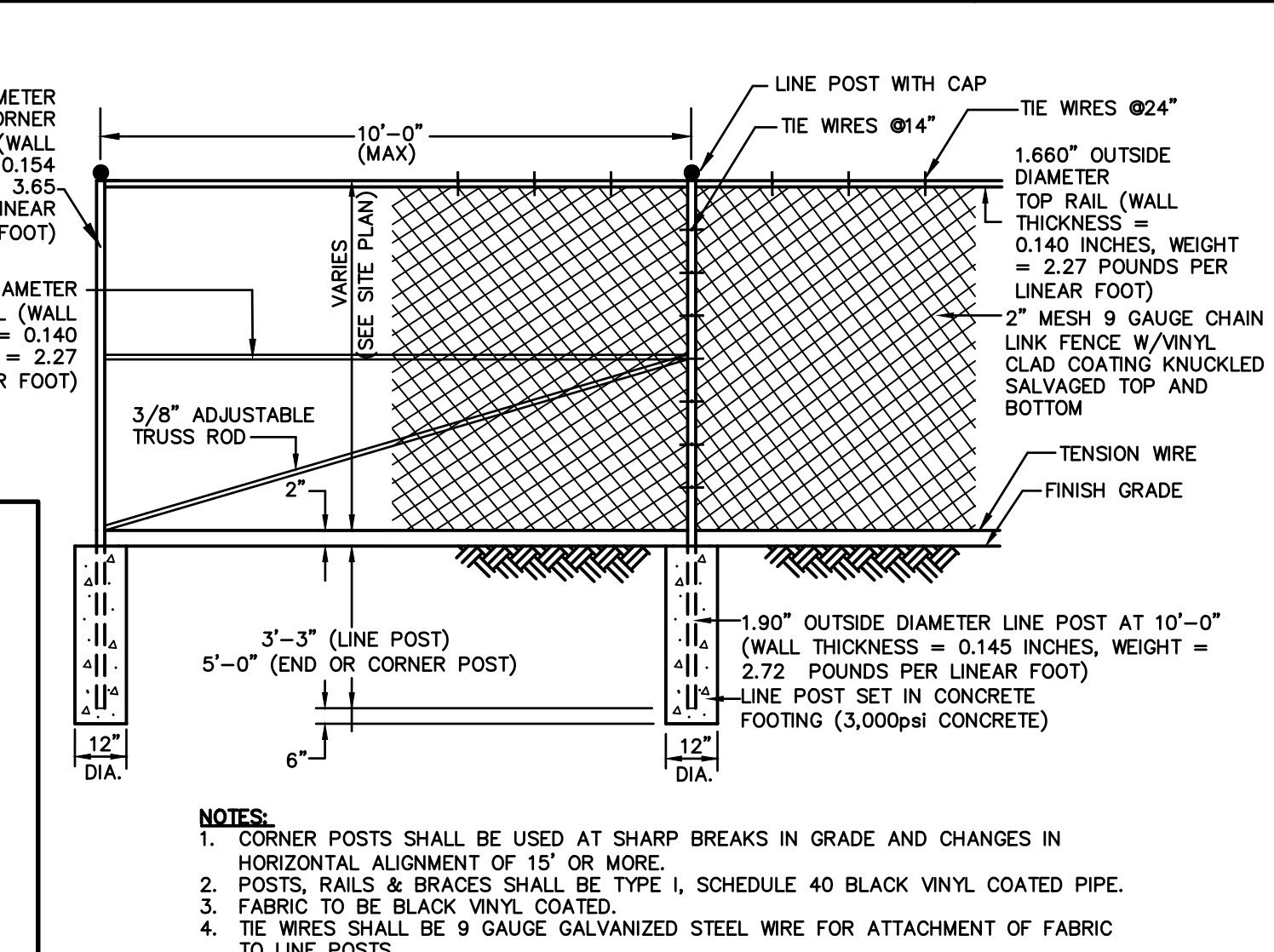
- LENGTH:** AS REQUIRED  
**WEIGHT PER LINEAR FOOT:** 2.50 LBS (MIN.)  
**HOLES:** 3/8" DIAMETER, 1" C-C FULL LENGTH  
**STEEL:** SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASSTW A-576 (GRADE 1070 - 1080)  
**FINISH:** SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN BAKED ON OR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.  
**NOTE:** ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

**SIGN LEGEND & SIGN POST**  
NOT TO SCALE



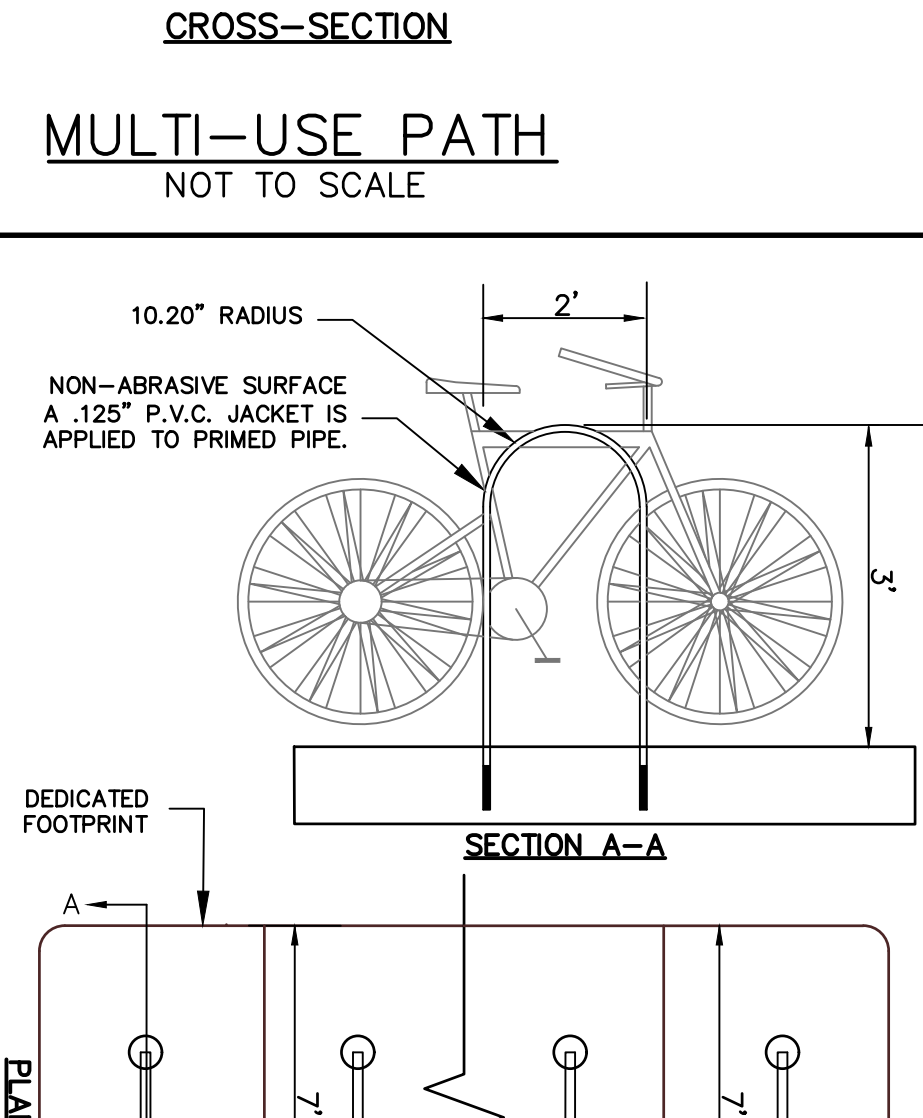
- LENGTH:** AS REQUIRED  
**WEIGHT PER LINEAR FOOT:** 2.50 LBS (MIN.)  
**HOLES:** 3/8" DIAMETER, 1" C-C FULL LENGTH  
**STEEL:** SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASSTW A-576 (GRADE 1070 - 1080)  
**FINISH:** SHALL BE PAINTED WITH TWO COATS OF AN APPROVED MEDIUM GREEN BAKED ON OR DRIED, PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.  
**NOTE:** ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

**MULTI-USE PATH SIGNS**  
NOT TO SCALE



- NOTES:**
1. CORNER POSTS SHALL BE USED AT SHARP BREAKS IN GRADE AND CHANGES IN HORIZONTAL ALIGNMENT OF 15' OR MORE.
  2. POSTS, RAILS & BRACES SHALL BE TYPE 1, SCHEDULE 40 BLACK VINYL COATED PIPE.
  3. FABRIC TO BE BLACK VINYL COATED.
  4. TIE WIRES SHALL BE 9 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO LINE POSTS.
  5. TIE WIRES SHALL BE 13 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO RAILS AND BRACES.
  6. HOG RING TIES SHALL BE 12-1/2 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO TENSION WIRE.

**CHAIN LINK FENCE**  
NOT TO SCALE



- NOTES:**
1. CORNER POSTS SHALL BE USED AT SHARP BREAKS IN GRADE AND CHANGES IN HORIZONTAL ALIGNMENT OF 15' OR MORE.
  2. POSTS, RAILS & BRACES SHALL BE TYPE 1, SCHEDULE 40 BLACK VINYL COATED PIPE.
  3. FABRIC TO BE BLACK VINYL COATED.
  4. TIE WIRES SHALL BE 9 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO LINE POSTS.
  5. TIE WIRES SHALL BE 13 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO RAILS AND BRACES.
  6. HOG RING TIES SHALL BE 12-1/2 GAUGE GALVANIZED STEEL WIRE FOR ATTACHMENT OF FABRIC TO TENSION WIRE.

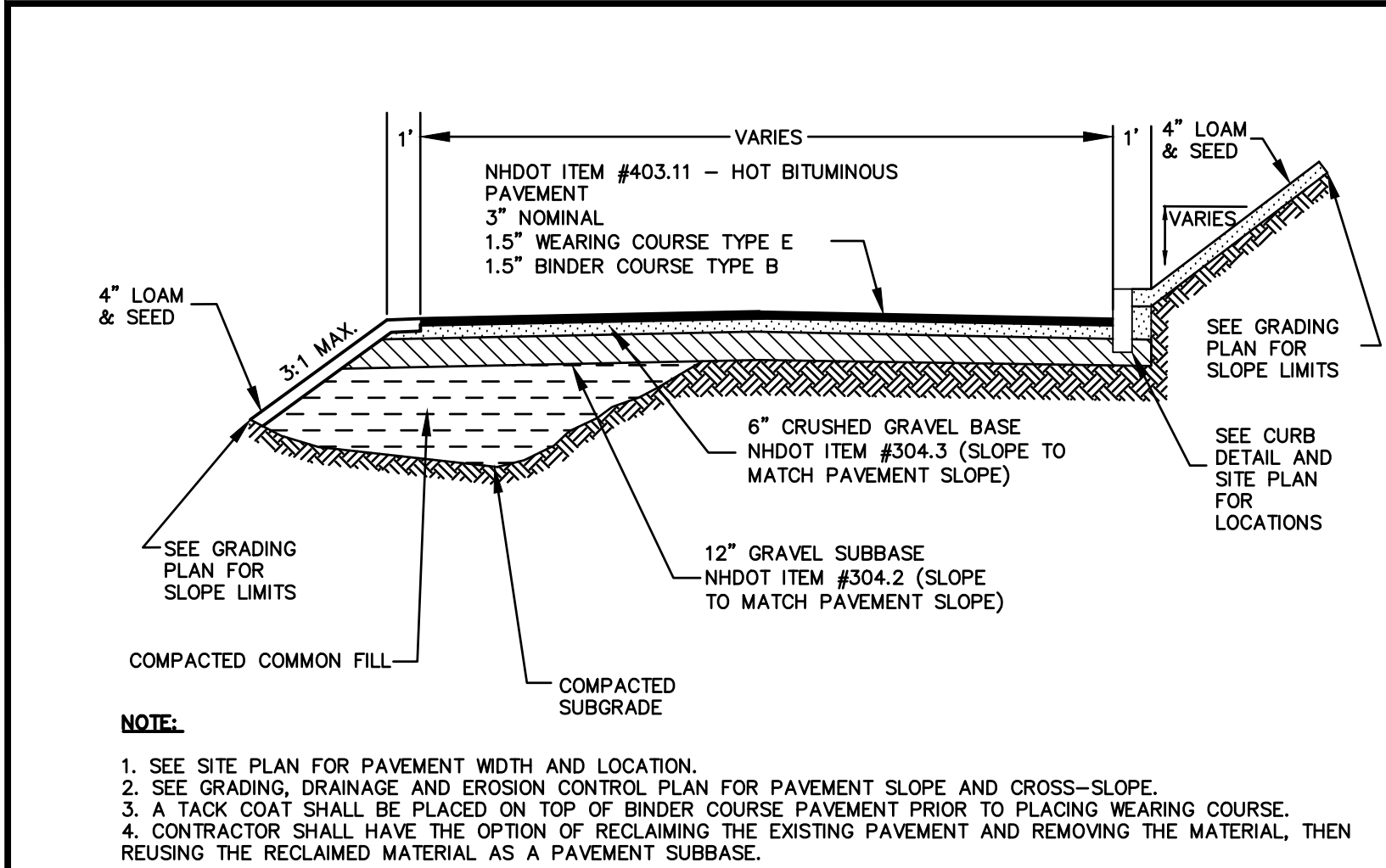
**BIKE RACK**  
NOT TO SCALE



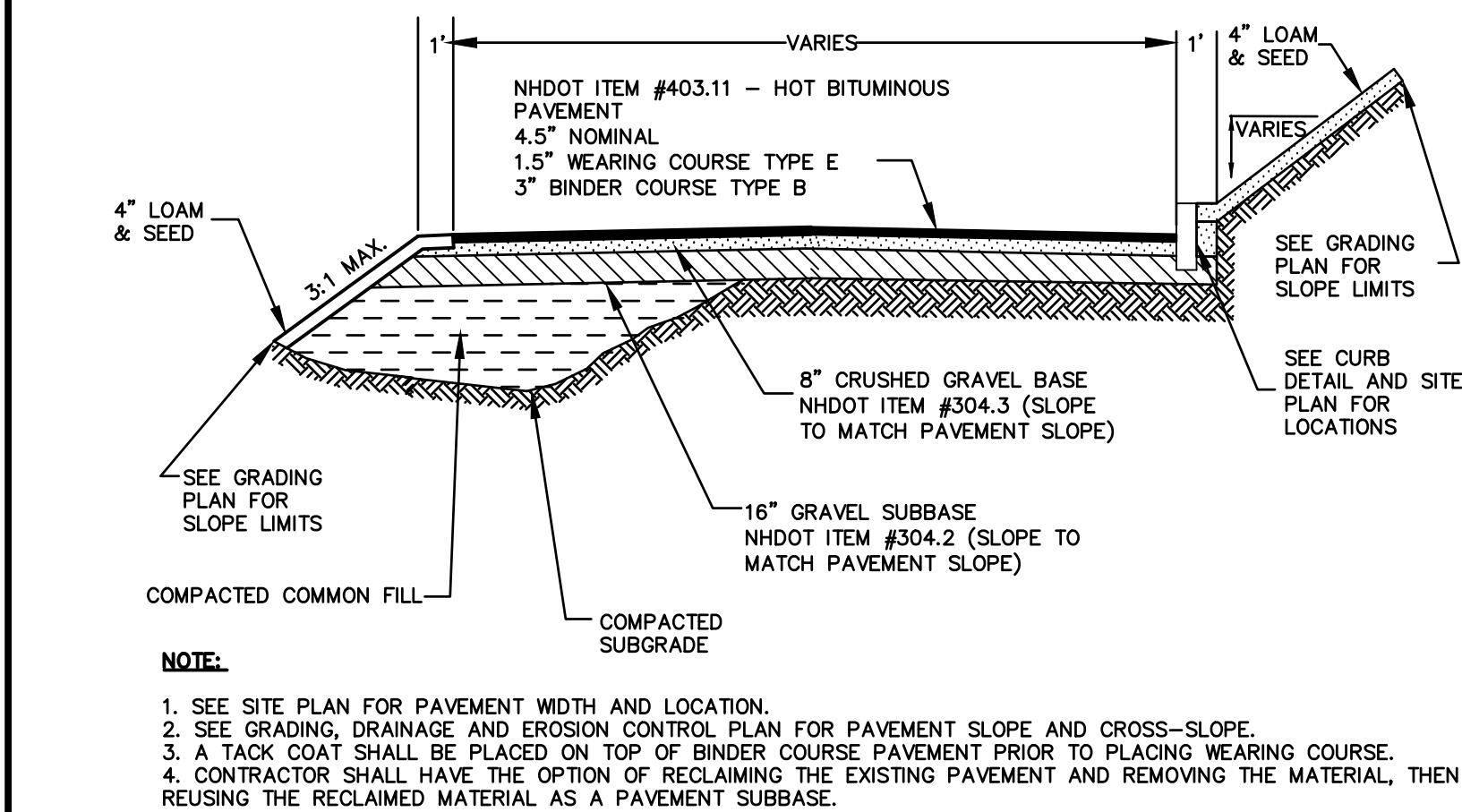
Mark	Date	Description
C	12/10/18	PB Submission
B	12/14/18	Rev. per TAC Comments
A	11/19/18	TAC Submission
PROJECT NO: W1725		
FILE: W-1725-4-DETAILS.dwg		
DRAWN BY: NAH/CML		
CHECKED: PMC		
APPROVED BY: BLM/PMC		



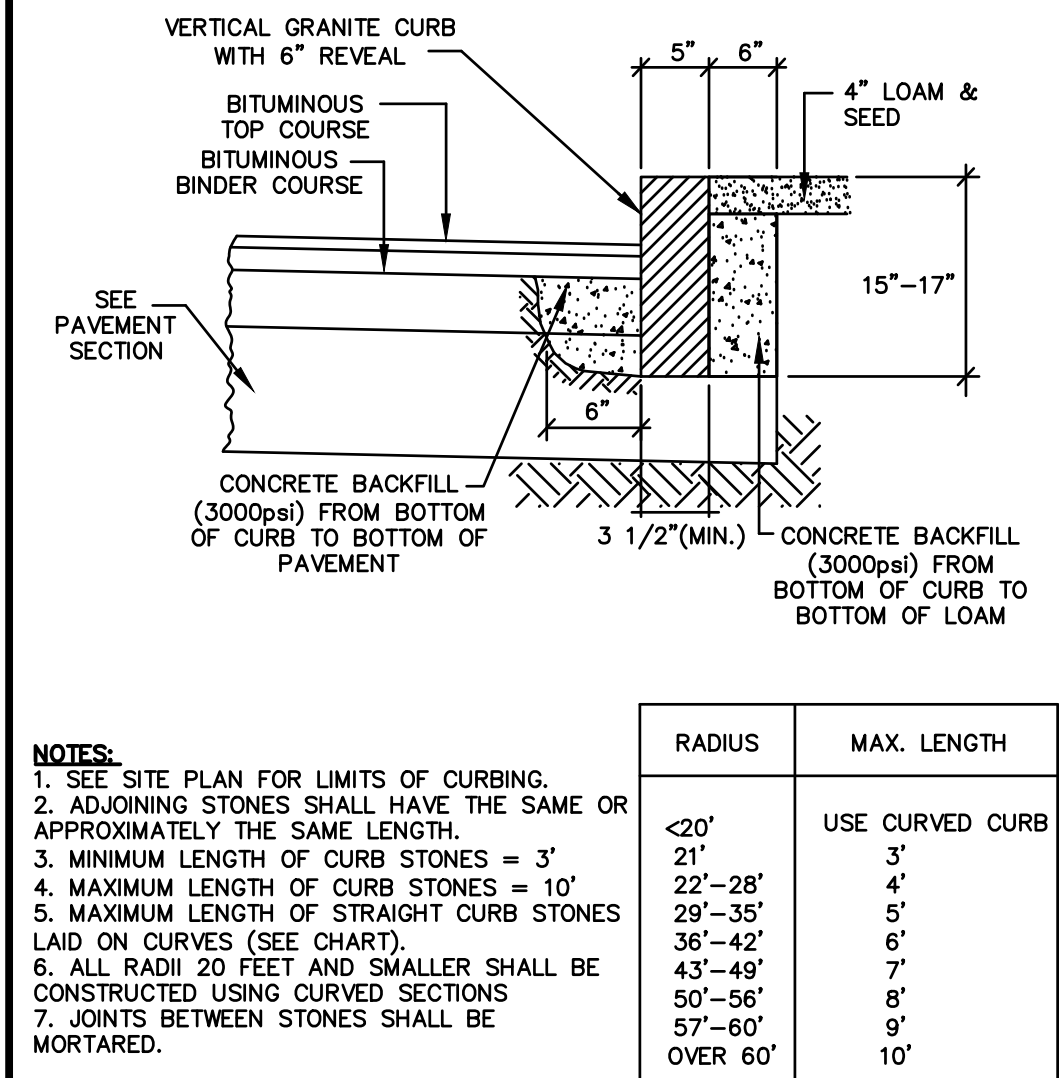
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SAVE DATE: 12/11/2018 4:01 PM  
PLOT DATE: 12/11/2018 4:17 PM



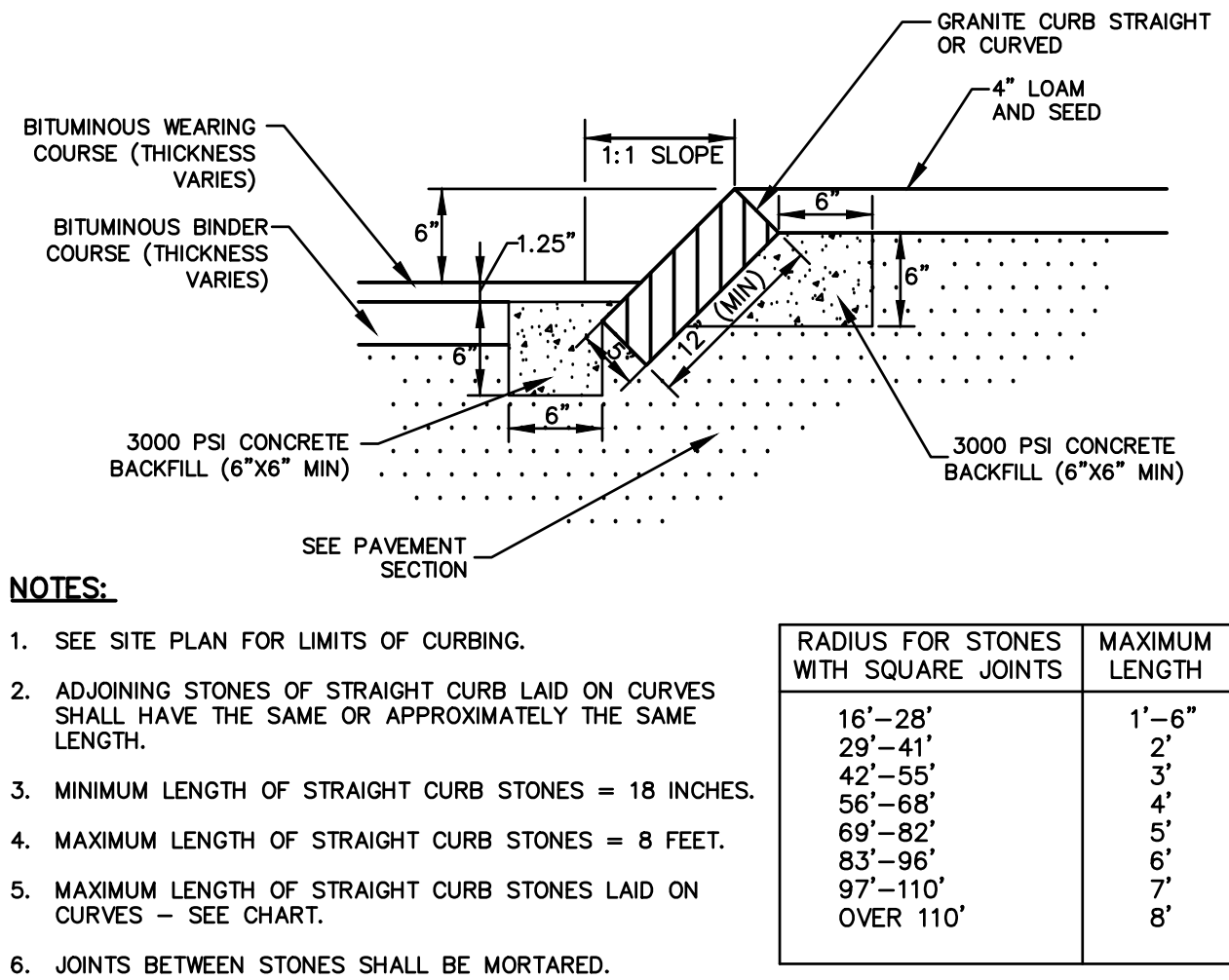
STANDARD DUTY PAVEMENT SECTION  
NOT TO SCALE



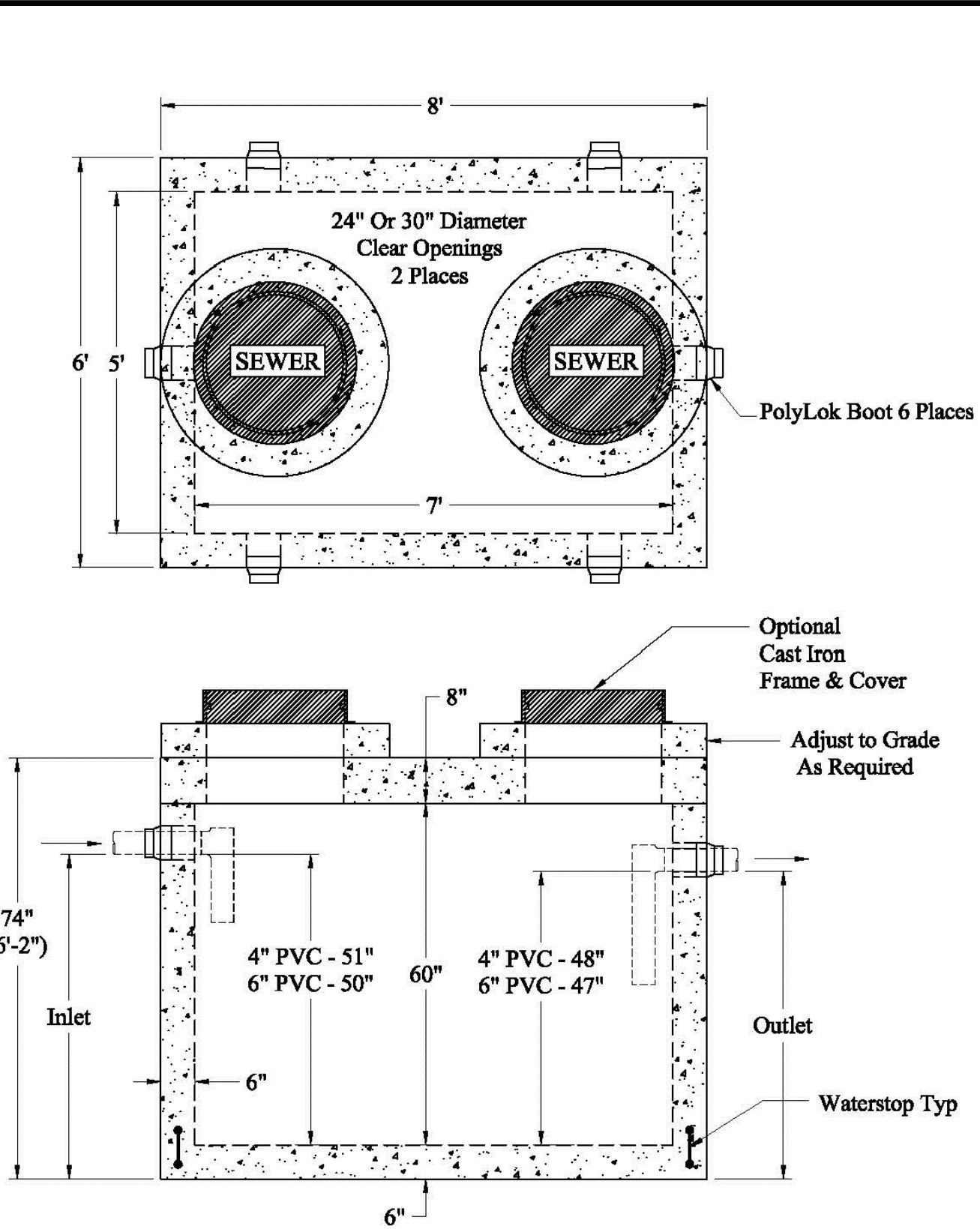
HEAVY DUTY PAVEMENT SECTION  
NOT TO SCALE



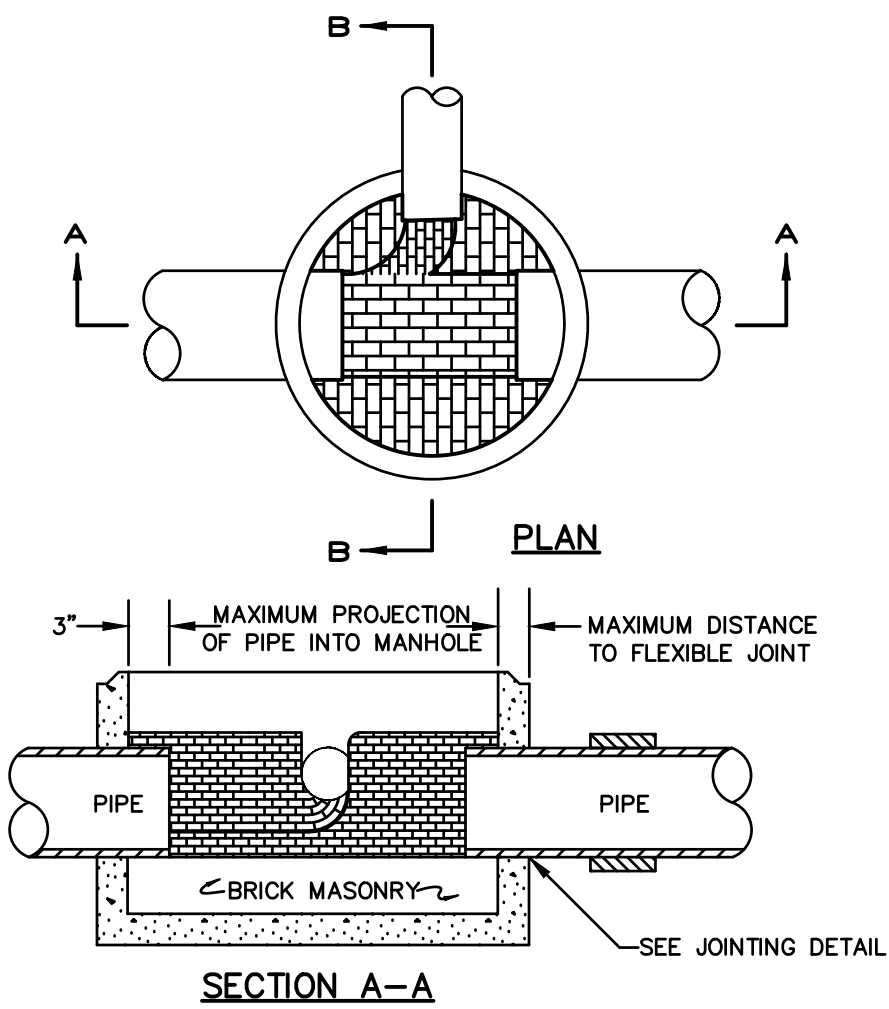
VERTICAL GRANITE CURB  
NOT TO SCALE



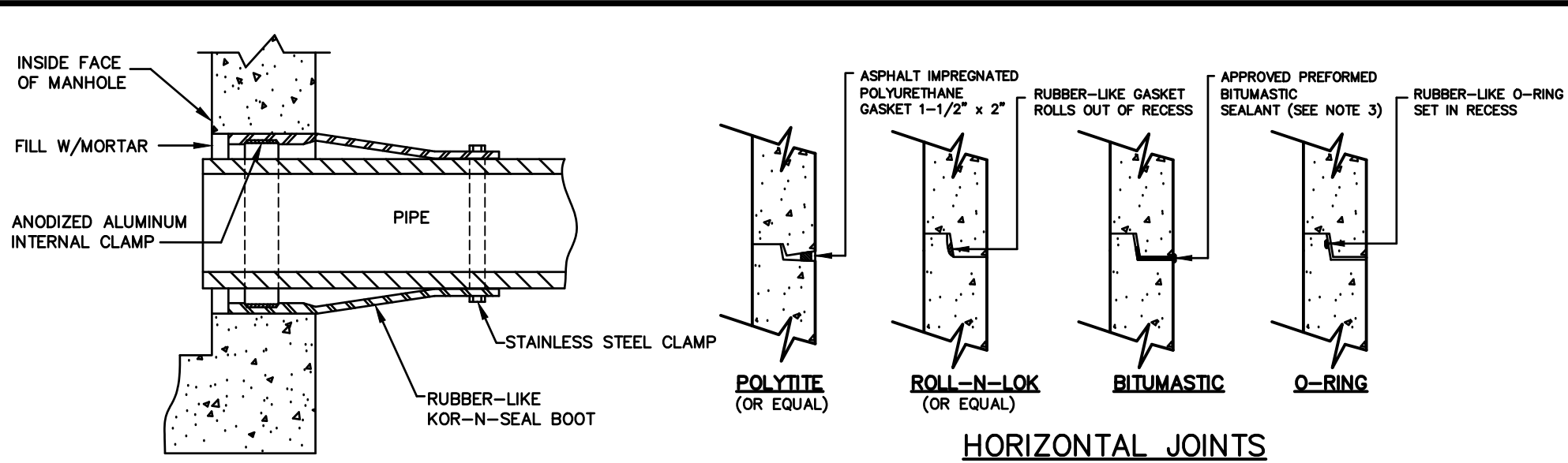
SLOPED GRANITE CURB  
NOT TO SCALE



GREASE TRAP  
NOT TO SCALE



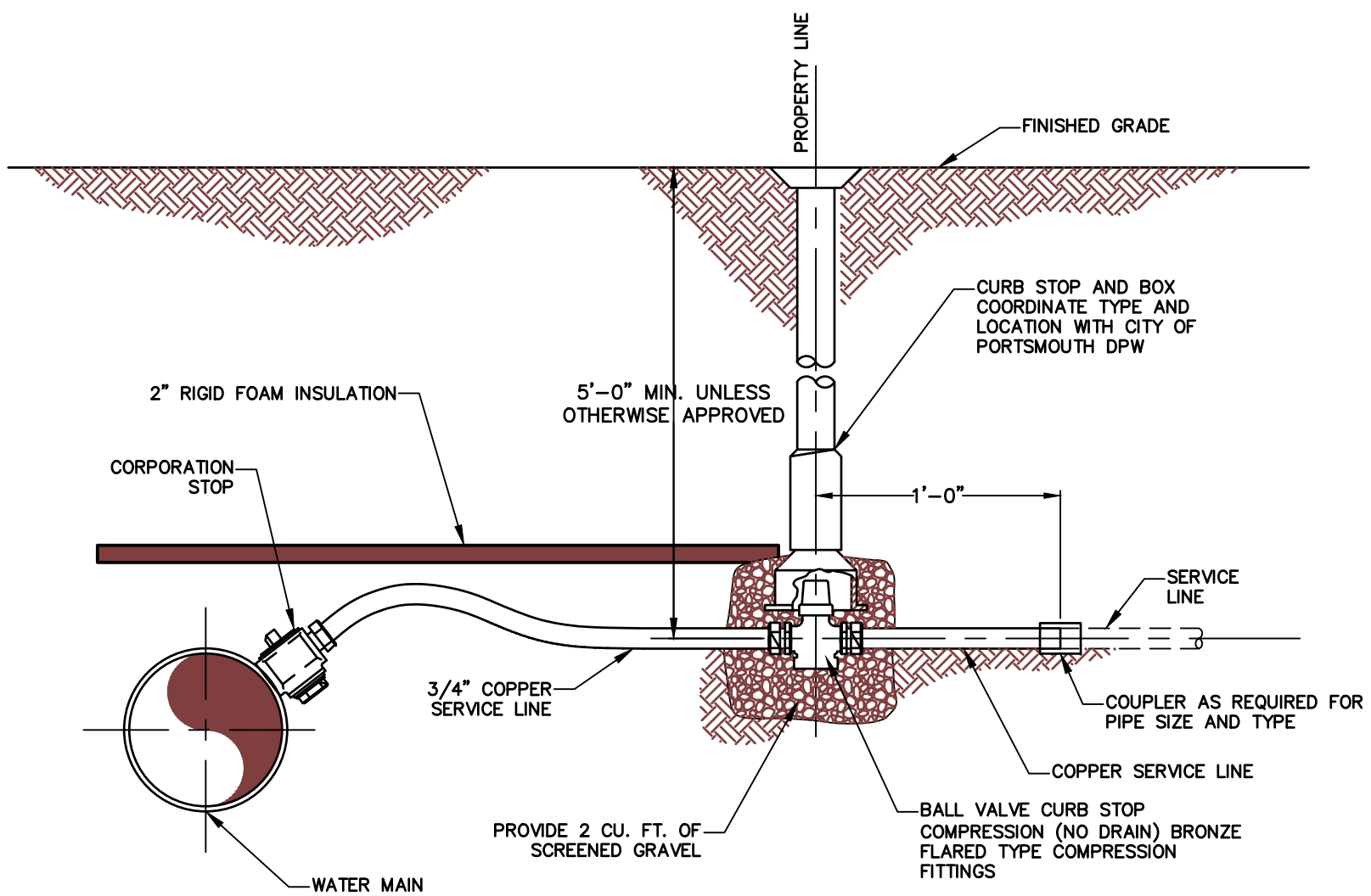
SEWER MANHOLE  
NOT TO SCALE



PIPE TO MANHOLE JOINTS  
NOT TO SCALE

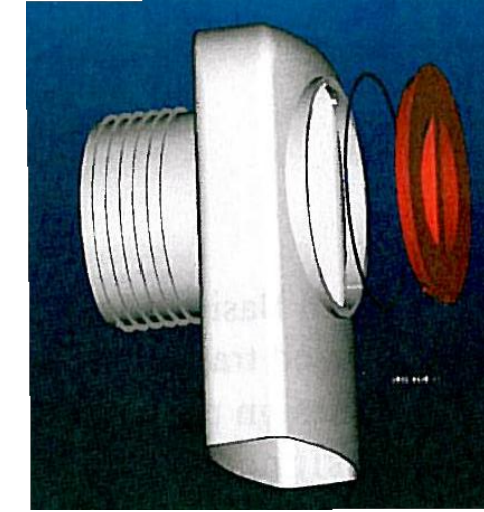
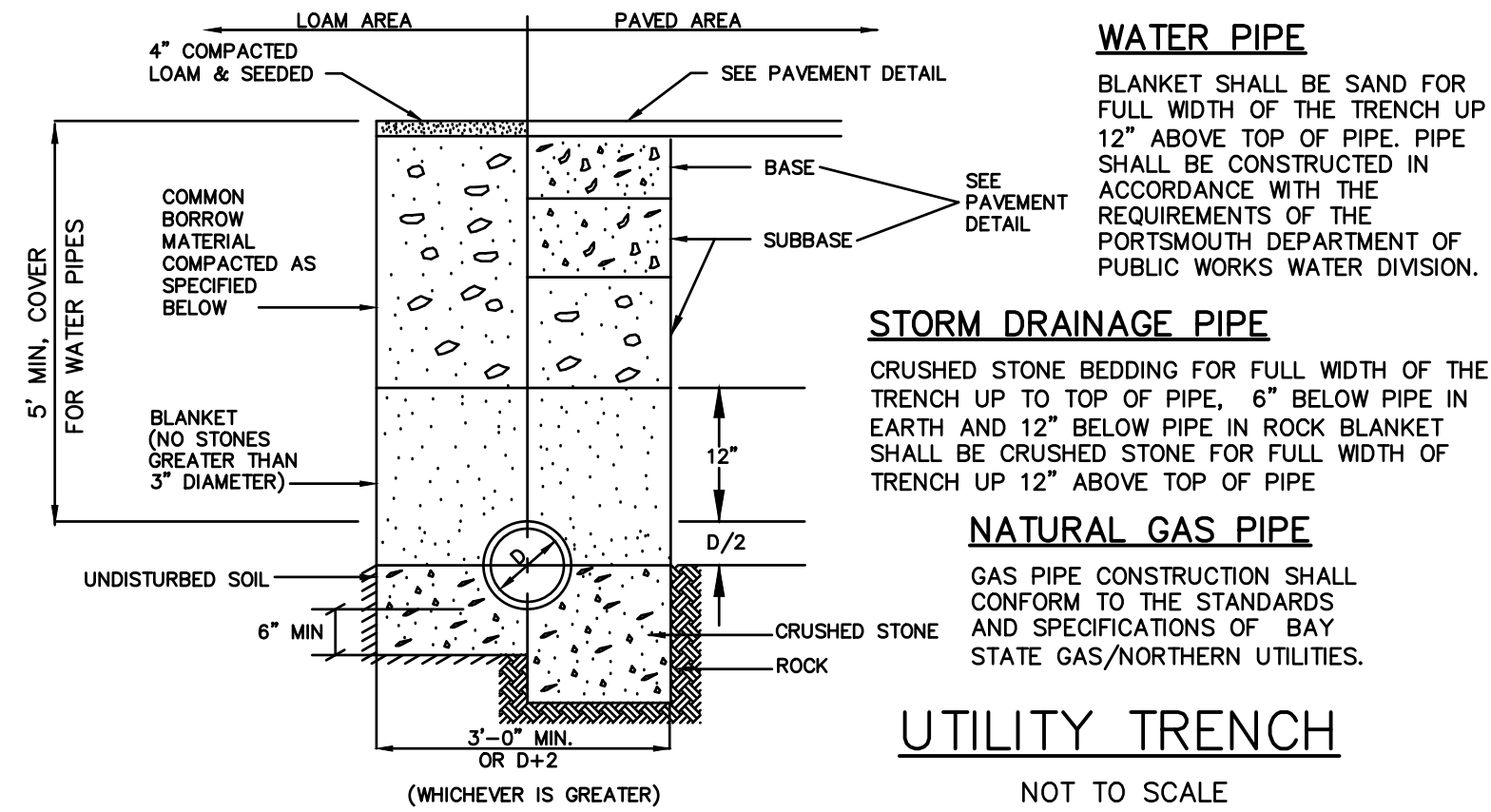
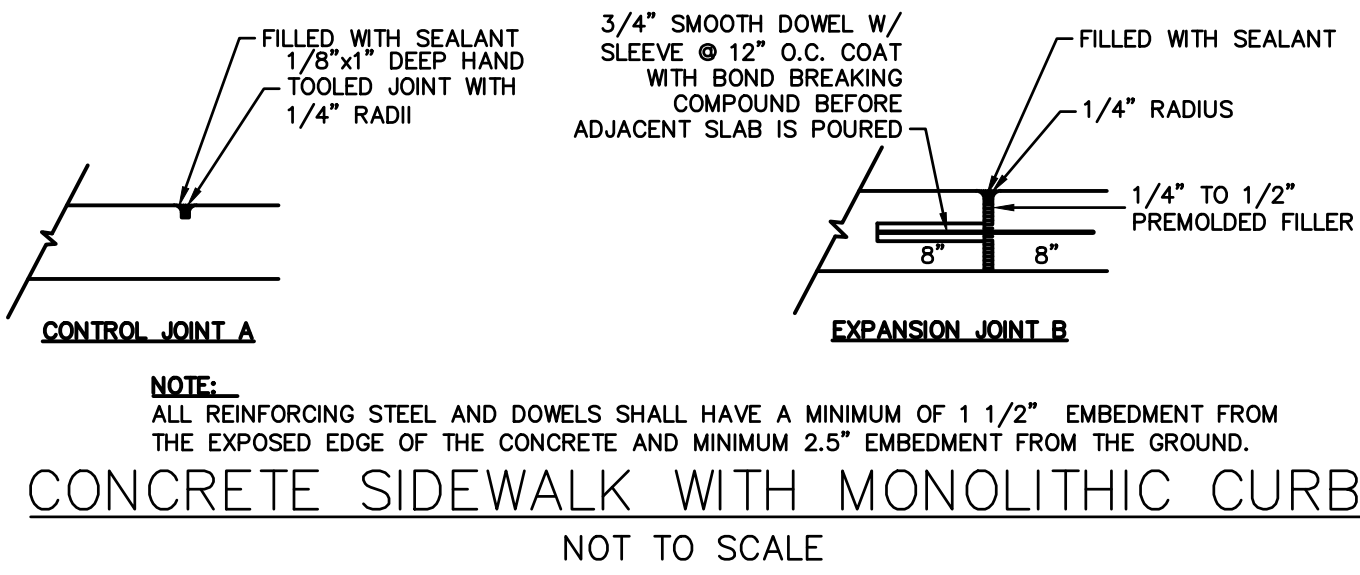
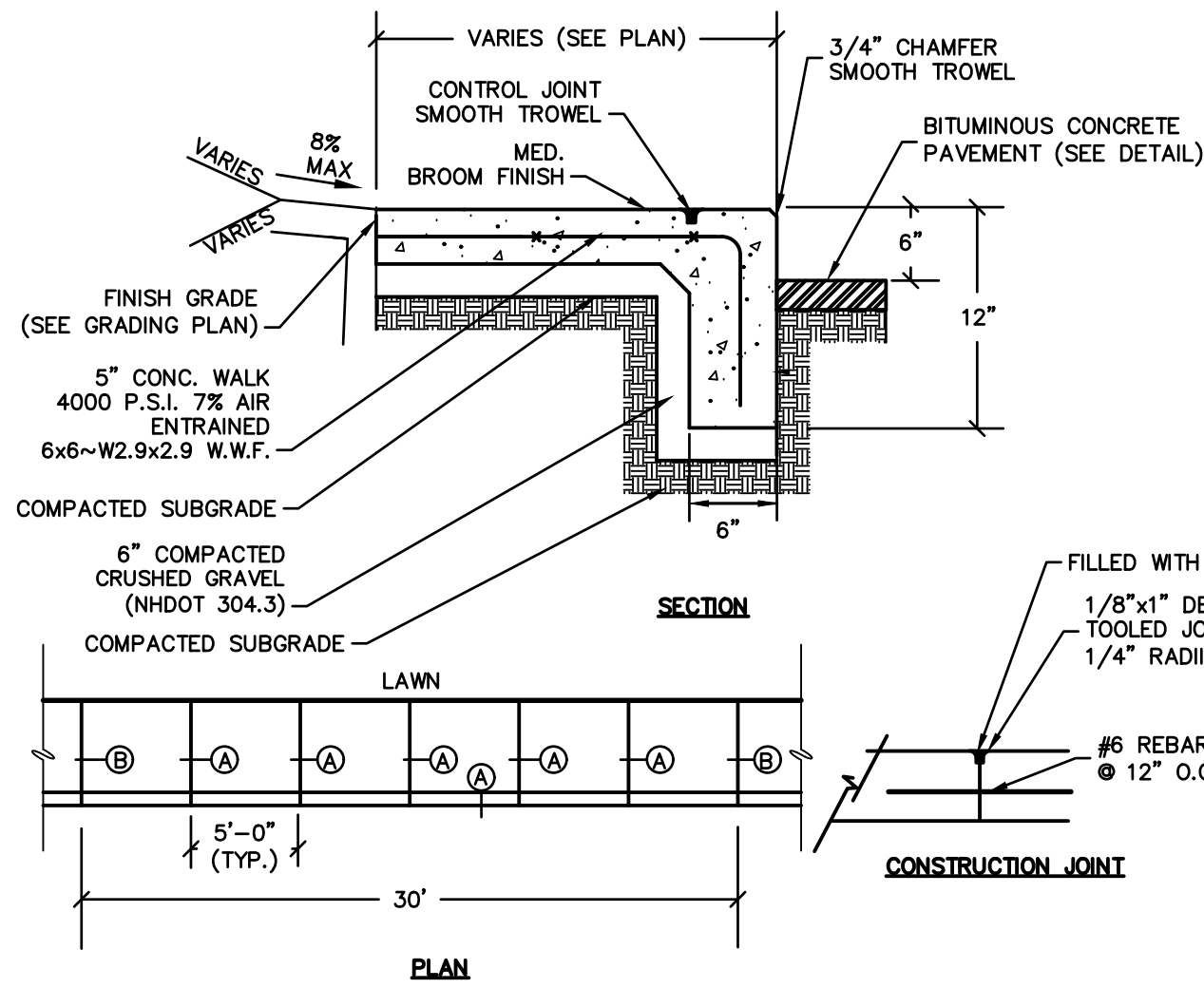
SEWER MANHOLE JOINTS

NOT TO SCALE



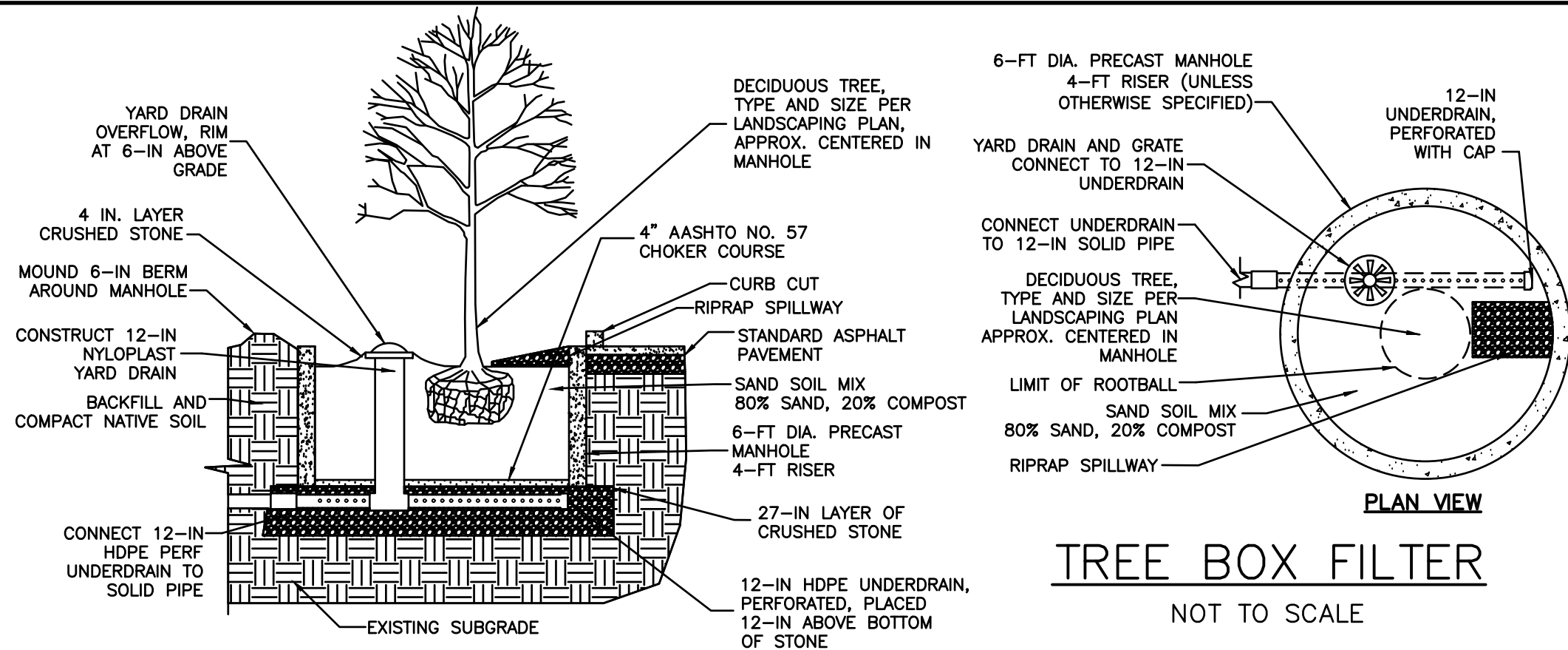
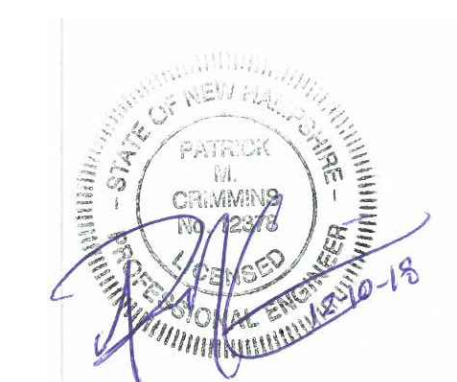


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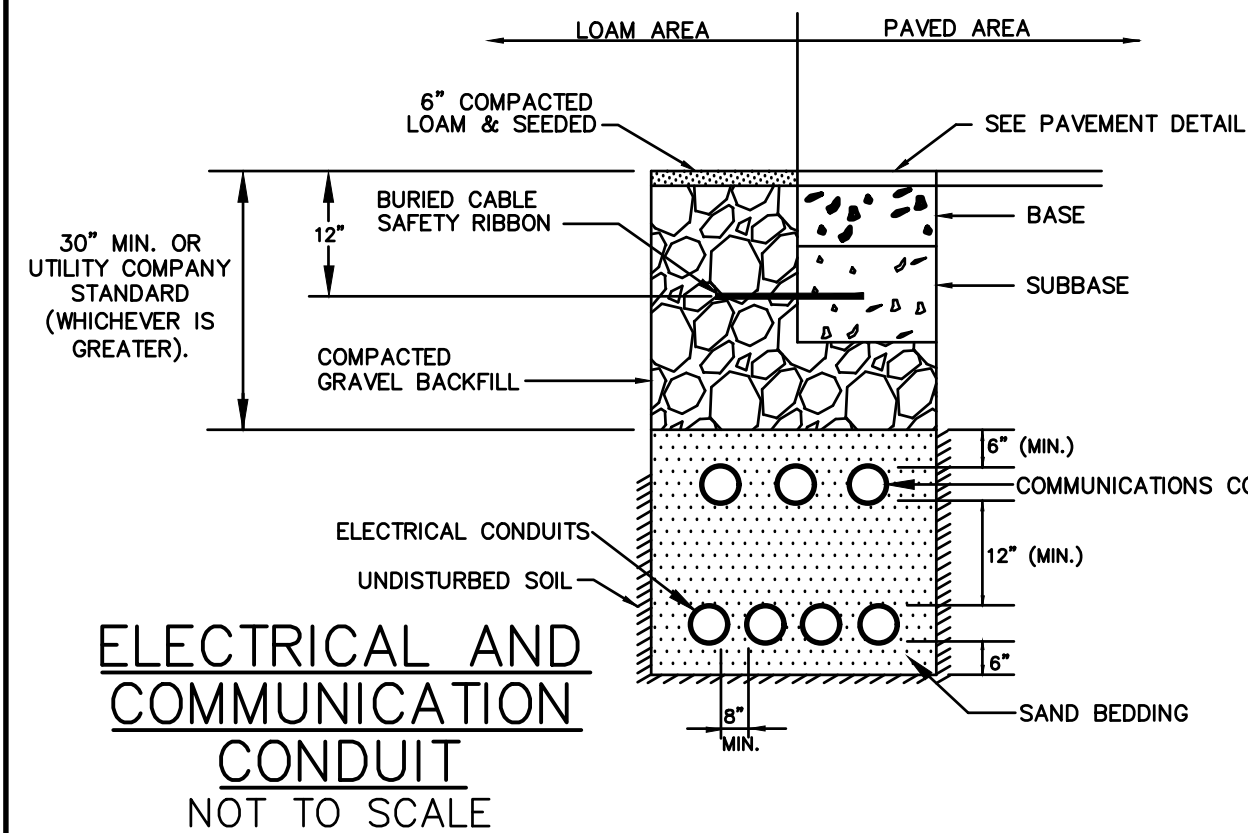


- NOTES:
1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
  2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
  3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL  
FLOATING DEBRIS TRAP  
NOT TO SCALE

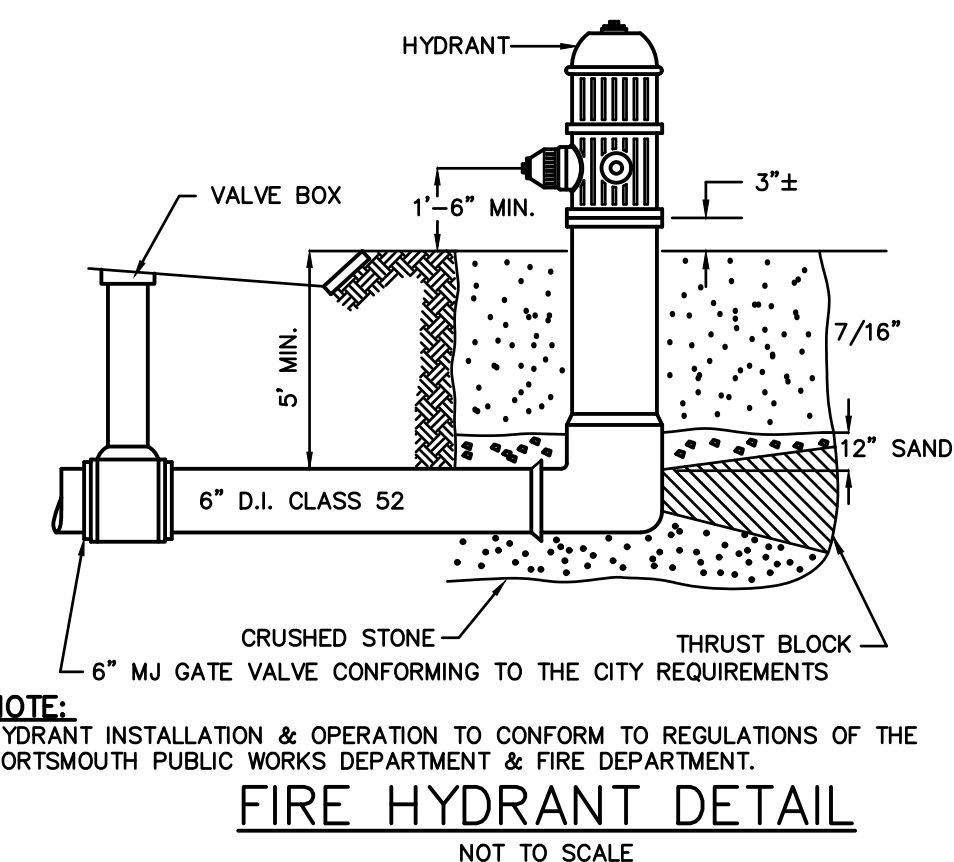


TREE BOX FILTER  
NOT TO SCALE

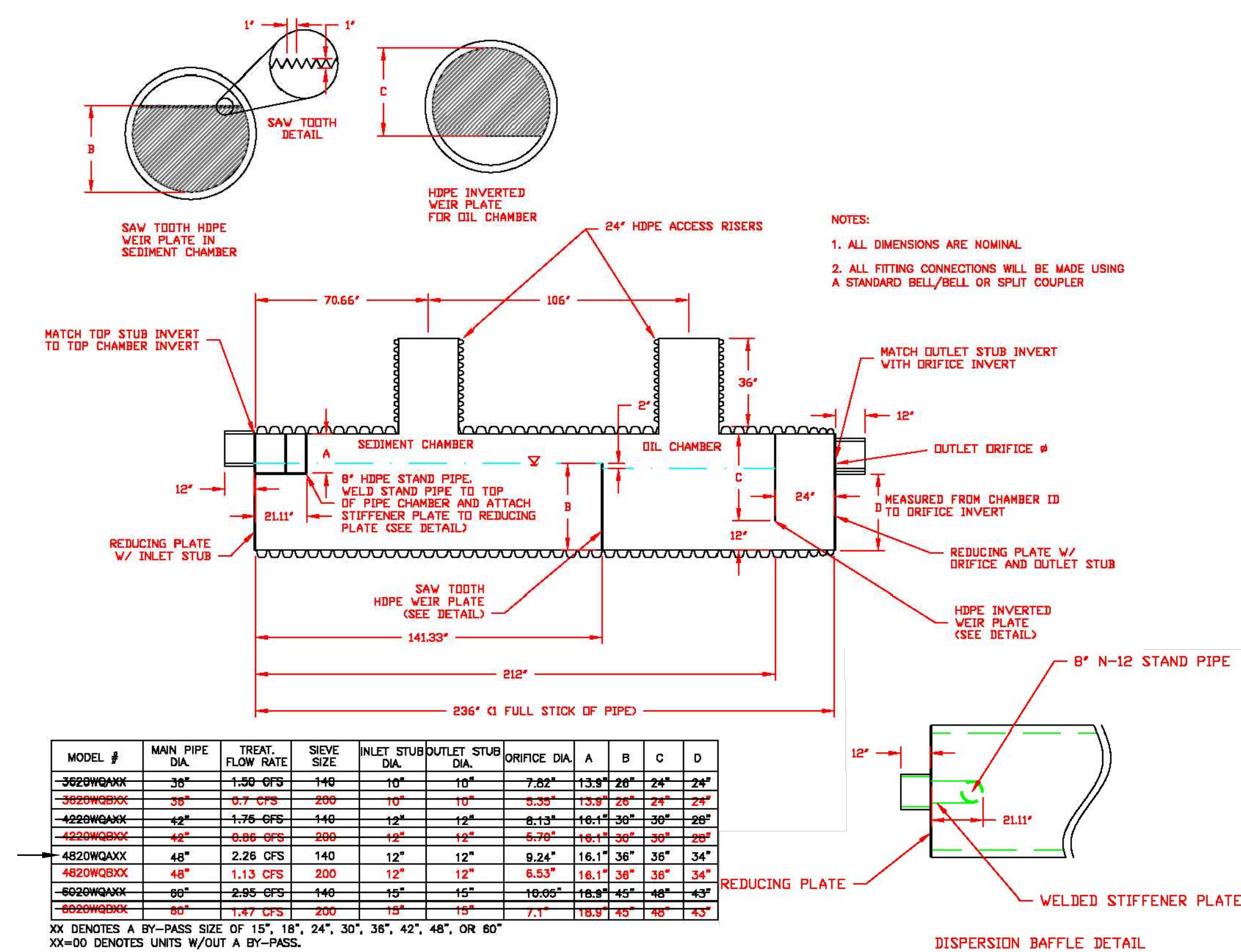


ELECTRICAL AND  
COMMUNICATION  
CONDUIT  
NOT TO SCALE

- NOTES:
1. NUMBER, MATERIAL & SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
  2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
  3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
  4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
  5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
  6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRICAL SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
  7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.



FIRE HYDRANT DETAIL  
NOT TO SCALE

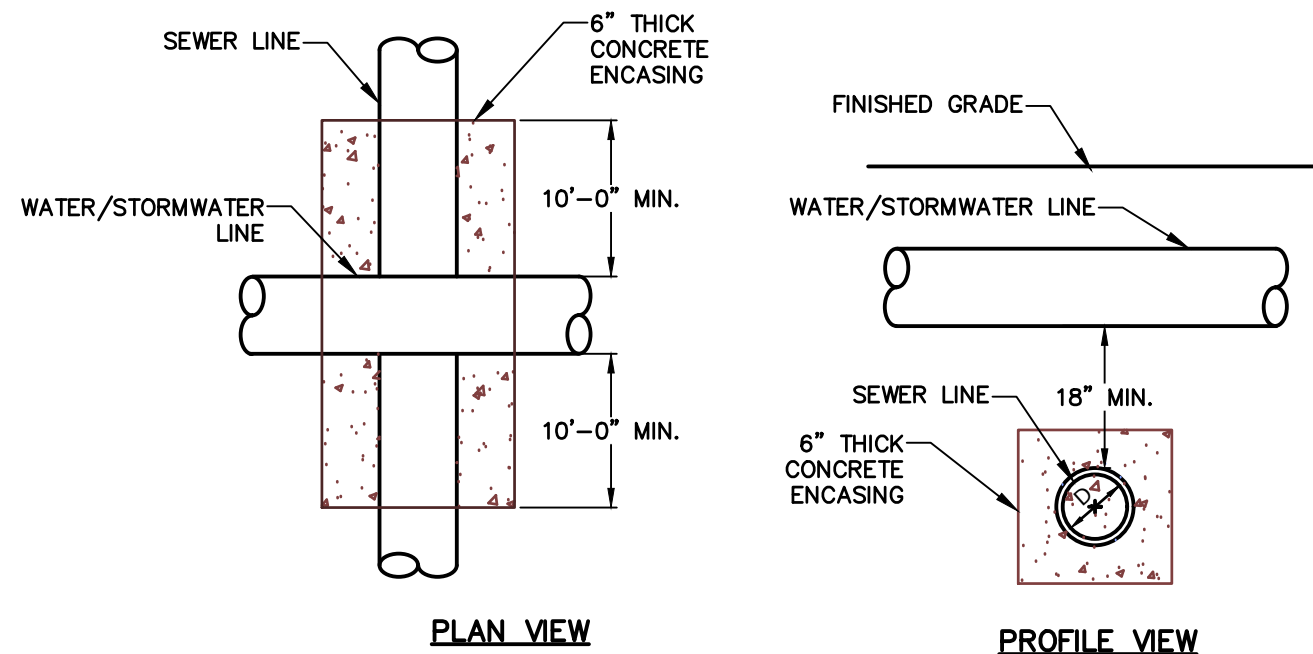


MODEL #	MAIN PIPE DIA.	TREAT. FLOW RATE	SLUVE SIZE	INLET STUB DIA.	OUTLET STUB DIA.	ORIFICE DIA.	A	B	C	D
3620WQWKK	36"	1.50 CFS	140	10"	10"	7.82"	13.9"	28"	24"	24"
3620WQWKK	36"	0.75 CFS	200	10"	10"	3.35"	13.9"	28"	24"	24"
4220WQWKK	42"	1.75 CFS	140	12"	12"	8.13"	16.1"	36"	30"	28"
4220WQWKK	42"	0.90 CFS	200	12"	12"	4.70"	16.1"	36"	30"	28"
4820WQWKK	48"	2.25 CFS	140	12"	12"	9.24"	16.1"	36"	36"	34"
4820WQWKK	48"	1.13 CFS	200	12"	12"	6.53"	16.1"	36"	36"	34"
6020WQWKK	60"	2.95 CFS	140	15"	15"	10.95"	18.9"	45"	48"	43"
6020WQWKK	60"	1.47 CFS	200	15"	15"	7.1"	18.9"	45"	48"	43"

XX DENOTES A BY-PASS SIZE OF 15", 18", 24", 30", 36", 42", 48", OR 60"  
XX=00 DENOTES UNITS W/OUT A BY-PASS.

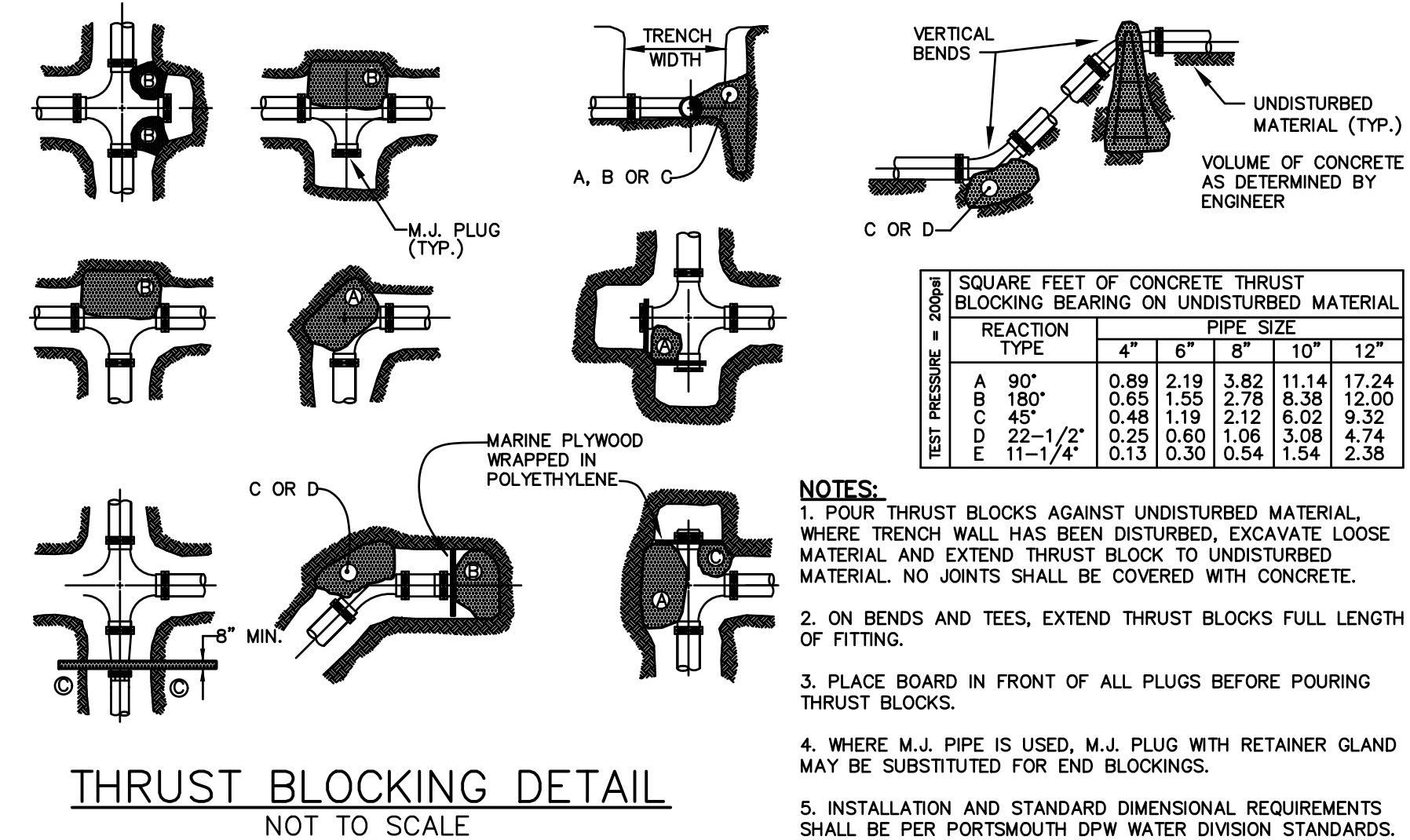
- NOTE:
1. CONTRACTOR SHALL COORDINATE INSTALLATION WITH MANUFACTURER.

ADS WATER QUALITY UNIT  
NOT TO SCALE

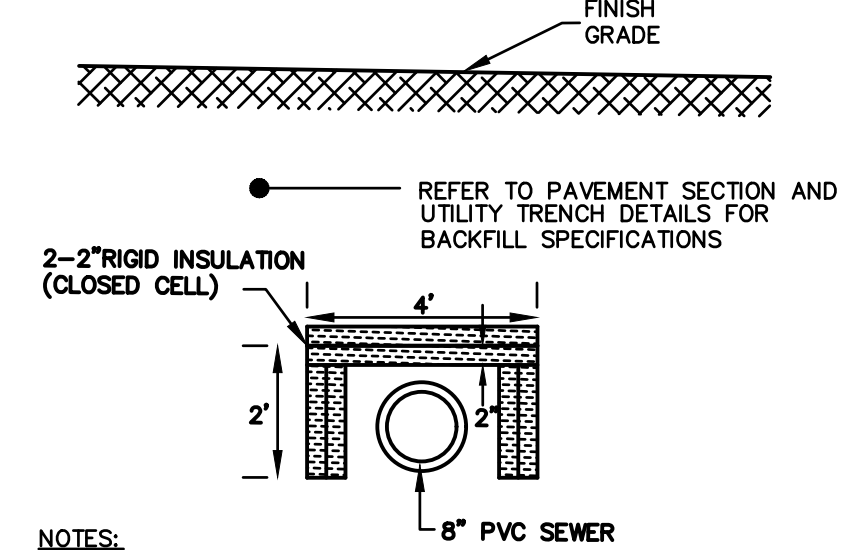


- NOTE:
1. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPERATION SHALL BE PROVIDED BETWEEN ALL WATER/STORMWATER AND SANITARY SEWER LINES. AN 18" MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPERATION SHALL BE PROVIDED AT ALL WATER/STORMWATER AND SANITARY SEWER CROSSINGS. WHERE SEWER AND WATER CROSS, ENCASE SEWER IN CONCRETE 6" THICK OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE WITH JOINTS FOR A MINIMUM DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING. CROSSING SHALL CONFORM TO CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS AND SPECIFICATIONS.

WATER & STORMWATER/SEWER CROSSING  
NOT TO SCALE



THRUST BLOCKING DETAIL  
NOT TO SCALE



- NOTES:
1. INSTALLATION SHALL MEET THE STANDARDS OF THE CITY OF PORTSMOUTH.

SEWER INSULATION DETAIL  
NOT TO SCALE

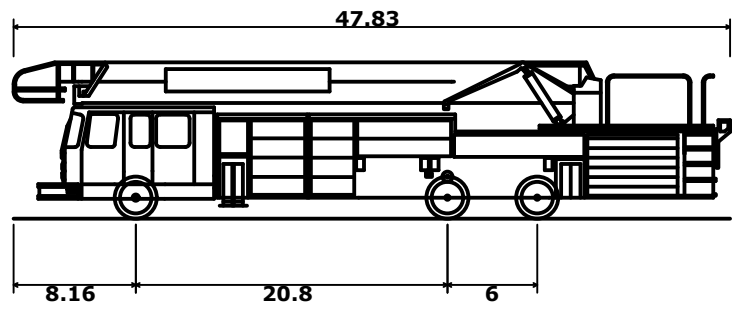
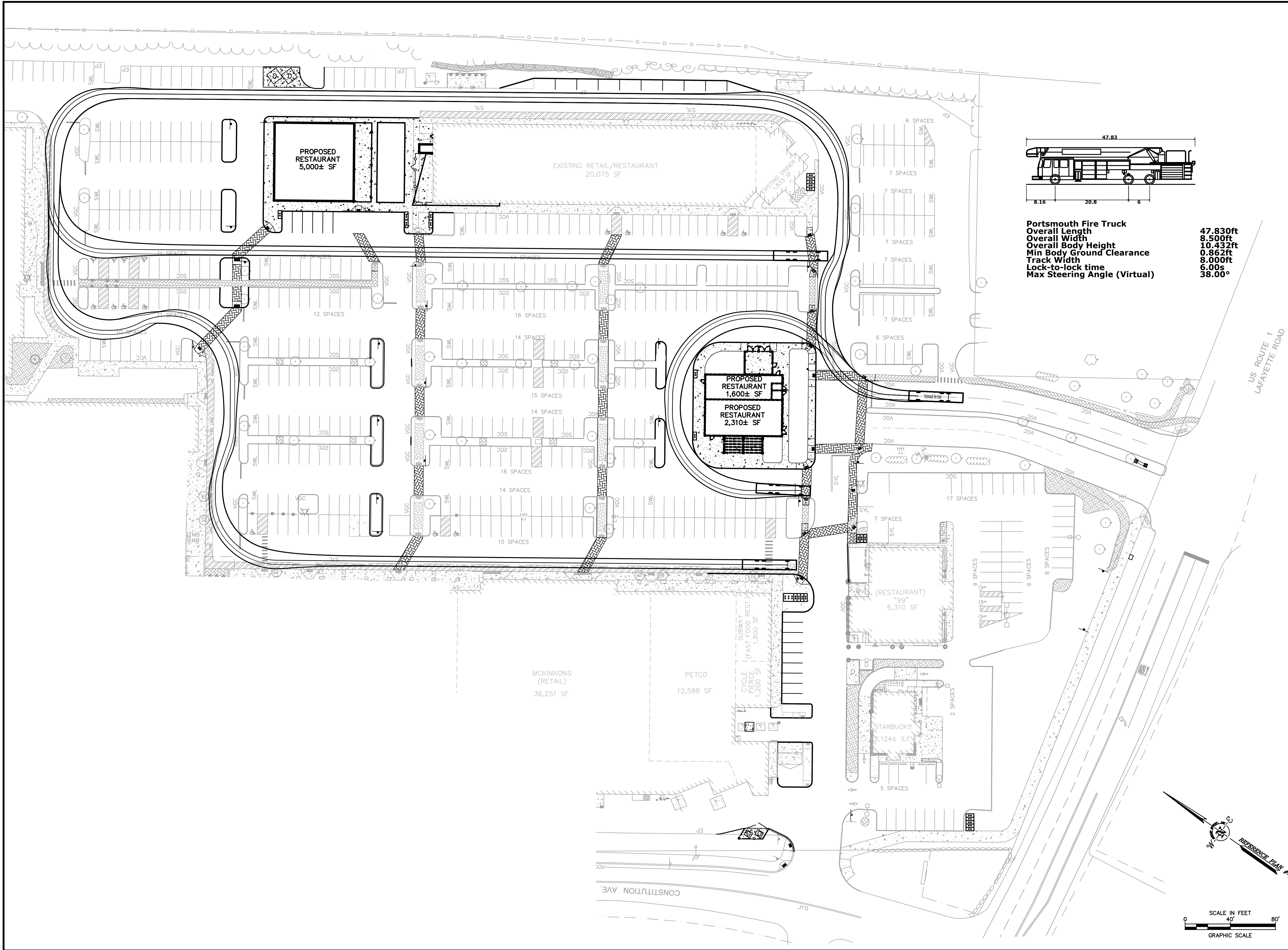
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Mark	Date	Description
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FILE:	W-1725-4-DETAILS.dwg	
DRAWN BY:	NAH/CML	
CHECKED:	PMC	
APPROVED BY:	BLM/PMC	
DETAILS SHEET		
SCALE:	AS SHOWN	
C-11		





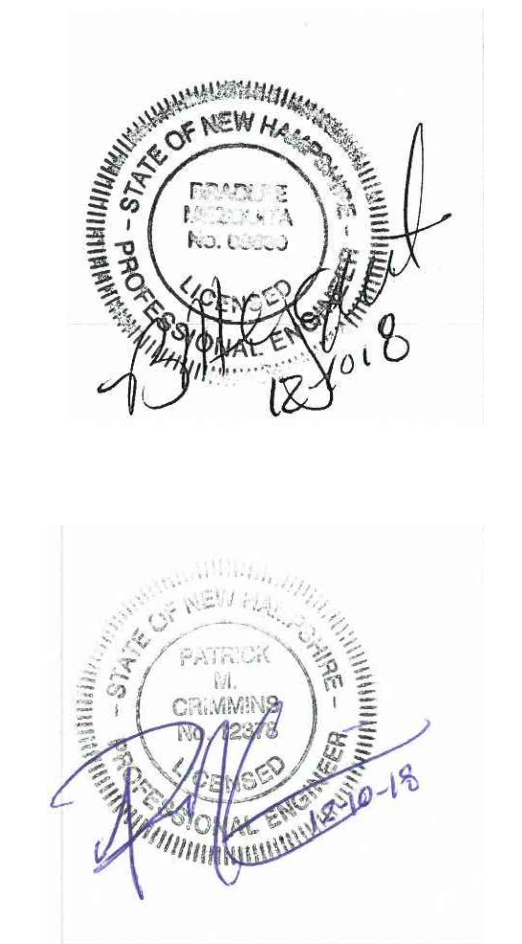


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SAVE DATE: 12/11/2018 4:09 PM  
PLOT DATE: 12/11/2018 4:20 PM



Portsmouth Fire Truck  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Steering Angle (Virtual)

47.830ft  
8.500ft  
10.432ft  
0.862ft  
8.000ft  
6.00s  
38.00°



## Waterstone Retail Development

### Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

Mark	Date	Description
C	12/10/18	PB Submission
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#### PLAZA TRUCK TURNING PLAN

SCALE: AS SHOWN







# CITY OF PORTSMOUTH NEW HAMPSHIRE

Building Permit Application Number \_\_\_\_\_

# SITE REVIEW APPLICATION

Case Number \_\_\_\_\_

Fee \_\_\_\_\_

Map 273 Lot 3 Zone GW/GPD Wetlands: Inland N/A Coastal N/A Lot Area ±814,896 SF

## Date of Approvals (Indicate if Pending)

Conservation Commission \_\_\_\_\_ Conditional Use April 21, 2016 Board of Adjustment \_\_\_\_\_

Historic District Commission \_\_\_\_\_ Subdivision \_\_\_\_\_ Other \_\_\_\_\_

Street Address 2454 Lafayette Road

Description of Project including all use(s) Construction of three (3) restaurant buildings and green space and associated site improvements within the existing plaza parking area.

Building(s) Footprint 5,000 SF, 1,600 SF & 2,310 SF Gross Floor Area ±Bldg Footprint #of Stories 1

# of Dwelling Units 0 Number of Parking Spaces: Existing 848 Proposed 760

## Print Information Below

Property Owner's Name 2422 Lafayette Road Associates, LLC c/o Waterstone Retail Development

Street Address 322 Reservoir Street, 2<sup>nd</sup> Floor City/Town Needham State MA Zip 02494

781.559.3301 617.447.4027 781.559.3307 LChin@Waterstonepg.com  
Telephone # Cell Phone # Fax # Email Address

## Print Information Below

Applicant's / Developer's Name Same as owner

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # Cell Phone # Fax # Email Address

## Print Information Below (Include Additional Contact Information on Next Page)

Check One: Owner's Attorney ☐ Applicant's Attorney ☐ Engineer ☒ Surveyor ☐ Other ☐ If other, state relationship \_\_\_\_\_

Representative's Name Tighe & Bond, Inc. (Patrick Crimmins, P.E.)

Street Address 177 Corporate Drive City/Town Portsmouth State NH Zip \_\_\_\_\_

603.433.8818 603.988.8066 N/A PMCrimmins@TigheBond.comm.com  
Telephone # Cell Phone # Fax # Email Address

I hereby apply for Site Review and acknowledge that I will comply with all the ordinances and any stipulations of the Site Review Committee of the City of Portsmouth in the development and construction of this project.

## See letter of Authorization

Owner's Signature

Print Owner's Name

Date

Applicant's/Developer's Signature

Print Applicant's/Developer's Name

Date



Print Information Below

Check One: Owner's Attorney ☐ Applicant's Attorney ☐ Engineer ☐ Surveyor ☐ Other ☐ If other, state relationship \_\_\_\_\_

**Representative's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

Print Information Below

Check One: Owner's Attorney ☐ Applicant's Attorney ☐ Engineer ☐ Surveyor ☐ Other ☐ If other, state relationship \_\_\_\_\_

**Representative's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

Print Information Below

Check One: Owner's Attorney ☐ Applicant's Attorney ☐ Engineer ☐ Surveyor ☐ Other ☐ If other, state relationship \_\_\_\_\_

**Representative's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

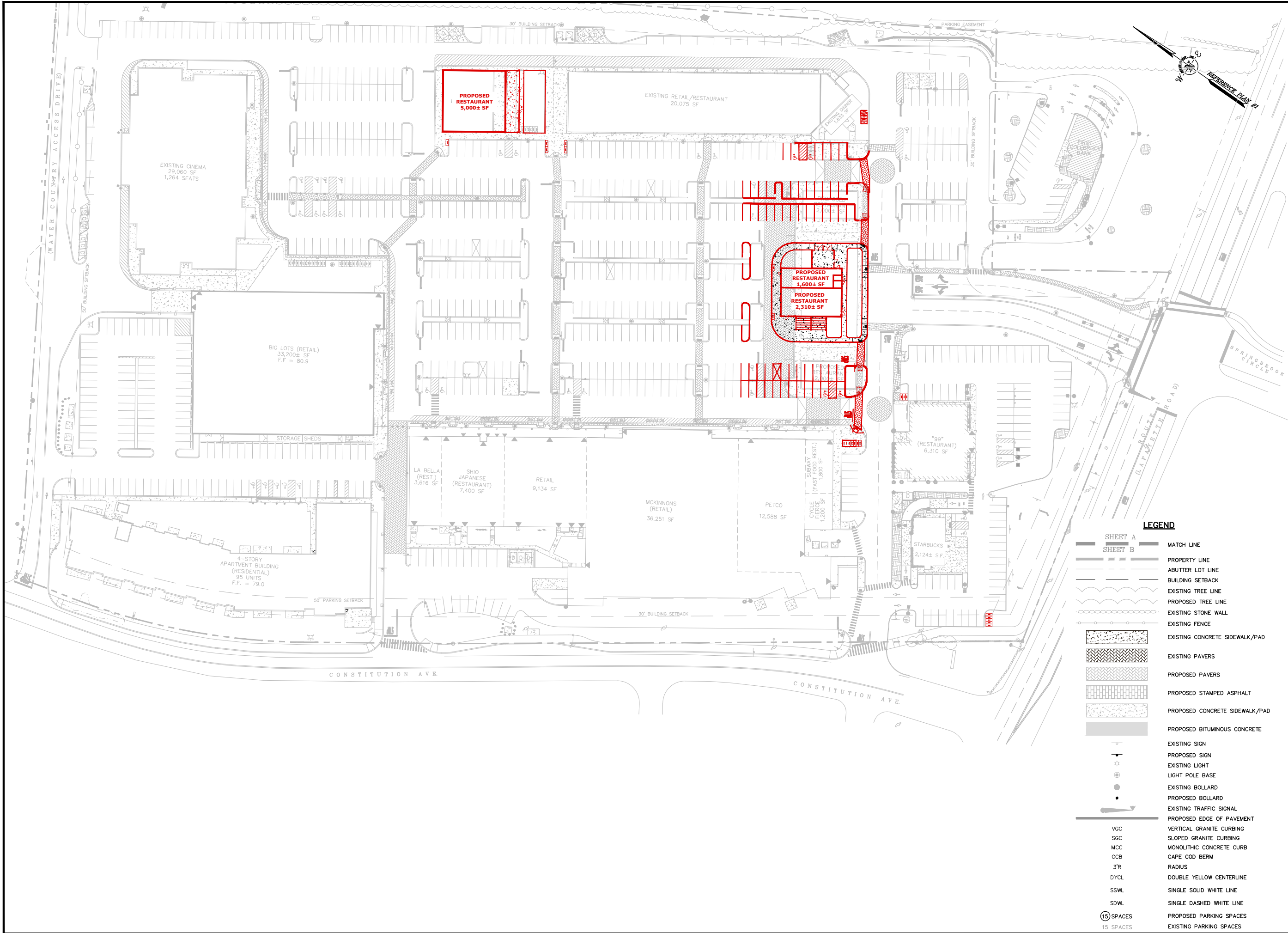
## Attachments

**The following materials must be submitted to the Planning Department along with the completed Application Form:**

- ☐ Site Plan Application Checklist
- ☐ Ten (10) stamped and folded copies of the site plan – four (4) full-size (22" x 34") and six (6) reduced (11" x 17")
- ☐ Digital copy of any plans and/or exhibits (in PDF format)
- ☐ Application Fee
- ☐ Any required State or Federal Permits



FILENAME: J:\W\1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA\DWG-CAD\DESIGN\W-1725-4-DSGN.DWG  
SAVE DATE: 12/11/2018 4:09 PM  
PLOT DATE: 12/11/2018 4:20 PM



LEGEND	
<div><div>SHEET A</div><div>SHEET B</div></div>	MATCH LINE
<div><div>---</div><div>---</div></div>	PROPERTY LINE
<div><div>---</div><div>---</div></div>	ABUTTER LOT LINE
<div><div>---</div><div>---</div></div>	BUILDING SETBACK
<div><div>---</div><div>---</div></div>	EXISTING TREE LINE
<div><div>---</div><div>---</div></div>	PROPOSED TREE LINE
<div><div>---</div><div>---</div></div>	EXISTING STONE WALL
<div><div>---</div><div>---</div></div>	EXISTING FENCE
<div><div>---</div><div>---</div></div>	EXISTING CONCRETE SIDEWALK/PAD
<div><div>---</div><div>---</div></div>	EXISTING PAVERS
<div><div>---</div><div>---</div></div>	PROPOSED PAVERS
<div><div>---</div><div>---</div></div>	PROPOSED STAMPED ASPHALT
<div><div>---</div><div>---</div></div>	PROPOSED CONCRETE SIDEWALK/PAD
<div><div>---</div><div>---</div></div>	PROPOSED BITUMINOUS CONCRETE
<div><div>---</div><div>---</div></div>	EXISTING SIGN
<div><div>---</div><div>---</div></div>	PROPOSED SIGN
<div><div>---</div><div>---</div></div>	EXISTING LIGHT
<div><div>---</div><div>---</div></div>	LIGHT POLE BASE
<div><div>---</div><div>---</div></div>	EXISTING BOLLARD
<div><div>---</div><div>---</div></div>	PROPOSED BOLLARD
<div><div>---</div><div>---</div></div>	EXISTING TRAFFIC SIGNAL
<div><div>---</div><div>---</div></div>	PROPOSED EDGE OF PAVEMENT
<div><div>---</div><div>---</div></div>	VERTICAL GRANITE CURBING
<div><div>---</div><div>---</div></div>	SLOPED GRANITE CURBING
<div><div>---</div><div>---</div></div>	MONOLITHIC CONCRETE CURB
<div><div>---</div><div>---</div></div>	CAPE COD BERM
<div><div>---</div><div>---</div></div>	RADIUS
<div><div>---</div><div>---</div></div>	DOUBLE YELLOW CENTERLINE
<div><div>---</div><div>---</div></div>	SINGLE SOLID WHITE LINE
<div><div>---</div><div>---</div></div>	SINGLE DASHED WHITE LINE
<div><div>---</div><div>---</div></div>	PROPOSED PARKING SPACES
<div><div>---</div><div>---</div></div>	EXISTING PARKING SPACES



## Waterstone Retail Development

### Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

Mark	Date	Description
C	12/10/18	PB Submission
B	12/4/18	Rev. per TAC Comments
A	11/19/18	TAC Submission
PROJECT NO: W1725		
FILE: W-1725-4-DSGN.dwg		
DRAWN BY: NAH/CML		
CHECKED: PMC		
APPROVED BY: BLM/PMC		

#### OVERALL SITE PLAN AMENDMENT EXHIBIT

SCALE: AS SHOWN





## **Green Space at Portsmouth Green**

Portsmouth Green is designed to include “green spaces” throughout the center. The green spaces will allow Waterstone to develop and offer programming events to the visitors/consumers as well as the community.

In addition to the “front park”, located at the end of the drive way into the center, there are four (4) additional “green spaces”:

1. Between the Veridian Apartments and the retail center.
2. The “dog park” behind Cinemagic.
3. The area to the left of the Cinemagic and the adjacent retail building.
4. The area between existing restaurant and future restaurant, next to Water Country.

These (4) additional “green spaces” total to approximately **18,500 square feet** of open space. By having numerous “green spaces”, the Waterstone Team will be able to schedule a variety of events around the center and not be limited to one area. This will draw visitors into the center where our programming will take place.

***Some of our programming features are as follows:***

### **Park Features**

Create an inviting environment for visitors, shoppers and residents:

- Seating- tables/benches for when there is no event on the green- a place for people to sit, meet or get takeout food
- Life Size games: can range from board games to group activities.

### **Tenant Utilization**

Allow Tenant’s to schedule special events which represents and to help promote their business:

- Petco: Dog parade/grooming specials
- Pure Barre: Conduct outdoor barre classes
- Orange Theory: Outdoor group workouts
- Cycle Fierce: Spinning class
- Starbucks: Barista class



- Cinemagic: Outdoor movie nights, projected onto the building
- McKinnon's and/or Kume: Cooking demonstrations
- Job Fair: For Tenants who are looking to hire, they can set up a table outside and have applications available
- Portsmouth Green Appreciation Day: Provide food/music and get to know everyone who works within The Green

### **For Community:**

Proposed programming events for the Community:

- "Taste of The Green": Restaurants/grocery store/Starbucks- provide samples from their store, offer discounts and coupons.
- Live Music: Invite local talent from around the area to play at the park(s).
- Movie Nights
- For the Kids:
  - Bounce Houses/Water Days
  - Touch A Truck
  - Super Hero Events
- Wellness Day: Discounted gym/class sign up, free barre class, massages on the green
- Holiday/season related activities:
  - Summer Kick-Off
  - Halloween Pumpkin Carving Contest
  - Holiday Stroll
- Food Trucks: To sit outside the green
- Sporting:
  - Start a club volleyball team- put up volleyball net
  - Mini-golf
- Meet and Greet with local chefs: Cooking demos
- Pet Parades/Pet Events/Yappy Hour

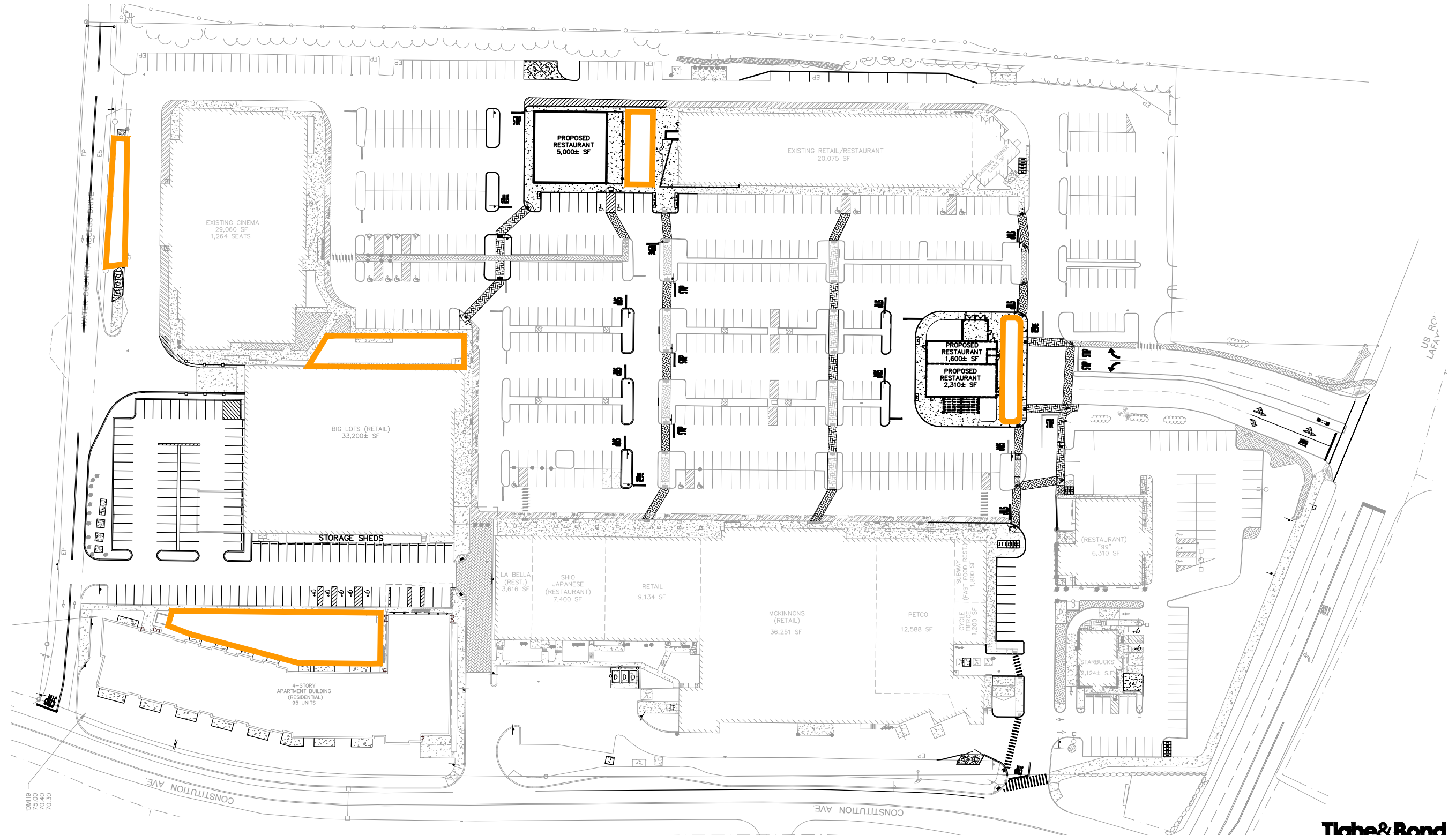


# SOUTHGATE PLAZA REDEVELOPMENT PORTSMOUTH, NH

## COMMUNITY PROGRAMING

### LEGEND

PROPOSED COMMUNITY  
PROGRAMING EVENT AREAS  
(PER WATERSTONE MEMO)



SCALE IN FEET  
0 50' 100'  
GRAPHIC SCALE

**Tighe&Bond**  
www.tighebond.com  
177 Corporate Drive  
Portsmouth, NH 03801  
(603) 433-8818





THE  
**RIDGE**

ROCHESTER, NH

92 FARMINGTON ROAD, ROCHESTER, NH

*Eat. Shop. Play. Stay*

## FREE EVENTS FOR AUGUST 2017

### Wednesday, August 2

Water Wednesday **11am-4pm**  
Waterslides & Dunk Tank!

### Friday, August 4

Free Bounce Friday  
**11am-4pm**  
Obstacle Courses, Bounce  
Houses and Slides!

### Tuesday, August 8

Free Bounce Tuesday  
**11am-4pm**

### Saturday, August 12

Movie Night **6pm-10pm**  
Free Bouncing **6pm-8:15pm**  
*Blankets and picnics are  
welcomed!*

### Wednesday, August 16

Water Wednesday **11am-4pm**  
Waterslides & Dunk Tank!

### Friday, August 18

Free Bounce Friday  
**11am-4pm**  
Obstacle Courses, Bounce  
Houses and Slides!

### Wednesday, August 23

Free Bounce Wednesday  
**11am-4pm**

### Saturday, August 26

Movie Night  
Free Bouncing **6pm-7:30pm**  
Magician **7:30pm-8:15pm**

### Wednesday, August 30

Water Wednesday **11am-4pm**  
Waterslides & Dunk Tank!



**Interested in using The Ridge Pavilion  
for a fundraiser or group event? Contact  
[marissa@airzonekids.com](mailto:marissa@airzonekids.com) for info!**



WATERSTONE

**Follow the Ridge Facebook for updated events and information!**

92 FARMINGTON ROAD, ROCHESTER, NH | [WWW.THERIDGENH.COM](http://WWW.THERIDGENH.COM)





THE **RIDGE**

# 2017 COMMUNITY EVENTS



- Family Fun Day
- Outdoor Movie Nights
- Waterslide Wednesdays
- Magician
- Balloon Artists
- Live Radio Remotes



W1725-4  
December 11, 2018

Mr. Dexter Legg, Chairman  
City of Portsmouth Planning Board  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

Re: **Amended Site Plan Review Permit Application  
2454 Lafayette Road (Portsmouth Green)**

Dear Chairman Legg:

On behalf of 2422 Lafayette Road Associates, LLC, we are pleased to submit the following information relative to a request for an Amended Site Plan Review Permit for the above referenced project:

- Twelve (12) copies of the Amended Site Review Application dated November 19, 2018
- Twelve (12) copies of the Owner Letter of Authorization dated January 13, 2016
- Twelve (12) copies of the Site Plans (two (2) full size (22"x34") and ten (10) half scale (11"x17")) last revised December 11, 2018
- Twelve (12) copies of the Overlay Site Plan Amendment Exhibit (11"x17") dated December 11, 2018
- Twelve (12) copies of Open Space Exhibit (11"x17") last revised December 11, 2018
- Twelve (12) copies of the TAC Stipulation Response dated December 11, 2018
- Twelve (12) copies of the Community Programming Event package
- One (1) CD containing digital copies (PDF) of the above listed materials

The Portsmouth Green (formerly Southgate Plaza) project previously received Planning Board approval in April 2016 for the construction of a 4-story residential building in the rear of the site and two (2) new commercial pads in the plaza's existing front parking lot. Several administrative approvals were also granted after the last Planning Board approval for minor field changes that occurred during construction of the residential building. The residential building was completed in the fall of 2017. The work for the commercial pads in the plaza is anticipated to begin in Spring 2019.

The enclosed Site Plan package includes amendments to the previously approved commercial pads. Changes to the front pad at the plaza's main entrance include consolidating the two (2) previously approved standalone buildings that were flanked on either side of a central open space into to one (1) central building with the open space and parking reconfigured around the proposed building. The second change is expanding the previously approved 4,000 SF pad located in the existing parking area in front of the cinema to a 5,000 SF pad. In addition to the pad revisions, the enclosed Site Plans amend the location of the twenty-six (26) bicycle racks previously approved in the open space adjacent to the cinema to various locations throughout the site.

Enclosed is an Overlay Site Plan Amendment Exhibit with the current proposed site revisions (in red) overlaid on the prior approved layout (in black). This amended proposal will result in a very small increase of impervious area from the prior approval by approximately 2,500 SF ( $\pm 0.3\%$  of the entire site). These changes have a negligible impact on the existing





stormwater management system that treats and infiltrates the runoff generated by the plaza. Peak runoff rates in the Post Development stormwater calculations that were previously prepared for the project do not change.

In addition, the project still meets the open space and pedestrian oriented space requirements. The project had previously provided a color Open Space Exhibit to depict the areas of open space and pedestrian oriented space. This exhibit has been amended with the latest Site Plan and is enclosed with this package.

The proposed Site Plan amendments received recommendation for approval with stipulations from the Technical Advisory Committee (TAC) on December 4, 2018. Enclosed with this package is a TAC Stipulation Report that addresses each of the five stipulations. Stipulation #4 pertains to the reconfigured open space at the entrance of the plaza that is described above. In response to this stipulation, the applicant has prepared a Community Programming Event package that describes the intended programming for Portsmouth Green and examples of community event materials for The Ridge, a similar plaza that the applicant owns and operates in Rochester, NH. We look forward to discussing these materials in more detail with the Planning Board.

We respectfully request to be placed on the Planning Board Agenda for December 20, 2018. Please contact me by phone at (603) 433-8818 or by email at [pmcrimmins@tighebond.com](mailto:pmcrimmins@tighebond.com) if you have any questions or need any additional information.

Very truly yours,

**TIGHE & BOND, INC.**



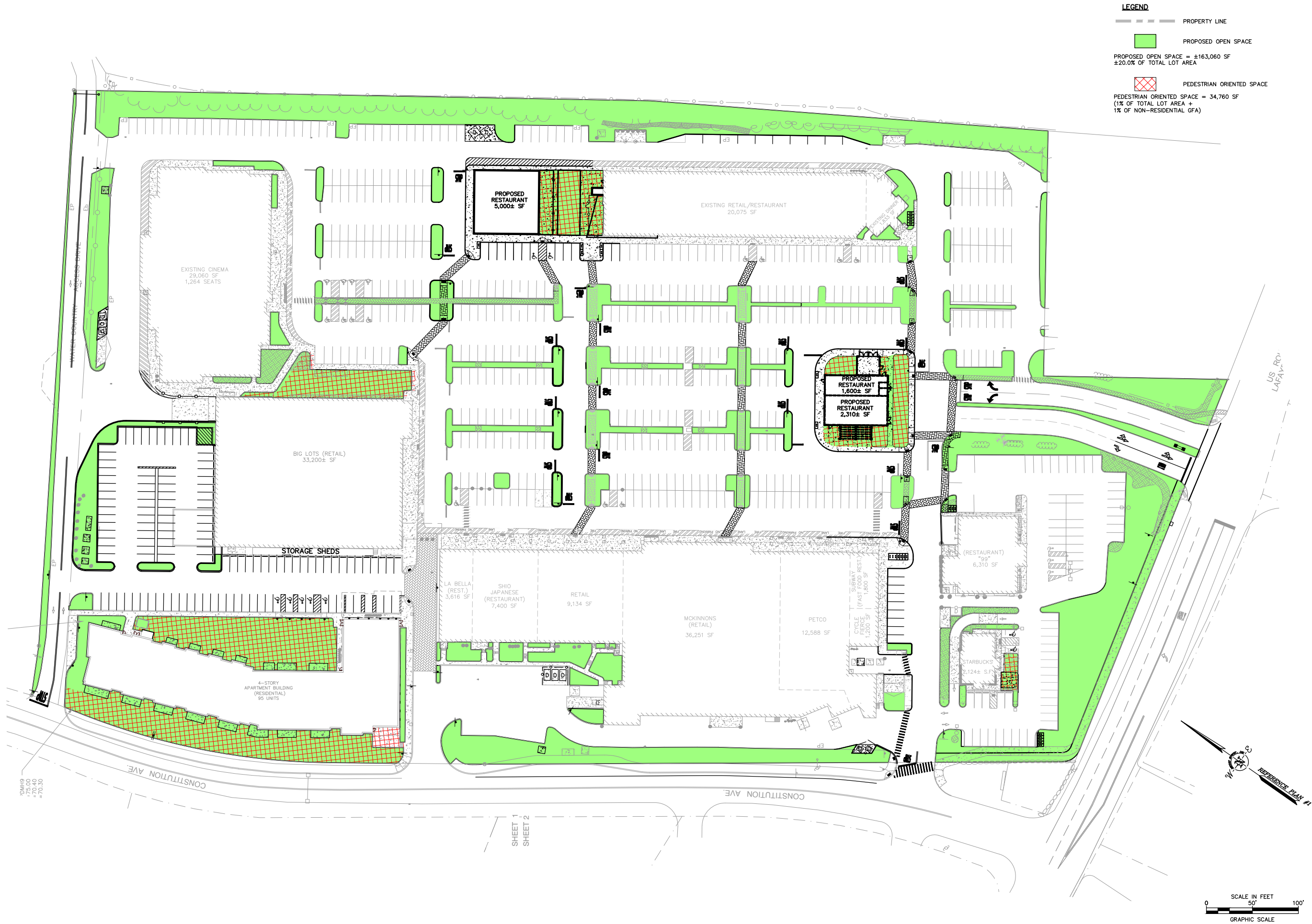
Patrick M. Crimmins, P.E.  
Senior Project Manager

Enclosures

Cc: Waterstone Retail Development (via email)



FILENAME: J:\W1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA\DWG-CAD\DESIGN\W-1725-4-DSGN.DWG  
SAVE DATE: 12/11/2018 4:09 PM  
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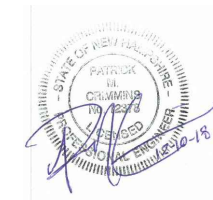


**LEGEND**

--- PROPERTY LINE

PROPOSED OPEN SPACE = ±163,060 SF  
±20.0% OF TOTAL LOT AREA

PEDESTRIAN ORIENTED SPACE = 34,760 SF  
(1% OF TOTAL LOT AREA +  
1% OF NON-RESIDENTIAL GFA)



## Waterstone Retail Development

### Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

4	12/11/18	PB Submission for Amended Approval
3	11/19/18	TAC Submission for Amended Approval
2	3/30/17	Revised Per TAC Comments
1	1/19/16	Initial Submission to TAC
Mark	Date	Description
PROJECT NO:	W1725	
FILE:	W-1725-4-DSGN.dwg	
DRAWN BY:	NAH/CML	
CHECKED BY:	PMC	
APPROVED BY:	BLM/PMC	

OPEN SPACE EXHIBIT

SCALE: AS SHOWN





January 13, 2016

Josh Levy  
Manager  
2422 Lafayette Road Associates, LLC  
322 Reservoir Street  
Needham, MA 02494

Re: Letter of Authorization  
Southgate Plaza  
2454 Lafayette Road  
Portsmouth, NH 03801

To Whom It May Concern:

This letter is to authorize Tighe & Bond Engineering Inc. of 177 Corporate Drive, Portsmouth, New Hampshire 03801 to represent and submit on my behalf applications and materials for the proposed Renovation and Expansion of Southgate Plaza, 2422 Lafayette Road, Portsmouth, New Hampshire.

This authorization shall relate to those activities that are required for local, state and federal permitting for the above project.

With Regards,

Josh Levy  
Manager



**TAC Stipulation Response**  
**Proposed Medical Office Building - 185 Cottage Street**  
December 12, 2018

<b>TAC Stipulations</b>			
<b><u>#</u></b>	<b><u>Comment</u></b>	<b><u>Response</u></b>	<b><u>Sheet #</u></b>
1	Plans shall be revised as presented by the applicant at the December 4, 2018 TAC meeting in response to TAC member comments.	The enclosed plans include all the revisions that addressed TAC member comments as presented at the December 4th TAC meeting.	
2	Plans shall be updated to correct typos, specifically "Tentant" to "Tenant".	The Elevation Drawing has been revised to correct this typo.	P1
3	Plans updated to include a tip-down ramp and crosswalk to connect the sidewalk near the green space across the drive aisle to the other sidewalk.	The sidewalk has been revised to include a tip down ramp, and crosswalk as been added to connect the sidewalks across the drive aisle.	C-3
4	Applicant to provide formal response on the usability of the proposed reconfigured pedestrian oriented space at the front of the plaza, including the intended program of the landscape plan for the green spaces in the plaza.	Enclosed is a Community Programming Event package provided by the applicant.	
5	Plans shall include a better pedestrian connection to the main plaza from the 99 Restaurant.	The Plans have been revised to include an additional crosswalk from the main plaza to the 99 Restaurant.	C-3A