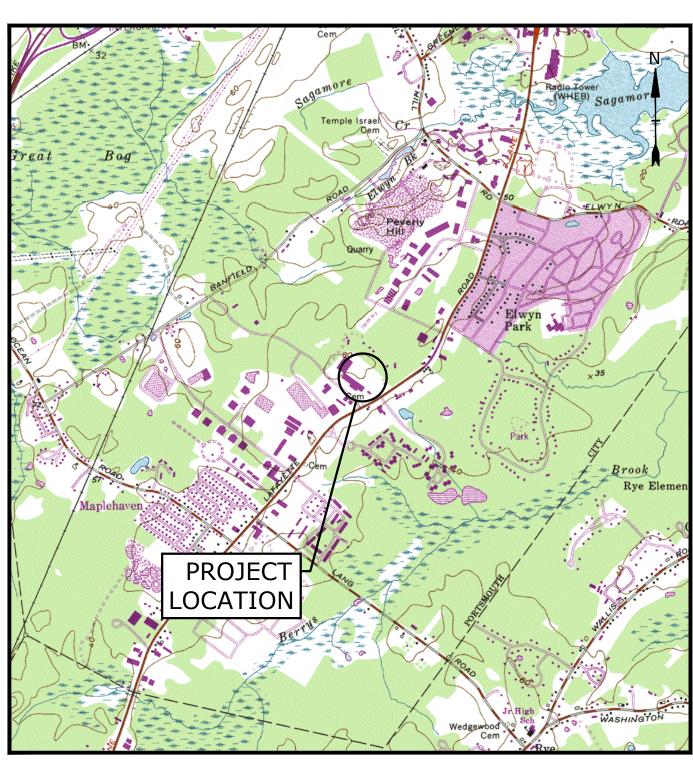
SOUTHGATE PLAZA REDEVELOPMENT 2454 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE PERMIT DRAWINGS NOVEMBER 19, 2018 LAST REVISED: DECEMBER 10, 2018

	LIST OF DRAWINGS	
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	12/10/2018
C-1	PLAZA GENERAL NOTES SHEET	12/10/2018
C-2	PLAZA EXISTING CONDITIONS / DEMOLITION PLAN	12/10/2018
C-3	PLAZA OVERALL SITE PLAN	12/10/2018
C-3A	PLAZA SITE PLAN	12/10/2018
C-4	PLAZA GRADING, DRAINAGE & EROSION CONTROL PLAN	12/10/2018
C-5	PLAZA UTILITY PLAN	12/10/2018
C-6	PLAZA LANDSCAPE PLAN	12/10/2018
C-7	PLAZA PHOTOMETRICS PLAN	12/10/2018
C-8	EROSION CONTROL NOTES & DETAILS SHEET	12/10/2018
C-9	DETAILS SHEET	12/10/2018
C-10	DETAILS SHEET	12/10/2018
C-11	DETAILS SHEET	12/10/2018
C-12	DETAILS SHEET	12/10/2018
C-14	PLAZA TRUCK TURNING PLAN	12/10/2018
P1	EXTERIOR RENDERINGS	11/29/2018

LIST OF PERMITS & APPROVALS		
STATE	STATUS	DATE
NHDES ALTERATION OF TERRAIN	APPROVED	06/21/2016
NHDES SEWER CONNECTION PERMIT	APPROVED	08/16/2016
NHDOT DRIVEWAY PERMIT	APPROVED	12/22/2017
LOCAL		
SITE PLAN REVIEW	APPROVED	12/08/2017





LOCATION MAP SCALE: 1" = 2,000'

CONSTRUCTION NOTES: 1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS

- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.
- 3. TIGHE & BOND. ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.



APPLICANT:

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LANDSCAPE ARCHITECT: Site Solutions, LLC 3715 Northside Parkway 300 Northcreek, Suite 720 Atlanta, Georgia 30327

COMPLETE SET 16 SHEETS

1. Т В	OLITION NOTES: HE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED Y THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, NTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO	 14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 15. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT WHICH IS COMPATIBLE WITH THE CITY'S GIS FORMAT ON A DISK TO THE PORTSMOUTH DPW UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE
C 2. A	OMPLETE THE WORK. LL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS THERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE	PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER. 16. PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW REMOVAL WILL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF
W 3. C	1TH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. OORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND	WHEN SNOW STORAGE AREAS HAVE REACHED CAPACITY. 17. BIKE STORAGE WILL BE PROVIDED IN THE DEDICATED STORAGE UNITS PROPOSED ON THE SECOND STORY
4. A	PPROPRIATE UTILITY COMPANY. NY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES	OF THE RESIDENTIAL BUILDING. 18. PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED
Α	HALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO DDITIONAL COST TO THE OWNER. HE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS	OF WHEN NECESSARY TO MAINTAIN ADEQUATE SNOW STORAGE AREAS. 19. THE MULTI-USE PATH SHALL BE COMPLETED WITHIN TWO MONTHS OF THE COMPLETION OF THE
Ρ	RIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.	RESIDENTIAL DEVELOPMENT. 20. BASED ON THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ONESTOP GIS MAPPING
A	LL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.	SERVICE THE PROPOSED DEVELOPMENT IS NOT LOCATED WITH A WELLHEAD PROTECTION AREA. 21. MEASURES USED TO MINIMIZE THE IMPERVIOUS SURFACES ON SITE HAVE BEEN IMPLEMENTED THROUGH THE
т 8. т	HE PERMIT APPROVALS. HE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO	USE OF PERVIOUS PAVER SIDEWALKS. GRADING AND DRAINAGE NOTES:
Т	OMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM HE AUTHORITIES HAVING JURISDICTION.	1. COMPACTION REQUIREMENTS BELOW PAVED OR CONCRETE AREAS 95% TRENCH BEDDING MATERIAL AND
R	HE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS EQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS. TILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR	SAND BLANKET BACKFILL 95% BELOW LOAM AND SEED AREAS 90%
S V O N	HALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL ERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS R UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL OTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL ERMANENT SOLUTION IS IN PLACE.	*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
R	AVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT EMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL	2. ALL STORM DRAIN SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HIQ", ADS N-12, OR APPROVED EQUAL) UNLESS OTHERWISE NOTED.
12. T	IMITS OF PAVEMENT REMOVAL PRIOR TO BID. HE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES ND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO	 ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTSMOUTH STANDARDS. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
B C	E REMOVED INCLUDE BUT ARE NOT LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. THEMS TO E REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, ATCH BASINS, UNDERGROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, TREES ND LANDSCAPING.	5. SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
13. C	OORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH AND NEW AMPSHIRE DEPARTMENT OF TRANSPORTATION.	 ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND
14. R R	EMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND EMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL,	PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING. 8. THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL DRAINAGE STRUCTURES FREE OF SEDIMENT AND DEBRIS
15. C	TATE, AND LOCAL LAWS AND REGULATIONS. ONTRACTOR SHALL CONDUCT CONSTRUCTION ACTIVITIES SO AS NOT TO DISTURB EXISTING BOUNDS OR THER PROPERTY LINE MONUMENTATION. SHOULD ANY PROPERTY LINE MONUMENTATION BE ACCIDENTALLY	8. THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL DRAINAGE STRUCTURES FREE OF SEDIMENT AND DEBRIS IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION. THESE DRAINAGE STRUCTURES SHALL INCLUDE ALL STRUCTURES THAT ARE WITHIN THE LIMIT OF WORK AND MUNICIPAL STRUCTURES THAT ARE DOWNSTREAM FROM THE PROJECT TIE-INS.
D M	ISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED LAND SURVEYOR TO RESET THE ONUMENT TO ITS ORIGINAL LOCATION, AND TO PREPARE A RECORDABLE PLAN CERTIFYING THE LOCATION F THE RESET MONUMENT.	9. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
L	ONTRACTOR SHALL PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION MITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION ALONG ROUTE ONE SHALL	10. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
FI E	E PROVIDED IF DETERMINED NECESSARY BY THE NHDOT. INLET PROTECTION BARRIERS SHALL BE "HIGH LOW SILT SACK" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER ACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION EPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR	11. ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS. 12. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF
М	EPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR ORE OFTEN IF THE FABRIC BECOMES CLOGGED. INLET PROTECTION ALONG ROUTE ONE SHALL BE OORDINATED WITH THE NHDOT.	 ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE)
S B	HE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS ERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING USINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE	ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
P W	ROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY ITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE ETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.	14. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION. 15. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF PORTSMOUTH APPROVED CONSTRUCTION MANAGEMENT
	ROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION CTIVITIES.	PLAN PRIOR TO THE START OF CONSTRUCTION. 16. PROJECT SURVEY TO PROVIDE PERMANENT PROJECT BENCHMARKS.
F	HE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, ENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE ONSTRUCTION SITE.	17. TREE BOX FILTERS SHOULD NOT BE PLACED INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN STABILIZED.
20. S	AWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE EMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.	EROSION CONTROL NOTES: 1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
	HE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.	 SEE GENERAL EROSION CONTROL NOTES ON EROSION CONTROL NOTES AND DETAIL SHEETS. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS AND ON CITY MAINTAINED ROADS IN ET PROTECTION ON POULTE ONE SHALL BE PROVIDED PER THE
D	CONSTRUCTION MANAGEMENT PLAN SHALL BE APPROVED PRIOR TO THE START OF DEMOLITION. EMOLITION PLANS SHALL BE INCLUDED IN THE CONSTRUCTION MANAGEMENT PLAN DOCUMENT. HE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK.	LIMITS AND ON CITY MAINTAINED ROADS. INLET PROTECTION ON ROUTE ONE SHALL BE PROVIDED PER THE REQUIREMENTS OF THE NHDOT. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
C D C	ONTRACTOR SHALL REMOVE ALL ABANDONED OTHETHES LOCATED WITHIN THE LIMITS OF WORK. ONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO ETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. ONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN HESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.	4. TEMPORARY STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AS REQUIRED FOR EACH PHASE OF CONSTRUCTION. EXACT LOCATIONS OF TEMPORARY STABILIZED CONSTRUCTION ENTRANCES SHALL BE COORDINATED WITH THE ENGINEER AND THE CITY OF PORTSMOUTH PRIOR TO THE START OF CONSTRUCTION.
L	REE PROTECTION SHALL BE CONSTRUCTED AROUND LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN FOR ANDSCAPING TO REMAIN.	5. INSPECT INLET PROTECTION AND SILT FENCES DAILY AND AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
26. D	LL PAVEMENT SHALL BE RECLAIMED, REGRADED, AND REMOVED AS NECESSARY. EMOLITION LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL REMOVAL MAY BE REQUIRED EPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF REMOVAL PRIOR	6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
T	EPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF REMOVAL PRIOR O SUBMITTING BID AND APPROVAL OF CMMP. ANY CHANGES SHALL BE PROVIDED TO THE CITY OF ORTSMOUTH.	7. CONSTRUCT EXCELSIOR MAT ON ALL SLOPES STEEPER THAN 3:1. 8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING
	ONTRACTOR SHALL NOTIFY CITY OF PORTSMOUTH PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES.	OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
1. S IS W	TRIPE PARKING AREA AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED SLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. STOP BARS, HANDICAP SYMBOLS, CROSS VALKS, ARROWS AND LEGENDS SHALL BE THERMOPLASTIC MATERIAL. PARKING SPACES AND PAINTED	 CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
IS B	SLANDS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINES AND MEDIAN ISLANDS SHALL E CONSTRUCTED USING YELLOW TRAFFIC PAINT. TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF ASHTO M248 TYPE "F".	10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
2. A	LL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH ISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.	 ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
	EE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS. ENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES	13. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.
W 5. P	AINTED ISLANDS SHALL BE FOUR (4) INCH WIDE TELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES AINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) ICH WIDE LINES.	14. SILT CONTROL MEASURES SHALL BE PROVIDED FOR CONSTRUCTION DEWATERING DISCHARGED TO EXISTING DRAINAGE STRUCTURES. A DEWATERING PLAN SHALL BE INCLUDED WITH THE CONSTRUCTION MANAGEMENT AND MITIGATION PLAN THAT IS TO BE APPROVED BY THE CITY OF PORTSMOUTH PRIOR TO THE START OF CONSTRUCTION.
	HE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. ESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.	UTILITIES NOTES: 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT
	LEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.	GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
	LL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY ODES & SPECIFICATIONS.	2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY. NATURAL GAS UNITIL WATER CITY OF PORTSMOUTH DRW WATER DIVISION
0	ONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) N DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE REPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.	WATER -CITY OF PORTSMOUTH DPW WATER DIVISION SEWER -CITY OF PORTSMOUTH DPW SEWER DIVISION ELECTRIC -EVERSOURCE TELEPHONE -FAIRPOINT COMMUNICATIONS
10. S	EE BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDINGS.	3. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
Р	LL WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF ORTSMOUTH CONSTRUCTION STANDARDS. LL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.	 SEE GRADING, DRAINAGE & EROSION CONTROL PLANS FOR PROPOSED GRADING AND EROSION CONTROL MEASURES. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52. CEMENT LINED DUCTILE IRON PIPE.
. / A	LE LIGHT FOLL DAGES NOT FROILCIED DI A RAISED OURD SMALL DE PAINTED TELLUW.	J. ALL WATEN MAIN INSTALLATIONS STALL DE GLASS 32, GEMENT LINED DUCTILE IKUN PIPE.

- S IN DIGITAL FORMAT WHICH IS COMPATIBLE WITH THE CITY'S GIS DPW UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- LE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, REMOVAL WILL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF
- HED CAPACITY DEDICATED STORAGE UNITS PROPOSED ON THE SECOND STORY
- ONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE REAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED UATE SNOW STORAGE AREAS.
- TED WITHIN TWO MONTHS OF THE COMPLETION OF THE
- MENT OF ENVIRONMENTAL SERVICES ONESTOP GIS MAPPING NOT LOCATED WITH A WELLHEAD PROTECTION AREA.
- VIOUS SURFACES ON SITE HAVE BEEN IMPLEMENTED THROUGH THE
- IALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM D CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922. TY POLYETHYLENE (HANCOR "HIQ", ADS N-12, OR APPROVED
- BE IN ACCORDANCE WITH THE CITY OF PORTSMOUTH STANDARDS. BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF PECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. INFORMATION
- URB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE. AVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND E BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS
- LEAN ALL DRAINAGE STRUCTURES FREE OF SEDIMENT AND DEBRIS CONSTRUCTION. THESE DRAINAGE STRUCTURES SHALL INCLUDE ALL
- LL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL
- O OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED
- EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS. L CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF DRKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
- S ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- ICH MARK INFORMATION. THE CITY OF PORTSMOUTH APPROVED CONSTRUCTION MANAGEMENT
- IT PROJECT BENCHMARKS.
- CED INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS
- SHOWN AS FIRST ORDER OF WORK.
- ON EROSION CONTROL NOTES AND DETAIL SHEETS.
- EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK INLET PROTECTION ON ROUTE ONE SHALL BE PROVIDED PER THE FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN
- NTRANCES SHALL BE PROVIDED AS REQUIRED FOR EACH PHASE TEMPORARY STABILIZED CONSTRUCTION ENTRANCES SHALL BE HE CITY OF PORTSMOUTH PRIOR TO THE START OF
- NCES DAILY AND AFTER EACH RAIN STORM OF 0.5 INCH OR NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL
- O OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED,
- PES STEEPER THAN 3:1.
- NCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING L ALL EROSION AND SILTATION MITIGATION AND CONTROL LOCAL PERMITS AND APPROVALS.
- CONTROL DUST AND WIND EROSION THROUGHOUT THE MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING ARID CONDITIONS.
- ALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND
- ROUND STOCKPILES OVER 10 FT.
- WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE WASH OUT WILL BE ALLOWED.
- VIDED FOR CONSTRUCTION DEWATERING DISCHARGED TO EXISTING PLAN SHALL BE INCLUDED WITH THE CONSTRUCTION MANAGEMENT PROVED BY THE CITY OF PORTSMOUTH PRIOR TO THE START OF
- ND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT R. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED NAL COST TO THE OWNER.
- ROPRIATE UTILITY COMPANY.
- ICHMARK INFORMATION.
- NTROL PLANS FOR PROPOSED GRADING AND EROSION CONTROL
- BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.

- 6. ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH DPW WATER DIVISION. ALL LEAKAGE TESTING SHALL CONFORM TO AWWA STANDARDS AND REPAIRED TO MEET STANDARDS AS NECESSARY.
- 7. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN THE CITY ROW SHALL BE COORDINATED WITH CITY OF PORTSMOUTH. ALL WORK WITHIN THE STATE ROW SHALL BE COORDINATED WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING BUSINESSES AND ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 10. CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH CONSTRUCTION STANDARDS
- 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- 14. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE. 15. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 16. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- 17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 18. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS AND ELECTRIC SERVICES.
- 19. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- 20. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- 21. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- 22. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH DPW WATER DIVISION.
- 23. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 24. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 25. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO EXISTING BUSINESSES AND ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO EXISTING BUSINESSES AND ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 26. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT WHICH IS COMPATIBLE WITH THE CITY'S GIS FORMAT ON A DISK TO THE PORTSMOUTH DPW, OWNER, AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- 27. COORDINATE ALL GREASE TRAP INSTALLATIONS/RELOCATIONS WITH CITY OF PORTSMOUTH WATER/SEWER ENGINEER.
- 28. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND FIRE RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- 29. EACH OF THE NEW BUILDINGS SHALL INCLUDE A SEPARATE KNOX BOX. EACH NEW TENANT SHALL HAVE A SEPARATE FIRE ALARM SYSTEM AND SHALL COMPLY WITH ANY APPLICABLE NFPA CODES AND STANDARDS. KNOX BOX LOCATIONS AND FIRE ALARM SYSTEMS SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH FIRE DEPARTMENT
- 30. ALL WATER MAIN PIPE AND FITTINGS SHALL BE POLYWRAPPED AND THREE (3) BRASS WEDGES SHALL BE INSTALLED AT ALL NON-CONDUCTIVE PIPE JOINTS.
- 31. SHOP DRAWINGS SUBMITTALS SHALL BE SENT TO ENGINEER OF RECORD AND TO 3RD PARTY INSPECTOR IND PORTSMOUTH DPW FOR REVIEW/APPROVAL. ENGINEER OF RECORD SHALL INDICATE CONFORMANCE TO PLANS OR NOTE THE DEVIATION PRIOR TO SENDING TO 3RD PARTY INSPECTOR AND DPW.
- <u>ANDSCAPE NOTES</u> THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER AND CITY. ALL PLANTS SHALL BE NURSERY
- 2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PI ANTING
- PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
- 4. ALL PLANTS MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS SHALL BE FRESHLY DUG. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND, AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS SHALL BE WRAPPED WITH WIND PROOF COVERING.
- 5. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
- 6. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- ROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES 7. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - 8. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
 - ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
 - 10. THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED.
 - 11. SEE PLANTING DETAILS FOR WEED BARRIER INFORMATION.
 - 12. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
 - 13. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
 - 14. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
 - 15. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-O" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
 - 16. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
 - 17. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
 - 18. EXISTING TREES SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A COMPARABLE SIZE AND SPECIES TREE.

- 21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED
- **REFERENCE PLANS:**
- ENGINEERS.
- DATED OCTOBER 26, 2016 BY DOUCET SURVEY, INC.

19. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY. FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF (1) YEAR PERIOD SHALL BE REPLACED IN KIND BY THE CONTRACTOR. AFTER THE (1) YEAR GUARANTEED PERIOD, SHOULD ANY TREES ON SITE DIE, THEY SHALL BE REPLACED IN KIND BY

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.

IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES. 22. BENCHES TO BE VICTOR STANLEY CLASSIC SERIES MODEL C-10 (6' LONG WITH MAHOGANY WOOD SLATS) OR APPROVED EQUAL. BOLT BENCH TO SIDEWALK WITH STAINLESS STEEL HARDWARE.

1. "STANDARD BOUNDARY SURVEY MAP 273 - LOT 3 FOR LAYFAYETTE PLAZA, LLC" DATED FEBRUARY 2004 BY AMBIT ENGINEERING, INC. R.C.R.D. PLAN D-34306.

2. CONDOMINIUM SITE PLAN OF PORTSMOUTH GREEN CONDOMINIUM FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL, TAX MAP 273 LOT 3, 2454 LAFAYETTE ROAD (US TOUTE 1) PORTSMOUTH, NEW HAMPSHIRE" DATED OCTOBER XX, 2016 BY DOUCET SURVEY, INC. TO BE RECORDED IN THE R.C.R.D. "SOUTHGATE PLAZA RESIDENTIAL DEVELOPMENT, 2454 LAFAYETTE ROAD PORTSMOUTH NEW HAMPSHIRE SITE PLANS" DATED JANUARY 19, 2016 (REVISED SEPTEMBER 26, 2016) BY TIGHE & BOND CONSULTING

4. "PROPOSED EASEMENT PLAN" FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL.

ABUTTERS

TAX MAP 273 LOT 5 BELLWOOD ASSOCIATES LTD PARTNERSHIP C/O FESTIVAL FUN PARK PO BOX 543185 DALLAS, TX 75354 R.C.R.D. 3471/2972 TAX MAP 273 LOT 2-1 MCLAUGHLIN MOVING CO INC 75 CONSTITUTION AVE PORTSMOUTH, NH 03801

R.C.R.D. 2387/132 TAX MAP 273 LOT 2-2 MCLAUGHLIN MOVING CO INC 75 CONSTITUTION AVE PORTSMOUTH, NH 03801 R.C.R.D. 2387/132

TAX MAP 273 LOT 2-4 MCLAUGHLIN MOVING CO INC 75 CONSTITUTION AVE PORTSMOUTH, NH 03801 R.C.R.D. 2404/1899

TAX MAP 273 LOT 2-5000 O ICE LLC ATTN: PM DEPT #2422 11995 EL CAMINO REAL SAN DIEGO, CA 92130 R.C.R.D. 4847/2169

TAX MAP 273 LOT 0

TAX MAP 272

LOT 9–6 TAX MAP 272 LOT 8-2 GAIL NEILSON 47 STONEWALL RD ALTON, NH 03809

R.C.R.D. 5231/1684 TAX MAP 272 LOT 7 ALISSA C BOURNIVAL REV LIVING TRUST PO BOX 855 NORTH HAMPTON, NH 03862 R.C.R.D. 5572/1895

TAX MAP 272 LOT 6-27 STEVE LOUIE 204 SPRINGBROOK CIR PORTSMOUTH, NH 03801 R.C.R.D. 5719/1628

TAX MAP 272 LOT 10 RYE PORT PROPERTIES LLC PO BOX 345 STRATHAM, NH 03885 R.C.R.D. 5083/763

TAX MAP 273 LOT 6 FIRST COLEBROOK BANK ATTN: FINANCE DEPARTMENT 132 MAIN ST COLEBROOK, NH 03576 R.C.R.D. 5364/192

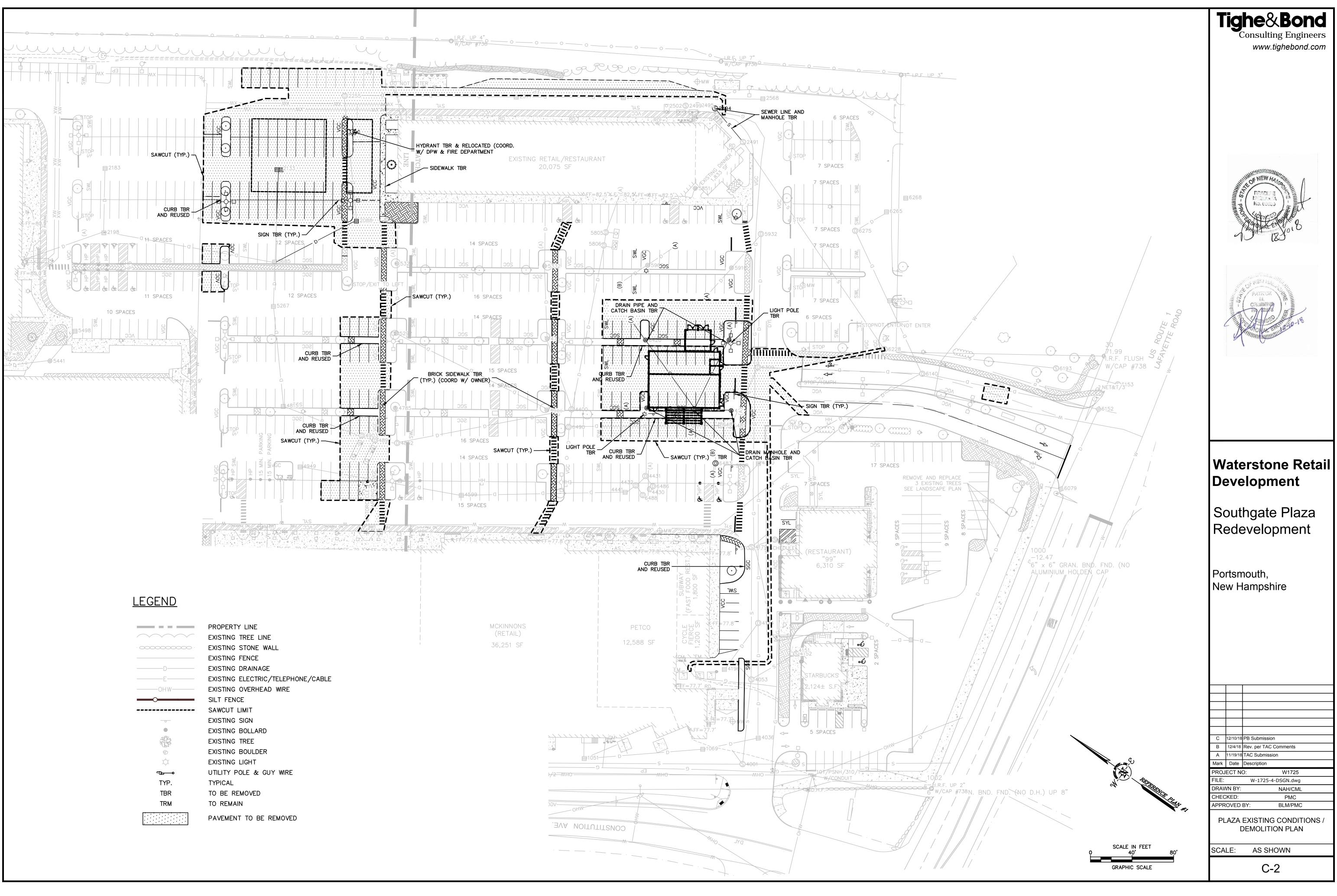
TAX MAP 273 LOT 5 BELLWOOD ASSOCIATES LTD PARTNERSHIP C/O FESTIVAL FUN PARK PO BOX 543185 DALLAS, TX 75354 R.C.R.D. 3471/2972

Tighe&Bond Consulting Engineers www.tighebond.com Waterstone Retail Development Southgate Plaza Redevelopmen Portsmouth New Hampshire 12/10/18 PB Submission B 12/4/18 Rev. per TAC Comments A 11/19/18 TAC Submission Mark Date Description PROJECT NO: W1725 FILE: W-1725-4-DSGN.dwg RAWN BY NAH/CML HECKED PMC PPROVED BY: BLM/PMC PLAZA GENERAL NOTES SHEET

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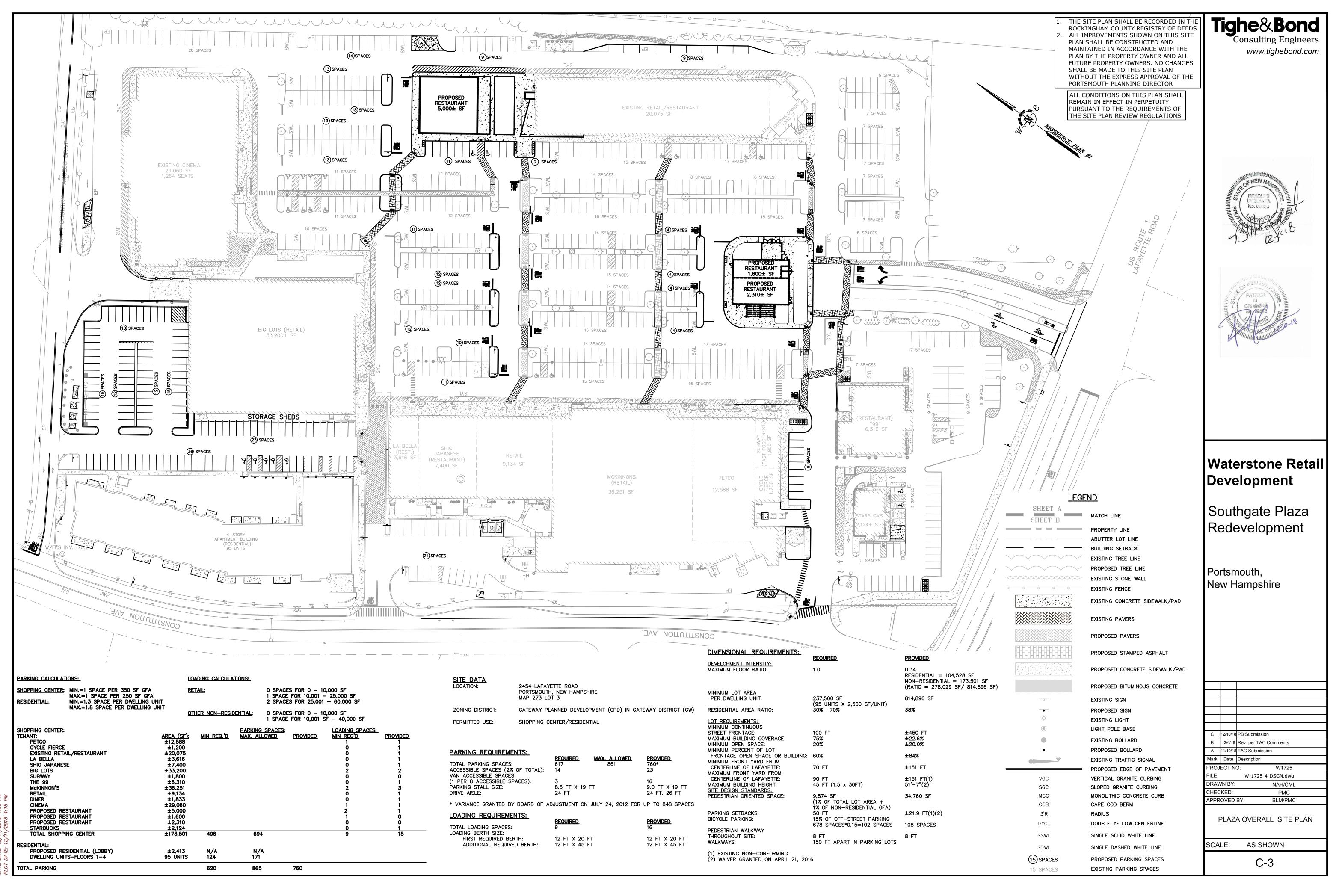
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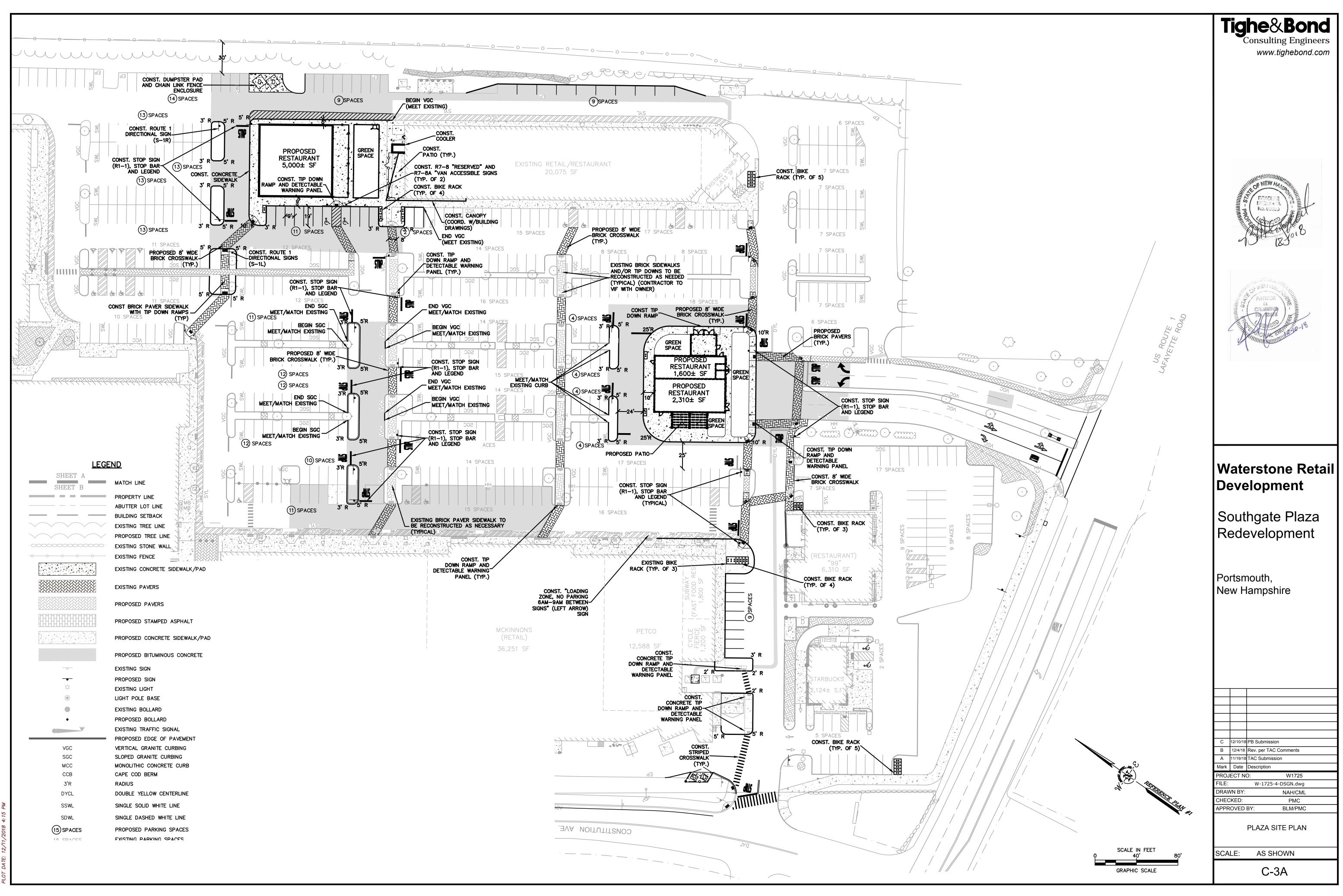
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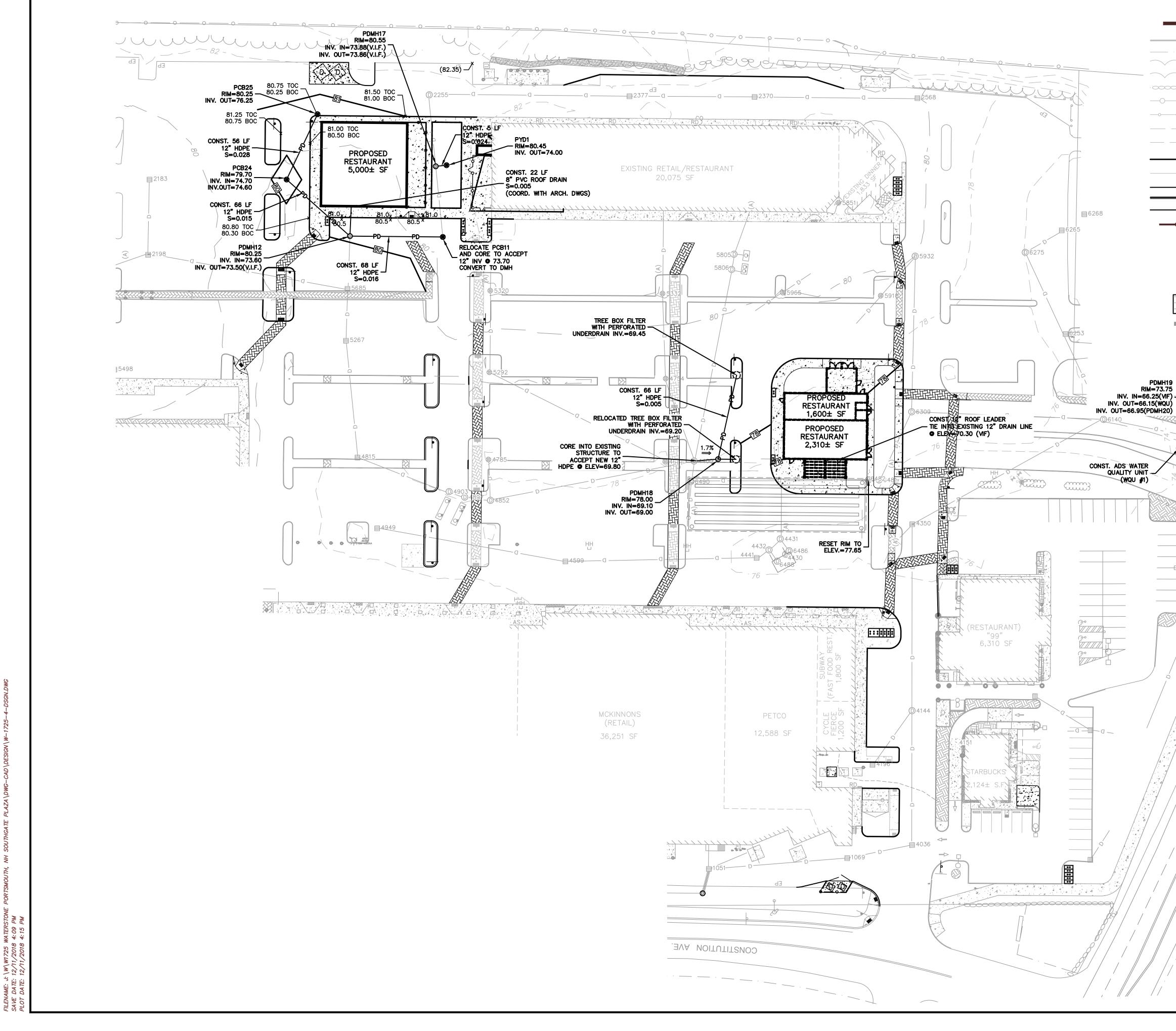
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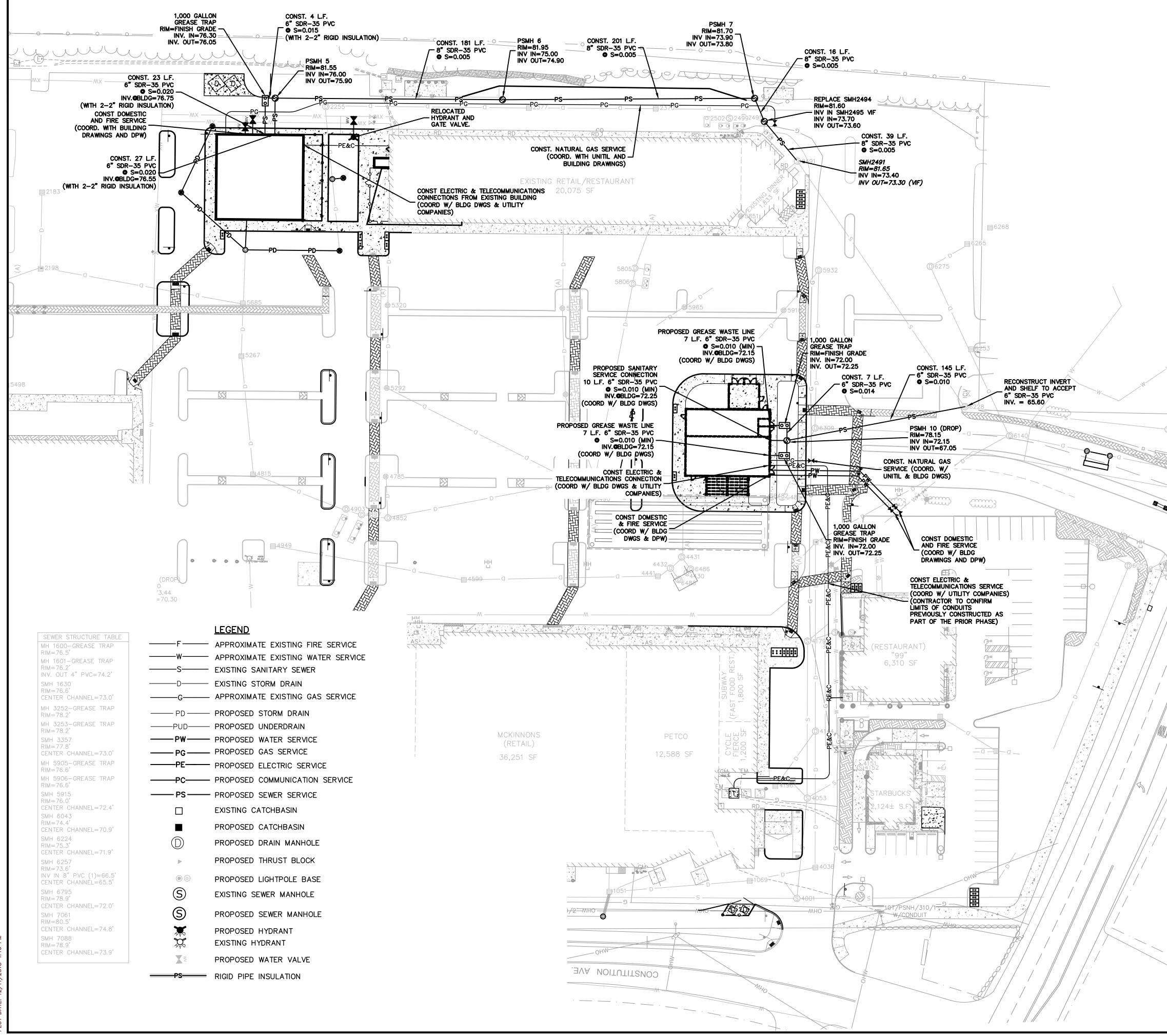
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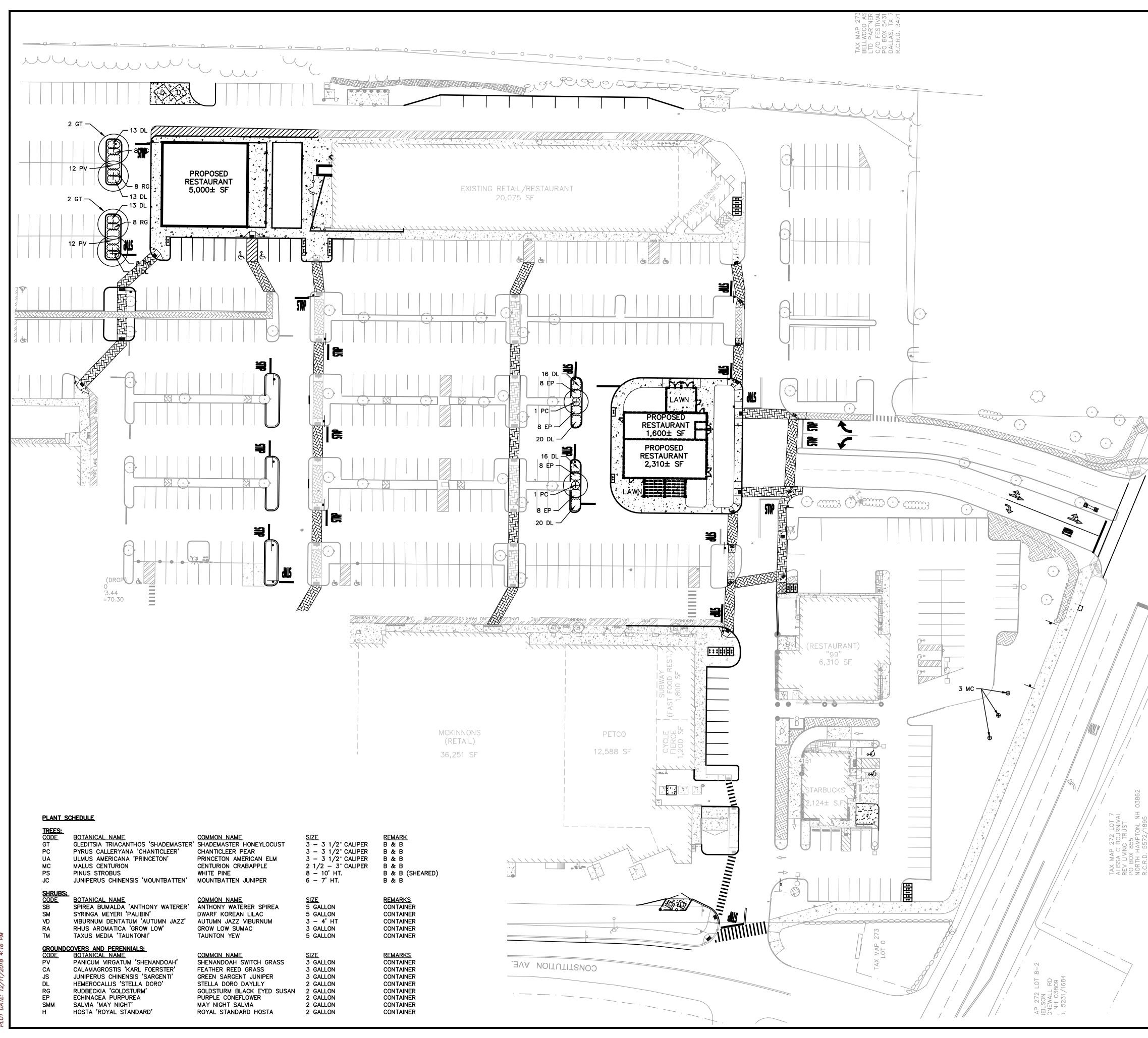


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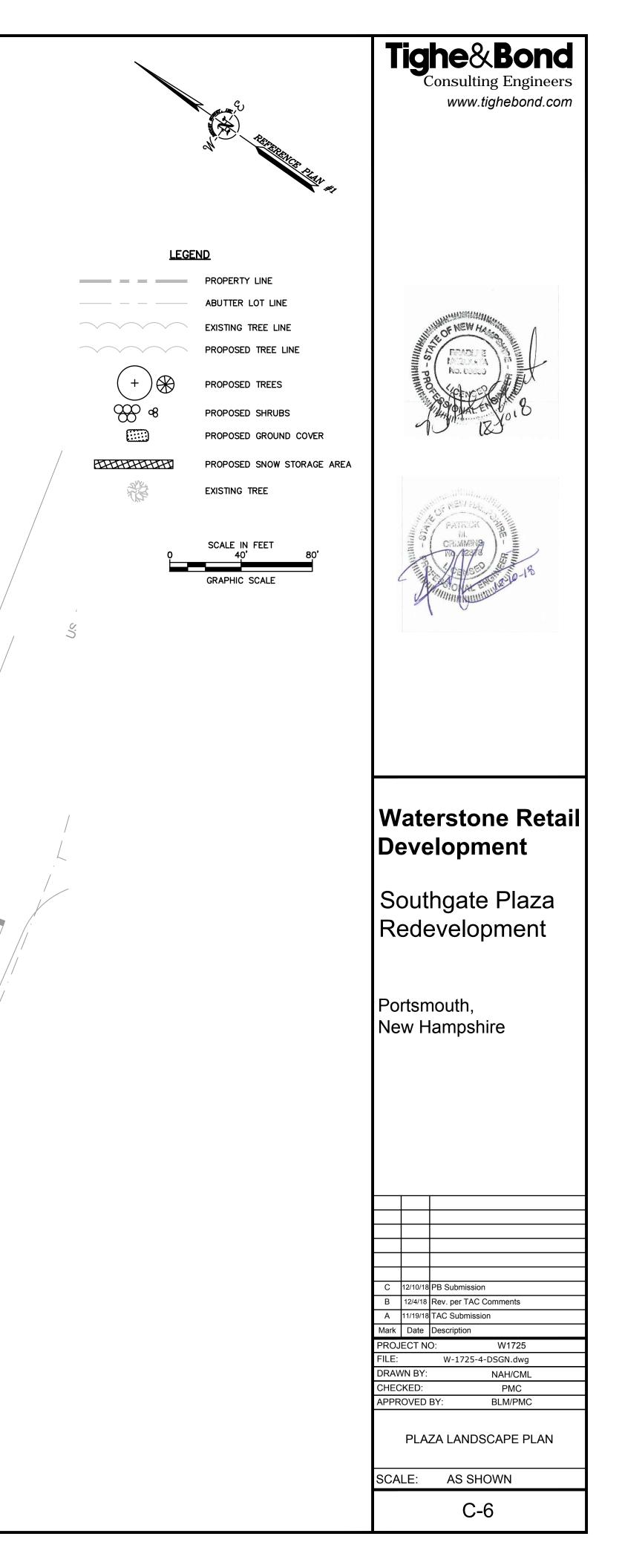
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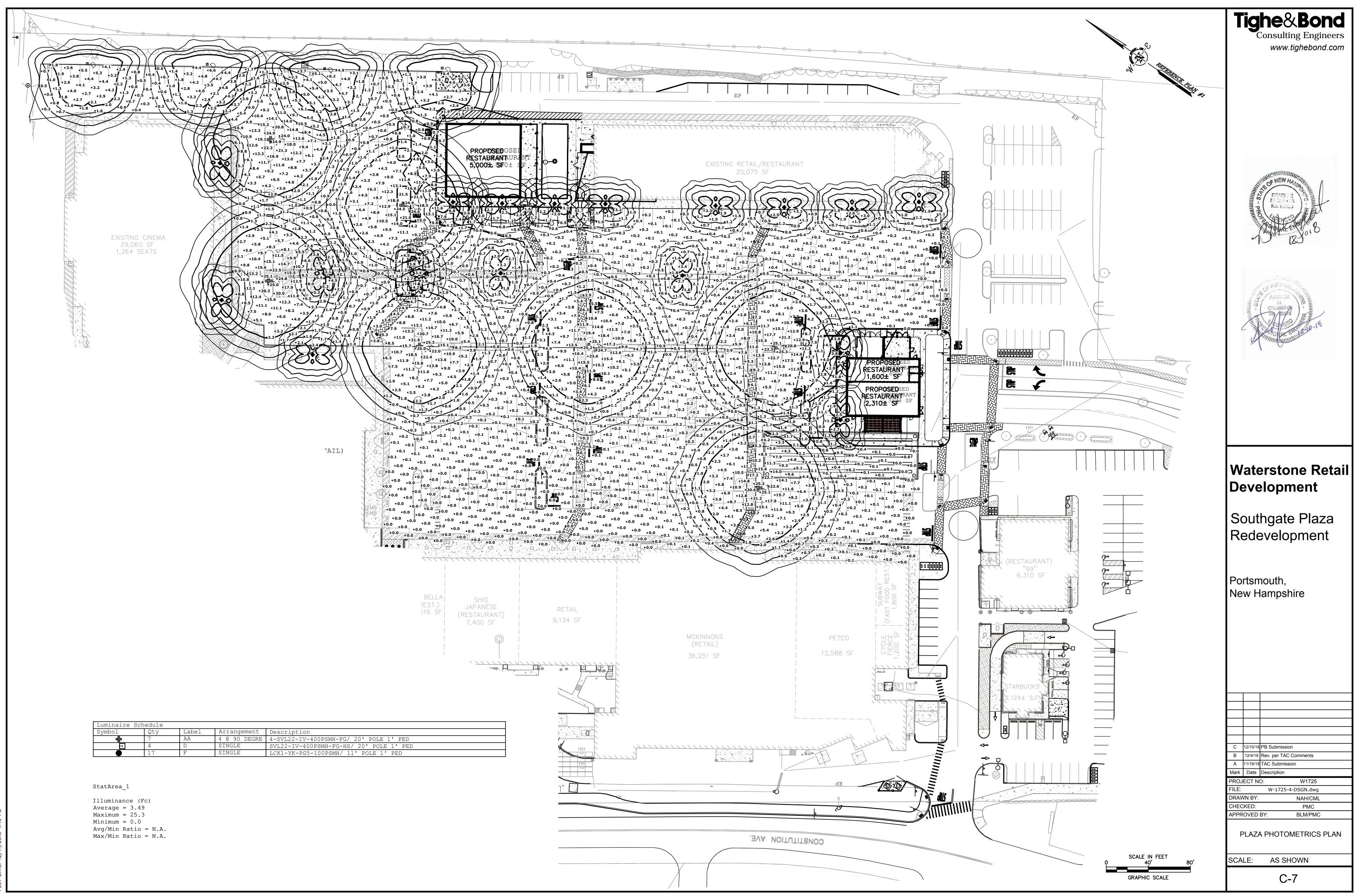
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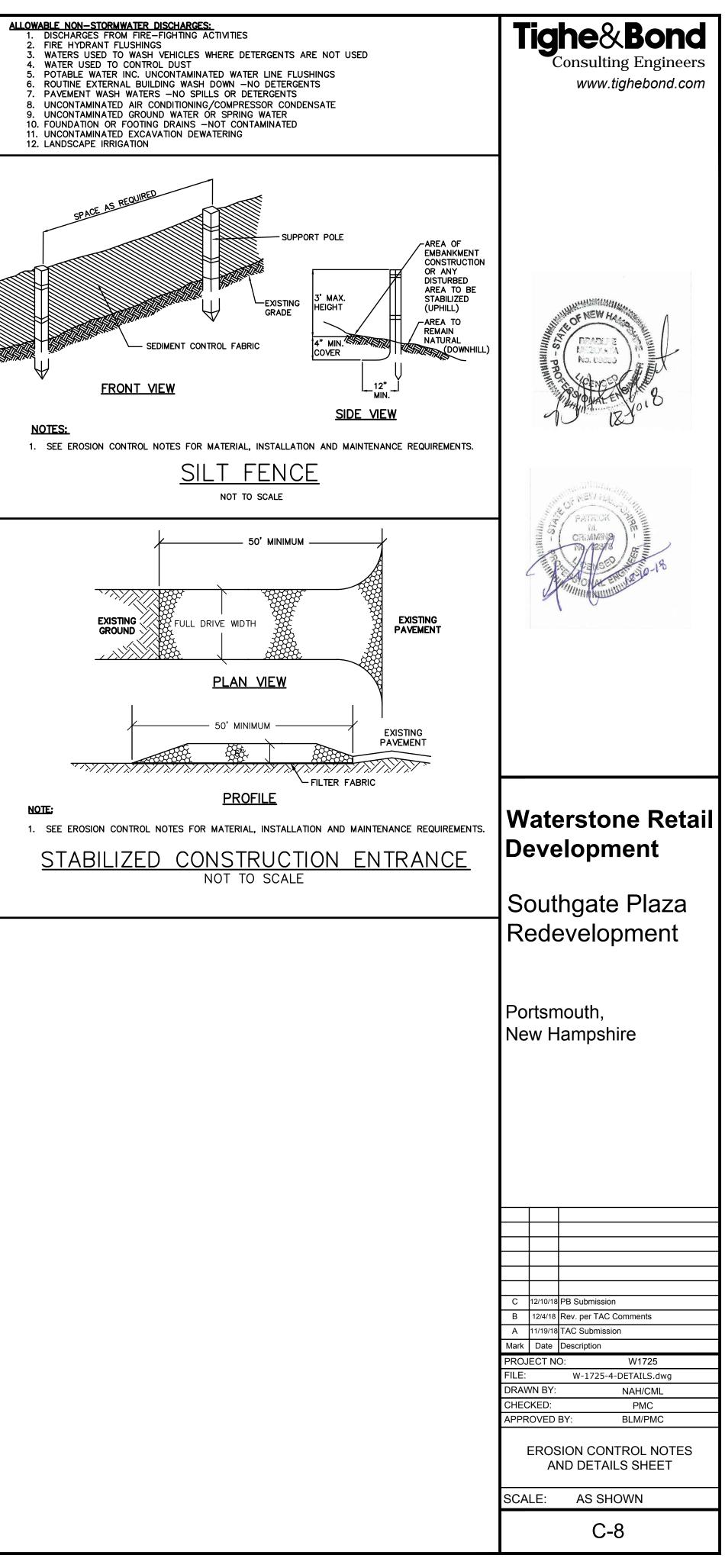


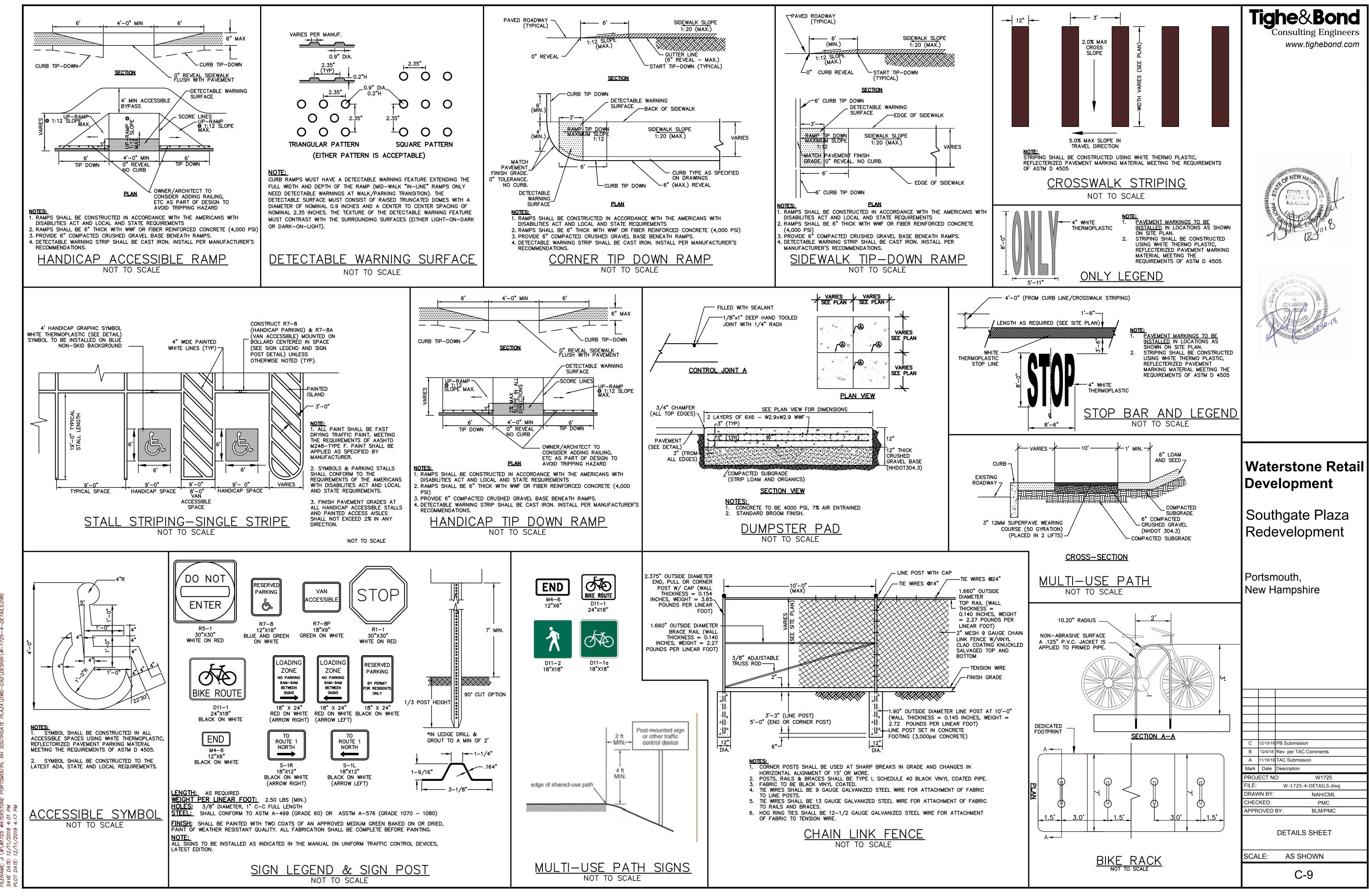


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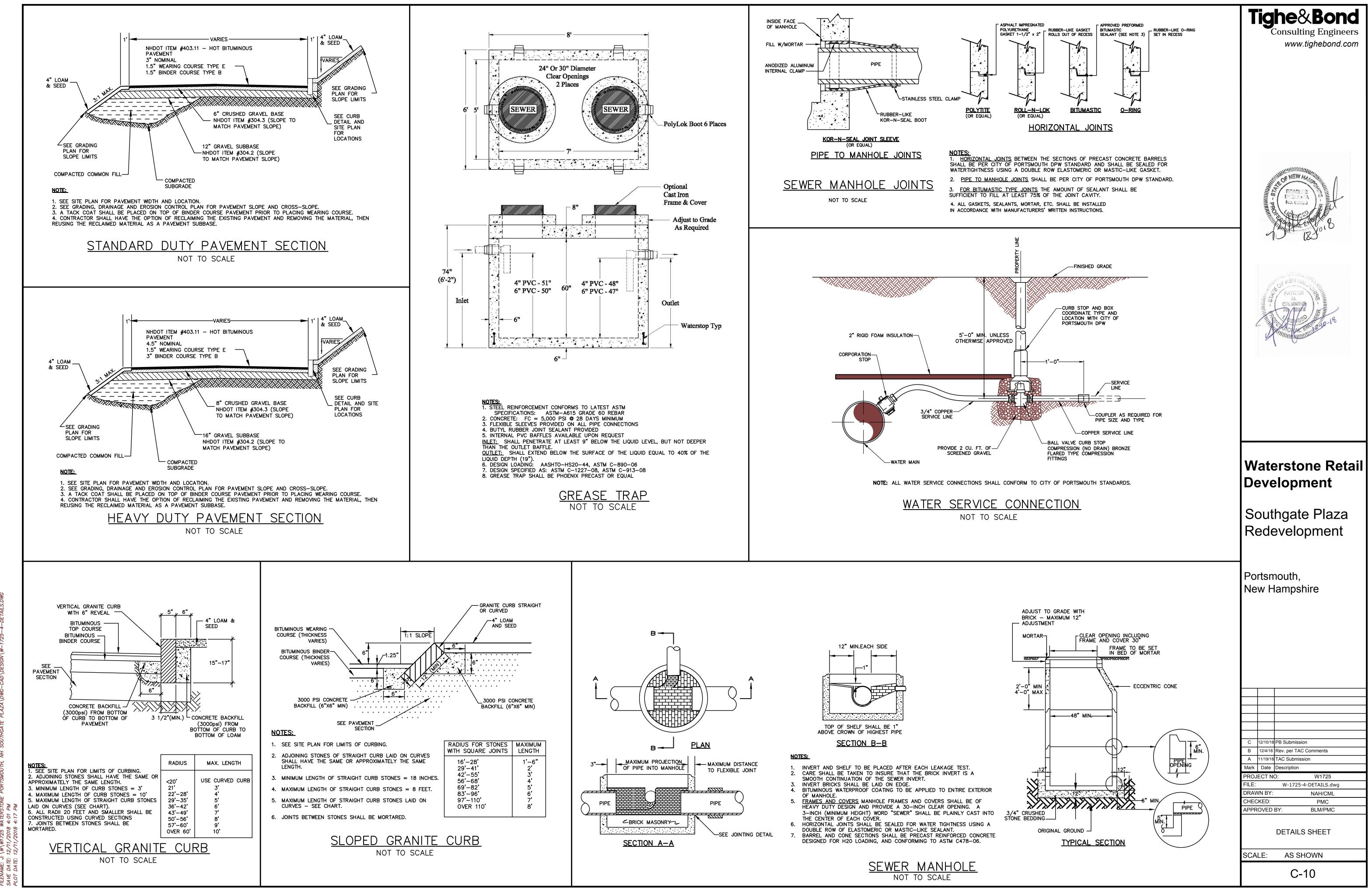
PROJECT NAME AND LOCATION SOUTHGATE PLAZA 2454 LAFAYETTE ROAD	LATITUDE: 43°-02'-06"N LONGITUDE: 70°-47'-06"W	FOR FASTENING WIRE TO THEM. H. A TRENCH SHALL BE EXCAVATED APPROXIMA DEEP ALONG THE LINE OF POSTS AND UPSLC
PORTSMOUTH, NH 03801 DESCRIPTION		LEAST ONE (1) INCH LONG THE WIDES OF HO
THE PROJECT CONSISTS OF THE REDEVELOP	MENT OF AN EXISTING SHOPPING CENTER WITH ASSOCIATED PING. THE WORK IS ANTICIPATED TO START IN SPRING 2016, AND	INCHES ABOVE THE ORIGINAL GROUND SURFA
STURBED AREA IE TOTAL AREA TO BE DISTURBED IS APPI	ROXIMATELY ± 12.4 ACRES.	EXTEND MORE THAN 36 INCHES ABOVE THE (BE STAPLED TO EXISTING TREES. K. WHEN EXTRA STRENGTH FILTER FABRIC AND (
DIL CHARACTERISTICS ASED ON THE NRCS SOIL SURVEY FOR ROO	CKINGHAM COUNTY THE SOILS CONSIST OF PREVIOUSLY DEVELOPED	SUPPORT FENCE MAY BE ELIMINATED. IN SU
RBAN SOILS WHICH HAVE UNKNOWN DRAIN. COUENCE OF MAJOR ACTIVITIES	AGE PROPERTIES.	M. SILT FENCES SHALL BE REMOVED WHEN THEY BEFORE THE UPSLOPE AREAS HAS BEEN PER 2. SEQUENCE OF INSTALLATION
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OPERATIONS THAT WILL INFLUENCE STOP - NEW CONSTRUCTION - DEVELOPMENT OF BORROW PIT AREA	RMWATER RUNOFF SUCH AS	A. STRAW/HAY BALE BARRIER AND SILT FENCE EACH RAINFALL AND AT LEAST DAILY DURING
 DISPOSAL OF SEDIMENT SPOIL, STUM STREAM CHANNEL MODIFICATIONS CONTROL OF DUST 	IP AND OTHER SOLID WASTE	THERE ARE ANY SIGNS OF EROSION OR SEDI SHALL BE MADE IMMEDIATELY. IF THERE ARE EDGES, OR IMPOUNDING OF LARGE VOLUMES
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ALL PERMANENT DITCHES, SWALES, DETE NON-STRUCTURAL BMPS PRIOR TO DIRE	ENTION BASINS TO BE STABILIZED USING THE VEGETATIVE AND CTING RUNOFF TO THEM.	
CONSTRUCT TEMPORARY CULVERTS AND GRADE AND GRAVEL ROADWAYS AND PA STABILIZED WITHIN 72 HOURS OF ACHIEV	DIVERSION CHANNELS AS REQUIRED. RKING AREAS – ALL ROADS AND PARKING AREA SHALL BE /ING FINISHED GRADE.	SELDED:
AND MULCHED IMMEDIATELY AFTER THEIF	DING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED R CONSTRUCTION. MPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS,	C. MULCHING 1. TIMING IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST
ETC., MULCH AND SEED AS REQUIRED. FINISH PAVING ALL ROADWAYS AND PAR INSPECT AND MAINTAIN ALL EROSION AN	ND SEDIMENT CONTROL MEASURES.	THERE ARE TWO (2) TYPES OF STANDARDS WHIC A. APPLY MULCH PRIOR T O ANY STORM EVENT WEATHER PREDICTIONS, USUALLY BY CONTAC
COMPLETE PERMANENT SEEDING AND LA REMOVE TRAPPED SEDIMENTS FROM COL EROSION CONTROL MEASURES.	NDSCAPING. LECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY	21 DAYS OF INACTIVITY ON A AREA, THE LEN
	TED IN A CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY	PROFESSIONAL JUDGMENT SHALL BE USED TO (SOILERODIBILITY, SEASON OF YEAR, EXTENT ETC.) AND THE POTENTIAL IMPACT OF EROSIO
OSION AND SEDIMENT CONTROLS AND STA	ABILIZATION PRACTICES	MULCH SHALL BE APPLIED AT A RATE OF BETWE
STABILIZATION SHALL BE INITIATED ON A CONSTRUCTION ACTIVITY WILL NOT OCCU	ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE R FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE RUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN	PER 1000 SQUARE FEET. THE MINIMUM MULCH F THAT SOIL MUST NOT BE VISIBLE. 3. GUIDELINES FOR WINTER MULCH APPLICATION.
	AND ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF	WHEN MULCH IS APPLIED TO PROVIDE PROTECTIO SHALL BE AT A RATE OF 6,000 POUNDS OF HAY TO THE MULCH. NO MULCH IS TO BE APPLIED OV
2. MULCHING 3. STONE RIP RAP		DEPTH IS GREATER THAN TWO (2) INCHES IT SH. 4. MAINTENANCE
DURING CONSTRUCTION, RUNOFF WILL BE STABILIZED CHANNELS WHERE POSSIBLE.	E DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED	RILL EROSION. IF LESS THAN 90% OF THE SOIL S SHALL BE IMMEDIATELY APPLIED. 5. EXCELSIOR MATTING
END SECTIONS AND TRASH RACKS. THE	SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15. E WHEN ONE OF THE FOLLOWING HAS OCCURRED:	EXCELSIOR MATTING SHALL BE USED IN PLACE O 6. SLOPES ALL SLOPES GREATER THAN 15% DURING THE RE
2. A MINIMUM OF 85% VEGETATED GRO 3. A MINIMUM OF 3" OF NON-EROSIVE 4. EROSION CONTROL BLANKETS HAVE	WTH HAS BEEN ESTABLISHED. MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED. BEEN PROPERLY INSTALLED.	OVER MULCH OR COMBINATION EROSION CONTROL ALL SLOPES GREATER THAN 8% AFTER OCTOBER D. TEMPORARY GRASS COVER
ITER CONSTRUCTION STABILIZATION PRAC		1. SEED BED PREPARATION APPLY FERTILIZER AT THE RATE OF 600 POUNDS (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAD
OCTOBER 15TH, OR WHICH ARE DISTURB INSTALLING EROSION CONTROL BLANKETS	ED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND S ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO WITH ANCHORED NETTING ELSEWHERE. THE INSTALLATION OF	ÀCRE. 2. SEEDING
EROSION CONTROL BLANKETS OR MULCH ON FROZEN GROUND AND SHALL BE CO	AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR MPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS. DT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER	A. UTILIZE ANNUAL RYE GRASS AT A RATE OF B. WHERE THE SOIL HAS BEEN COMPACTED BY OF TWO (2) INCHES BEFORE APPLYING FERTIL
15TH, OR WHICH ARE DISTURBED AFTER OR EROSION CONTROL BLANKETS APPRO	OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE PRIATE FOR DESIGN FLOW CONDITIONS; AND AD WORK OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR	C. APPLY SEED UNIFORMLY BY HAND, CYCLONE AND FERTILIZER). HYDROSEEDINGS, WHICH INC RATES MUST BE INCREASED 10% WHEN HYDR
	TED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVER PER	 MAINTENANCE TEMPORARY SEEDINGS SHALL BE PERIODICALLY IN SHOULD BE COVERED BY VEGETATION. IF ANY EV
F SITE VEHICLE TRACKING E CONTRACTOR SHALL CONSTRUCT THE S TIVITIES.	TABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION	REPAIRS SHALL BE MADE AND OTHER TEMPORAR BARRIERS, CHECK DAMS, ETC.). E. PERMANENT MULCHING
TALLATION MAINTENANCE AND INSPECTIO	N PROCEDURES OF EROSION AND SEDIMENT CONTROLS	 TIMING A. APPLYING PLANT RESIDUES OR OTHER SUITAE WOOD CHIPS OR CRUSHED STONE TO THE SO
THESE ARE THE GENERAL INSPECTION A IMPLEMENT THE PLAN.	ND MAINTENANCE PRACTICES THAT WILL BE USED TO PRIOR TO DIRECTING FLOW TO THEM.	EITHER IMPRACTICAL OR DIFFICULT TO ESTABI B. WINTER STABILIZATION SHALL MEET OR EXCEE 2. CONSIDERATIONS
2. THE SMALLEST PRACTICAL PORTION CIRCUMSTANCES SHALL MORE THAN 3. ALL CONTROL MEASURES WILL BE IN	ND MAINTENANCE PRACTICES THAT WILL BE USED TO PRIOR TO DIRECTING FLOW TO THEM. OF THE SITE WILL BE DENUDED AT ONE TIME. UNDER NO 5.0 ACRES OF THE PROJECT SITE BE UNSTABILIZED AT ONE TIME. SPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM	A. PERMANENT MULCHING SHALL BE USED TO S HEAVY FOOT OR VEHICLE TRAFFIC. NOT INTEN B. IF WOOD CHIPS ARE USED IN LANDSCAPED A
4. ALL MEASURES WILL BE MAINTAINED	IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE	5-10-5 PER 100 SQUARE FEET OF MULCH.
5. BUILT UP SEDIMENT WILL BE REMOVE REACHED ONE THIRD THE HEIGHT OF 6. ALL DIVERSION DIKES WILL BE INSPE	DRT. ED FROM SILT FENCE OR HAYBALE BARRIERS WHEN IT HAS THE FENCE OR BALE. CTED AND ANY BREACHES PROMPTLY REPAIRED. WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND WILL BE MADE AFTER EACH INSPECTION. ION AND SEDIMENT CONTROL (CPESC), WILL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE REPORT. THE CONTRACTOR SHALL	AND THE STONE. 3. SPECIFICATIONS A. WOOD CHIPS OR AGGREGATE SHALL BE USED
 TEMPORARY SEEDING AND PLANTING UNHEALTHY GROWTH. A MAINTENANCE INSPECTION REPORT 	WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND	VERTICALLY. B. PERMANENT MULCH SHALL BE 3 INCHES OR C. WOOD CHIPS SHALL BE APPLIED AT A RATE
9. A CERTIFIED PROFESSIONAL IN EROS INSPECTIONS AND FILLING OUT THE BE RESPONSIBLE FOR MAINTENANCE	ION AND SEDIMENT CONTROL (CPESC), WILL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE REPORT. THE CONTRACTOR SHALL	10–20 TONS PER ACRE. WOOD CHIPS SHALL OBJECTIONABLE COARSE MATERIALS. D. AGGREGATE COVER (GRAVEL, CRUSHED STONI
10. THE EROSION CONTROL PROCEDURES SEDIMENT CONTROL HANDBOOK FOR	SHALL CONFORM TO THE "NEW HAMPSHIRE EROSION AND	INCHES AND APPLIED AT A RATE OF 9 CUBIC 4. MAINTENANCE A. WOOD CHIPS SHALL BE MONITORED FOR DECO
WATER CONSERVATION DISTRICT. A. ALL FILLS SHALL BE COMPACTED SUBSIDENCE, OR OTHER RELATED	AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, COMPACTED IN ACCORDANCE WITH LOCAL CODES OR	B. CRUSHED STORE SHALL BE MONITORED FOR DECU OCCUR, NEW MATERIAL SHALL BE PROVIDED
B. THE USE OF SAND FOR THE PUF	RPOSE OF PEDESTRIAN SAFETY AND SAFE DRIVING CONDITION SHALL	1. FOR PERMANENT MEASURES AND PLANTINGS. A. LIMESTONE SHALL BE THOROUGHLY INCORPOR ACRE IN OPPER TO PROVIDE A PULYAU
	ATCH BASINS, DRAIN MANHOLES AND SWEEP THE PARKING LOT ON	B. FERTILIZER SHALL BE SPREAD ON THE TOP L FERTILIZER APPLICATION RATE SHALL BE 800
1. SILT FENCE A. SYNTHETIC FILTER FABRIC SHALL	BE A PREVIOUS SHEET OF PROPYLENE, NYLON, AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS	BE THOROUGHLY WORKED INTO THE LOAM. LO PULVERIZED, SMOOTH AND EVEN, AND THEN O
	REQUIREMENTS: REQUIREMENTS: REQUIREMENTS	THE REQUIRED LINES AND GRADES WITH APPI AND 5-1/2 POUNDS PER INCH OF WIDTH. D. SEED SHALL BE SOWN AT THE RATE SHOWN
FILTERING EFFICIENCY VTM TENSILE STRENGTH AT VTM 20% MAXIMUM ELONGATION*	REQUIREMENTS: <u>ST</u> <u>REQUIREMENTS</u> A-51 75% MINIMUM A-52 EXTRA STRENGTH 50 LB/LINEAR IN (MIN.) STANDARD STRENGTH 30 LB/LINEAR IN (MIN.) A-51 0.3 GAL/SF/MIN (MIN.)	DAY, PREFERABLY BY MACHINE, BUT IF BY BEFORE SEEDING, THE SOIL SHALL BE LIGHTL ONE DIRECTION AND THE OTHER HALF AT RIC
	50 LB/LINEAR IN (MIN.) STANDARD STRENGTH 30 LB/LINEAR IN (MIN.)	LIGHTLY RAKED INTO THE SOIL TO A DEPTH I ROLLER WEIGHING NOT OVER 100 POUNDS PE E. HAY MULCH SHALL BE APPLIED IMMEDIATELY
FLOW RATE VTM * REQUIREMENTS REDUCED BY 50	I-51 0.3 GAL/SF/MIN (MIN.) PERCENT AFTER SIX (6) MONTHS OF INSTALLATION.	SATISFACTORILY COVERED WITH GRASS SHALL
B. SYNTHETIC FILTER FABRIC SHALL	CONTAIN ULTRAVIOLET RAY INHIBITORS AND STABILIZERS TO MONTHS OF EXPECTED USABLE CONSTRUCTION LIFE AT A	 G. THE CONTRACTOR SHALL PROTECT AND MAIN H. A GRASS SEED MIXTURE CONTAINING THE FOL THE INDICATED RATE:
TEMPERATURE RANGE OF 0 DEG C. THE HEIGHT OF A SILT FENCE SI		<u>SLOPE SEED</u> CREEPING RED FESCUE 80 LE TALL FESCUE 80 LE
BARRIER TO AVOID THE USE OF	JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE PPORT POST, WITH A MINIMUM SIX (6) INCH OVERLAP, AND	REDTOP 8 LBS
E. POSTS SHALL BE SPACED A MAX DRIVEN SECURELY INTO THE GRO	XIMUM OF TEN (10) FEET APART AT THE BARRIER LOCATION AND DUND (MINIMUM OF 16 INCHES). WHEN EXTRA STRENGTH FABRIC IS	CREEPING RED FESCUE 50 LE KENTUCKY BLUEGRASS 100 L
F. POSTS FOR SILT FENCES SHALL FOOT STEEL WITH A MINIMUM LE	RT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET. BE EITHER 4-INCH DIAMETER WOOD OR 1.33 POUNDS PER LINEAR NGTH OF 5 FEET. STEEL POSTS SHALL HAVE A MAXIMUM MESH	PERRENIAL RYE GRASS 50 LE IN NO CASE SHALL THE WEED CONTENT EXCE WITH STATE AND EEDERAL SEED LAWS SEEDIN
SPACING OF 6 INCHES.	R SILT FENCES USING STANDARD STRENGTH FILTER CLOTH SHALL	WITH STATE AND FEDERAL SEED LAWS. SEEDIN IN NO CASE SHALL SEEDING TAKE PLACE OVE

D APPROXIMATELY FOUR (4) INCHES WIDE AND FOUR (4) INCHES S AND UPSLOPE FROM THE BARRIER.	FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES. H. STORM DRAIN INLET PROTECTION	ALLOWABLE NON- 1. DISCHARGE 2. FIRE HYDR
TER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE PSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT WIRES OR HOG RINGS. THE WIRE SHALL EXTEND NO MORE THAN 36 ROUND SURFACES.	 SILT SACK A. SACK SHALL BE INSTALLED WITHIN CATCHBASIN, MAKING SURE EMPTY STRAPS ARE LAID FLAT OUTSIDE THE BASIN. B. SACK SHALL FIT TIGHTLY WITHIN THE BASIN TO PREVENT SEDIMENT FROM GOING THROUGH ANY 	3. WATERS U 4. WATER US 5. POTABLE V 6. ROUTINE E
TER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND IC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT	GAPS. C. ALL STRUCTURES SHOULD BE INSPECTED AFTER EVERY RAINSTORM AND REPAIRS MADE AS NECESSARY. D. SEDIMENT SHOULD BE REMOVED FROM THE DEVICES AFTER THE SEDIMENT HAS REACHED A	7. PAVEMENT 8. UNCONTAM 9. UNCONTAM
FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH ATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED ALL OTHER PROVISIONS OF ITEM (1) APPLYING.	MAXIMUM OF ONE-THIRD THE DEPTH OF THE TRAP. E. SILT SACK SHALL BE REMOVED UPON THE COMPLETION OF PROJECT. I. STABILIZED CONSTRUCTION ENTRANCE 1. SPECIFICATIONS	10. FOUNDATIC 11. UNCONTAM 12. LANDSCAP
LED AND THE SOIL COMPACTED OVER THE FILTER FABRIC. D WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT AS BEEN PERMANENTLY STABILIZED.	 A. AGGREGATE SIZE: USE TWO (2) INCHES STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. B. AGGREGATE THICKNESS: NOT LESS THAN SIX (6) INCHES. 	
ALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING	 C. WIDTH: TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH OF POINTS WHERE INGRESS OR EGRESS OCCURS. D. LENGTH: AS REQUIRED, BUT NOT LESS THAN FIFTY (50) FEET 	SPA
SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF SION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE GE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL	 E. GEOTEXTILE: TO BE PLACED OVER THE ENTIRE AREA TO BE COVERED WITH AGGREGATE. PIPING OF SURFACE WATER UNDER ENTRANCE SHALL BE PROVIDED AS REQUIRED. F. CRITERIA FOR GEOTEXTILE: THE FABRICS SHALL BE TREVIA SPUNBOND 1135, MIRAFI 600X OR EQUAL. MAINTENANCE 	
RY CHECK DAM. FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE ECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE OMPTLY. REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED	THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH AGGREGATE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES OR WATERWAYS.	
IMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER. NING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO RESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND	TIMING OF CONTROLS/MEASURES THE MAXIMUM AREA TO BE DISTURBED AT ONE TIME SHALL BE KEPT UNDER FIVE (5) ACRES. A PHASING PLAN DESCRIBING THE AREAS TO BE DISTURBED SHALL BE SUBMITTED TO THE DESIGN ENGINEER AND NHDES. AN INDEPENDENT MONITORING COMPANY SHALL BE HIRED BY THE CONTRACTOR TO MONITOR ALL EROSION CONTROL DEVICES.	
TIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. NDARDS WHICH SHALL BE USED TO ASSURE THIS: STORM EVENT. IT WILL BE NECESSARY TO CLOSELY MONITOR	AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES THE EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN	
Y BY CONTACTING THE NATIONAL WEATHER SERVICE IN CONCORD, F SIGNIFICANT STORMS. PECIFIED TIME PERIOD. THE TIME PERIOD CAN RANGE FROM 14 TO REA, THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS EAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, CT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE	FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF ANY WETLAND OR STREAM, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT FENCES AND HAYBALE BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.	<u>NOTES:</u> 1. SEE EROSI
TE OF BETWEEN 1.5 TO 2 TONS PER ACRE, OR 90 TO 100 POUNDS MUM MULCH REQUIREMENT, REGARDLESS OF APPLICATION RATE IS PLICATION.	WASTE DISPOSAL A. WASTE MATERIALS ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.	
DE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT UNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED E APPLIED OVER MORE THAN TWO (2) INCHES OF SNOW. IF SNOW NCHES IT SHALL BE REMOVED BEFORE MULCHING.	 B. HAZARDOUS WASTE ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT. C. SANITARY WASTE 	
PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR F THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH	ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR. SPILL PREVENTION	
IN PLACE OF MULCH ON ALL SLOPES STEEPER THAN 3:1.	A. MATERIAL MANAGEMENT PRACTICES THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO	
IRING THE REGULAR CONSTRUCTION SEASON ARE TO HAVE NETTING SION CONTROL MAT USED (MULCH AND NET). THIS APPLIES TO TER OCTOBER 1. MULCHING IS REQUIRED OVER HYDROSEEDING.	STORMWATER RUNOFF: 1. GOOD HOUSEKEEPING: THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE	
600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE UM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER	CONSTRUCTION PROJECT: A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB. B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.	
A RATE OF 40 LBS/ACRE. /PACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH PLYING FERTILIZER, LIME AND SEED.	C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED. D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.	<u></u>
ND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED S, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING WHEN HYDROSEEDING.	 E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER. 2. HAZARDOUS PRODUCTS: 	NOTE:
RIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE N. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, ER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER	THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS: A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.	1. see eros STAE
OTHER SUITABLE MATERIALS THAT RESIST DECOMPOSITION SUCH AS	C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL. B. PRODUCT SPECIFICATION PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:	<u>017/L</u>
E TO THE SOIL SURFACE WHERE VEGETATION STABILIZATION IS LT TO ESTABLISH. EET OR EXCEED THE FOLLOWING REQUIREMENTS.	1. PETROLEUM PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE: 1. PETROLEUM PRODUCTS: ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED	
E USED TO STABILIZE CHRONIC EROSION AREAS WHICH RECEIVE IC. NOT INTENDED FOR AREAS OF CONCENTRATED FLOWS. NDSCAPED AREAS (TREES & SHRUBS), A SUPPLEMENTAL	CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. 2. FERTILIZERS:	
ILIZER SHOULD BE APPLIED AT A RATE OF TWO POUNDS OF OF MULCH. PLASTIC FILTER CLOTH SHALL BE PLACED BETWEEN THE GROUND	FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.	
ALL BE USED ON SLOPES NO STEEPER THAN 3 HORIZONTALLY ON 1 INCHES OR MORE IN DEPTH.	3. PAINTS: ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.	
AT A RATE OF 500–900 POUNDS PER 1,000 SQUARE FEET OR CHIPS SHALL BE GREEN OR AIR-DRIED AND FREE OF ALS.	C. SPILL CONTROL PRACTICES IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:	
RUSHED STONE OR SLAG) SHALL BE WASHED, 1/4 INCH TO 2 $\frac{1}{2}$ E OF 9 CUBIC YARDS PER 1,000 SQUARE FEET.	 MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE 	
RED FOR DECOMPOSITION AND NEW APPLICATIONS MADE. ITORED FOR WASH OUT AND SLIPPING DOWN SLOPE. IF EITHER E PROVIDED ON THE BARREN AREAS.	AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE. 3. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.	
ANTINGS. ILY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 3 TONS E A PH VALUE OF 5.5 TO 6.5. IN THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE.	 THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL 	
HALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER. ZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY , AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO ES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS	GOVERNMENT AGENCY, REGARDLESS OF THE SIZE. 6. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED. 7. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL SPIEVENTION AND CLEANUP COODDINATOR	
OF WIDTH. RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY , BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY LL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN	PREVENTION AND CLEANUP COORDINATOR. D. VEHICLE FUELING AND MAINTENANCE PRACTICE: 1. EFFORTS SHOULD BE MADE TO PERFORM EQUIPTMENT/VEHICAL FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY.	
HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND O POUNDS PER LINEAR FOOT OF WIDTH. IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE.	 CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY. IF POSSIBLE KEEP AREA COVERED. KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA. VEHICLES SHALL BE INSPECTED REGULARLY FOR LEAKS AND DAMAGE. USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID. 	
ED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED. CT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED. NING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT	DUST CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS,	
80 LBS/ACRE	COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS. CONCRETE WASHOUT AREA:	
80 LBS/ACRE 8 LBS/ACRE	 THE CONCRETE CONTRACTOR SHOULD BE ENCURAGED WHERE POSSIBLE, TO USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN 	
50 LBS/ACRE 100 LBS/ACRE 50 LBS/ACRE	 FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER. 3. WASHOUT AREAS SHOULD ALSO BE PROVIDED FOR PAINT AND STUCCO OPERATIONS. 4. ATTEMPTS SHOULD BE MADE TO LOCATE WASHOUT AREA A LEAST 50 YARDS AWAY FROM STORM DRAINS AND WATER WAYS WHENEVER POSSIBLE. 5. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS 	
CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. KE PLACE OVER SNOW. FIRST SNOWFALL)	5. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.	



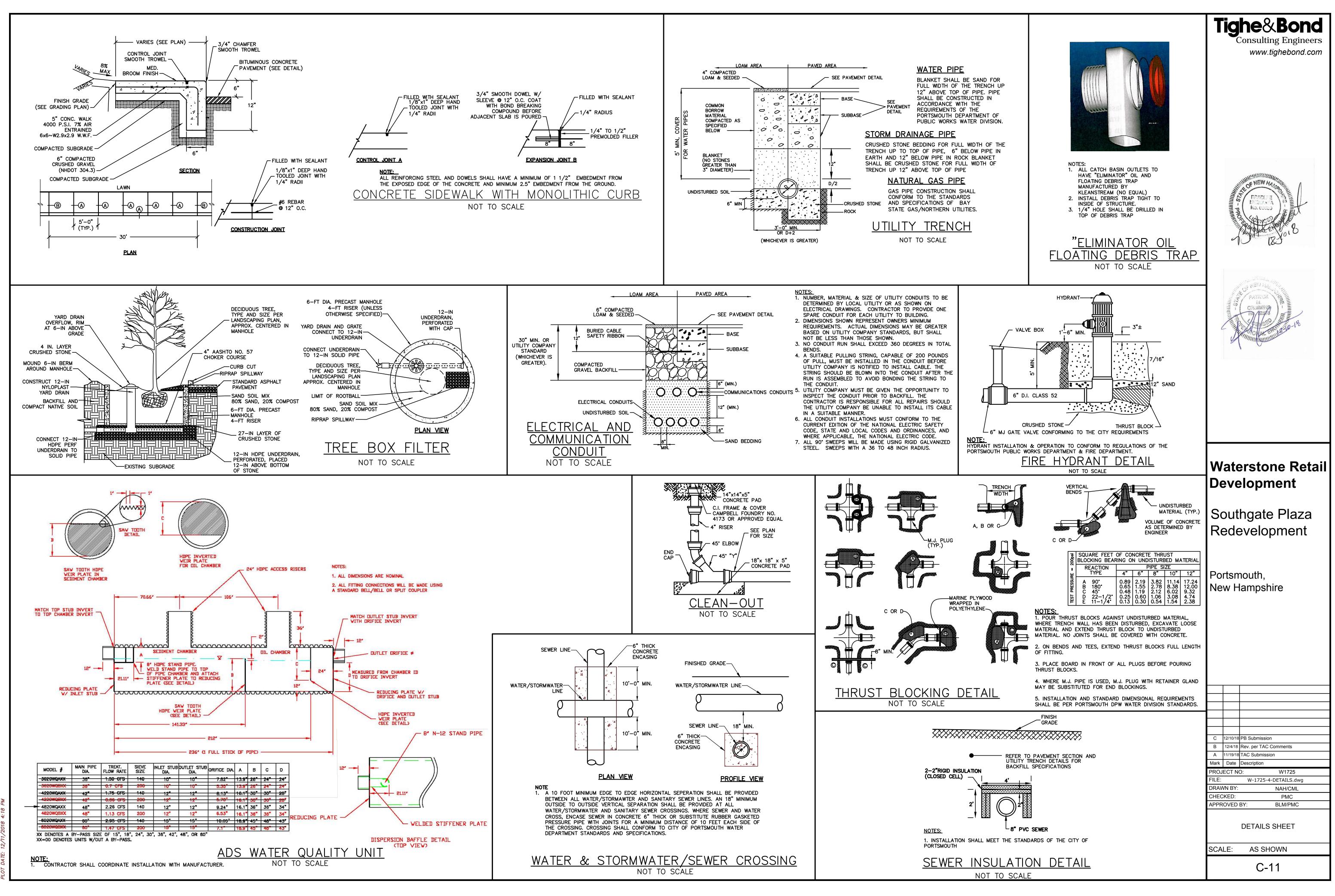


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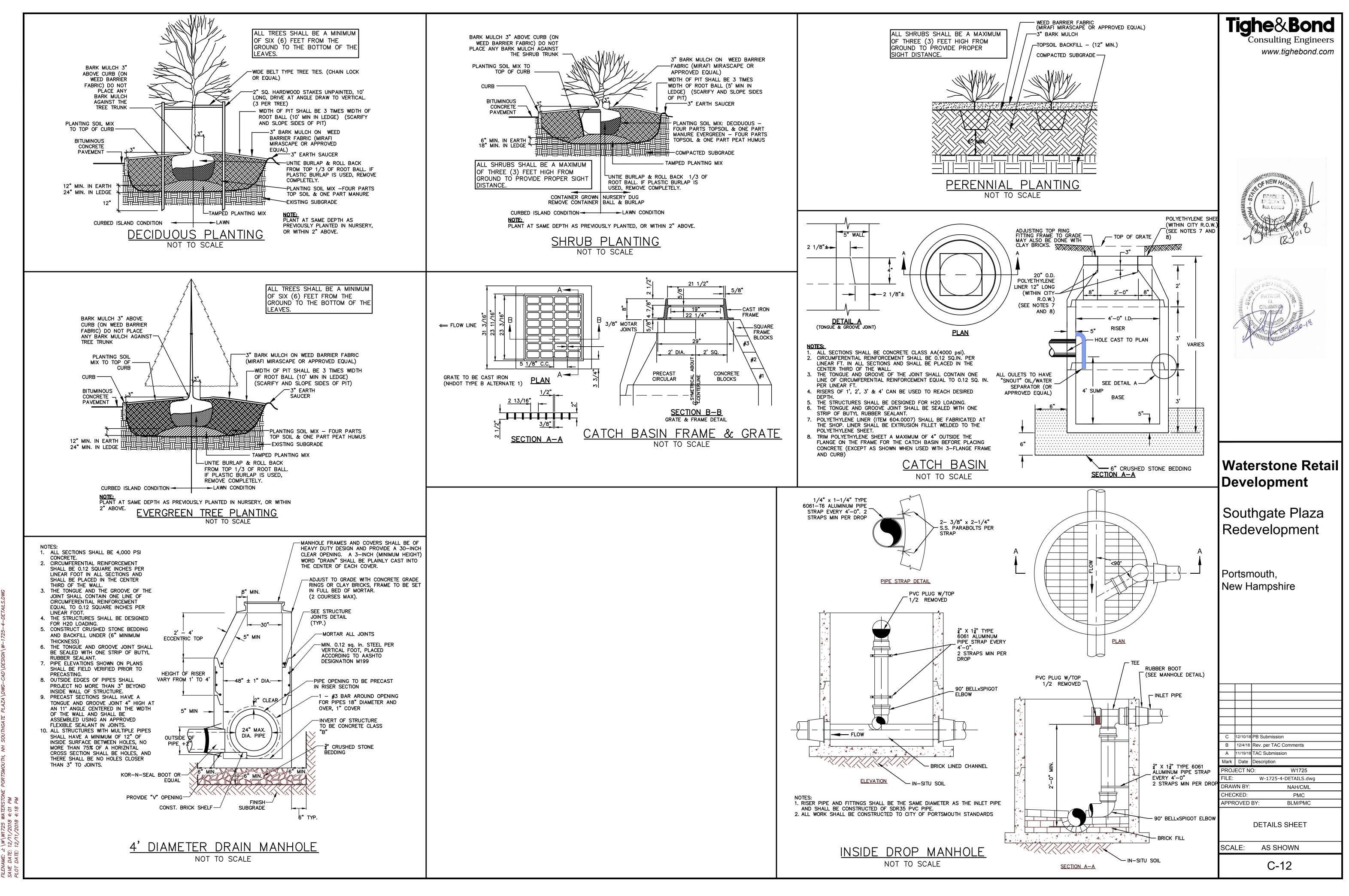


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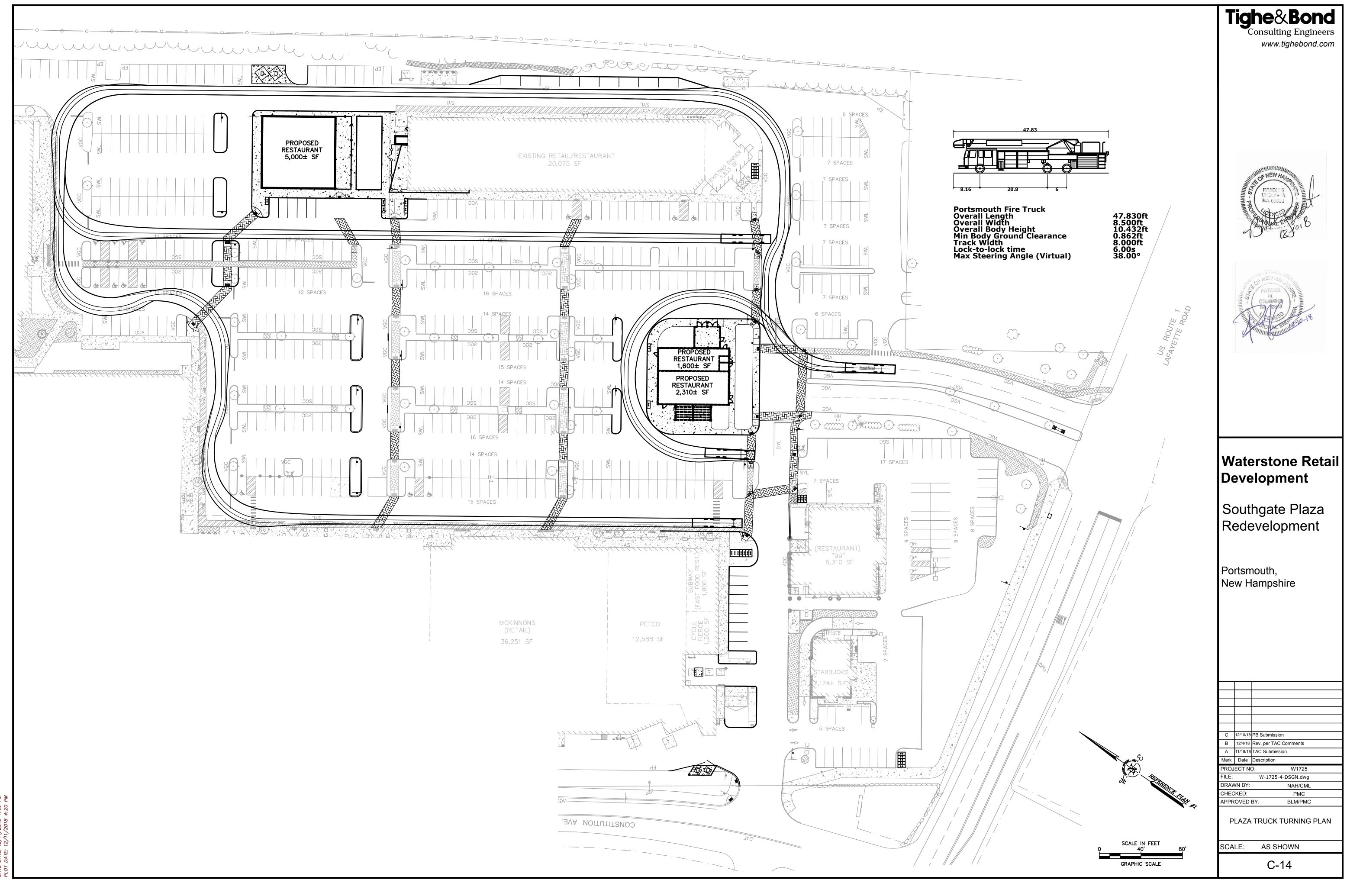
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FILENAME: J: \W\W1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA\DWG-CAD\DESIGN\W-1725-4-DSGN. SAVE DATE: 12/11/2018 4:09 PM PLOT DATE: 12/11/2018 4:20 PM



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CITY OF PORTSMOUTH NEW HAMPSHIRE

Building Permit Application Number_____

SITE REVIEW APPLICATION

Building Permit Application Number	Case Number
	Fee
Map 273 Lot 3 Zone <u>GW/GPD</u> Wetlan	nds: InlandN/ACoastalN/ALot Area <u>±814,896 SF</u>
Date of Approval	s (Indicate if Pending)
Conservation CommissionConditional	Use_April 21, 2016 Board of Adjustment
Historic District CommissionSubdivision	Other
Street Address 2454 Lafayette Road	
Description of Project including all use(s) Construction of	three (3) restaurant buildings and green space and associated si
improvements within the existing plaza parking area.	· · · · · · · · · · · · · · · · · · ·
Building(s) Footprint 5,000 SF, 1,600 SF & 2,310 SF C # of Dwelling Units 0 Number of Parking Sp	ross Floor Area_ <u>±Bldg Footprint</u> #of Stories <u>1</u> paces: Existing 848 Proposed 760
Print Info Property Owner's Name <u>2422 Lafayette Road Associat</u>	mation Below es, LLC c/o Waterstone Retail Development
Street Address <u>322 Reservoir Street</u> , 2 nd Floor City/Town	Needham State MA Zip 02494
781.559.3301 617.447.4027	781.559.3307 LChin@Waterstonepg.com
Telephone # Cell Phone #	Fax # Email Address
Print Info	mation Below
Applicant's / Developer's Name <u>Same as owner</u>	- -
Street AddressC	ity/TownStateZip
Telephone # Cell Phone #	Fax # Email Address
Print Information Below (Include Add Check One: Owner's Attorney △ Applicant's Attorney △ Engineer X Representative's Name_Tighe & Bond, Inc. (Patrick Cr	
Street Address <u>177 Corporate Drive</u> City/Town	
	Fortsmouth State NH Zip
603.433.8818 603.988.8066	Portsmouth State NH Zip N/A PMCrimmins@TigheBond.comm.com

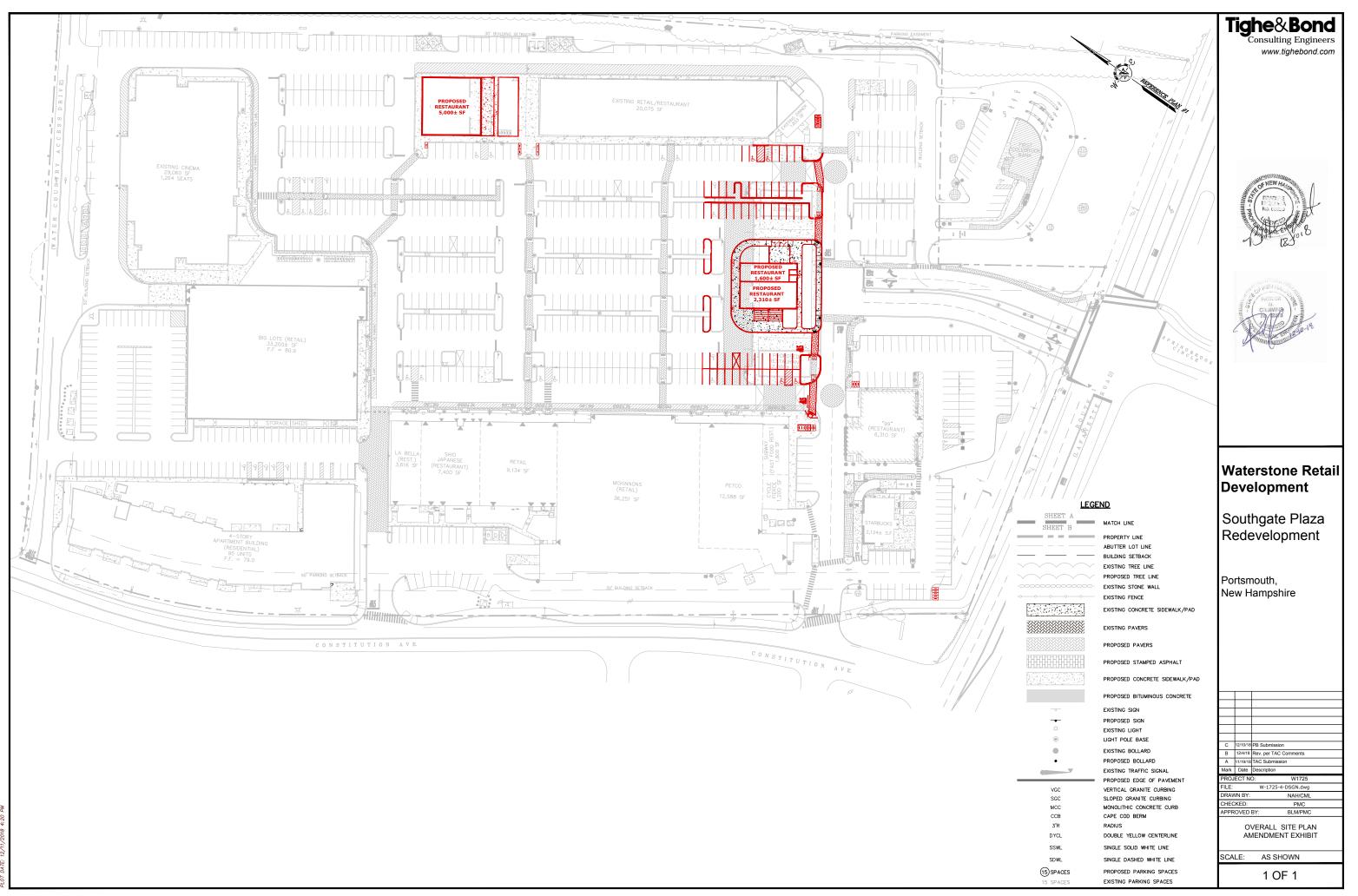
I hereby apply for Site Review and acknowledge that I will comply with all the ordinances and any stipulations of the Site Review Committee of the City of Portsmouth in the development and construction of this project.

	See letter of Authorization	
Owner's Signature	Print Owner's Name	Date
CAT !!!	Pasnek M. Crimminj	11/19/18
Applicant's/Developer's Signature	Print Applicant's/Developer's Name	Date

		Print Info	ormation Below			
Check One: Owner's Attorney Δ	Applicant's Attorney Δ	Engineer Δ	Surveyor Δ	Other Δ	If other, state relationsh	ip
Representative's Name						
Street Address					State	Zip
Telephone #	Cell Phone #	ŧ		Fax #		Email Address
1777 - 17		Print Info	rmation Below			
Check One: Owner's Attorney Δ	Applicant's Attorney Δ	Engineer Δ	Surveyor Δ	Other Δ	If other, state relationship	ip
Representative's Name						2
Street Address						Zip
Telephone #	Cell Phone #	1		Fax #		Email Address
		Print Info	rmation Below			
Check One: Owner's Attorney Δ	Applicant's Attorney Δ	Engineer Δ	Surveyor Δ	Other Δ	If other, state relationsh	p
Representative's Name						*
Street Address						Zip
Telephone #	Cell Phone #			Fax #		Email Address
			hments			

- Site Plan Application Checklist
- Site Plan Application Checkinsi
 Ten (10) stamped and folded copies of the site plan four
 Digital copy of any plans and/or exhibits (in PDF format)
 Application Fee
 Any required State or Federal Permits Ten (10) stamped and folded copies of the site plan – four (4) full-size (22" x 34") and six (6) reduced (11" x 17")

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FILENAME: J. (M/W1725 MATERSTOME PORTSMOUTH, NH SOUTHGATE PLAZA/DMG-CAD/DESIGN/W-1725-4-DSG SANE DATE: 12/11/2018 4:09 PM PLOT DATE: 12/11/2018 4:20 PM



Green Space at Portsmouth Green

Portsmouth Green is designed to include "green spaces" throughout the center. The green spaces will allow Waterstone to develop and offer programming events to the visitors/consumers as well as the community.

In addition to the "front park", located at the end of the drive way into the center, there are four (4) additional "green spaces":

- 1. Between the Veridian Apartments and the retail center.
- 2. The "dog park" behind Cinemagic.
- 3. The area to the left of the Cinemagic and the adjacent retail building.
- 4. The area between existing restaurant and future restaurant, next to Water Country.

These (4) additional "green spaces" total to approximately **18,500 square feet** of open space. By having numerous "green spaces", the Waterstone Team will be able to schedule a variety of events around the center and not be limited to one area. This will draw visitors into the center where our programming will take place.

Some of our programming features are as follows:

Park Features

Create an inviting environment for visitors, shoppers and residents:

- Seating- tables/benches for when there is no event on the green- a place for people to sit, meet or get takeout food
- Life Size games: can range from board games to group activities.

Tenant Utilization

Allow Tenant's to schedule special events which represents and to help promote their business:

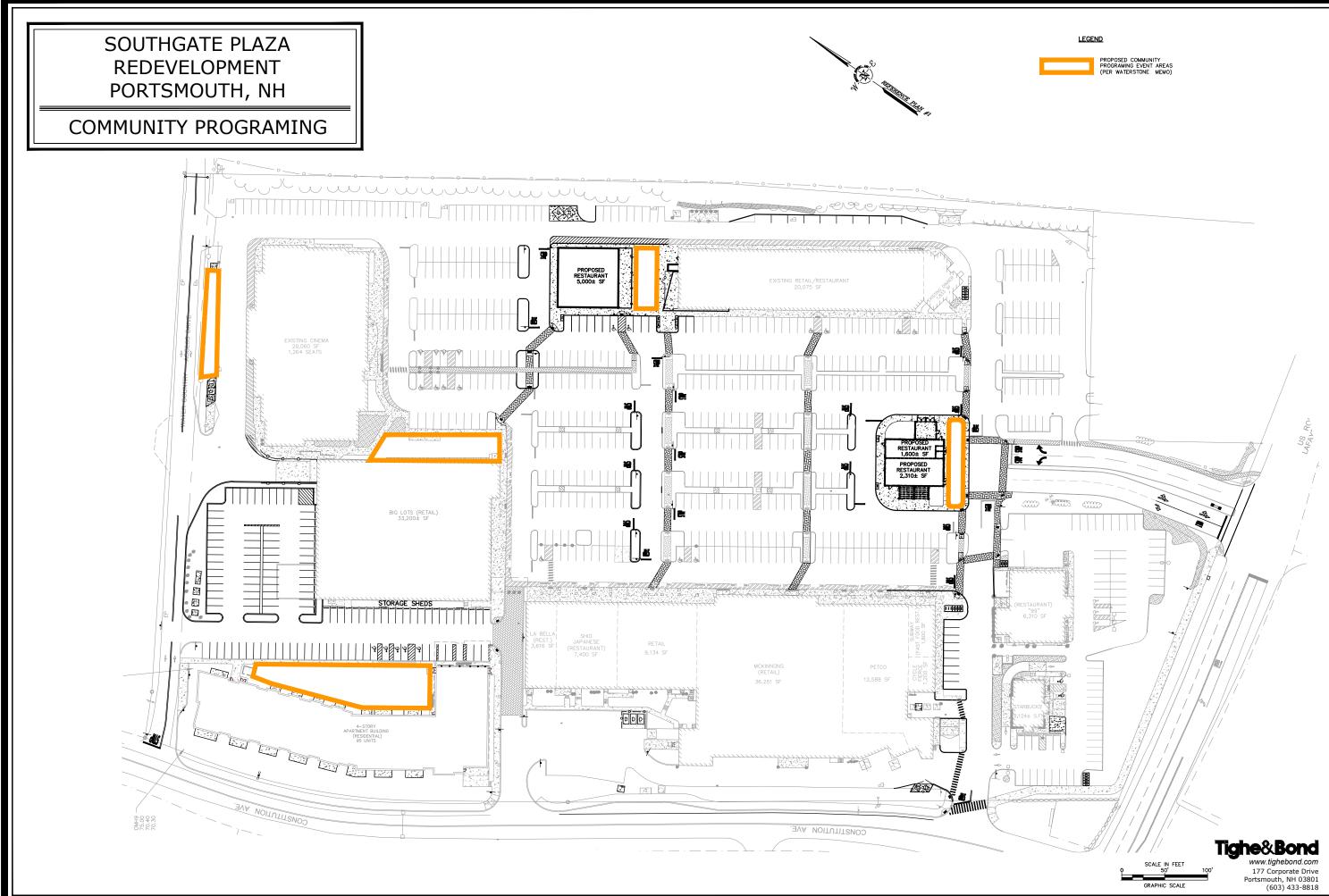
- Petco: Dog parade/grooming specials
- Pure Barre: Conduct outdoor barre classes
- Orange Theory: Outdoor group workouts
- Cycle Fierce: Spinning class
- Starbucks: Barista class

- Cinemagic: Outdoor movie nights, projected onto the building
- McKinnon's and/or Kume: Cooking demonstrations
- Job Fair: For Tenants who are looking to hire, they can set up a table outside and have applications available
- Portsmouth Green Appreciation Day: Provide food/music and get to know everyone who works within The Green

For Community:

Proposed programming events for the Community:

- "Taste of The Green": Restaurants/grocery store/Starbucks- provide samples from their store, offer discounts and coupons.
- Live Music: Invite local talent from around the area to play at the park(s).
- Movie Nights
- For the Kids:
 - Bounce Houses/Water Days
 - o Touch A Truck
 - o Super Hero Events
- Wellness Day: Discounted gym/class sign up, free barre class, massages on the green
- Holiday/season related activities:
 - o Summer Kick-Off
 - o Halloween Pumpkin Carving Contest
 - o Holiday Stroll
- Food Trucks: To sit outside the green
- Sporting:
 - o Start a club volleyball team- put up volleyball net
 - o Mini-golf
- Meet and Greet with local chefs: Cooking demos
- Pet Parades/Pet Events/Yappy Hour







92 FARMINGTON ROAD, ROCHESTER, NH

Eat.Shop.Play.Stay

FREE EVENTS FOR

Wednesday, August 2 Water Wednesday 11am-4pm Waterslides & Dunk Tank!

Friday, August 4 Free Bounce Friday 11am-4pm Obstacle Courses, Bounce Houses and Slides!

Tuesday, August 8 Free Bounce Tuesday 11am-4pm

Saturday, August 12 Movie Night 6pm-10pm Free Bouncing 6pm-8:15pm Blankets and picnics are welcomed!

Wednesday, August 16 Water Wednesday 11am-4pm Waterslides & Dunk Tank! Friday, August 18 Free Bounce Friday 11am-4pm Obstacle Courses, Bounce Houses and Slides!

Wednesday, August 23 Free Bounce Wednesday 11am-4pm

Saturday, August 26 Movie Night Free Bouncing 6pm-7:30pm Magician 7:30pm-8:15pm

Wednesday, August 30 Water Wednesday 11am-4pm Waterslides & Dunk Tank!

> Cool Off With Our Waterslides & Dunk Tank!

Interested in using The Ridge Pavilion for a fundraiser or group event? Contact marissa@airzonekids.com for info!



Follow the Ridge Facebook for updated events and information!

92 FARMINGTON ROAD, ROCHESTER, NH | WWW.THERIDGENH.COM



THE RIDGE

2017 COMMUNITY EVENTS















- Family Fun Day
- Outdoor Movie Nights
- Waterslide Wednesdays
- Magician
- Balloon Artists
- Live Radio Remotes



W1725-4 December 11, 2018

Mr. Dexter Legg, Chairman City of Portsmouth Planning Board 1 Junkins Avenue Portsmouth, New Hampshire 03801

Re: Amended Site Plan Review Permit Application 2454 Lafayette Road (Portsmouth Green)

Dear Chairman Legg:

On behalf of 2422 Lafayette Road Associates, LLC, we are pleased to submit the following information relative to a request for an Amended Site Plan Review Permit for the above referenced project:

- Twelve (12) copies of the Amended Site Review Application dated November 19, 2018
- Twelve (12) copies of the Owner Letter of Authorization dated January 13, 2016
- Twelve (12) copies of the Site Plans (two (2) full size (22"x34") and ten (10) half scale (11"x17")) last revised December 11, 2018
- Twelve (12) copies of the Overlay Site Plan Amendment Exhibit (11"x17") dated December 11, 2018
- Twelve (12) copies of Open Space Exhibit (11"x17") last revised December 11, 2018
- Twelve (12) copies of the TAC Stipulation Response dated December 11, 2018
- Twelve (12) copies of the Community Programming Event package
- One (1) CD containing digital copies (PDF) of the above listed materials

The Portsmouth Green (formerly Southgate Plaza) project previously received Planning Board approval in April 2016 for the construction of a 4-story residential building in the rear of the site and two (2) new commercial pads in the plaza's existing front parking lot. Several administrative approvals were also granted after the last Planning Board approval for minor field changes that occurred during construction of the residential building. The residential building was completed in the fall of 2017. The work for the commercial pads in the plaza is anticipated to begin in Spring 2019.

The enclosed Site Plan package includes amendments to the previously approved commercial pads. Changes to the front pad at the plaza's main entrance include consolidating the two (2) previously approved standalone buildings that were flanked on either side of a central open space into to one (1) central building with the open space and parking reconfigured around the proposed building. The second change is expanding the previously approved 4,000 SF pad located in the existing parking area in front of the cinema to a 5,000 SF pad. In addition to the pad revisions, the enclosed Site Plans amend the location of the twenty-six (26) bicycle racks previously approved in the open space adjacent to the cinema to various locations throughout the site.

Enclosed is an Overlay Site Plan Amendment Exhibit with the current proposed site revisions (in red) overlaid on the prior approved layout (in black). This amended proposal will result in a very small increase of impervious area from the prior approval by approximately 2,500 SF ($\pm 0.3\%$ of the entire site). These changes have a negligible impact on the existing



stormwater management system that treats and infiltrates the runoff generated by the plaza. Peak runoff rates in the Post Development stormwater calculations that were previously prepared for the project do not change.

In addition, the project still meets the open space and pedestrian oriented space requirements. The project had previously provided a color Open Space Exhibit to depict the areas of open space and pedestrian oriented space. This exhibit has been amended with the latest Site Plan and is enclosed with this package.

The proposed Site Plan amendments received recommendation for approval with stipulations from the Technical Advisory Committee (TAC) on December 4, 2018. Enclosed with this package is a TAC Stipulation Report that addresses each of the five stipulations. Stipulation #4 pertains to the reconfigured open space at the entrance of the plaza that is described above. In response to this stipulation, the applicant has prepared a Community Programming Event package that describes the intended programming for Portsmouth Green and examples of community event materials for The Ridge, a similar plaza that the applicant owns and operates in Rochester, NH. We look forward to discussing these materials in more detail with the Planning Board.

We respectfully request to be placed on the Planning Board Agenda for December 20, 2018. Please contact me by phone at (603) 433-8818 or by email at <u>pmcrimmins@tighebond.com</u> if you have any questions or need any additional information.

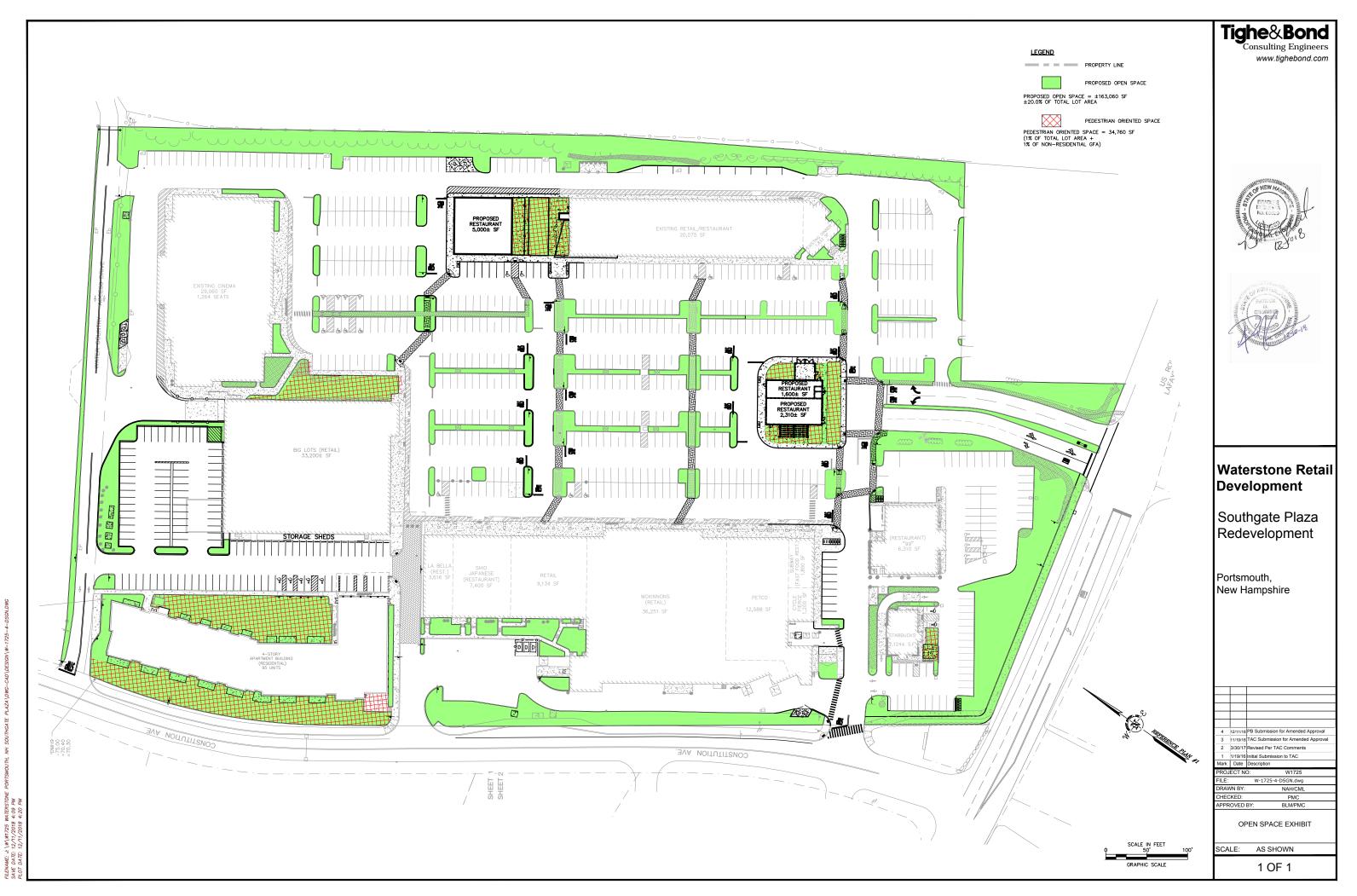
Very truly yours,

TIGHE & BOND, INC.

Patrick M. Crimmins, P.E. Senior Project Manager

Enclosures

Cc: Waterstone Retail Development (via email)





January 13, 2016

Josh Levy Manager 2422 Lafayette Road Associates, LLC 322 Reservoir Street Needham, MA 02494

Re: Letter of Authorization Southgate Plaza 2454 Lafayette Road Portsmouth, NH 03801

To Whom It May Concern:

This letter is to authorize Tighe & Bond Engineering Inc. of 177 Corporate Drive, Portsmouth, New Hampshire 03801 to represent and submit on my behalf applications and materials for the proposed Renovation and Expansion of Southgate Plaza, 2422 Lafayette Road, Portsmouth, New Hampshire.

This authorization shall relate to those activities that are required for local, state and federal permitting for the above project.

With Regards,

Josh Levy -Manager

TAC Stipulation Response Proposed Medical Office Building - 185 Cottage Street

December 12, 2018

TAC Stipulations			
<u>#</u>	Comment	Response	Sheet #
1	Plans shall be revised as presented by the applicant at the December 4, 2018 TAC meeting in	The enclosed plans include all the revisions that addressed TAC member comments as presented at the	
	response to TAC member comments.	December 4th TAC meeting.	
2	Plans shall be updated to correct typos, specifically "Tentant" to "Tenant".	The Elevation Drawing has been revised to correct this typo.	P1
3	Plans updated to include a tip-down ramp and crosswalk to connect the sidewalk near the green	The sidewalk has been revised to include a tip down ramp, and crosswalk as been added to connect the	C-3
	space across the drive aisle to the other sidewalk.	sidewalks across the drive aisle.	C-3
4	Applicant to provide formal response on the usability of the proposed reconfigured pedestrian oriented space at the front of the plaza, including the intended program of the landscape plan for the green spaces in the plaza.	Enclosed is a Community Programming Event package provided by the applicant.	
5	Plans shall include a better pedestrian connection to the main plaza from the 99 Restaurant.	The Plans have been revised to include an additional crosswalk from the main plaza to the 99 Restaurant.	C-3A