

W-1725-4  
July 19, 2019

Ms. Juliet Walker, AICP, Planning Director  
City of Portsmouth Planning Department  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

Re: **Conditional Use Permit Request  
2454 Lafayette Road (Portsmouth Green)**

Dear Juliet:

On behalf of 2422 Lafayette Road Associates, LLC, we are pleased to submit the following information relative to a request for a Conditional Use Permit (CUP) to provide less than the minimum number of off-street parking spaces for the above-referenced project:

- Twenty (22) copies of the Parking Demand Analysis dated July 18, 2019
- One (1) check in the amount of \$200 for the CUP application fee
- One (1) CD containing digital copies (PDF) of the submission package listed above

Portsmouth Green, formerly Southgate Plaza, (Project) has secured a new tenant, PINZ, that will occupy a portion of the vacant retail space that was formerly Big Lots. The retail space will be retrofitted for PINZ which is an indoor recreation use that includes a bowling alley, arcade, restaurant/bar and seasonal outdoor dining area. The change in use required two (2) Special Exceptions which were granted by the Zoning Board of Adjustment on June 18, 2019.

Due to the change in use for PINZ, the parking calculations need to be updated on the Site Plan based on the current Zoning Ordinance. The minimum parking required for the prior approval was based on a previous version of the Zoning Ordinance that included a minimum parking requirement for a Shopping Center Use. While Shopping Center is still a defined Use and is listed in the Table of Uses of the current Zoning Ordinance, the Ordinance no longer has a minimum parking requirement listed for a Shopping Center Use. As such, the minimum parking requirement must be calculated based on each individual commercial use on the property. With this approach the overall site would no longer meet the minimum off-street parking requirement.

Pursuant Section 10.1112.14, the applicant is respectfully requesting that a CUP be granted by the Planning Board to allow the Project to provide less than the minimum off-street parking spaces required by Section 10.1112.30 or Section 10.1112.61:

- Section 10.1112.141 – The enclosed Parking Demand Analysis has been provided as required by this section. The Parking Demand Analysis demonstrates the off-street parking provided by the Project is sufficient for its Uses.
- Section 10.1112.142 – This section indicates an application for a CUP shall identify permanent evidence-based measures to reduce parking demand. As described in the enclosed Parking Demand Analysis, the Project provides measures that promotes alternative modes of transportation such as walking, bicycling, and public transportation.

We trust the enclosed information is sufficient to support a Request for a CUP. We are hopeful to be placed on the August 15, 2019 Planning Board agenda. As per Section 10.1112.141



the City's Technical Advisory Committee (TAC) shall review the Parking Demand Analysis. We respectfully request to be referred to TAC in advance of the August 15<sup>th</sup> Planning Board meeting.

If you have any questions, please feel free to contact me by phone at (603) 433-8818 or by email at [pmcrimmins@tighebond.com](mailto:pmcrimmins@tighebond.com).

Very truly yours,

**TIGHE & BOND, INC.**

A handwritten signature in blue ink, appearing to read 'P. M. Crimmins', with a horizontal line extending to the right.

Patrick M. Crimmins, PE  
Senior Project Manager

J:\W\W1725 Waterstone Portsmouth, NH Southgate Plaza\REPORT\20190715\_Conditional Use\Cover Letter.docx

## Portsmouth Green – Parking Demand Analysis

**To:** City of Portsmouth Planning Board  
**FROM:** Patrick M. Crimmins, PE  
**COPY:** Douglas Richardson, Waterstone Properties Group  
Tom Godfrey, Granite Development, LLC  
**DATE:** July 18, 2019

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Tighe & Bond, Inc. (Tighe & Bond) has prepared this Parking Demand Analysis to summarize the parking demand related to Portsmouth Green (the "Project"), a redevelopment of the former Southgate Plaza, located at 2454 Lafayette Road (Route 1) in Portsmouth, New Hampshire.

### Project Background

The Project previously received Site Plan Review approval in April 2016 for the construction of the Veridian Residences, a 4-story 95-unit multi-family residential building in the rear of the site, and two (2) new commercial pads in the existing Portsmouth Green parking area. The Veridian building was completed in Fall 2017. In December 2018, Amended Site Plan approval was granted by the Planning Board for amendments related to the front commercial pads. Construction for the front pads is commencing in Summer 2019.

The most recent land use approval associated with the Project is related to a change of use. A portion of a vacant retail space, formerly Big Lots, will be retrofitted to a PINZ which is an indoor entertainment use that includes a bowling alley, arcade, restaurant/bar and seasonal outdoor dining area. The change in use required two (2) Special Exceptions which were granted by the Zoning Board of Adjustment on June 18, 2019.

### Parking Demand Calculations for Prior Approved Site Plan

Before the change of use for PINZ, the Project was approved under a prior Zoning Ordinance. Minimum parking requirements for the prior approval were calculated based on two uses, Residential and Shopping Center. The project exceeded the minimum off-street parking requirements for the Residential and Shopping Center Uses in the prior Gateway Planned Development (GPD) regulations under which the project was approved.

The Residential Use minimum parking requirement (1.3 spaces / dwelling unit) was used to calculate the parking required for the 95 dwelling units in the multi-family residential building. The Shopping Center Use is defined in the Zoning Ordinance as "an integrated group of commercial establishments that is planned, developed, owned, and managed as a unit. Uses in a shopping center may be in one or more buildings and on one or more lots, provided that all buildings and lots are developed with a unified approach to access and circulation, parking, truck loading, vehicular entrances and exits, drainage, utilities, and management of landscaped and buffer areas." The Shopping Center Use minimum parking requirement (1 spaces / 250 SF gross floor area) was used to calculate the parking required for the 173,501 SF of gross floor area for the Project's commercial establishments which included retail, restaurant, and cinema.

The Project provides 760 spaces where the previous minimum parking required was 620 spaces. In addition, the Project provides 760 spaces provided where the previous maximum parking allowed was 865 spaces.

## Parking Demand Calculations for Change of Use

Due to the change in use for PINZ, the parking calculations need to be updated on the Site Plan based on the current Zoning Ordinance. The Shopping Center Use is still defined and listed in the Table of Uses for the current Zoning Ordinance. However, the Shopping Center Use no longer has a minimum parking requirement listed in the Table of Off-Street Parking Requirements for Non-Residential Uses in Section 10.1112.32 of the current Zoning Ordinance, so the minimum parking requirement must be calculated based on each individual commercial use on the property. With this approach the overall site would no longer meet the minimum parking space requirement based on Section 10.1112 of the current Zoning Ordinance as 1,398 spaces would be required as shown in the enclosed attachment.

To demonstrate that the provided number of off-street parking spaces is sufficient for the overall development, a parking demand analysis was performed utilizing the Institute of Transportation Engineers Parking Generation Manual, 5<sup>th</sup> Edition (ITE Manual). To estimate peak parking demand for the Project, land use codes described in the ITE Parking Generation Manual were researched and the following Land Use Codes (LUC) we used to perform parking generation calculations:

- **LUC 221: Multi-family Housing Mid-Rise** - ITE description for LUC 221 is a "mid-rise multi-family housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and with between 3 and 10 levels (floors) of residence".

Based on the ITE description, LUC 221 was used to generate the peak parking demand for a 4-story multi-family building with 95 dwelling.

- **LUC 820: Shopping Center** – ITE description for LUC 820 is "A shopping center is an integrated group of commercial establishments that is planned, developed, owned, and managed as a unit. A shopping center's composition is related to its market area in terms of size, location, and type of store. A shopping center also provides on-site parking facilities sufficient to serve its own parking demands". This description nearly mimics the definition of Shopping Center in the City's Zoning Ordinance.

The ITE Parking Generation Manual also provides additional data for the Shopping Centers studied for LUC 820 parking generation rates. The additional data indicates "The parking demand database includes data from strip, neighborhood, community, town center, and regional shopping centers. Some of the centers contain non-merchandising facilities, such as office buildings, movie theaters, restaurants, post offices, banks, health clubs, and recreational facilities". The Project's commercial tenants consist of retail, restaurant, health clubs, and indoor recreation facilities.

Based on the ITE description and additional data, LUC 820 was used to generate the peak parking demand for the Project's commercial uses.



The following table summarizes the peak parking demand generated by the Project utilizing the ITE Manual:

Peak Parking Demand Generation for Portsmouth Green Development					
LUC Code	ITE - Use	Unit	Average Parked Cars Mon. - Thur.	Average Parked Cars Friday	Average Parked Cars Saturday
221	Multifamily Housing (Mid Rise)	95 Dwelling Units	124	124	116
820	Shopping Center	173,501 SF of GFA	359	452	522
	Total Parking Demand for Time Period		483	576	638
<b>Total Peak Parking Demand</b>			<b>638</b>		
<b>Total Parking Spaces Provided</b>			<b>760</b>		

As depicted above the off-street parking provided by the Project exceeds peak parking demand.

## Mode Share

The Project was designed under the GPD regulations of the prior Zoning Ordinance. The GPD regulations promoted sustainability by requiring that the Project demonstrate it was LEED Certifiable. As such, the Project has incorporated measures that promote alternative modes of transportation such as walking, bicycling, and public transportation that will further reduce parking demand. The following are examples of mode share incorporated by the Project:

- Bicycle storage facilities – The Project provides facilities for 108 bicycle parking spaces on-site which promotes the use of bicycles as an alternative mode of transportation to/from the Project.
- Multi-use path – The Project constructed a 10-foot wide, 1,500 LF multi-use path along the site's Constitution Avenue and Lafayette Road (Route 1) frontages. The multi-use path promotes the use of bicycles and walking as alternative modes of transportation to/from the Project. The multi-use path ultimately will become part of a larger network of pedestrian and bicycle facilities along Route 1 as part of the future NHDOT Route 1 Corridor Improvement Project. Based on a Public Advisory Committee Meeting conducted by NHDOT on July 11, 2019, the Route 1 Corridor Improvement Project is anticipated to begin design this year with the start of construction occurring in 2025.
- COAST Bus Stop – The Project constructed a new COAST bus stop along Constitution Avenue which includes a new bus shelter and vehicle pull off along the new multi-use path described above. This COAST Bus stop promotes the use of public transportation as an alternative mode of transportation to/from the Project.

## Conclusions

Based on parking generation calculations that were performed utilizing the ITE Parking Generation Manual, the peak parking demand of 638 spaces was generated which is less than the 760 off-street parking spaces provided by the Project. In addition, the Project promotes alternative modes of transportation such as walking, bicycling, and public transportation by incorporating 108 bicycle storage spaces on-site, a 10-foot wide multi-use path along both frontages of Constitution Avenue and Lafayette Road (Route 1) and a COAST bus stop. The integration of these mode share facilities will help further reduce the off-street parking demand for the Project.

## **Attachments**

**Parking Generation Data**

**Current Site Plan with Change of Use**

**Prior Approved Site Plan**

**Minimum Parking Requirement per City Zoning Ordinance**

## Multifamily Housing (Mid-Rise) (221)

**Peak Period Parking Demand vs: Dwelling Units**

**On a: Weekday (Monday - Friday)**

**Setting/Location: General Urban/Suburban (no nearby rail transit)**

**Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.**

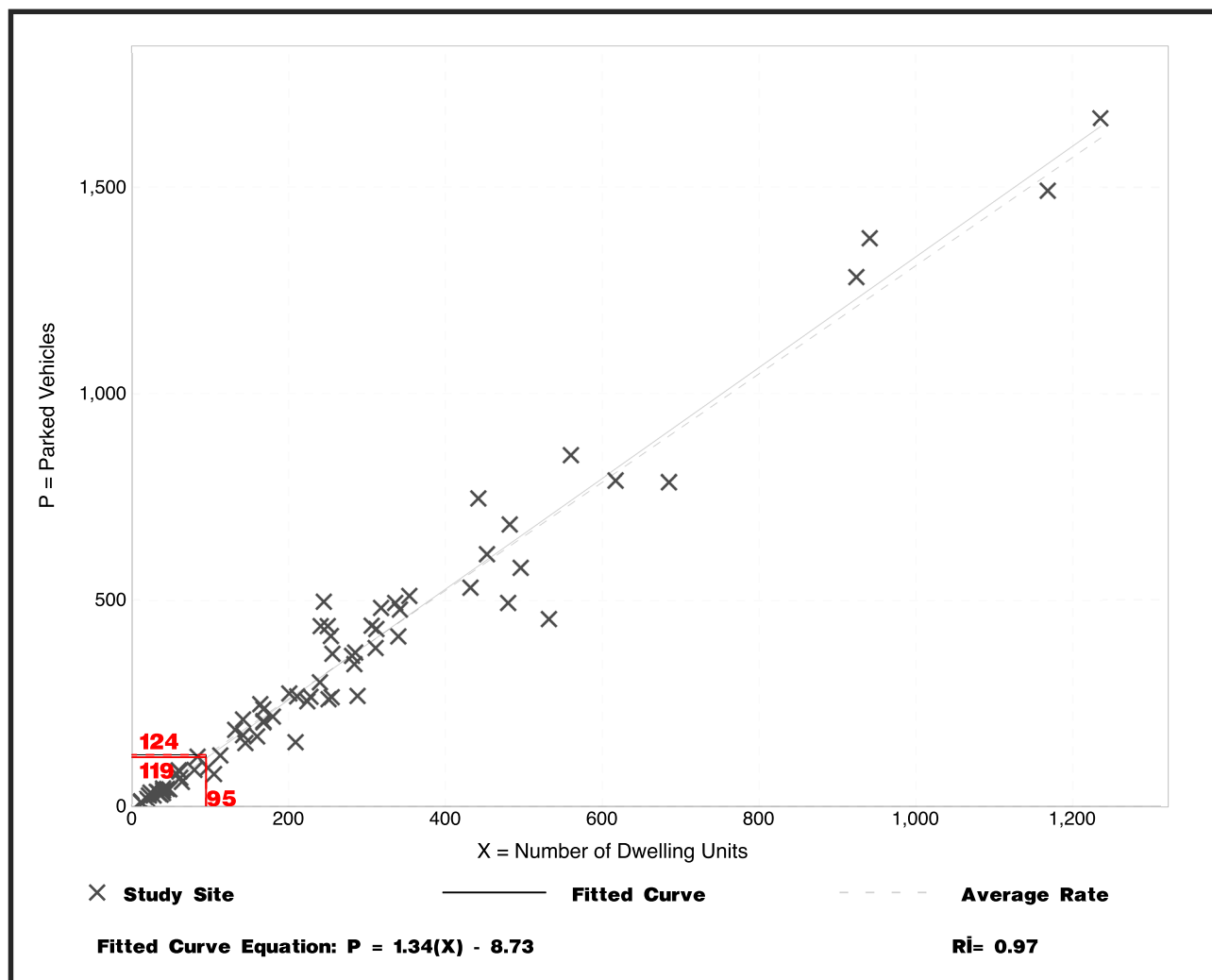
Number of Studies: 73

Avg. Num. of Dwelling Units: 261

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.31	0.75 - 2.03	1.13 / 1.47	1.26 - 1.36	0.22 (17%)

### Data Plot and Equation



*Parking Generation Manual, 5th Edition* • Institute of Transportation Engineers

## Multifamily Housing (Mid-Rise) (221)

**Peak Period Parking Demand vs: Dwelling Units**

**On a: Saturday**

**Setting/Location: General Urban/Suburban (no nearby rail transit)**

**Peak Period of Parking Demand: 11:00 p.m. - 7:00 a.m.**

Number of Studies: 3

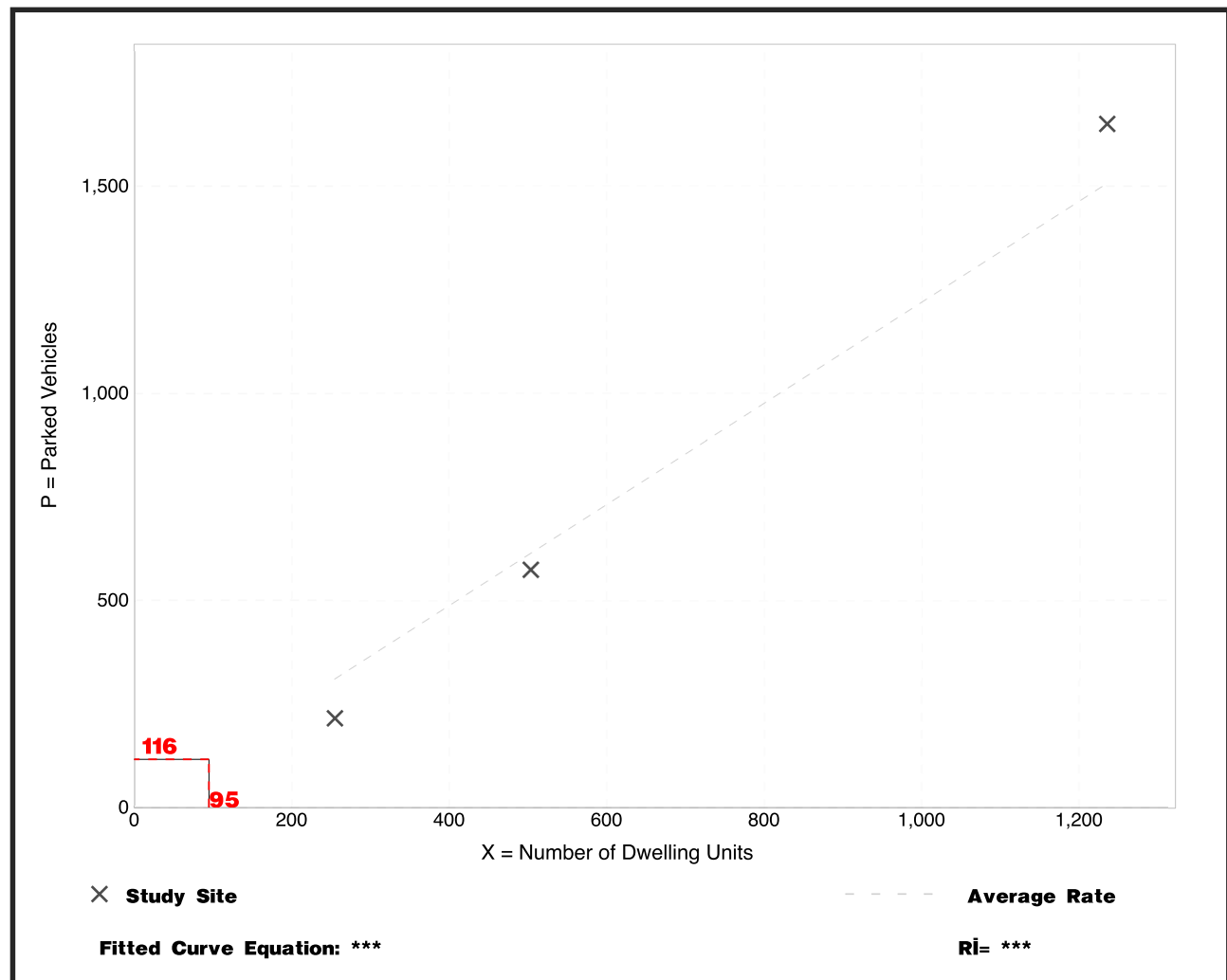
Avg. Num. of Dwelling Units: 665

### Peak Period Parking Demand per Dwelling Unit

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.22	0.84 - 1.33	0.94 / 1.33	***	0.20 (16%)

### Data Plot and Equation

**Caution – Small Sample Size**



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## Shopping Center - Non-December (820)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GLA**

**On a: Weekday (Monday - Thursday)**

**Setting/Location: General Urban/Suburban**

**Peak Period of Parking Demand: 12:00 - 6:00 p.m.**

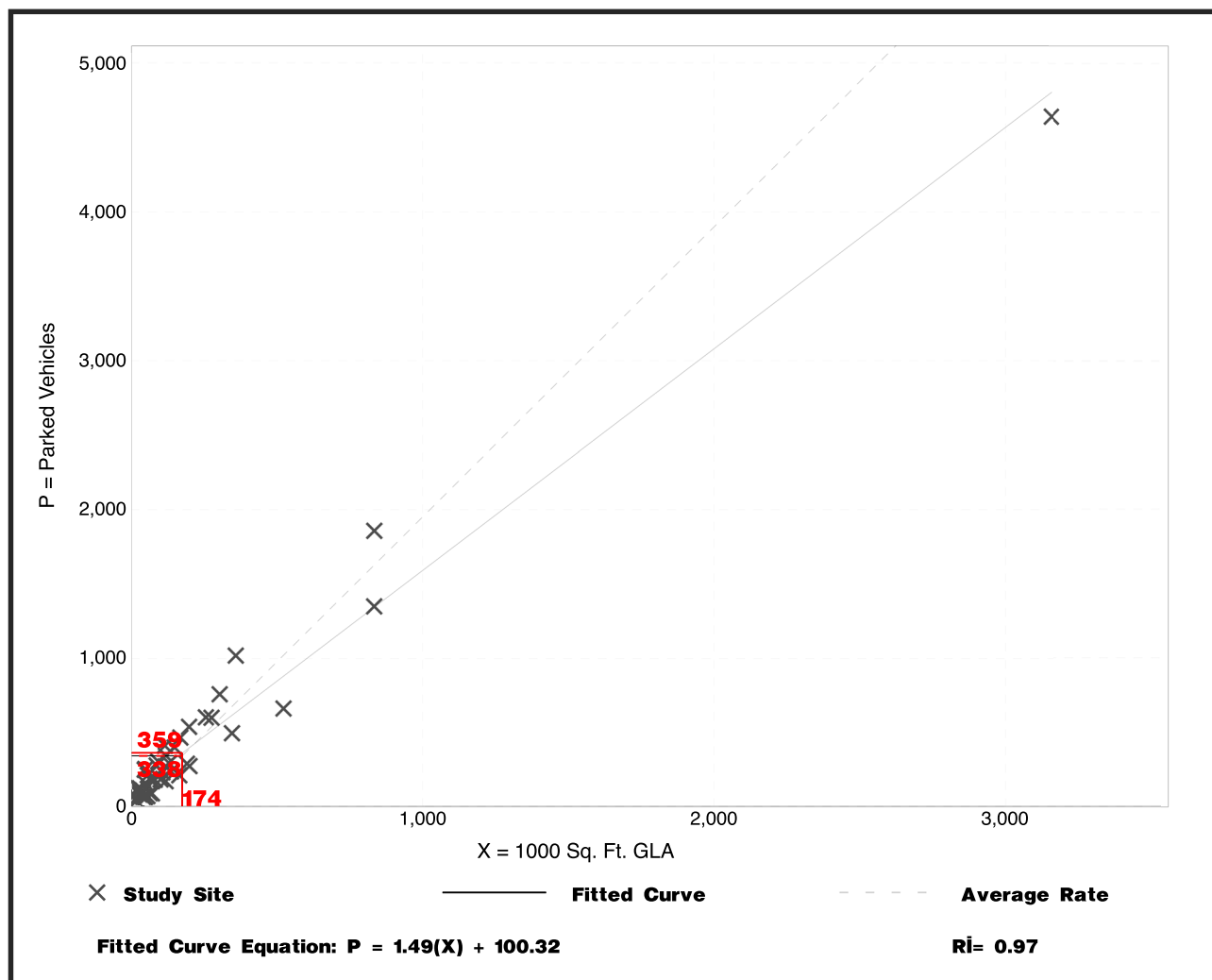
Number of Studies: 46

Avg. 1000 Sq. Ft. GLA: 218

### Peak Period Parking Demand per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.95	1.27 - 7.98	1.99 / 3.68	1.73 - 2.17	0.75 (38%)

### Data Plot and Equation



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## Shopping Center - Non-December (820)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GLA**

**On a: Friday**

**Setting/Location: General Urban/Suburban**

**Peak Period of Parking Demand: 12:00 - 6:00 p.m.**

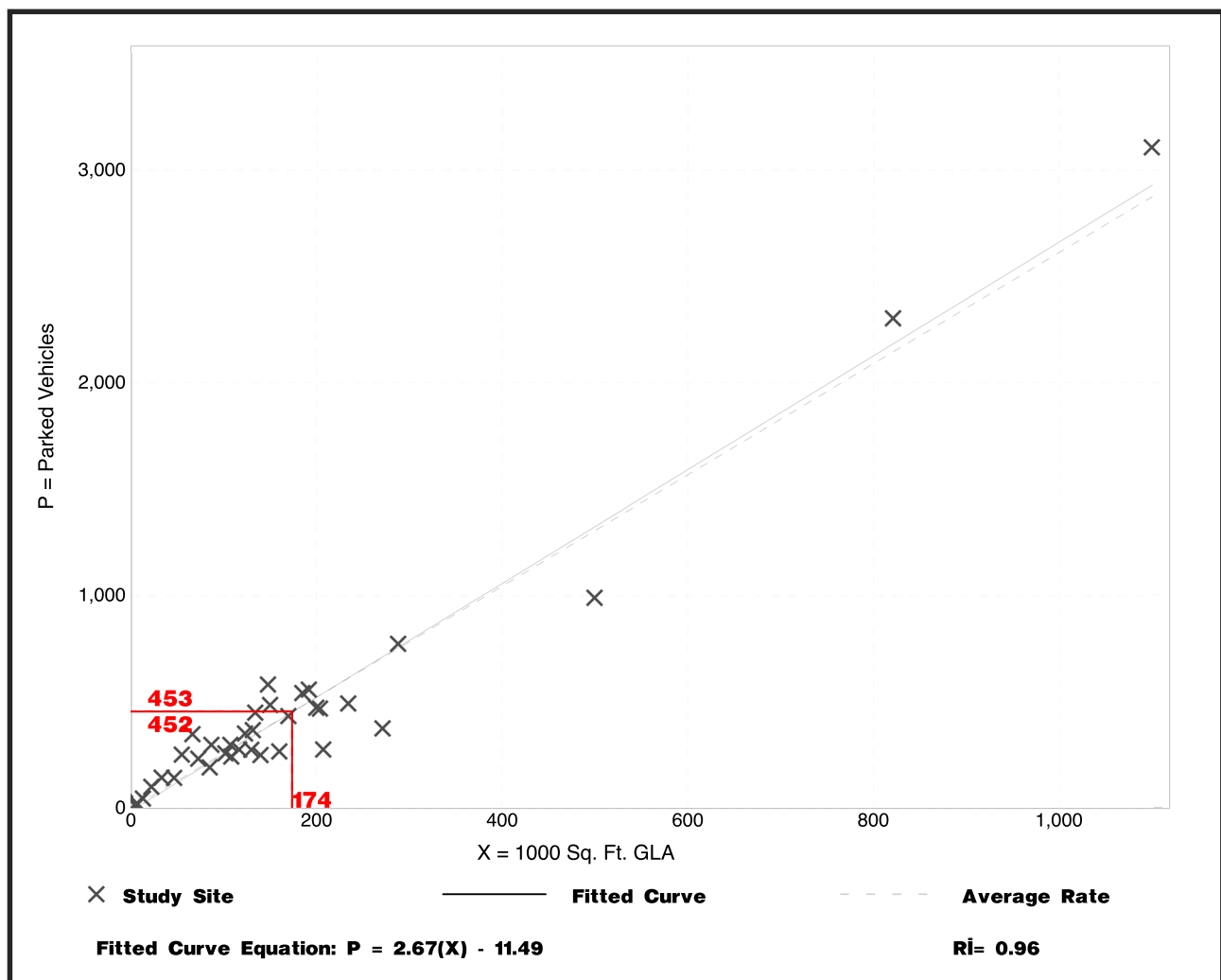
Number of Studies: 37

Avg. 1000 Sq. Ft. GLA: 174

### Peak Period Parking Demand per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.61	1.34 - 5.25	2.37 / 3.78	2.39 - 2.83	0.67 (26%)

### Data Plot and Equation



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## Shopping Center - Non-December (820)

**Peak Period Parking Demand vs: 1000 Sq. Ft. GLA**

**On a: Saturday**

**Setting/Location: General Urban/Suburban**

**Peak Period of Parking Demand: 11:00 a.m. - 5:00 p.m.**

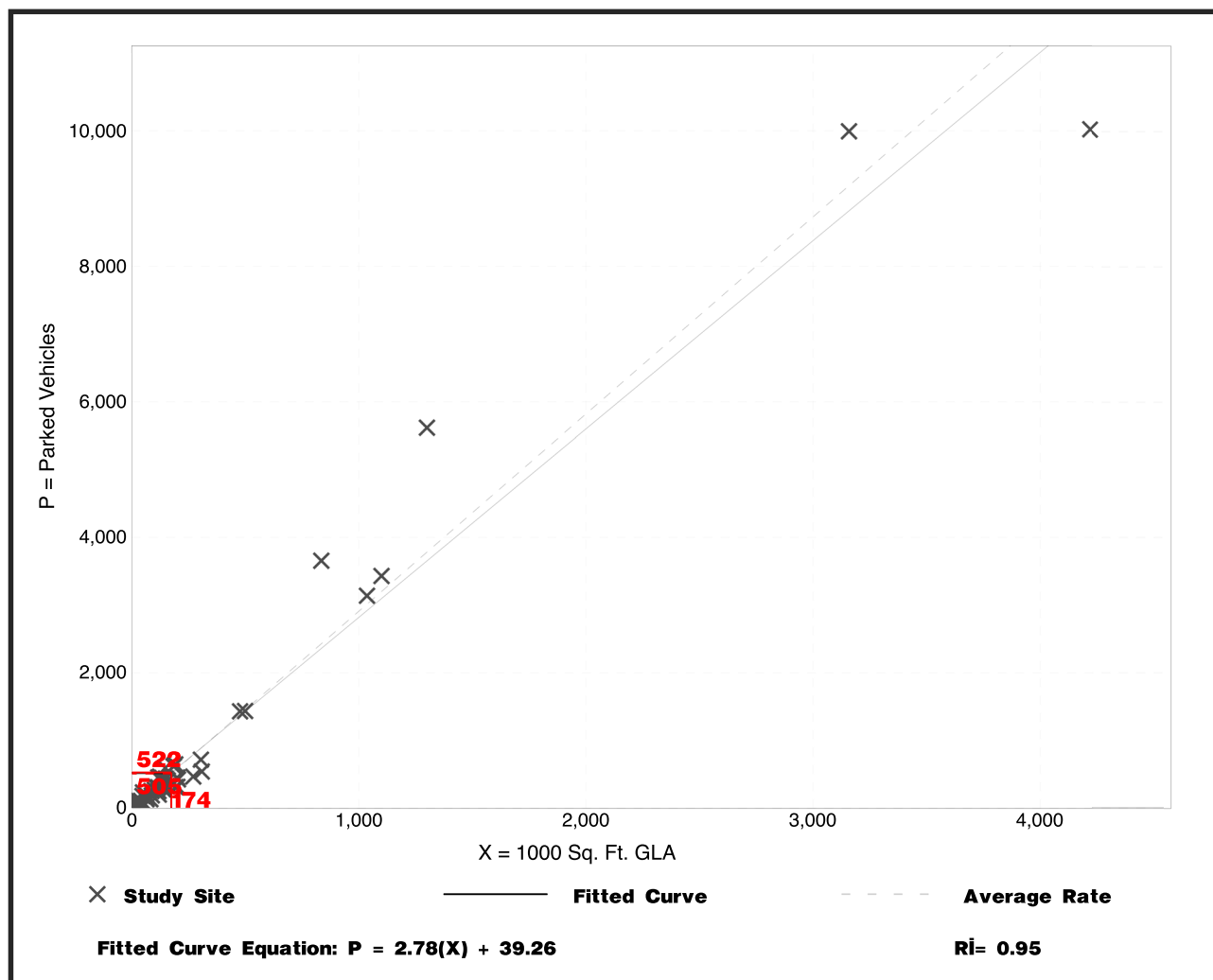
Number of Studies: 58

Avg. 1000 Sq. Ft. GLA: 313

### Peak Period Parking Demand per 1000 Sq. Ft. GLA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
2.91	1.15 - 4.72	2.27 / 3.74	2.72 - 3.10	0.74 (25%)

### Data Plot and Equation

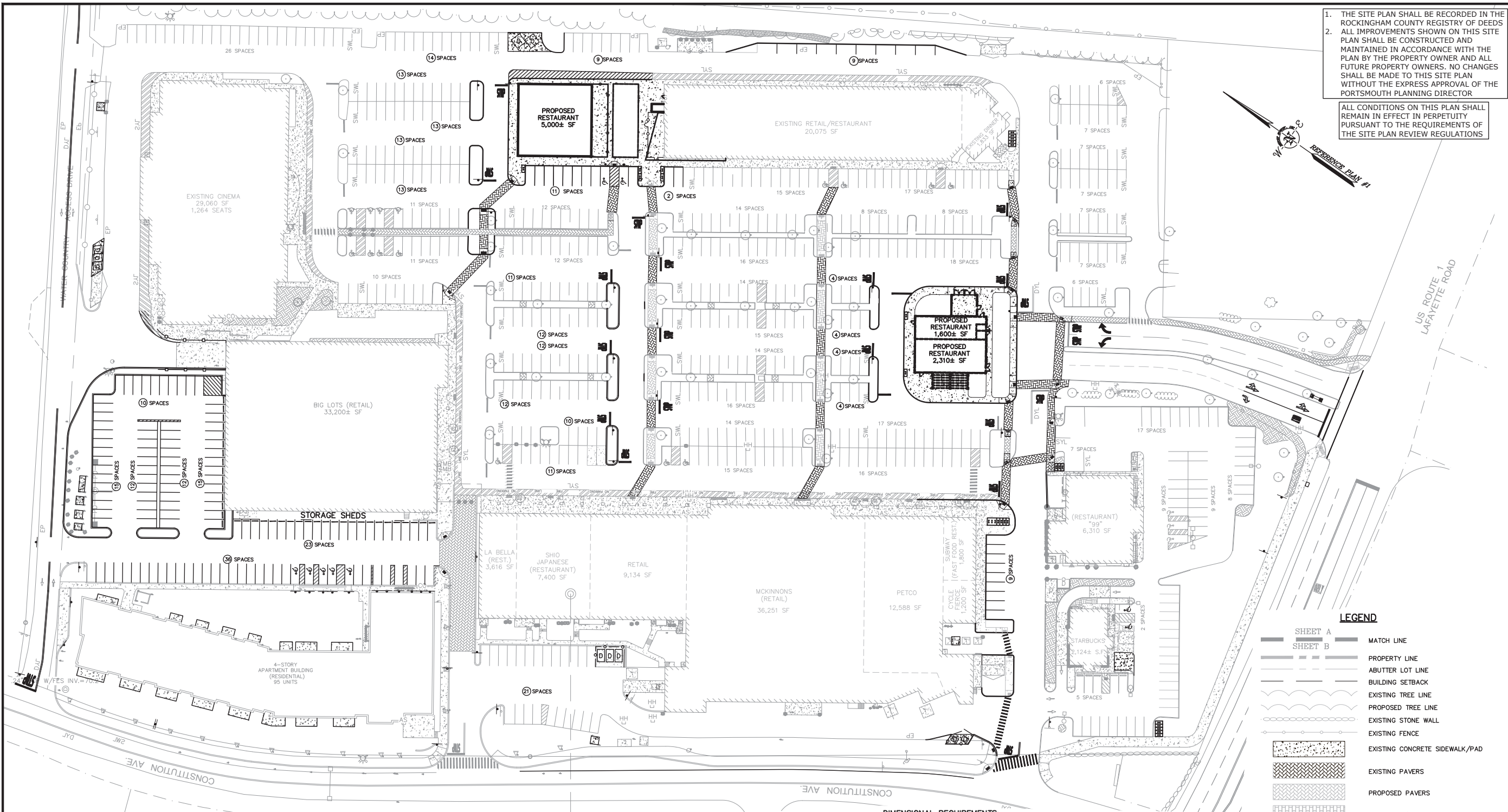


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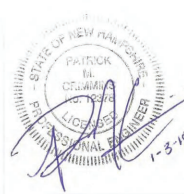
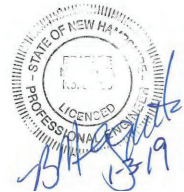
FILENAME: W-1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA (DWG-CAD) (DESIGN) W-1725-4-DSGN.DWG  
SAVE DATE: 1/4/2019 8:37 AM  
PLOT DATE: 1/4/2019 8:48 AM



1. THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS

**Tighe&Bond**  
Consulting Engineers  
www.tighebond.com



## Waterstone Retail Development

### Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

#### LEGEND

SHEET A	SHEET B	MATCH LINE
---	---	PROPERTY LINE
---	---	ABUTTER LOT LINE
---	---	BUILDING SETBACK
---	---	EXISTING TREE LINE
---	---	PROPOSED TREE LINE
---	---	EXISTING STONE WALL
---	---	EXISTING FENCE
---	---	EXISTING CONCRETE SIDEWALK/PAD
---	---	EXISTING PAVERS
---	---	PROPOSED PAVERS
---	---	PROPOSED STAMPED ASPHALT
---	---	PROPOSED CONCRETE SIDEWALK/PAD
---	---	PROPOSED BITUMINOUS CONCRETE
---	---	EXISTING SIGN
---	---	PROPOSED SIGN
---	---	EXISTING LIGHT
---	---	LIGHT POLE BASE
---	---	EXISTING BOLLARD
---	---	PROPOSED BOLLARD
---	---	EXISTING TRAFFIC SIGNAL
---	---	PROPOSED EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURBING
---	---	SLOPED GRANITE CURBING
---	---	MONOLITHIC CONCRETE CURB
---	---	CAPE COD BERM
---	---	RADIUS
---	---	DOUBLE YELLOW CENTERLINE
---	---	SINGLE SOLID WHITE LINE
---	---	SINGLE DASHED WHITE LINE
---	---	PROPOSED PARKING SPACES
---	---	EXISTING PARKING SPACES

#### PARKING CALCULATIONS:

**SHOPPING CENTER:** MIN.=1 SPACE PER 350 SF GFA  
MAX.=1 SPACE PER 250 SF GFA  
**RESIDENTIAL:** MIN.=1.3 SPACE PER DWELLING UNIT  
MAX.=1.8 SPACE PER DWELLING UNIT

#### LOADING CALCULATIONS:

**RETAIL:** 0 SPACES FOR 0 - 10,000 SF  
1 SPACE FOR 10,001 - 25,000 SF  
2 SPACES FOR 25,001 - 60,000 SF  
**OTHER NON-RESIDENTIAL:** 0 SPACES FOR 0 - 10,000 SF  
1 SPACE FOR 10,001 SF - 40,000 SF

SHOPPING CENTER:	AREA (SF):	MIN. REQ'D	PARKING SPACES:	LOADING SPACES:
TENANT:			MAX. ALLOWED	MIN. REQ'D
PETCO	±12,588			
CYCLE FIERCE	±1,200			
EXISTING RETAIL/RESTAURANT	±20,075			
LA BELLA	±3,616			
SHIO JAPANESE	±7,400			
BIG LOTS	±33,200			
SUBWAY	±1,800			
THE 99	±6,310			
McKINNON'S	±36,251			
RETAIL	±9,134			
DINER	±1,833			
CINEMA	±29,060			
PROPOSED RESTAURANT	±5,000			
PROPOSED RESTAURANT	±1,600			
PROPOSED RESTAURANT	±2,310			
STARBUCKS	±2,124			
TOTAL SHOPPING CENTER	±173,501	496	694	9
RESIDENTIAL:				
PROPOSED RESIDENTIAL (LOBBY)	±2,413	N/A	N/A	
DWELLING UNITS-FLOORS 1-4	95 UNITS	124	171	
TOTAL PARKING		620	865	760

#### SITE DATA

**LOCATION:** 2454 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
MAP 273 LOT 3  
**ZONING DISTRICT:** GATEWAY PLANNED DEVELOPMENT (GPD) IN GATEWAY DISTRICT (GW)  
**PERMITTED USE:** SHOPPING CENTER/RESIDENTIAL

#### PARKING REQUIREMENTS:

	REQUIRED	MAX. ALLOWED	PROVIDED
TOTAL PARKING SPACES:	617	861	760*
ACCESSIBLE SPACES (2% OF TOTAL):	14		23
VAN ACCESSIBLE SPACES (1 PER 8 ACCESSIBLE SPACES):	3		16
PARKING STALL SIZE:	8.5 FT X 19 FT		9.0 FT X 19 FT
DRIVE AISLE:	24 FT		24 FT, 26 FT

\* VARIANCE GRANTED BY BOARD OF ADJUSTMENT ON JULY 24, 2012 FOR UP TO 848 SPACES

#### LOADING REQUIREMENTS:

	REQUIRED	PROVIDED
TOTAL LOADING SPACES:	9	16
LOADING BERTH SIZE:		
FIRST REQUIRED BERTH:	12 FT X 20 FT	12 FT X 20 FT
ADDITIONAL REQUIRED BERTH:	12 FT X 45 FT	12 FT X 45 FT

#### DIMENSIONAL REQUIREMENTS:

DEVELOPMENT INTENSITY:	REQUIRED	PROVIDED
MAXIMUM FLOOR RATIO:	1.0	0.34 RESIDENTIAL = 104,528 SF NON-RESIDENTIAL = 173,501 SF (RATIO = 278,029 SF / 814,896 SF)
MINIMUM LOT AREA PER DWELLING UNIT:	237,500 SF (95 UNITS X 2,500 SF/UNIT)	814,896 SF
RESIDENTIAL AREA RATIO:	30% - 70%	38%
LOT REQUIREMENTS:		
MINIMUM CONTINUOUS STREET FRONTAGE:	100 FT	±450 FT
MAXIMUM BUILDING COVERAGE:	75%	±22.6%
MINIMUM OPEN SPACE:	20%	±20.0%
MINIMUM PERCENT OF LOT FRONTAGE OPEN SPACE OR BUILDING:	60%	±84%
MINIMUM FRONT YARD FROM CENTERLINE OF LAFAYETTE:	70 FT	±151 FT
MAXIMUM FRONT YARD FROM CENTERLINE OF LAFAYETTE:	90 FT	±151 FT(1) 51'-7"(2)
MAXIMUM BUILDING HEIGHT:	45 FT (1.5 X 30FT)	34,760 SF
SITE DESIGN STANDARDS:		
PEDESTRIAN ORIENTED SPACE:	9,874 SF (1% OF TOTAL LOT AREA + 1% OF NON-RESIDENTIAL GFA)	±21.9 FT(1)(2)
PARKING SETBACKS:	50 FT	108 SPACES
BICYCLE PARKING:	15% OF OFF-STREET PARKING	8 FT
PEDESTRIAN WALKWAY THROUGHOUT SITE:	678 SPACES*0.15=102 SPACES	
WALKWAYS:	8 FT	
	150 FT APART IN PARKING LOTS	

- (1) EXISTING NON-CONFORMING
- (2) WAIVER GRANTED ON APRIL 21, 2016

MINIMUM PARKING REQUIRED PER CITY ZONING ORDINANCE						
Type of Use		Weekday		Weekend		Nighttime (Midnight– 6:00 AM)
		Daytime (8:00 AM – 5:00 PM)	Evening (6:00 PM– Midnight)	Daytime (8:00 AM– 5:00 PM)	Evening (6:00 PM– Midnight)	
Residential		60%	100%	80%	100%	100%
Retail/Service		60%	90%	100%	70%	5%
Restaurant		70%	100%	80%	100%	10%
Entertainment		40%	100%	80%	100%	10%
Other Institutional		40%	100%	80%	100%	10%

Use	Required Spaces per Section 10.1112.30	Required Shared Spaces per Section 10.1112.61				
EXISTING RETAIL (PETCO)	42	26	38	42	30	3
EXISTING RETAIL (CYCLE FIERCE)	4	3	4	4	3	1
EXISTING RESTAURANT	40	28	40	32	40	4
EXISTING RETAIL	11	7	10	11	8	1
EXISTING HEATH CLUB / YOGA STUDIO (PURE BARRE)	8	4	8	7	8	1
EXISTING PERSONAL SERVICE (SALON No. 5)	4	2	4	4	4	1
EXISTING HEATH CLUB / YOGA STUDIO (ORANGE THEORY)	12	5	12	10	12	2
EXISTING RESTAURANT (PEACHEAVE)	22	16	22	18	22	3
EXISTING RETAIL (LINDA TAYLOR)	4	3	4	4	3	1
EXISTING PERSONAL SERVICE (LASH OUT BEAUTY)	3	2	3	3	3	1
EXISTING PERSONAL SERVICE (HAND & STONE)	7	3	7	6	7	1
EXISTING RETAIL (MUSE)	13	8	12	13	10	1
EXISTING RESTAURANT (SHIO)	74	52	74	60	74	8
PROPOSED RETAIL (former Big Lots)	48	29	44	48	34	3
PROPOSED INDOOR RECREATIONAL (PINZ)	112	45	112	90	112	12
EXISTING RESTAURANT (SUBWAY)	18	13	18	15	18	2
EXISTING RESTAURANT (THE 99)	64	45	64	52	64	7
EXISTING RETAIL (MCKINNON'S)	121	73	109	121	85	7
EXISTING RETAIL	9	6	9	9	7	1
EXISTING RETAIL	23	14	21	23	17	2
EXISTING RESTAURANT (DINER)	19	14	19	16	19	2
EXISTING CINEMA (CINEMAGIC)	512	205	512	410	512	52
PROPOSED RESTAURANT	50	35	50	40	50	5
PROPOSED RESTAURANT	16	12	16	13	16	2
PROPOSED RESTAURANT (CHIPOTLE)	24	17	24	20	24	3
EXISTING RESTAURANT (STARBUCKS)	22	16	22	18	22	3
EXISTING RESIDENTIAL UNITS < 500 SF	1	1	1	1	1	1
EXISTING RESIDENTIAL UNITS 500 - 750 SF	26	16	26	21	26	26
EXISTING RESIDENTIAL UNITS >750 SF	89	54	89	72	89	89
EXISTING SPACES FOR RESIDENTIAL VISITORS	24	15	24	20	24	24
Total Required Shared Spaces:		769	1398	1203	1344	269
Total Provided:		760				



# SOUTHGATE PLAZA REDEVELOPMENT

2454 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE

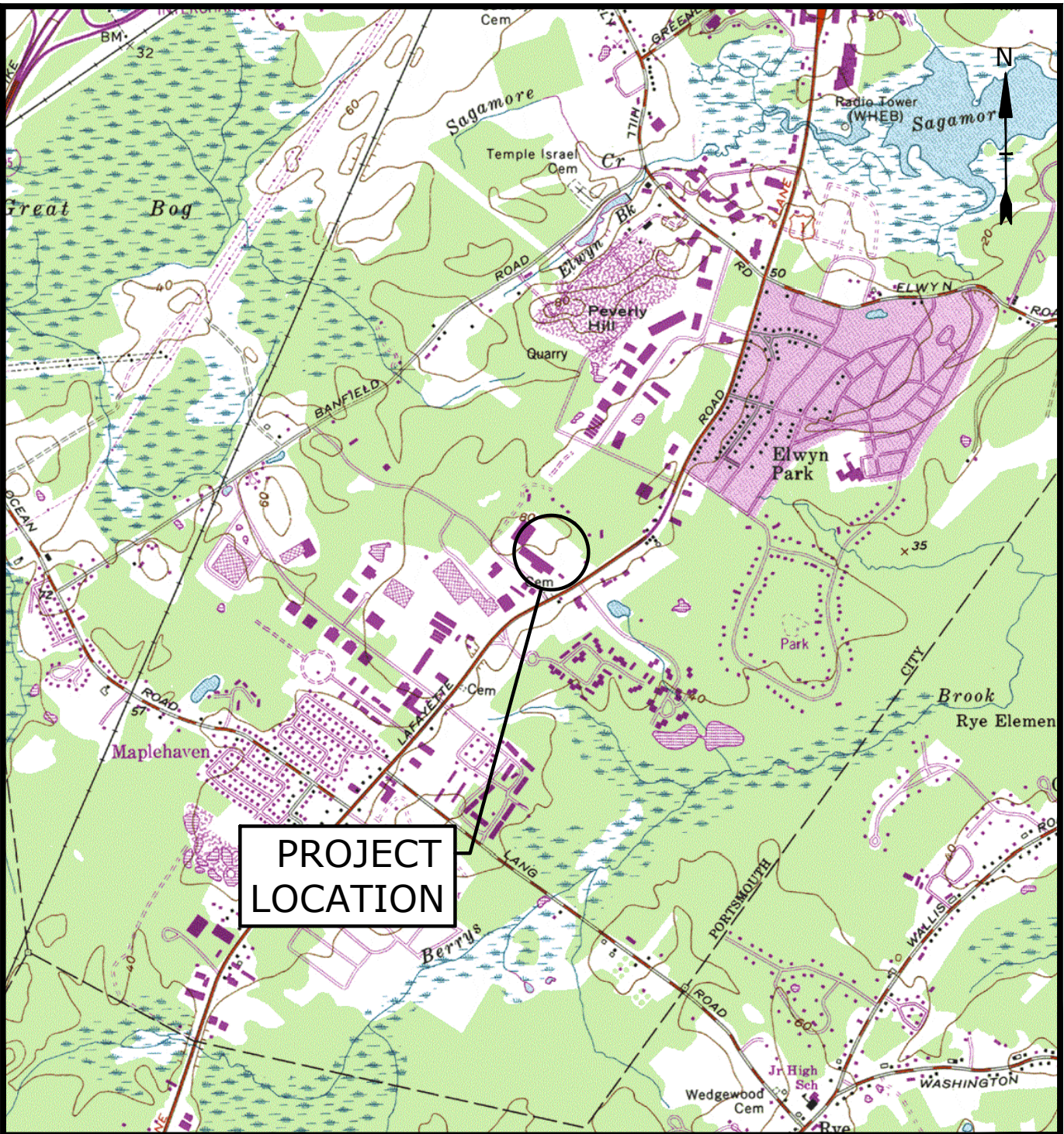
## SITE PLANS

NOVEMBER 19, 2018

LAST REVISED: JUNE 7, 2019

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	06/07/2019
C-1	PLAZA GENERAL NOTES SHEET	12/10/2018
C-2	PLAZA EXISTING CONDITIONS / DEMOLITION PLAN	06/07/2019
C-3	PLAZA OVERALL SITE PLAN	06/07/2019
C-3A	PLAZA SITE PLAN	06/07/2019
C-4	PLAZA GRADING, DRAINAGE & EROSION CONTROL PLAN	06/07/2019
C-5	PLAZA UTILITY PLAN	06/07/2019
C-6	PLAZA LANDSCAPE PLAN	06/07/2019
C-7	PLAZA PHOTOMETRICS PLAN	06/07/2019
C-8	EROSION CONTROL NOTES & DETAILS SHEET	01/03/2019
C-9	DETAILS SHEET	12/10/2018
C-10	DETAILS SHEET	12/10/2018
C-11	DETAILS SHEET	12/10/2018
C-12	DETAILS SHEET	06/07/2019
C-14	PLAZA TRUCK TURNING PLAN	06/07/2019
P1	EXTERIOR RENDERINGS	11/29/2018

LIST OF PERMITS & APPROVALS		
STATE	STATUS	DATE
NHDES ALTERATION OF TERRAIN	APPROVED	06/21/2016
NHDES SEWER CONNECTION PERMIT	APPROVED	08/16/2016
NHDOT DRIVEWAY PERMIT	APPROVED	12/22/2017
LOCAL		
SITE PLAN REVIEW	APPROVED	12/08/2017

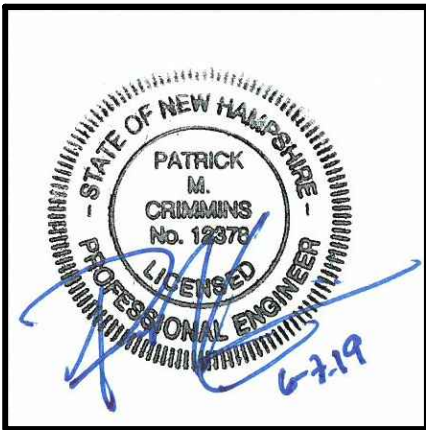


LOCATION MAP  
SCALE: 1" = 2,000'

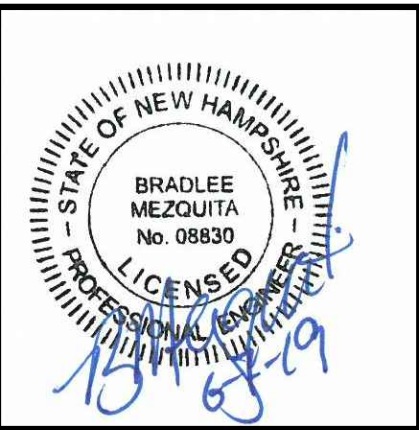
CONSTRUCTION NOTES:  
1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.  
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.  
3. TIGHE & BOND, ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.

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**COMPLETE SET 16 SHEETS**





FILENAME: J:\V\W1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA (DWG-CAD) DESIGN\W-1725-4-DSGN.DWG  
SAVE DATE: 12/11/2018 4:09 PM  
PLOT DATE: 12/11/2018 4:14 PM

DEMOLITION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDERGROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, TREES AND LANDSCAPING.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- CONTRACTOR SHALL CONDUCT CONSTRUCTION ACTIVITIES SO AS NOT TO DISTURB EXISTING BOUNDS OR OTHER PROPERTY LINE MONUMENTATION. SHOULD ANY PROPERTY LINE MONUMENTATION BE ACCIDENTALLY DISTURBED BY THE CONTRACTOR, HE SHALL EMPLOY A LICENSED LAND SURVEYOR TO RESET THE MONUMENT TO ITS ORIGINAL LOCATION, AND TO PREPARE A RECORDABLE PLAN CERTIFYING THE LOCATION OF THE RESET MONUMENT.
- CONTRACTOR SHALL PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION ALONG ROUTE ONE SHALL BE PROVIDED IF DETERMINED NECESSARY BY THE NHDOT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACKS" BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED. INLET PROTECTION ALONG ROUTE ONE SHALL BE COORDINATED WITH THE NHDOT.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES, TEMPORARY SERVICES, IF REQUIRED, SHALL FULLY COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.
- A CONSTRUCTION MANAGEMENT PLAN SHALL BE APPROVED PRIOR TO THE START OF DEMOLITION. DEMOLITION PLANS SHALL BE INCLUDED IN THE CONSTRUCTION MANAGEMENT PLAN DOCUMENT.
- THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- TREE PROTECTION SHALL BE CONSTRUCTED AROUND LANDSCAPING TO REMAIN. SEE LANDSCAPE PLAN FOR LANDSCAPING TO REMAIN.
- ALL PAVEMENT SHALL BE RECLAIMED, REGRADED, AND REMOVED AS NECESSARY.
- DEMOLITION LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF REMOVAL PRIOR TO SUBMITTING BID AND APPROVAL OF CMMP. ANY CHANGES SHALL BE PROVIDED TO THE CITY OF PORTSMOUTH.
- CONTRACTOR SHALL NOTIFY CITY OF PORTSMOUTH PRIOR TO THE START OF ANY DEMOLITION ACTIVITIES.

SITE NOTES:

- STRIPE PARKING AREA AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, HANDICAP SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. STOP BARS, HANDICAP SYMBOLS, CROSS WALKS, ARROWS AND LEGENDS SHALL BE THERMOPLASTIC MATERIAL. PARKING SPACES AND PAINTED ISLANDS SHALL BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINES AND MEDIAN ISLANDS SHALL BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, HANDICAP SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES. DESIGN ENGINEER TO PROVIDE COORDINATES FOR EDGE OF PAVEMENT, PC'S & PT'S.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY CODES & SPECIFICATIONS.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDINGS.
- ALL WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.
- ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.

14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

- CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT WHICH IS COMPATIBLE WITH THE CITY'S GIS FORMAT ON A DISK TO THE PORTSMOUTH DPW UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW REMOVAL WILL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN SNOW STORAGE AREAS HAVE REACHED CAPACITY.
- BIKE STORAGE WILL BE PROVIDED IN THE DEDICATED STORAGE UNITS PROPOSED ON THE SECOND STORY OF THE RESIDENTIAL BUILDING.
- PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN NECESSARY TO MAINTAIN ADEQUATE SNOW STORAGE AREAS.
- THE MULTI-USE PATH SHALL BE COMPLETED WITHIN TWO MONTHS OF THE COMPLETION OF THE RESIDENTIAL DEVELOPMENT.
- BASED ON THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ONESTOP GIS MAPPING SERVICE THE PROPOSED DEVELOPMENT IS NOT LOCATED WITH A WELLHEAD PROTECTION AREA.
- MEASURES USED TO MINIMIZE THE IMPERVIOUS SURFACES ON SITE HAVE BEEN IMPLEMENTED THROUGH THE USE OF PERVIOUS PAVER SIDEWALKS.

GRADING AND DRAINAGE NOTES:

- COMPACTION REQUIREMENTS  
BELOW PAVED OR CONCRETE AREAS 95%  
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%  
BELOW LOAM AND SEED AREAS 90%  
\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- ALL STORM DRAIN SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HIQ", ADS N-12, OR APPROVED EQUAL) UNLESS OTHERWISE NOTED.
- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PORTSMOUTH STANDARDS.
- ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- SEE UTILITIES PLAN FOR ALL SITE UTILITY INFORMATION.
- ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CATCH BASINS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
- THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL DRAINAGE STRUCTURES FREE OF SEDIMENT AND DEBRIS IMMEDIATELY UPON THE COMPLETION OF CONSTRUCTION. THESE DRAINAGE STRUCTURES SHALL INCLUDE ALL STRUCTURES THAT ARE WITHIN THE LIMIT OF WORK AND MUNICIPAL STRUCTURES THAT ARE DOWNSTREAM FROM THE PROJECT TIE-INS.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED FERTILIZER AND MULCH.
- ALL PROPOSED CATCHBASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
- THE CONTRACTOR SHALL COMPLY WITH THE CITY OF PORTSMOUTH APPROVED CONSTRUCTION MANAGEMENT PLAN PRIOR TO THE START OF CONSTRUCTION.
- PROJECT SURVEY TO PROVIDE PERMANENT PROJECT BENCHMARKS.
- TREE BOX FILTERS SHOULD NOT BE PLACED INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN STABILIZED.

EROSION CONTROL NOTES:

- INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
- SEE GENERAL EROSION CONTROL NOTES ON EROSION CONTROL NOTES AND DETAIL SHEETS.
- PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS AND ON CITY MAINTAINED ROADS. INLET PROTECTION ON ROUTE ONE SHALL BE PROVIDED PER THE REQUIREMENTS OF THE NHDOT. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED AS REQUIRED FOR EACH PHASE OF CONSTRUCTION. EXISTING LOCATIONS OF TEMPORARY STABILIZED CONSTRUCTION ENTRANCES SHALL BE COORDINATED WITH THE ENGINEER AND THE CITY OF PORTSMOUTH PRIOR TO THE START OF CONSTRUCTION.
- INSPECT INLET PROTECTION AND SILT FENCES DAILY AND AFTER EACH RAIN STORM OF 0.5 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 4" LOAM, SEED, FERTILIZER AND MULCH.
- CONSTRUCT EXCELSIOR MAT ON ALL SLOPES STEEPER THAN 3:1.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
- CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL CATCHBASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN PAVED.
- SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
- CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.
- SILT CONTROL MEASURES SHALL BE PROVIDED FOR CONSTRUCTION DEWATERING DISCHARGED TO EXISTING DRAINAGE STRUCTURES. A DEWATERING PLAN SHALL BE INCLUDED WITH THE CONSTRUCTION MANAGEMENT AND MITIGATION PLAN THAT IS TO BE APPROVED BY THE CITY OF PORTSMOUTH PRIOR TO THE START OF CONSTRUCTION.

UTILITIES NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.  
NATURAL GAS -CITY OF PORTSMOUTH DPW WATER DIVISION  
SEWER -CITY OF PORTSMOUTH DPW SEWER DIVISION  
ELECTRIC -EVERSOURCE  
TELEPHONE -FAIRPORT COMMUNICATIONS
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLANS FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.

- ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH DPW WATER DIVISION. ALL LEAKAGE TESTING SHALL CONFORM TO AWWA STANDARDS AND REPAIRED TO MEET STANDARDS AS NECESSARY.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- ALL WORK WITHIN THE CITY ROW SHALL BE COORDINATED WITH CITY OF PORTSMOUTH. ALL WORK WITHIN THE STATE ROW SHALL BE COORDINATED WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO EXISTING BUSINESSES AND ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS AND ELECTRIC SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH DPW WATER DIVISION.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO EXISTING BUSINESSES AND ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO EXISTING BUSINESSES AND ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT WHICH IS COMPATIBLE WITH THE CITY'S GIS FORMAT ON A DISK TO THE PORTSMOUTH DPW, OWNER, AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- COORDINATE ALL GREASE TRAP INSTALLATIONS/RELOCATIONS WITH CITY OF PORTSMOUTH WATER/SEWER ENGINEER.
- THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND FIRE RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- EACH OF THE NEW BUILDINGS SHALL INCLUDE A SEPARATE KNOX BOX. EACH NEW TENANT SHALL HAVE A SEPARATE FIRE ALARM SYSTEM AND SHALL COMPLY WITH ANY APPLICABLE NFPA CODES AND STANDARDS. KNOX BOX LOCATIONS AND FIRE ALARM SYSTEMS SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH FIRE DEPARTMENT.
- ALL WATER MAIN PIPE AND FITTINGS SHALL BE POLYWRAPPED AND THREE (3) BRASS WEDGES SHALL BE INSTALLED AT ALL NON-CONDUCTIVE PIPE JOINTS.
- SHOP DRAWINGS SUBMITTALS SHALL BE SENT TO ENGINEER OF RECORD AND TO 3RD PARTY INSPECTOR AND PORTSMOUTH DPW FOR REVIEW/APPROVAL. ENGINEER OF RECORD SHALL INDICATE CONFORMANCE TO PLANS OR NOTE THE DEVIATION PRIOR TO SENDING TO 3RD PARTY INSPECTOR AND DPW.

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER AND CITY. ALL PLANTS SHALL BE NURSERY GROWN.
- ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
- PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP. MISCELLANEOUS PUBLICATION NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
- ALL PLANTS MUST BE MOVED WITH THE ROOT SYSTEMS AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT SHALL BE BART OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS SHALL BE FRESHLY DUG. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELD-IN BY SETTING IN THE GROUND, AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS SHALL BE WRAPPED WITH WIND PROOF COVERING.
- PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
- THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- THREE (3) INCH BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE FOUR (4) INCHES OF LOAM AND SEED.
- SEE PLANTING DETAILS FOR WEED BARRIER INFORMATION.
- SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
- TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 "TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON.
- EXISTING TREES SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A COMPARABLE SIZE AND SPECIES TREE.

- THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF (1) YEAR PERIOD SHALL BE REPLACED IN KIND BY THE CONTRACTOR. AFTER THE (1) YEAR GUARANTEED PERIOD, SHOULD ANY TREES ON SITE DIE, THEY SHALL BE REPLACED IN KIND BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.
- BENCHES TO BE VICTOR STANLEY CLASSIC SERIES MODEL C-10 (6' LONG WITH MAHOGANY WOOD SLATS) OR APPROVED EQUAL. BOLT BENCH TO SIDEWALK WITH STAINLESS STEEL HARDWARE.

REFERENCE PLANS:

- "STANDARD BOUNDARY SURVEY MAP 273 -- LOT 3 FOR LAFAYETTE PLAZA, LLC" DATED FEBRUARY 2004 BY AMBIT ENGINEERING, INC. R.C.R.D. PLAN D-34306.
- "CONDOMINIUM SITE PLAN OF PORTSMOUTH GREEN CONDOMINIUM FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL, TAX MAP 273 LOT 3, 2454 LAFAYETTE ROAD (US TOUTE 1) PORTSMOUTH, NEW HAMPSHIRE" DATED OCTOBER XX, 2016 BY DOUCET SURVEY, INC. TO BE RECORDED IN THE R.C.R.D.
- "SOUTHGATE PLAZA RESIDENTIAL DEVELOPMENT, 2454 LAFAYETTE ROAD PORTSMOUTH NEW HAMPSHIRE SITE PLANS" DATED JANUARY 19, 2016 (REVISED SEPTEMBER 26, 2016) BY TIGHE & BOND CONSULTING ENGINEERS.
- "PROPOSED EASEMENT PLAN" FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL. DATED OCTOBER 26, 2016 BY DOUCET SURVEY, INC.

ABUTTERS

TAX MAP 273 LOT 5  
BELLWOOD ASSOCIATES LTD PARTNERSHIP  
C/O FESTIVAL FUN PARK  
PO BOX 543185  
DALLAS, TX 75354  
R.C.R.D. 3471/2972

TAX MAP 273 LOT 2-1  
MCLAUGHLIN MOVING CO INC  
75 CONSTITUTION AVE  
PORTSMOUTH, NH 03801  
R.C.R.D. 2387/132

TAX MAP 273 LOT 2-2  
MCLAUGHLIN MOVING CO INC  
75 CONSTITUTION AVE  
PORTSMOUTH, NH 03801  
R.C.R.D. 2387/132

TAX MAP 273 LOT 2-4  
MCLAUGHLIN MOVING CO INC  
75 CONSTITUTION AVE  
PORTSMOUTH, NH 03801  
R.C.R.D. 2404/1899

TAX MAP 273 LOT 2-5000  
O ICE LLC  
ATTN: PM DEPT #2422  
11995 EL CAMINO REAL  
SAN DIEGO, CA 92130  
R.C.R.D. 4847/2169

TAX MAP 273  
LOT 0

TAX MAP 272  
LOT 9-6

TAX MAP 272 LOT 8-2  
GAIL NELSON  
47 STONEWALL RD  
ALTON, NH 03809  
R.C.R.D. 5231/1684

TAX MAP 272 LOT 7  
ALISSA C BOURNIVAL  
REV LIVING TRUST  
PO BOX 855  
NORTH HAMPTON, NH 03862  
R.C.R.D. 5572/1895

TAX MAP 272 LOT 6-27  
STEVE LOUIE  
204 SPRINGBROOK CIR  
PORTSMOUTH, NH 03801  
R.C.R.D. 5719/1628

TAX MAP 272 LOT 10  
RYE PORT PROPERTIES LLC  
PO BOX 345  
STRATHAM, NH 03885  
R.C.R.D. 5083/763

TAX MAP 273 LOT 6  
FIRST COLEBROOK BANK  
ATTN: FINANCE DEPARTMENT  
132 MAIN ST  
COLEBROOK, NH 03576  
R.C.R.D. 5364/192

TAX MAP 273 LOT 5  
BELLWOOD ASSOCIATES LTD PARTNERSHIP  
C/O FESTIVAL FUN PARK  
PO BOX 543185  
DALLAS, TX 75354  
R.C.R.D. 3471/2972



**Waterstone Retail Development**

**Southgate Plaza Redevelopment**

Portsmouth,  
New Hampshire

C	12/10/18	PB Submission
B	12/4/18	Rev. per TAC Comments
A	11/19/18	TAC Submission
Mark	Date	Description

PROJECT NO:	W1725
FILE:	W-1725-4-DSGN.dwg
DRAWN BY:	NAH/CML
CHECKED:	PMC
APPROVED BY:	BLM/PMC

PLAZA GENERAL NOTES SHEET

SCALE: AS SHOWN



# Southgate Plaza Redevelopment

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### PLAZA EXISTING CONDITIONS / DEMOLITION PLAN

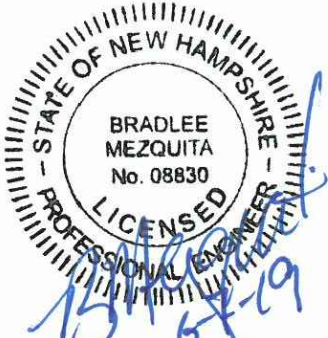
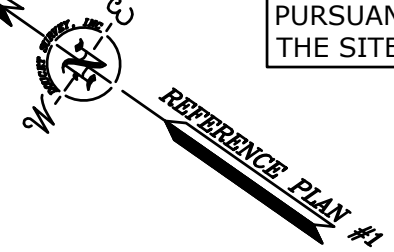
C-2





1. THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

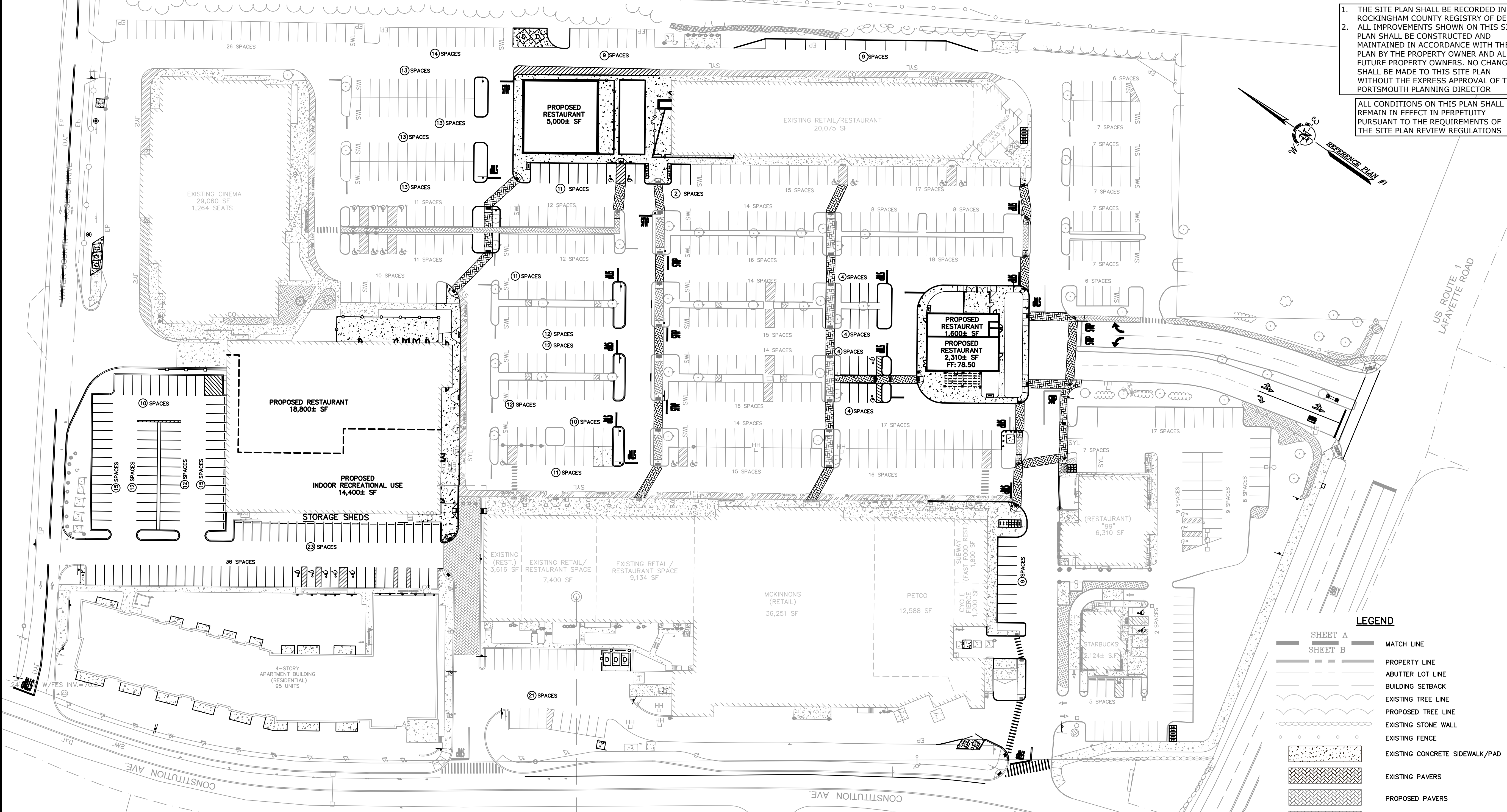
ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS



## Waterstone Retail Development

### Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire



PARKING CALCULATIONS:		LOADING CALCULATIONS:	
<b>SHOPPING CENTER:</b> MIN.=1 SPACE PER 350 SF GFA MAX.=1 SPACE PER 250 SF GFA		<b>RETAIL:</b> 0 SPACES FOR 0 - 10,000 SF 1 SPACE FOR 10,001 - 25,000 SF 2 SPACES FOR 25,001 - 60,000 SF	
<b>RESIDENTIAL:</b> MIN.=1.3 SPACE PER DWELLING UNIT MAX.=1.8 SPACE PER DWELLING UNIT		<b>OTHER NON-RESIDENTIAL:</b> 0 SPACES FOR 0 - 10,000 SF 1 SPACE FOR 10,001 SF - 40,000 SF	
<b>SHOPPING CENTER:</b>	<b>AREA (SF):</b>	<b>MIN. REQ'D</b>	<b>PARKING SPACES: MAX. ALLOWED PROVIDED</b>
TENANT:			
PETCO	±12,588		
CYCLE FIERCE	±1,200		
EXISTING RETAIL/RESTAURANT	±20,075		
EXISTING RETAIL/RESTAURANT (FORMERLY LA BELLA)	±3,616		
EXISTING RETAIL/RESTAURANT (SHO JAPANESE)	±7,400		
PROPOSED RESTAURANT (FORMERLY BIG LOTS)	±18,800		
PROPOSED INDOOR RECREATIONAL*(FORMERLY BIG LOTS)	±14,400		
SUBWAY	±1,800		
THE 99	±6,310		
MCKINNON'S	±36,251		
RETAIL	±9,134		
DINER	±1,833		
CINEMA	±29,060		
PROPOSED RESTAURANT	±5,000		
PROPOSED RESTAURANT	±1,600		
PROPOSED RESTAURANT	±2,310		
STARBUCKS	±2,124		
<b>TOTAL SHOPPING CENTER</b>	<b>±173,501</b>	<b>496</b>	<b>694</b>
<b>RESIDENTIAL:</b>			
PROPOSED RESIDENTIAL (LOBBY)	±2,413	N/A	N/A
DWELLING UNITS-FLOORS 1-4	95 UNITS	124	171
<b>TOTAL PARKING</b>		<b>620</b>	<b>865 760</b>

\* - PROPOSED USE REQUIRES SPECIAL EXCEPTION

<b>SITE DATA</b>	
LOCATION:	2454 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE MAP 273 LOT 3
ZONING DISTRICT:	GATEWAY PLANNED DEVELOPMENT (GPD) IN GATEWAY DISTRICT (GW)
PERMITTED USE:	SHOPPING CENTER/RESIDENTIAL

PARKING REQUIREMENTS:			
	REQUIRED	MAX. ALLOWED	PROVIDED
TOTAL PARKING SPACES:	617	861	760*
ACCESSIBLE SPACES (2% OF TOTAL):	14		25
VAN ACCESSIBLE SPACES (1 PER 8 ACCESSIBLE SPACES):	3		16
PARKING STALL SIZE:	8.5 FT X 19 FT		9.0 FT X 19 FT
DRIVE AISLE:	24 FT		24 FT, 26 FT
* VARIANCE GRANTED BY BOARD OF ADJUSTMENT ON JULY 24, 2012 FOR UP TO 848 SPACES			
LOADING REQUIREMENTS:			
	REQUIRED		PROVIDED
TOTAL LOADING SPACES:	9		16
LOADING BERTH SIZE:			
FIRST REQUIRED BERTH:	12 FT X 20 FT		12 FT X 20 FT
ADDITIONAL REQUIRED BERTH:	12 FT X 45 FT		12 FT X 45 FT

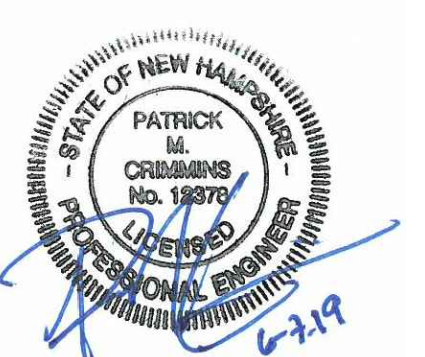
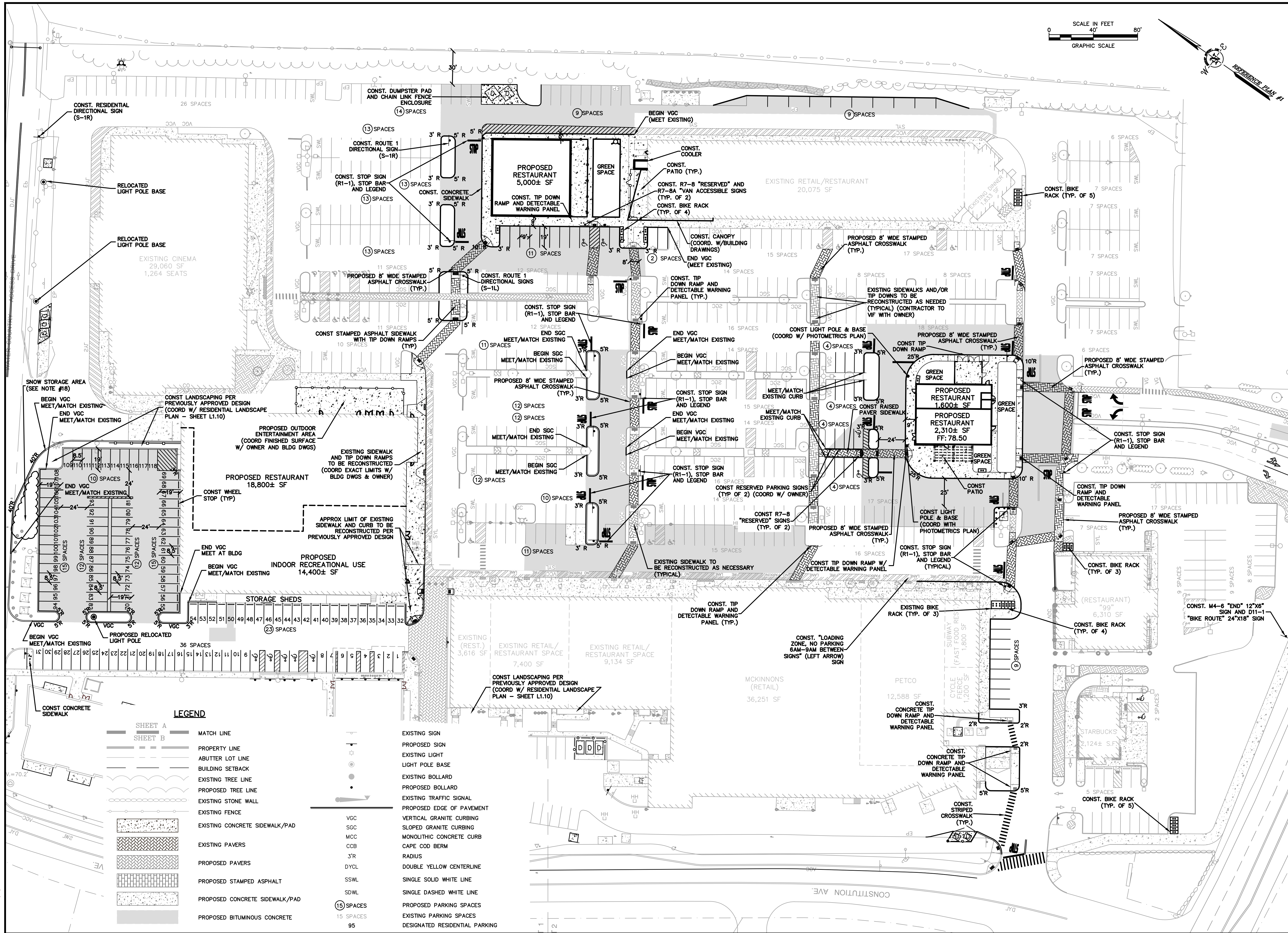
DIMENSIONAL REQUIREMENTS:		REQUIRED	PROVIDED
DEVELOPMENT INTENSITY:		1.0	0.34
MAXIMUM FLOOR RATIO:			RESIDENTIAL = 104,528 SF NON-RESIDENTIAL = 173,501 SF (RATIO = 278,029 SF / 814,896 SF)
MINIMUM LOT AREA PER DWELLING UNIT:		237,500 SF (95 UNITS X 2,500 SF/UNIT)	814,896 SF
RESIDENTIAL AREA RATIO:		30% - 70%	38%
LOT REQUIREMENTS:			
MINIMUM CONTINUOUS STREET FRONTAGE:	100 FT		±450 FT
MAXIMUM BUILDING COVERAGE:	75%		±22.6%
MINIMUM OPEN SPACE:	20%		±20.0%
MINIMUM PERCENT OF LOT FRONTAGE OPEN SPACE OR BUILDING:	60%		±84%
MINIMUM FRONT YARD FROM CENTERLINE OF LAFAYETTE:	70 FT		±151 FT
MAXIMUM FRONT YARD FROM CENTERLINE OF LAFAYETTE:	90 FT		±151 FT(1)
MAXIMUM BUILDING HEIGHT:	45 FT (1.5 X 30FT)		51'-7"(2)
SITE DESIGN STANDARDS:			
PEDESTRIAN ORIENTED SPACE:	9,874 SF (1% OF TOTAL LOT AREA + 1% OF NON-RESIDENTIAL GFA)		34,760 SF
PARKING SETBACKS:	50 FT		±21.9 FT(1)(2)
BICYCLE PARKING:	15% OF OFF-STREET PARKING		108 SPACES
PEDESTRIAN WALKWAY THROUGHOUT SITE:	678 SPACES*0.15=102 SPACES		8 FT
WALKWAYS:	8 FT		
	150 FT APART IN PARKING LOTS		
(1) EXISTING NON-CONFORMING (2) WAIVER GRANTED ON APRIL 21, 2016			

LEGEND	
	MATCH LINE
	PROPERTY LINE
	ABUTTER LOT LINE
	BUILDING SETBACK
	EXISTING TREE LINE
	PROPOSED TREE LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING CONCRETE SIDEWALK/PAD
	EXISTING PAVERS
	PROPOSED PAVERS
	PROPOSED STAMPED ASPHALT
	PROPOSED CONCRETE SIDEWALK/PAD
	PROPOSED BITUMINOUS CONCRETE
	EXISTING SIGN
	PROPOSED SIGN
	EXISTING LIGHT
	LIGHT POLE BASE
	EXISTING BOLLARD
	PROPOSED BOLLARD
	EXISTING TRAFFIC SIGNAL
	PROPOSED EDGE OF PAVEMENT
	VERTICAL GRANITE CURBING
	SLOPED GRANITE CURBING
	MONOLITHIC CONCRETE CURB
	CAPE COD BERM
	RADIUS
	DOUBLE YELLOW CENTERLINE
	SINGLE SOLID WHITE LINE
	SINGLE DASHED WHITE LINE
	PROPOSED PARKING SPACES
	EXISTING PARKING SPACES

FILENAME: J:\W1725 WATERSTONE PORTSMOUTH, NH SOUTHGATE PLAZA (DMG-CAD) DESIGN\W-1725-4-DSGN.DWG  
SAVE DATE: 6/7/2019 3:28 PM  
PLOT DATE: 6/7/2019 4:04 PM



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SAVE DATE: 6/7/2019 3:28 PM  
PLOT DATE: 6/7/2019 4:05 PM



## Waterstone Retail Development

## Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

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CHECKED: PMC		
APPROVED BY: BLM/PMC		

PLAZA SITE PLAN

SCALE: AS SHOWN

C-3A





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PLAZA GRADING, DRAINAGE, AND  
EROSION CONTROL PLAN

SCALE: AS SHOWN

C-4

**LEGEND**

**SHEET A**

**SHEET B**

MATCH LINE

PROPERTY LINE

EDGE OF WETLAND

EXISTING TREE LINE

PROPOSED TREE LINE

EXISTING STONE WALL

EXISTING FENCE

PROPOSED FENCE

EXISTING CONTOUR

EXISTING 10' CONTOUR

FINISHED GRADE

EXISTING DRAINAGE

PROPOSED DRAINAGE

PROPOSED DRAINAGE WITH INSULATION

PROPOSED UNDERDRAIN

SILT FENCE

PROPOSED CATCH BASIN

PROPOSED DRAIN MANHOLE

EXISTING CATCH BASIN

EXISTING DRAIN MANHOLE

STABILIZED CONSTRUCTION ENTRANCE

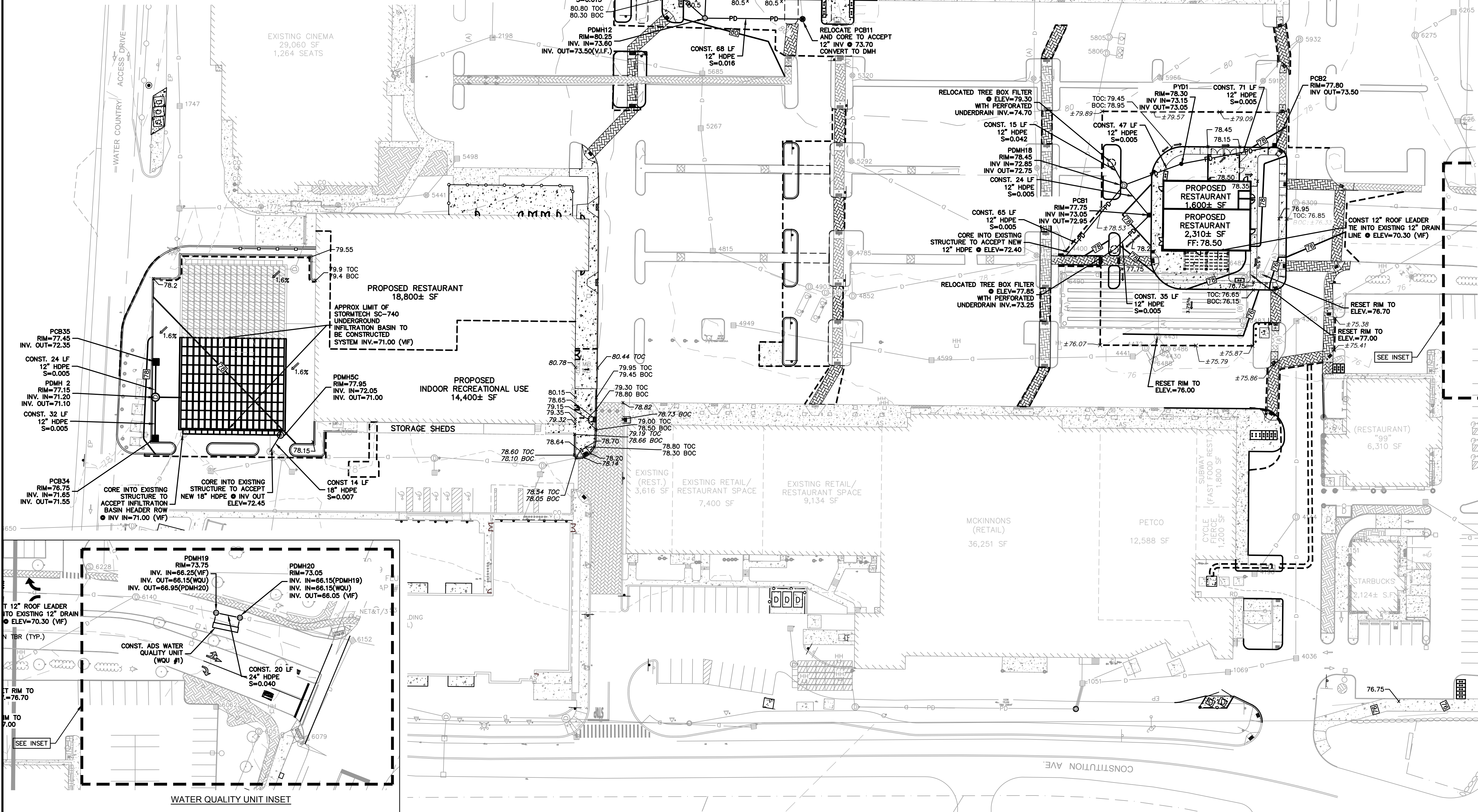
RIGID PIPE INSULATION

EXISTING SPOT GRADE

PROPOSED SPOT GRADE

PROPOSED INLET PROTECTION

SCALE IN FEET  
0 40 80  
GRAPHIC SCALE



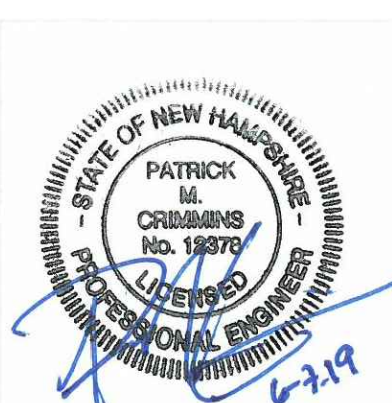
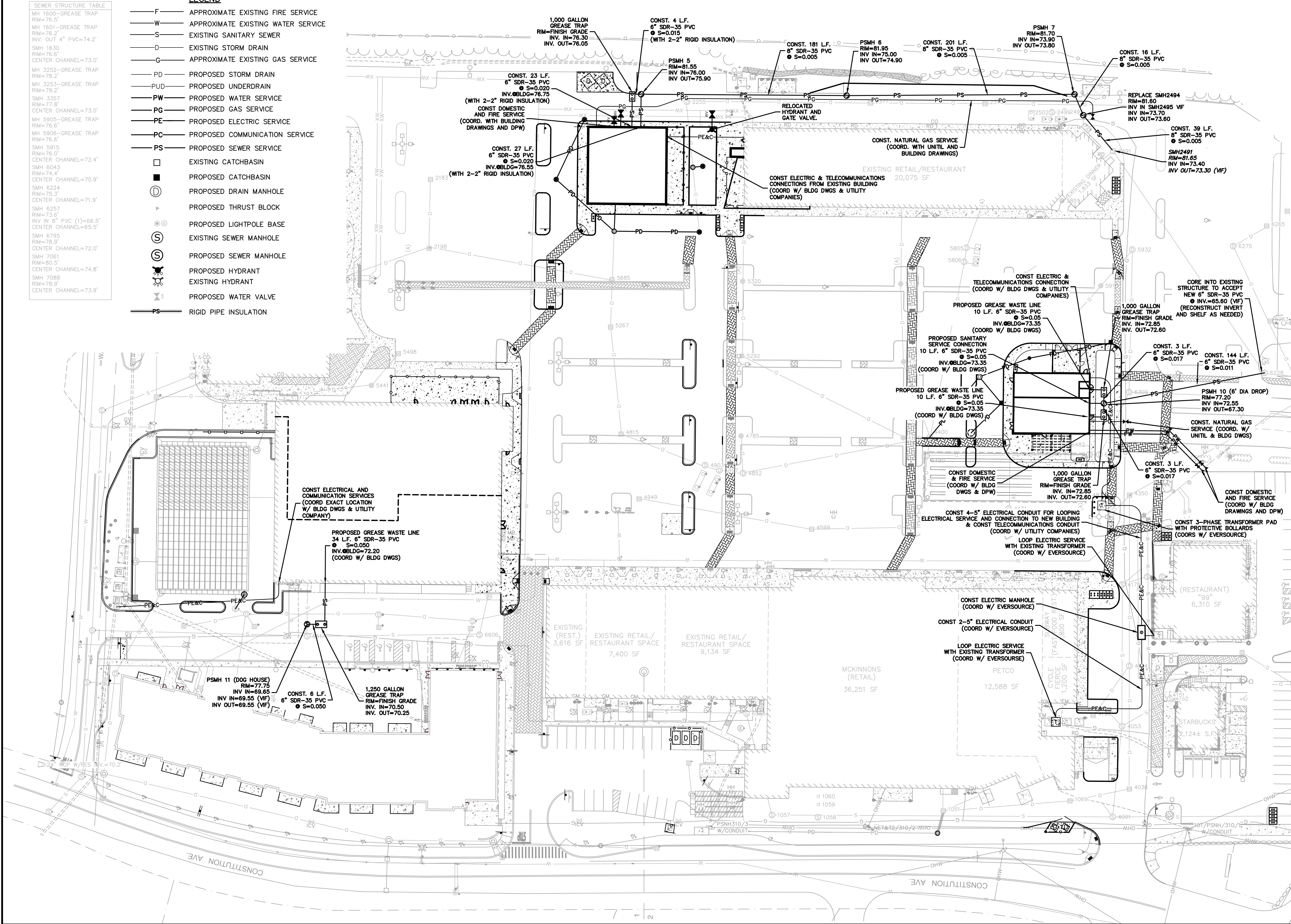
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SAVE DATE: 6/7/2019 3:28 PM  
PLOT DATE: 6/7/2019 4:06 PM

SEWER STRUCTURE TABLE	
MH 1600-GREASE TRAP	RIM=76.5'
MH 1601-GREASE TRAP	RIM=76.2'
INV. OUT 4" PVC=74.2'	
SMH 1630	RIM=76.6'
CENTER CHANNEL=73.0'	
MH 3252-GREASE TRAP	RIM=78.2'
MH 3253-GREASE TRAP	RIM=78.2'
SMH 3357	RIM=77.8'
CENTER CHANNEL=73.0'	
MH 5905-GREASE TRAP	RIM=76.6'
MH 5906-GREASE TRAP	RIM=76.6'
SMH 5915	RIM=76.0'
CENTER CHANNEL=72.4'	
SMH 6043	RIM=74.4'
CENTER CHANNEL=70.9'	
SMH 6224	RIM=75.3'
CENTER CHANNEL=71.9'	
SMH 6257	RIM=73.6'
INV IN 8" PVC (1)=66.5'	
CENTER CHANNEL=65.5'	
SMH 6795	RIM=78.9'
CENTER CHANNEL=72.0'	
SMH 7061	RIM=80.5'
CENTER CHANNEL=74.8'	
SMH 7088	RIM=78.9'
CENTER CHANNEL=73.9'	

- LEGEND**
- F APPROXIMATE EXISTING FIRE SERVICE
  - W APPROXIMATE EXISTING WATER SERVICE
  - S EXISTING SANITARY SEWER
  - D EXISTING STORM DRAIN
  - G APPROXIMATE EXISTING GAS SERVICE
  - PD PROPOSED STORM DRAIN
  - PUD PROPOSED UNDERDRAIN
  - PW PROPOSED WATER SERVICE
  - PG PROPOSED GAS SERVICE
  - PE PROPOSED ELECTRIC SERVICE
  - PC PROPOSED COMMUNICATION SERVICE
  - PS PROPOSED SEWER SERVICE
  - EXISTING CATCHBASIN
  - PROPOSED CATCHBASIN
  - PROPOSED DRAIN MANHOLE
  - PROPOSED THRUST BLOCK
  - PROPOSED LIGHTPOLE BASE
  - EXISTING SEWER MANHOLE
  - PROPOSED SEWER MANHOLE
  - PROPOSED HYDRANT
  - EXISTING HYDRANT
  - PROPOSED WATER VALVE
  - RIGID PIPE INSULATION



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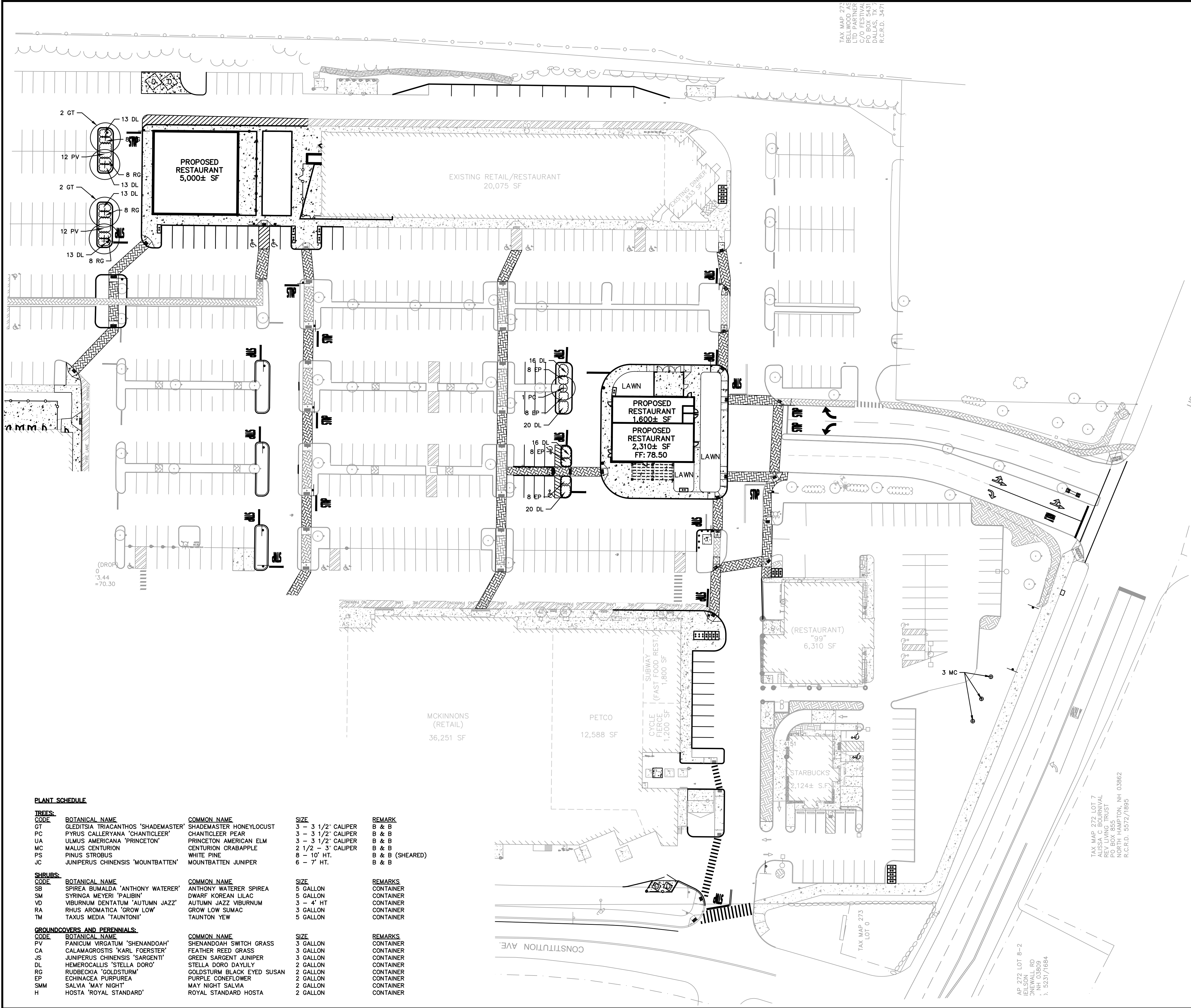
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### PLAZA UTILITIES PLAN

SCALE: AS SHOWN



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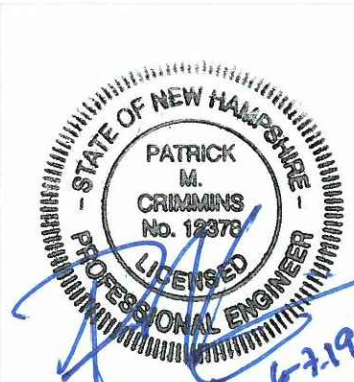
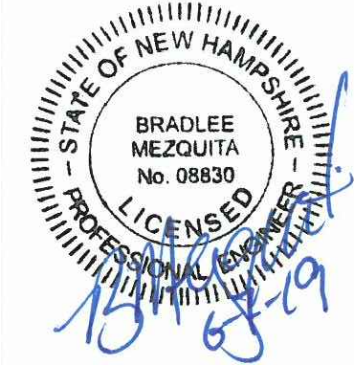
PLANT SCHEDULE

TREES:				
CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARK
GT	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	3 - 3 1/2" CALIPER	B & B
PC	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	3 - 3 1/2" CALIPER	B & B
UA	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	3 - 3 1/2" CALIPER	B & B
MC	MALUS CENTURIUM	CENTURION CRABAPPLE	2 1/2 - 3" CALIPER	B & B
PS	PINUS STROBUS	WHITE PINE	8 - 10" HT.	B & B (SHEARED)
JC	JUNIPERUS CHINENSIS 'MOUNTBATTEN'	MOUNTBATTEN JUNIPER	6 - 7" HT.	B & B
SHRUBS:				
CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SB	SPIREA BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	5 GALLON	CONTAINER
SM	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	5 GALLON	CONTAINER
VD	VBURNUM DENTATUM 'AUTUMN JAZZ'	AUTUMN JAZZ VBURNUM	3 - 4" HT	CONTAINER
RA	RHUS AROMATICA 'GROW LOW'	GROW LOW SUMAC	3 GALLON	CONTAINER
TM	TAXUS MEDIA 'TAUNTONII'	TAUNTON YEW	5 GALLON	CONTAINER
GROUNDCOVERS AND PERENNIALS:				
CODE	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
PV	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GALLON	CONTAINER
CA	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	3 GALLON	CONTAINER
JS	JUNIPERUS CHINENSIS 'SARGENT'	GREEN SARGENT JUNIPER	3 GALLON	CONTAINER
DL	HEMEROCALLIS 'STELLA DORO'	STELLA DORO DAYLILY	2 GALLON	CONTAINER
RG	RUDBECKIA 'GOLDSTURM'	GOLDSTURM BLACK EYED SUSAN	2 GALLON	CONTAINER
EP	ECHINACEA PURPUREA	PURPLE CONEFLOWER	2 GALLON	CONTAINER
SMM	SALVIA 'MAY NIGHT'	MAY NIGHT SALVIA	2 GALLON	CONTAINER
H	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	2 GALLON	CONTAINER

**LEGEND**

- PROPERTY LINE
- ABUTTER LOT LINE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- PROPOSED TREES
- PROPOSED SHRUBS
- PROPOSED GROUND COVER
- PROPOSED SNOW STORAGE AREA
- EXISTING TREE

SCALE IN FEET  
0 40' 80'  
GRAPHIC SCALE



**Waterstone Retail Development**

**Southgate Plaza Redevelopment**

Portsmouth,  
New Hampshire

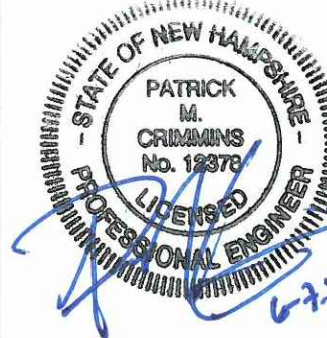
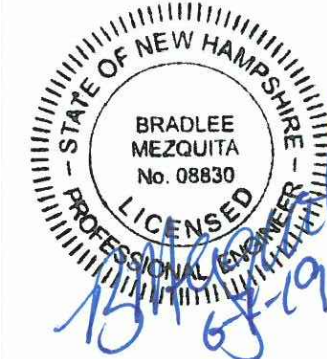
Mark	Date	Description
E	6/7/19	Administrative Approval
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PROJECT NO:	W1725
FILE:	W-1725-4-DSGN.dwg
DRAWN BY:	NAH/CML
CHECKED:	PMC
APPROVED BY:	BLM/PMC

PLAZA LANDSCAPE PLAN

SCALE: AS SHOWN





## Waterstone Retail Development

## Southgate Plaza Redevelopment

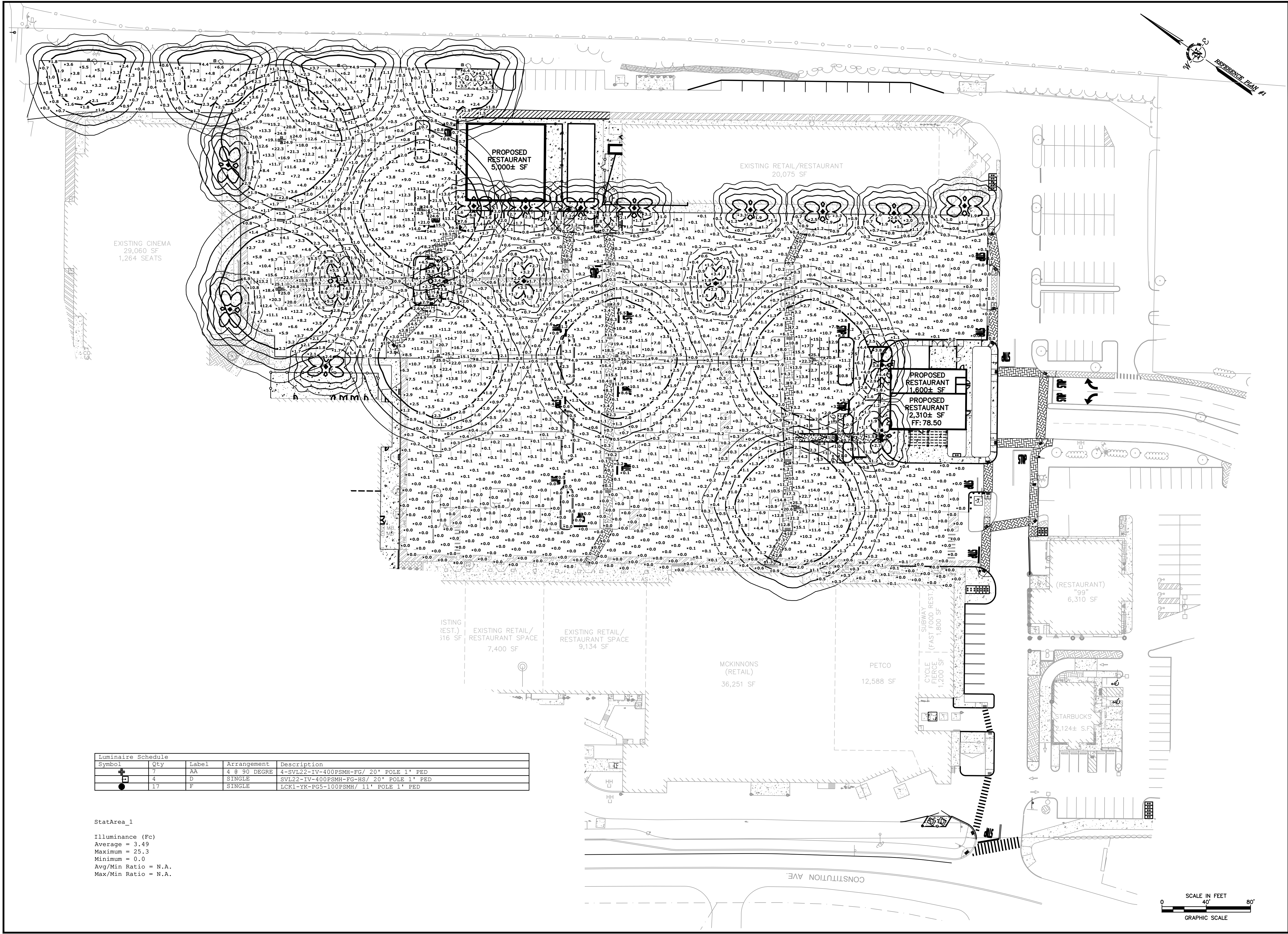
Portsmouth,  
New Hampshire

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CHECKED: PMC		
APPROVED BY: BLM/PMC		

### PLAZA PHOTOMETRICS PLAN

SCALE: AS SHOWN

C-7



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
+	7	AA	4 @ 90 DEGRE	4-SVL22-IV-400PSMH-PG/ 20' POLE 1' PED
D	4	D	SINGLE	SVL22-IV-400PSMH-PG-HS/ 20' POLE 1' PED
●	17	F	SINGLE	LCK1-YK-PG5-100PSMH/ 11' POLE 1' PED

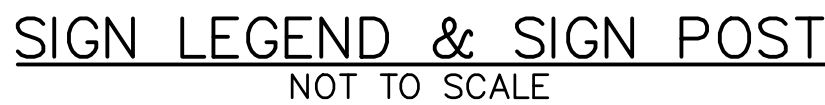
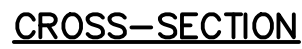
StatArea\_1

Illuminance (Fc)  
Average = 3.49  
Maximum = 25.3  
Minimum = 0.0  
Avg/Min Ratio = N.A.  
Max/Min Ratio = N.A.









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# Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

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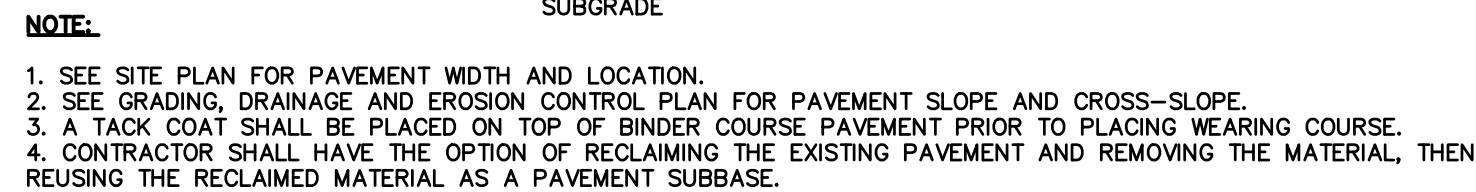
PROJECT NO:	W1725
FILE:	W-1725-4-DETAILS.dwg
DRAWN BY:	NAH/CML
CHECKED:	PMC
APPROVED BY:	BLM/PMC

DETAILS SHEET

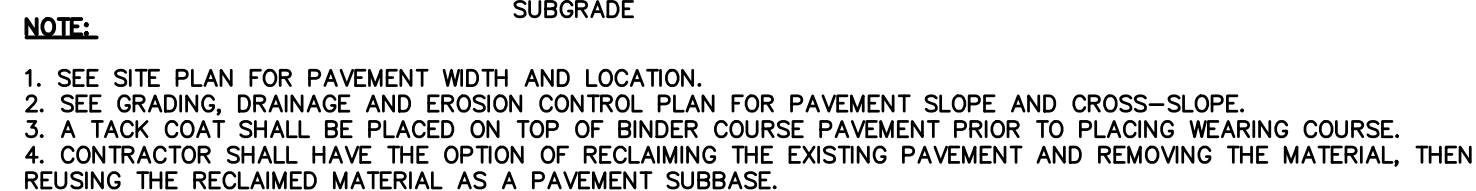
SCALE: AS SHOWN

C-9





NOT TO SCALE

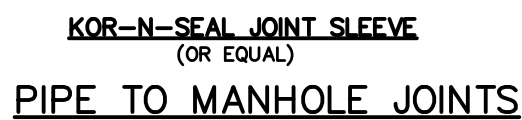


NOT TO SCALE



- NOTES:**
1. STEEL REINFORCEMENT CONFORMS TO LATEST ASTM SPECIFICATIONS: ASTM-A615 GRADE 60 REBAR
  2. CONCRETE: FC = 5,000 PSI @ 28 DAYS MINIMUM
  3. FLEXIBLE SLEEVES PROVIDED ON ALL PIPE CONNECTIONS
  4. BUTYL RUBBER JOINT SEALANT PROVIDED
  5. INTERNAL PVC BARRIERS AVAILABLE UPON REQUEST
- INLET:** SHALL PENETRATE AT LEAST 9" BELOW THE LIQUID LEVEL, BUT NOT DEEPER THAN THE OUTLET BAFFLE.
- OUTLET:** SHALL EXTEND BELOW THE SURFACE OF THE LIQUID EQUAL TO 40% OF THE LIQUID DEPTH (19").
6. DESIGN LOADING: ASHSHTO-H520-44, ASTM C-890-06
  7. DESIGN SPECIFIED AS: ASTM C-1227-06, ASTM C-913-08
  8. GREASE TRAP SHALL BE PHOENIX PRECAST OR EQUAL

NOT TO SCALE

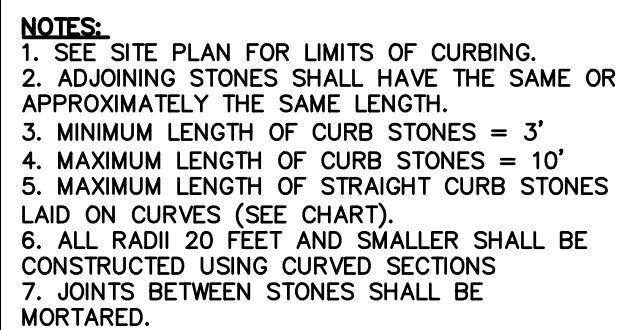


NOT TO SCALE

- NOTES:**
1. **HORIZONTAL JOINTS** BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE GASKET.
  2. **PIPE TO MANHOLE JOINTS** SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD.
  3. **FOR BITUMASTIC JOINTS** THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
- ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.



NOT TO SCALE



RADIUS	MAX. LENGTH
<20'	USE CURVED CURVE
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

NOT TO SCALE



1. SEE SITE PLAN FOR LIMITS OF CURBING.
2. ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 18 INCHES.
4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8 FEET.
5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES – SEE CHART.
6. JOINTS BETWEEN STONES SHALL BE MORTARED.

RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
16'-28'	1'-6"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
OVER 110'	8'

NOT TO SCALE



NOT TO SCALE



- NOTES:**
1. INVERT AND SLEAK TO BE PLACED AFTER EACH LEAKAGE TEST.
  2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
  3. INVERT BRICKS SHALL BE LAID ON EDGE.
  4. BITUMINOUS WATERPROOF COATING TO BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
  5. FRAMES AND COVERS MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 30" MINIMUM HEIGHT WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
  6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
  7. JOINTS AND ANCHORS SHALL BE REINFORCED CONCRETE DESIGNED FOR H2O LOADING, AND CONFORMING TO ASTM C478-06.



## Waterstone Retail Development

## Southgate Plaza Redevelopment

Portsmouth,  
New Hampshire

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Mark	Date	Description

PROJECT NO:	W1725
FILE:	W-1725-4-DETAILS.dwg
DRAWN BY:	NAH/CML
CHECKED:	PMC
APPROVED BY:	BLM/PMC

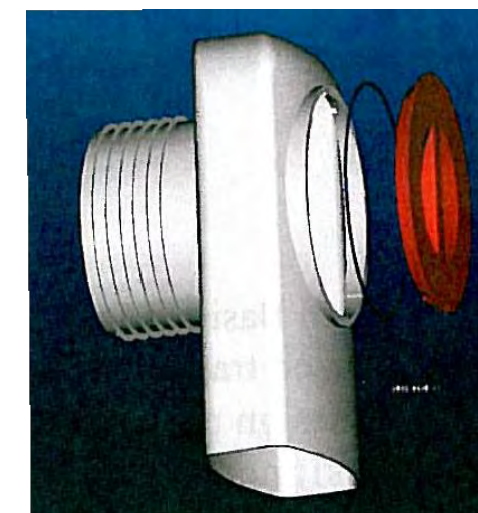
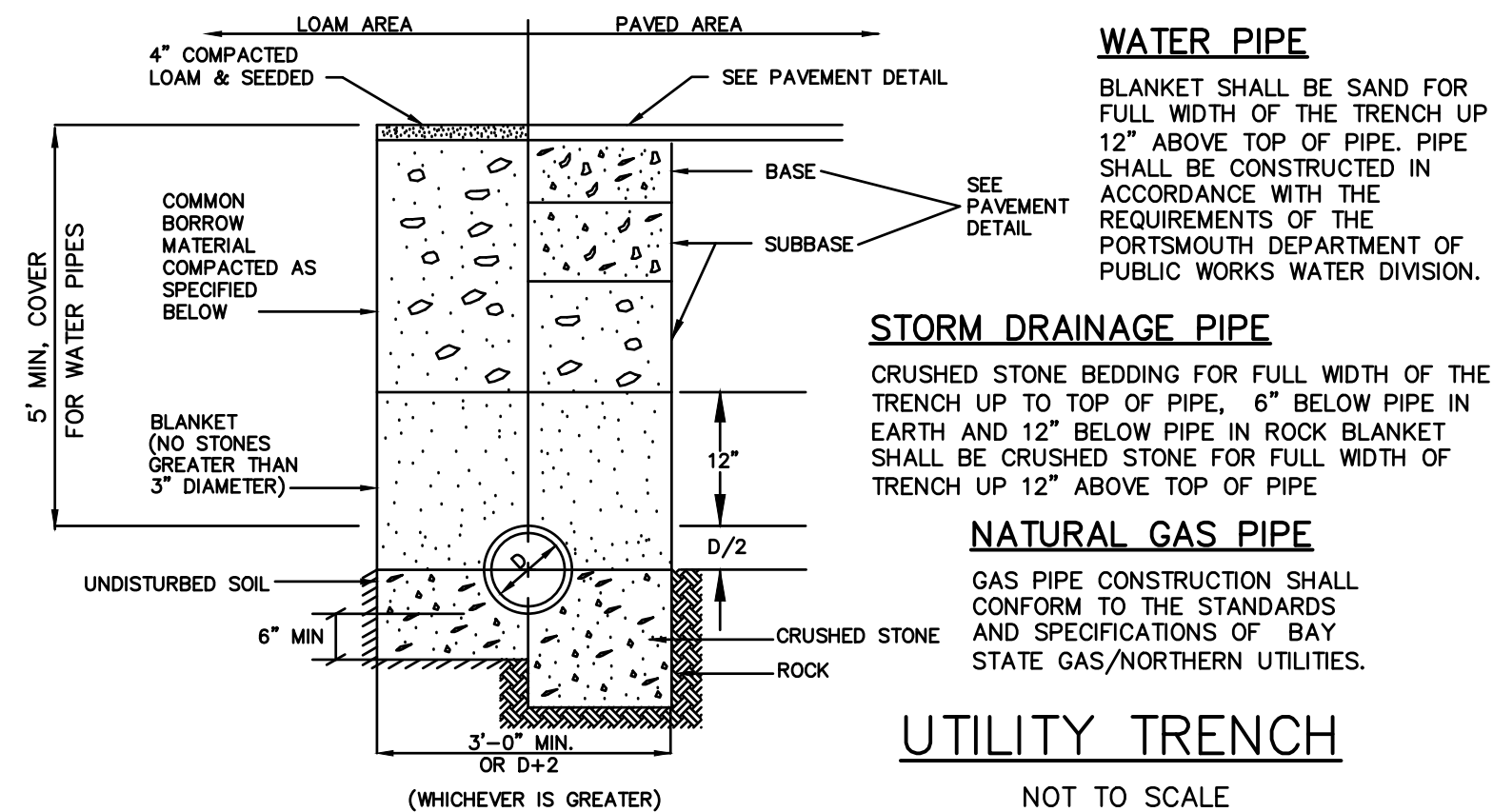
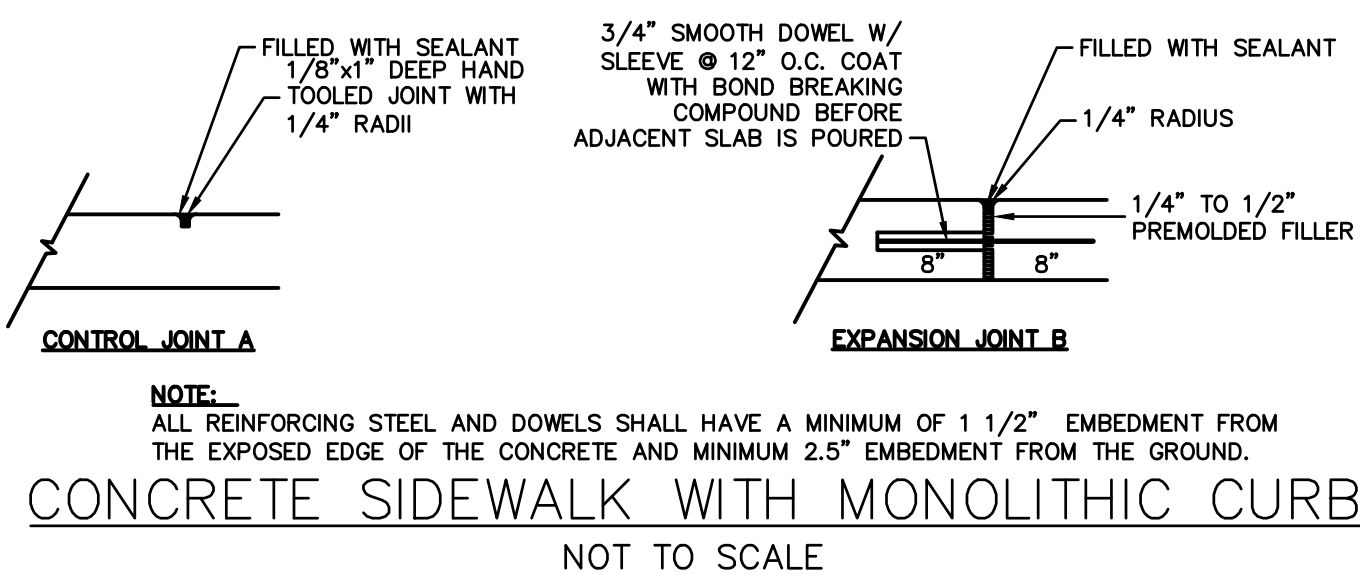
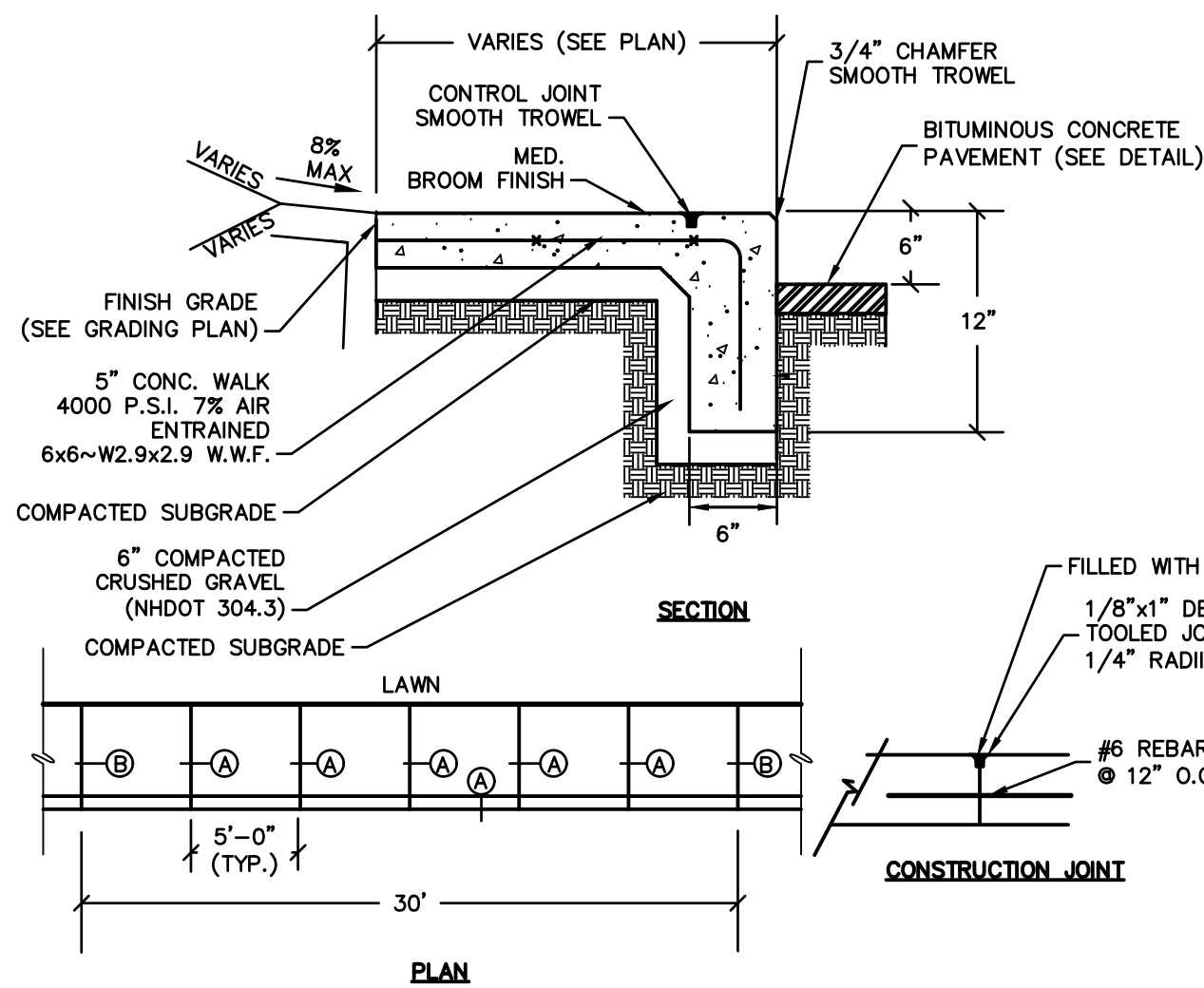
## DETAILS SHEET

SCALE: AS SHOWN

C-10

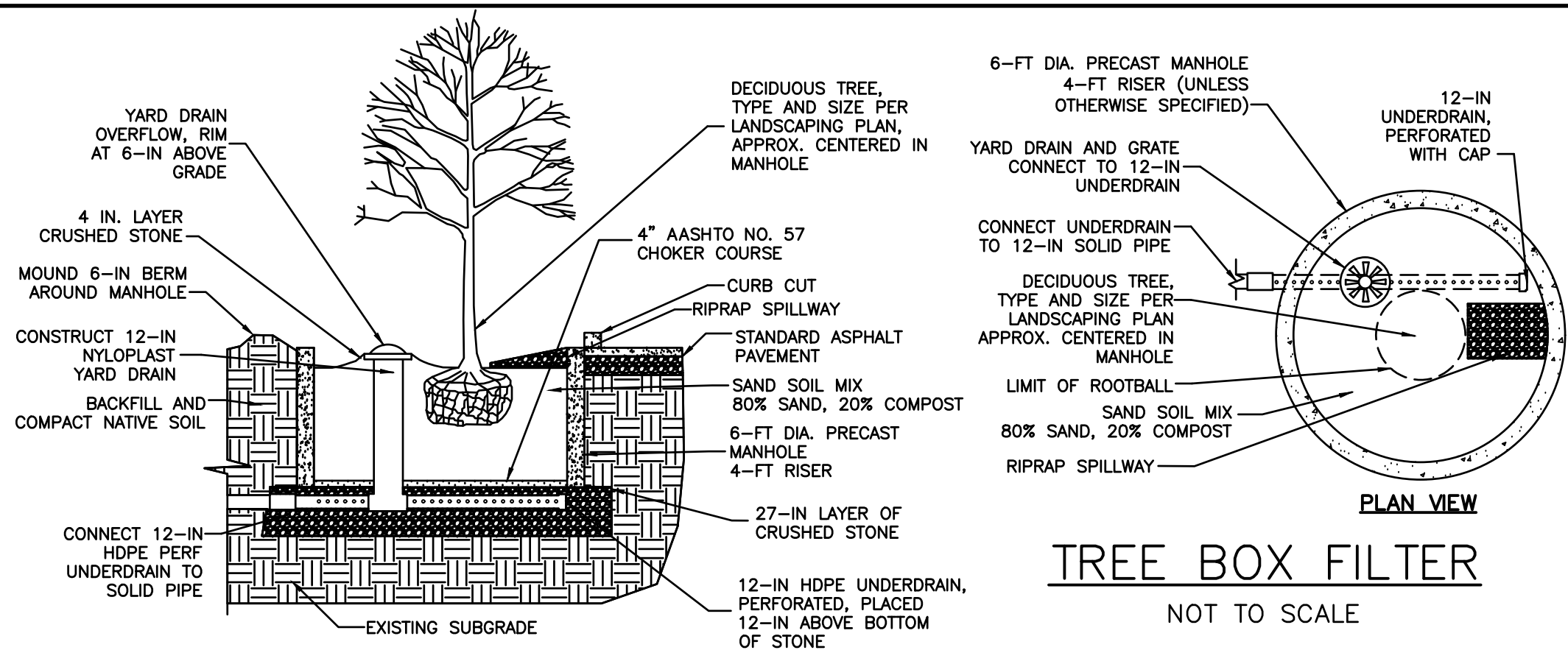


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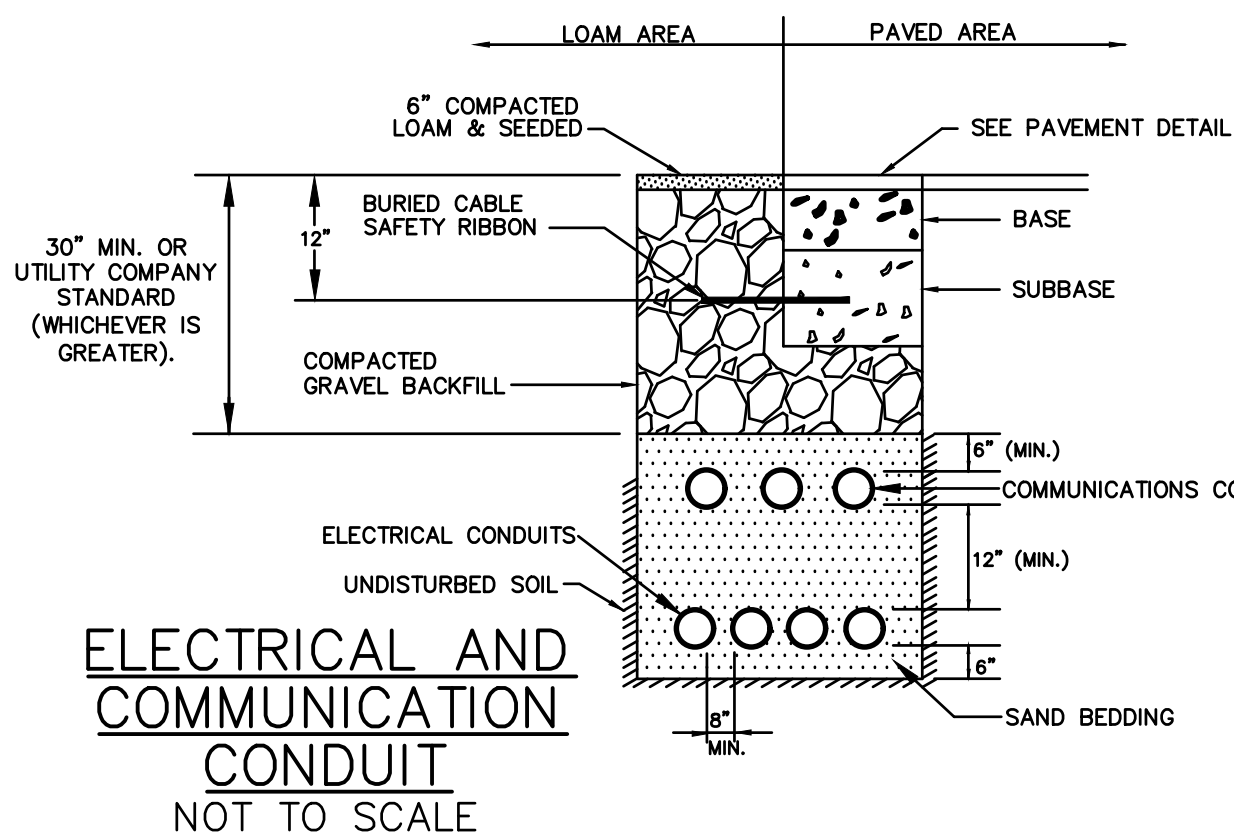


- NOTES:
1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
  2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
  3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL  
FLOATING DEBRIS TRAP  
NOT TO SCALE

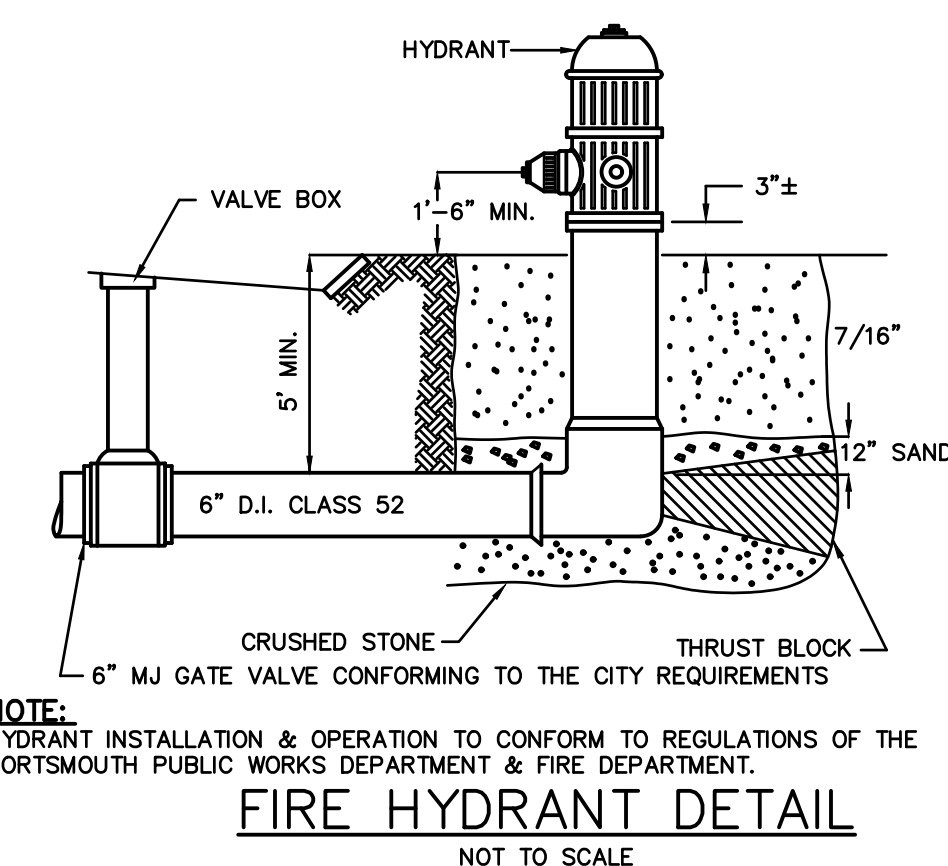


TREE BOX FILTER  
NOT TO SCALE

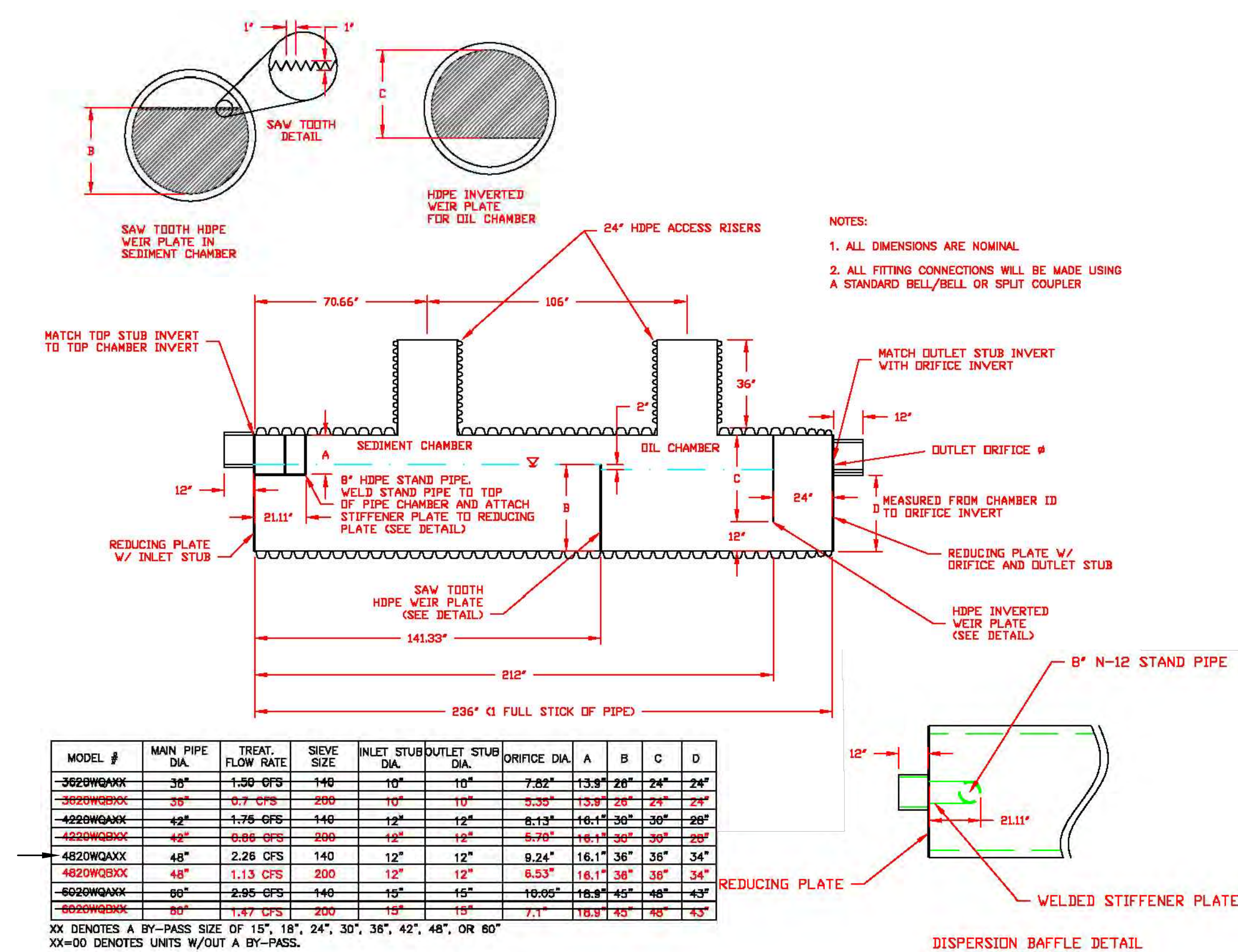


ELECTRICAL AND  
COMMUNICATION  
CONDUIT  
NOT TO SCALE

- NOTES:
1. NUMBER, MATERIAL & SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
  2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
  3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
  4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
  5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
  6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
  7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.



FIRE HYDRANT DETAIL  
NOT TO SCALE

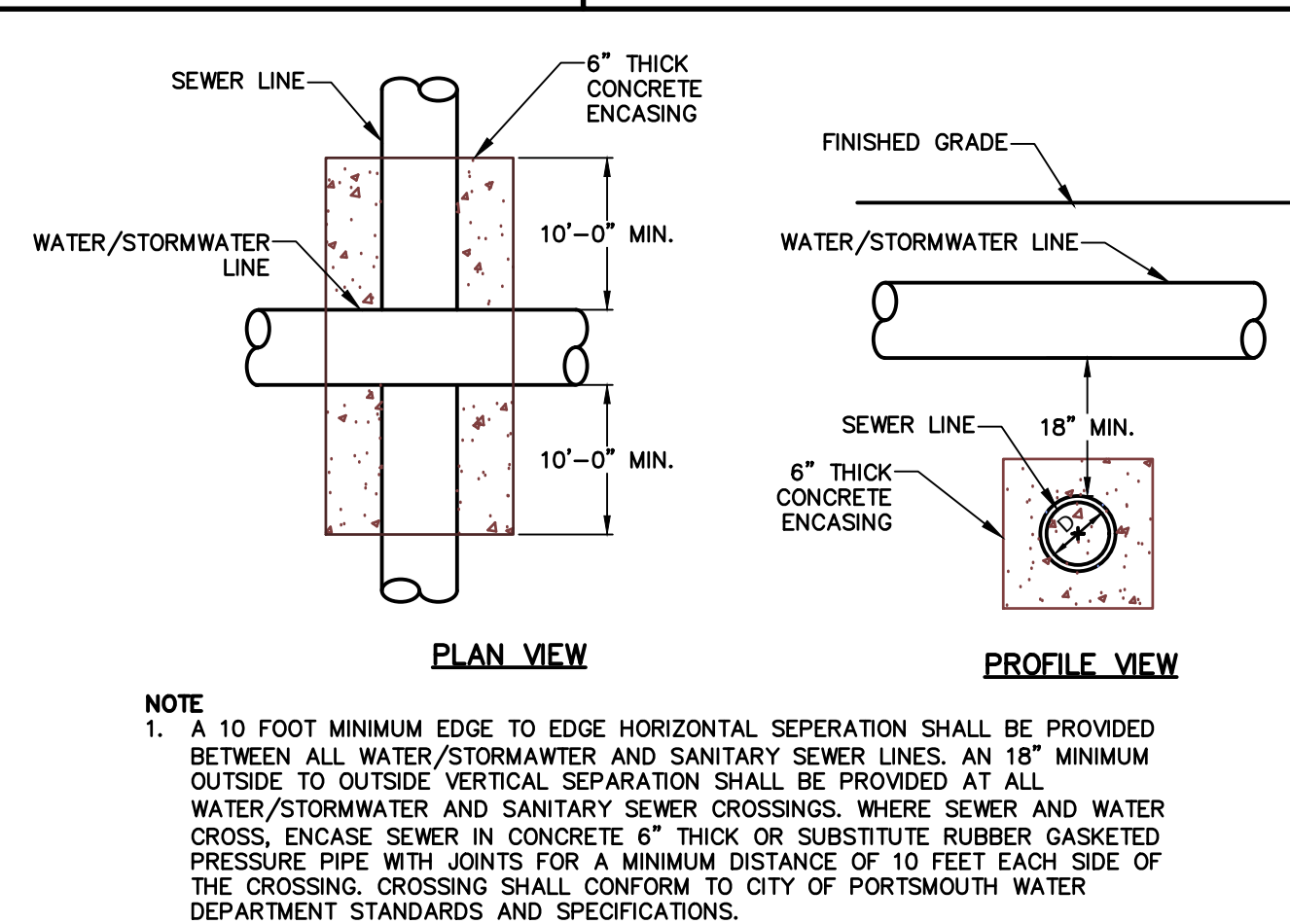


MODEL #	MAIN PIPE DIA.	TREAT. FLOW RATE	SLUVE SIZE	INLET STUB DIA.	OUTLET STUB DIA.	DRIFTE DIA.	A	B	C	D
3620WQANK	36"	1.50 CFS	140	10"	10"	7.82"	13.9"	28"	24"	24"
3620WQDKC	36"	0.75 CFS	280	10"	10"	3.35"	13.9"	28"	24"	24"
4220WQANK	42"	1.75 CFS	140	12"	12"	8.13"	16.1"	36"	30"	28"
4220WQDKC	42"	0.88 CFS	280	12"	12"	4.26"	16.1"	36"	30"	28"
4820WQANK	48"	2.25 CFS	140	12"	12"	8.24"	16.1"	36"	36"	34"
4820WQDKC	48"	1.13 CFS	280	12"	12"	6.53"	16.1"	36"	36"	34"
6020WQANK	60"	2.95 CFS	140	15"	15"	10.95"	18.9"	48"	48"	43"
6020WQDKC	60"	1.47 CFS	280	15"	15"	7.1"	18.9"	48"	48"	43"

XX DENOTES A BY-PASS SIZE OF 15", 18", 24", 30", 36", 42", 48", OR 60"  
XX=00 DENOTES UNITS W/OUT A BY-PASS.

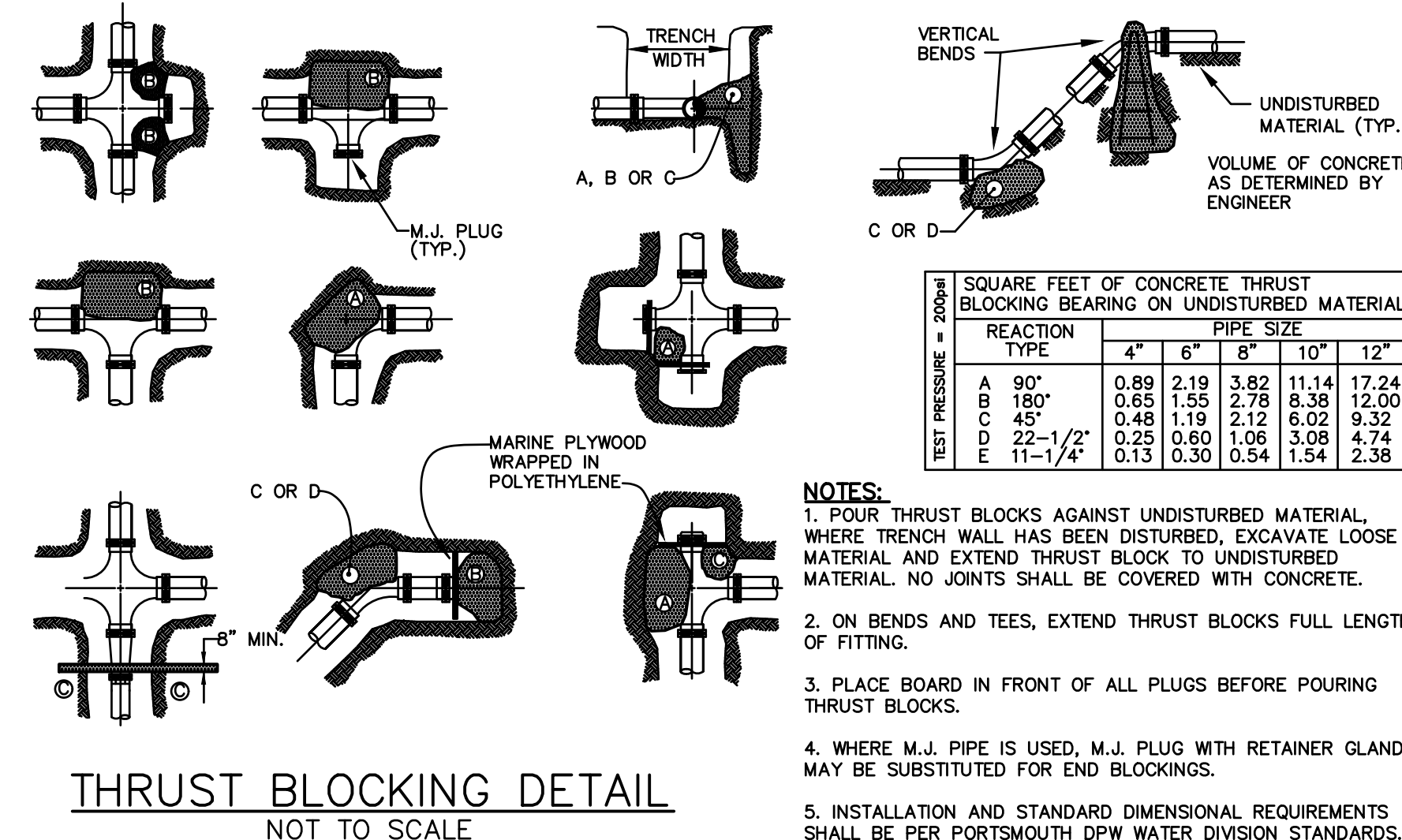
- NOTE:
1. CONTRACTOR SHALL COORDINATE INSTALLATION WITH MANUFACTURER.

ADS WATER QUALITY UNIT  
NOT TO SCALE



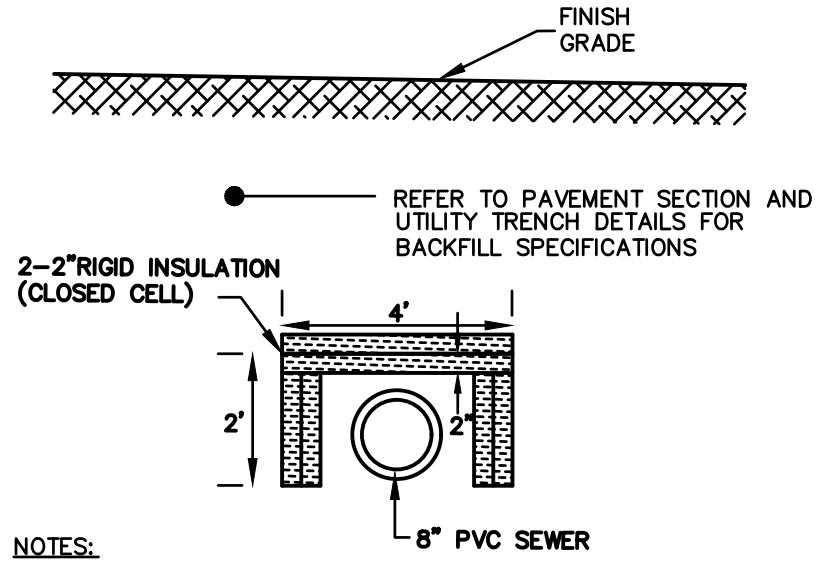
- NOTE
1. A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPERATION SHALL BE PROVIDED BETWEEN ALL WATER/STORMAWTER AND SANITARY SEWER LINES. AN 18" MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPERATION SHALL BE PROVIDED AT ALL WATER/STORMWATER AND SANITARY SEWER CROSSINGS. WHERE SEWER AND WATER CROSS, ENCASE SEWER IN CONCRETE 6" THICK OR SUBSTITUTE RUBBER GASKETED PRESSURE PIPE WITH JOINTS FOR A MINIMUM DISTANCE OF 10 FEET EACH SIDE OF THE CROSSING. CROSSING SHALL CONFORM TO CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS AND SPECIFICATIONS.

WATER & STORMWATER/SEWER CROSSING  
NOT TO SCALE



- NOTES:
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
  2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
  3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
  4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
  5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE PER PORTSMOUTH DPW WATER DIVISION STANDARDS.

THRUST BLOCKING DETAIL  
NOT TO SCALE



- NOTES:
1. INSTALLATION SHALL MEET THE STANDARDS OF THE CITY OF PORTSMOUTH

SEWER INSULATION DETAIL  
NOT TO SCALE

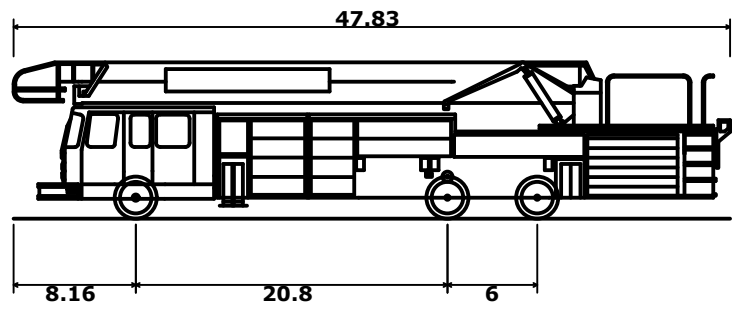
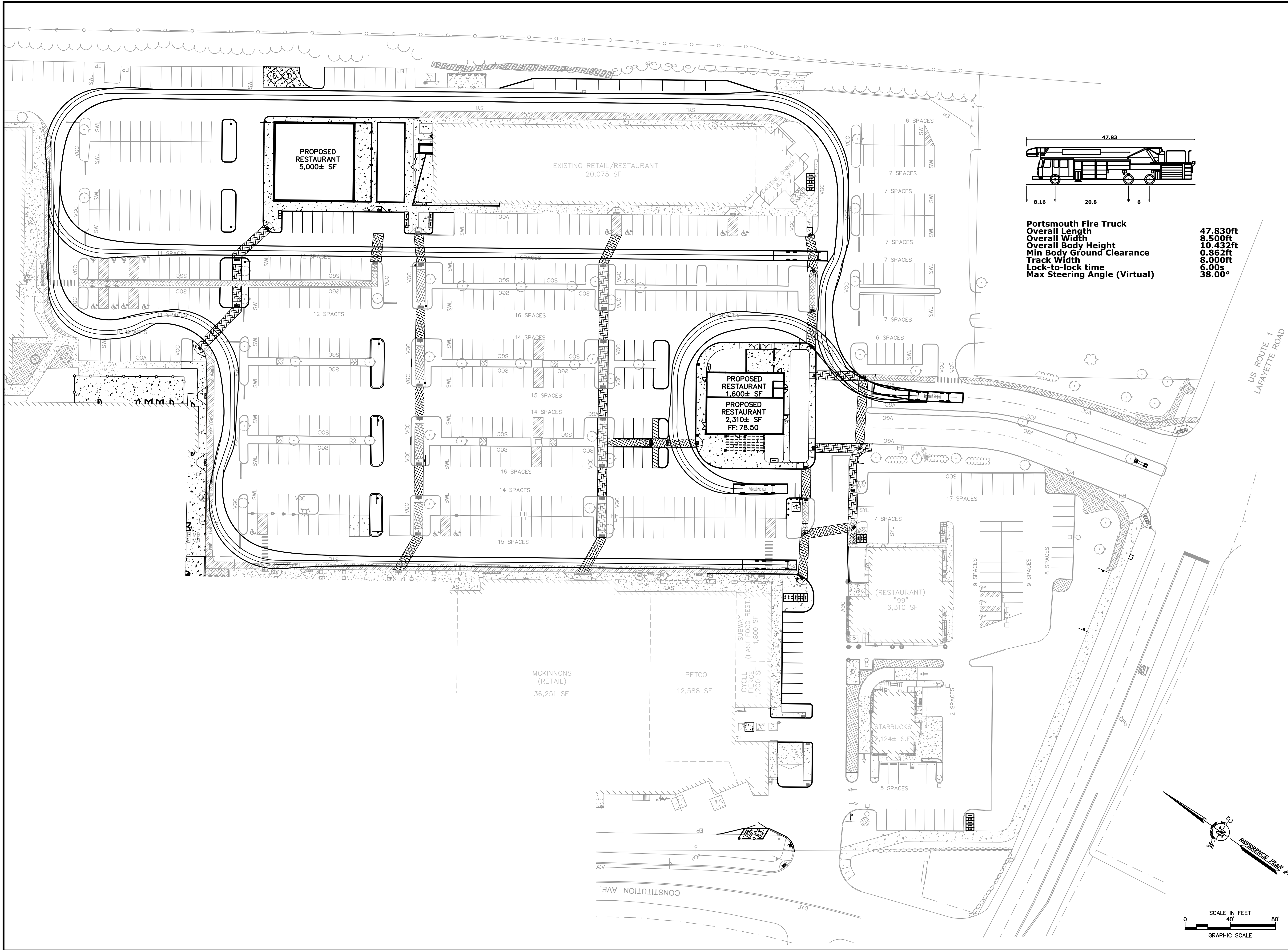
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CHECKED: PMC		
APPROVED BY: BLM/PMC		
DETAILS SHEET		
SCALE: AS SHOWN		
C-11		







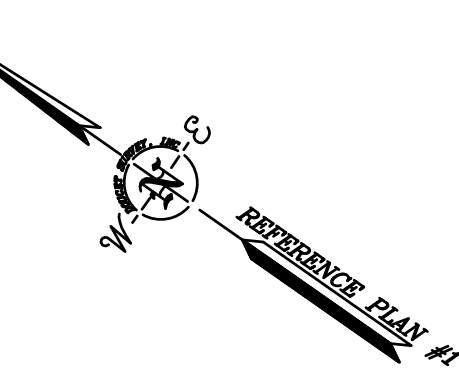
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SAVE DATE: 6/7/2019 3:28 PM  
PLOT DATE: 6/7/2019 4:09 PM



Portsmouth Fire Truck  
Overall Length  
Overall Width  
Overall Body Height  
Min Body Ground Clearance  
Track Width  
Lock-to-lock time  
Max Steering Angle (Virtual)

47.830ft  
8.500ft  
10.432ft  
0.862ft  
8.000ft  
6.00s  
38.00°

US ROUTE 1  
LAFAYETTE ROAD



SCALE IN FEET  
0 40 80  
GRAPHIC SCALE



## Waterstone Retail Development

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#### PLAZA TRUCK TURNING PLAN

SCALE: AS SHOWN



