

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

June 23, 2021

Portsmouth Planning Board
Attn: Dexter Legg
1 Junkins Avenue, Suite 3rd Floor
Portsmouth, NH 03801

**RE: Response Letter – TAC Comments
3400 Lafayette Road, Portsmouth, NH
Tax Map 297, Lot 11
JBE Project No. 20737**

Dear Mr. Legg,

Jones & Beach Engineers, Inc., is in receipt of comments from the TAC members dated June 1, 2021. Original review comments are italicized, and we offer the following responses below:

- 1. Please confirm compliance with the following Sections of the Zoning Ordinance – Section 10.5B22.40 Special Setback Requirements on Lafayette Road and Section 10.5B33.20 Front Lot Line Build Out.*

RESPONSE: The Attorneys are currently reviewing the Zoning Ordinance to see if a variance is required.

- 2. The development appears to be very dense for this site. The community space does not appear to be functional for so many units on the site. Please consider revising the layout to allow for an arrangement that creates more meaningful community space.*

RESPONSE: We feel that the site is not dense and there is plenty of community space that is functional. The density using the G1 land is 240+ units and we based on documents from the City, we are allowed to use the NRP land for density as well that we haven't calculated as we are only proposing 50 units.

- 3. If the mailbox area is meant to be drive-up, the area should be larger to allow vehicles to pull in and out easier. if it is meant to be walk up, it should have a sidewalk and crosswalk leading to it.*

RESPONSE: The mail box area has been widened for vehicles to drive up.

- 4. The driveway in front of unit 20 is very short due to the angle. It should be lengthened to allow for a vehicle to park in this space.*

RESPONSE: The driveway has been modified to allow for a vehicle to park in the space.

- 5. The walkway between units 2 and 3 should have a tip down ramp at its terminus.*

RESPONSE: A tip down ramp has been added between units 2 and 3.

6. *The project will require a driveway permit from the NHDOT.*
RESPONSE: NHDOT permit has been applied for in May.
7. *Applicant's Engineer must work with City Engineer to determine if there is sufficient capacity in the City's sewer system for this development. Any approvals for this project are contingent on the approval of allowing the flow to be added to the City's system.*
RESPONSE: We are working with the City Engineers to determine if there is sufficient capacity in the City's sewer system for this development. We have already had a preliminary meeting with DPW to review the options and a solution should be coming together soon.
8. *Third party engineer will be required to review on-site utilities and drainage during construction.*
RESPONSE: This is up to the City and can be a condition of approval.
9. *Third party engineer required to review drainage design.*
RESPONSE: We don't feel that a third party review of the drainage design is needed since the drainage has to meet the Alteration of Terrain Permit standards, which is a more strict standard than the City. If this is still going to be required, than we would like to start the process as soon as possible.
10. *Water main detail calls out C900 pipe.*
RESPONSE: The water main detail is now a Ductile Iron pipe.
11. *All water main parts to meet City standards.*
RESPONSE: All water main parts meet the City standards.
12. *All sewer pipe and manholes to meet City and State Standards.*
RESPONSE: Sewer pipe and manholes meet City and State standards.
13. *HDPE pipe must be surrounded by crushed stone.*
RESPONSE: HDPE pipe is surrounded b crushed stone.
14. *Hydrant locations to be approved by Portsmouth Fire.*
RESPONSE: Hydrant locations will be approved by Portsmouth Fire.
15. *Show water lines for fire service sprinklers.*
RESPONSE: Water lines for fire service sprinklers are shown on the plans.
16. *Will there be parking allowed on the internal driveways?*
RESPONSE: No parking will be allowed on the internal driveways.
17. *The width of the travel lane should not be less than 24' at any point.*
RESPONSE: The travel lane width has been revised.
18. *The dead end section of the travel lane should be a minimum of 26' wide.*
RESPONSE: The dead end section of the travel lane has been revised.

19. *The driveway and parking areas for the 12 townhouse units located near Lafayette Road should have at least 60 feet of pavement between the buildings to allow for parking and turning movements.*

RESPONSE: We already have over 60' of pavement from garage door to garage door from the closest units and more at the wider units. Dimension has been added to clarify.

20. *All buildings should allow for front decks over the garages in order to soften the visual impact of the large garage doors at the ground level. Where no decks are proposed I would suggest double doors be considered (or a facsimile thereof) to add visual interest and break up the monotony and expansiveness of the ground-floor garages.*

RESPONSE: There are a number of different unit styles with varying roof lines to provide visual interest.

21. *The neighborhood design would benefit from removal of units 19-23 and rotating the building containing units 24-26 along the cul-de-sac. At a minimum, due to the orientation and circulation constraints I would remove at least the last two units (19-20). This area could be used for active recreation (i.e. a playground, dog park, grilling area...) for the remaining units.*

RESPONSE: We have already removed 4 units from the design based on the previous feedback received. The site is more open between buildings, has additional buildings with less units per building, varying styles of buildings, sizes, deck locations and we do have more than required space for active and passive recreation and land conservation.

22. *The dog park should be located outside the buffer zone.*

RESPONSE: The dog park has been moved out of the buffer zone.

23. *4 visitor spaces seems low given the proposed density and the fact that many residents will be parking in front of their units.*

RESPONSE: Each unit has a 2 car garage and 2 parking spaces in front of the unit. We feel the 4 visitor spaces is adequate since every unit can fit 4 cars.

24. *The snow storage areas look inadequate for the proposed impervious surface.*

RESPONSE: The snow storage areas have been expanded.

25. *The proposed sidewalk should be concrete and efforts should be made to connect a pedestrian walkway to all the proposed units.*

RESPONSE: The sidewalks have been modified to concrete.

26. *The existing trail system around the wetland should be clearly identified and improved to be used as a passive recreational trail for the residents.*

RESPONSE: The existing trail system around the wetland has been clearly identified on the plans.

27. *Please describe your plan for solid waste/trash storage and collection.*

RESPONSE: A note has been added to the plans for solid waste/trash storage and collection.

28. *You will need to provide will-serve letters from relevant utilities.*

RESPONSE: We have requested the will-serve letter from relevant utilities.

29. *Please provide an update on the status of any state permits.*

RESPONSE: Note #20 on the Sheet C2 provides a list of required State Permits. Dates and permit numbers will be added upon receipt.

30. *Please provide a green building statement consistent with the requirements of Section 2.5.3.1A of the Site Review Regulations.*

RESPONSE: The architect will be providing the green building statement.

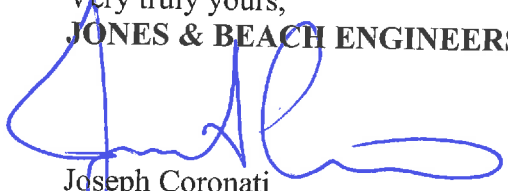
The following is provided in support of this letter:

1. One (1) Full Size Plan Set.
2. One (1) Half-Size Plan Set.
3. Color Rendering of Site Plan.
4. Mitigation Documents.

Thank you very much for your time. If you have any questions, or need further assistance, please contact our office.

Very truly yours,

JONES & BEACH ENGINEERS, INC.



Joseph Coronati
Vice President

cc: Michael Green, Green & Company (via email)
John Kuzinivich, Esq (via email)
John Bosen, Esq (via email)
Greg Mikolaities, consultant (via email)
Jamie Long, GZA (via email)
Lindsay White, GZA (via email)
Tom Severino (via email)



Portsmouth Water Works

City of Portsmouth

700 ISLINGTON STREET . . . PORTSMOUTH, NEW HAMPSHIRE 03801

APRIL 17, 1985

MR. ROBERT RICCI
% THE RICCI CONSTRUCTION CO.
BANFIELD RD.
PORTSMOUTH, N. H. 03801

DEAR MR. RICCI:

THIS IS TO INFORM YOU THAT YOU MAY CONNECT TO
THE EXISTING EIGHT INCH WATER MAIN CROSSING LAFAYETTE
ROAD TO PROVIDE SERVICE TO YOUR PROPERTY SHOWN AS
LOT #11 OF THE CITY OF PORTSMOUTH TAX MAP #97.

YOU WILL, OF COURSE, BE REQUIRED TO HAVE PERMISSION
FROM THE STATE HIGHWAY DEPARTMENT TO INSTALL THE SERVICE
PIPE ON THEIR PROPERTY.

VERY TRULY YOURS,

RANCE G. COLLINS, SUPERINTENDENT
PORTSMOUTH WATER DEPARTMENT

RG/DR

"City of the Open Door"



AGREEMENT made this 17 day of April, 1985 by and between Hospital Corporation of America, of Nashville, Tennessee, hereinafter referred to as "Purchaser", and Ricci Corporation, having a principal place of business at Banfield Road, Portsmouth, County of Rockingham, State of New Hampshire, hereinafter referred to as "Seller", as follows:

1. SELLER agrees to convey to PURCHASER, or their successor in interest, an easement to enter onto and perform work upon a portion of a certain parcel of land, said parcel being located on the westerly side of Lafayette Road in said Portsmouth, containing forty-four (44.00) acres, more or less, more particularly bounded and described in attached Exhibit A.

2. SELLER further agrees to grant to the City of Portsmouth, concurrent with the easement referred to in the preceding paragraph, a perpetual conservation easement in a form acceptable to the City Attorney for the City of Portsmouth, said easement to cover the portion of the parcel of land more particularly described in Exhibit A.

3. It is agreed and understood by the parties that the purpose of the acquisition of the construction easement by Hospital Corporation of America or their successors in interest is to allow Hospital Corporation of America or their successors in interest to enter upon the property and to perform certain work pursuant to a "mitigation plan" approved by the Army Corps of Engineers, the Environmental Protection Agency, and U. S. Fish and Wildlife. Said mitigation plan will involve removal of construction debris and fill from a degraded wetland and upland

area. The aforesaid mitigation plan will also involve the placement upon the subject property quantities of wetland fill to enable Hospital Corporation of America or its successors in interest to create upon the site additional wetland areas pursuant to the afore-mentioned approved mitigation plan.

4. That the within agreement is contingent upon approval being obtained from the Army Corps of Engineers, United States Fish and Wildlife, and the Environmental Protection Agency, as well as all State Wetlands Boards and local Boards and Commissions for the "mitigation plan" and implementation thereof.

5. It is further understood by the parties hereto that the SELLER shall retain fee simple title to the property described in Exhibit A, subject to the easements described herein.

6. That should the PURCHASER fail to receive the necessary approvals set forth herein, this Agreement shall be null and void and the PURCHASER'S deposit shall be refunded. PURCHASER agrees that any and all construction activity for which the easement is being acquired shall be completed on or before December 31, 1987. The parties agree that the PURCHASER shall have 180 days from the execution hereof to obtain all the necessary approvals set forth herein. The closing is to occur within 60 days of PURCHASER'S obtaining all necessary approvals of the "mitigation plan" set forth herein, as well as all necessary approvals for the implementation thereof.

7. SELLER further agrees to convey to PURCHASER and its successors in interest a non-exclusive easement twenty-five (25') feet in width to pass and re-pass from Lafayette Road to the easement area described in Exhibit A.

8. SELLER agrees that it will allow PURCHASER, its agents and representatives, as well as agents and representatives of the U.S. Fish and Wildlife Department, Army Corps of Engineers, and the Environmental Protection Agency to enter upon the property contained in the proposed easement area for purposes of conducting necessary observation and testing.

9. In consideration of the foregoing, PURCHASER agrees to pay to the SELLER the sum of Sixty Thousand (\$60,000.00) Dollars, as follows:

Deposit upon execution by the SELLER of the within Agreement	\$ 1,000.00
At Closing	59,000.00

10. Purchaser agrees to survey at its expense the boundary of the proposed easement as shown on the attached Exhibit A, and to produce a recordable plan delineating said easement area.

11. With regard to said proposed easement area, Purchaser hereby agrees that the proposed easement will be no less than Four Hundred Ten (410') feet from the edge of the pavement of Lafayette Road, and Purchaser further covenants that the proposed easement area will be a minimum of One Hundred Twenty-five (125') feet from the northwesterly corner of land now or formerly of Louis Bowmar, Jr., said land being Lot #6 on Tax Map R-97 of the City of Portsmouth.

IN WITNESS WHEREOF, we have hereunto set our hand and seal
this 15th day of April, 1985.

HOSPITAL CORPORATION OF AMERICA

By 

Buy for HCA
PURCHASER

Rice Corporation Robert A. Rice, Jr.
SELLER

Exhibit
A

PROPOSED
EASEMENT
AREA

30 ACRES ±

CITY of
PORTS MAP 97
LOT 011

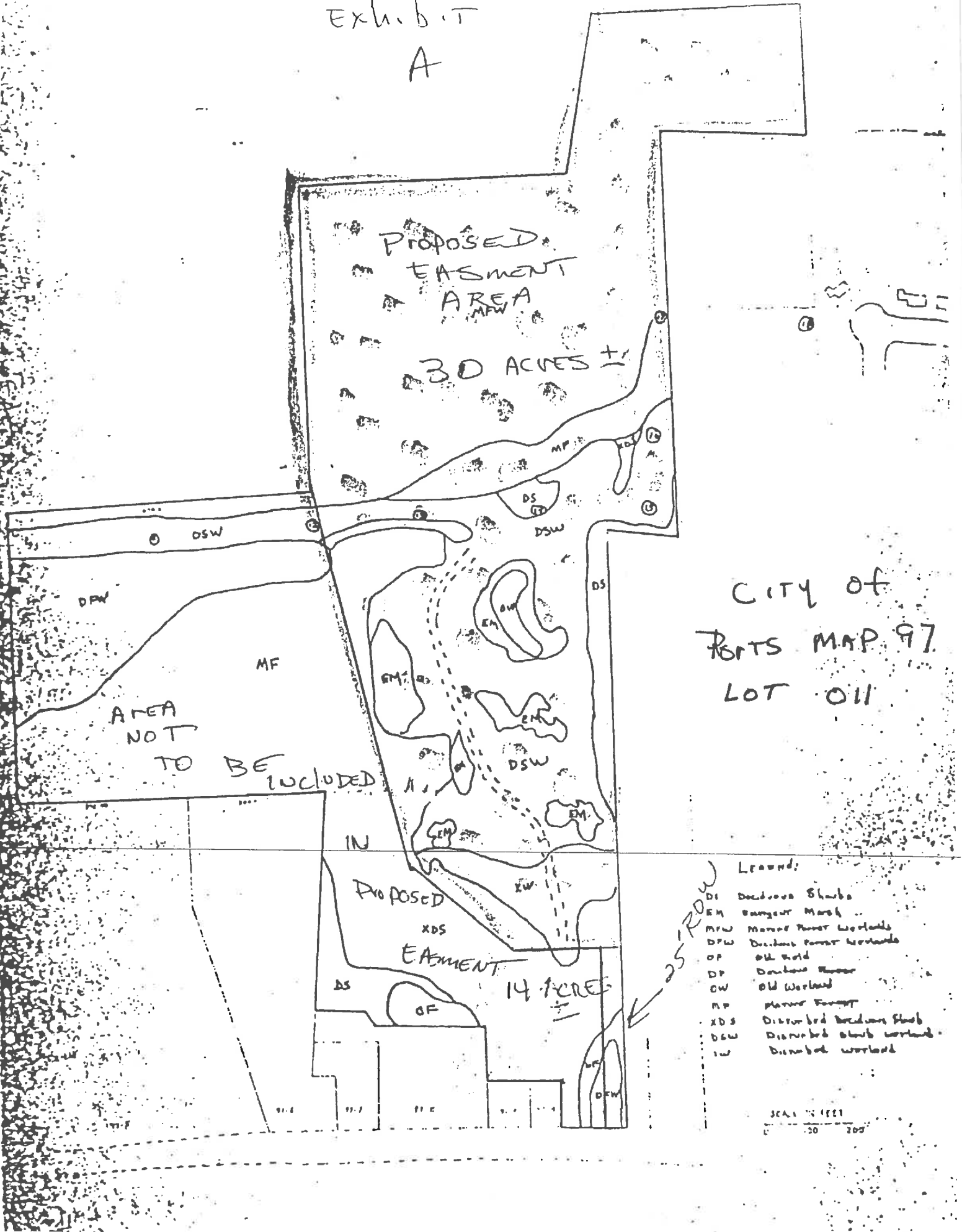
AREA
NOT
TO BE
INCLUDED

PROPOSED
EASEMENT
14 ACRES

25' ROW

- Legend:
- DS Deciduous Shrub
 - EM Emergent Marsh
 - MPW Managed Pasture Wetlands
 - DPW Disturbed Pasture Wetlands
 - OP Old Field
 - DP Disturbed Pasture
 - OW Old Wetland
 - MP Managed Forest
 - XDS Disturbed Deciduous Shrub
 - DSW Disturbed shrub wetland
 - IW Disturbed wetland

SCALE 1" = 100'
0 50 100



Weeks, Whalen & Gamester

REAL ESTATE BROKERS

April 19, 1985

Mr. Robert Ricci, Sr.
Ricci Construction Co.
Banfield Road
Portsmouth, NH 03801

Dear Bud:

Enclosed is an executed copy between Hospital Corporation of America of Nashville, Tennessee, and Ricci Corporation of Portsmouth, New Hampshire for the easement for the 44 acres of land which is owned by the Ricci Corporation off of Lafayette Road.

This letter is also to confirm that at the time of the transfer of that easement by the Ricci Corporation to HCA, that the real estate firm of Weeks, Whalen and Gamester will be paid a \$6,000.00 commission by Ricci Corporation from the \$60,000.00 proceeds paid by Hospital Corporation of America.

I'm going to be on vacation next week but upon my return I will again get together with Mike Pagano now that the pressure is off on the inventory forms and he has a little more time to discuss the change in taxation on this land when the easement is taken by HCA.

Warm Personal Regards,

WEEKS, WHALEN & GAMESTER


Peter G. Weeks

PGW:brg

Noble's Island/P.O. Box 1249/Portsmouth, New Hampshire 03801

(603) 431-1338

*File
of Rd*

PK2567 P1764



Legal Department

CITY OF PORTSMOUTH

City Hall, 126 Daniel Street
Portsmouth, New Hampshire 03801
(603) 431-2000, ext 200

Robert P. Sullivan,
City Attorney

James J. Flynn,
Assistant City Attorney

April 12, 1985

Robert Ricci, Sr.
Ricci Construction Company
Banfield Road
Portsmouth, N.H. 03801

Re: Conservation Easements

Dear Mr. Ricci:

This is to advise that if the "proposed easement area" identified on the attached "Exhibit A" is conveyed to HCA for conservation purposes, it may still be considered in density calculation for planned unit development purposes on Lot 011, Map 97.

This, of course, does not imply or guarantee approval of any particular project, each of which must be reviewed on its own merits.

Very truly yours,


Robert P. Sullivan,
City Attorney

RPS:bh

cc: Bernard Pelech, Esquire
Peter G. Weeks

BK2567 P1760

EASEMENT

KNOW ALL MEN BY THESE PRESENTS That Ricci Corporation, a New Hampshire corporation having a principal place of business at 220 Banfield Road, Portsmouth, County of Rockingham, State of New Hampshire, in consideration of One Dollar and other valuable consideration, grants to the City of Portsmouth, a municipal corporation in the State of New Hampshire, an easement in perpetuity for conservation purposes, in certain parcel of land located off Lafayette Road in said Portsmouth, said parcel being more particularly bounded and described as follows:

Beginning at a point Three Hundred Ninety-three and thirty-two hundredths (393.32) feet from the right-of-way limit of said Lafayette Road, said point being Four Hundred Ten (410) feet, more or less, from the edge of pavement of said Lafayette Road, at the eastern-most corner of the within described premises at land now or formerly of House-Goodman Limited Partnership; thence running

NORTH 67° 12' 29" West by said land of House-Goodman Two Hundred Forty-nine and Ninety-five hundredths (249.95) feet to a drill hole in a stone wall; thence turning and running

NORTH 67° 52' 24" West by said stone wall at land of House-Goodman One Hundred Ninety-four and Forty-two hundredths (194.42) feet to a drill hole in said stone wall; thence turning and running

NORTH 67° 20' 57" West by land of said House-Goodman Two Hundred Fifty-five and Fifty-six hundredths (255.56) feet to a drill hole in a stone wall; thence turning and running

NORTH 67° 10' 33" West by said stone wall a distance of One Hundred Eighty-two and Fifty-one hundredths (182.51) feet to a drill hole at an intersecting stone wall; thence turning and running

NORTH 30° 47' 10" East along a stone wall One Hundred Seventy-two and Eighty-seven hundredths (172.87) feet by land of said House-Goodman to a drill hole in said stone wall; thence turning and running

NORTH 67° 16' 08" West by land now or formerly of Pres'n and Shirley Garrett a distance of Nine Hundred Three and Six six hundredths (903.66) feet to a point; thence turning and running

NORTH 27° 47' 17" East by land of said Garrett a distance of Two Hundred One and Sixty hundredths (201.60) feet to an iron rod at land of said Garrett and land of Karen and Elizabeth Kapelos; thence running

LAW OFFICES OF
JOHN J. WHOLEY
224 STATE STREET
PORTSMOUTH, N. H.

49304

Rockingham County
Registry of Deeds

BK2567 P1761

NORTH 27° 47' 17" East by land of said Kapelos a distance of One Hundred Forty-one and Eighty-six hundredths (141.86) feet to an iron rod at land of Kapelos and land now or formerly of Lamothe Development Corporation; thence turning and running

NORTH 67° 16' 22" West by land of said Lamothe Development Corporation a distance of Two Hundred Eighty and Twenty-seven hundredths (280.27) feet to a point on a stone wall at land of said Lamothe Development Corporation at land now or formerly of the City of Portsmouth; thence turning and running

SOUTH 22° 49' 03" West by land of said Portsmouth a distance of Seventy-five and Fifty-seven hundredths (75.57) feet to a tree with barbed wire; thence running

SOUTH 22° 49' 03" West along said stone wall by land of said Portsmouth One Hundred Forty-one and Fifty-two hundredths (141.52) feet to a blazed pine; thence running

SOUTH 22° 41' 08" West by land of said Portsmouth a distance of Two Hundred Ninety-six and Five Hundredths (296.05) feet to an iron pin; thence turning and running

SOUTH 66° 47' 15" East by land of said Portsmouth a distance of Three Hundred Forty-two and Fifty-one hundredths (342.51) feet to an iron pin; thence turning and running

SOUTH 21° 20' 53" West a distance of Six Hundred Seventeen and Sixty-two hundredths (617.62) feet to an iron pin at land of said Portsmouth and land now or formerly of the City of Portsmouth Conservation Commission; thence turning and running

SOUTH 66° 24' 52" East by land now or formerly of the City of Portsmouth Conservation Commission to a fencepost with barbed wire; thence turning and running

SOUTH 66° 37' 22" East by land of said Conservation Commission a distance of Three Hundred Ninety-five and Twenty-eight Hundredths (395.28) feet to an iron pin at land of said Conservation Commission and land of the Grantor; thence turning and running

SOUTH 77° 10' 28" East a distance of Eight Hundred Thirty-two and Sixty-nine hundredths (832.69) feet by land of the within Grantor to a point; thence turning and running

NORTH 57° 48' 48" East a distance of Two Hundred Eighty-nine and Ninety-nine hundredths (289.99) feet by land of the within Grantor to a point; thence turning and running

NORTH 22° 47' 31" East by land of the within Grantor a distance of Two Hundred Fifty and zero hundredths (250.00) feet to the point of beginning.

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JOHN J. WHOLEY
224 STATE STREET
PORTSMOUTH, N. H.

82567 P1762

Said easement is granted simultaneously with an easement granted to Hospital Corporation of America for the purposes of construction upon and maintenance of wetlands created on said premises. Said easement to Hospital Corporation of America will be recorded herewith.

For title reference, see decree of Rockingham County Superior Court dated September 13, 1968, recorded in the Rockingham County Registry of Deeds at Book 1930, Page 229. See also deed of Wayne Mullavey, Executor of the estate of Wil' am H. Sleeper, recorded in the Rockingham County Registry of Deeds in Book 1589, Page 412.

Signed this 11th day of October, 1985.

RICCI CORPORATION

By Robert A. Ricci

STATE OF NEW HAMPSHIRE
Rockingham, ss.

Personally appeared the above-named Robert A. Ricci
duly authorized, and acknowledged that he executed the foregoing
instrument as his free act and deed and in his said capacity.

James E. [Signature]
Justice of the Peace / Notary Public

LAW OFFICES OF
JOHN J. WHOLEY
224 STATE STREET
PORTSMOUTH, N. H.

BK2567 P1763

CORPORATE VOTE OF RICCI CORPORATION

At a special meeting of the directors of Ricci Corporation held on October 8, 1985, it was duly voted that Robert A. Ricci, Sr. be authorized to sign any and all documents relative to the conveyance of easement to Hospital Corporation of America and the City of Portsmouth, New Hampshire.


James E. Ritzo, Acting Secretary

A True Copy Attest

PROJECT CLASS

FEE

FOR WETLANDS BOARD OFFICE USE ONLY

MINIMUM IMPACT	\$ 10.00
MINOR	\$ 25.00
MAJOR	\$100.00

FEE RECEIVED	_____	_____	_____
	CHECK NO.	AMOUNT	INIT.

FILE NUMBER _____

FILING FEE (CHECK OR MONEY ORDER MADE PAYABLE TO NH WETLANDS BOARD) IS REQUIRED TO ACCOMPANY THIS APPLICATION FORM TO THE WETLANDS BOARD OFFICE.

Application is hereby made for a permit to accomplish work described below relating to filling, dredging, or construction of structures under the provisions of RSA Chapters 483-A and 149:8a. One copy of your application will be acted upon by W.S.P.C.C. and such action will be incorporated in one distribution.

1. NAME OF OWNER Hospital Corp. fo America TELEPHONE NUMBER 1-800-251-2561
(Please Print Clearly or Type)

MAILING ADDRESS 1 Park Plaza, Nashville, TN 37203

2. LOCATION OF PROPOSED CONSTRUCTION Lafayette Road, Portsmouth, NH 03801
(street, road, highway) (Town, City)

3. Complete the location map on reverse side on all copies or attached a map to each copy.

4. Adjacent to, or in (~~xxx~~) (fresh) water unnamed
(name of water body)

5. Type of project - (x) Fill (x) Dredge () Pier () Other _____
(specify)

6. Reason(s) for proposed construction See Attached plan for mitigation by
Normandeau Associates, Inc. Dated September 4, 1985

7. Proposed starting date October 15, 1985 Completion Date November 15, 1985

8. Description of construction:

- | | | |
|--|--|--|
| (a) Type of Material: | (In man-made Wetland) | Wetlands Soil from |
| | <u>Dredge Construction Debris & Fill</u> | <u>Hospital Site</u> |
| | | Gravel 6.63 AC - 288,750 SF Total Exc. |
| (b) Estimated area to be dredged (square feet) | <u>1.03 AC - 45,250 SF in man-made Wetland</u> | |
| (c) Estimated area to be filled (square feet) | <u>6.63 AC - 288,750 SF Total</u> | |

W2567 P1760

EASEMENT

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NORTH 67° 52' 24" West by said stone wall at land of House-Goodman One Hundred Ninety-four and Forty-two hundredths (194.42) feet to a drill hole in said stone wall; thence turning and running

NORTH 67° 20' 57" West by land of said House-Goodman Two Hundred Fifty-five and Fifty-six hundredths (255.56) feet to a drill hole in a stone wall; thence turning and running

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BK2567 P1761

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SOUTH 22° 49' 03" West by land of said Portsmouth a distance of Seventy-five and Fifty-seven hundredths (75.57) feet to a tree with barbed wire; thence running

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N2567 P1762

Said easement is granted simultaneously with an easement granted to Hospital Corporation of America for the purposes of construction upon and maintenance of wetlands created on said premises. Said easement to Hospital Corporation of America will be recorded herewith.

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Signed this 11th day of October, 1985.

RICCI CORPORATION

By Robert A. Ricci

STATE OF NEW HAMPSHIRE
Rockingham, ss.

Personally appeared the above-named Robert A. Ricci duly authorized, and acknowledged that he executed the foregoing instrument as his free act and deed and in his said capacity.

James E. Petty
Justice of the Peace/Notary Public

BK2567 P1763

CORPORATE VOTE OF RICCI CORPORATION

At a special meeting of the directors of Ricci Corporation held on October 8, 1985, it was duly voted that Robert A. Ricci, Sr. be authorized to sign any and all documents relative to the conveyance of easement to Hospital Corporation of America and the City of Portsmouth, New Hampshire.


James E. Ritzo, Acting Secretary

A True Copy Attest

M2567 P1764



Legal Department

CITY OF PORTSMOUTH

City Hall, 126 Daniel Street
Portsmouth, New Hampshire 03801
(603) 431-2000, ext 200

Robert P. Sullivan
City Attorney

James J. Flynn,
Assistant City Attorney

April 12, 1985

Robert Ricci, Sr.
Ricci Construction Company
Banfield Road
Portsmouth, N.H. 03801

Re: Conservation Easements

Dear Mr. Ricci:

This is to advise that if the "proposed easement area" identified on the attached "Exhibit A" is conveyed to HCA for conservation purposes, it may still be considered in density calculation for planned unit development purposes on Lot 011, Map 97.

This, of course, does not imply or guarantee approval of any particular project, each of which must be reviewed on its own merits.

Very truly yours,

Robert P. Sullivan,
City Attorney

RPS:bh

cc: Bernard Pelech, Esquire
Peter G. Weeks

M2567 P1765

EASEMENT

KNOW ALL MEN BY THESE PRESENTS that Ricci Corporation, a New Hampshire corporation having a principal place of business at 220 Banfield Road, Portsmouth, County of Rockingham, State of New Hampshire, for consideration paid, grants to Hospital Corporation of America, a Tennessee corporation having an address at One Park Plaza, Nashville, Tennessee, an easement to use for construction and maintenance purposes a certain parcel of land located off Lafayette Road, said parcel being more particularly bounded and described as follows:

Beginning at a point Three Hundred Ninety-three and thirty-two hundredths (393.32) feet from the right-of-way limit of said Lafayette Road, said point being Four Hundred Ten (410) feet, more or less, from the edge of pavement of said Lafayette Road, at the eastern-most corner of the within described premises at land now or formerly of House-Goodman Limited Partnership; thence running

NORTH 67° 12' 29" West by said land of House-Goodman Two Hundred Forty-nine and Ninety-five hundredths (249.95) feet to a drill hole in a stone wall; thence turning and running

NORTH 67° 52' 24" West by said stone wall at land of House-Goodman One Hundred Ninety-four and Forty-two hundredths (194.42) feet to a drill hole in said stone wall; thence turning and running

NORTH 67° 20' 57" West by land of said House-Goodman Two Hundred Fifty-five and Fifty-six hundredths (255.56) feet to a drill hole in a stone wall; thence turning and running

NORTH 67° 10' 33" West by said stone wall a distance of One Hundred Eighty-two and Fifty-one hundredths (182.51) feet to a drill hole at an intersecting stone wall; thence turning and running

NORTH 30° 47' 10" East along a stone wall One Hundred Seventy-two and Eighty-seven hundredths (172.87) feet by land of said House-Goodman to a drill hole in said stone wall; thence turning and running

NORTH 67° 16' 08" West by land now or formerly of Preston and Shirley Garrett a distance of Nine Hundred Three and Sixty-six hundredths (903.66) feet to a point; thence turning and running

NORTH 27° 47' 17" East by land of said Garrett a distance of Two Hundred One and Sixty hundredths (201.60) feet to an iron rod at land of said Garrett and land of Karen and Elizabeth Kapelos; thence running

49305

Oct 11 4 04 PM '85
Rockingham County
Registry of Deeds

STATE OF NEW HAMPSHIRE
TAX ON TRANSFER
OF REAL PROPERTY
450.00
121101

LAW OFFICES OF
JOHN J. WHOLEY
224 STATE STREET
PORTSMOUTH, N.H.

#2567 P1766

NORTH 27° 47' 17" East by land of said Kapelos a distance of One Hundred Forty-one and Eighty-six hundredths (141.86) feet to an iron rod at land of Kapelos and land now or formerly of Lamothe Development Corporation; thence turning and running

NORTH 67° 16' 22" West by land of said Lamothe Development Corporation a distance of Two Hundred Eighty and Twenty-seven hundredths (280.27) feet to a point on a stone wall at land of said Lamothe Development Corporation at land now or formerly of the City of Portsmouth; thence turning and running

SOUTH 22° 49' 03" West by land of said Portsmouth a distance of Seventy-five and Fifty-seven hundredths (75.57) feet to a tree with barbed wire; thence running

SOUTH 22° 49' 03" West along said stone wall by land of said Portsmouth One Hundred Forty-one and Fifty-two hundredths (141.52) feet to a blazed pine; thence running

SOUTH 22° 41' 08" West by land of said Portsmouth a distance of Two Hundred Ninety-six and Five Hundredths (296.05) feet to an iron pin; thence turning and running

SOUTH 66° 47' 15" East by land of said Portsmouth a distance of Three Hundred Forty-two and Fifty-one hundredths (342.51) feet to an iron pin; thence turning and running

SOUTH 21° 20' 53" West a distance of Six Hundred Seventeen and Sixty-two hundredths (617.62) feet to an iron pin at land of said Portsmouth and land now or formerly of the City of Portsmouth Conservation Commission; thence turning and running

SOUTH 66° 24' 52" East by land now or formerly of the City of Portsmouth Conservation Commission to a fencepost with barbed wire; thence turning and running

SOUTH 66° 37' 22" East by land of said Conservation Commission a distance of Three Hundred Ninety-five and Twenty-eight Hundredths (395.28) feet to an iron pin at land of said Conservation Commission and land of the Grantor; thence turning and running

SOUTH 77° 10' 28" East a distance of Eight Hundred Thirty-two and Sixty-nine hundredths (832.69) feet by land of the within Grantor to a point; thence turning and running

NORTH 57° 48' 48" East a distance of Two Hundred Eighty-nine and Ninety-nine hundredths (289.99) feet by land of the within Grantor to a point; thence turning and running

NORTH 22° 47' 31" East by land of the within Grantor a distance of Two Hundred Fifty and zero hundredths (250.00) feet to the point of beginning.

K2567 P1767

Said easement is granted simultaneously with a perpetual conservation easement to the City of Portsmouth of even date to be recorded herewith.

Said easement is granted for the purpose of allowing the within Grantee to enter onto said property to perform certain dredging and filling on the premises. The Grantee or its assigns shall have the right to enter onto said premises in perpetuity for the sole purpose of maintenance of wetlands to be created on the premises.

The Grantor herein does further convey to the Grantee a right to pass and repass over other land of the Grantor from Lafayette Road, so-called, to the within demised premises, upon a right-of-way twenty-five (25') feet in width running from Lafayette Road along the traveled way as it presently exists to the within demised premises.

For title reference, see decree of Rockingham County Superior Court dated September 13, 1968, recorded in the Rockingham County Registry of Deeds at Book 1930, Page 229. See also deed of Wayne Mullavey, Executor of the estate of William H. Sleeper, recorded in the Rockingham County Registry of Deeds in Book 1589, Page 412.

Signed this 11th day of October, 1985.

RICCI CORPORATION

By Robert A. Ricci

STATE OF NEW HAMPSHIRE
Rockingham, ss.

Personally appeared the above-named Robert A. Ricci duly authorized, and acknowledged that he executed the foregoing instrument as his free act and deed in his said capacity.

James E. Ricci
Justice of the Peace, Notary Public



Legal Department

BK2567 P1768

CITY OF PORTSMOUTH

City Hall, 126 Daniel Street
Portsmouth, New Hampshire 03801
(603) 431-2000, ext 200

Robert P. Sullivan
City Attorney
James J. Flynn,
Assistant City Attorney

April 12, 1985

Robert Ricci, Sr.
Ricci Construction Company
Banfield Road
Portsmouth, N.H. 03801

Re: Conservation Easements

Dear Mr. Ricci:

This is to advise that if the "proposed easement area" identified on the attached "Exhibit A" is conveyed to HCA for conservation purposes, it may still be considered in density calculation for planned unit development purposes on Lot 011, Map 97.

This, of course, does not imply or guarantee approval of any particular project, each of which must be reviewed on its own merits.

Very truly yours,

Robert P. Sullivan,
City Attorney

RPS:bh

cc: Bernard Pelech, Esquire
Peter G. Weeks



Bruce A. Bennett, Principal
Manager Building Energy Services
bruce.bennett@gdsassociates.com
direct 603-391-.0052
cell 603-860-0968

Green & Co
Attn: Michael Green
11 Lafayette Road, P.O. Box 1297
North Hampton, NH 03862

RE: 3400 Lafayette Road, Portsmouth, New Hampshire

Hello Michael:

Thank you for your continued commitment to ENERGY STAR Homes. We look forward to working with you on the certification of the units being constructed at 3400 Lafayette Road. Our team here at GDS is happy to be working with Green and Company on another ENERGY STAR Home project.

For the benefit of others not familiar with the ENERGY STAR label and what it means for homes receiving the label, ENERGY STAR is more than just energy efficient construction. It also includes an element of building durability and healthy building environments. The process includes energy modeling and performance-based testing as well as on-site inspections to confirm the modeling inputs, to identify opportunities to improve insulation and air-sealing prior to drywall, duct leakage testing, and blower door testing.


ENERGY STAR Home are by design at least 30% more efficient than code built home (IECC 2009) and include high efficient HVAC and water heating equipment, insulation installed to attain an installation grading of grade, excellent window efficiencies ($u\text{-value} \leq 0.30$) and high efficacy lighting and ENERGY STAR appliances.

Because ENERGY STAR encourages tight, well insulated buildings, the program does not want to create any issues with indoor air quality. Therefore, the program requires some means of whole-house ventilation (compliant with ASHRAE Standard 62.2) and includes a moisture management checklist. All of this adds a non-energy benefit to constructing a home that is energy efficiency, healthy and durable.

Our plan is to utilize the NHSaves program (sponsored by Eversource, Unitil, Liberty and NHEC) to provide support for modeling and inspections.

Once we receive a set of plans we can begin the take-off and energy modeling. In the meantime, as always, please contact me with any questions or design changes that may impact the ENERGY STAR Home certification.

Thank you,



Bruce Bennett, Principal

GDS-Home Energy Ratings of New England is a RESNET-accredited Home Energy Rating Provider and registered ENERGY STAR Partner



1155 Elm Street • Suite 702 • Manchester, NH 03101 • 603-656-0336 • Fax 866-611-3791 • www.gdsassociates.com
Marietta, GA • Austin, TX • Auburn, AL • Manchester, NH • Madison, WI • Orlando, FL • Augusta, ME



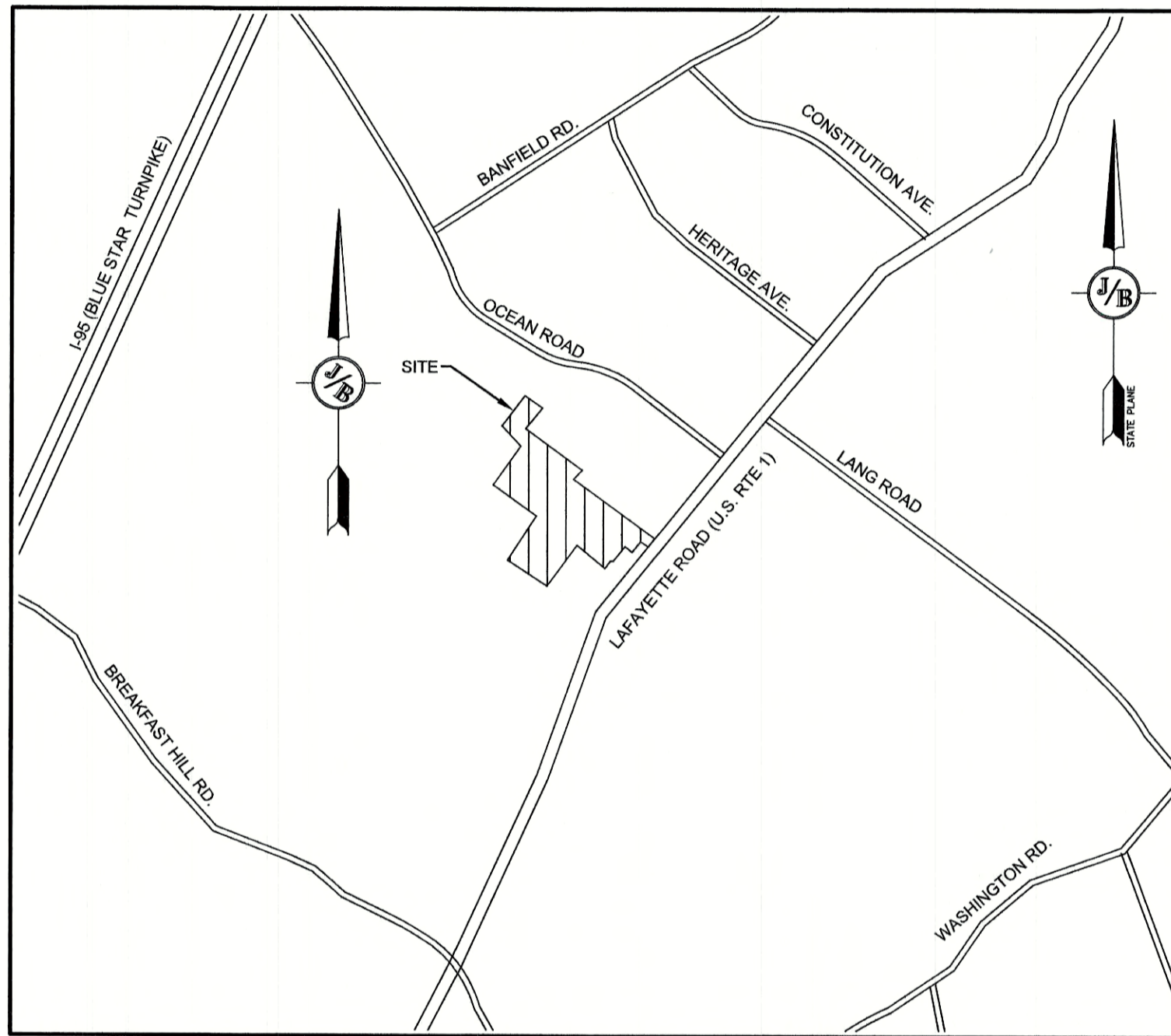
RESIDENTIAL CONDOMINIUMS

TAX MAP 297, LOT 11

3400 LAFAYETTE ROAD, PORTSMOUTH, NH

GENERAL LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRAVITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/ WINGWALLS
---	---	CULVERT W/ FLARED END SECTION
---	---	CULVERT W/ STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL



LOCUS MAP
SCALE 1" = 2000'

SHEET INDEX

CS	COVER SHEET
A1	BOUNDARY PLAN
EXOVR	OVERVIEW EXISTING CONDITIONS PLAN
C1	EXISTING CONDITIONS PLAN
OVR	OVERVIEW SITE PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4-C5	UTILITY PLAN
L1	LIGHTING PLAN
P1-P3	ROAD PLAN AND PROFILE
P4-P6	SEWER PROFILES
D1-D6	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
T1	TRUCK TURNING PLAN
LS-1-4	LANDSCAPE PLANS

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
 85 PORTSMOUTH AVENUE
 PO BOX 219
 STRATHAM, NH 03885
 (603) 772-4746
 CONTACT: JOSEPH CORONATI
 EMAIL: JCORONATI@JONESANDBEACH.COM

WETLAND CONSULTANT
GZA ENVIRONMENTAL
 5 COMMERCE PARK NORTH
 SUITE 201
 BEDFORD, NH 03110
 603-623-3600
 CONTACT: JAMES LONG

APPLICANT
GREEN & COMPANY
 11 LAFAYETTE ROAD
 PO BOX 1297
 NORTH HAMPTON, NH 03862
 603-964-7572
 CONTACT: MICHAEL GREEN
 MPG114@GMAIL.COM

LANDSCAPE ARCHITECT
TF MORAN, INC.
 48 CONSTITUTION DRIVE
 BEDFORD, NH 03110
 603-472-4488
 CONTACT: MIKE KRZEMINSKI
 MKRZEMINSKI@TFMORAN.COM

ARCHITECT:
STONEARCH DEVELOPMENT
 (603) 817-5758
 CONTACT: MICHAEL MACNEIL

ELECTRIC
EVERSOURCE ENERGY
 74 OLD DOVER ROAD
 ROCHESTER, NH 03867
 (603) 555-5334
 CONTACT: NICHOLAI KOSKO

TELEPHONE
FAIRPOINT COMMUNICATIONS
 1575 GREENLAND ROAD
 GREENLAND, NH 03840
 (603) 427-5525
 CONTACT: JOE CONSIDINE

CABLE TV
COMCAST COMMUNICATION CORPORATION
 334-B CALEF HIGHWAY
 EPPING, NH 03042-2325
 (603) 679-5695

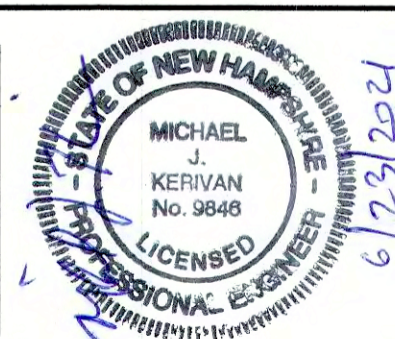
PROJECT PARCEL
 CITY OF PORTSMOUTH
 TAX MAP 297, LOT 11

TOTAL LOT AREA
 1,931,721 SQ. FT. ±
 44.35 ACRES ±

APPROVED – PORTSMOUTH, NH
 PLANNING BOARD

DATE: _____

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
1		REVISION	BY

Designed and Produced in NH

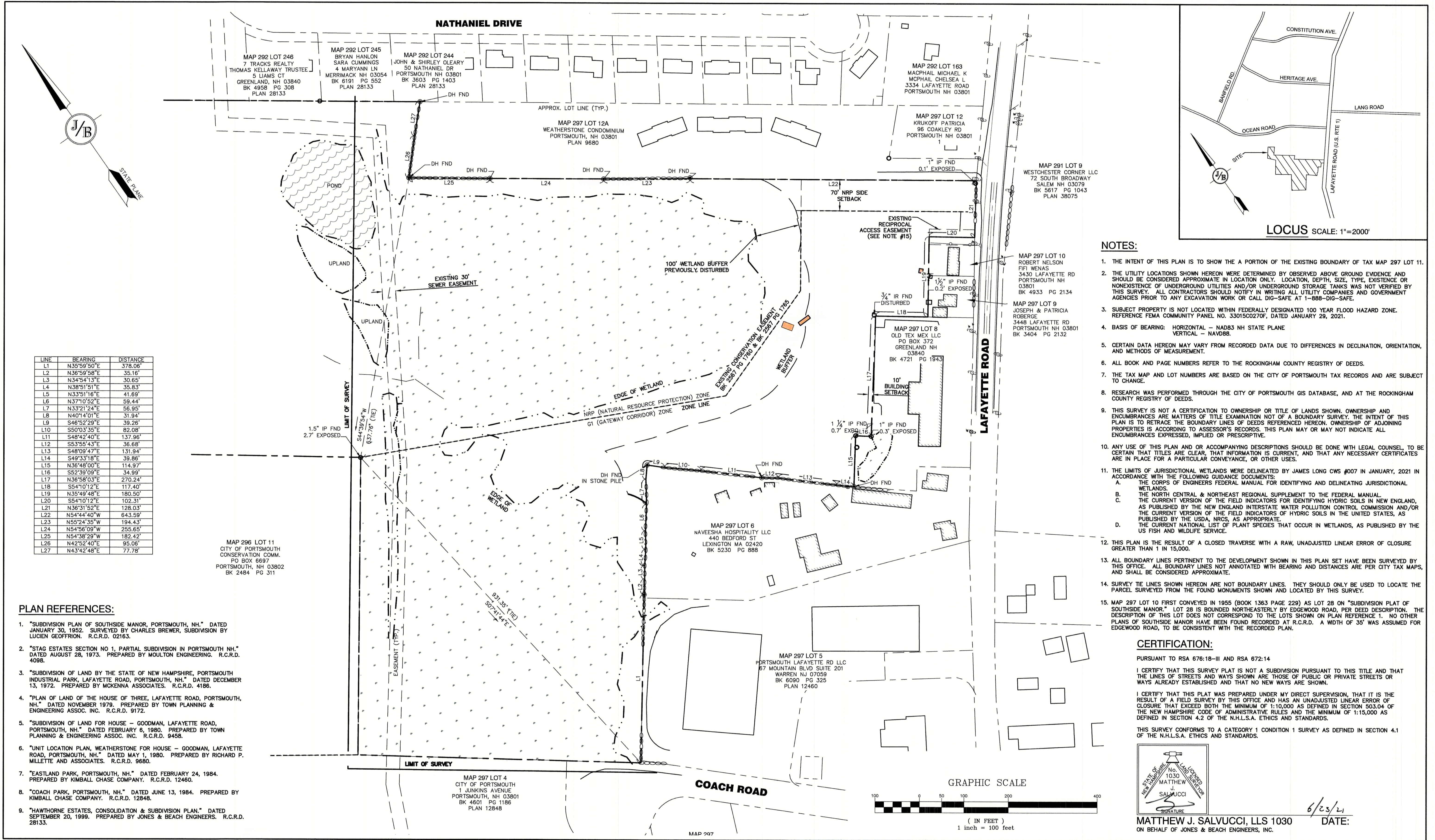
J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	CS
SHEET 1 OF 25	
JBE PROJECT NO. 20737	

PROJECT NAME AND LOCATION: JBE # 20737 REVISION 9/5/21



LINE	BEARING	DISTANCE
L1	N35°59'50"E	378.06'
L2	N36°59'58"E	35.16'
L3	N34°54'13"E	30.65'
L4	N38°51'51"E	35.83'
L5	N33°51'16"E	41.69'
L6	N37°10'52"E	59.44'
L7	N33°21'24"E	56.95'
L8	N40°14'01"E	31.94'
L9	S46°52'29"E	39.26'
L10	S50°03'35"E	82.08'
L11	S48°42'40"E	137.96'
L12	S53°55'43"E	36.68'
L13	S48°09'47"E	131.94'
L14	S49°33'18"E	39.86'
L15	N36°48'00"E	114.97'
L16	S52°39'09"E	34.99'
L17	N36°58'03"E	270.24'
L18	S54°10'12"E	117.40'
L19	N35°49'48"E	180.50'
L20	S54°10'12"E	102.31'
L21	N36°31'52"E	128.03'
L22	N54°44'40"W	643.59'
L23	N55°24'35"W	194.43'
L24	N54°56'09"W	255.65'
L25	N54°38'29"W	182.42'
L26	N42°52'40"E	95.06'
L27	N43°42'48"E	77.78'

- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE A PORTION OF THE EXISTING BOUNDARY OF TAX MAP 297 LOT 11.
 - THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
 - BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD88.
 - CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
 - ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
 - RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE, AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
 - ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
 - THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES LONG CWS #007 IN JANUARY, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
 - THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
 - ALL BOUNDARY LINES PERTINENT TO THE DEVELOPMENT SHOWN IN THIS PLAN SET HAVE BEEN SURVEYED BY THIS OFFICE. ALL BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCES ARE PER CITY TAX MAPS, AND SHALL BE CONSIDERED APPROXIMATE.
 - SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
 - MAP 297 LOT 10 FIRST CONVEYED IN 1955 (BOOK 1363 PAGE 229) AS LOT 28 ON "SUBDIVISION PLAT OF SOUTHSIDE MANOR." LOT 28 IS BOUNDED NORTHEASTERLY BY EDGEWOOD ROAD, PER DEED DESCRIPTION. THE DESCRIPTION OF THIS LOT DOES NOT CORRESPOND TO THE LOTS SHOWN ON PLAN REFERENCE 1. NO OTHER PLANS OF SOUTHSIDE MANOR HAVE BEEN FOUND RECORDED AT R.C.R.D. A WIDTH OF 35' WAS ASSUMED FOR EDGEWOOD ROAD, TO BE CONSISTENT WITH THE RECORDED PLAN.

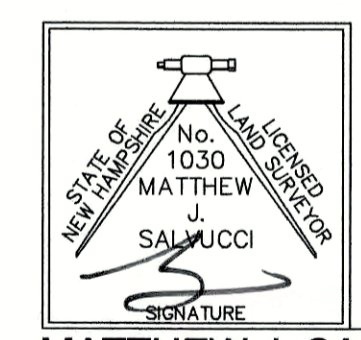
CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 6/23/21

PLAN REFERENCES:

- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH." DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRION. R.C.R.D. 02163.
- "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH." DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4098.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4186.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED NOVEMBER 1979. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9680.
- "EASTLAND PARK, PORTSMOUTH, NH." DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH." DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN." DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

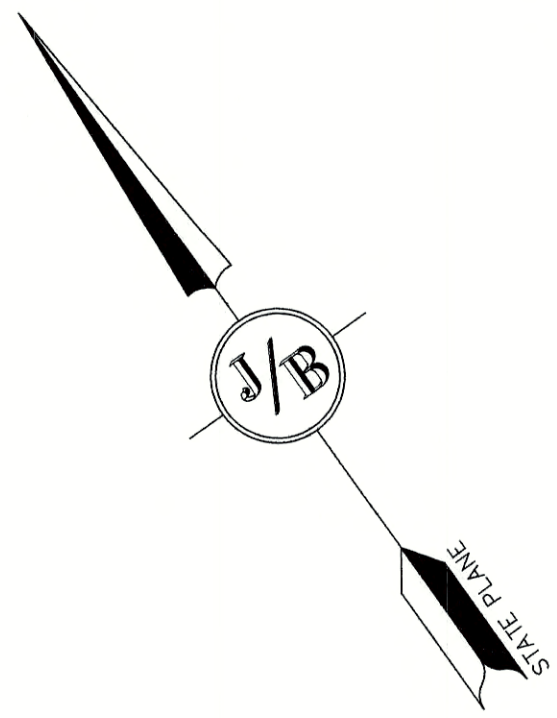
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	BOUNDARY PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	A1
SHEET 2 OF 25	JBE PROJECT NO. 20737

ADDITIONAL ABUTTERS

- TAX MAP 292 LOT 222 FRENCH FAMILY REVOCABLE TRUST OF 1999 FRENCH JAMES H & HEIDI B TRUSTEES 9 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 236 HERNANDEZ EMMANUEL HERNANDEZ KAREN 130 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 237 GORONSKI RICHARD C GORONSKI ALICIA K 120 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 223 DIEMER FREDERICK C REVO TRUST DIEMER FREDERICK C TRUSTEE 31 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 225 LE RYAN NGHIEM NGO HELEN 53 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 234 GARDNER JR C WESLEY REVO TRUST GARDNER JR C WESLEY TRUSTEE 150 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 235 YAEGER SUSAN 140 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 238 KARUNAKAREN SUBRAMANIAN TRUSTEE SHANMUKANANTHAN NAGHDEVI TRUSTEE 110 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 239 REDDY LAXMINARAYAN N REDDY DHANALAXMI L 100 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 240 MCCARTHY KAREN A BEAUVAIS AUDRA E 90 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 241 GALLAGHER PAUL J 80 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 242 WERRY WILLIAM A DOWD-WERRY DIANA M 72 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 243 HASSAN KERRI HASSAN COREY 60 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 1 RICHARDSON SCOTT A 35 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 3 CAHILL JEROME J CAHILL ERIN G 37 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOTS-1 DANFORTH FAMILY NOMINEE TRUST DANFORTH RICHARD K TRUSTEE 377 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-2 TRAN THEM T VU MINH D 379 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-3 COUTURIER FAM REV TST OF 2020 COUTURIER MICHAEL & KELLY TRUSTEES 381 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-5 PHAM CUC BUI TONY 385 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 6 GRAVEL TYLER 409 OCEAN RD PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-1 SEAWARD DANIEL O III 3370 LAFAYETTE RD #1 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-2 LAROCHE NOAH 3370 LAFAYETTE RD UNIT 2 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-3 SALMON CAROLYN M REVO TRUST SALMON CAROLYN M TRUSTEE 3370 LAFAYETTE RD #3 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-4 PERCHENSIS FAM REV TST LEHOUX NEIL M & RAYMOND J ROY TTEES 3370 LAFAYETTE RD UNIT 4 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-5 SLATTERY & DUMONT LLC 66 OLD CONCORD TURNPIKE #10 BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-6 RAMSAY STEVEN J RAMSAY SARAH B 2 INDIAN TR EXETER NH 03833
- TAX MAP 297 LOT 12A-7 GUTIERREZ NOEL E GUTIERREZ MYRNA M 3370 LAFAYETTE RD #7 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-8 NEVEU CHRISTOPHER PAUL 3370 LAFAYETTE RD UNIT 9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-9 CERAMI KRISTEN A REV TST OF 2020 CERAMI KRISTEN A TRUSTEE 3370 LAFAYETTE RD #9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-10 BOGARDUS KIRK W 11 WINTER ST APT 6 FRANKLIN MA 02038
- TAX MAP 297 LOT 12A-11 BOURQUE ALICIA K TIPPING KYLE T 83 SAINT MATTHEWS DR BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-12 HUBBARD CHARLOTTE 3370 LAFAYETTE RD UNIT 12 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-13 MCCOURT TREVOR MCCOURT KELSEY A 3370 LAFAYETTE RD UNIT #13 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-14 MORGAN ROBERT E 3370 LAFAYETTE RD #14 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-15 SHULTZ KEVIN J 3370 LAFAYETTE RD #15 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-16 AIKENS PETER J SR AIKENS JEAN P 3370 LAFAYETTE RD #16 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-17 FREIERMUTH CONSTANCE K REVO LIV FREIERMUTH CONSTANCE K TRUSTEE 3370 LAFAYETTE RD UNIT 17 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-18 QUINONES CARLOS M JR 3/4 INT POMBO LOREN DAVILA REVO TRST 06 3/4 INT 75 HIGH ST APT E4 EXETER NH 03833-2928
- TAX MAP 297 LOT 12A-19 KALIMUTHU MANIKANDAN 3370 LAFAYETTE RD #19 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-20 MILLER GEORGE R JR REVO TRUST 09 MILLER PATRICIA I REVO TRUST 09 3370 LAFAYETTE RD #20 PORTSMOUTH NH 03801



MAP 293 LOT 6-1
VILLO & EDNA RENZULLO
2959 MUIR RD
YUBA CITY CA 95991
BK 2298 PG 941

TAX MAP 293 LOT 2
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2660 PG 2419

MAP 292 LOT 221
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
BK 3481 PG 288
PLAN 28133

MAP 293 LOT 10
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2299 PG 424

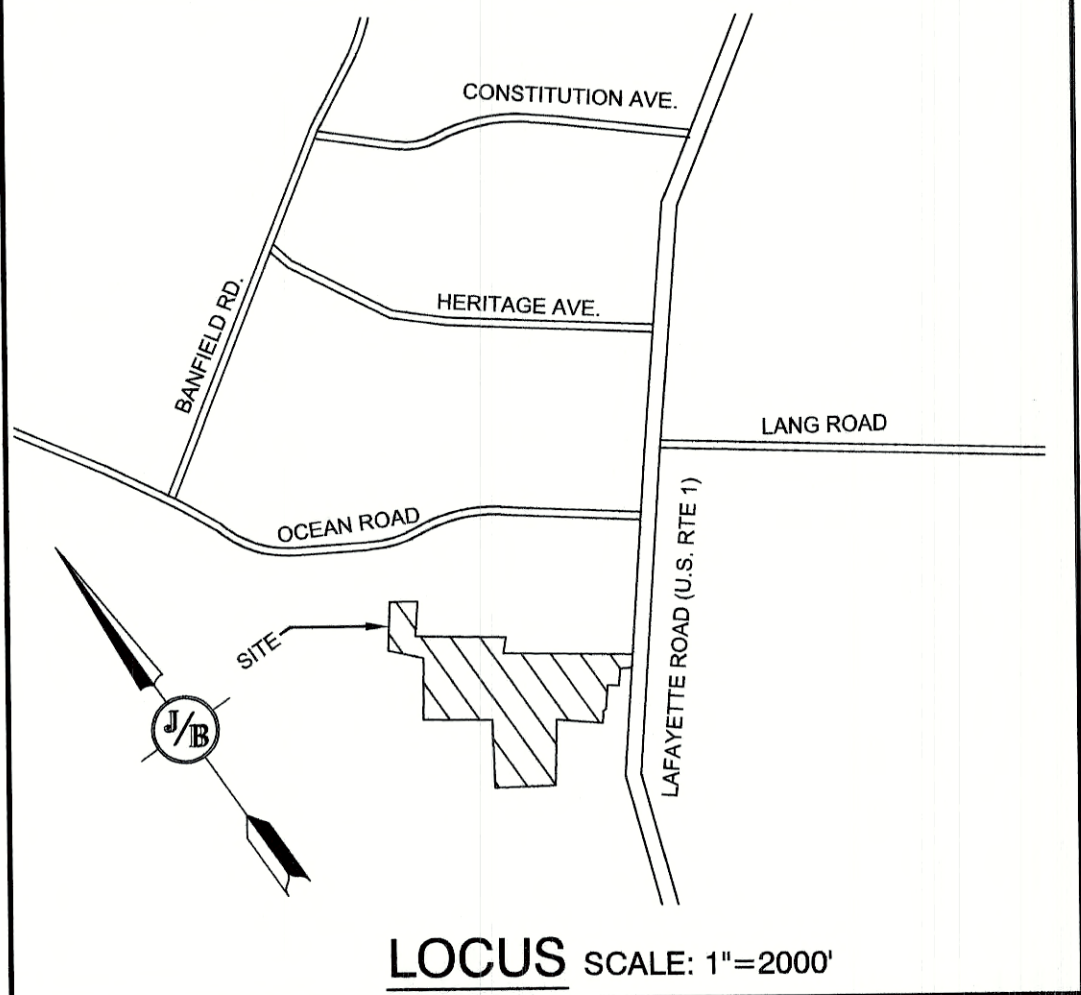
MAP 296 LOT 12
CITY OF PORTSMOUTH
CONSV COMM
PO BOX 6697
PORTSMOUTH NH 03802
BK 2488 PG 311

MAP 296 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6697
PORTSMOUTH, NH 03802
BK 2484 PG 311

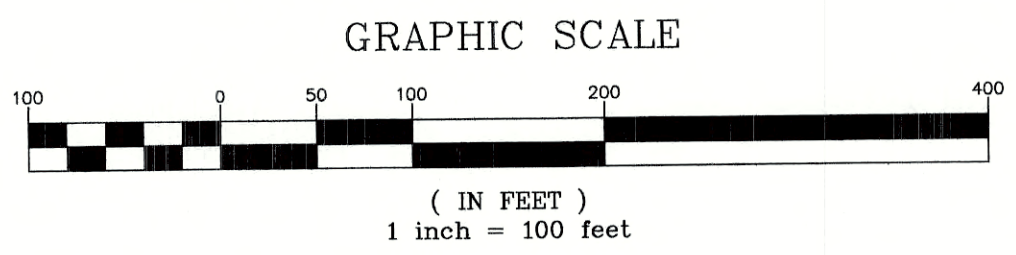
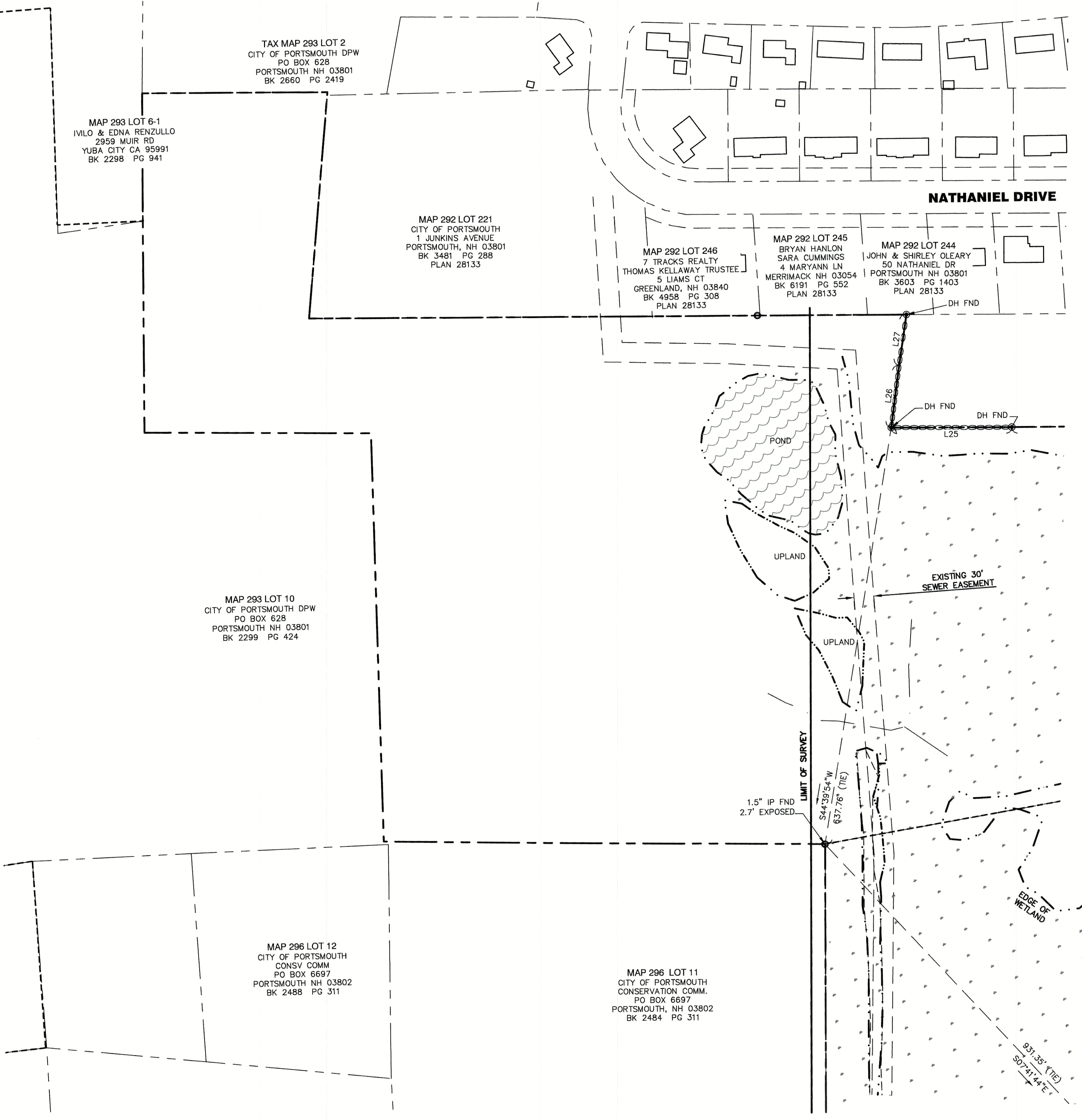
MAP 292 LOT 246
7 TRACKS REALTY
THOMAS KELLAWAY TRUSTEE
5 LIAMS CT
GREENLAND, NH 03840
BK 4958 PG 308
PLAN 28133

MAP 292 LOT 245
BRYAN HANLON
SARA CUMMINGS
4 MARYANN LN
MERRIMACK NH 03054
BK 6191 PG 552
PLAN 28133

MAP 292 LOT 244
JOHN & SHIRLEY OLEARY
50 NATHANIEL DR
PORTSMOUTH NH 03801
BK 3603 PG 1403
PLAN 28133

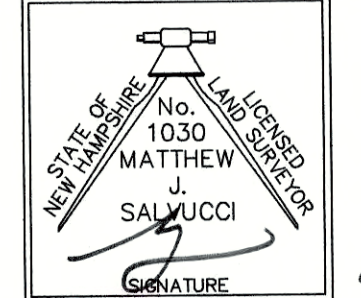


LOCUS SCALE: 1"=2000'



CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEED BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE: 6/23/21

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	BOUNDARY PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	A2
SHEET 3 OF 25	JBE PROJECT NO. 20737

ADDITIONAL ABUTTERS

- TAX MAP 292 LOT 222 FRENCH FAMILY REVOCABLE TRUST OF 1999 FRENCH JAMES H & HEDI B TRUSTEES 9 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 236 HERNANDEZ EMMANUEL HERNANDEZ KAREN 130 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 237 GORONSKI RICHARD C GORONSKI ALICJA K 120 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 223 DIEMER FREDERICK C REVO TRUST DIEMER FREDERICK C TRUSTEE 31 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 224 BARSTOW ERIK T BARSTOW JENNAFER J 41 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 225 LE RYAN NGHIEM NGO HELEN 53 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 234 GARDNER JR C WESLEY REVO TRUST GARDNER JR C WESLEY TRUSTEE 150 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 235 YAEGER SUSAN 140 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 238 KARUNAKAREN SUBRAMANIAN TRUSTEE SHANMUHANANTHAN NAGHDEVI TRUSTEE 110 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 239 REDDY LAXMINARAYAN N REDDY DHANALAKMI L 100 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 240 MCCARTHY KAREN A BEAUVAIS AUDRA E 90 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 241 GALLAGHER PAUL J 80 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 242 WERRY WILLIAM A DOWD-WERRY DIANA M 72 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 243 HASSAN KERI HASSAN COREY 60 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 1 RICHARDSON SCOTT A 35 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 3 CAHILL JEROME J CAHILL ERIN G 37 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOTS-1 DANFORTH FAMILY NOMINEE TRUST DANFORTH RICHARD K TRUSTEE 377 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-2 TRAN THEM T YU MINH D 379 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-3 COUTURIER FAM REV TST OF 2020 COUTURIER MICHAEL & KELLY TRUSTEES 381 OCEAN BLVD PORTSMOUTH, NH 03801
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- TAX MAP 293 LOT 6 GRAVEL TYLER 409 OCEAN RD PORTSMOUTH NH 03801
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- TAX MAP 297 LOT 12A-7 GUTIERREZ NOEL E GUTIERREZ MYRNA M 3370 LAFAYETTE RD #7 PORTSMOUTH NH 03801
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- TAX MAP 297 LOT 12A-12 HUBBARD CHARLOTTE 3370 LAFAYETTE RD UNIT 12 PORTSMOUTH NH 03801
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- TAX MAP 297 LOT 12A-18 QUINONES CARLOS M JR 3/4 INT POMBO LOREN DAVILA REVO TRST D6 3/4 INT 75 HIGH ST APT E4 EXETER NH 03833-2928
- TAX MAP 297 LOT 12A-19 KALIMUTHU MANIKANDAN 3370 LAFAYETTE RD #19 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-20 MILLER GEORGE R JR REVO TRUST 09 MILLER PATRICIA I REVO TRUST 09 3370 LAFAYETTE RD #20 PORTSMOUTH NH 03801

MAP 293 LOT 6-1
IVILO & EDNA RENZULLO
2859 MUIR RD
YUBA CITY CA 95991
BK 2298 PG 941

TAX MAP 293 LOT 2
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2660 PG 2419

MAP 292 LOT 221
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
BK 3481 PG 288
PLAN 28133

MAP 292 LOT 246
7 TRACKS REALTY
THOMAS KELLAWAY TRUSTEE
5 LIAMS CT
GREENLAND, NH 03840
BK 4958 PG 308
PLAN 28133

MAP 292 LOT 245
BRYAN HANLON
SARA CUMMINGS
4 MARYAN LN
MERRIMACK NH 03054
BK 6191 PG 552
PLAN 28133

MAP 292 LOT 244
JOHN & SHIRLEY OLEARY
50 NATHANIEL DR
PORTSMOUTH NH 03801
BK 3603 PG 1403
PLAN 28133

MAP 292 LOT 163
MCPHAIL MICHAEL K
MCPHAIL CHELSEA L
3334 LAFAYETTE ROAD
PORTSMOUTH NH 03801

MAP 297 LOT 12
KRUKOFF PATRICIA
96 COAKLEY RD
PORTSMOUTH NH 03801

MAP 291 LOT 9
WESTCHESTER CORNER LLC
72 SOUTH BROADWAY
SALEM NH 03079
BK 5617 PG 1043
PLAN 38075

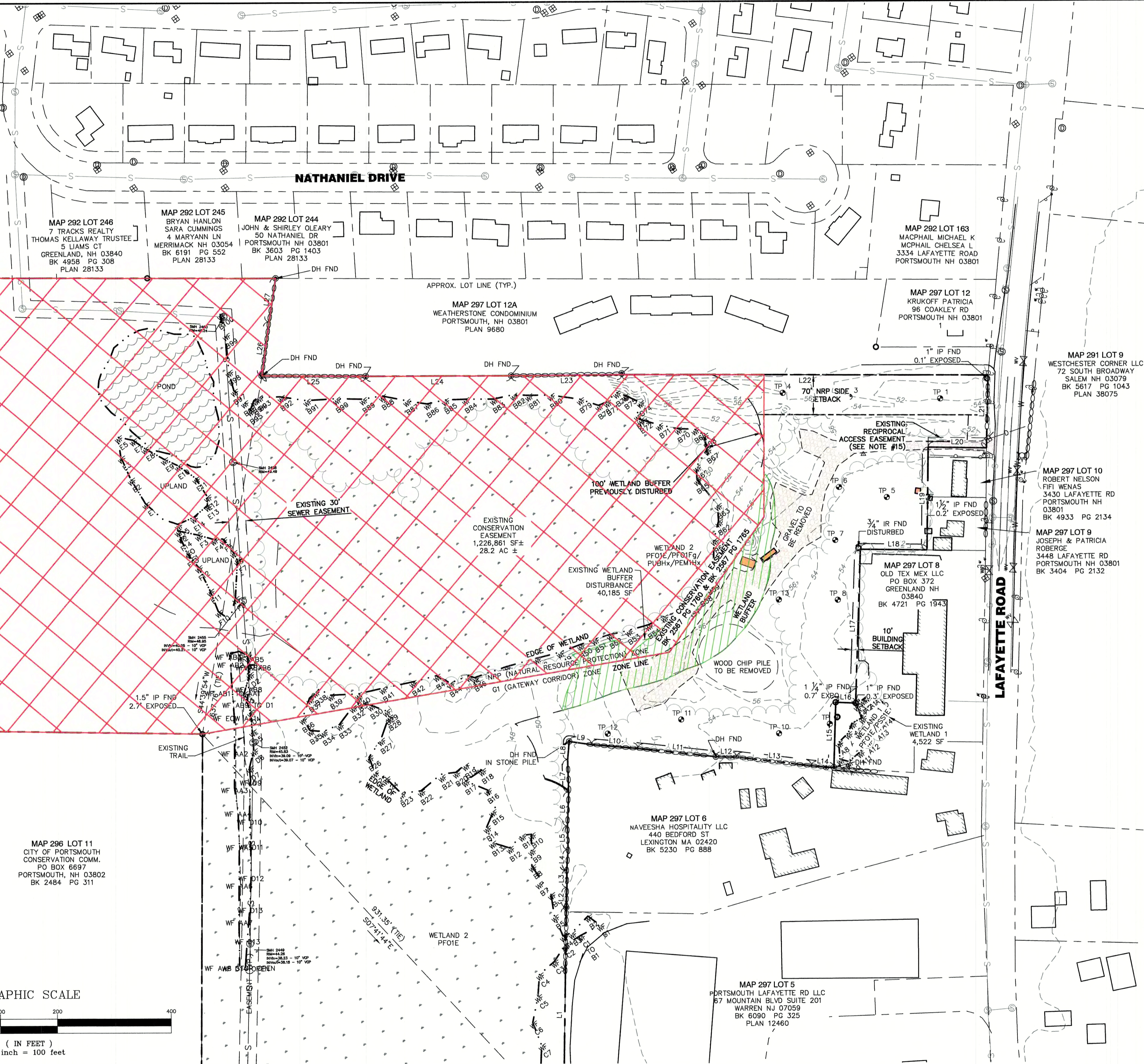
MAP 297 LOT 10
ROBERT NELSON
FIFI WENAS
3430 LAFAYETTE RD
PORTSMOUTH NH 03801
BK 4933 PG 2134

MAP 297 LOT 9
JOSEPH & PATRICIA
ROBERGE
3448 LAFAYETTE RD
PORTSMOUTH NH 03801
BK 3404 PG 2132

MAP 297 LOT 8
OLD TEX MEX LLC
PO BOX 372
GREENLAND NH
03840
BK 4721 PG 1943

MAP 297 LOT 6
NAVEESHA HOSPITALITY LLC
440 BEDFORD ST
LEXINGTON MA 02420
BK 5230 PG 888

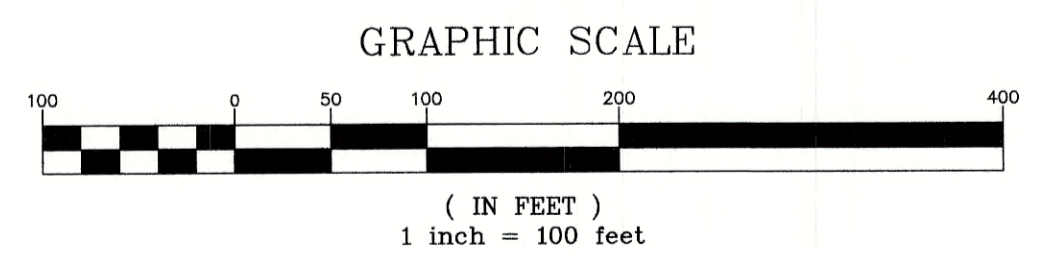
MAP 297 LOT 5
PORTSMOUTH LAFAYETTE RD LLC
87 MOUNTAIN BLVD SUITE 201
WARREN NJ 07059
BK 6090 PG 325
PLAN 12460



MAP 293 LOT 10
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2299 PG 424

MAP 296 LOT 12
CITY OF PORTSMOUTH
CONSV COMM
PO BOX 6697
PORTSMOUTH NH 03802
BK 2488 PG 311

MAP 296 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6697
PORTSMOUTH, NH 03802
BK 2484 PG 311



Design: JAC | Draft: LAZ | Date: 3/3/21
 Checked: JAC | Scale: AS SHOWN | Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
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2	1/6/21	MINOR REVISIONS	DJM
		REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. | Civil Engineering Services | 603-772-4746
 PO Box 219 | Stratham, NH 03885 | FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

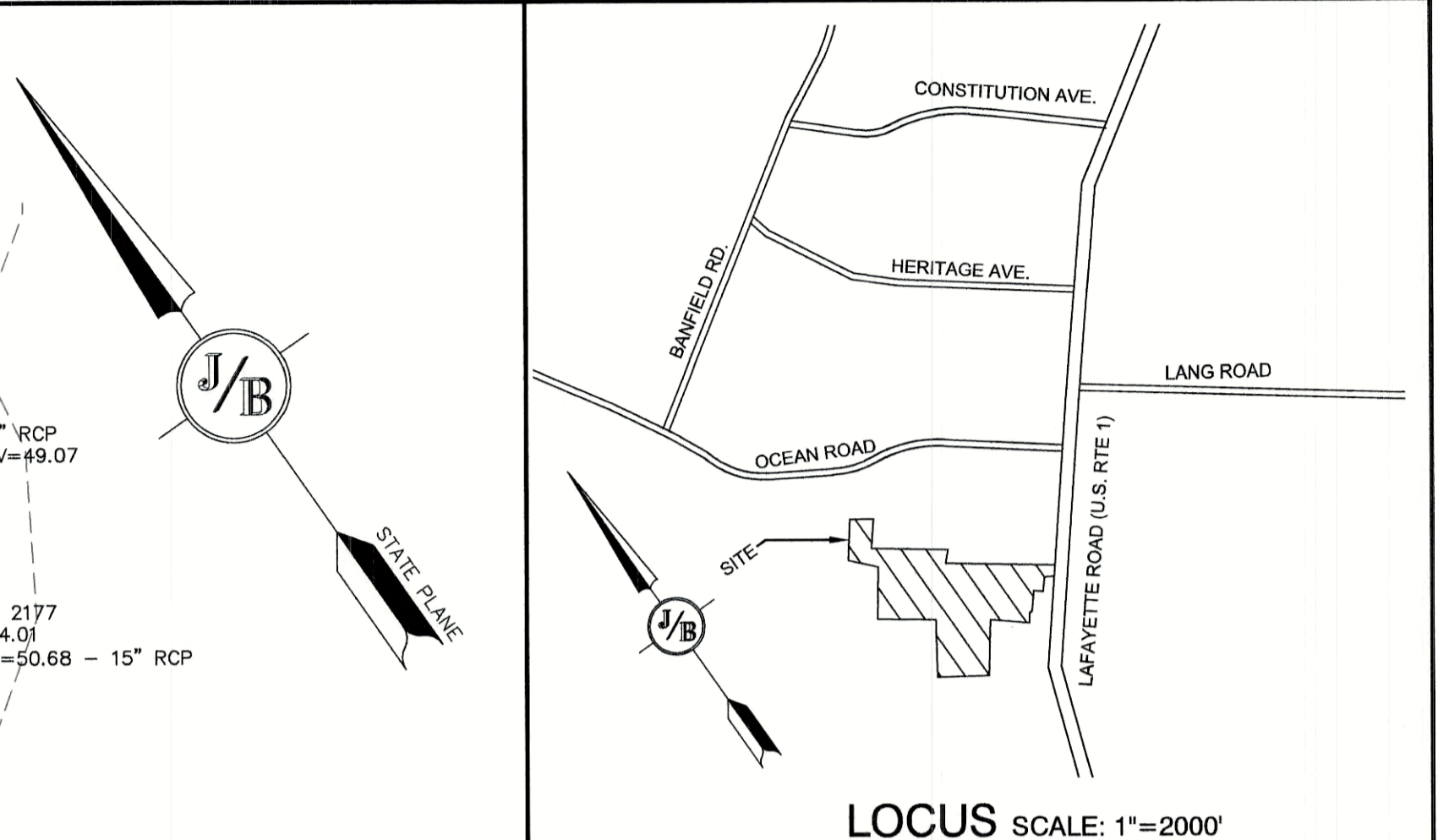
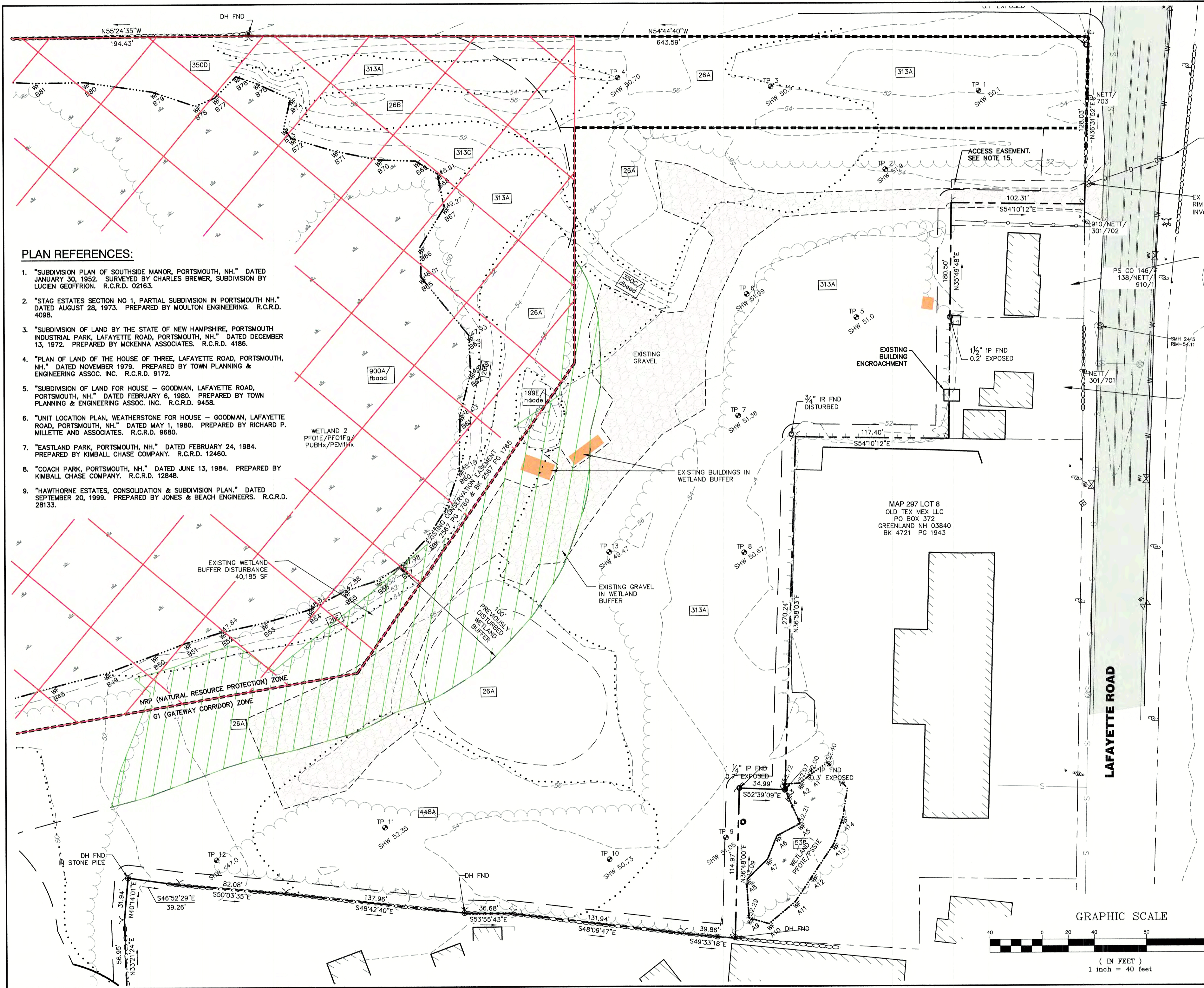
Plan Name: **OVERVIEW EXISTING CONDITIONS PLAN**

Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **EXOVR**

SHEET 4 OF 25
 JBE PROJECT NO. 20737



PLAN REFERENCES:

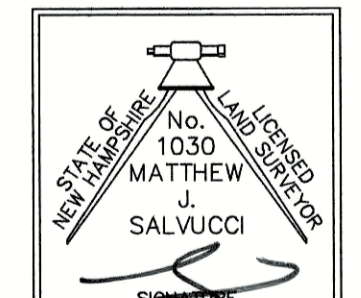
- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH." DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRION. R.C.R.D. 02163.
- "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH." DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4088.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4186.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED NOVEMBER 1979. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9680.
- "EASTLAND PARK, PORTSMOUTH, NH." DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH." DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN." DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

NOTES:

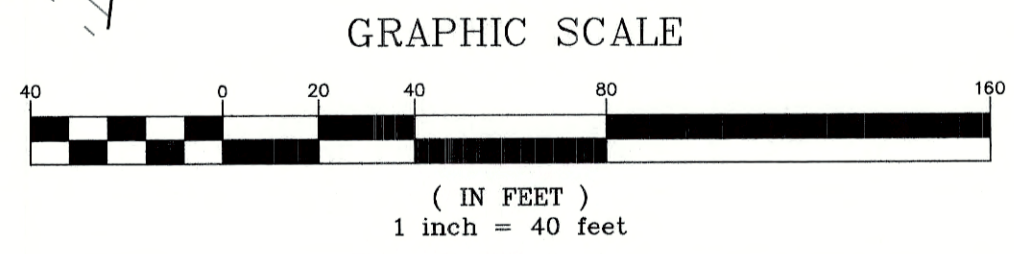
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 297 LOT 11.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 3301500270F, DATED JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE, AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL. TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES LONG CWS #007 IN JANUARY, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- ALL BOUNDARY LINES PERTINENT TO THE DEVELOPMENT SHOWN IN THIS PLAN SET HAVE BEEN SURVEYED BY THIS OFFICE. ALL BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCES ARE PER CITY TAX MAPS, AND SHALL BE CONSIDERED APPROXIMATE.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- MAP 297 LOT 10 FIRST CONVEYED IN 1955 (BOOK 1363 PAGE 229) AS LOT 28 ON "SUBDIVISION PLAT OF SOUTHSIDE MANOR." LOT 28 IS BOUNDED NORTHEASTERLY BY EDGEWOOD ROAD, PER DEED DESCRIPTION. THE DESCRIPTION OF THIS LOT DOES NOT CORRESPOND TO THE LOTS SHOWN ON PLAN REFERENCE 1. NO OTHER PLANS OF SOUTHSIDE MANOR HAVE BEEN FOUND RECORDED AT R.C.R.D. A WIDTH OF 35' WAS ASSUMED FOR EDGEWOOD ROAD, TO BE CONSISTENT WITH THE RECORDED PLAN.

CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14
 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
 I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEED BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
 THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030 DATE: 6/23/21
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.



Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
		REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

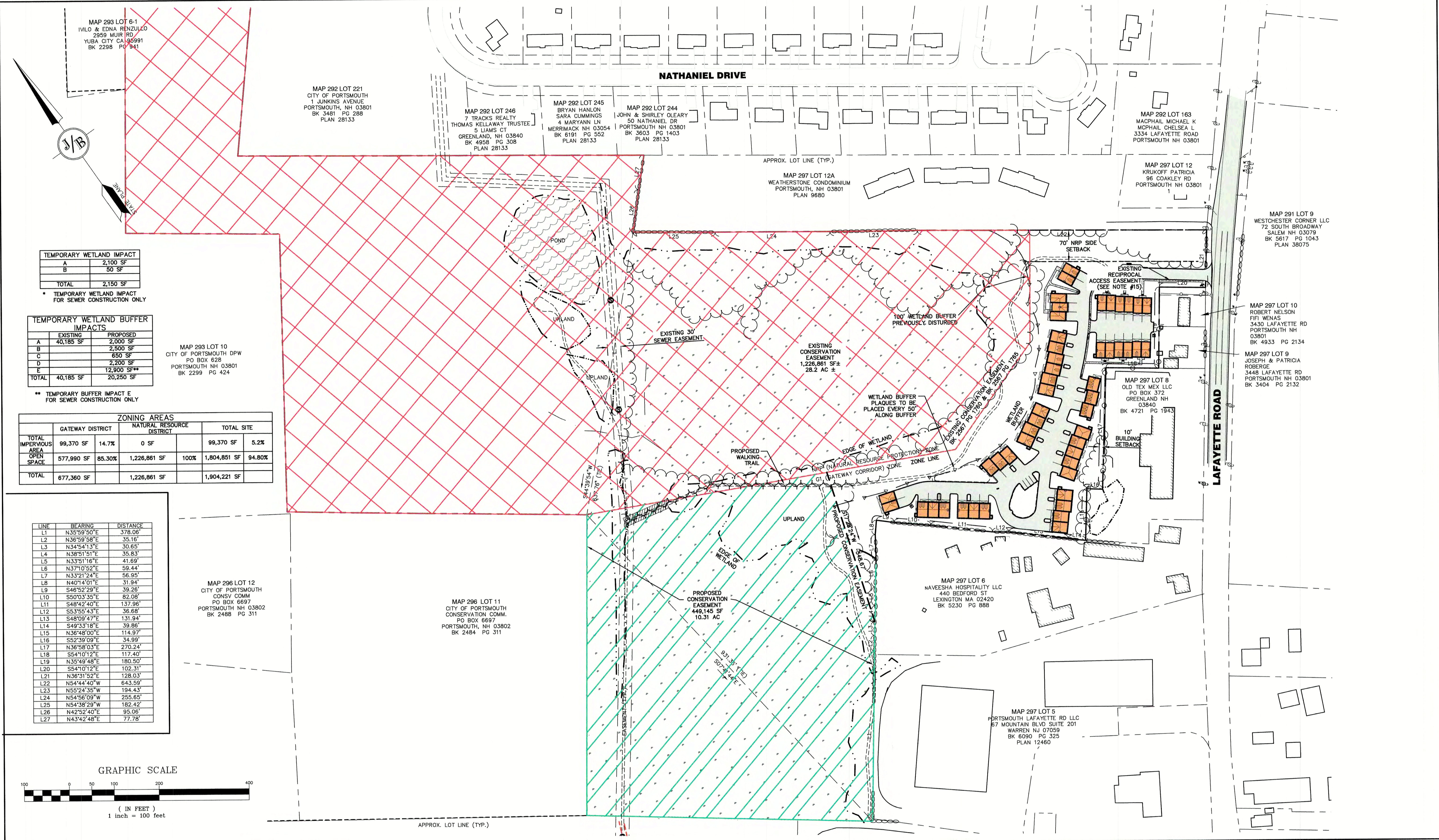
85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	C1
SHEET 5 OF 25	JBE PROJECT NO. 20737



TEMPORARY WETLAND IMPACT	
A	2,100 SF
B	50 SF
TOTAL	2,150 SF

* TEMPORARY WETLAND IMPACT FOR SEWER CONSTRUCTION ONLY

TEMPORARY WETLAND BUFFER IMPACTS			
A	40,185 SF	PROPOSED	2,000 SF
B			2,500 SF
C			650 SF
D			2,200 SF
E			12,900 SF**
TOTAL	40,185 SF		20,250 SF

MAP 293 LOT 10
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2299 PG 424

** TEMPORARY BUFFER IMPACT E FOR SEWER CONSTRUCTION ONLY

ZONING AREAS				
	GATEWAY DISTRICT		NATURAL RESOURCE DISTRICT	TOTAL SITE
TOTAL IMPERVIOUS AREA	99,370 SF	14.7%	0 SF	99,370 SF 5.2%
OPEN SPACE	577,990 SF	85.30%	1,226,861 SF	100% 1,804,851 SF 94.80%
TOTAL	677,360 SF		1,226,861 SF	1,904,221 SF

LINE	BEARING	DISTANCE
L1	N35°59'50"E	378.06'
L2	N36°59'58"E	35.16'
L3	N34°54'13"E	30.65'
L4	N38°51'51"E	35.83'
L5	N33°51'16"E	41.69'
L6	N37°10'52"E	59.44'
L7	N33°21'24"E	56.95'
L8	N40°14'01"E	31.94'
L9	S46°52'29"E	39.28'
L10	S50°03'35"E	82.08'
L11	S48°42'40"E	137.96'
L12	S53°55'43"E	36.68'
L13	S48°09'47"E	131.94'
L14	S49°33'18"E	39.86'
L15	N36°48'00"E	114.97'
L16	S52°39'09"E	34.99'
L17	N36°58'03"E	270.24'
L18	S54°10'12"E	117.40'
L19	N35°49'48"E	180.50'
L20	S54°10'12"E	102.31'
L21	N36°51'52"E	128.03'
L22	N54°44'40"W	643.59'
L23	N55°24'35"W	194.43'
L24	N54°56'09"W	255.65'
L25	N54°38'29"W	182.42'
L26	N42°52'40"E	95.06'
L27	N43°42'48"E	77.78'

MAP 296 LOT 12
CITY OF PORTSMOUTH
CONSV COMM
PO BOX 6697
PORTSMOUTH NH 03802
BK 2488 PG 311

MAP 296 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6697
PORTSMOUTH, NH 03802
BK 2484 PG 311

MAP 297 LOT 6
NAVEESHA HOSPITALITY LLC
440 BEDFORD ST
LEXINGTON MA 02420
BK 5230 PG 888

MAP 297 LOT 5
PORTSMOUTH LAFAYETTE RD LLC
67 MOUNTAIN BLVD SUITE 201
WARREN NJ 07059
BK 6090 PG 325
PLAN 12460

GRAPHIC SCALE



(IN FEET)
1 inch = 100 feet

Design: JAC | Draft: LAZ | Date: 3/3/21
Checked: JAC | Scale: AS SHOWN | Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

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PO Box 219 | Stratham, NH 03885 | FAX: 603-772-0227
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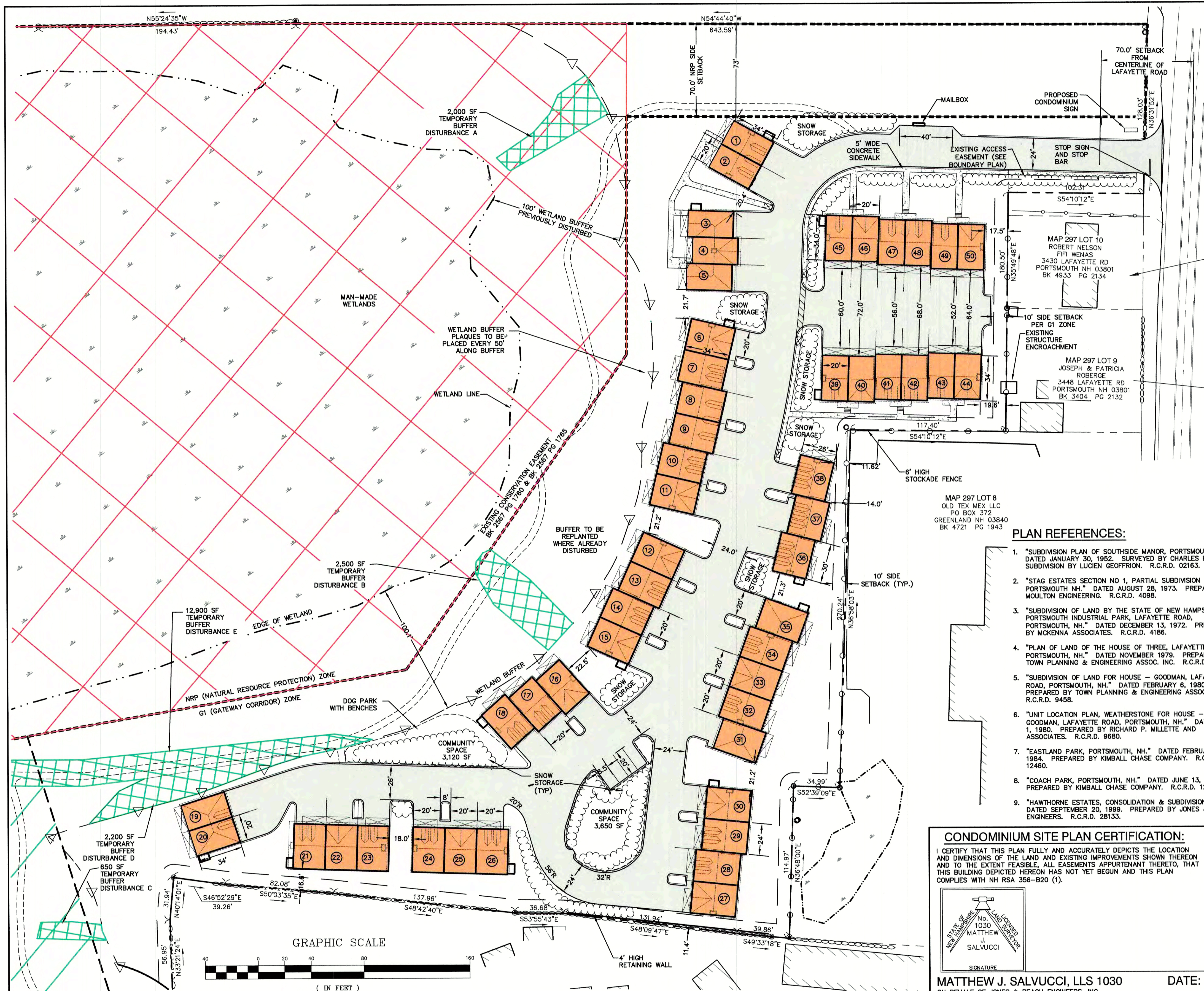
Plan Name: **OVERVIEW SITE PLAN**

Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **OVR**

SHEET 6 OF 25
JBE PROJECT NO. 20737



SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE SITE LAYOUT FOR A 50-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON TAX MAP 297 LOT 11.
- ZONING DISTRICT: GATEWAY CORRIDOR (G1), USE: GATEWAY TOWNHOUSE
 LOT AREA MINIMUM = NO REQUIREMENT FOUND
 LOT FRONTAGE MINIMUM = 100'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70' FROM CENTERLINE OF LAFAYETTE ROAD
 SIDE SETBACK = 10'
 REAR SETBACK = 15'
 WETLAND SETBACK = 100'
 MAX. BUILDING HEIGHT = 35'
 AREA OF LOT WITHIN G1 DISTRICT = 677,360 S.F. = 15.55 AC
 MIN. OPEN SPACE = 20%
 OPEN SPACE PROPOSED WITHIN G1 DISTRICT = 577,990 S.F. = 85.3% ±
 MAX. BUILDING COVERAGE = 50%
 BUILDING COVERAGE PROPOSED WITHIN G1 DISTRICT = 38,108 S.F. = 5.6%
 DENSITY ALLOWED = 16 UNITS/ACRE = 16 X 15.55 AC = 248 UNITS ALLOWED
- ZONING DISTRICT: NATURAL RESOURCE PROTECTION (NRP)
 LOT AREA MINIMUM = NO REQUIREMENT
 LOT FRONTAGE MINIMUM = NO REQUIREMENT
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70'
 SIDE SETBACK = 70'
 REAR SETBACK = 70'
 MAX. BUILDING HEIGHT = 35'
 MAX. BUILDING COVERAGE = NO REQUIREMENT
 AREA OF LOT WITHIN NRP DISTRICT = 1,226,861 S.F. ±
 MIN. OPEN SPACE = 95%
 OPEN SPACE PROPOSED = 1,226,861 S.F. = 100% WITHIN NRP DISTRICT
- EXISTING CONSERVATION EASEMENT = 28.16 AC = 64.4% OF SITE
 PROPOSED CONSERVATION EASEMENT = 10.3 AC = 23.6% OF SITE
 TOTAL CONSERVATION EASEMENT = 38.5 AC = 88.0% OF SITE
- TOTAL IMPERVIOUS AREA = 99,370 SF = 5.2% OF SITE
 TOTAL DISTURBED AREA = 211,700 SF = 4.8 AC = 11.1% OF SITE
- PARKING CALCULATIONS:
 1.5 SPACES PER UNIT > 750 S.F.
 TOTAL NUMBER OF UNITS = 50. EACH UNIT HAS 2 SPACES IN GARAGE.
 4 OUTDOOR PARKING SPACES PROVIDED.
 TOTAL SPACES REQUIRED = 65, TOTAL SPACES PROVIDED = 104
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270E, DATED MAY 17, 2005.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE CITY ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKID BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE. ALL STOP BARS SHALL BE 18" IN WIDTH; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- THERE SHALL BE NO PARKING ALONG THE ACCESS ROAD.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THE SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- EACH UNIT TO HAVE TRASH CANS STIPED INSIDE THE UNITS AND TO BE PICKED UP BY A PRIVATE TRASH HAULER.
- SNOW TO BE TRUCKED OFFSITE WHEN DESIGNATED SNOW STORAGE AREA ARE FULL. GREEN SNOW PRO TECHNIQUES TO BE UTILIZED ON THIS SITE.
- THE FOLLOWING STATE PERMITS ARE REQUIRED FOR THIS PROJECT:
 NHDES ALTERNATION OF TERRAIN PERMIT
 NHDES WETLAND PERMIT
 NHDES SEWER CONNECTION PERMIT
 NHDOT DRIVEWAY PERMIT

PLAN REFERENCES:

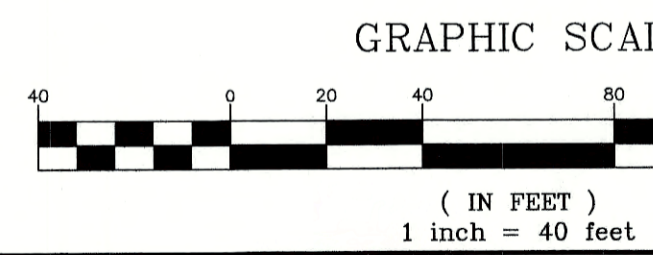
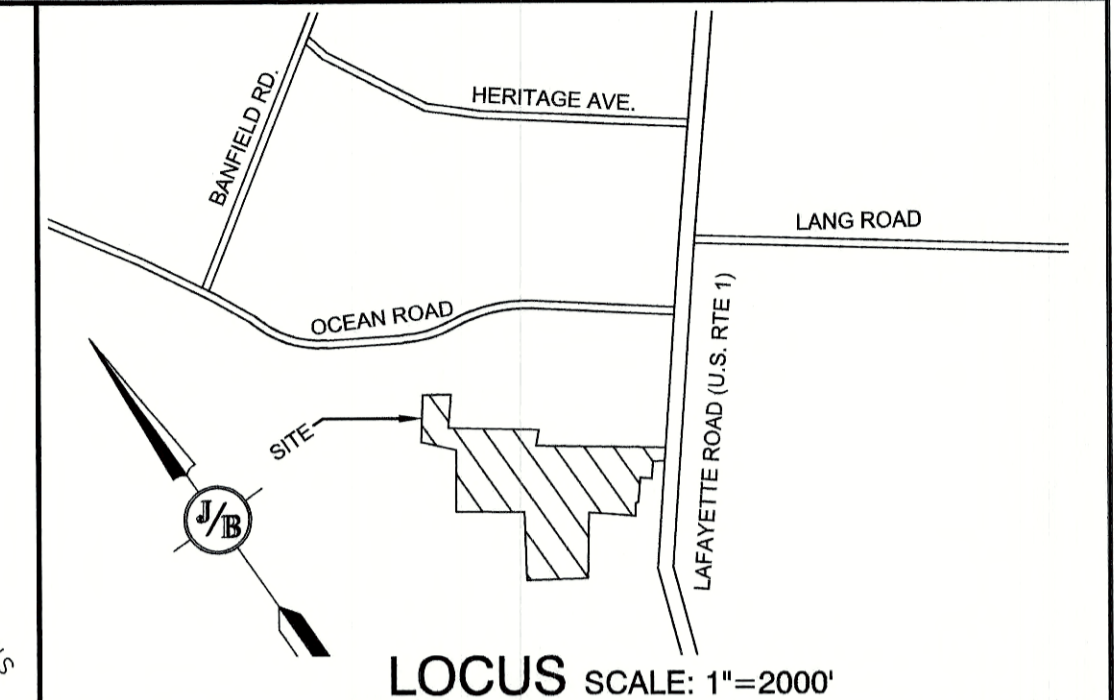
- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH," DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIAN GEOFFRION. R.C.R.D. 02163.
- "STAG ESTATES SECTION NO. 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH," DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4098.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4186.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED NOVEMBER 1979. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9680.
- "EASTLAND PARK, PORTSMOUTH, NH," DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH," DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN," DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

CONDOMINIUM SITE PLAN CERTIFICATION:

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE LAND AND EXISTING IMPROVEMENTS SHOWN THEREON AND TO THE EXTENT FEASIBLE, ALL EASEMENTS APPURTENANT THERETO, THAT THIS BUILDING DEPICTED HEREON HAS NOT YET BEGUN AND THIS PLAN COMPLIES WITH NH RSA 356-B20 (1).

MATTHEW J. SALVUCCI
 No. 1030
 MATTHEW J. SALVUCCI
 SIGNATURE

MATTHEW J. SALVUCCI, LLS 1030 DATE:
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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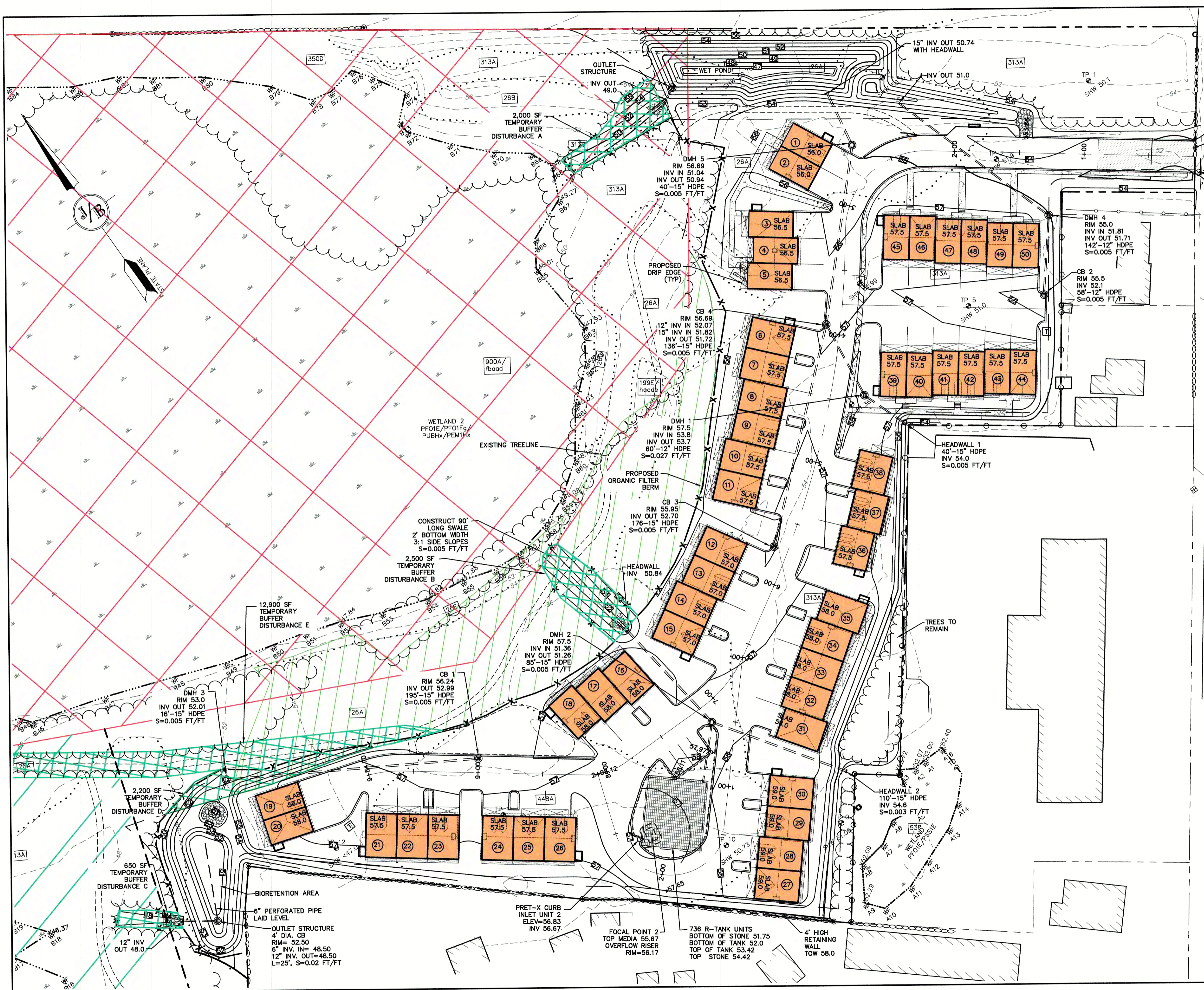
85 Portsmouth Ave. Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CONDOMINIUM SITE PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **C2**
 SHEET 7 OF 25
 JBE PROJECT NO. 20737

PROJECT PARCEL
 CITY OF PORTSMOUTH
 TAX MAP 297, LOT 11

TOTAL LOT AREA
 1,931,721 SQ. FT. ±
 44.35 ACRES ±

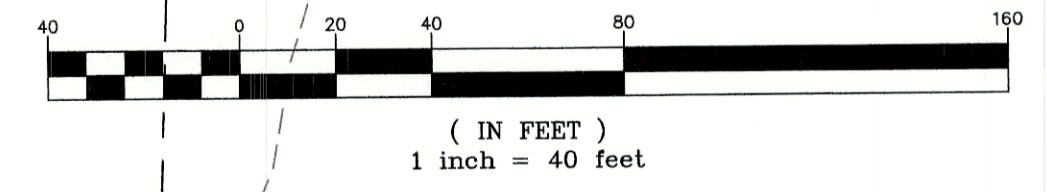


LAFAYETTE ROAD (U.S. ROUTE 1)

GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SC150BN EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3' DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- TOTAL DISTURBANCE = 211,700 SF = 4.9 AC

GRAPHIC SCALE



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 297, LOT 11

TOTAL LOT AREA
1,931,721 SQ. FT. ±
44.35 ACRES ±

Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
		REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885
Civil Engineering Services
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Plan Name:	GRADING AND DRAINAGE PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

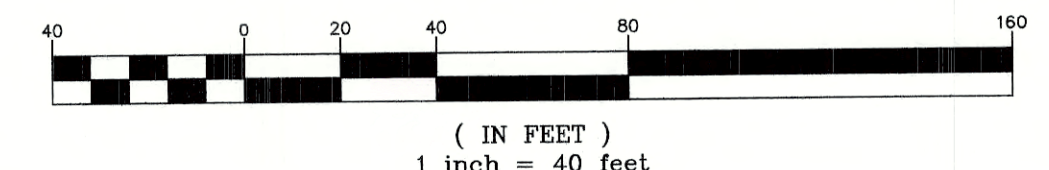
DRAWING No.
C3
SHEET 8 OF 25
JBE PROJECT NO. 20737



UTILITY NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SLAB AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELVE SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H2O LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- SANITARY SEWER FLOW CALCULATIONS:
50 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM =
TOTAL FLOW = 22,500 GPD
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 600. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
- ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, ADOPTED ON 10-15-14.
- ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNIBELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
- ENV-WQ 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
- SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF 6-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE CITY SEWER DEPARTMENT.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 3/3/21
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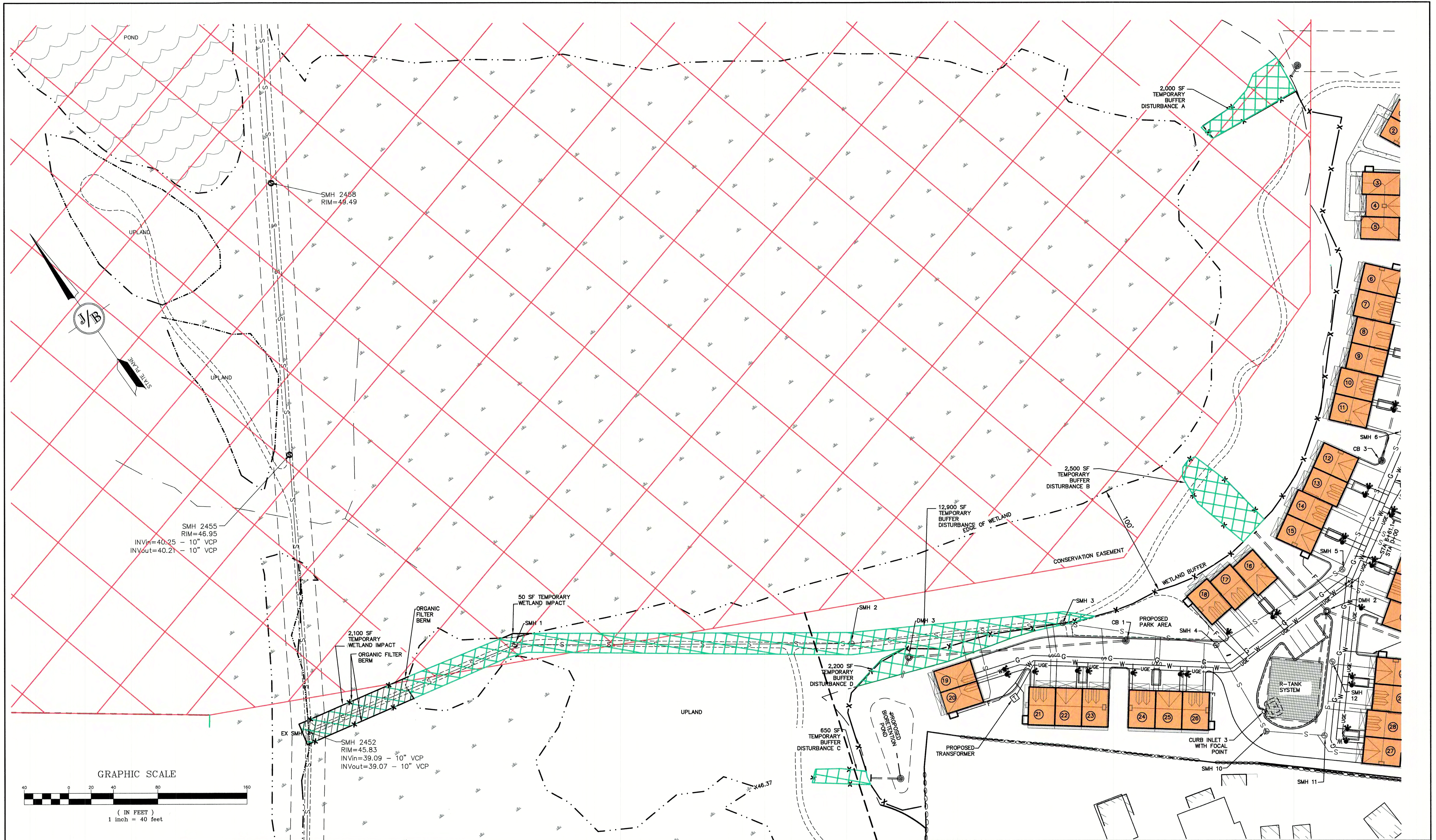
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6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
1		REVISION	

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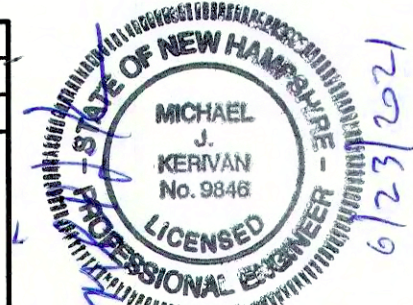
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **UTILITY PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **C4**
 SHEET 9 OF 25
 JBE PROJECT NO. 20737



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2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

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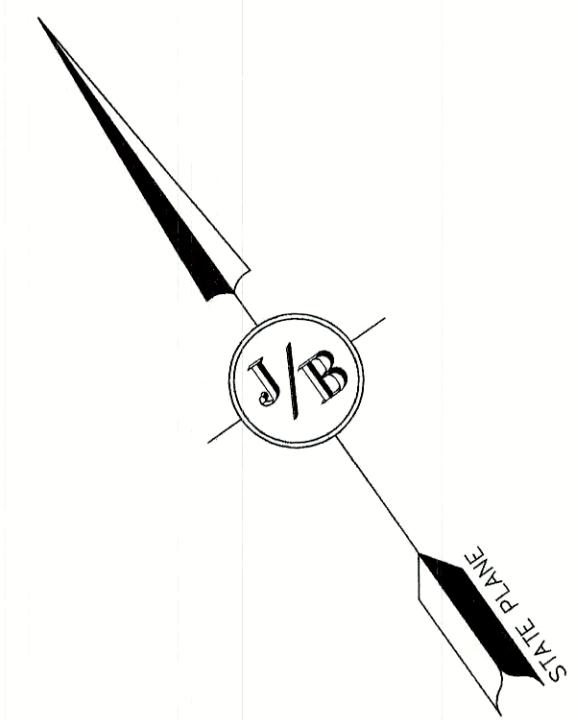
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	UTILITY PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No. **C5**
 SHEET 10 OF 25
 JBE PROJECT NO. 20737

LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO CITY REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER CITY REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDELES.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
8. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.



DESCRIPTION

The Traditionaire LED outdoor luminaire displays the old-fashioned charm of traditional area lighting, enhancing any setting with distinctive styling. As a decorative luminaire, the Traditionaire LED tastefully complements the architectural and environmental design of parks and roadways. The high-lumen downlight configuration uses Cooper Lighting Solutions' patented LightBAR™ technology to deliver uniform and efficient illumination to pedestrian and roadway applications.

SPECIFICATION FEATURES

Construction
Hinged (stainless steel hinge pins) die-cast aluminum housing and cover with cupola. 3G vibration tested to ensure strength of construction and longevity in application.

Optics
Choice of six patented, high-efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT. For the ultimate level of spill

light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2 or SL3 optics.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common - and differential - mode surge protection. LightBARs feature an IP66 enclosure rating and

maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21.

Mounting
Self-aligning pole-top fitter for 3" O.D. pole tops or vertical tenons. Square headed 1-1/4" polymer coated mounting bolts with a lock nut.

Finish
Cast components finished in a super durable black TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include: bronze, grey and white. RAL and custom color matches available.

Warranty
Five-year warranty.

Streetworks

Catalog #	Type
Project	Date
Comments	
Prepared by	

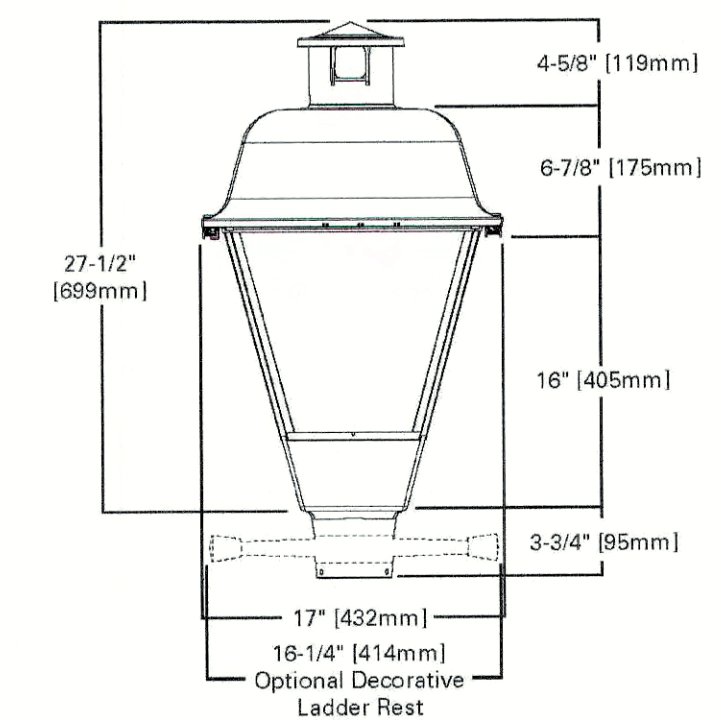


UTLD TRADITIONAIRE LED DOWNLIGHT

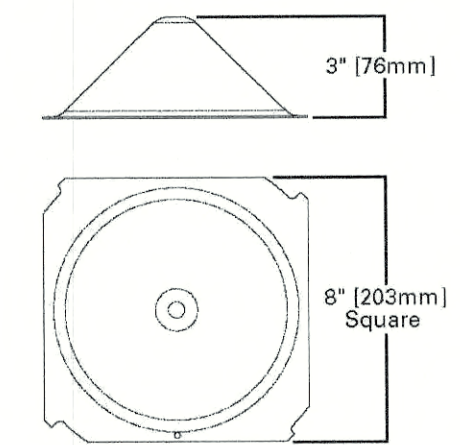
1 - 3 LightBARs
Solid State LED

DECORATIVE POST TOP LUMINAIRE

DIMENSIONS



OPTIONAL BIRD CONE



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
3G Vibration Rated
IP66 LightBARs
ISO 9001

ENERGY DATA

Electronic LED Driver
>0.8 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

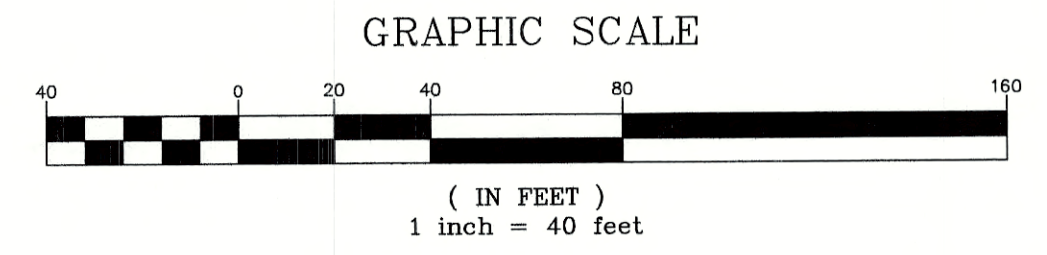
EPA

Effective Projected Area: (Sq. Ft.)
2.3

SHIPPING DATA

Approximate Net Weight:
37 lbs. (17 kgs.)

Luminaire Schedule	Label	Arrangement	Description
1	P1	SINGLE	UTLD-P02-LED-B-U-SL4/ MTD ON 12' POLE TBD
3	P3	SINGLE	UTLD-P02-LED-B-U-T3/ MTD ON A 12' POLE TBD



Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
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1			JY

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J/B Jones & Beach Engineers, Inc.

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Civil Engineering Services

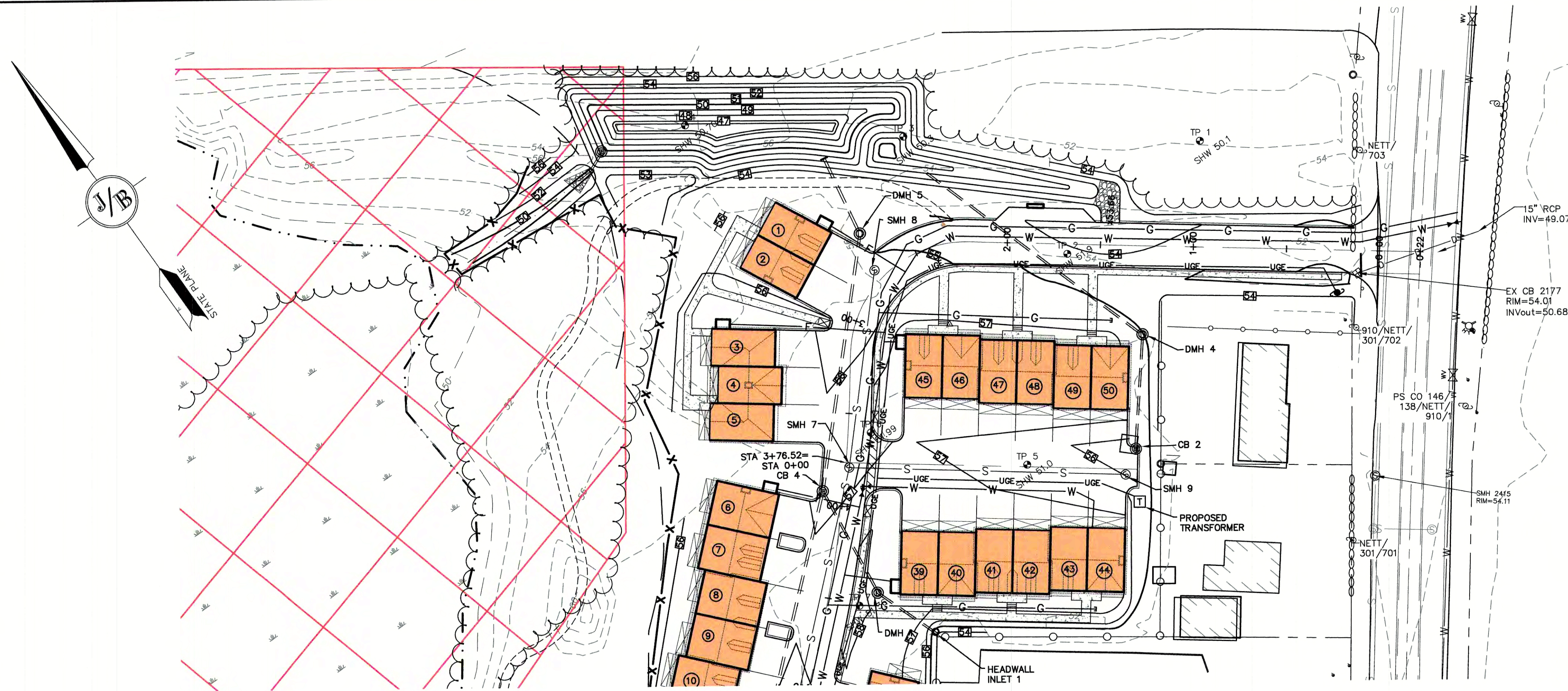
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Plan Name:	LIGHTING PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

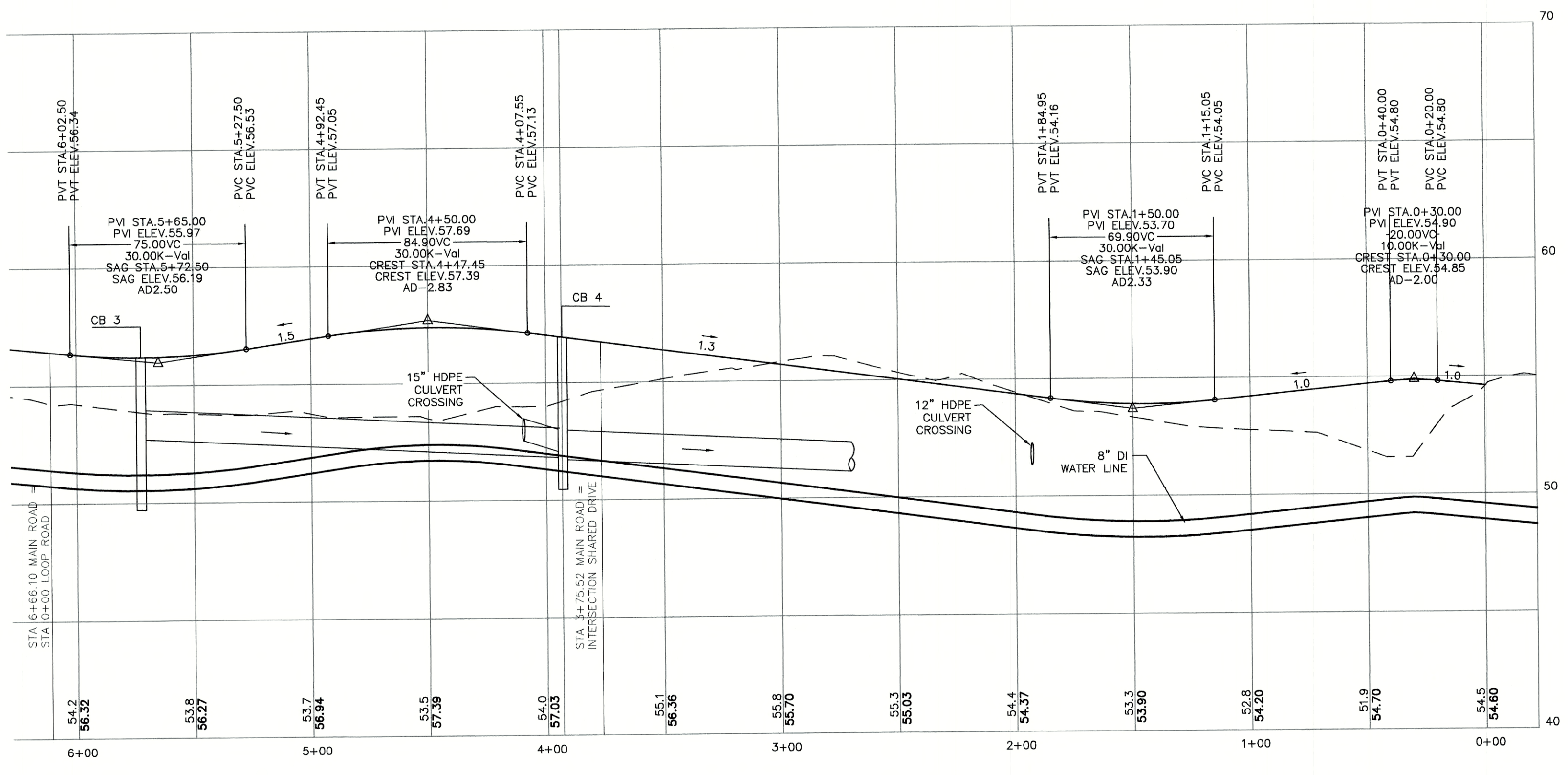
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L1

SHEET 11 OF 25
JBE PROJECT NO. 20737

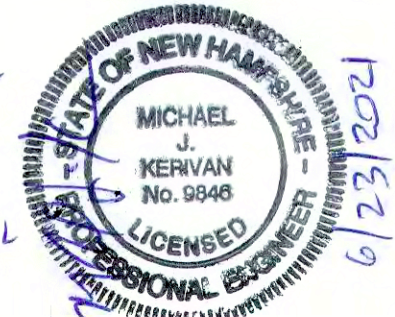


- NOTES:**
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub.epa.gov/npdes/stormwater/NOI/NOISEARCH.CFM). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITEE IS RESPONSIBLE; OR
 - ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
 - ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
 - AS-BUILT PLANS TO BE SUBMITTED TO THE CITY PRIOR TO ACCEPTANCE OF THE ROADWAY.
 - DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
 - THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
 - ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
 - FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
 - CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
 - ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURB SHALL EXTEND AROUND RADIUS WITH 6' STRAIGHT PIECE ALONG TANGENT.
 - 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT. CONTRACTOR TO INCLUDE 3000 LF IN BID PRICE.
 - ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET.
 - ENGINEER TO INSTALL PERMANENT BENCHMARK (REINFORCED GRANITE MARKER) AT LOCATIONS SHOWN ON PLANS. BENCH MARKS TO BE TIED TO STATE PLANE COORDINATE SYSTEM.
 - DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: ORGANIC FILTER BERM WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE BERM STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMP/BERM BELOW THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS. FOLLOWING MAJOR STORM EVENTS, THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE, TRASH TRACK AND EMERGENCY SPILL WAY. INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SUMP OF THE STRUCTURE.
 - ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
 - DETENTION PONDS REQUIRE TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. DETENTION POND BERMS SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER. RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
 - THE DETENTION PONDS ARE TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION. IN THOSE AREAS WHERE THE BERMS MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL, THE ENTIRE EMBANKMENT AREA OF THE DETENTION PONDS SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
 - EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% OS ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: 4" PASSING 100%, #4 SIEVE 25-70%, #200 SIEVE 10-29% (IN TOTAL SAMPLE).
 - EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX.) AND IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
 - COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
 - ORNAMENTAL STREET LIGHTING SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION. LIGHTING SHALL NOT TO BE OWNED OR MAINTAINED BY THE CITY.
 - SLOPED GRANITE CURB TO BE TIPPED DOWN AT ALL DRIVEWAY ENTRANCES BY THE CONTRACTOR. ALL DRIVEWAY LOCATIONS SHALL BE REVIEWED AND APPROVED BY PUBLIC WORKS PRIOR TO ISSUANCE OF BUILDING PERMIT.



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6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
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J/B Jones & Beach Engineers, Inc.

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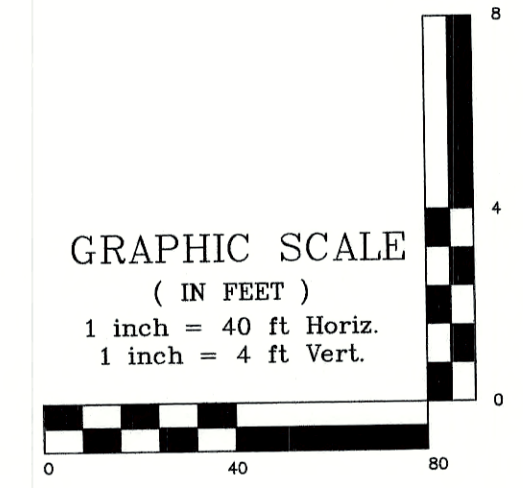
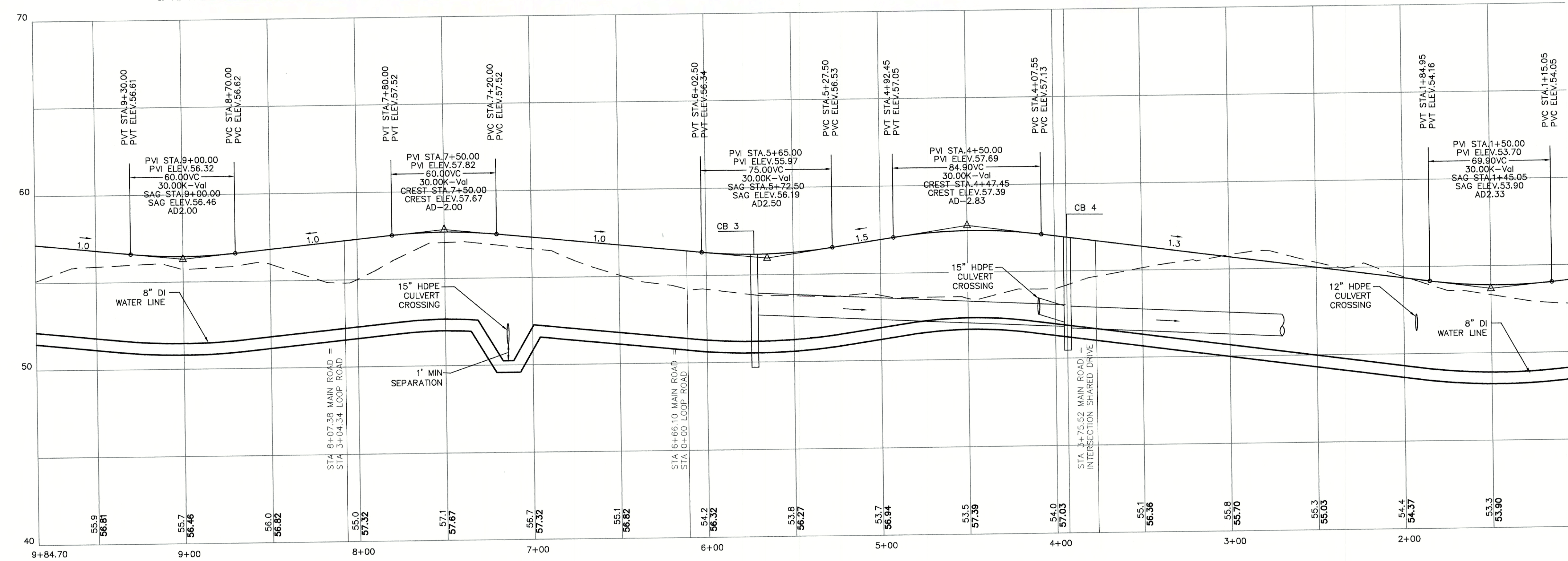
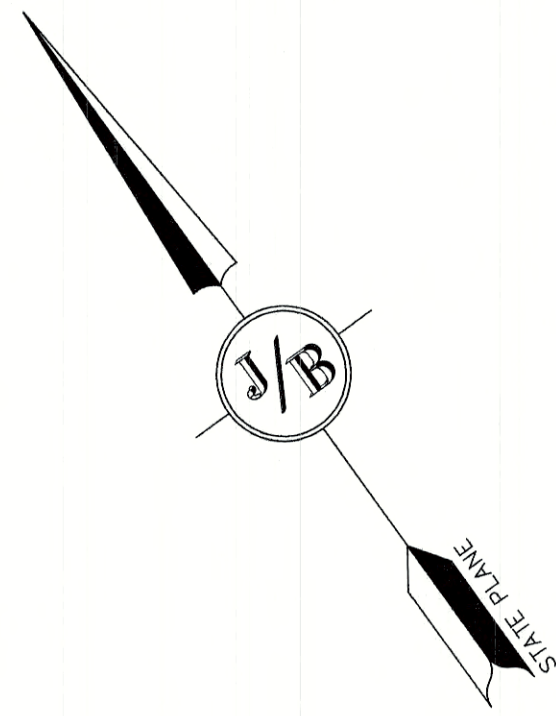
Plan Name: **PLAN AND PROFILE**

Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P1**

SHEET 12 OF 25
 JBE PROJECT NO. 20737



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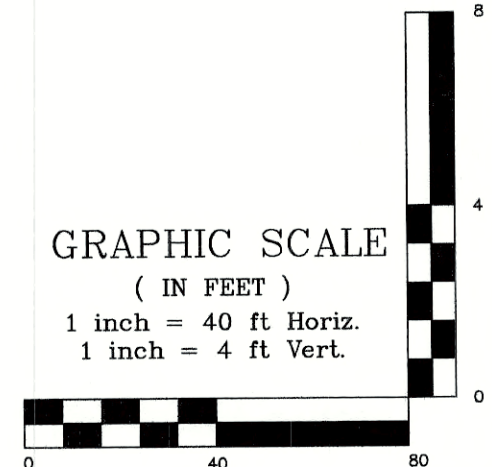
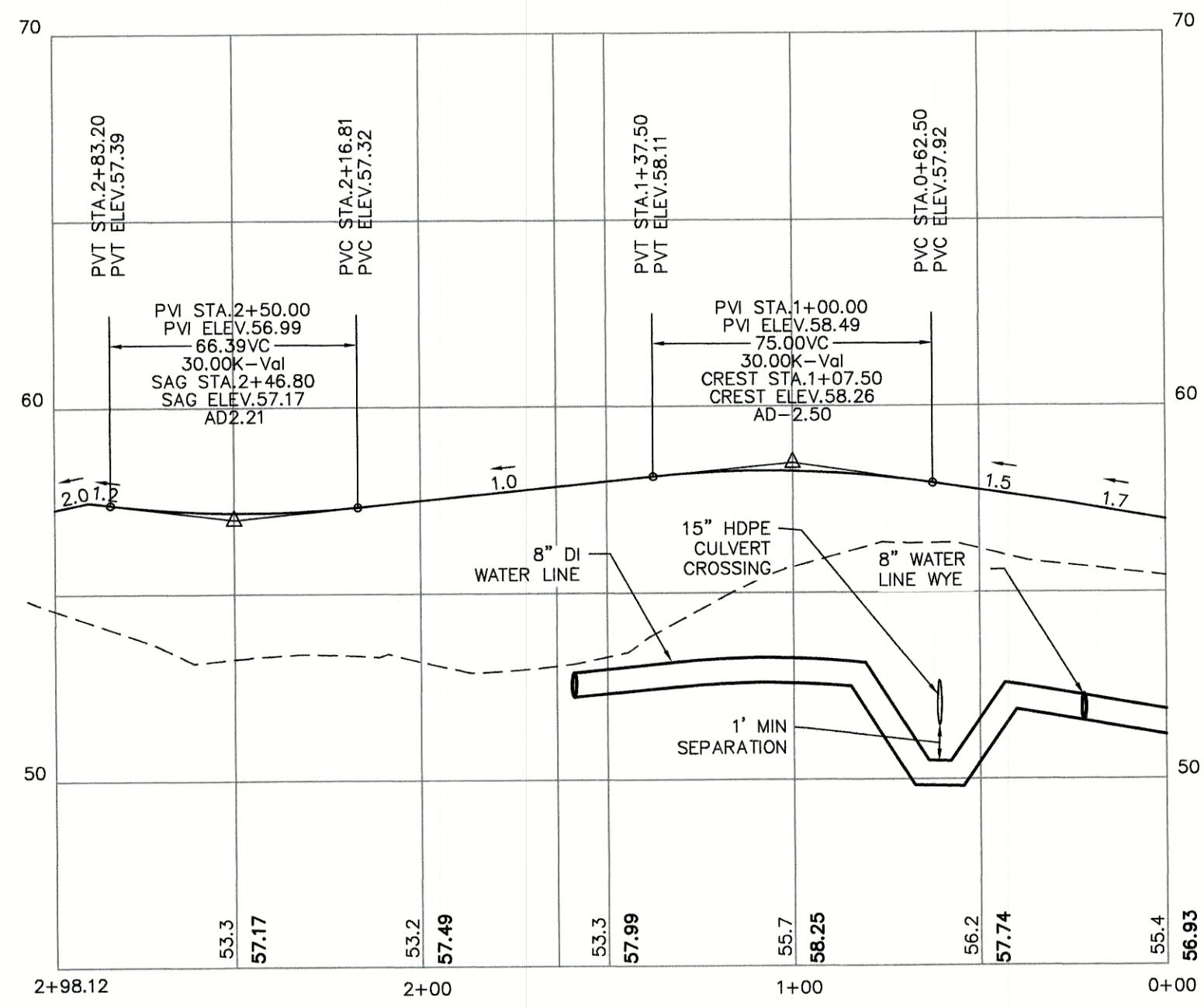
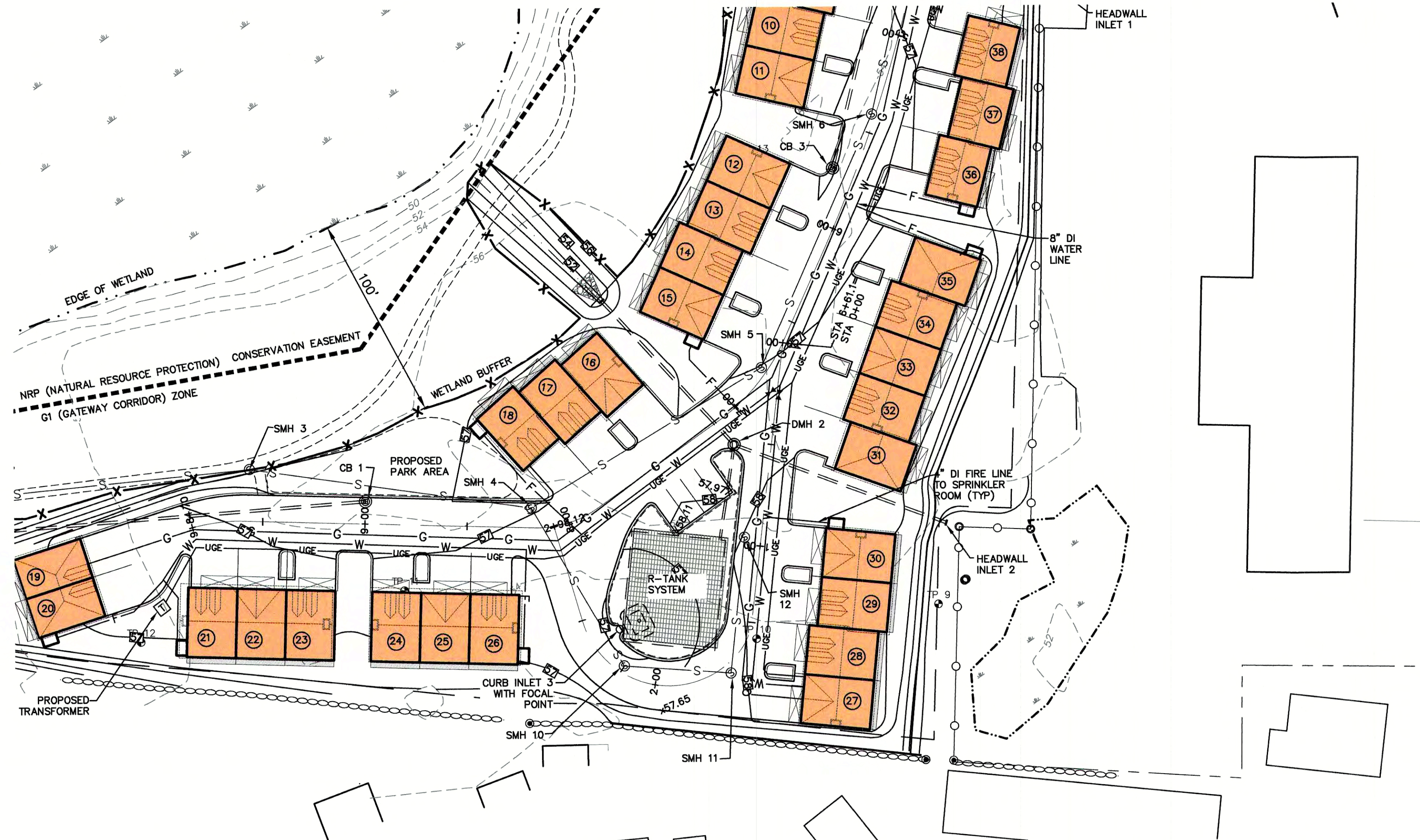
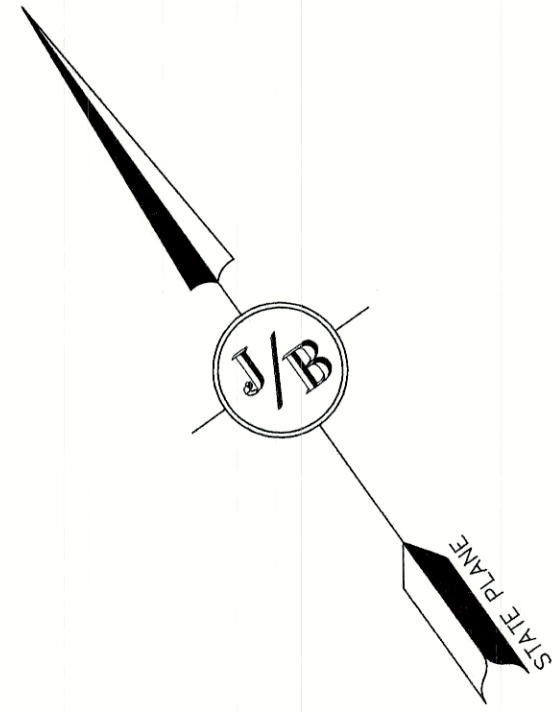


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 Civil Engineering Services
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 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P2**
 SHEET 13 OF 25
 JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
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3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
1			JBY

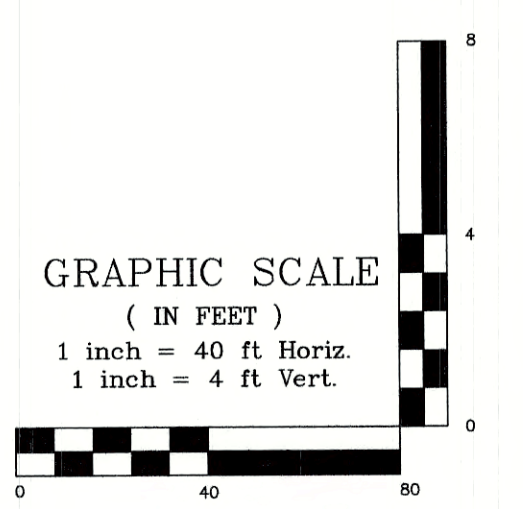
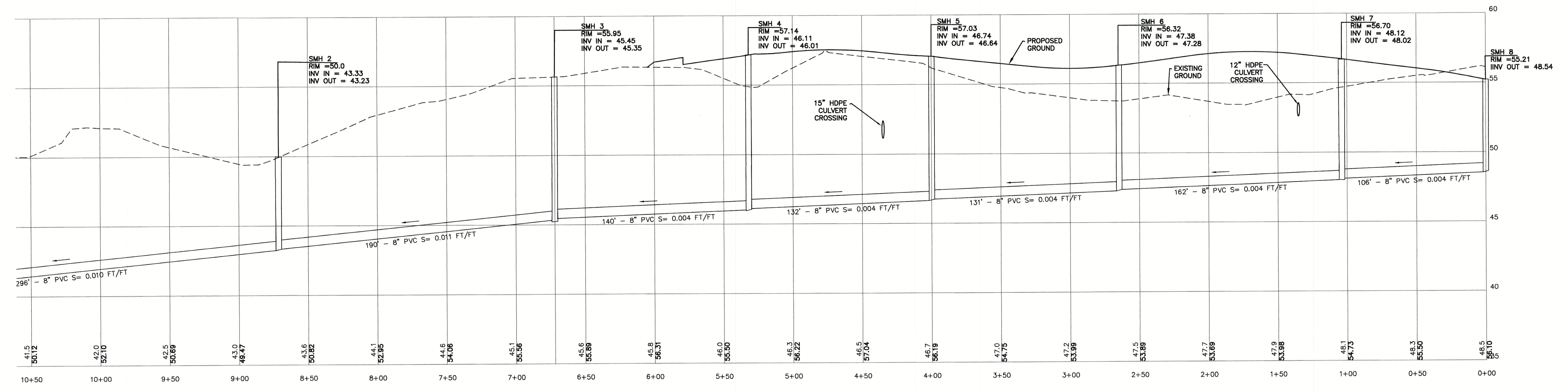
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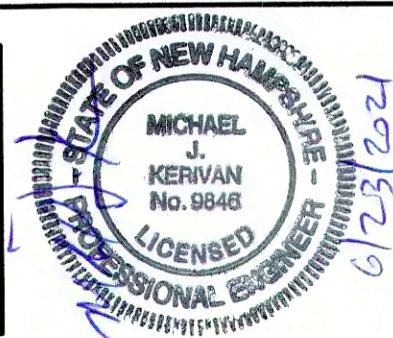
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 FAX: 603-772-0227
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Plan Name:	PLAN AND PROFILE
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
P3
 SHEET 14 OF 25
 JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
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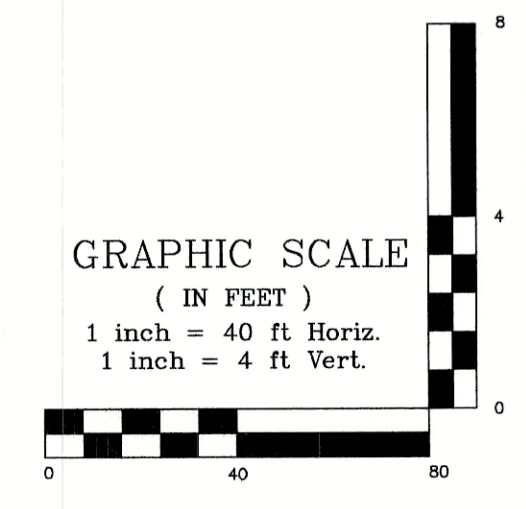
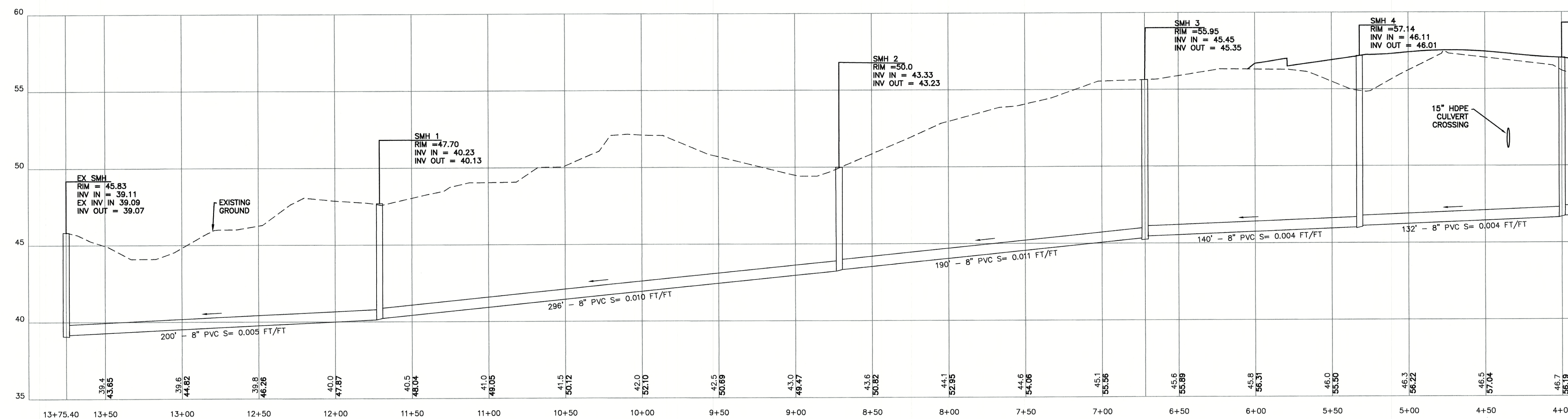
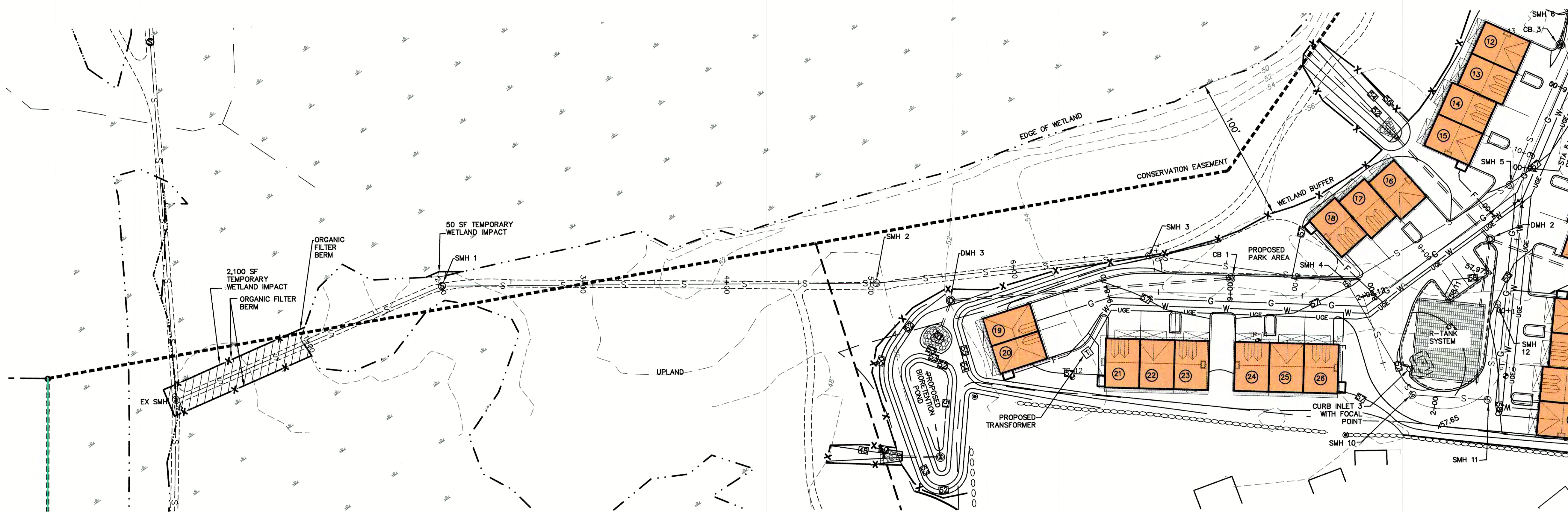


REV.	DATE	REVISION	BY
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5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
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2	1/8/21	MINOR REVISIONS	DJM
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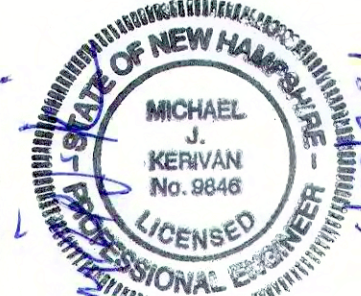
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Plan Name: **SEWER PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P4**
 SHEET 15 OF 25
 JBE PROJECT NO. 20737



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2	1/6/21	MINOR REVISIONS	DJM
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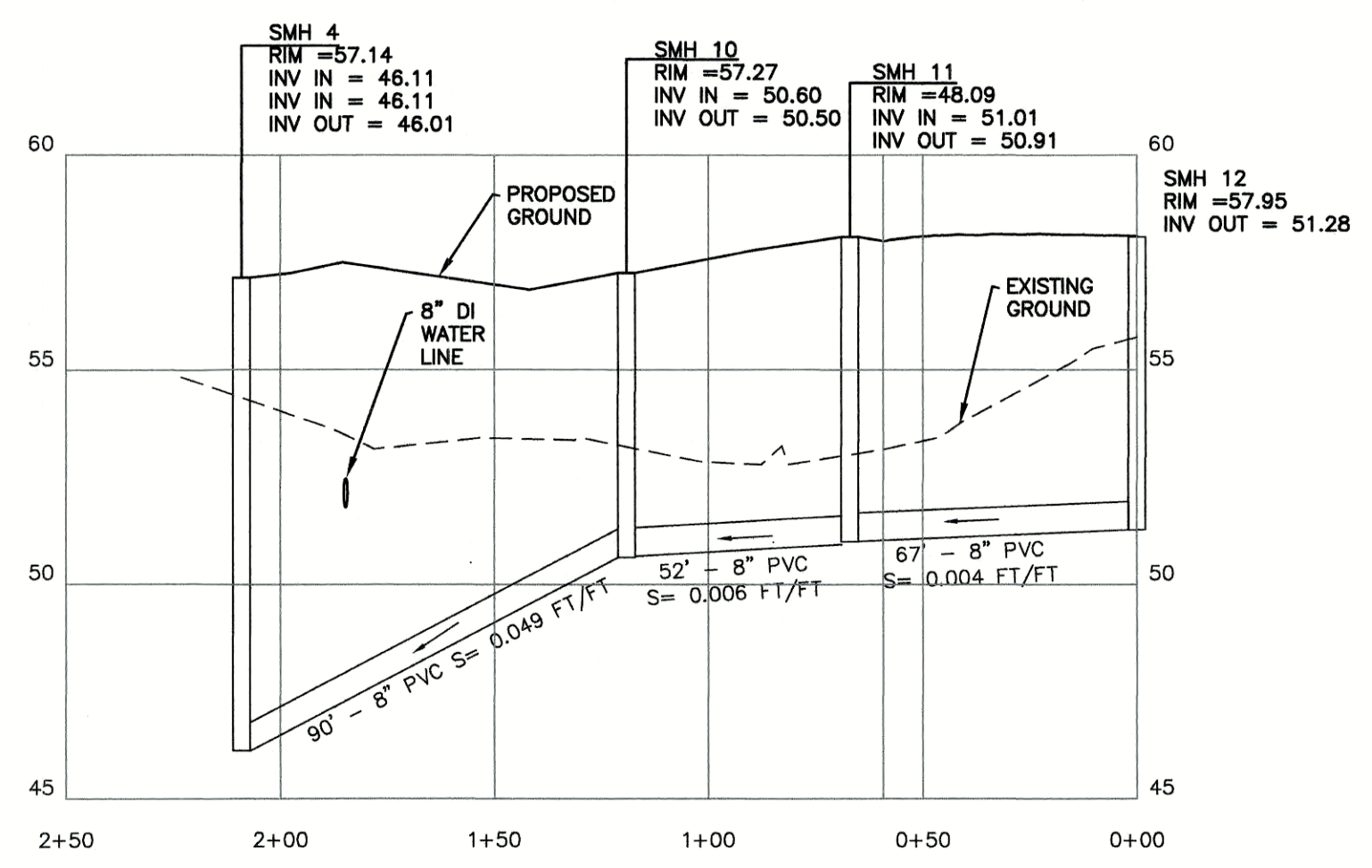
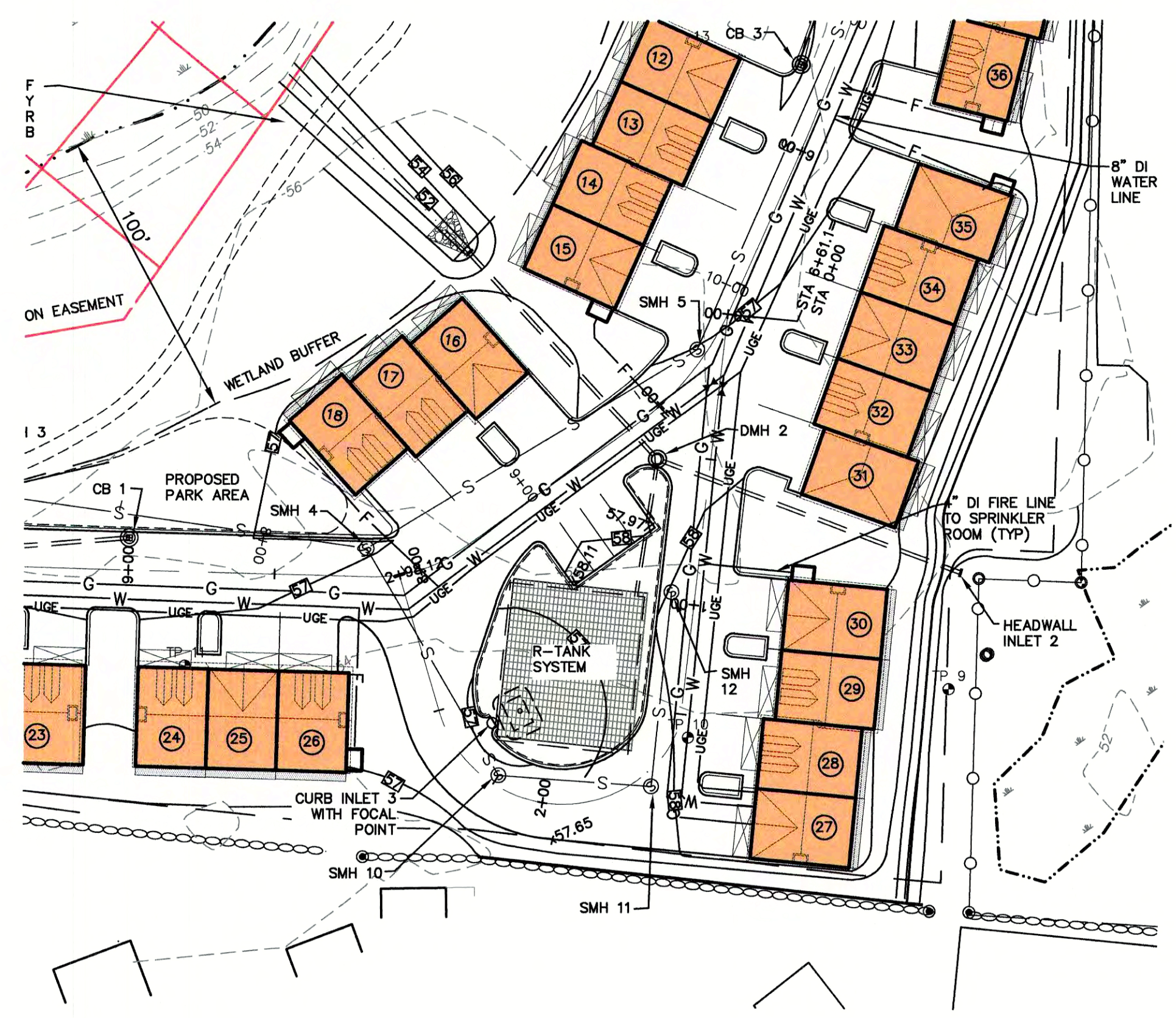
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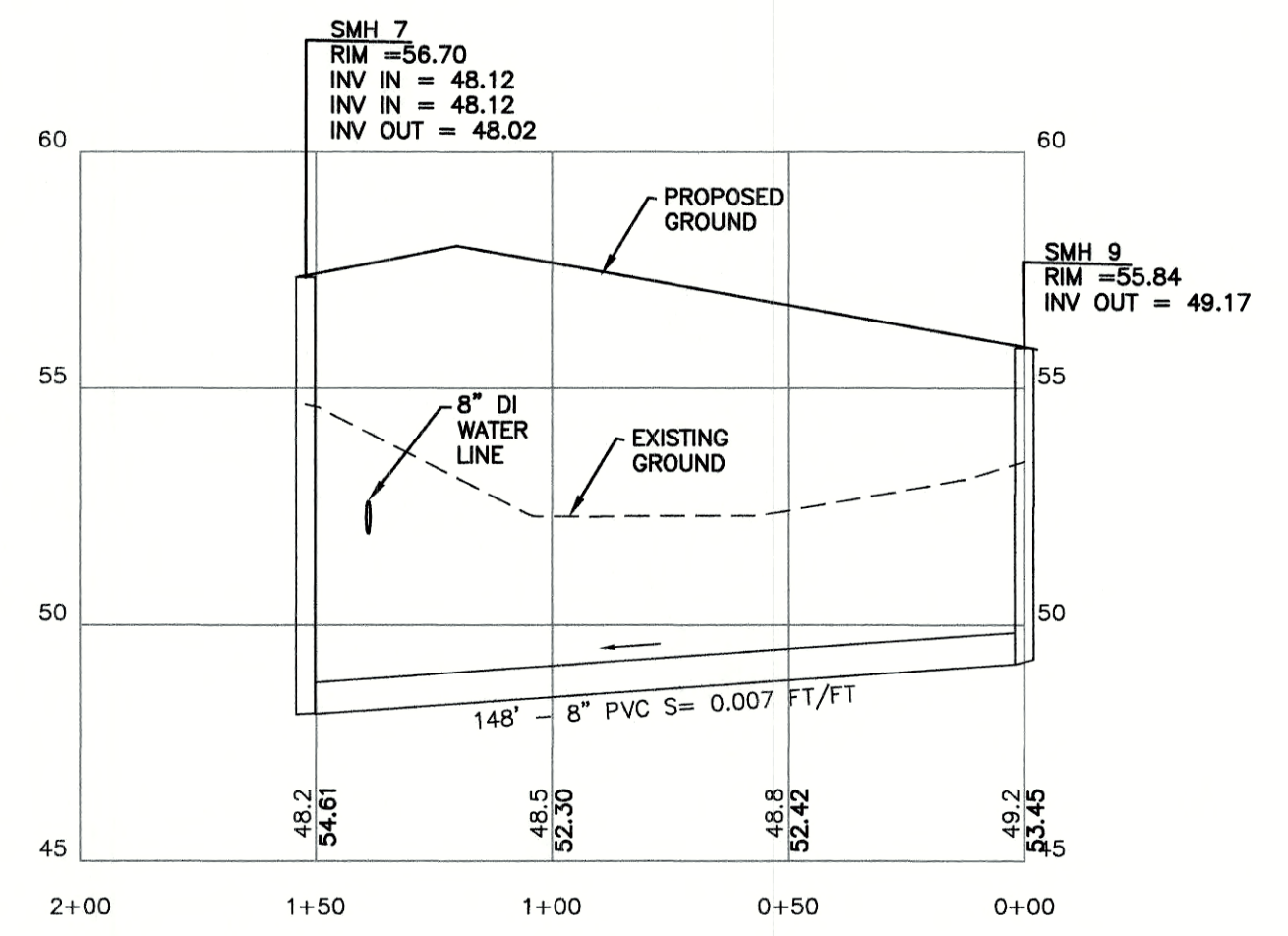
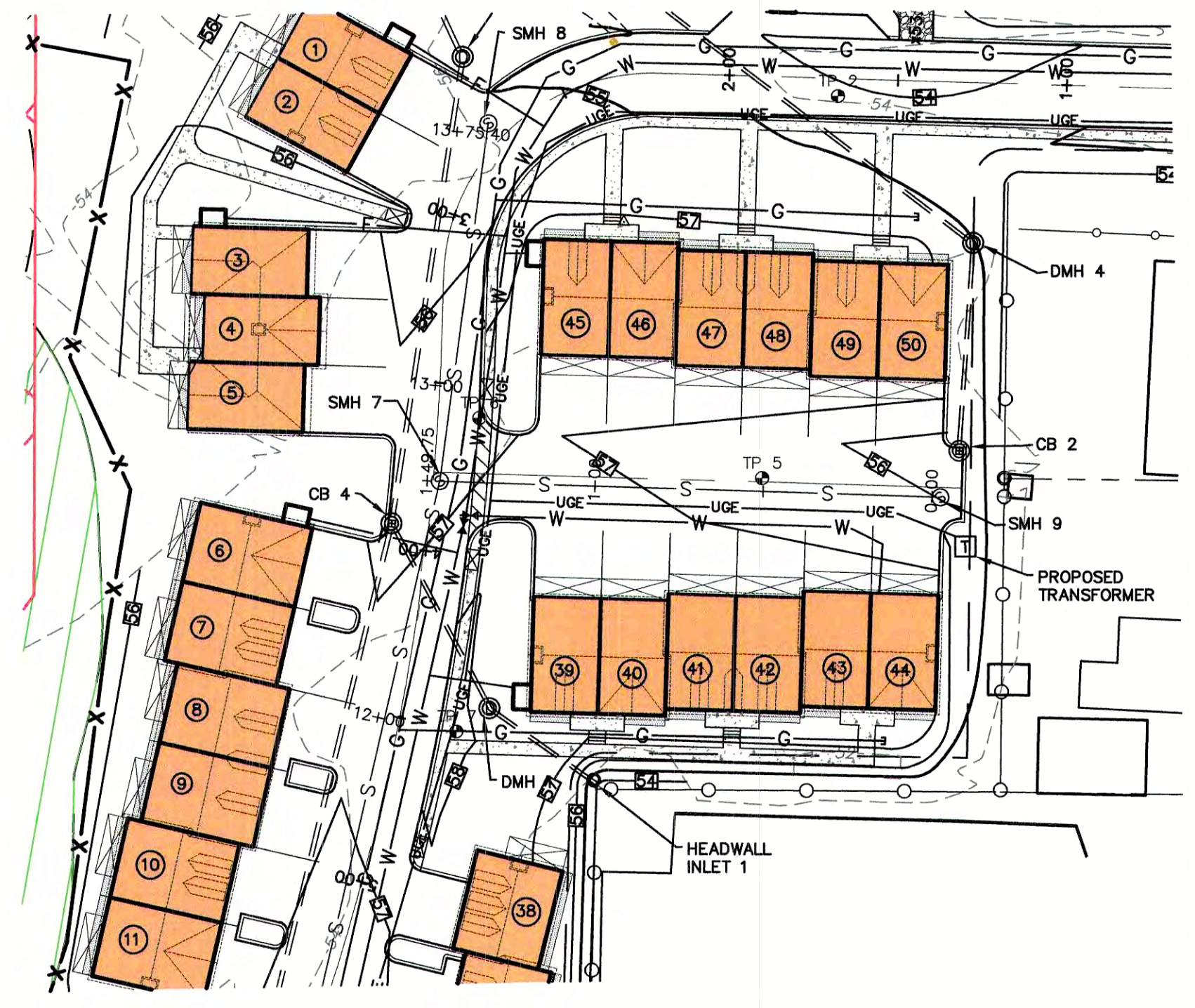
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Plan Name:	SEWER PROFILE
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

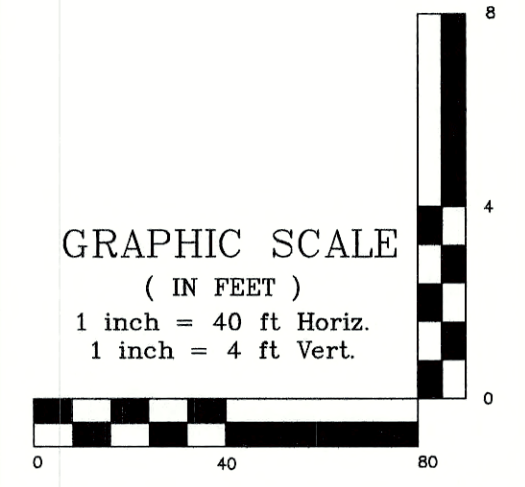
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 SHEET 16 OF 25
 JBE PROJECT NO. 20737



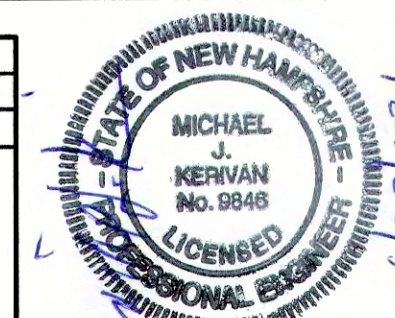
LOOP ROAD



SHARED DRIVEWAY



Design: JAC Draft: LAZ Date: 3/3/21
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 Drawing Name: 20737-PLAN.dwg
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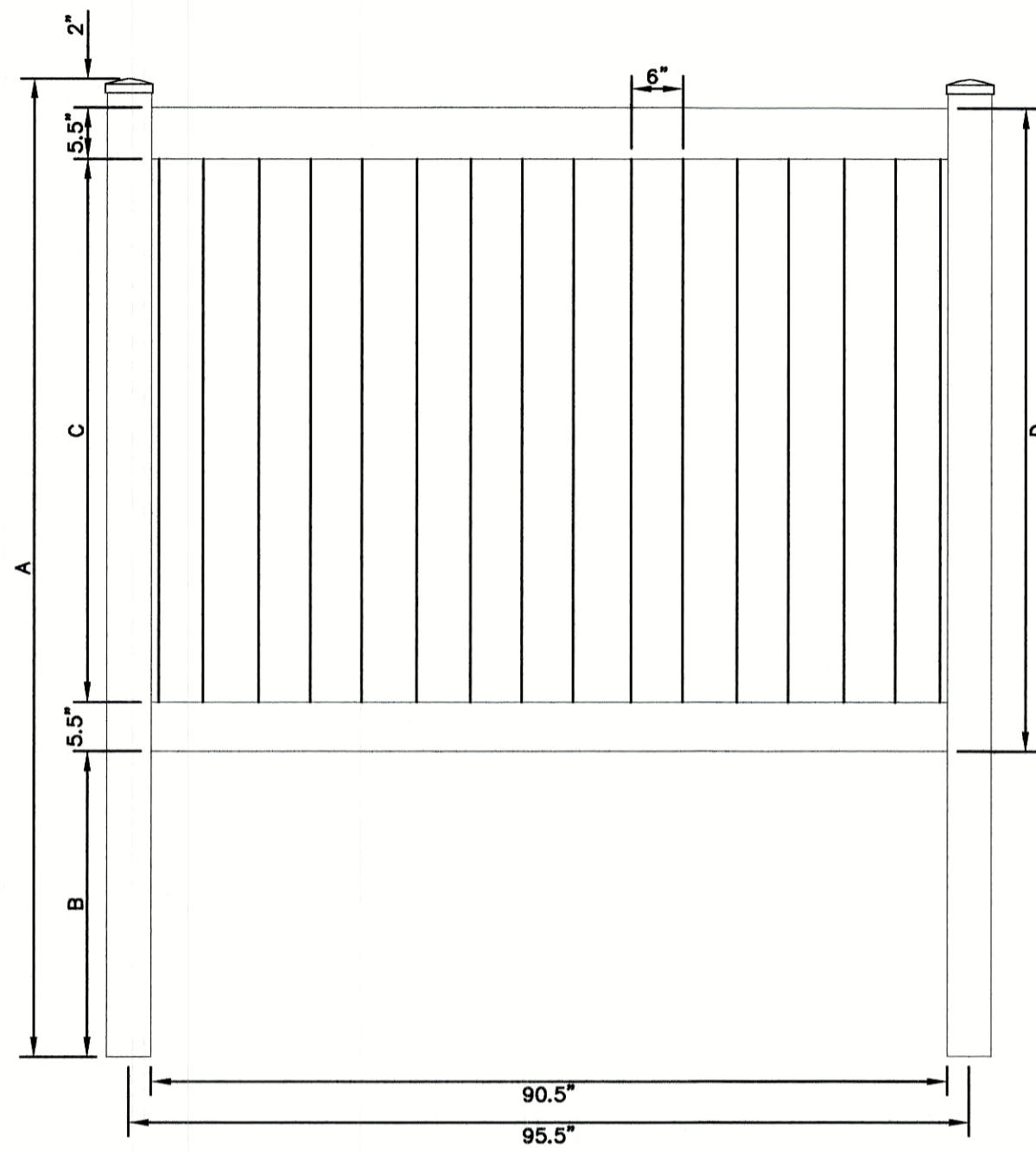


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REV.	DATE	REVISION	BY

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Plan Name: **SEWER PROFILE**
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DRAWING No. **P5**
 SHEET 17 OF 25
 JBE PROJECT NO. 20737



FRONT ELEVATION

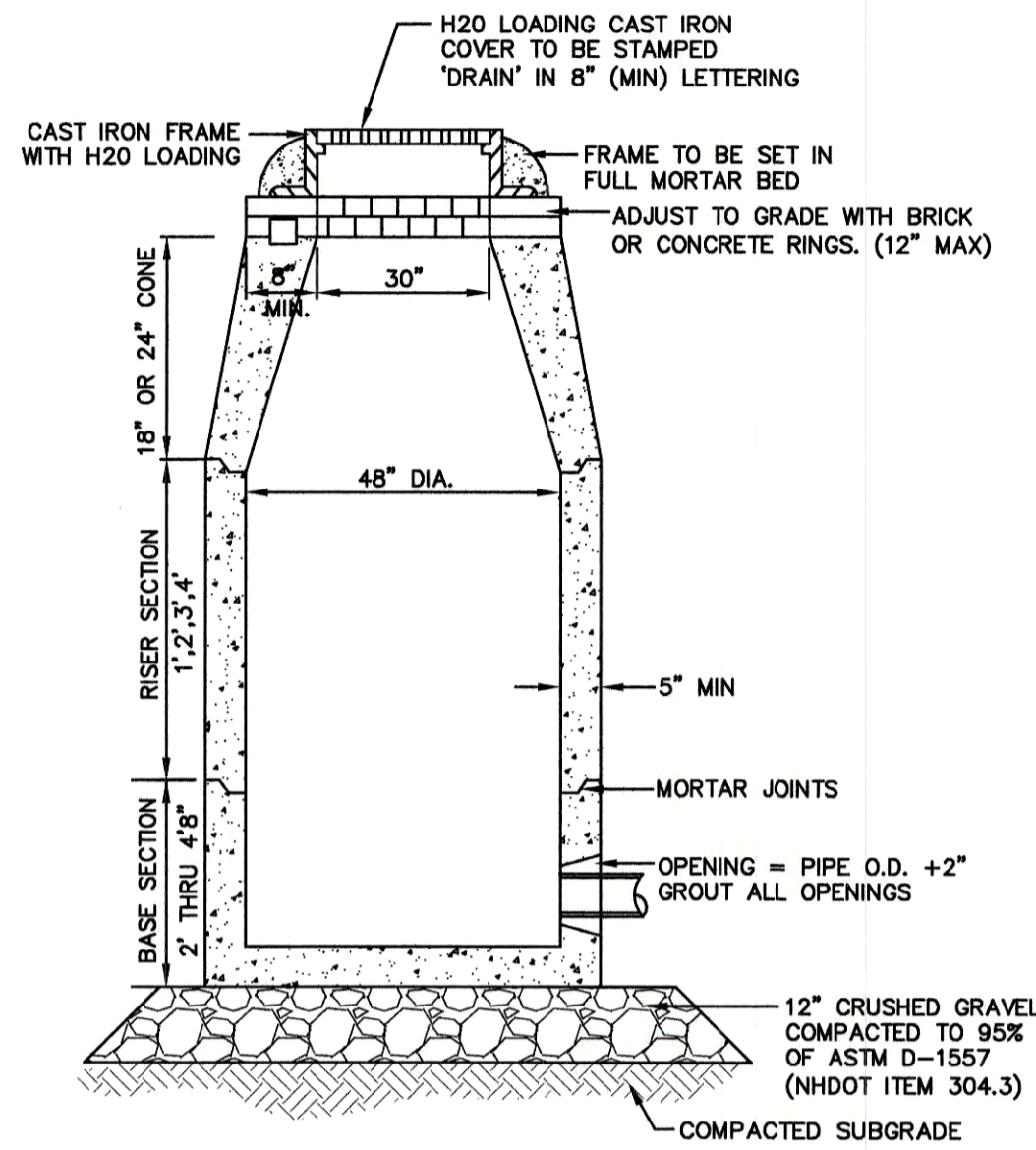
	A	B	C	D
H(FT)	3	4	5	6
INCHES	60	84	96	108
H(FT)	3	4	5	6
INCHES	22	34	34	34
H(FT)	3	4	5	6
INCHES	25	37	49	61
H(FT)	3	4	5	6
INCHES	36	48	60	72

NOTES:

- CONTRACTOR TO PROVIDE FENCE SPEC TO ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
- VINYL FENCE SHALL MEET ASTM F964-09 STANDARDS.

6' VINYL STOCKADE FENCE

NOT TO SCALE

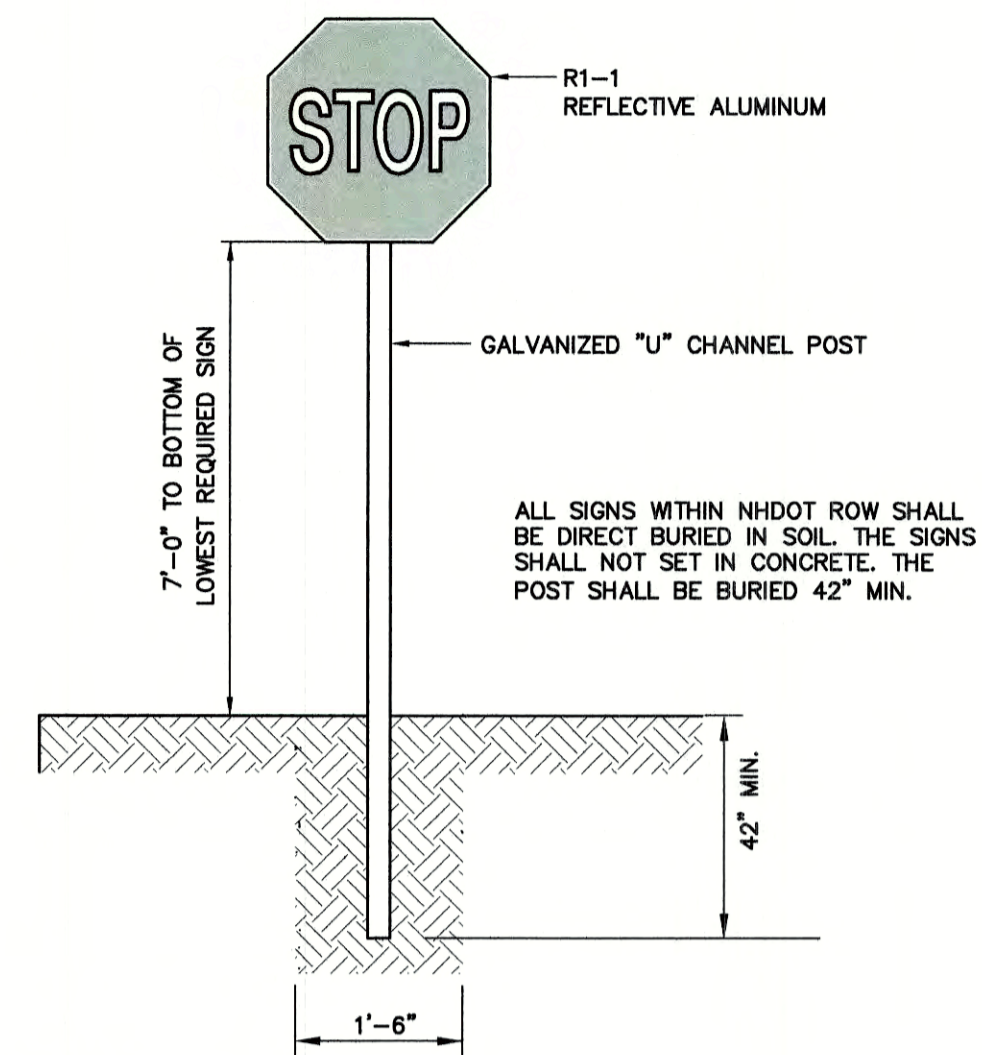


NOTES:

- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
- ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
- PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
- ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
- STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

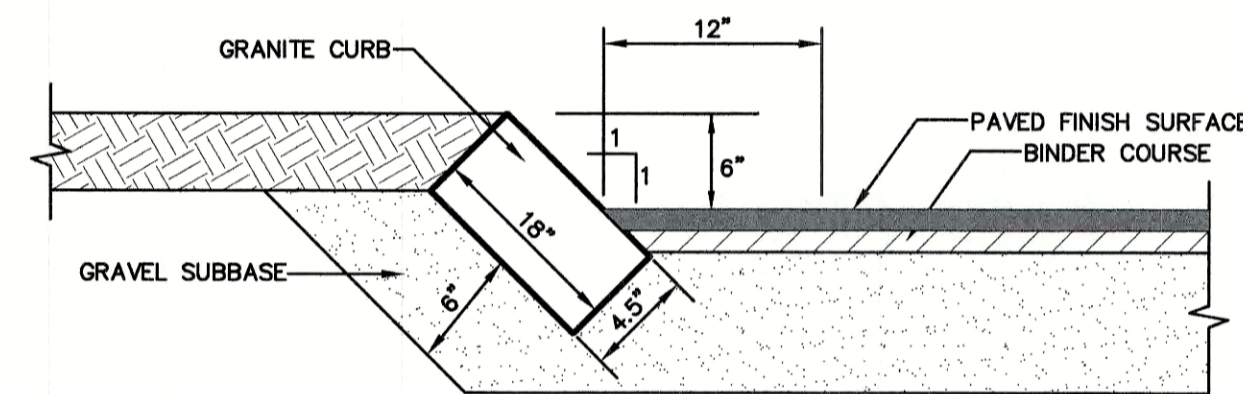
DRAIN MANHOLE

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE

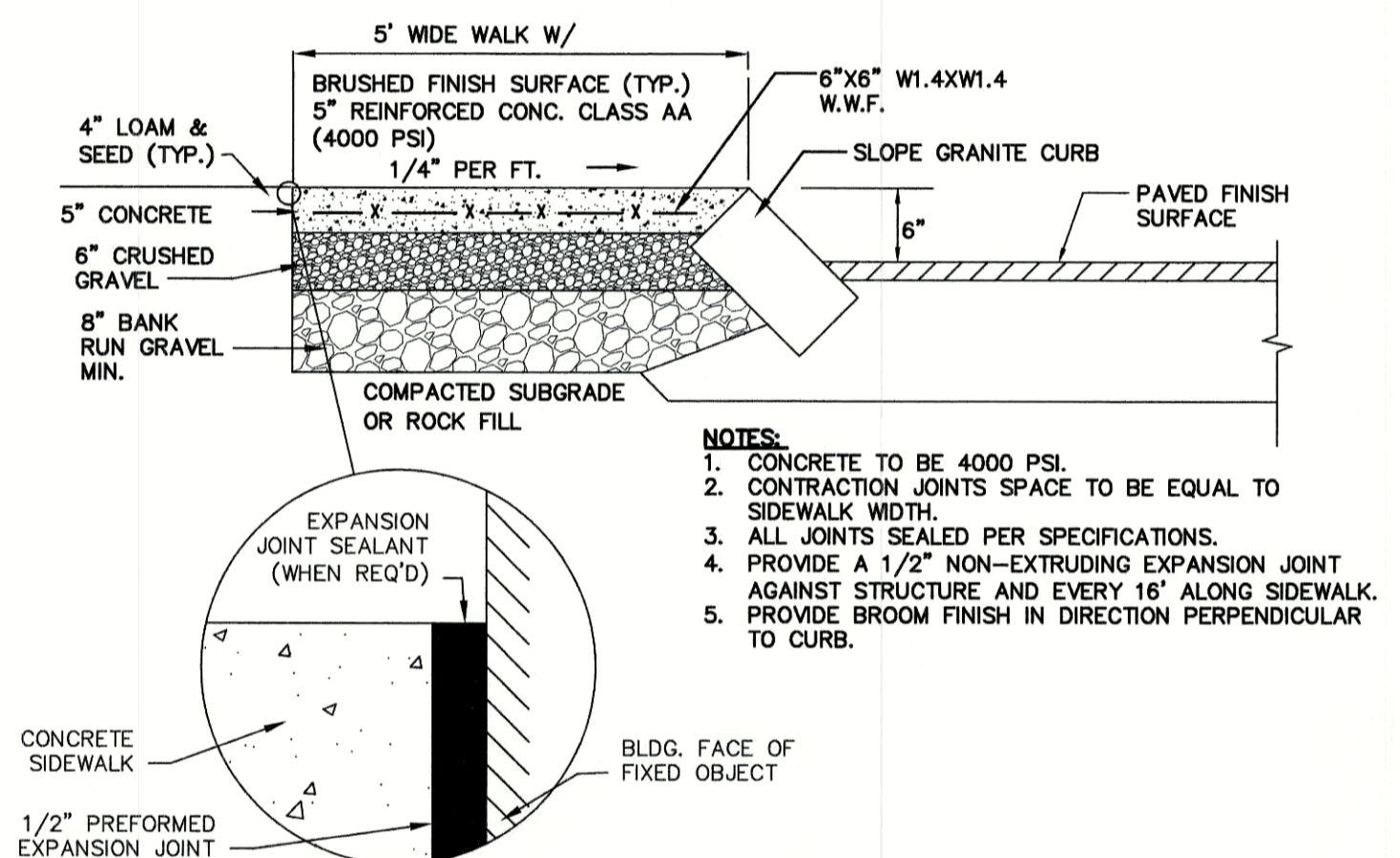


NOTES:

- CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
- JOINTS BETWEEN STONES SHALL BE MORTARED.

SLOPE GRANITE CURB

NOT TO SCALE

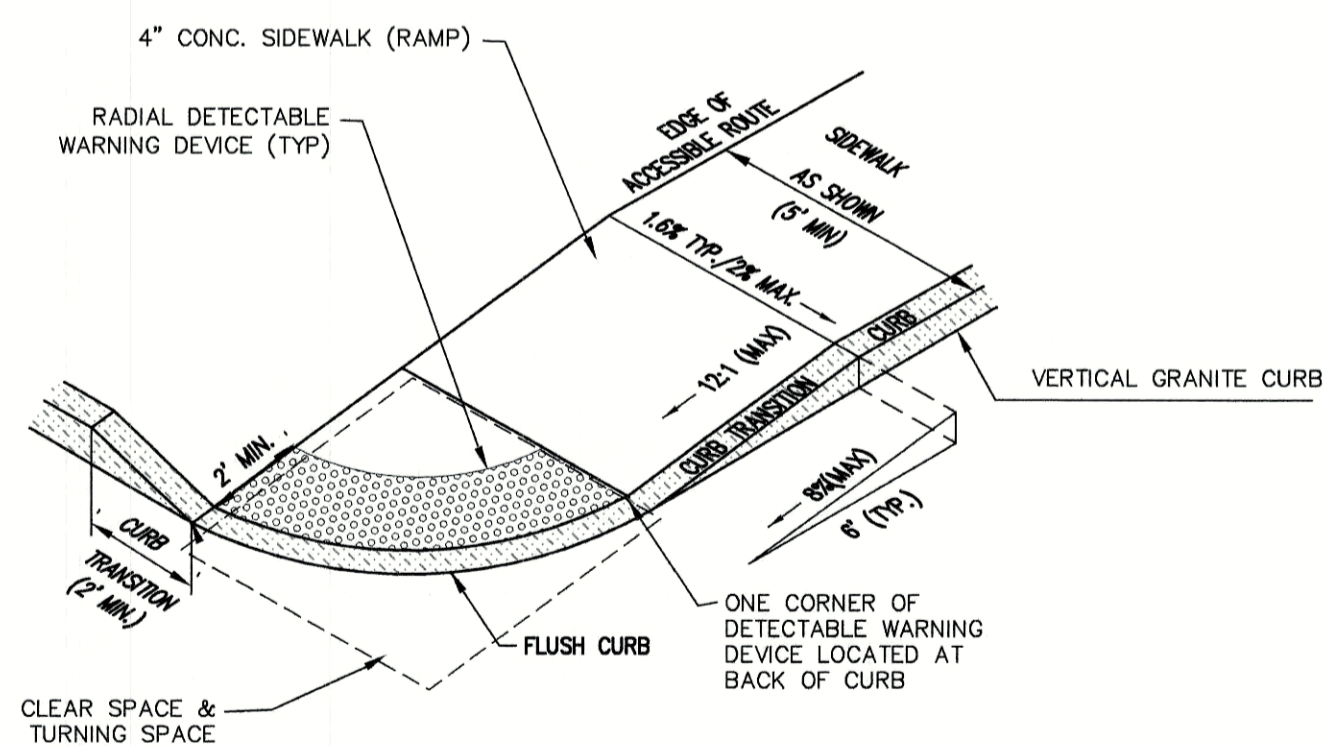


NOTES:

- CONCRETE TO BE 4000 PSI.
- CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
- ALL JOINTS SEALED PER SPECIFICATIONS.
- PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
- PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

CONCRETE SIDEWALK W/ SLOPE GRANITE CURB

NOT TO SCALE

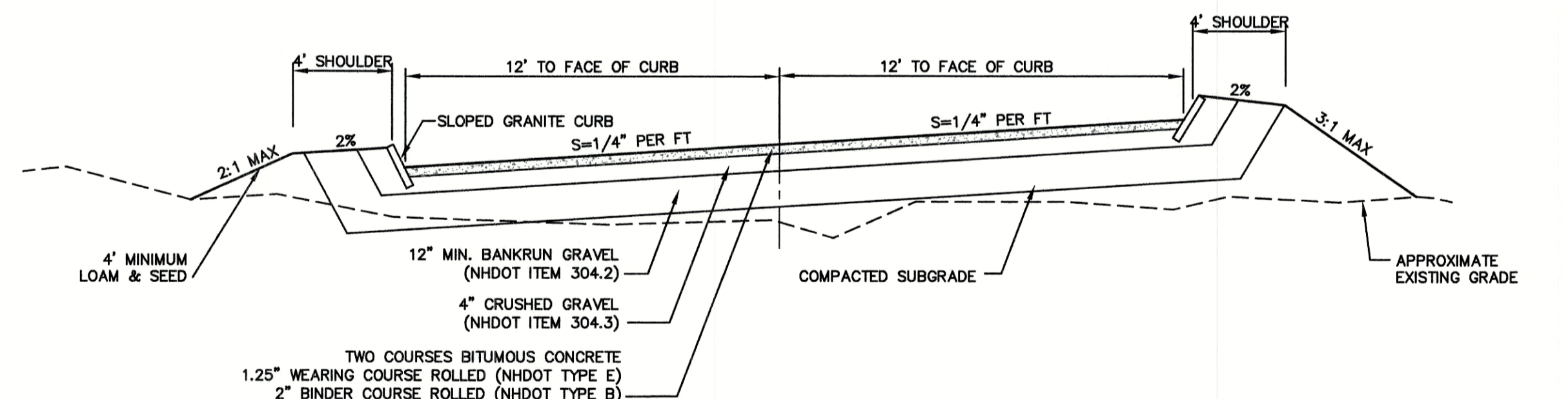


NOTES:

- THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8.3%.
- A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
- SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.
- WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE AND/OR THE TOP OF THE CURB RAMP. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
- TURNING SPACE MAXIMUM CROSS SLOPE IS 2% IN ANY DIRECTION.
- BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4'X4' MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES AND DROP CURBS.

ACCESSIBLE CURB RAMP (NHDOT OPTION 3)

NOT TO SCALE



NOTES:

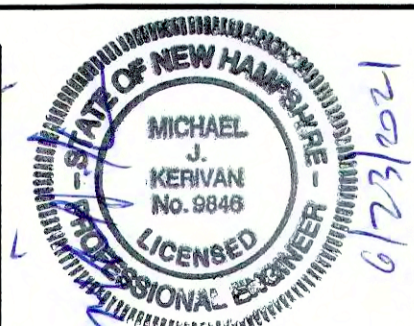
- REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
- ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
- TOWN MAY REQUIRE UNDERDRAIN AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.

TYPICAL ROADWAY SECTION W/CURBING

NOT TO SCALE

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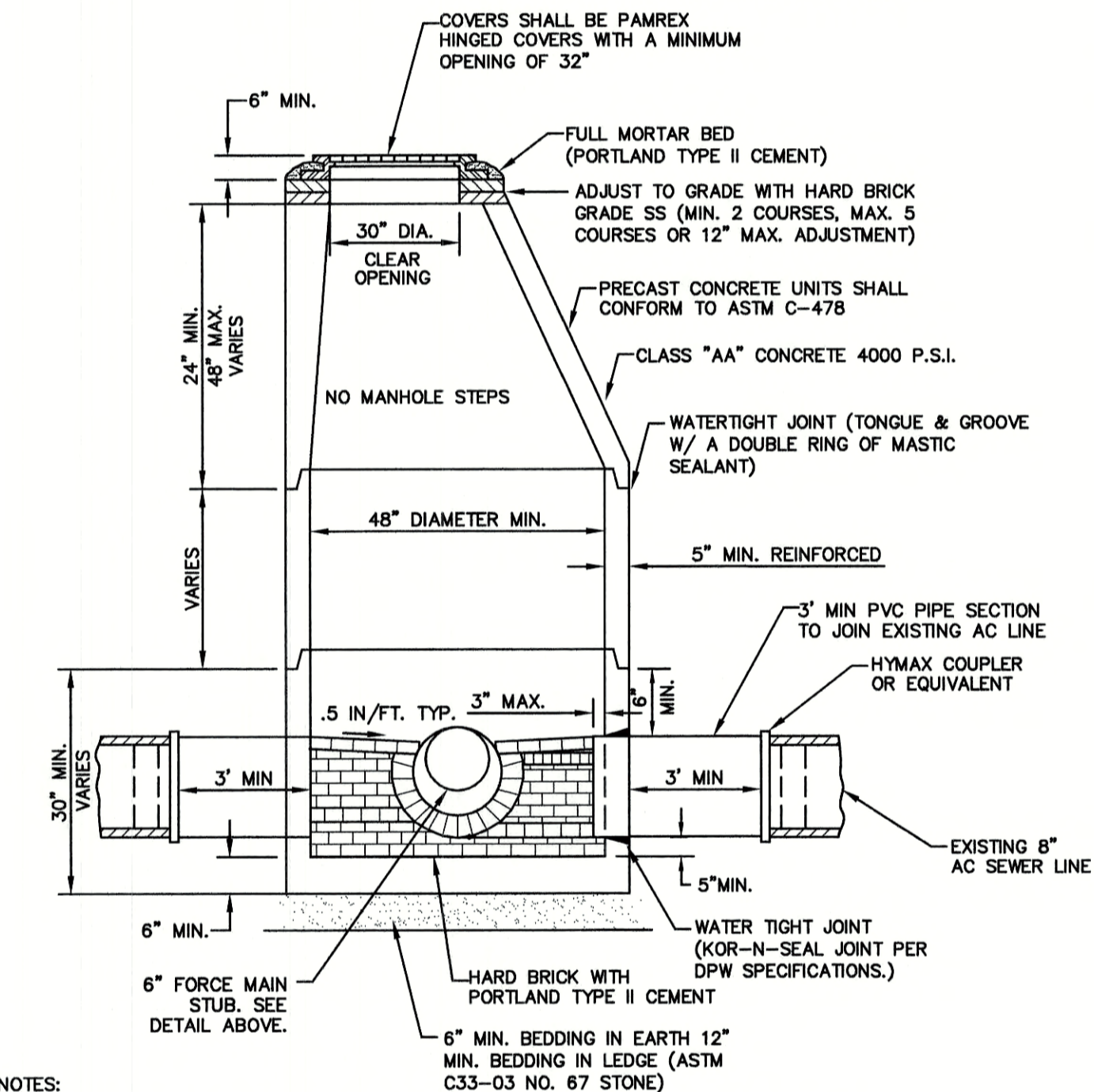
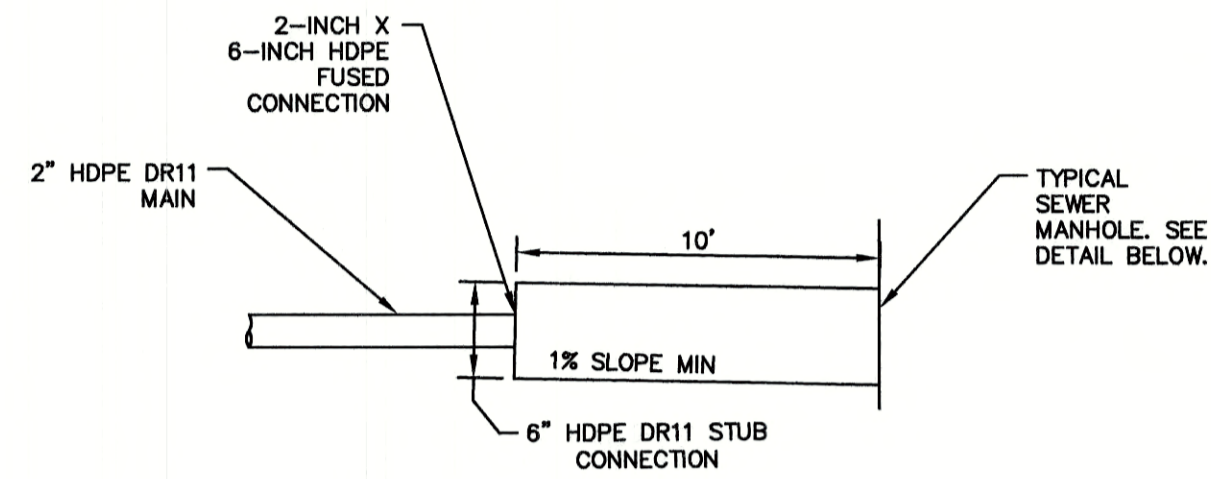
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Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

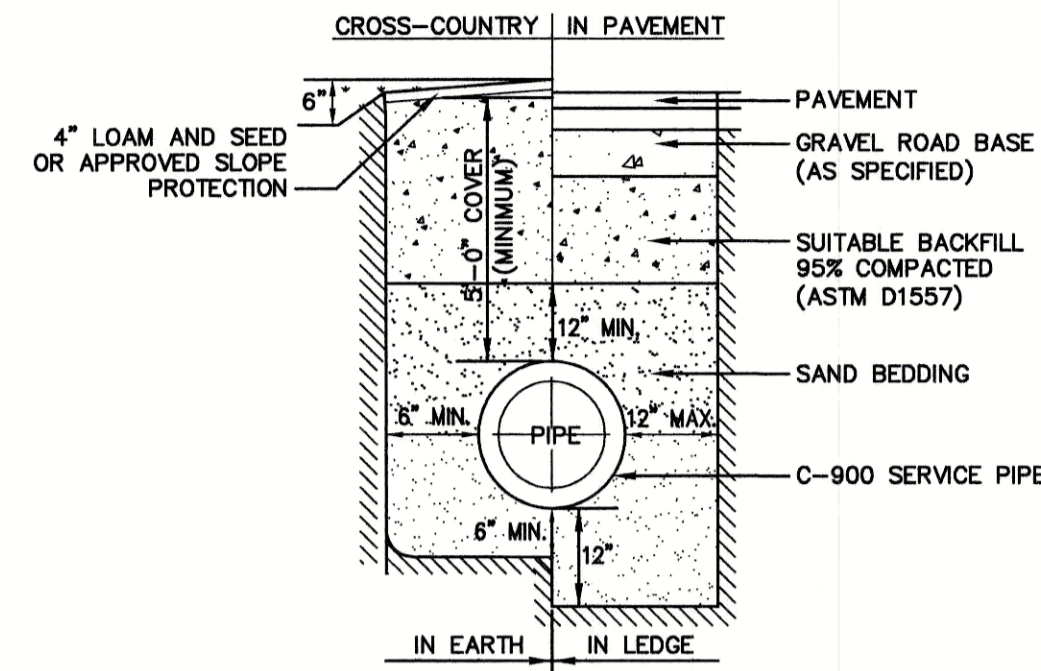
DRAWING No.	D1
SHEET 18 OF 25	JBE PROJECT NO. 20737



- NOTES:
- PER NHDES ENV-WQ 704.13(C), THE MORTAR SPECIFICATION SHALL BE AS FOLLOWS:
1. MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION;
2. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
A. 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
B. 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME;
3. CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05;
4. HYDRATED LIME SHALL BE TYPE S CONFORMING TO THE ASTM C207-06 STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES;
5. SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO THE ASTM C33-03 STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES;
 - SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (K).
 - ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (a) THROUGH (e).
 - SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48 WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (e).
 - ALL ASBESTOS CONTAINING WASTE MATERIALS MUST BE PROPERLY IDENTIFIED, PACKAGED AND DELIVERED TO A LANDFILL LICENSED BY THE NHDES SOLID WASTE MANAGEMENT PROGRAM FOR DISPOSAL. CALL (603) 271-2925 FOR MORE INFORMATION.
 - PORTSMOUTH STANDARD SEWER MANHOLE SHALL BE USED.
 - CONTRACTOR TO PURCHASE SEWER MANHOLE COVERS FROM THE CITY OF PORTSMOUTH DIRECTLY.
 - MANHOLE BASE SECTIONS SHALL BE MONOLITHIC TO A POINT AT LEAST 6" ABOVE THE HIGHEST INCOMING SEWER PIPE PER ENV-WQ 704.12 (e).
 - MANHOLE CASTINGS SHALL CONFORM TO ASTM A48 PER ENV-WQ 704.13 (a) (b).

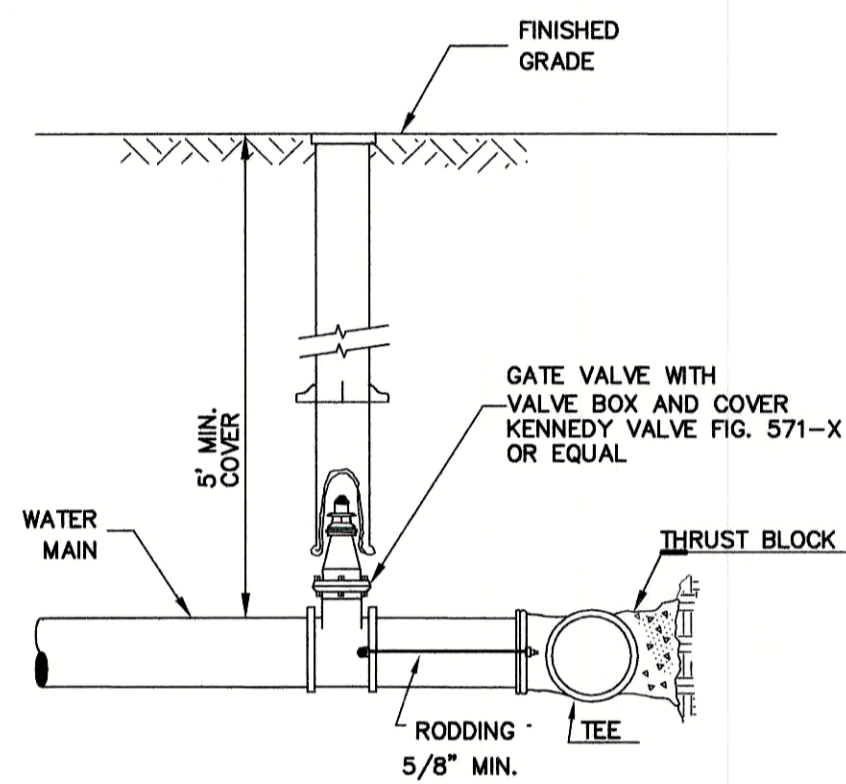
PORTSMOUTH SEWER MANHOLE

NOT TO SCALE



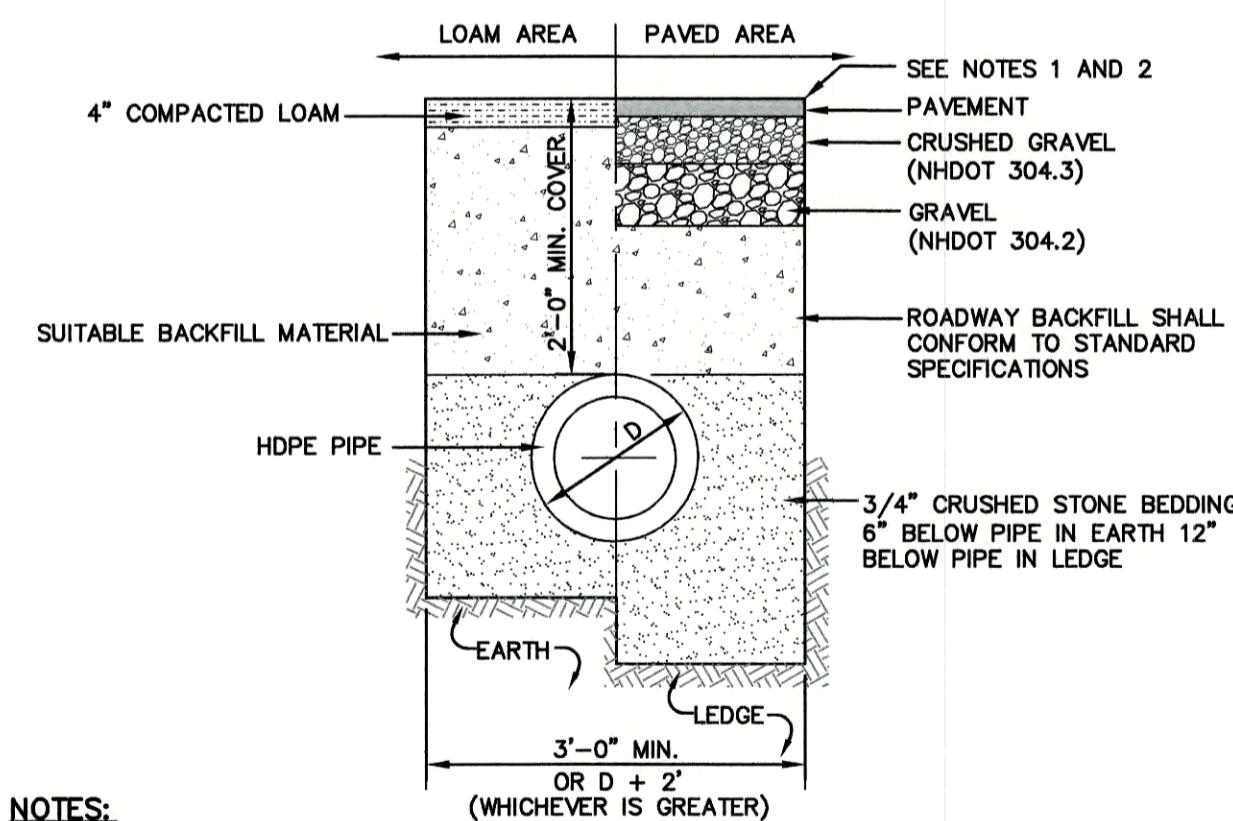
WATER SYSTEM TRENCH

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BURIED GATE VALVE DETAIL

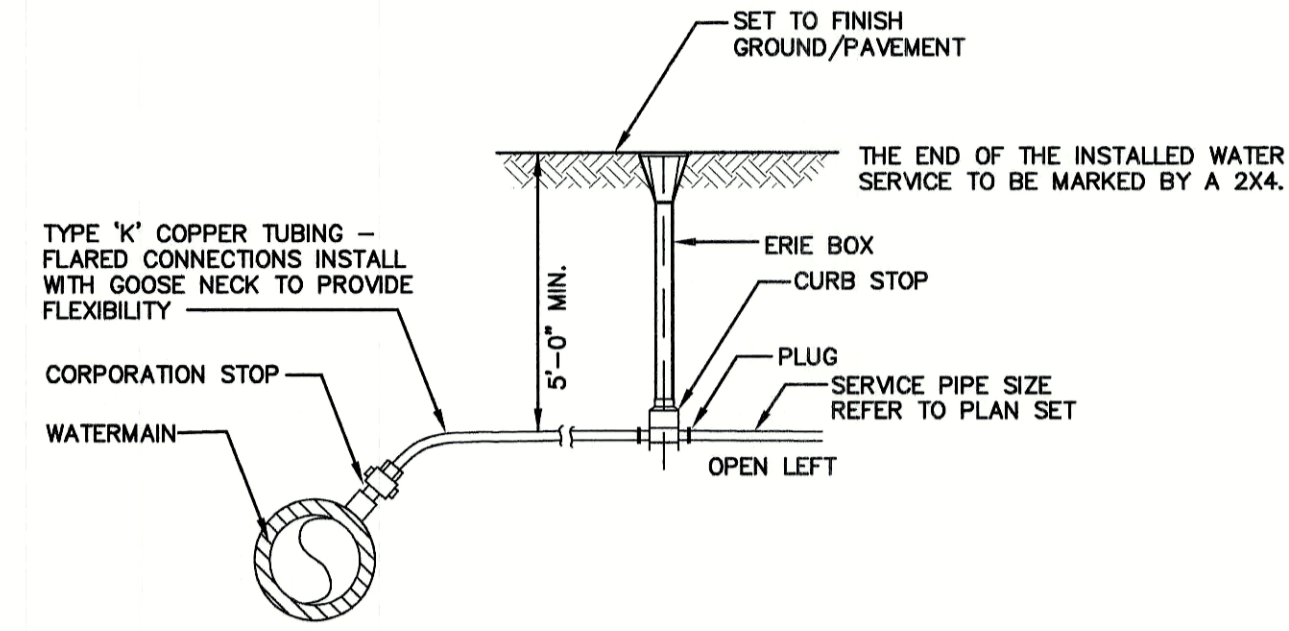
NOT TO SCALE



- NOTES:
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
 - ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

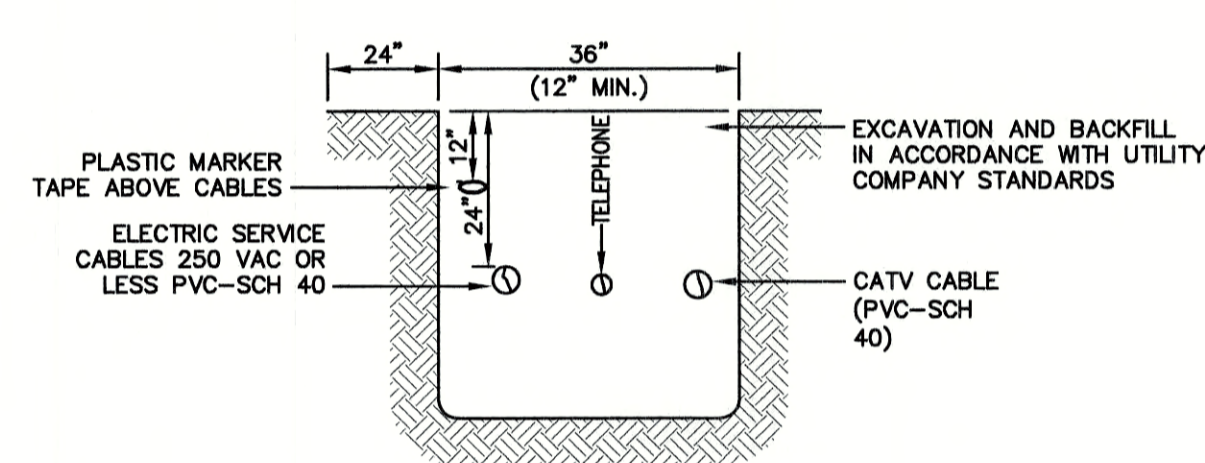
DRAINAGE TRENCH

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WATER SERVICE CONNECTION-COPPER PIPE

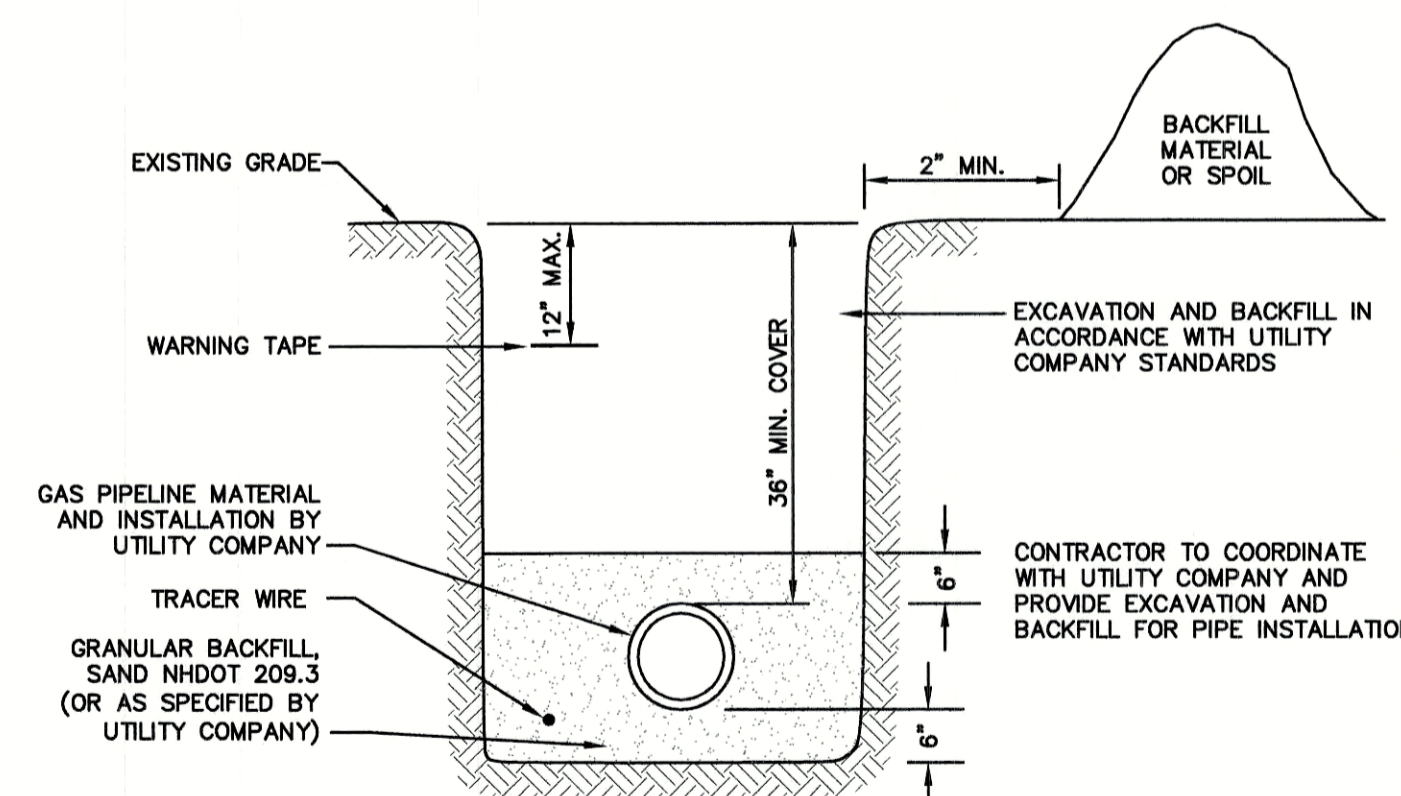
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

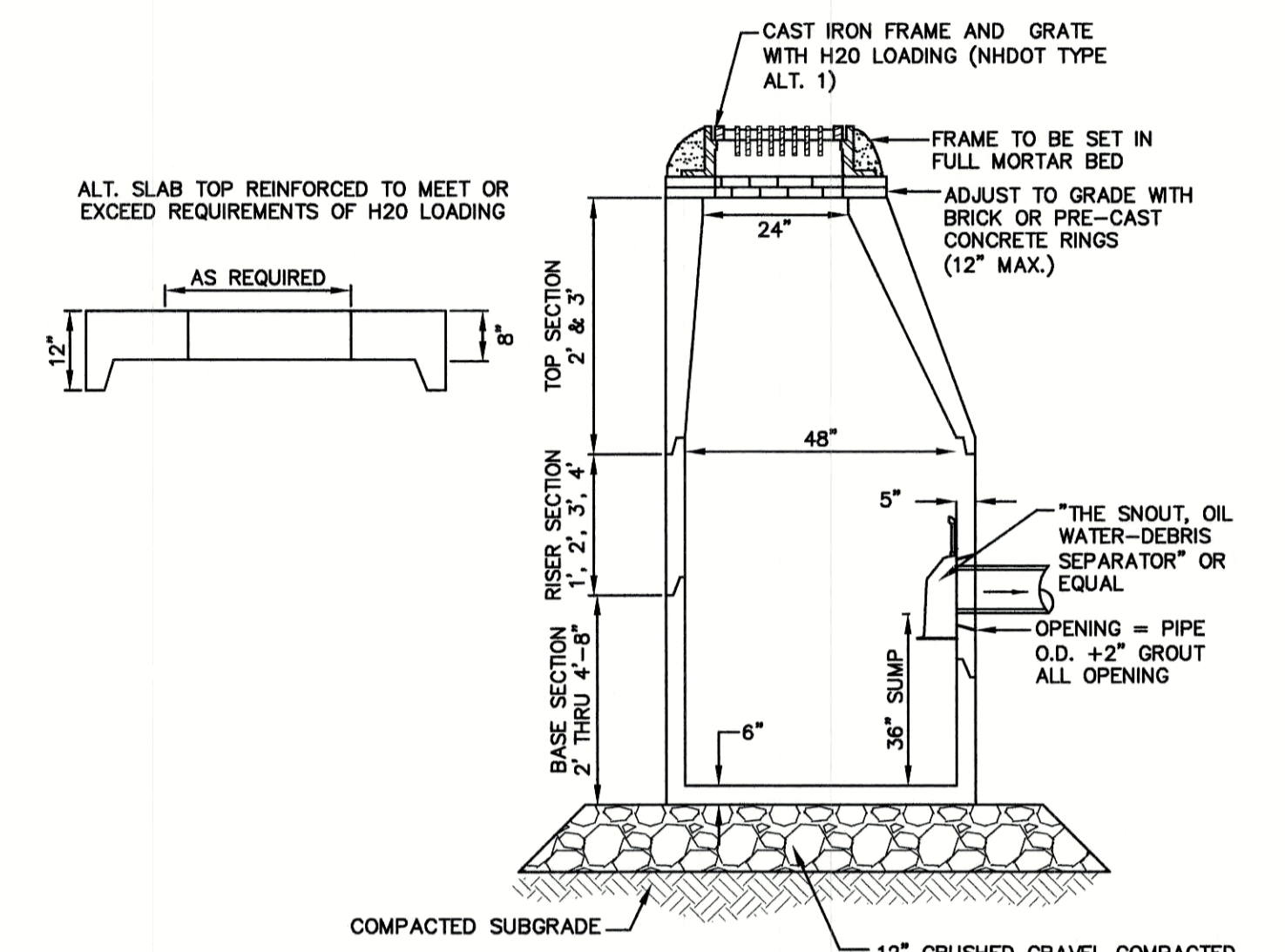
UTILITY TRENCH

NOT TO SCALE



GAS TRENCH

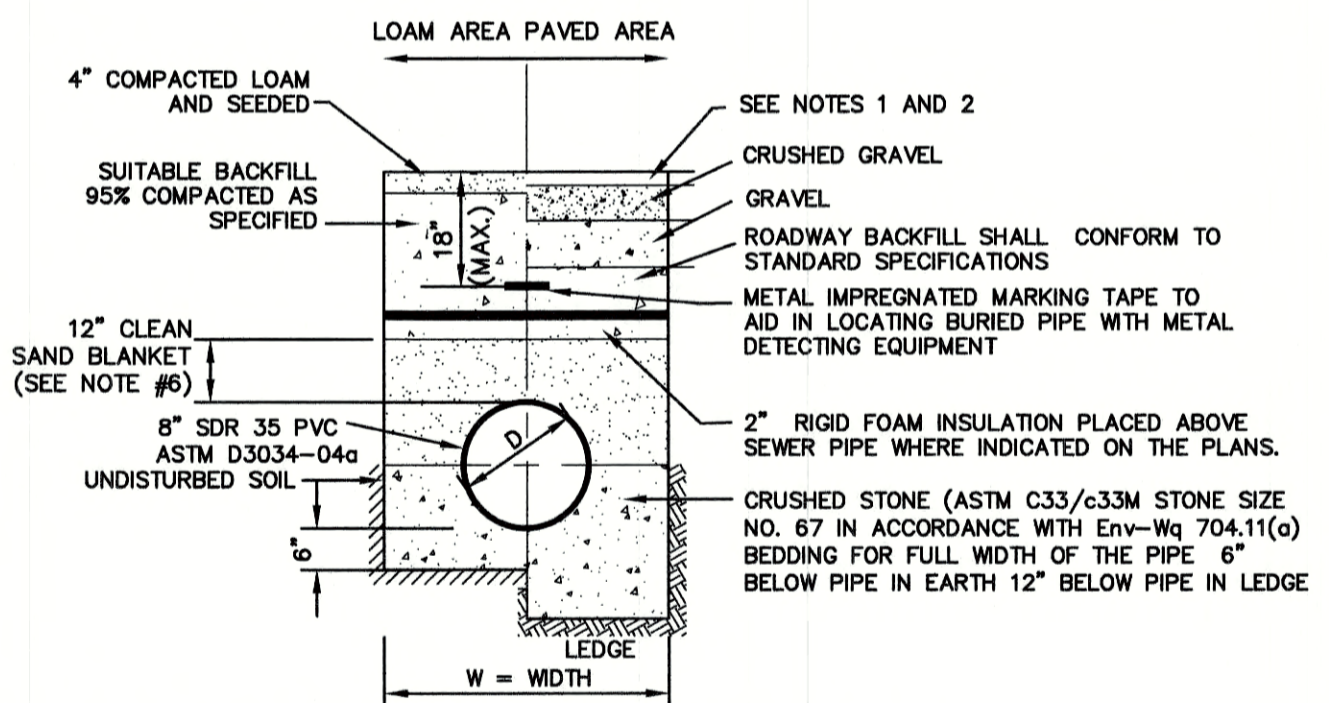
NOT TO SCALE



- NOTES:
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 - ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 - ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 - STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.
 - ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

CATCH BASIN WITH GREASE HOOD

NOT TO SCALE



- NOTES:
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 - TRENCH BACKFILL SHALL CONFORM WITH ENV. Wq 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
 - W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 - RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4" WHERE INDICATED ON THE DES APPROVED PLANS.
 - PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH ENV-Wq 704.11(b).
 - JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER ENV-Wq 704.05 (e).

SEWER TRENCH

NOT TO SCALE

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

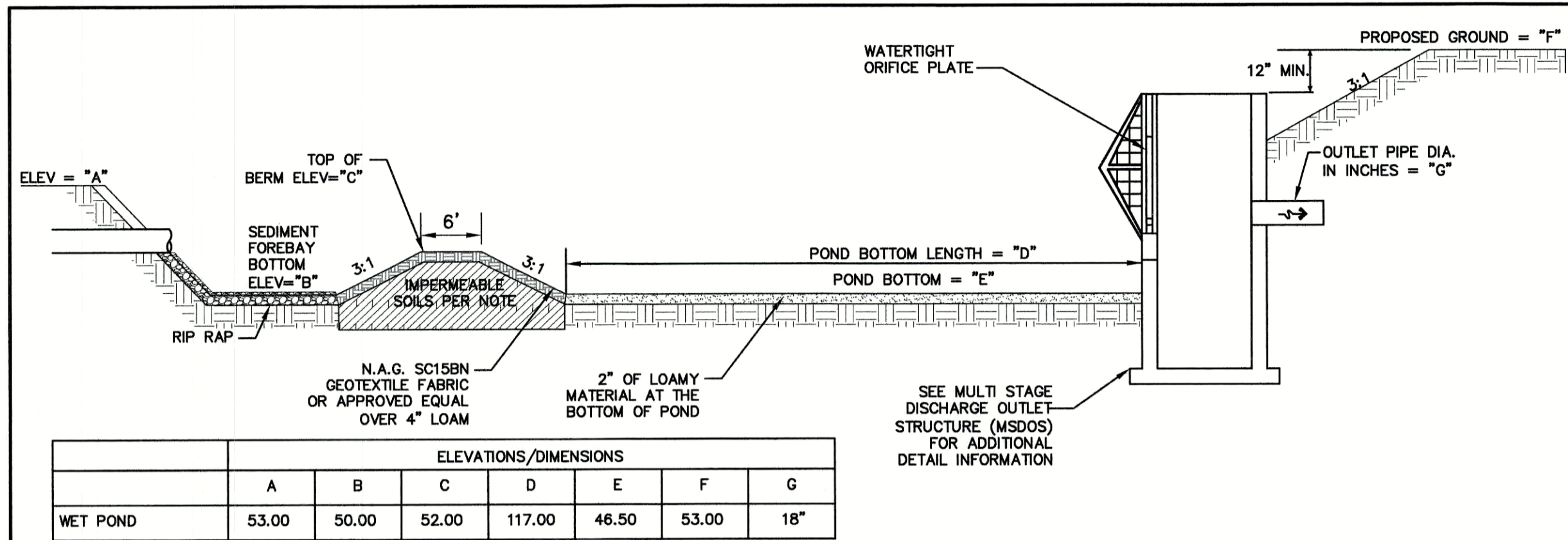
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.

D2

SHEET 19 OF 25
JBE PROJECT NO. 20737



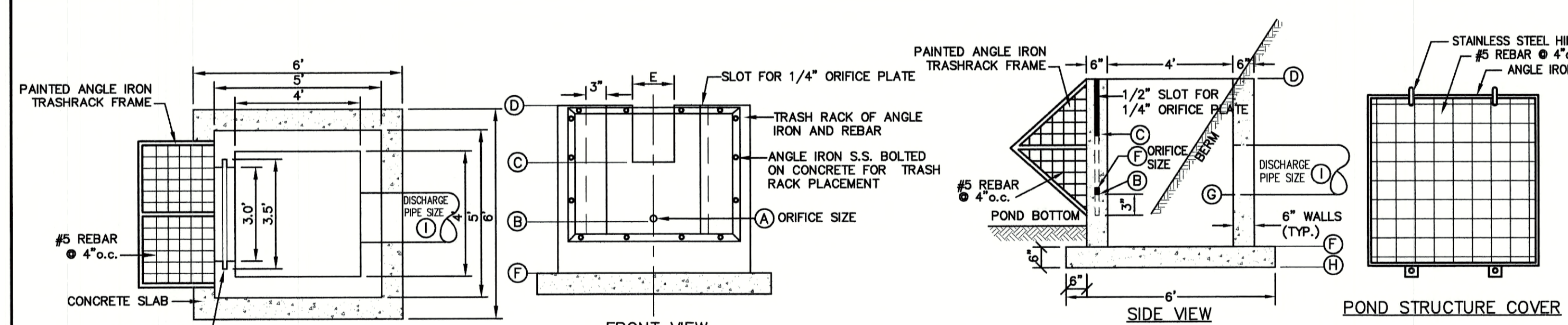
ELEVATIONS/DIMENSIONS							
	A	B	C	D	E	F	G
WET POND	53.00	50.00	52.00	117.00	46.50	53.00	18"

WET POND SECTION

NOT TO SCALE

WET POND CONSTRUCTION CRITERIA

- FOUNDATION PREPARATION** — THE FOUNDATION AREA SHALL BE CLEARED OF TREES LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL. EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FILL PLACEMENT — THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATTER.
- SELECTED BACK FILL MATERIAL** SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS AND ANTI SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES, TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL** — THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION** — CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
- PROTECTION** — A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS SUCH AS MULCHES OR GRAVEL MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
- SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING** SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.
- CONCRETE** — THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUB GRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
- THE CONTRACTOR WILL NOTIFY JONES AND BEACH ENGINEERS AFTER EACH OF THE GRAVEL WETLAND PONDS HAVE BEEN EXCAVATED TO THE BOTTOM OF THE SYSTEM FOR A MANDATORY INSPECTION PRIOR TO BUILDING BERMS, PLACING STONE OR INSTALLING PIPE SYSTEM.
- BERMS AND WEIRS SEPARATING THE FOREBAY AND TREATMENT CELLS SHOULD BE CONSTRUCTED WITH CLAY, OR NON-CONDUCTIVE SOILS, AND/OR A FINE GEOTEXTILE, OR SOME COMBINATION THEREOF, TO AVOID WATER SEEPAGE AND SOIL PIPING THROUGH THESE EARTHEN DIVIDERS.



APPROXIMATE LIST OF MATERIALS

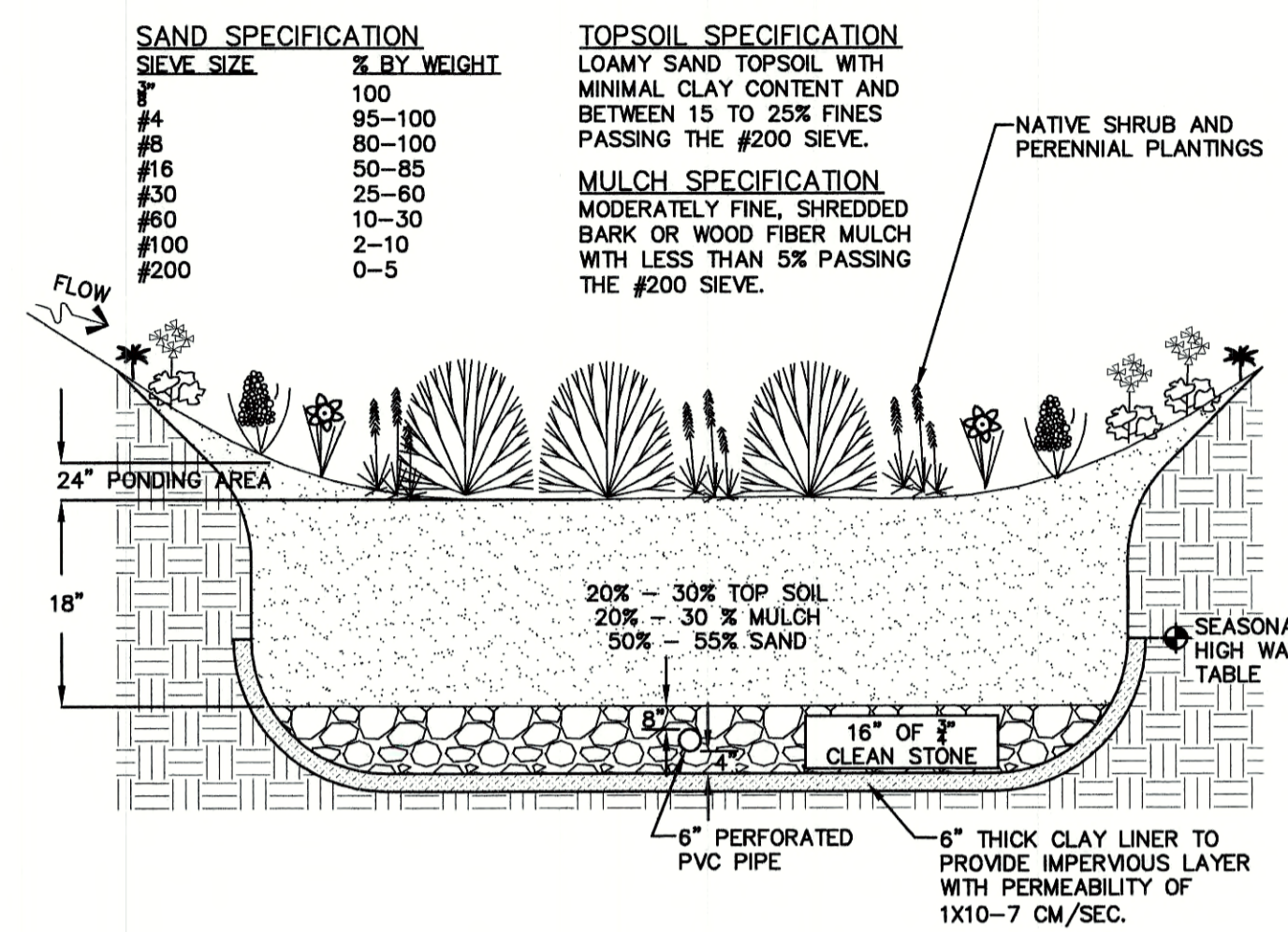
- 3 C.Y. — 5000 PSI CONCRETE
- 15 ANGLE IRONS @ 4' LENGTH
- REQUIRED S.S. BOLTS AND FASTENERS
- 1/4" STEEL PLATE WITH DRILLED ORIFICES
- 1 C.Y. — CRUSHED STONE FOR BASE
- 48 #5 REBARS @ 1', 2' AND 3' LENGTHS
- 32 #4 REBARS @ 4.5' LENGTH

	A	B	C	D	E	F	G	H	I
WET POND	6"	51.00	52.25	52.75	36"	48.00	51.00	47.50	18"

- NOTES:**
- REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZONTAL AND VERTICAL PLACED #4 REBAR @ 12" O.C.
 - CONCRETE BOX TO BE CONSTRUCTED OR PRECAST OF EQUAL DIMENSIONS AND REINFORCING.
 - CONCRETE SLAB TO BE CONSTRUCTED ALONG WITH BASE. FOR PRECAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 - SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WATERTIGHT WITH MORTAR BY CONTRACTOR.
 - ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
 - TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HEANIKER, N.H. (1-603-428-3218) OR EQUAL.
 - STRUCTURE TO HAVE TEMPORARY PLYWOOD INSTALLED IN THE ORIFICE PLATE SLOT UNTIL THE SITE IS STABILIZED.
 - STRUCTURE IS TO BE DESIGNED FOR H20 LOADING.
 - SOIL UNDERLYING THE STRUCTURE IS TO BE COMPACTED TO 95% MODIFIED PROCTOR.

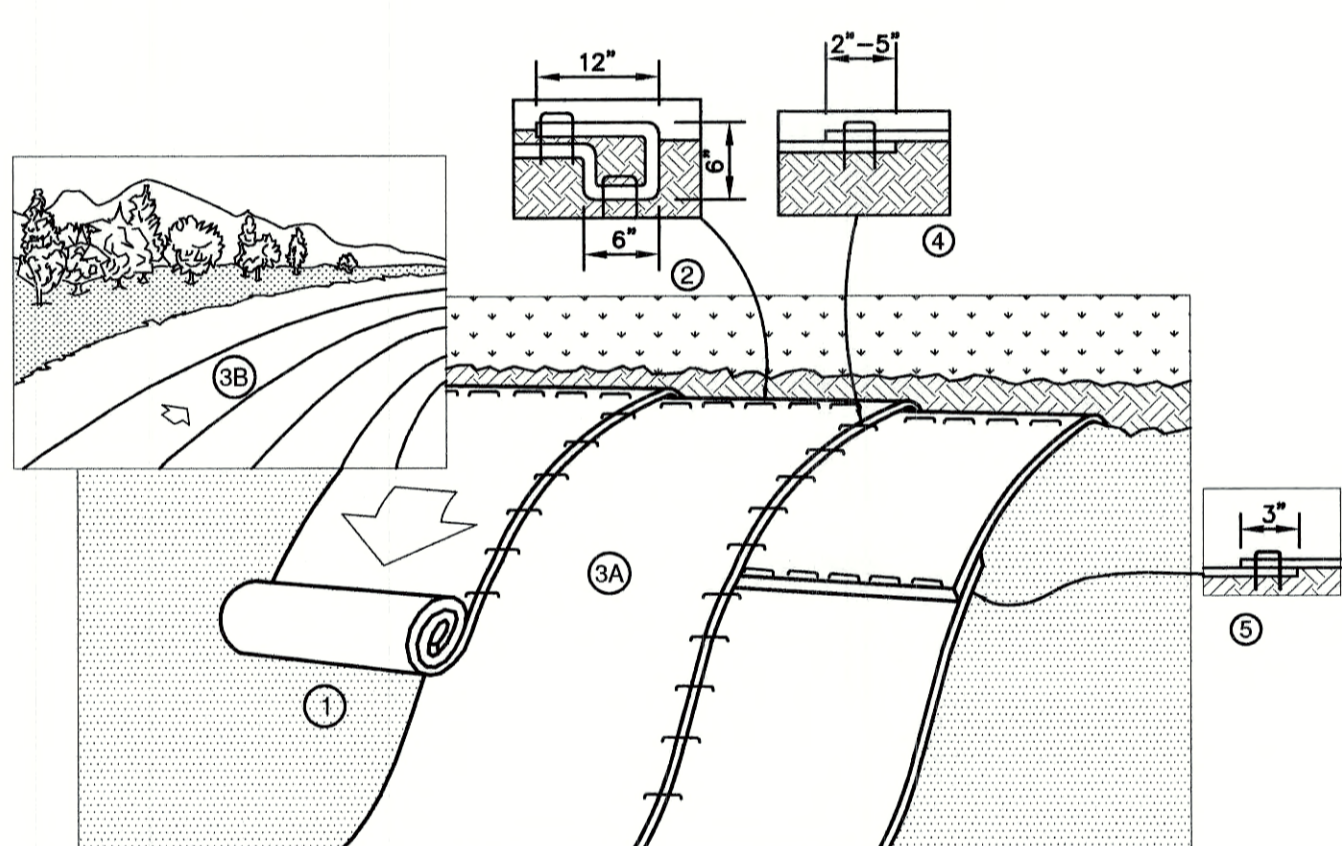
MULTI-STAGE DISCHARGE OUTLET STRUCTURE (MSDOS)

NOT TO SCALE



BIORETENTION SYSTEM (with clay bottom and pipe)

NOT TO SCALE



- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTION A, DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN
 14649 HIGHWAY 41 NORTH
 EVANSVILLE, INDIANA 47725
 1-800-772-2040

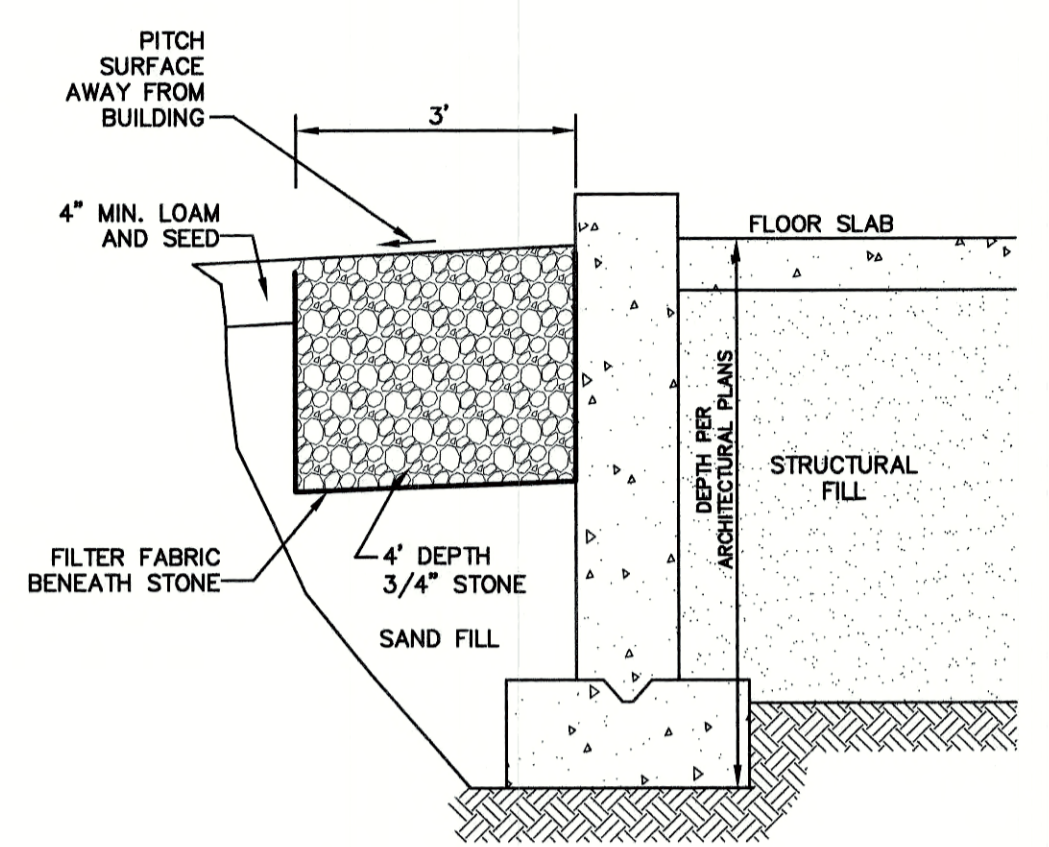
EROSION CONTROL BLANKET SLOPE INSTALLATION

NORTH AMERICAN GREEN (800) 772-2040

NOT TO SCALE

DESIGN CONSIDERATIONS

- DO NOT PLACE BIORETENTION SYSTEMS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- CLAY LINER MATERIAL SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100% #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 40-60%, #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
- COMPACTION AND MATERIALS TESTING SERVICES SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.



DRIP EDGE DETAIL

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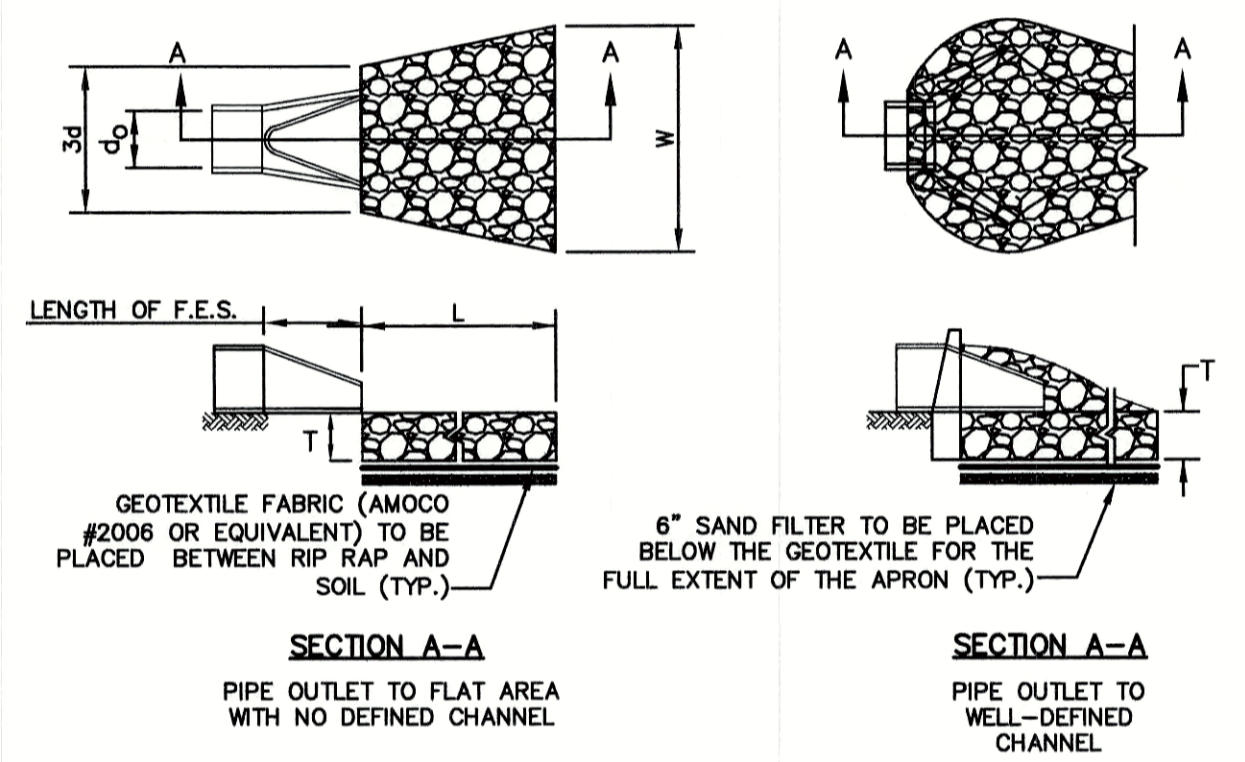


TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

THICKNESS OF RIP RAP = 1.5 FEET		
d50 SIZE=	0.50 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM	TO
100%	9	12
85%	8	11
50%	6	9
15%	2	3

- NOTES:**
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 - OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 - MAINTENANCE:** THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE

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Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
		REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

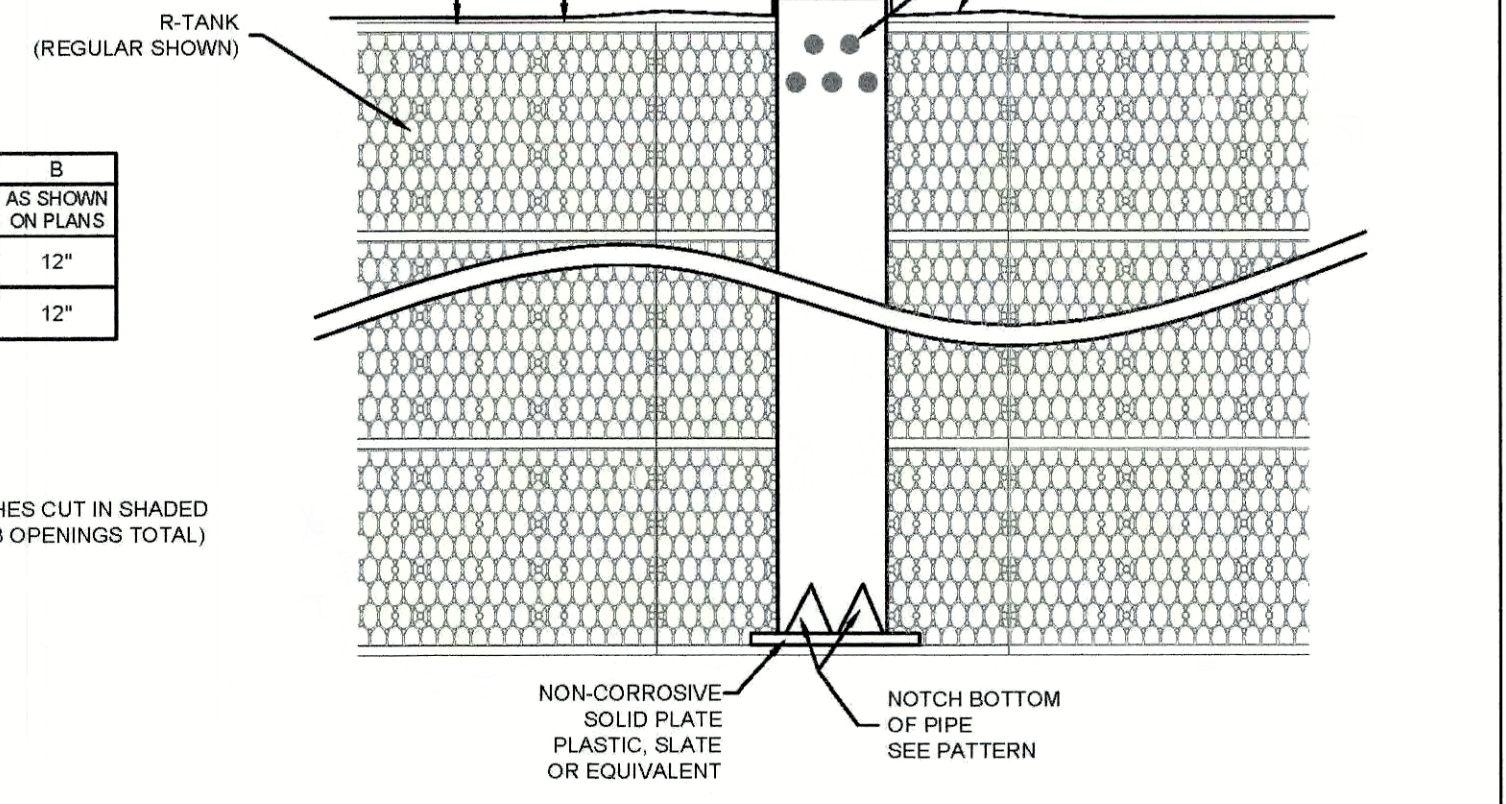
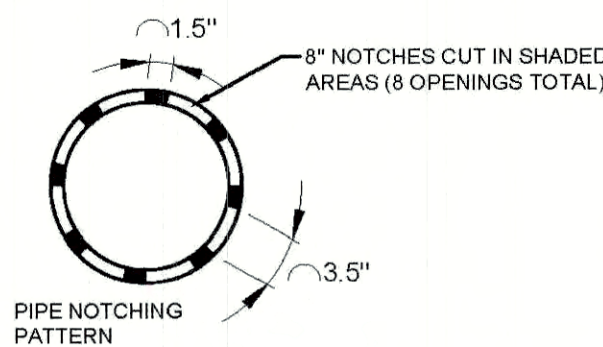
Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	D3
SHEET 20 OF 25	JBE PROJECT NO. 20737

- NOTES**
- THIS PORT IS USED TO PUMP WATER INTO THE SYSTEM AND RE-SUSPEND ACCUMULATED SEDIMENT SO THAT IT MAY BE PUMPED OUT.
 - MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION DURING THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER. FLUSH AS NEEDED.
 - ONLY R-TANK^{LD} AND R-TANK^{HD} MAY BE USED IN TRAFFIC APPLICATIONS.

DEPTH SUMMARY

TYPE	A	B
R-TANK ^{LD}	12" MIN - 36" MAX	AS SHOWN ON PLANS
R-TANK ^{HD}	20" MIN - 6.99' MAX	12"
R-TANK ^{SD}	18" MIN - 9.99' MAX	12"

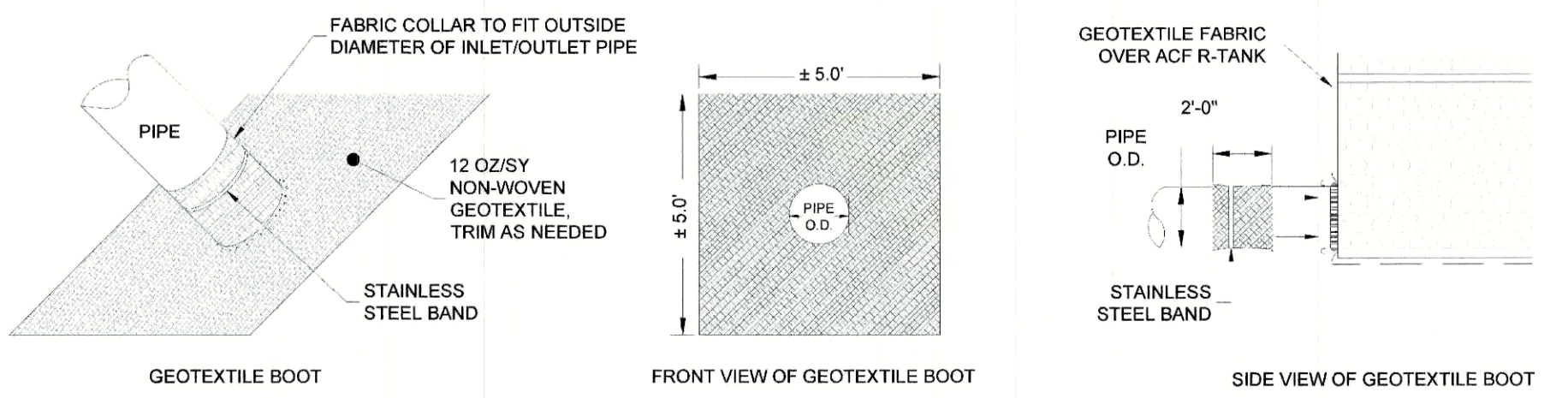
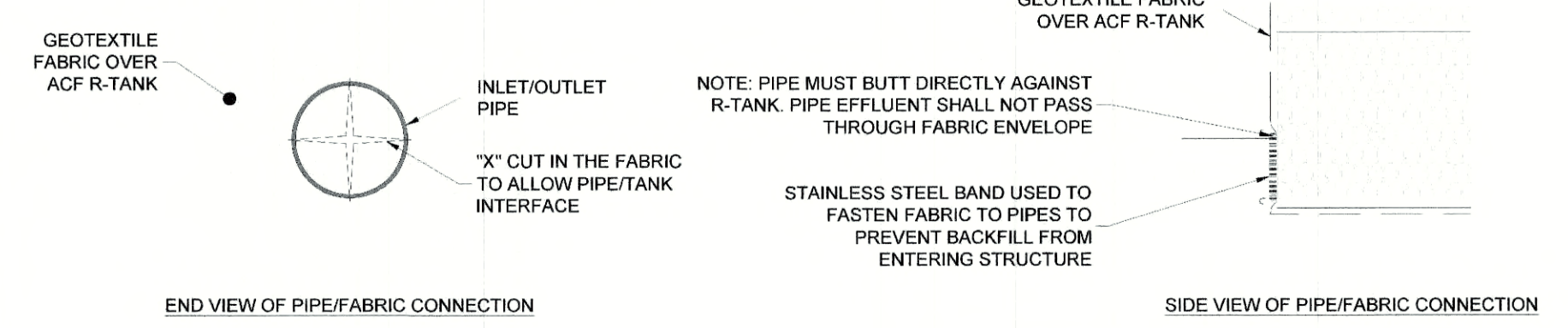


MAINTENANCE PORT FOR R-TANK^{LD}, R-TANK^{HD}, AND R-TANK^{SD}

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com



CUT AN "X" IN THE FABRIC ENVELOPE THAT IS SLIGHTLY LARGER THAN THE PIPE. PULL THE FABRIC FLAPS AROUND THE PIPE, AND SEAL WITH A STAINLESS STEEL BAND.

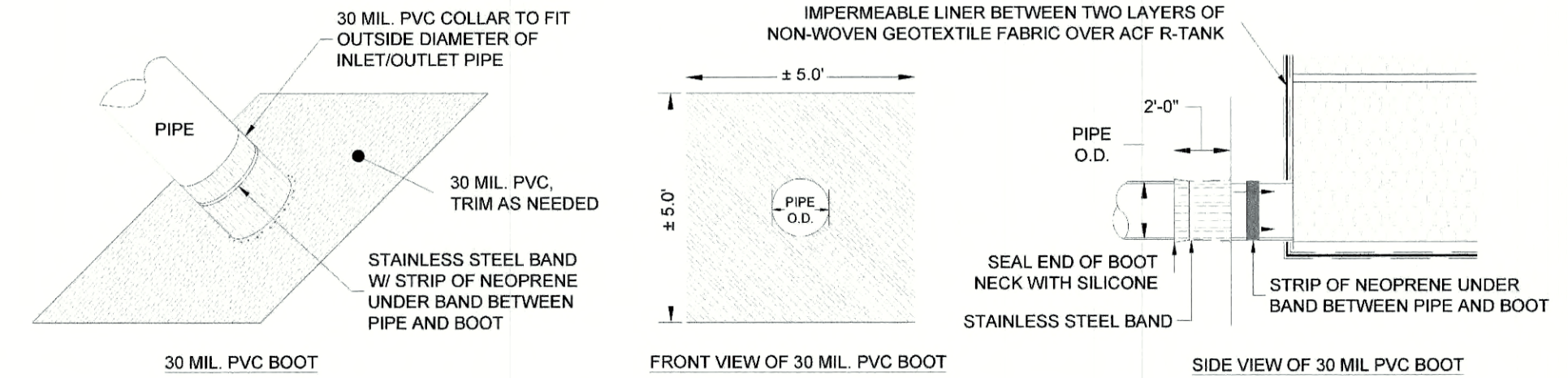
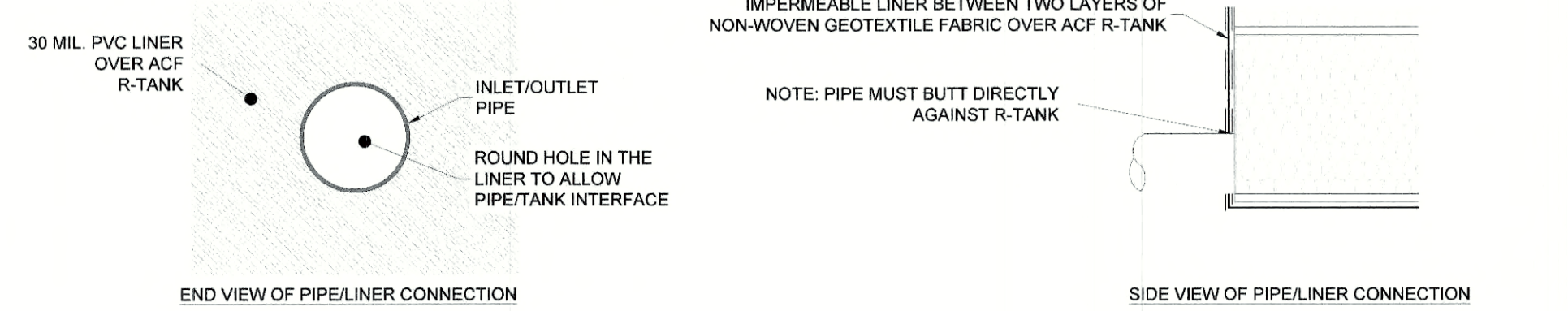


R-TANK TYPICAL INLET/OUTLET W/ GEOTEXTILE BOOT

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com



CUT A ROUND HOLE IN THE LINER ENVELOPE AND GEOTEXTILE PROTECTION FABRIC THAT IS SLIGHTLY LARGER THAN THE PIPE.



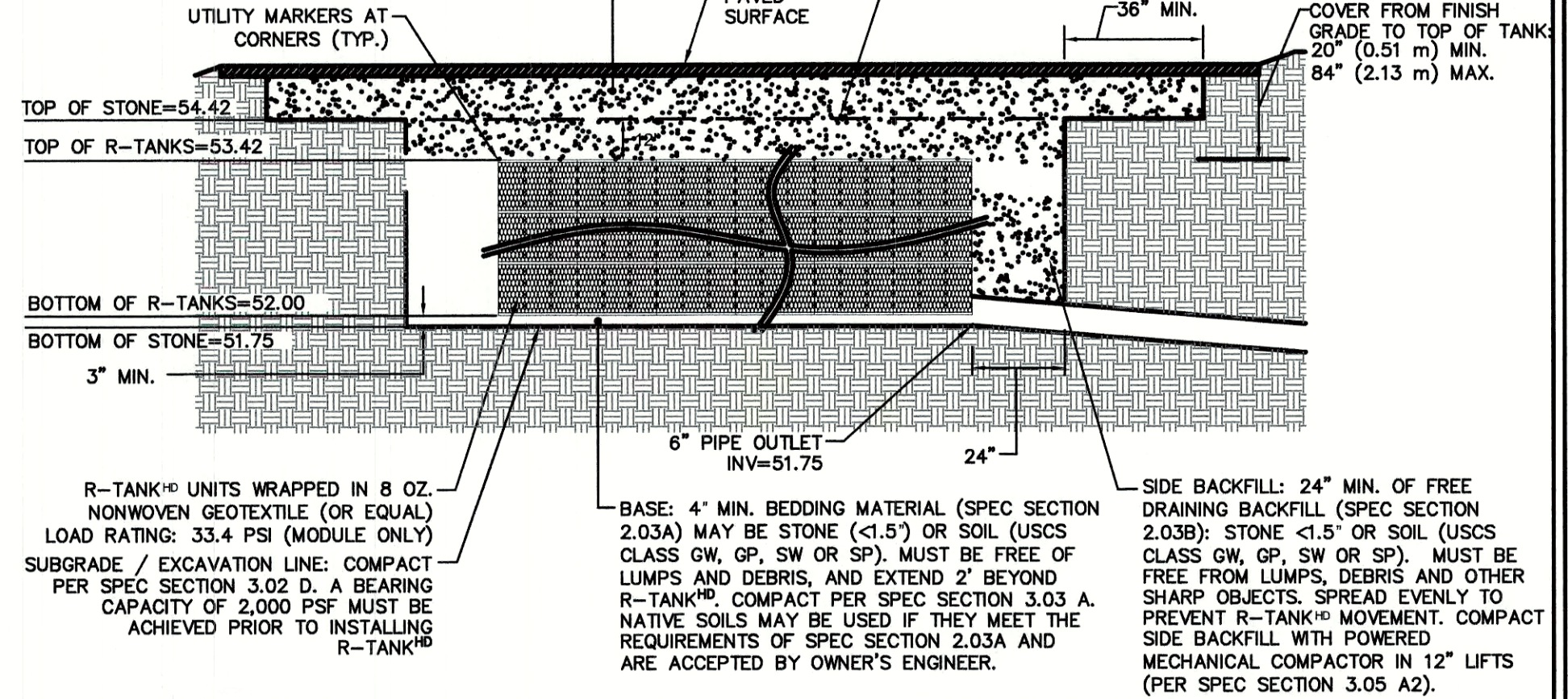
R-TANK TYPICAL INLET/OUTLET W/ 30 MIL PVC BOOT

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com



TOTAL COVER: 20" MINIMUM AND 84" MAXIMUM. FIRST 12" MUST BE FREE DRAINING BACKFILL (SPEC SECTION 2.03B); STONE <1.5" OR SOIL (USCS CLASS GW, GP, SW OR SP). ADDITIONAL FILL MAY BE STRUCTURAL FILL (SPEC SECTION 2.03C); STONE OR SOIL (USCS CLASS SM, SP, SW, GM, GP OR GW) WITH MAX CLAY CONTENT <10%, MAX 25% PASSING NO. 200 SIEVE, AND MAX PLASTICITY INDEX OF 4. A MIN. 14" COVER MUST BE MAINTAINED BETWEEN BACKFILL EQUIPMENT AND THE TOP OF THE R-TANK™ SYSTEM AT ALL TIMES. TOTAL HEIGHT OF TOP BACKFILL SHOULD NOT EXCEED 7'. CONTACT ACF ENVIRONMENTAL IF MORE THAN 7' OR LESS THAN 20" OF TOP BACKFILL IS REQUIRED (FROM TOP OF TANK TO TOP OF PAVEMENT).

- NOTES:**
- FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK™ MODULE SHEET.
 - INSTALLATIONS PER THIS DETAIL MEET GUIDELINES OF HL-93 LOADING PER THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, CUSTOMARY U.S. UNITS, 7TH EDITION, 2014 WITH 2015 AND 2016 INTERIM REVISIONS.
 - PRE-TREATMENT STRUCTURES NOT SHOWN.
 - FOR INFILTRATION APPLICATIONS, GEOTEXTILE ENVELOPING R-TANK SHALL BE ACF M200 (PER SPEC SECTION 2.02A) AND BASE SHALL BE 4" MIN. UNCOMPACTED FREE DRAINING BACKFILL (SPEC SECTION 2.03A) TO PROVIDE A LEVEL BASE. SURFACE MUST BE SMOOTH, FREE OF LUMPS OR DEBRIS, AND EXTEND 2' BEYOND R-TANK™ FOOTPRINT.



R-TANK^{HD} & HS-20 LOADS - SECTION VIEW

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com



- NOTES:**
- STANDARD APPLICATION: THE STANDARD GEOTEXTILE SHALL BE AN 8 OZ PER SQUARE YARD NONWOVEN GEOTEXTILE (ACF N800 OR EQUIVALENT).
 - INFILTRATION APPLICATIONS: WHEN WATER MUST INFILTRATE/EXFILTRATE THROUGH THE GEOTEXTILE AS A FUNCTION OF THE SYSTEM DESIGN, A WOVEN MONOFLAMENT (ACF M200 OR EQUIVALENT) SHALL BE USED.
 - FOR INSTALLATIONS SUBJECT TO TRAFFIC LOADS AND/OR WHEN REQUIRED BY PROJECT PLANS, INSTALL GEOGRID (ACF BX12 OR EQUIVALENT) TO REINFORCE BACKFILL ABOVE THE R-TANK SYSTEM. GEOGRID IS NOT ALWAYS REQUIRED FOR R-TANK™ INSTALLATIONS, AND IS OFTEN NOT REQUIRED FOR NON-TRAFFIC LOAD APPLICATIONS.

- 2.03 BACKFILL & COVER MATERIALS**
- A. BEDDING MATERIALS:** STONE (ANGULAR AND SMALLER THAN 1.5" IN DIAMETER) OR SOIL (GW, GP, SW, OR SP AS CLASSIFIED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM) SHALL BE USED BELOW THE R-TANK SYSTEM (3" MINIMUM). MATERIAL MUST BE FREE FROM LUMPS, DEBRIS, AND ANY SHARP OBJECTS THAT COULD CUT THE GEOTEXTILE. MATERIAL SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 AT THE TIME OF INSTALLATION. FOR INFILTRATION APPLICATIONS BEDDING MATERIAL SHALL BE FREE DRAINING. A 1' TO 2' LAYER OF UNSUITABLE MATERIAL OCCURS 3' TO 6' BELOW EXISTING GRADE WITHIN THE R-TANK SYSTEM FOOTPRINT. THIS MATERIAL IS TO BE REMOVED AND REPLACED WITHIN THE R-TANK SYSTEM FOOTPRINT WITH STONE (ANGULAR AND SMALLER THAN 1.5" IN DIAMETER) OR SOIL (GW, GP, SW, OR SP AS CLASSIFIED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM). A BED BOTTOM INSPECTION SHALL BE PERFORMED BY TRUSLOW RESOURCE CONSULTING PRIOR TO CONSTRUCTION OF THE R-TANK SYSTEM.
- B. SIDE AND TOP BACKFILL:** MATERIAL MUST BE FREE FROM LUMPS, DEBRIS AND ANY SHARP OBJECTS THAT COULD CUT THE GEOTEXTILE. MATERIAL SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 AT THE TIME OF INSTALLATION.

TRAFFIC APPLICATIONS - FREE DRAINING MATERIAL SHALL BE USED ADJACENT TO (24" MINIMUM) AND ABOVE (FOR THE FIRST 12") THE R-TANK SYSTEM.

a. FOR HD, AND SD MODULES, BACKFILL MATERIALS SHALL BE FREE DRAINING STONE (ANGULAR AND SMALLER THAN 1.5" IN DIAMETER) OR SOIL (GW, GP, SW, OR SP AS CLASSIFIED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM).

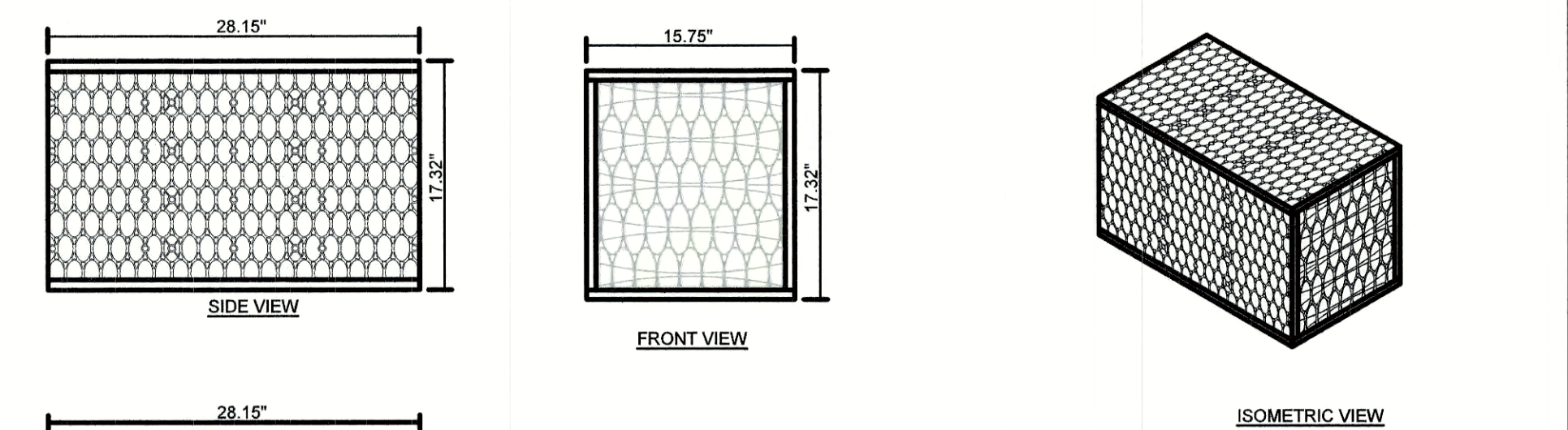
b. FOR UD MODULES WITH LESS THAN 14" OF TOP COVER, BACKFILL MATERIALS SHALL BE FREE DRAINING STONE (ANGULAR AND SMALLER THAN 1.5" IN DIAMETER). THE USE OF SOIL BACKFILL ON THE SIDES AND TOP OF THE UD MODULE IS NOT PERMITTED UNLESS THE MODULES ARE INSTALLED OUTSIDE OF TRAFFIC AREAS OR WITH COVER DEPTHS OF 14" OR MORE. TOP BACKFILL MATERIAL (FROM TOP OF MODULE TO BOTTOM OF PAVEMENT BASE OR 12" MAXIMUM) MUST BE CONSISTENT WITH SIDE BACKFILL.

NON-TRAFFIC / GREEN SPACE APPLICATIONS - FOR ALL R-TANK MODULES INSTALLED IN GREEN SPACES AND NOT SUBJECT TO VEHICULAR LOADS, BACKFILL MATERIALS MAY EITHER FOLLOW THE GUIDELINES FOR TRAFFIC APPLICATIONS ABOVE, OR THE TOP BACKFILL LAYER (12" MINIMUM) MAY CONSIST OF AASHTO #57 STONE BLENDED WITH 30-40% (BY VOLUME) TOPSOIL TO AID IN ESTABLISHING VEGETATION.

C. ADDITIONAL COVER MATERIALS: STRUCTURAL FILL SHALL CONSIST OF GRANULAR MATERIALS MEETING THE GRADATIONAL REQUIREMENTS OF SM, SP, SW, GM, GP OR GW AS CLASSIFIED BY THE UNIFIED SOIL CLASSIFICATION SYSTEM. STRUCTURAL FILL SHALL HAVE A MAXIMUM CLAY CONTENT OF 10 PERCENT AND A MAXIMUM PLASTICITY INDEX OF 4. MATERIAL SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 AT THE TIME OF INSTALLATION.

OTHER MATERIALS

A. UTILITY MARKER: INSTALL METALLIC TAPE AT CORNERS OF R-TANK SYSTEM TO MARK THE AREA FOR FUTURE UTILITY DETECTION.



MODULE DATA

GEOMETRY: LENGTH = 28.15 IN. (715 MM)	LOAD RATING: 33.4 PSI, (MODULE ONLY)
WIDTH = 15.75 IN. (400 MM)	HS25, (WITH ACF COVER SYSTEM)
HEIGHT = 17.32 IN. (440 MM)	MATERIAL: 100% RECYCLED POLYPROPYLENE
TANK VOLUME = 4.44 CF	
STORAGE VOLUME = 4.22 CF	
VOID INTERNAL VOLUME: 95%	SMALL PLATES PER SEGMENT/TOTAL: 5/5
VOID SURFACE AREA: 90%	

R-TANK^{HD} - SINGLE MODULE

FOR ADDITIONAL INFORMATION PLEASE CONTACT: ACF ENVIRONMENTAL, 1-800-448-3636, www.acfenvironmental.com

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746

FAX: 603-772-0227

E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.

D4

SHEET 21 OF 25

JBE PROJECT NO. 20737

PRETX SPECIFICATIONS

A. GENERAL

- PRETX SYSTEMS ARE A PRE-FILTER AND CRITICAL MAINTENANCE DEVICE THAT EXTENDS THE OPERATING LIFE AND REDUCES THE MAINTENANCE BURDEN OF BIORETENTION SYSTEMS, RAIN GARDENS, BIOSWALES AND OTHER TYPES OF SURFACE BEST MANAGEMENT PRACTICES BY FILTERING OUT SEDIMENT, TRASH AND DEBRIS AT THE INLET.

B. PRODUCTS

- PRETX IS AVAILABLE IN 3 MODELS THAT MANAGE MOST BIORETENTION INLET CONFIGURATIONS: CURB, DROP, AND IN-LINE.
- PRETX-CURB IS FOR EDGE OF PAVEMENT RUNOFF AT A CURB CUT IN LIEU OF A STONE SPREADER.
- PRETX-DROP IS FOR USE AS A DROP INLET CONFIGURATION ALONG A CURB LINE AND WOULD BE INSTALLED WITH A STANDARD DROP INLET GRATE.
- PRETX-IN-LINE IS FOR USE WITH SUBSURFACE INLET AND OUTLET PIPE.
- PRETX IS SIZED TO PRETREAT WATER QUALITY FLOWS AND BYPASS LARGER FLOWS THAT HAVE MINIMAL TRASH AND DEBRIS. PRETX CAN BE USED BOTH IN RETROFIT OR NEW INSTALLATIONS.

- ACCEPTABLE SYSTEM SUPPLIER
CONVERGENT WATER TECHNOLOGIES, INC. OR ITS AUTHORIZED VALUE-ADDED RESELLER
(800) 711-5428
WWW.CONVERGENTWATER.COM

C. SUBMITTALS

- SUBMIT PROPOSED LAYOUT DRAWINGS. DRAWINGS SHALL INCLUDE TYPICAL SECTION DETAILS ANNOTED WITH SYSTEM ELEVATIONS (E.G., RIM, PIPE INVERTS, OUTSIDE BOTTOM OF STRUCTURE, ETC.).
- SUBMIT MATERIAL CERTIFICATES FOR FRAMES AND COVERS.
- ANY PROPOSED EQUAL ALTERNATE PRODUCT SUBSTITUTION TO THIS SPECIFICATION MUST BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO BID OPENING.

D. EXECUTION

- ALL PUBLIC STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AND ACCORDING TO LOCAL MUNICIPAL REQUIREMENTS.
- ALL STORM DRAINAGE SYSTEM CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND OBTAINING APPROVAL FROM DIG-SAFE AND DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION/EXCAVATION AND SHALL NOTIFY THE PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS.
- TO PROTECT STORMWATER FLOW CONTROL AND QUALITY TREATMENT FACILITIES FROM SEDIMENTATION, THEY SHALL BE CONNECTED TO THE STORM CONVEYANCE SYSTEM ONLY AFTER ALL SITE WORK, ROAD CONSTRUCTION, UTILITY WORK AND LANDSCAPING ARE IN PLACE IN ALL AREAS ABOVE AND UPSTREAM OF THE FACILITY.
- THE EXISTING STORM SEWER SYSTEM SHALL STAY ISOLATED FROM THE NEW SYSTEM UNTIL THE NEW SYSTEM IS CLEANED, AND APPROVED FOR USE. THERE SHALL BE NO DEBRIS IN THE LINES OR FURTHER CLEANING WILL BE REQUIRED PRIOR TO ACCEPTANCE.
- PROVIDE A 1.5" MINIMUM GAP BETWEEN THE KNOCKOUT WALL AND THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS INSTALLED, FILL THE GAP WITH JOINT MORTAR.
- THE OPENING SHALL BE MEASURED AT THE TOP OF THE PRECAST BASE SECTION.
- ALL PICKUP HOLES SHALL BE GROUTED FULL AFTER THE BASIN HAS BEEN PLACED.
- STANDARD CURB INLETS AND TIPDOWNS SHALL BE PRECAST CONCRETE OR ASPHALT.
- PIPE ENDS SHALL BE FLUSH WITH THE INNER WALL OR 1" MAXIMUM INTRUSION. MASONRY, CINDER BLOCKS, OR SIMILAR MATERIALS MAY BE USED TO ADJUST THE RISERS TO GRADE PRIOR TO GROUTING.
- GROUTING SHALL BE SUFFICIENT TO PREVENT LEAKS BETWEEN THE PRECAST COMPONENTS OF THE COMPLETED STRUCTURE & SHALL BE PERFORMED INSIDE, BETWEEN & OUTSIDE OF ALL RISERS, JOINTS & PIPE PENETRATIONS.
- MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M-195 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
- ALL REINFORCED CAST IN PLACE CONCRETE SHALL BE CLASS 4000. ALL PRECAST CONCRETE SHALL BE CLASS 4000.
- RECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
- MATING SURFACES OF MANHOLE RINGS AND COVERS SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITIONS.

E. CONSTRUCTION AND SEQUENCING

1. EXAMINATION

- VERIFY LAYOUT AND ORIENTATION OF PRE-TX SYSTEM AREA INCLUDING EDGE OF PAVEMENT, TIP DOWN, CURBS AND SIDEWALK, BIOFILTRATION SYSTEM, AND CONNECTIONS.
- VERIFY EXCAVATION BASE IS READY TO RECEIVE WORK AND EXCAVATIONS, DIMENSIONS, AND ELEVATIONS ARE AS INDICATED ON DRAWINGS.

2. PREPARATION

- CALL DIG SAFE AND RECEIVE APPROVAL BEFORE PERFORMING WORK.
- REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND SURROUNDING CONSTRUCTION AREAS.
- IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM.
- CLEAR AND GRUB THE PROPOSED PRE-TX SYSTEM AREA.

3. EXCAVATION AND INSTALLATION

- THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. COORDINATE WITH THE OWNER, AND ENGINEERS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- INSTALL TEMPORARY EROSION AND SEDIMENT CONTROLS TO DIVERT STORM WATER AWAY FROM THE PRE-TX SYSTEM AREA.
- EXCAVATE TO THE BOTTOM INVERT OF THE SYSTEM.
- TO MINIMIZE COMPACTION OF ADJACENT BIOFILTRATION SYSTEMS, WORK EXCAVATORS OR BACKHOES FROM THE SIDES TO EXCAVATE THE PRE-TX SYSTEM AREA TO ITS APPROPRIATE DESIGN DEPTH AND DIMENSIONS.
- ROUGH GRADE THE PRE-TX SYSTEM AREA DURING GENERAL CONSTRUCTION. EXCAVATE THE PRE-TX SYSTEM FACILITIES TO WITHIN 1 FOOT OF STRUCTURE BOTTOM.
- PLACE 1 FOOT BED OF COARSE STONE TO ELEVATION OF BASE OF STRUCTURE.
- ESTABLISH ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT AND TIP DOWN, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS AS INDICATED ON DRAWINGS.

4. INSTALLATION

- PLACE THE PRECAST SYSTEM TO NECESSARY ELEVATION.
- VERIFY ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT, PAVEMENT GRADING FOR INLET GRATE FOR PRETX-DROP, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS, OUTLET INVERT FOR KNEE WALL.
- FOR PRETX-SURFACE:
 - VERIFY ELEVATIONS FOR ADJACENT CURBS.
 - VERIFY EDGE OF PAVEMENT TIP DOWN PAVEMENT GRADING FOR INLET GRATE.
 - VERIFY CURB ELEVATION IN RELATION TO PAVEMENT AND TIP DOWN.
 - VERIFY OUTLET INVERT FOR KNEE WALL IN RELATION TO FILTER MEDIA.
- FOR PRETX-DROP:
 - VERIFY ALL INLET PIPES ENTER THE STRUCTURE UPSTREAM OF BAFFLE.
 - VERIFY FRAME AND GRATE OFFSET ON INLET SIDE AND UPSTREAM OF BAFFLE.
 - VERIFY CURB LOCATION WITH RESPECT TO FRAME AND GRATE ORIENTATION.
- INSTALL BAFFLES, WEIR, AND SCREENS AS INDICATED ON DRAWINGS.
- VERIFY MAINTENANCE ACCESS THROUGH GRATE OR COVER AND CLEARANCE FOR VEHICLE.
- INSTALL TOP OF STRUCTURE LEVEL WITH ADJACENT CURB OR SIDEWALK AS PER MANUFACTURERS SPECIFICATIONS. ENGINEER FIELD VISIT REQUIRED PRIOR TO BACKFILLING.

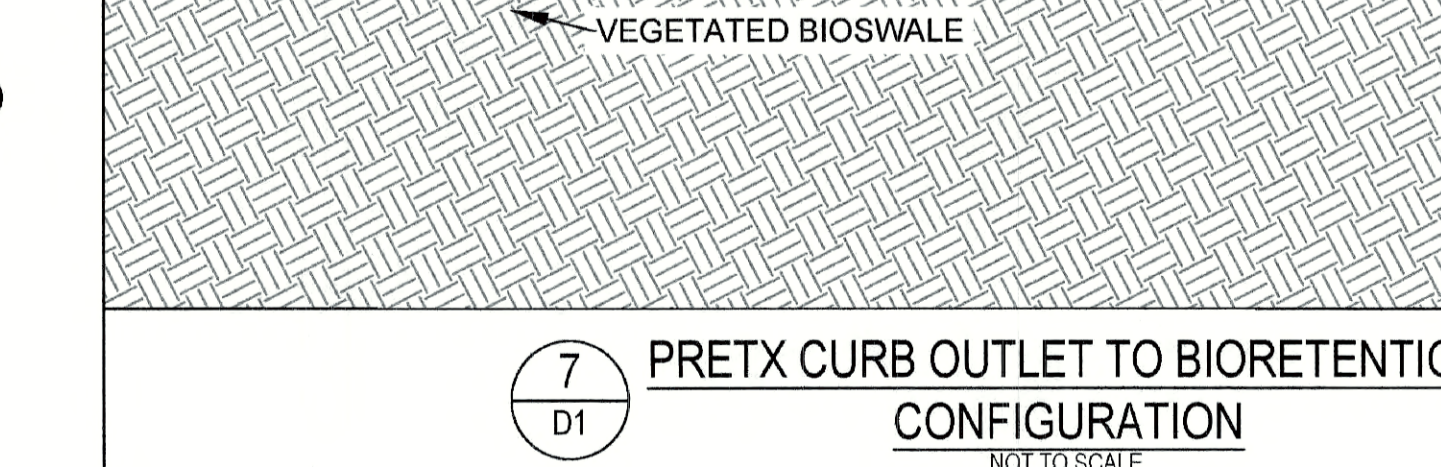
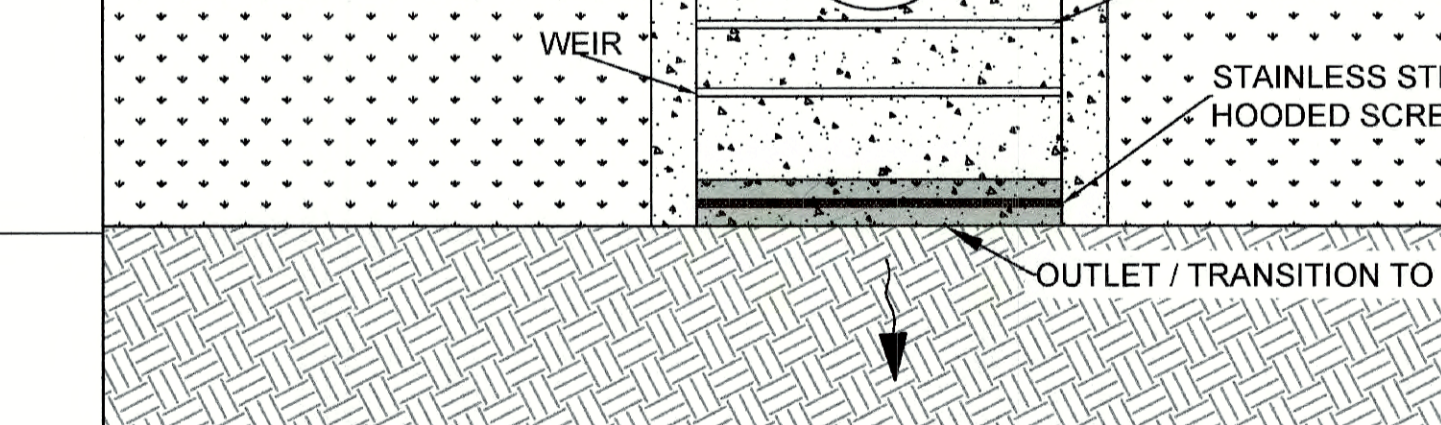
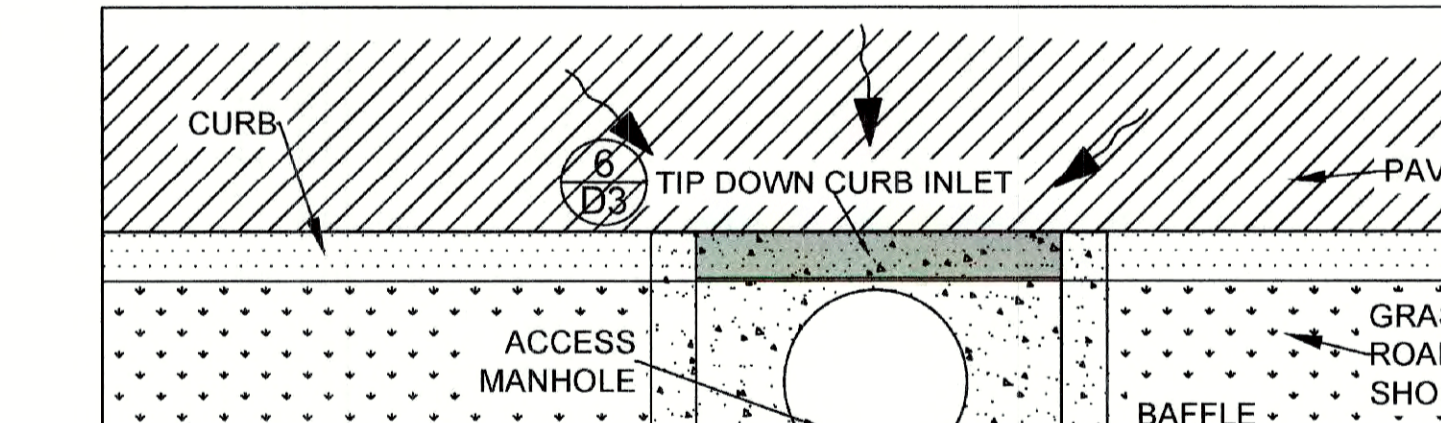
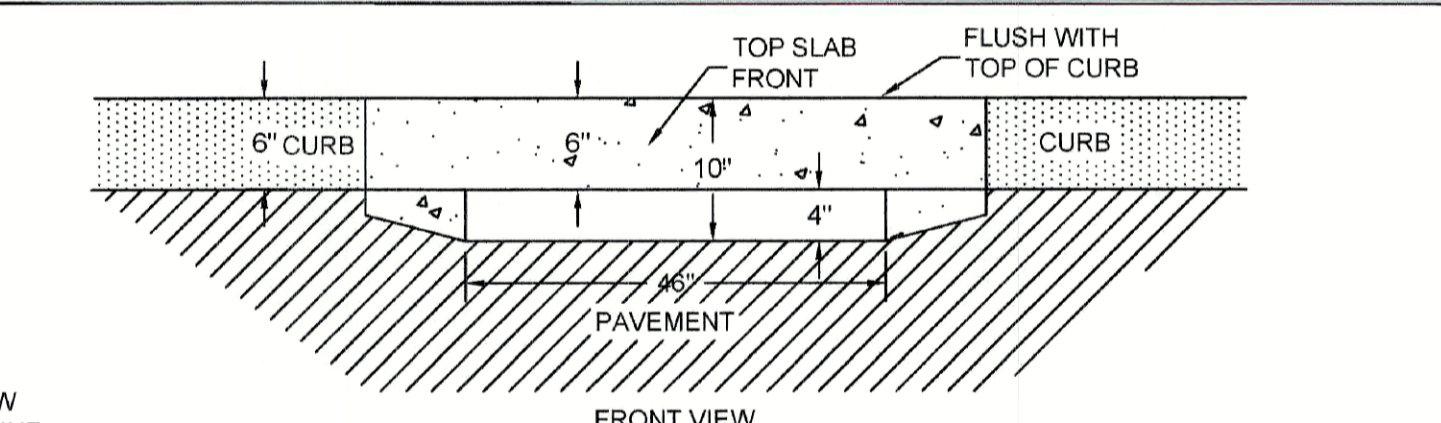
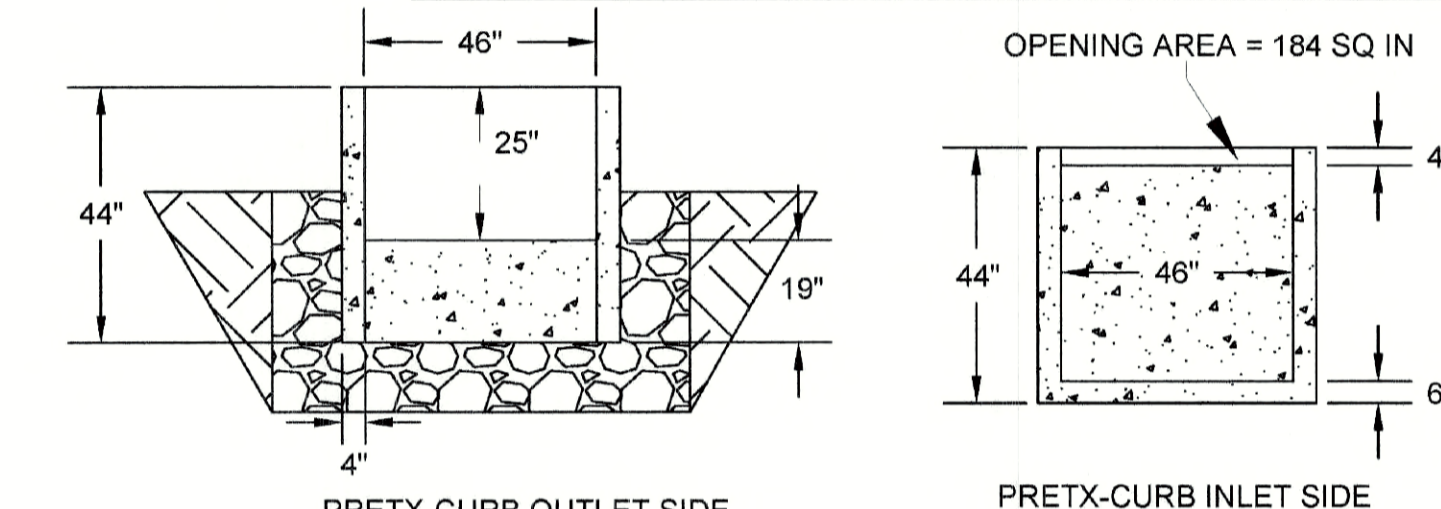
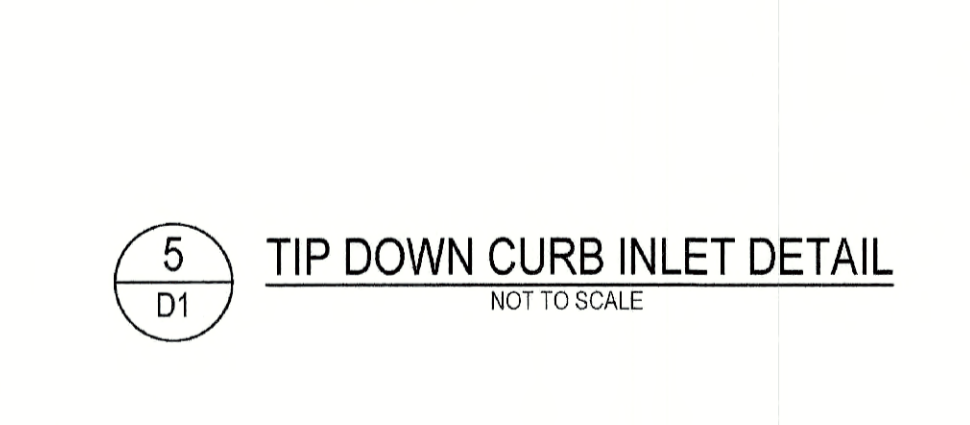
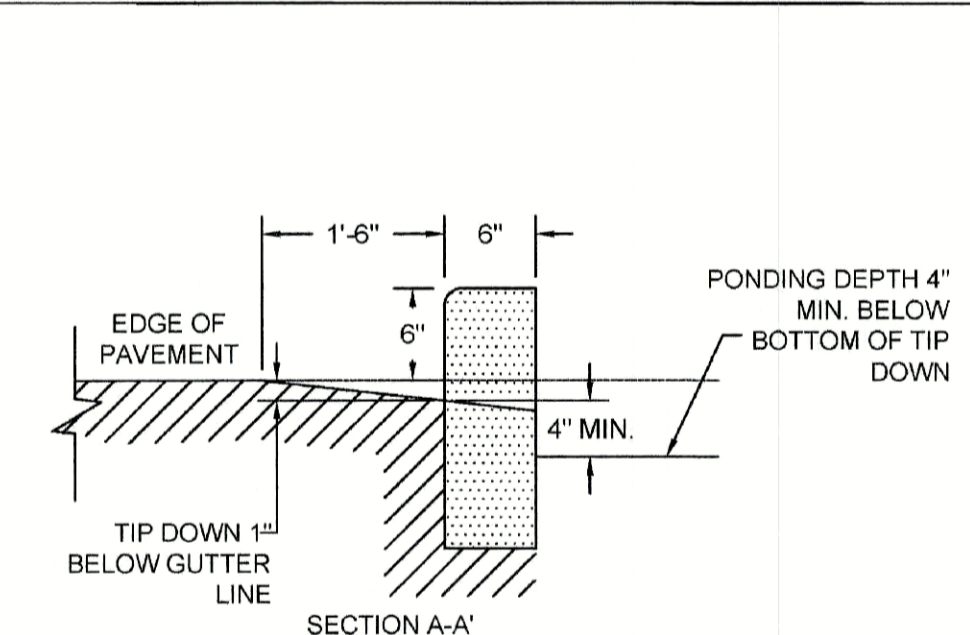
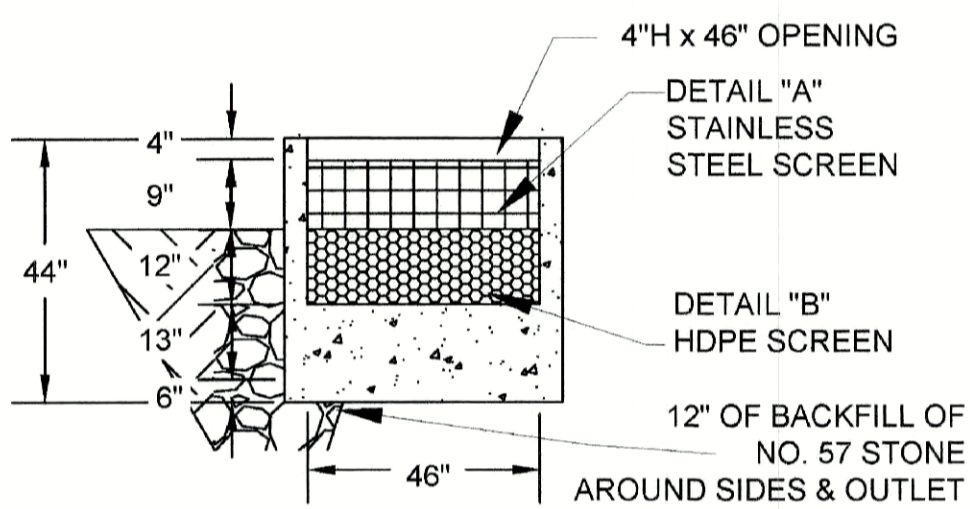
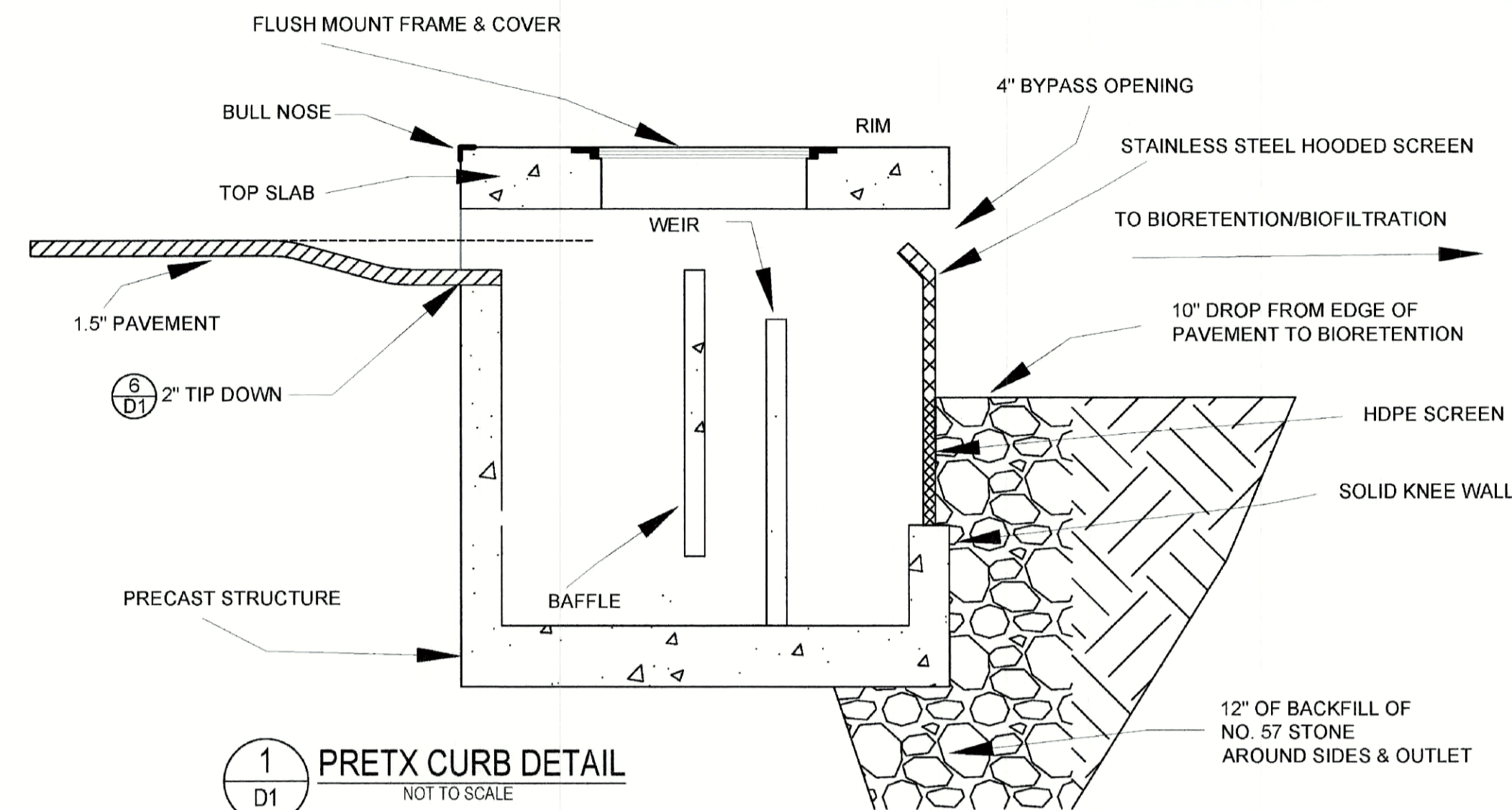
5. BACKFILLING

- BACKFILL WITH APPROVED SOIL AND STONE TO THE DESIGN GRADE AS SPECIFIED IN THE DRAWINGS.
- BACKFILL WITH 12" OF NO. 57 STONE AROUND REAR, LEFT, AND RIGHT SIDES TO LEVEL WITH TOP OF HDPE SCREEN.
- BACKFILL WITH BIORETENTION SOIL MIX BEYOND STONE BACKFILL TO EQUAL ELEVATION OF THE TOP OF HDPE SCREEN.
- DO NOT BACKFILL SOIL OR STONE AGAINST STAINLESS SCREEN.
- DO NOT COMPACT ADJACENT FILTRATION SYSTEM SOIL WITH MECHANICAL EQUIPMENT.
- STABILIZE ALL REMAINING DISTURBED AREAS AND SIDE SLOPES WITH SEEDING, HYDROSEEDING, AND/OR EROSION CONTROL BLANKETS AS INDICATED ON DRAWINGS.

6. CLEAN UP

- AFTER COMPLETION OF THE WORK, REMOVE AND PROPERLY DISPOSE ALL DEBRIS, CONSTRUCTION MATERIALS, RUBBISH, EXCESS SOIL, ETC., FROM THE PROJECT SITE. REPAIR PROMPTLY ANY IDENTIFIED DEFICIENCIES AND LEAVE THE PROJECT SITE IN A CLEAN AND SATISFACTORY CONDITION.

PRETX-CURB ELEVATION GUIDE		
POINT	DESCRIPTION	HEIGHT IN REFERENCE TO PT. A
A	EDGE OF PAVEMENT	0 INCHES
B	OUTSIDE TOP SLAB	8 INCHES
C	TOP OF BIORETENTION	12 INCHES
D	SUMP INVERT	36 INCHES
E	OUTSIDE BOTTOM	42 INCHES



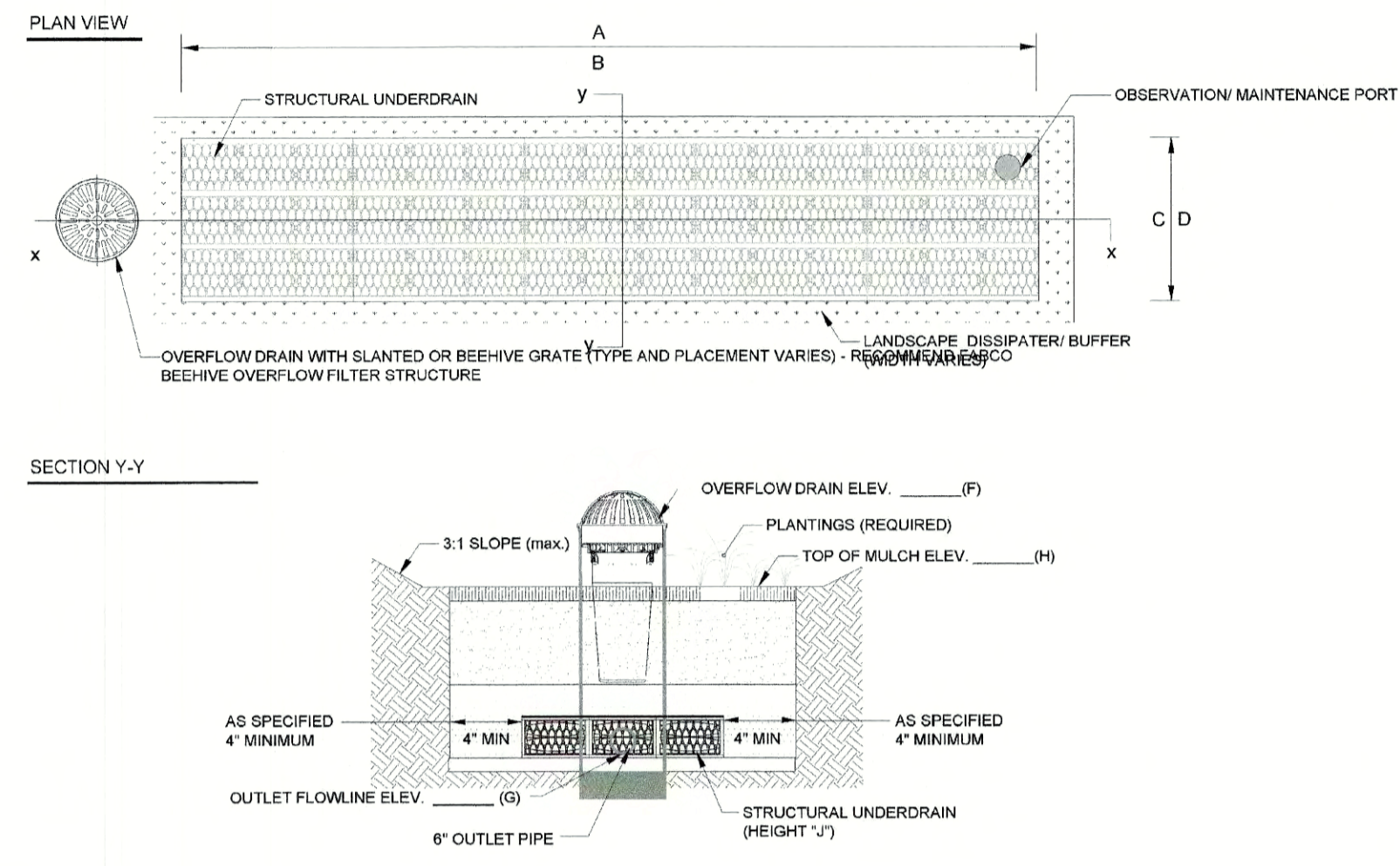
D-1 PRETX™ CURB INLET PRETREATMENT DETAIL



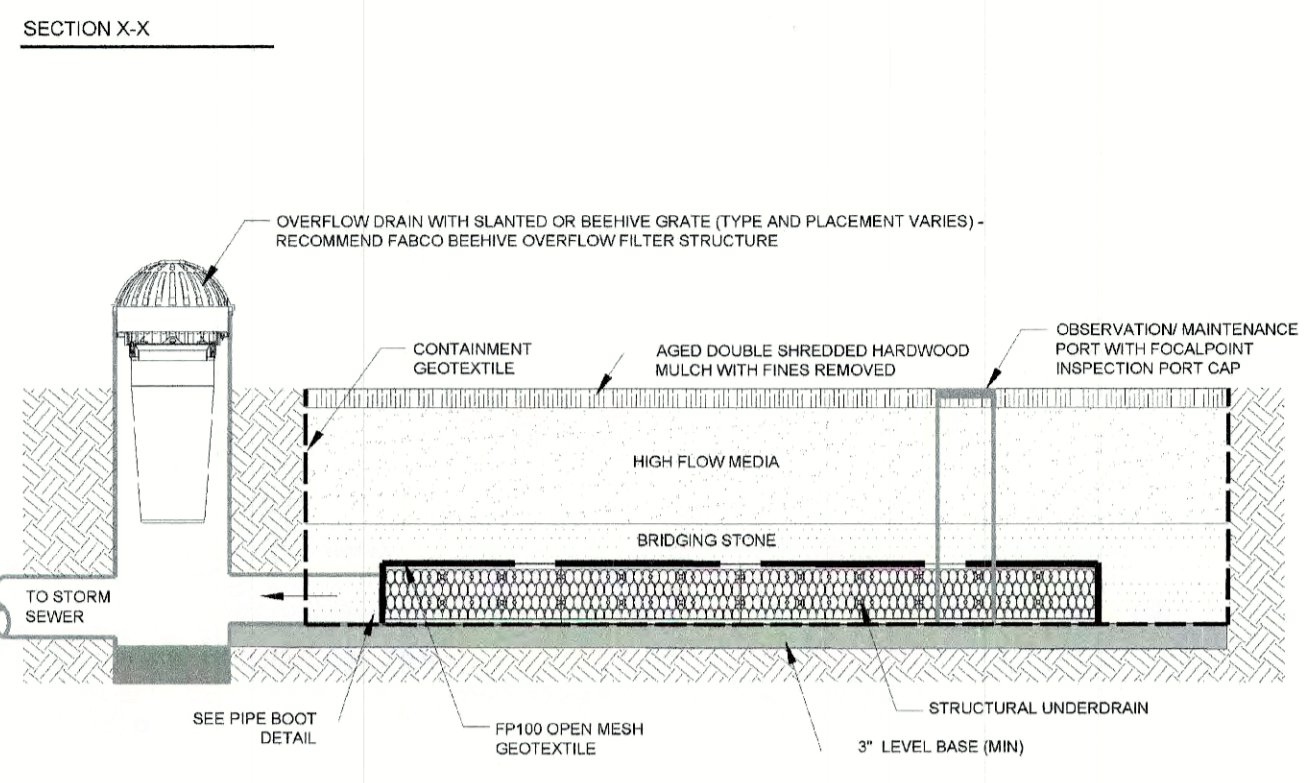
TO FIND A VALUE ADDED RESELLER IN YOUR AREA VISIT
 WWW.CONVERGENTWATER.COM/STORMWATER-PRODUCTS
 OR CONTACT CONVERGENT WATER TECHNOLOGIES AT
 1.800.711.5428



REVISED 11/2018; ELEVATION DETAILS ADDED; CHECKED BY RRR

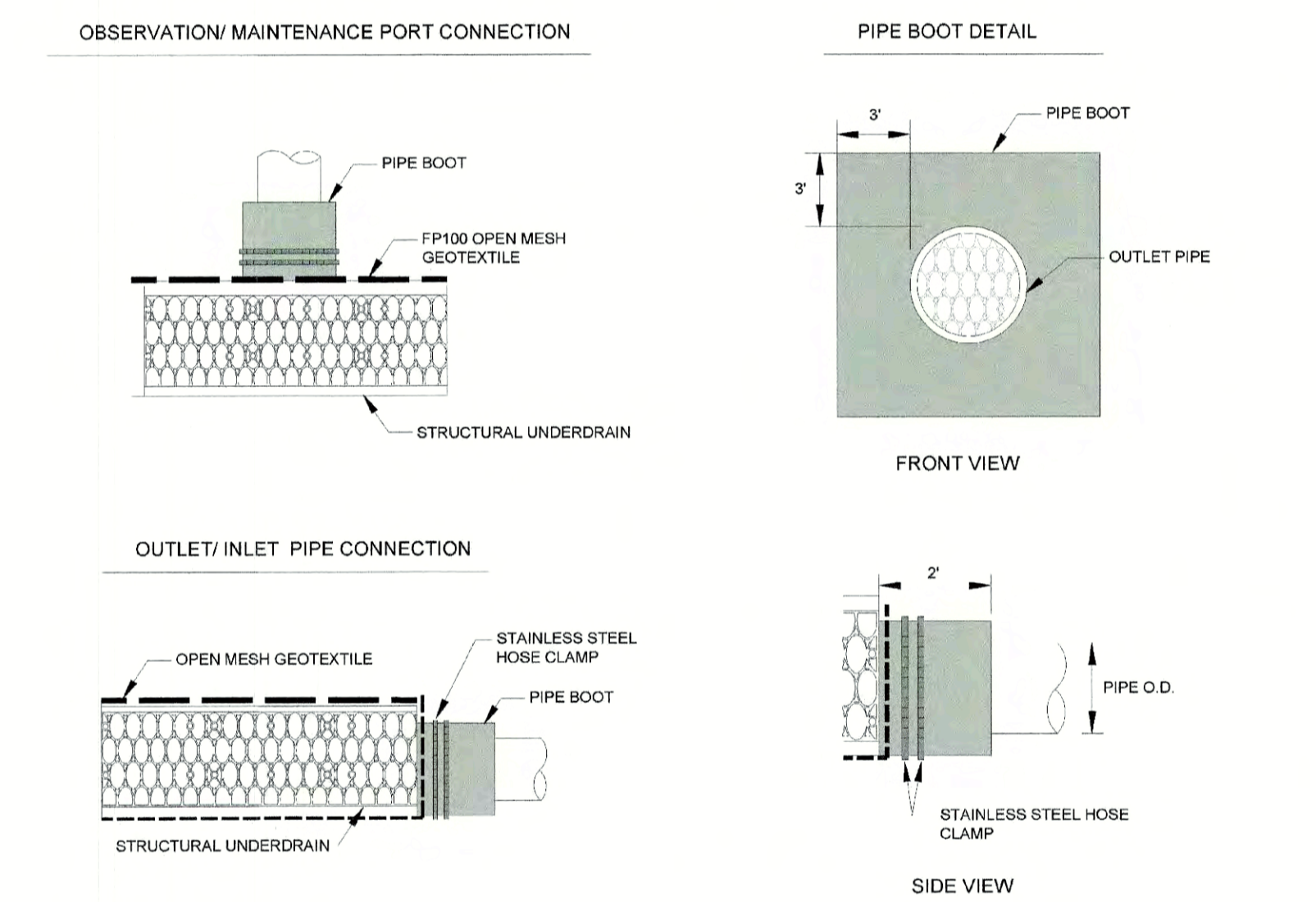


1 TYPICAL LAYOUT AND SECTION Y-Y

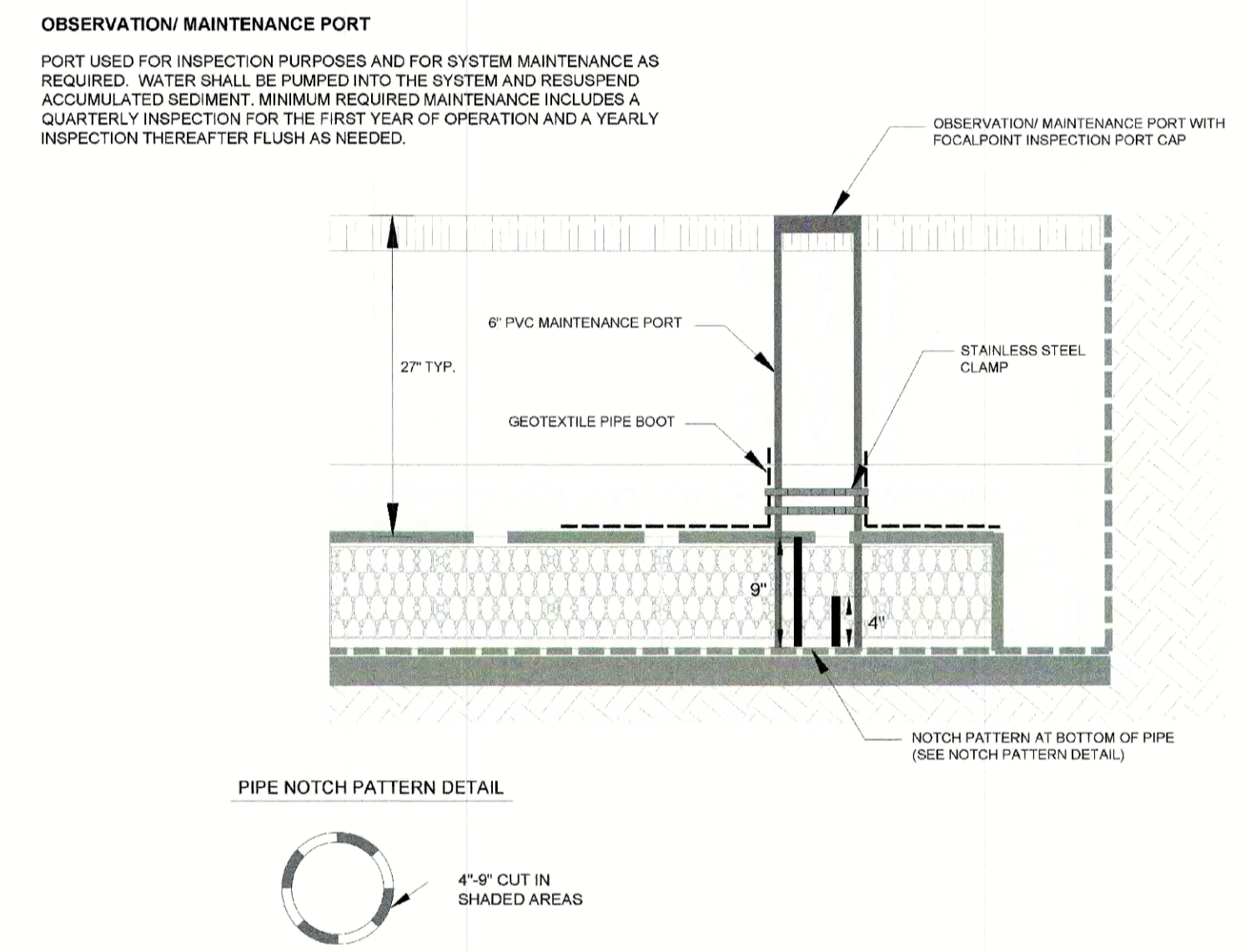


2 SECTION X-X

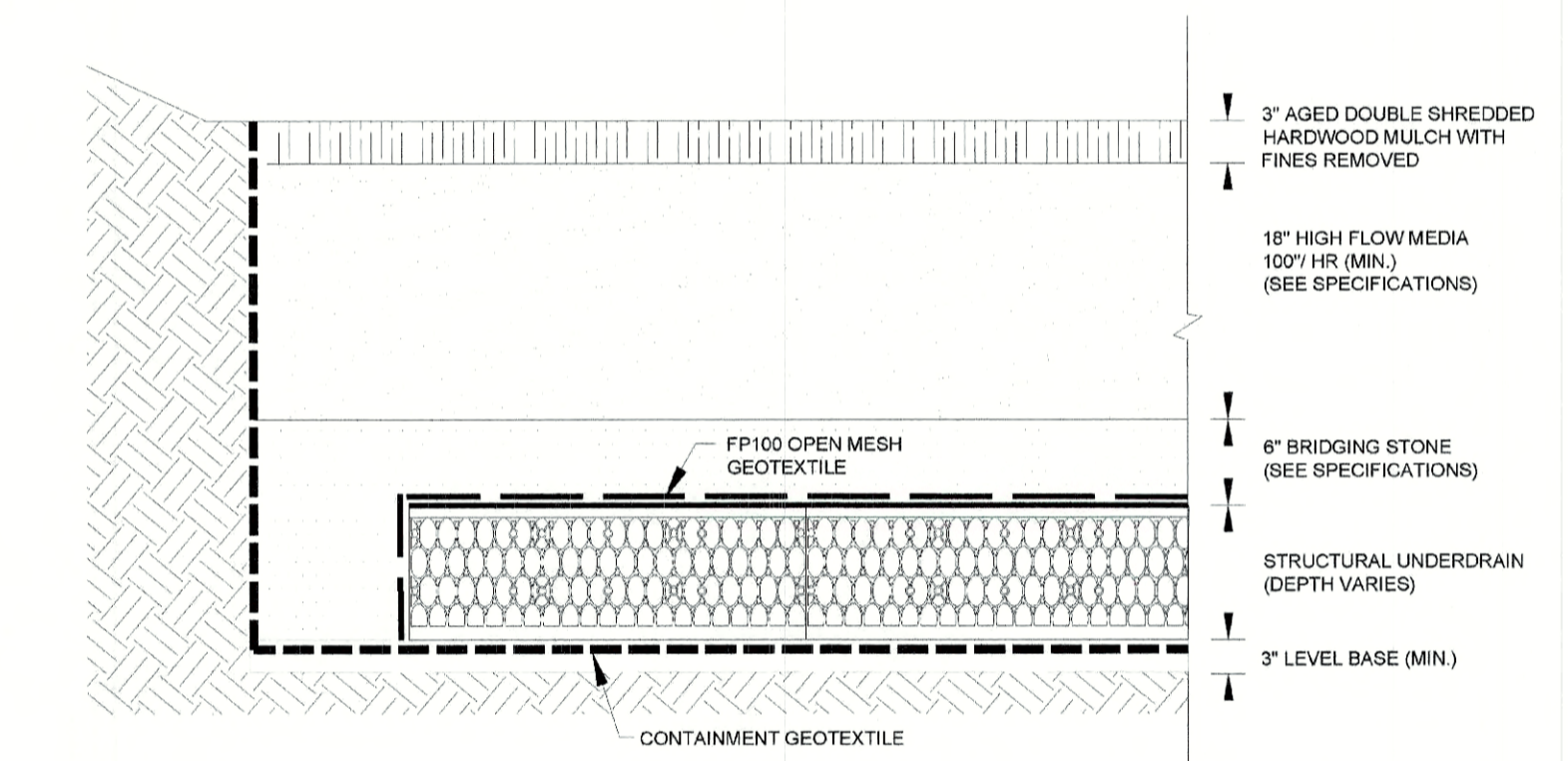
FOCALPOINT HP PERFORMANCE SPECIFICATION:
 HIGH PERFORMANCE MEDIA
 HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE. FIELD HYDRAULIC CONDUCTIVITY TESTING MUST BE CONDUCTED WITHIN 30 DAYS OF INSTALLATION. FIELD TEST MUST BE CONDUCTED WITH PROSCRIBED INFILTRATOR AND SOP (SEE SPECIFICATION). FAILURE TO MEET FIELD TESTING WILL RESULT IN THE REMOVAL OF MEDIA AND REPLACEMENT FROM ALTERNATE BATCH.
 HIGH PERFORMANCE STRUCTURAL UNDERDRAIN
 MUST HAVE A MINIMUM OF 19 SQUARE INCHES OF ORIFICE OPENING PER SQUARE FOOT. MUST MEET H2O LOADING REQUIREMENTS. MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE. MUST HAVE MINIMUM 90% INTERIOR VOID SPACE.
 PLANT COMPONENT
 SUPPLIER SHALL PROVIDE LIST OF ACCEPTABLE PLANTS IF PLANTS ARE NOT INCLUDED IN THE LANDSCAPE CONTRACT/PLANS. SITE CONTRACTOR SHALL PROVIDE PLANTS. PLANTS SHALL BE INSTALLED AT THE TIME OF THE SYSTEM IS COMMISSIONED FOR USE. PLANTING OUTSIDE THIS TIME REQUIRES APPROVAL BY THE ENGINEER OF RECORD. SEE FOCALPOINT INSTALLATION GUIDE FOR PLANT SPACING, PLANTING PROCEDURES, ETC.



4 PIPE CONNECTION DETAIL

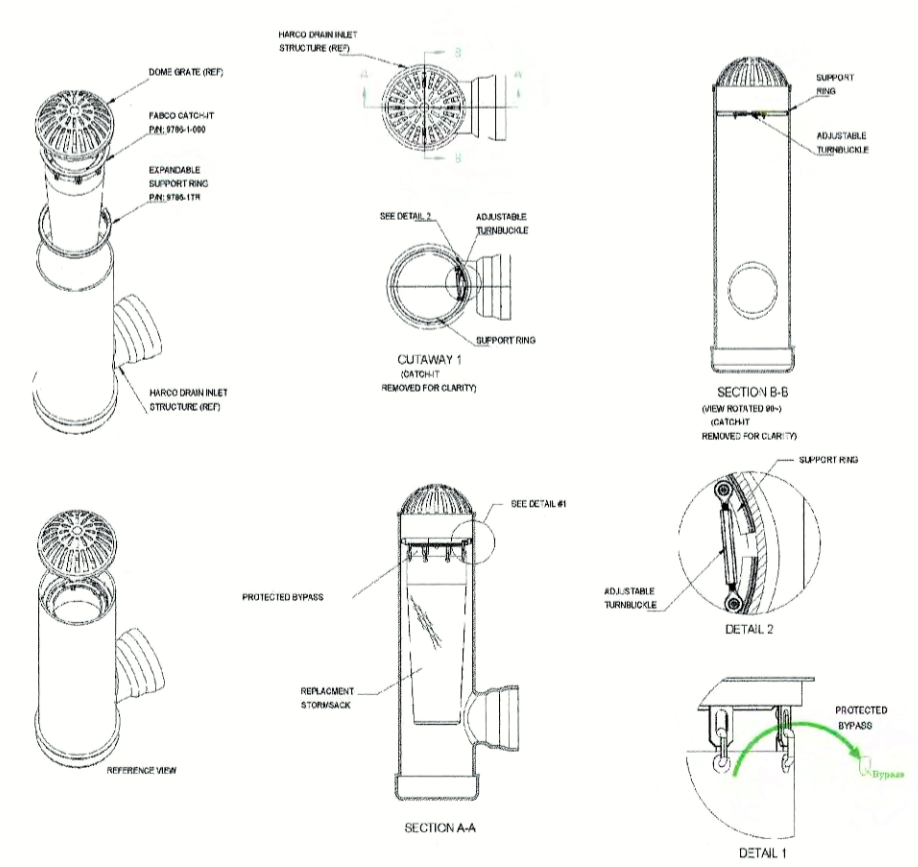


5 INSPECTION PORT DETAIL

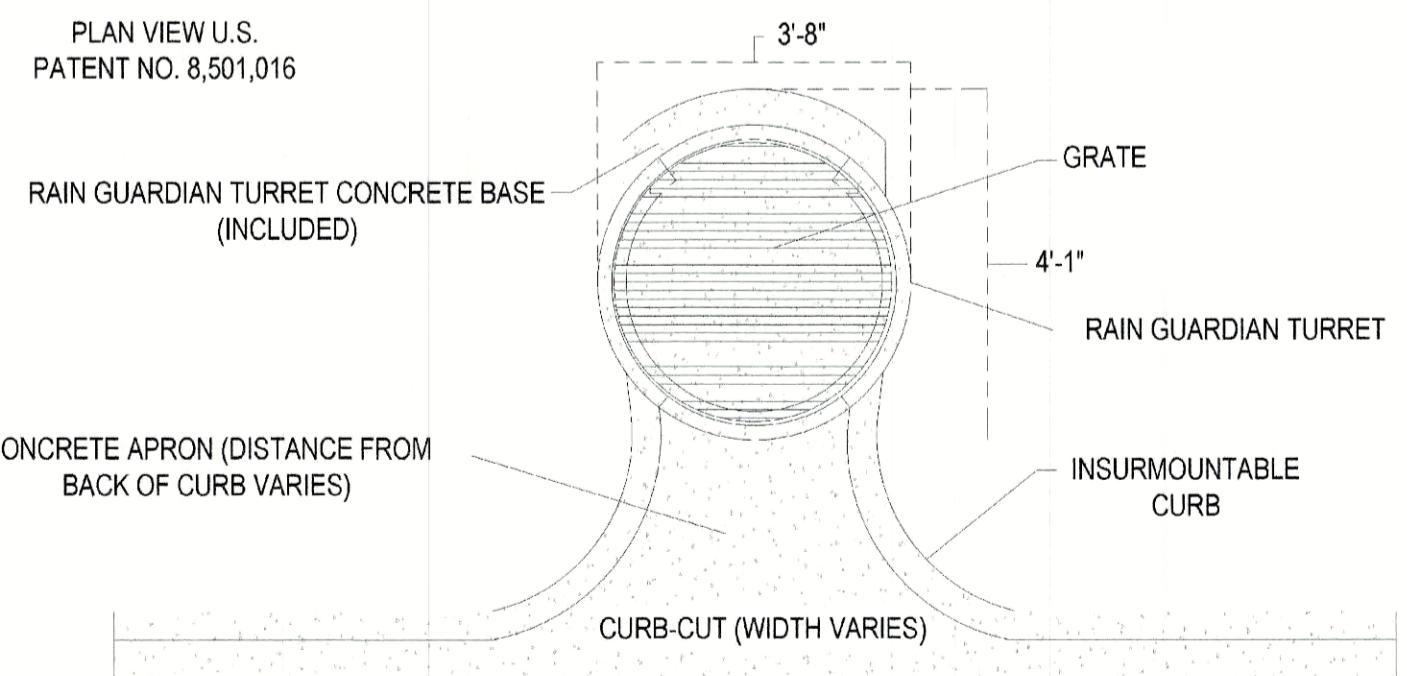


6 DETAILED CROSS SECTION

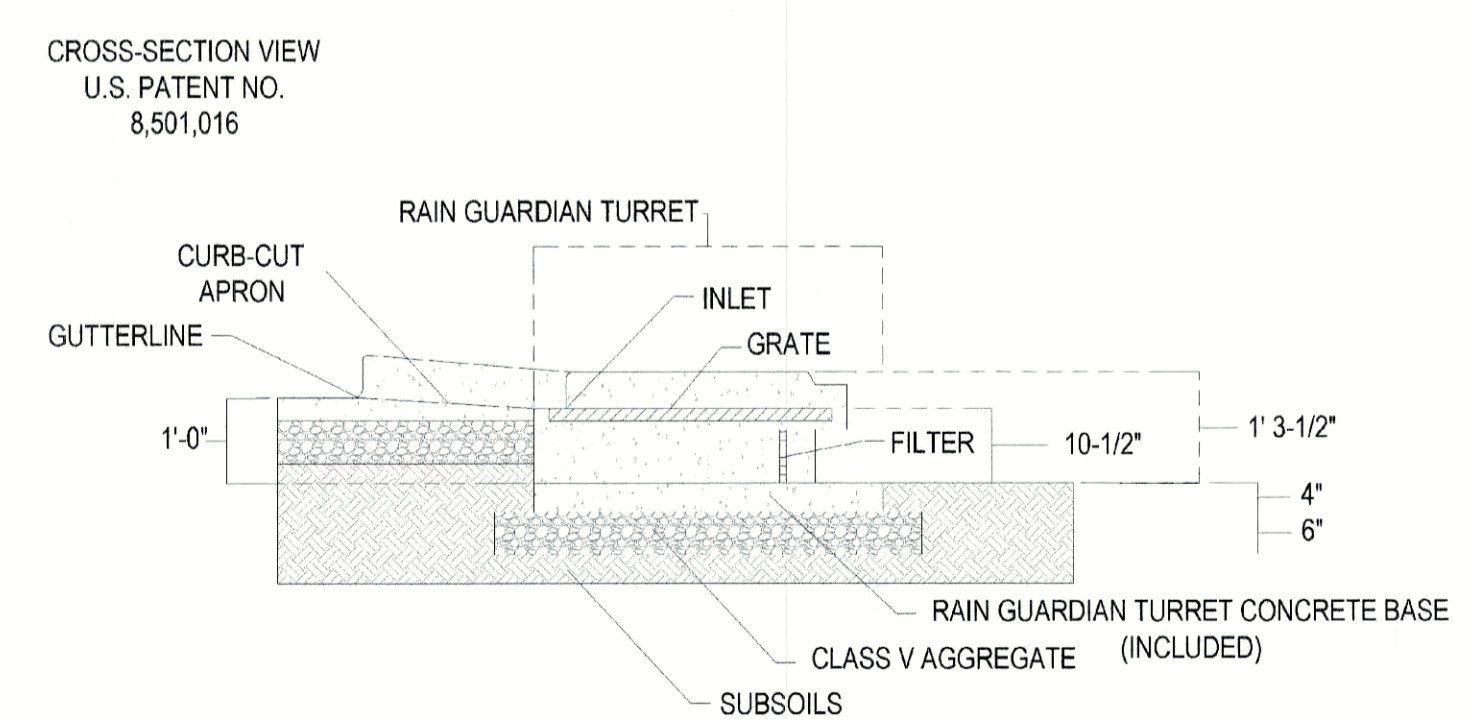
STRUCTURE DIAMETER (INCHES)	DEBRIS CAPACITY (CF)	FILTERED FLOWRATE (CF/S)	BYPASS FLOWRATE (CF/S)	TOTAL SYSTEM FLOWRATE (CF/S)
12	0.77	2.2	1.2	3.4
18	1.65	2.5	1.0	3.5
24	3.60	4.9	2.4	7.3
30	6.20	4.9	2.4	7.3



7 R-TANK^{HD} TYPICAL TANK INLET/OUTLET DETAIL



8 RAIN GUARDIAN TURRET (PLAN)



9 RAIN GUARDIAN TURRET (SECTION)

NOTE: ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.

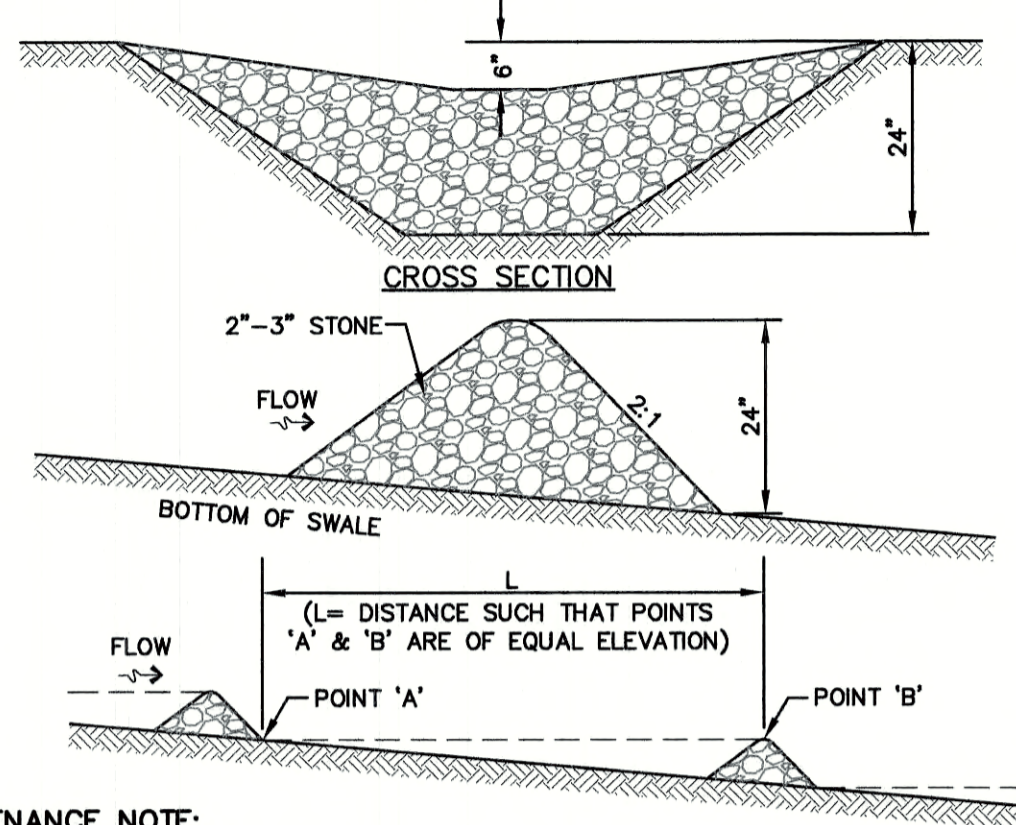


FOR ADDITIONAL INFORMATION PLEASE CONTACT
 ACF ENVIRONMENTAL 1-800-448-363
 www.acfenvironmental.com

FOCALPOINT DETAILS

PROJECT NO.
35.336
DATE
AUG 15, 2019
SHEET NO.

FP-1

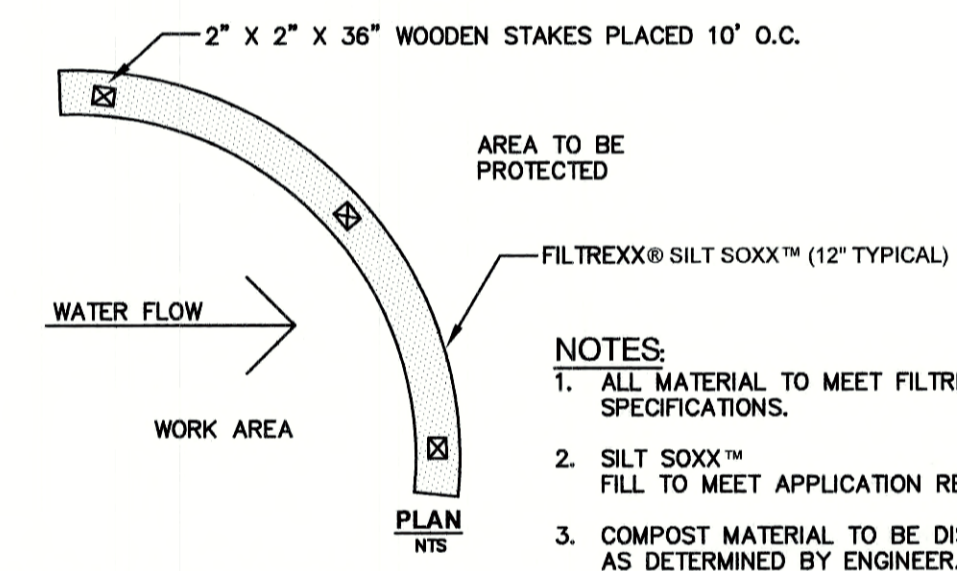
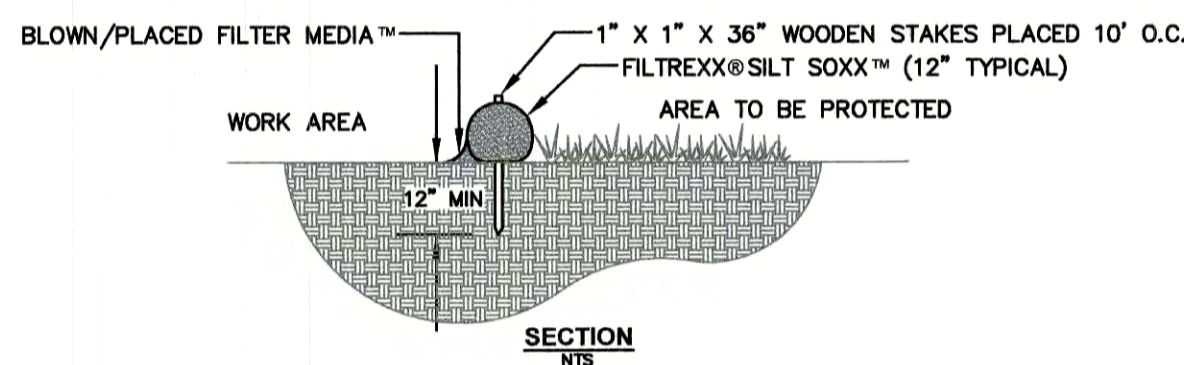


MAINTENANCE NOTE:

- STONE CHECK DAMS SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

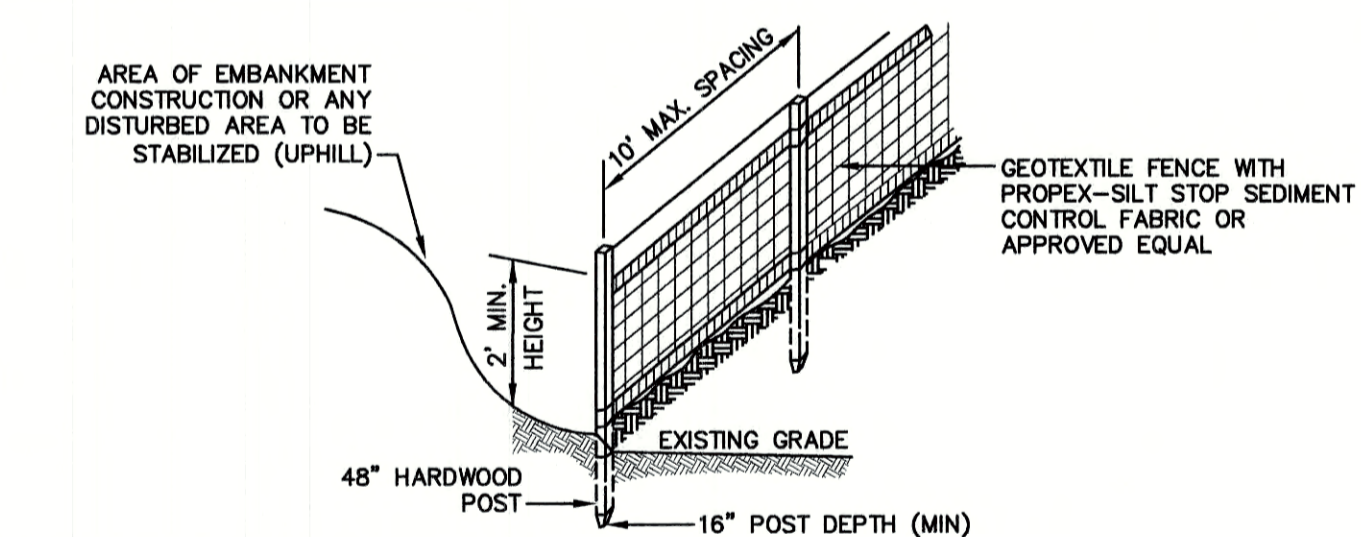
STONE CHECK DAM

NOT TO SCALE



FILTREX® SILT SOXX™

NOT TO SCALE



CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24\"/>

SILT FENCE

NOT TO SCALE

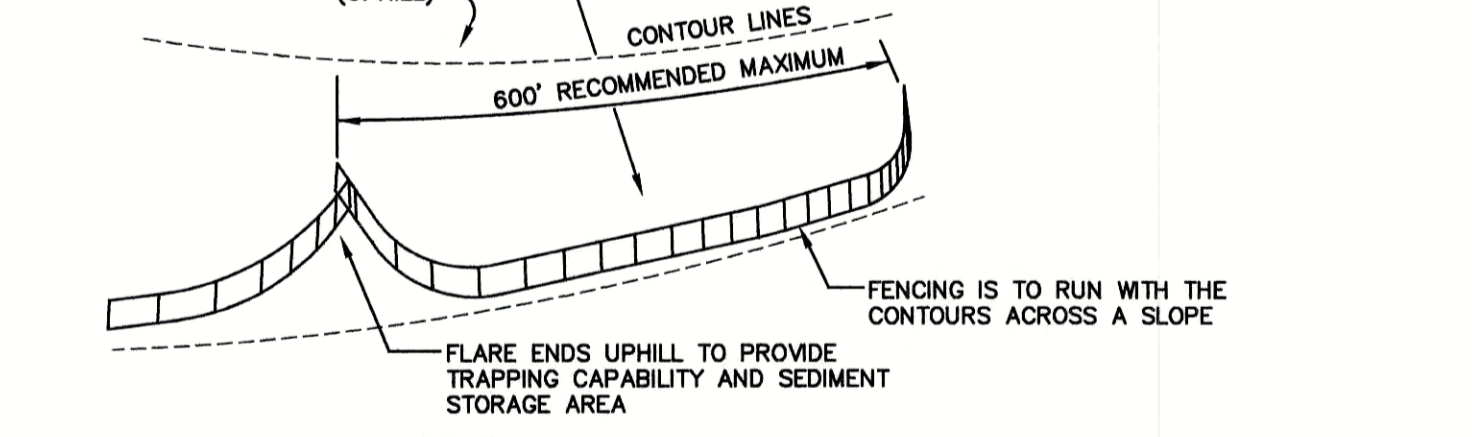
TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6\"/>

- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR'S NAME, ADDRESS, AND PHONE NUMBER SHALL BE SUBMITTED TO DES VIA EMAIL (SEE BELOW).

- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.

- IN ORDER TO ENSURE THE STABILITY OF THE SITE AND EFFECTIVE IMPLEMENTATION OF THE SEDIMENT AND EROSION CONTROL MEASURES SPECIFIED IN THE PLANS FOR THE DURATION OF CONSTRUCTION, THE CONTRACTOR SHALL BE IN STRICT COMPLIANCE WITH THE FOLLOWING INSPECTION AND MAINTENANCE REQUIREMENTS IN ADDITION TO THOSE CALLED FOR IN THE SWPPP:
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL OR A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE ("MONITOR") SHALL BE EMPLOYED TO INSPECT THE SITE FROM THE START OF ALTERATION OF TERRAIN ACTIVITIES UNTIL THE SITE IS IN FULL COMPLIANCE WITH THE SITE SPECIFIC PERMIT ("PERMIT").



- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

REV.	DATE	REVISIONS PER TOWN REVIEW	BY
6	6/22/21	REVISIONS	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

SEEDING SPECIFICATIONS

- GRADING AND SHAPING**
 - SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
- SEEDBED PREPARATION**
 - SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
- ESTABLISHING A STAND**
 - LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
 - NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
 (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRD'S FOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - WHEN SEEDING AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDING AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
- MULCH**
 - HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
- MAINTENANCE TO ESTABLISH A STAND**
 - PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	C	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	F	FAIR	EXCELLENT	EXCELLENT	2/
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/

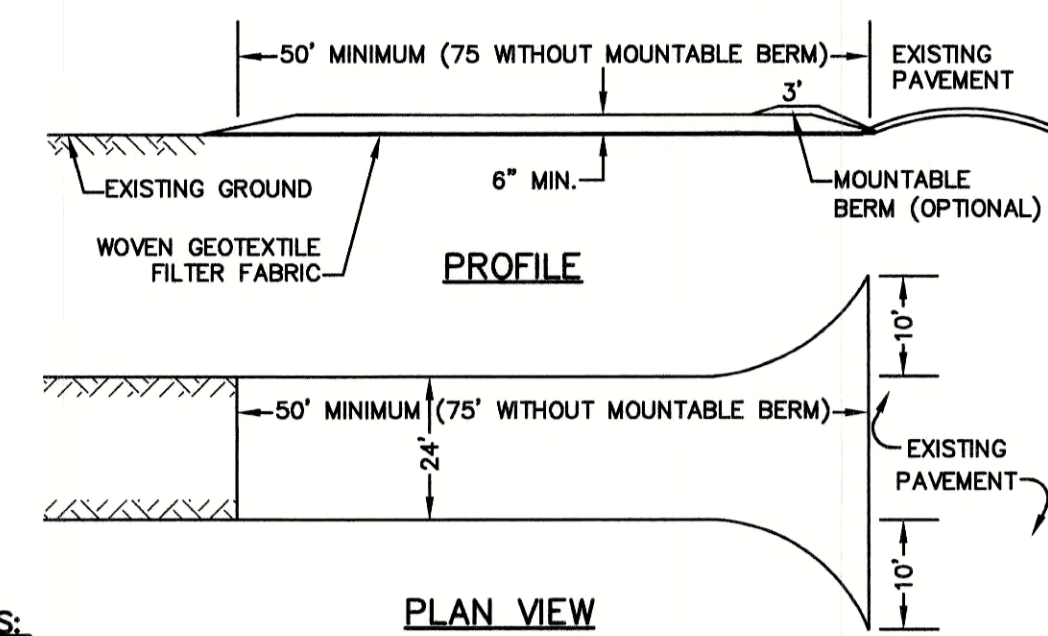
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH OR FLAT PEA	15	0.35
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRD'S FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

SEEDING RATES



NOTES:

- STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, 75' WITHOUT A MOUNTABLE BERM, AND EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE

CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS, INCLUDING THE CONSTRUCTION OF ANY RETAINING WALLS AND SOUND WALLS.
- INSTALL THE SEWER AND DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- INSTALL INLET PROTECTION AT ALL CATCH BASINS AS THEY ARE CONSTRUCTED IN ACCORDANCE WITH DETAILS.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF 'SELECT' SUBGRADE MATERIALS.
- PAVE ALL ROADWAYS WITH INITIAL 'BASE COURSE'.
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.E. BUILDING, CURBING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.E. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS AND PARKING AREAS WITH 'FINISH' COURSE.
- ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY HALF-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.

Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS NOTED Project No.: 20737
Drawing Name: 20737-PLAN.dwg

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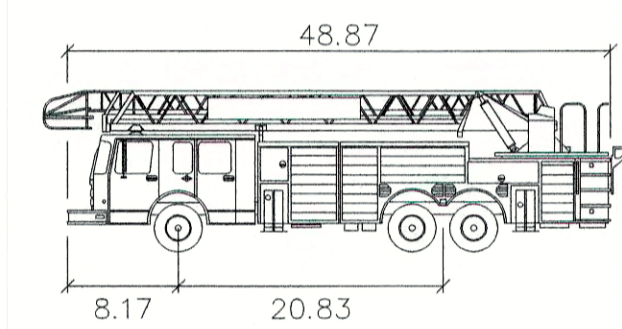
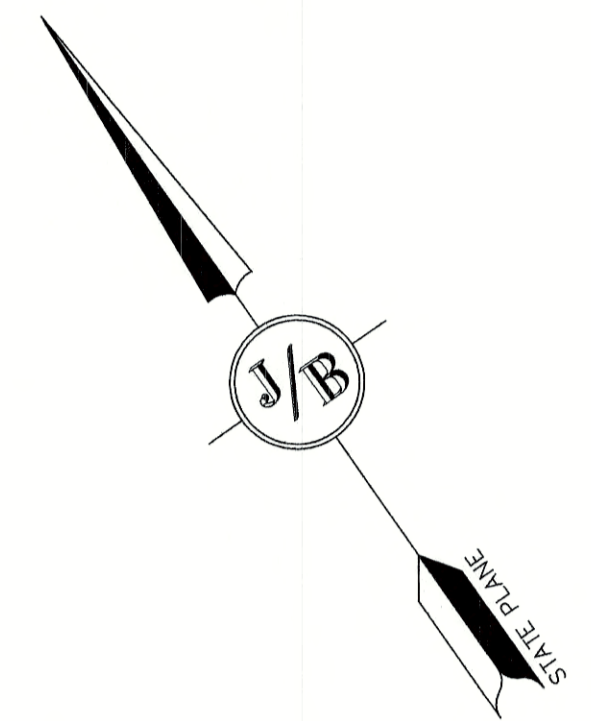
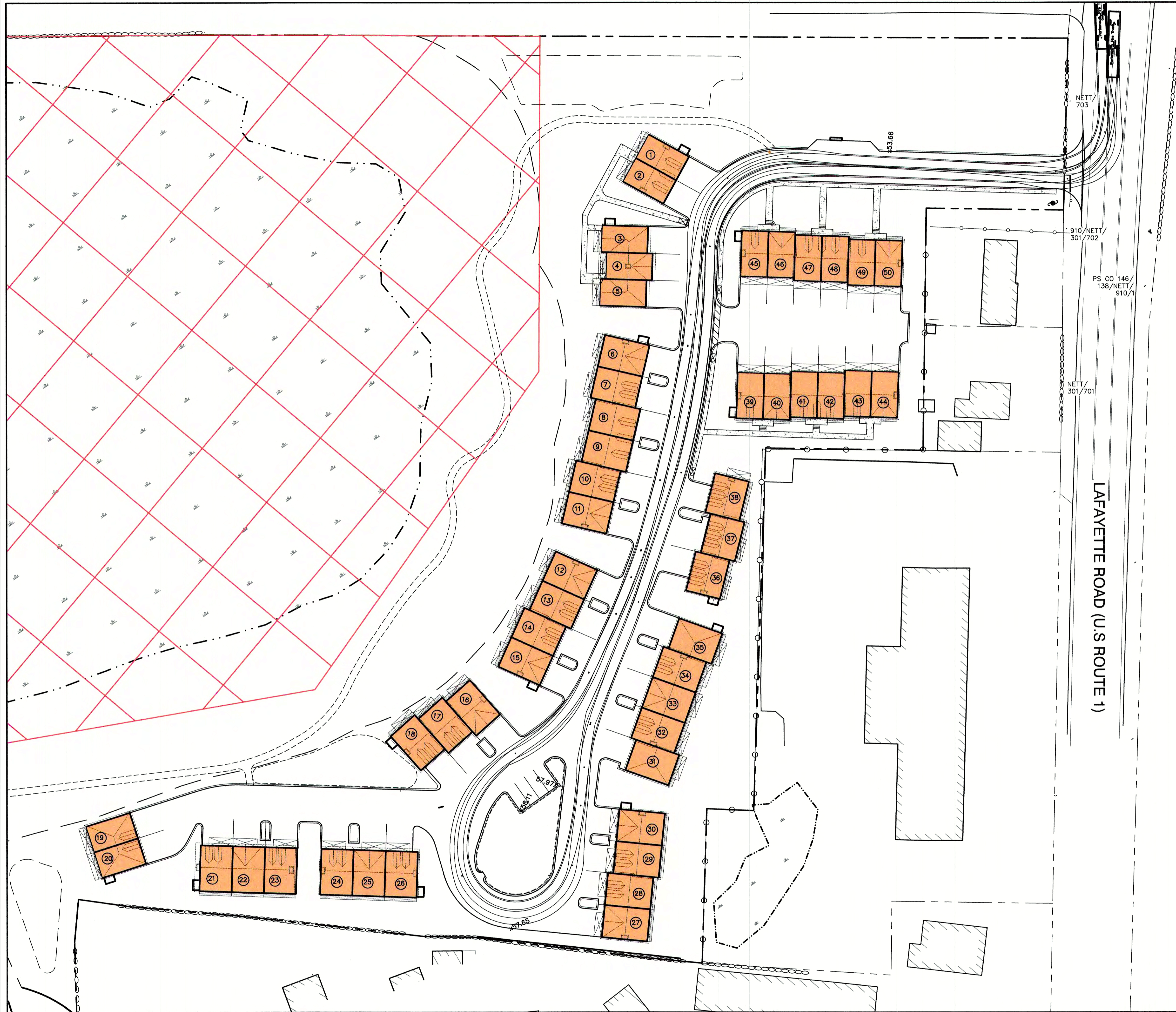
Plan Name: **EROSION AND SEDIMENT CONTROL DETAILS**

Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC.**
225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

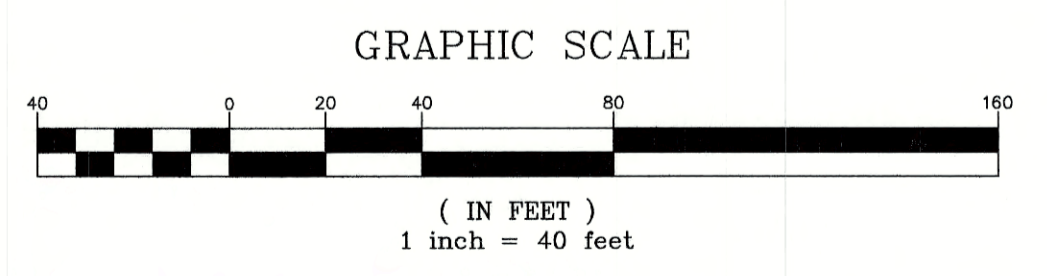
DRAWING No. **E1**

SHEET 24 OF 25
JBE PROJECT NO. 20737



Portsmouth Fire Truck

	feet
Width	: 8.50
Track	: 6.91
Lock to Lock Time	: 6.0
Steering Angle	: 38.7



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
		REVISION	

Designed and Produced in NH

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 603-772-4746
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 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **TRUCK TURNING PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC.**
 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No. **T1**
 SHEET 25 OF 25
 JBE PROJECT NO. 20737

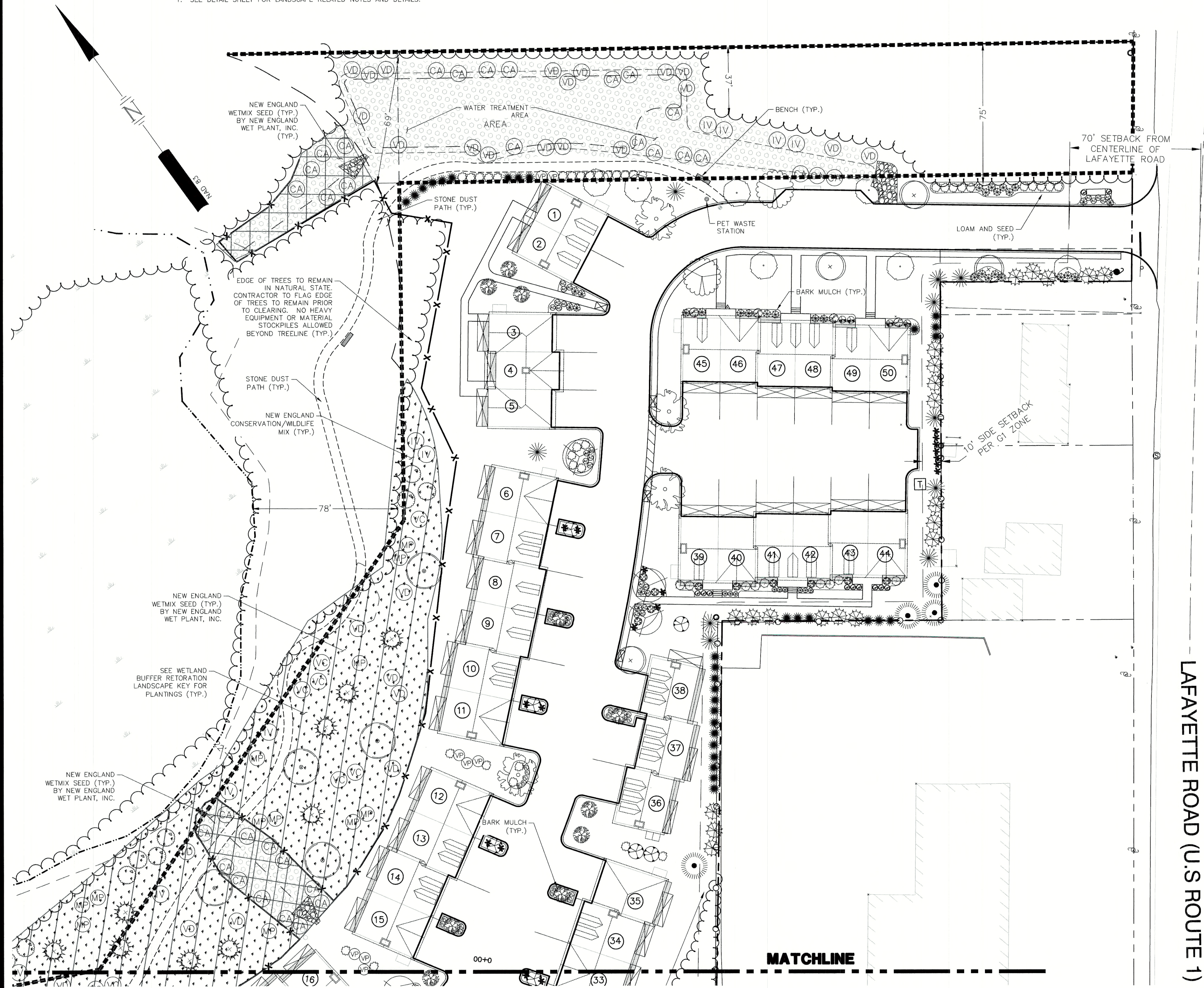
NOTE

1. SEE DETAIL SHEET FOR LANDSCAPE RELATED NOTES AND DETAILS.

LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS	GROWTH HABIT
SHADE TREES					
	9	ACER RUBRUM 'REDPOINTE' **REDPOINTE RED MAPLE	2 1/2" TO 3" CAL.	B&B	PYRAMIDAL
	5	ACER SACCHARUM 'COMMEMORATION' **COMMEMORATION SUGAR MAPLE	3" TO 3 1/2" CAL.	B&B	ROUNDED
	10	MAACKIA AMURENSIS AMUR MAACKIA	2 1/2" TO 3" CAL.	B&B	ROUNDED
	5	NYSSA SYLVATICA *BLACK GUM	2 1/2" TO 3" CAL.	B&B	PYRAMIDAL
	X	QUERCUS P. 'GREEN PILLAR' **GREEN PILLAR GREEN OAK	2 1/2" TO 3" CAL.	B&B	COLUMNAR
	6	ULMUS AMERICANA 'VALLEY FORGE' **VALLEY FORGE AMERICAN ELM	2 1/2" TO 3" CAL.	B&B	SPREADING-VASE
EVERGREEN TREES					
	17	ABIES BALSAMAE *BALSAM FIR	6' TO 7'	B&B	PYRAMIDAL
	24	JUNIPERUS VIRGINIANA *EASTERN RED CEDAR	6' TO 7'	B&B	UPRIGHT-PYRAMIDAL
	21	PICEA GLAUCA *WHITE SPRUCE	7' TO 8'	B&B	PYRAMIDAL
	3	PINUS STROBUS *WHITE PINE	6' TO 7'	B&B	PYRAMIDAL
DECIDUOUS SHRUB					
	13	AMELANCHEIR ALNIFOLIA 'REGENT' *REGENT SERVICEBERRY	5 GAL.	CONT.	ROUNDED
	4	CLETHRA ALNIFOLIA 'COMPACTA' **COMPACT SUMMERSWEET	7 GAL.	CONT.	ROUNDED
	17	CORNUS SERICEA 'ARCTIC FIRE' **ARCTIC FIRE RED-OSIER DOGWOOD	7 GAL.	CONT.	ROUNDED
	25	FORSYTHIA 'GOLD TIDE' GOLD TIDE FORSYTHIA	3 GAL.	CONT.	LOW-SPREADING
	23	HYDRANGEA ARBORESCENS 'INCREDIBALL' INCREDIBALL SMOOTH HYDRANGEA	5 GAL.	CONT.	ROUNDED
	9	PHYSOCARPUS O. 'BURGUNDY CANDY' **BURGUNDY CANDY NINEBARK	2 GAL.	CONT.	ROUNDED
	6	VIBURNUM P.T. 'SUMMER SNOWFLAKE' SUMMER SNOWFLAKE VIBURNUM	3' TO 4'	B&B	ROUNDED
EVERGREEN SHRUB					
	45	AZALEA 'GIRARD'S CRIMSON' GIRARD'S CRIMSON AZALEA	3 GAL.	CONT.	ROUNDED
	4	RHOODENDRON 'ROSEUM PINK' **ROSEUM PINK RHOODENDRON	7 GAL.	CONT.	ROUNDED
	9	ILEX GLABRA 'COMPACTA' **COMPACT INKBERRY	3 GAL.	CONT.	ROUNDED
	34	JUNIPERUS CHINENSIS 'SEAGREEN' SEAGREEN JUNIPER	3 GAL.	CONT.	ARCHING
	8	JUNIPERUS H. 'BAR HARBOR' *BAR HARBOR JUNIPER	3 GAL.	CONT.	LOW-SPREADING
	11	PINUS M. 'MOPS' MOPS MUGO PINE	3 GAL.	CONT.	ROUNDED
	54	THUJA O. NIGRA *DARK AMERICAN ARBORVITAE	5' TO 6'	B&B	UPRIGHT-PYRAMIDAL
GRASSES					
	66	PANICUM VIRGATUM 'CLOUD NINE' **CLOUD NINE SWITCH GRASS	3 GAL.	CONT.	UPRIGHT

*NATIVE, **IMPROVED NATIVE
NOTE: ALL PLANTS CONTAINED IN LEGEND HAVE BEEN LOCATED ON SITE TO REFLECT A PROPER GROWING ENVIRONMENT AND MEET THE HARDINESS ZONE OF 6a AS DETERMINED BY THE U.S. DEPT. OF AGRICULTURE.

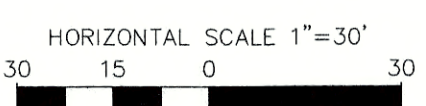


LAFAYETTE ROAD (U.S. ROUTE 1)

MATCHLINE

NOTES

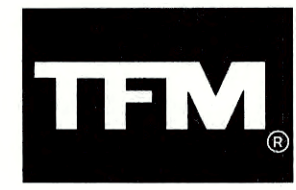
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS THE INTENT, BUT PLANT SIZES, SPECIES, AND AMOUNTS MAY VARY.



REV	DATE	DESCRIPTION	MSK	JCC	DR	CK
2	6/18/2021	REVISE PER SITE LAYOUT REVISIONS	MSK	JCC		
1	5/13/2021	REVISE PER GRADING & UTILITY LAYOUT	MSK	JCC		

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
LANDSCAPE PLAN
3400 LAFAYETTE ROAD
PORTSMOUTH, NH
 OWNED BY
RICCI CONSTRUCTION CO, INC.
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=60' (11"X17")
SCALE: 1"=30' (22"X34") **MARCH 8, 2021**



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

F I P E	45407.110	DR	ARJ	FB	-	
		CK	MSK	CADFILE	45407-110 LANDSCAPE	LS-1

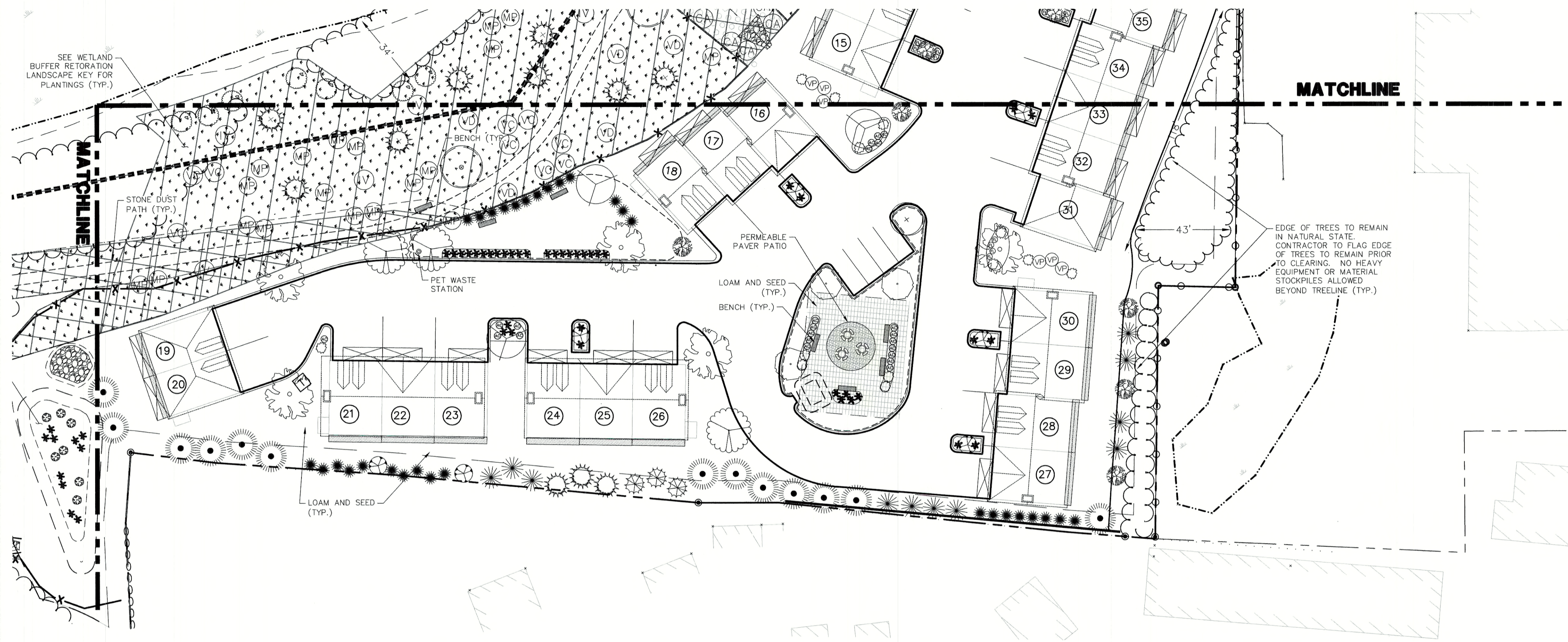
Jun 18, 2021 - 2:06pm
 F:\MSC Projects\45407 - Portsmouth\45407-110 - Green and Co - 3400 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-110 Landscape.dwg

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NOTE

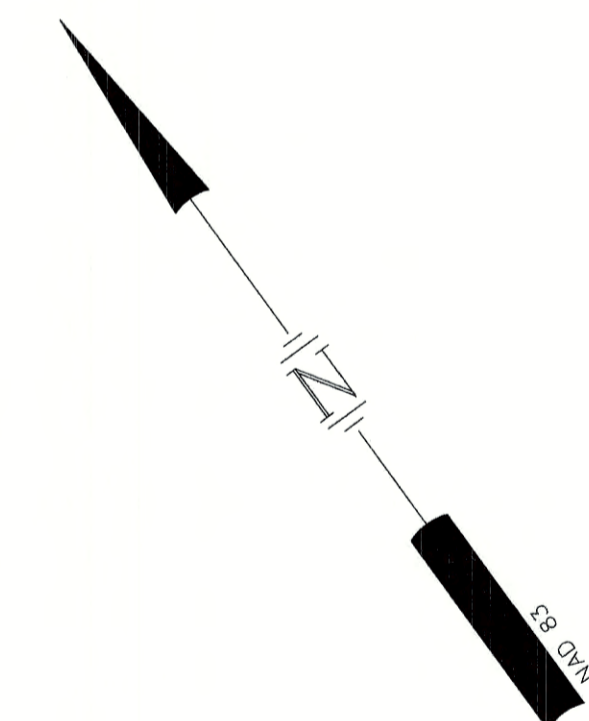
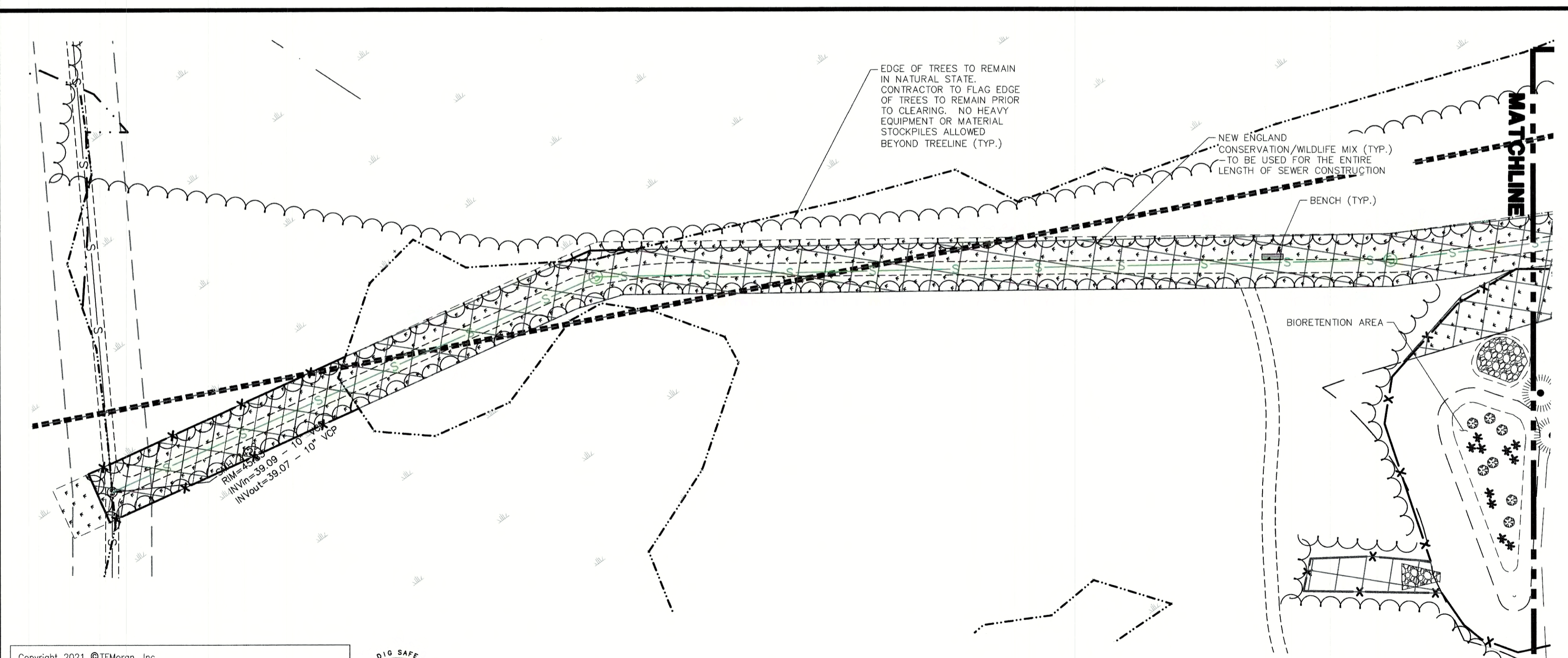
1. SEE DETAIL SHEET FOR LANDSCAPE RELATED NOTES AND DETAILS.



WETLAND BUFFER RESTORATION KEY

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS	GROWTH HABIT
(6)	6	QUERCUS ALBA *WHITE OAK	2" TO 2 1/2" CAL.	B&B	UP-RIGHT BROAD
(14)	14	RHUS TYPHINA *STAGHORN SUMAC	3 GAL.	CONT.	CLUMPING
(CA)	33	CORNUS AMOMUM *SILKY DOGWOOD	3 GAL.	CONT.	ROUNDED
(MP)	27	MYRICA PENNSYLVANICA *NORTHERN BAYBERRY	3 GAL.	CONT.	ROUNDED
(VD)	29	VIBURNUM DENTATUM *ARROWWOOD VIBURNUM	3 GAL.	CONT.	ROUNDED
(IV)	10/3	ILEX VERTICILLATA *WINTERBERRY/**JIM DANDY WINTERBERRY	3 GAL.	CONT.	ROUNDED
(VC)	15	VACCINIUM CORYMBOSUM *HIGHBUSH BLUEBERRY	3 GAL.	CONT.	ROUNDED
(+)	12	PINUS STROBUS *WHITE PINE	4' TO 5'	B&B	PYRAMIDAL
(Pattern)	55,980± SF	*NEW ENGLAND CONSERVATION/WILDLIFE MIX NEW ENGLAND WETLAND PLANT INC.	BAGS	BULK LBS	
(Pattern)	16,400± SF	*NEW ENGLAND WETMIX NEW ENGLAND WETLAND PLANT INC.	BAGS	BULK LBS	

*NATIVE, **IMPROVED NATIVE



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HORIZONTAL SCALE 1"=30'
30 15 0 30

REV	DATE	DESCRIPTION	DR	CK
2	6/18/2021	REVISE PER SITE LAYOUT REVISIONS	MSK	JCC
1	5/13/2021	REVISE PER GRADING & UTILITY LAYOUT	MSK	JCC

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
LANDSCAPE PLAN
3400 LAFAYETTE ROAD
PORTSMOUTH, NH

OWNED BY
RICCI CONSTRUCTION CO, INC.
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=60' (11"X17")
SCALE: 1"=30' (22"X34")

MARCH 8, 2021

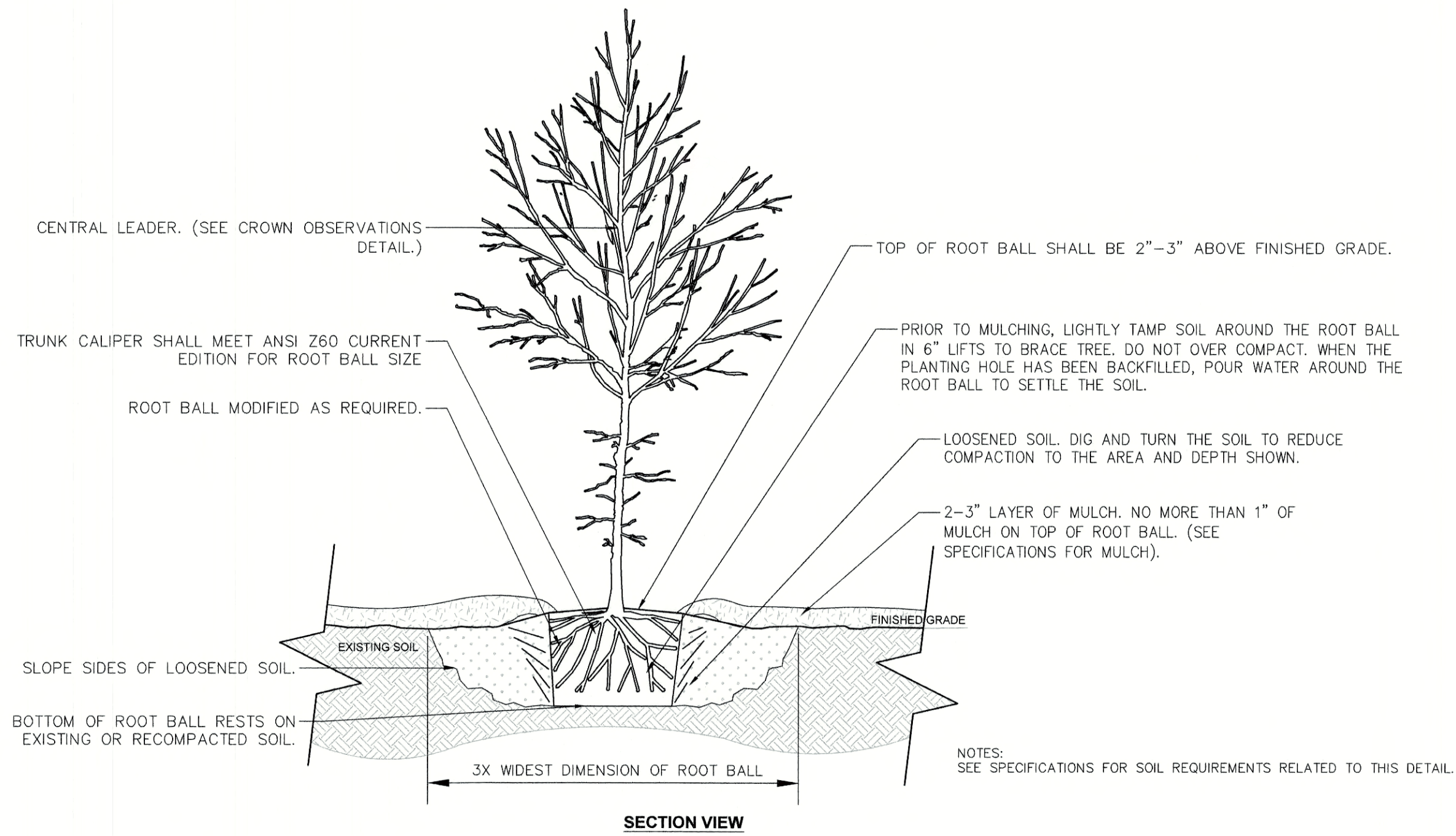
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45407.110 DR ARJ FB
CK MSK CADFILE 45407-110 LANDSCAPE

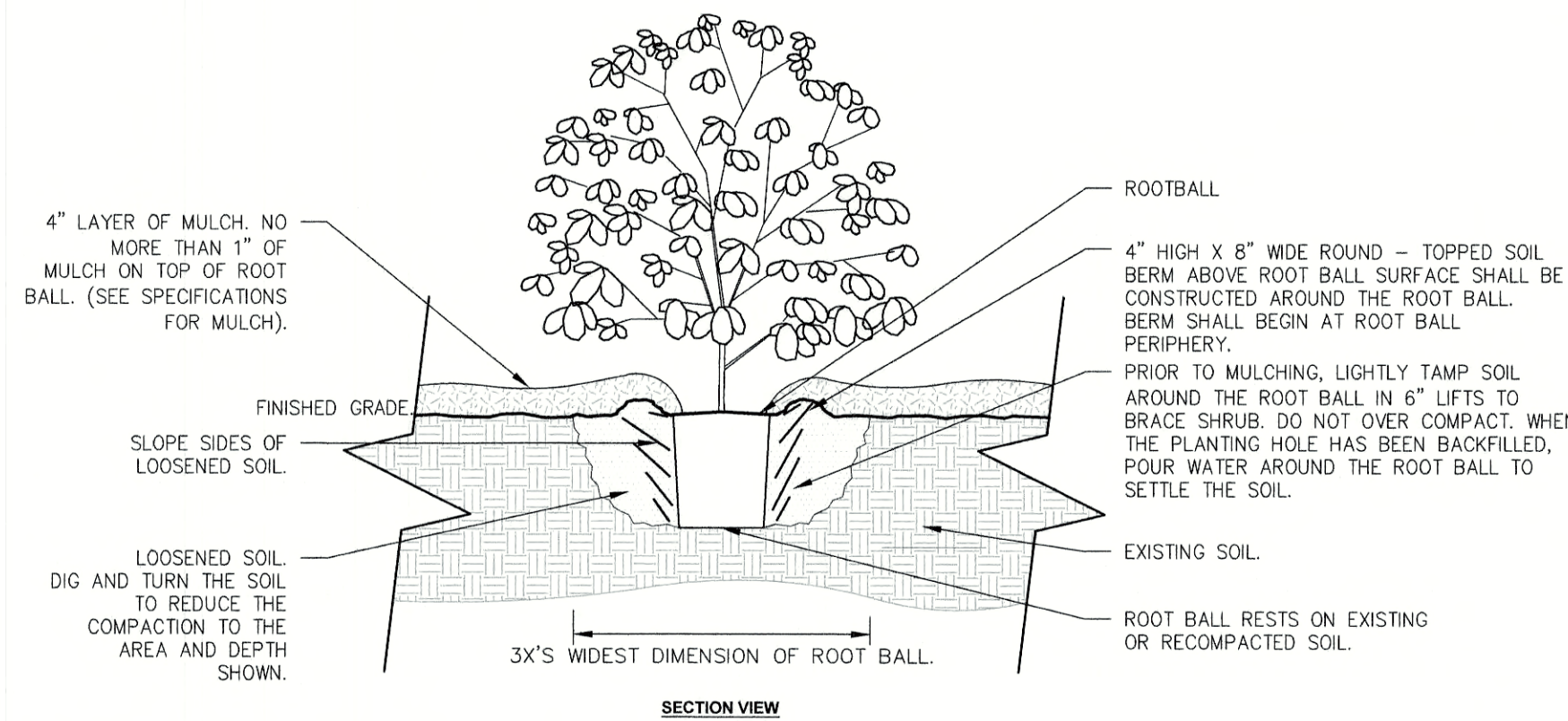
LS-2

Jun 18, 2021 - 1:58pm F:\MSC Projects\45407 - Portsmouth\45407-110 - Green and Co. - 3400 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-110 Landscape.dwg



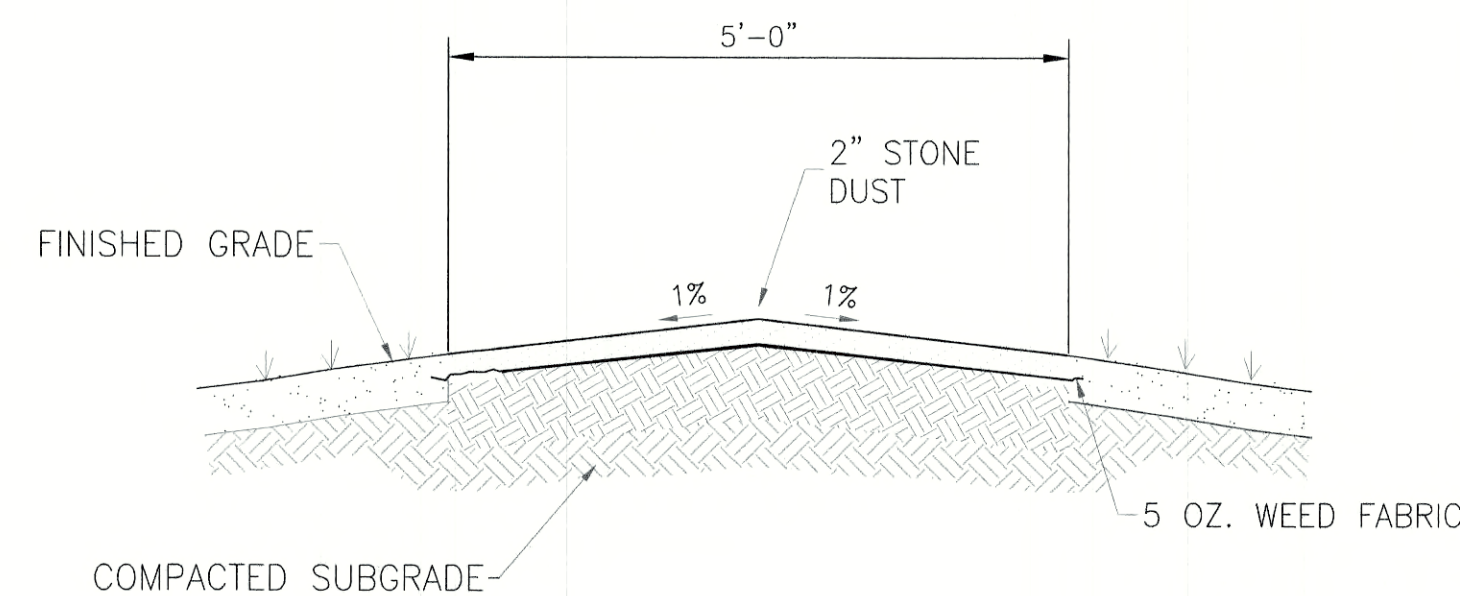
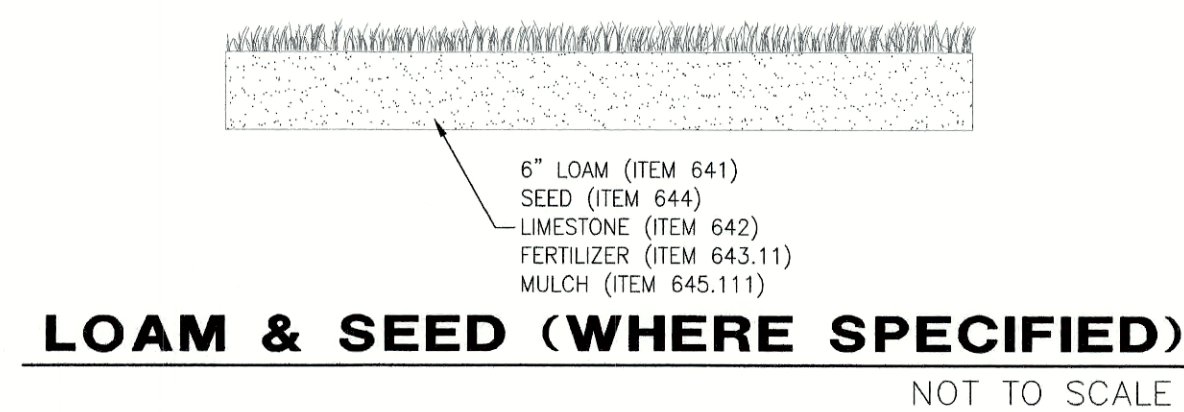
TREE WITH BERM

NOT TO SCALE



SHRUB PLANTING

NOT TO SCALE



LANDSCAPE NOTES

- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
- ALL PLANTS WILL BE NURSERY GROWN.
- PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
- TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
- PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
- ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEEL-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
- NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
- MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
- PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIP LINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.
- ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
- ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.

LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
- CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR FROM TIME OF INSTALLATION.
- WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
- ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
- THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
- DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL THE FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
- EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL THE FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

INVASIVE PLANT NOTES

- EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS".

PORTSMOUTH NOTES

- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNER'S WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS INDICATED ON THESE PLAN(S).
- ALL REQUIRED PLANT MATERIAL WILL BE TENDED TO AND KEPT FREE OF REFUSE AND DEBRIS.
- ALL REQUIRED FENCES AND WALLS WILL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- ALL IMPROVEMENTS SHOWN ON THIS PLAN WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES WILL BE MADE TO THIS PLAN WITHOUT THE WRITTEN APPROVAL OF THE PORTSMOUTH PLANNING BOARD OR PLANNING DIRECTOR.
- THE LANDSCAPE PLAN WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

SEEDING NOTES

- SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
- SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
LANDSCAPE DETAIL SHEET
3400 LAFAYETTE ROAD
PORTSMOUTH, NH

OWNED BY
RICCI CONSTRUCTION CO, INC.
PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: NOT TO SCALE

MARCH 8, 2021



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

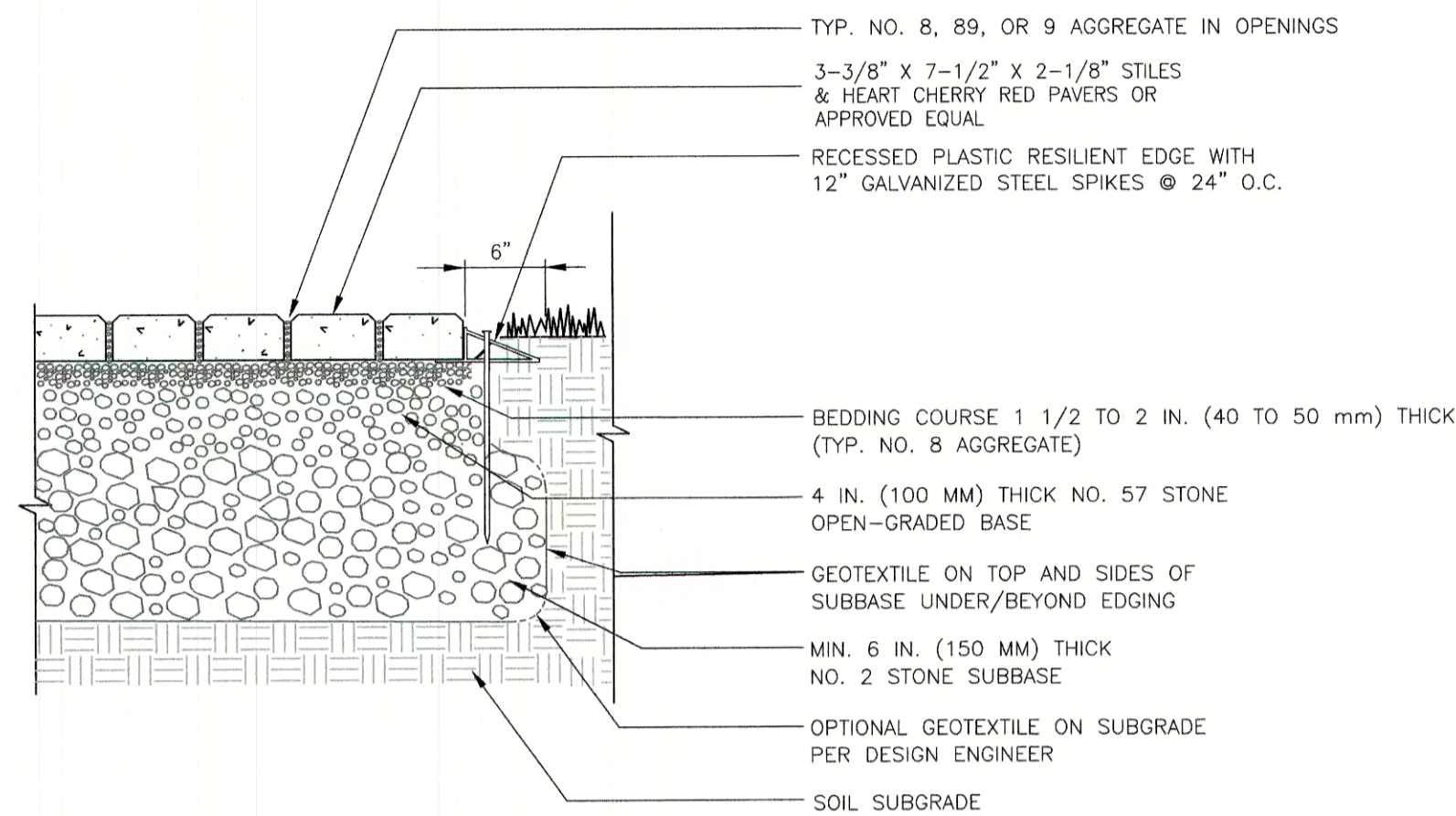
48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

REV	DATE	DESCRIPTION	DR	CK
1	5/13/2021	NO REVISIONS THIS SHEET	MSK	JCC

FILE	45407.110	DR	ARJ	FB	-	LS-3
CK	MSK	CADFILE	45407-110 LANDSCAPE			



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



PERMEABLE PAVER DETAIL

NOT TO SCALE

KIRBYBUILT
222 STATE ST.
BATAVIA, IL 60510
TOLL FREE: 1-855-888-7461
PHONE: (855) 888-7461
FAX: (630) 879-8687
www.kirbybuilt.com

SELECT DESIRED COLOR:

- CEDAR
- GREEN
- DESERT TAN
- BLACK
- BROWN
- GRAY

SELECT DESIRED FRAME COLOR:

- CEDAR
- GREEN
- DESERT TAN
- BLACK
- BROWN
- GRAY

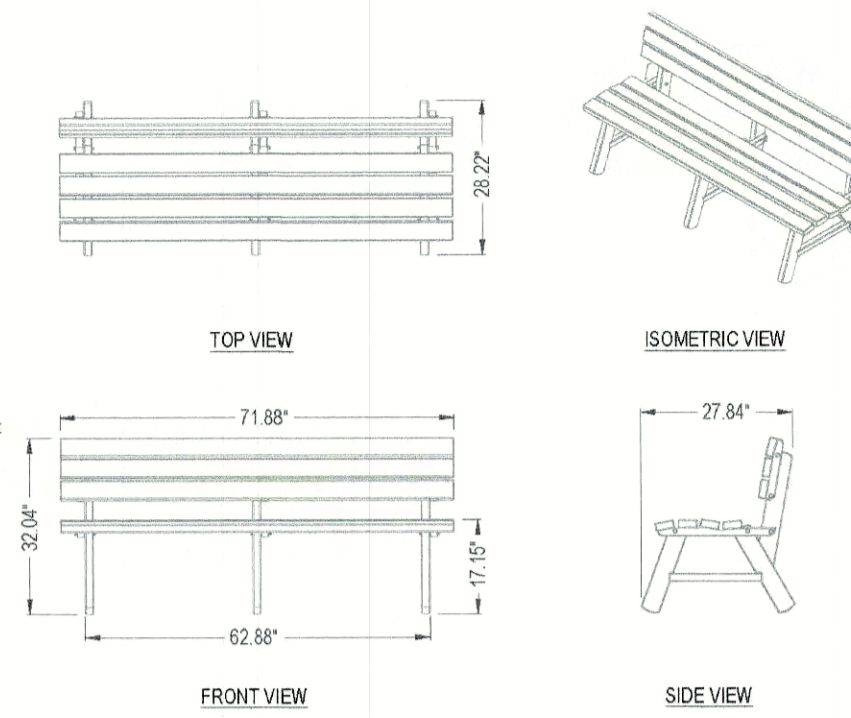
SELECT DESIRED MOUNT:

- PORTABLE

NOTES:

1. ALL MATERIAL RECYCLED HDPE.
2. ALL HARDWARE STAINLESS STEEL.
3. SHIPPED PARTIALLY ASSEMBLED.
4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
5. DO NOT SCALE DRAWING.
6. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
7. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
8. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 1177-055.

LEGEND A-FRAME BENCHES
ABC1020 - 6' LEGEND A-FRAME BENCH
OR APPROVED EQUAL



KIRBYBUILT
222 STATE ST.
BATAVIA, IL 60510
TOLL FREE: 1-855-888-7461
PHONE: (855) 888-7461
FAX: (630) 879-8687

SELECT DESIRED COLOR:

- CEDAR
- GREEN
- DESERT TAN
- BLACK
- BROWN
- GRAY

SELECT DESIRED MOUNT:

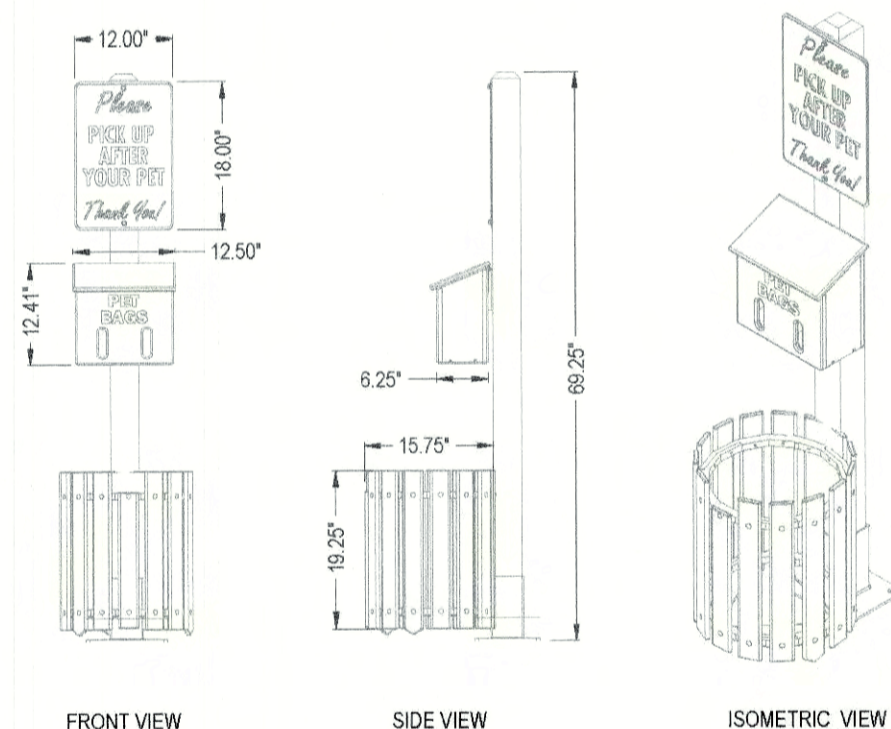
- SURFACE
- IN-GROUND

NOTES:

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STANDARD ROLL BAG PET WASTE STATIONS

APW1220/APW1215 - STANDARD ROLL BAG PET WASTE STATION AND SIGN (BAG DISPENSER, 5 GALLON RECEPTACLE, POST, SIGN) - SURFACE MOUNT OR IN-GROUND OR APPROVED EQUAL



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CONTACT US FOR BUSINESS HOURS PRIOR TO CONSTRUCTION

REV	DATE	DESCRIPTION	MSK	JCC
2	6/18/2021	REVISE PER SITE LAYOUT REVISIONS	DR	CK

SITE DEVELOPMENT PLANS
TAX MAP 297 LOT 11
LANDSCAPE DETAIL SHEET
3400 LAFAYETTE ROAD
PORTSMOUTH, NH
OWNED BY
RICCI CONSTRUCTION CO, INC.
PREPARED FOR
GREEN & COMPANY REAL ESTATE
SCALE: NOT TO SCALE **MARCH 8, 2021**

	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com
	45407.110	DR ARJ FB CK MSK CADFILE

LS-4

SITE NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE SITE LAYOUT FOR A 50-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON TAX MAP 297 LOT 11.
- ZONING DISTRICT: GATEWAY CORRIDOR (G1), USE: GATEWAY TOWNHOUSE
 LOT AREA MINIMUM = NO REQUIREMENT FOUND
 LOT FRONTAGE MINIMUM = 100'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70' FROM CENTERLINE OF LAFAYETTE ROAD
 SIDE SETBACK = 10'
 REAR SETBACK = 15'
 WETLAND SETBACK = 100'
 MAX. BUILDING HEIGHT = 35'
 MIN. OPEN SPACE = 20%
 MAX. BUILDING COVERAGE = 50%
 AREA OF LOT WITHIN G1 DISTRICT = 677,360 S.F. = 15.55 AC
 OPEN SPACE PROPOSED = 573,846 S.F. = 84.7% ± WITHIN G1 DISTRICT
 BUILDING COVERAGE PROPOSED = 38,108 S.F. = 5.6% ± WITHIN G1 DISTRICT
 DENSITY ALLOWED = 16 UNITS/ACRE = 16 X 15.55 AC = 248 UNITS ALLOWED
- ZONING DISTRICT: NATURAL RESOURCE PROTECTION (NRP)
 LOT AREA MINIMUM = NO REQUIREMENT
 LOT FRONTAGE MINIMUM = NO REQUIREMENT
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70'
 SIDE SETBACK = 70'
 REAR SETBACK = 70'
 MAX. BUILDING HEIGHT = 35'
 MIN. OPEN SPACE = 95%
 MAX. BUILDING COVERAGE = NO REQUIREMENT
 AREA OF LOT WITHIN NRP DISTRICT = 1,226,861 S.F. ±
 OPEN SPACE PROPOSED = 1,226,861 S.F. = 100% WITHIN NRP DISTRICT
 EXISTING CONSERVATION EASEMENT = 28.16 AC = 64.4% OF SITE
 PROPOSED CONSERVATION EASEMENT = 10.3 AC = 23.6% OF SITE
 TOTAL CONSERVATION EASEMENT = 38.5 AC = 88.0% OF SITE
- PARKING CALCULATIONS:
 1.5 SPACES PER UNIT > 750 S.F.
 TOTAL NUMBER OF UNITS = 50, EACH UNIT HAS 2 SPACES IN GARAGE.
 4 OUTDOOR PARKING SPACES PROVIDED.
 TOTAL SPACES REQUIRED = 65, TOTAL SPACES PROVIDED = 104
- PAVEMENT AREA 61,262 SF = 3% OF SITE

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LAFAYETTE ROAD (U.S. ROUTE 1)

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
PRESENTATION PLAN
 3400 LAFAYETTE ROAD
 PORTSMOUTH, NH
 OWNED BY
RICCI CONSTRUCTION CO., INC.
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: 1"=30' (30"X42") JUNE 18, 2021

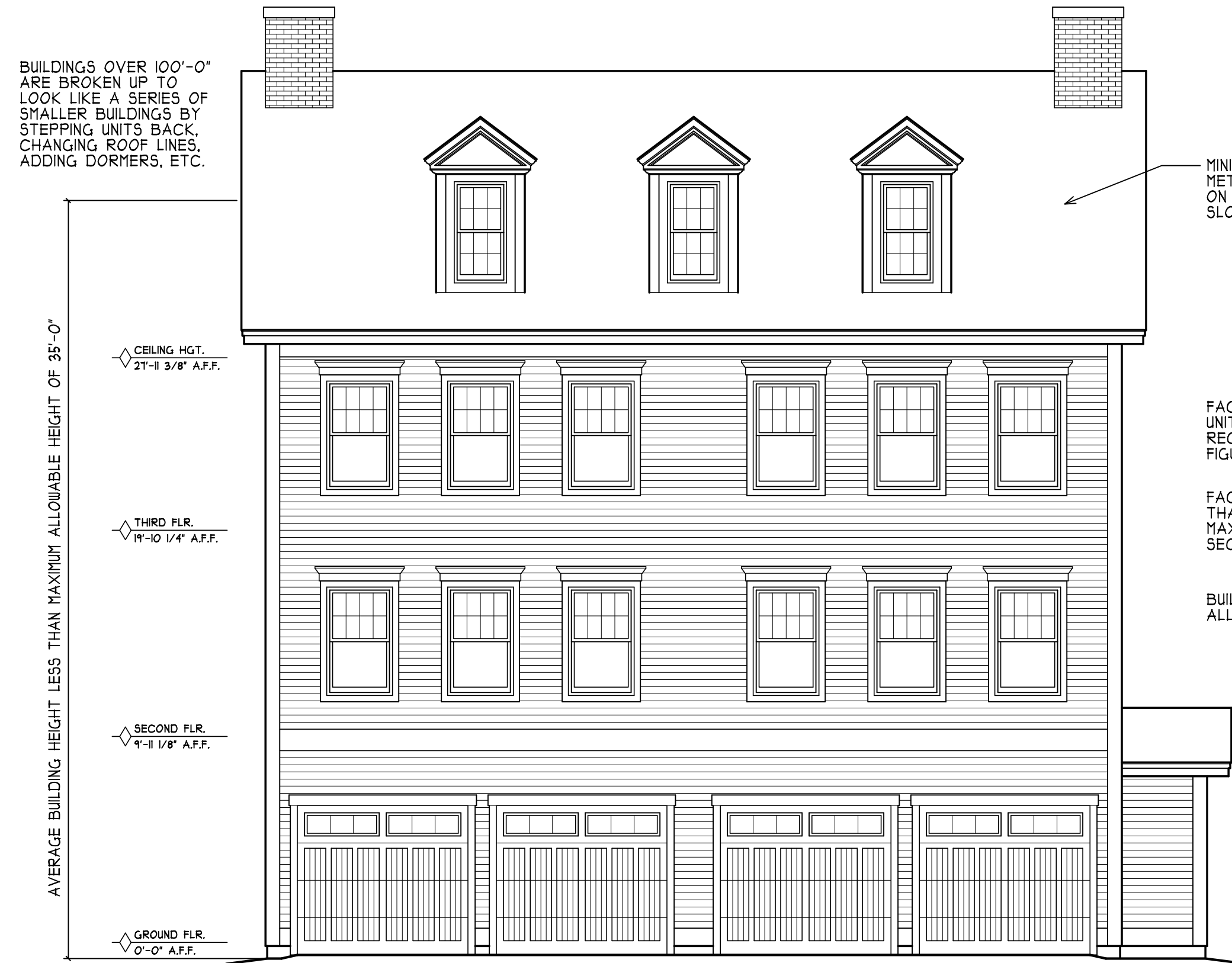


Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

REV	DATE	DESCRIPTION	DR	CK

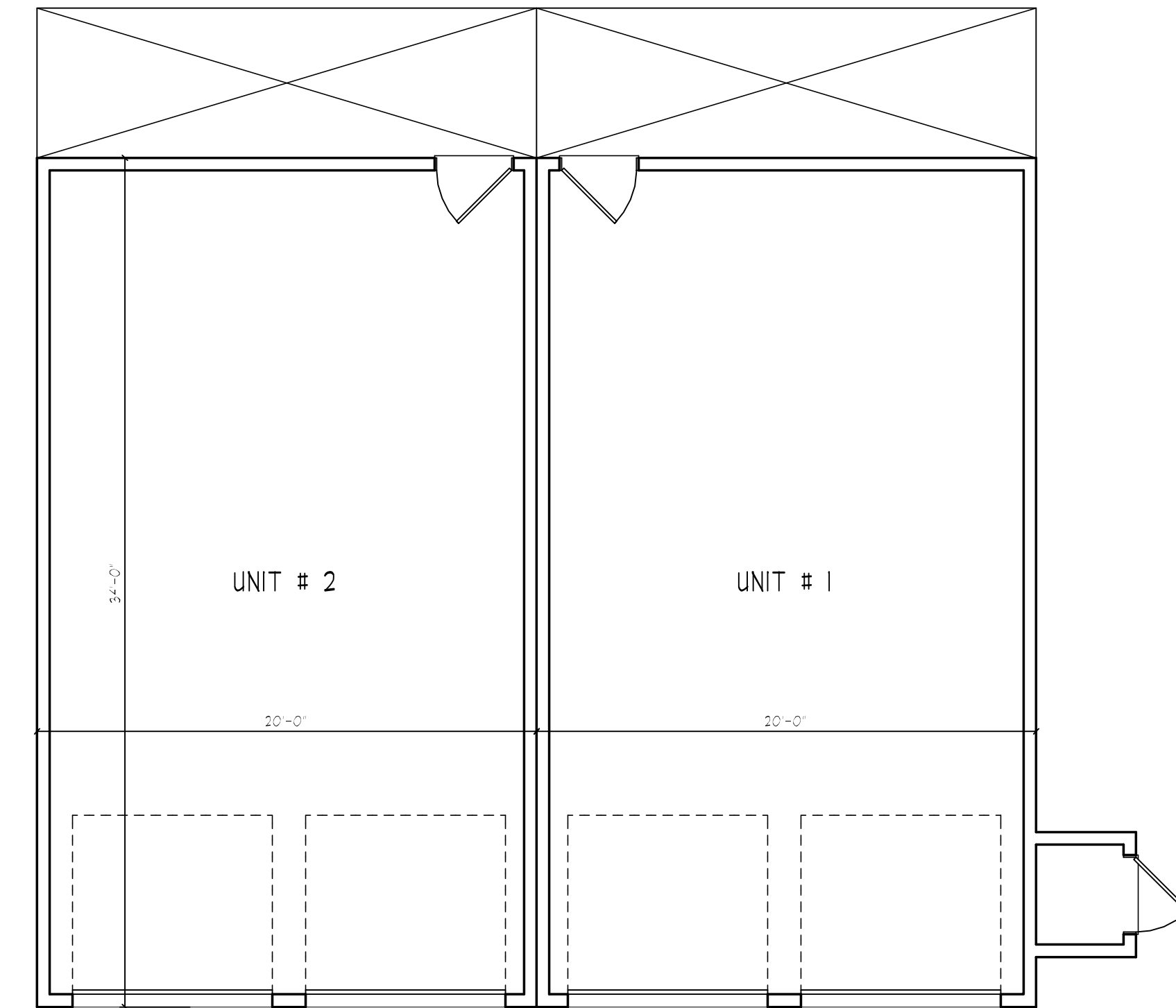
45407.110 DR ARJ FB
 CK MSK CADPZL



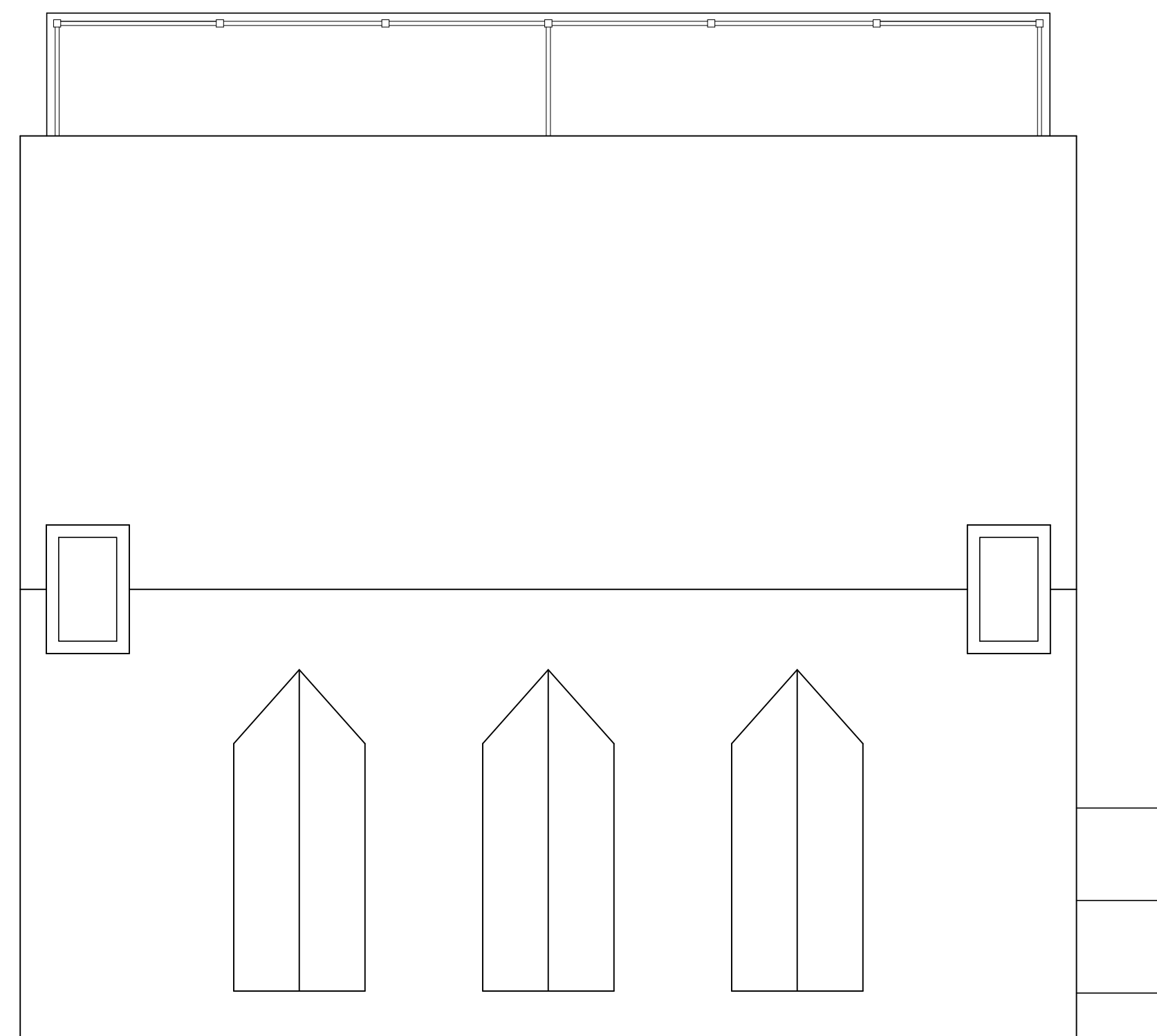
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GATEWAY TOWNHOUSE:
SMALL FOOTPRINT ATTACHED SINGLE
FAMILY RESIDENTIAL BUILDINGS HAVE
A NARROW MASSING AND MAY BE
LOCATED ON INDIVIDUAL OR COMMON
LOTS. EACH UNIT IS SEPARATED
HORIZONTALLY BY A COMMON WALL.



BUILDING # 1



BUILDING # 1



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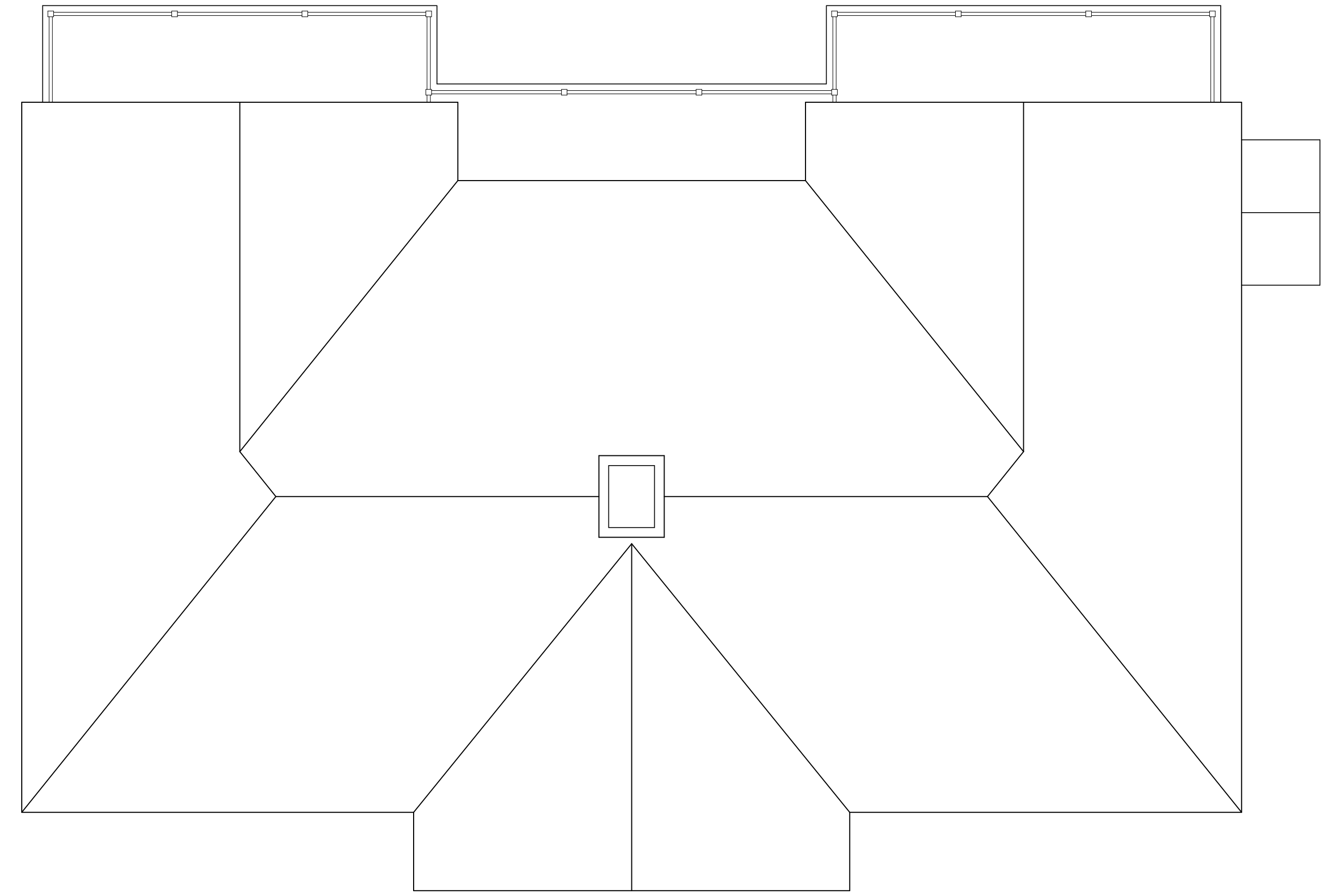
FRONT ELEVATION

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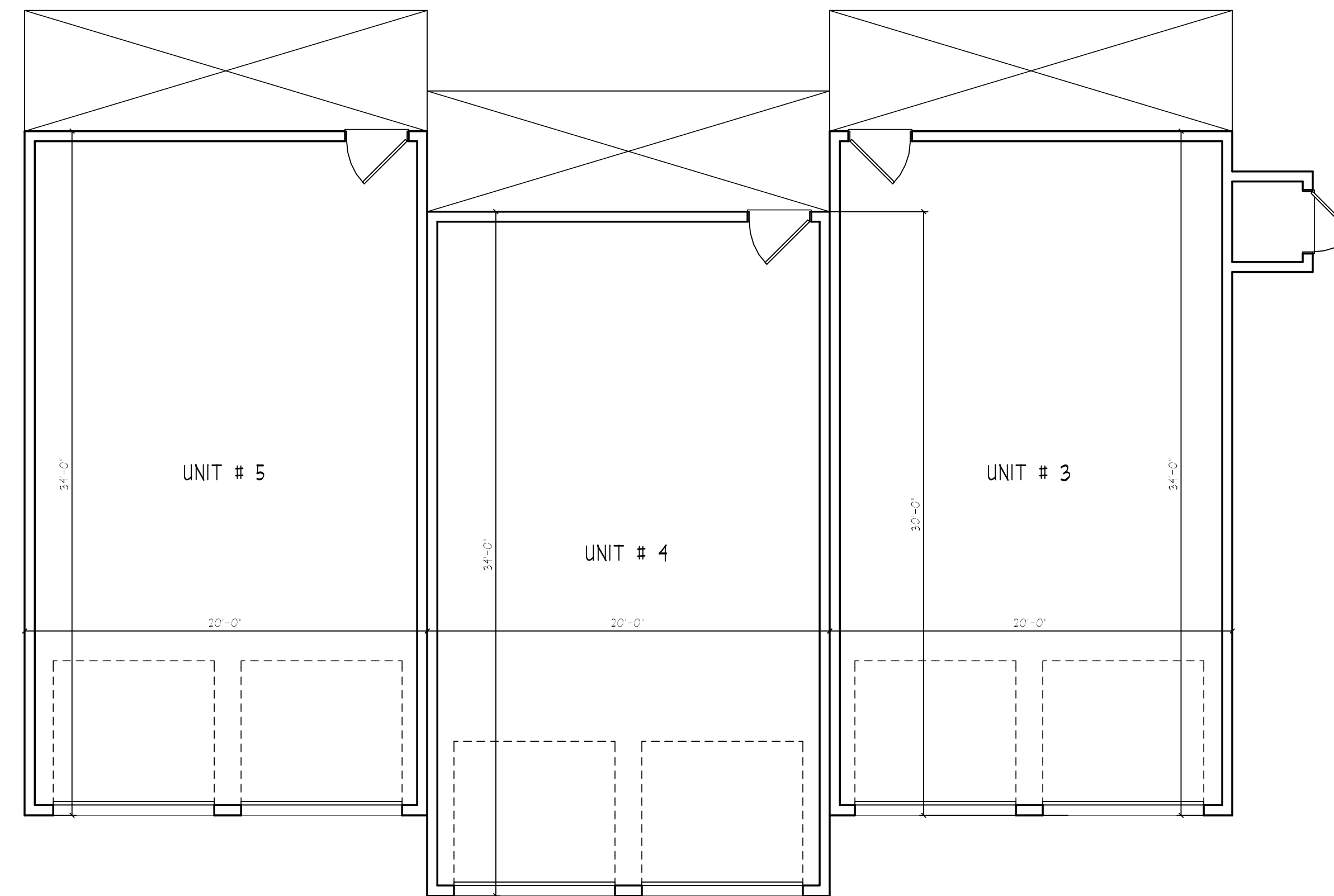
FAÇADE MODULATION MET BY STEPPING
 UNITS, THE USE OF DECKS AND
 RECESSED / COVERED ENTRIES PER
 FIGURE 10.5B23.30.

FAÇADE MODULATION OCCURS LESS
 THAN EVERY FOURTH UNIT MEETING
 MAXIMUM ALLOWABLE LENGTH PER
 SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM
 ALLOWANCE OF 8 UNITS



BUILDING # 2



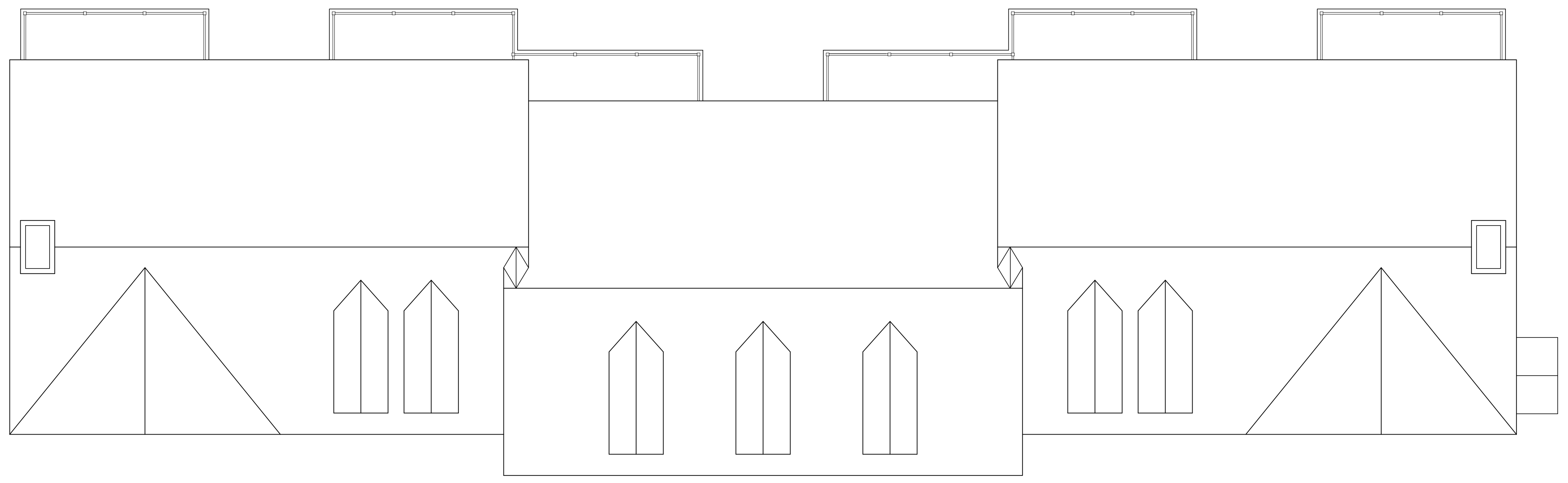
BUILDING # 2



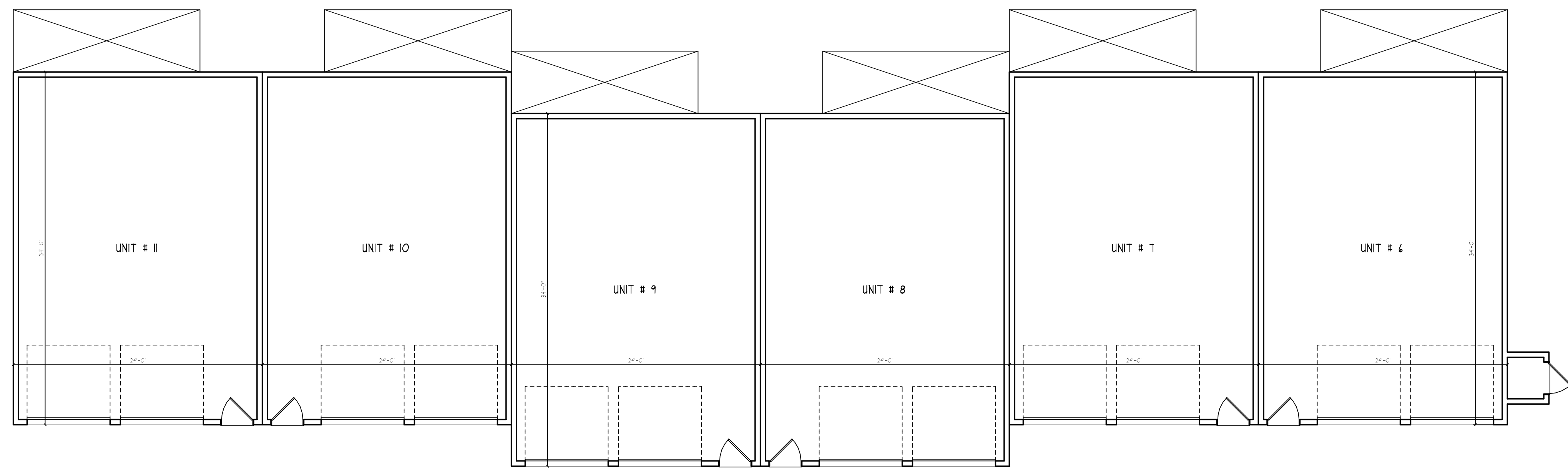
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FRONT ELEVATION

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BUILDING # 3

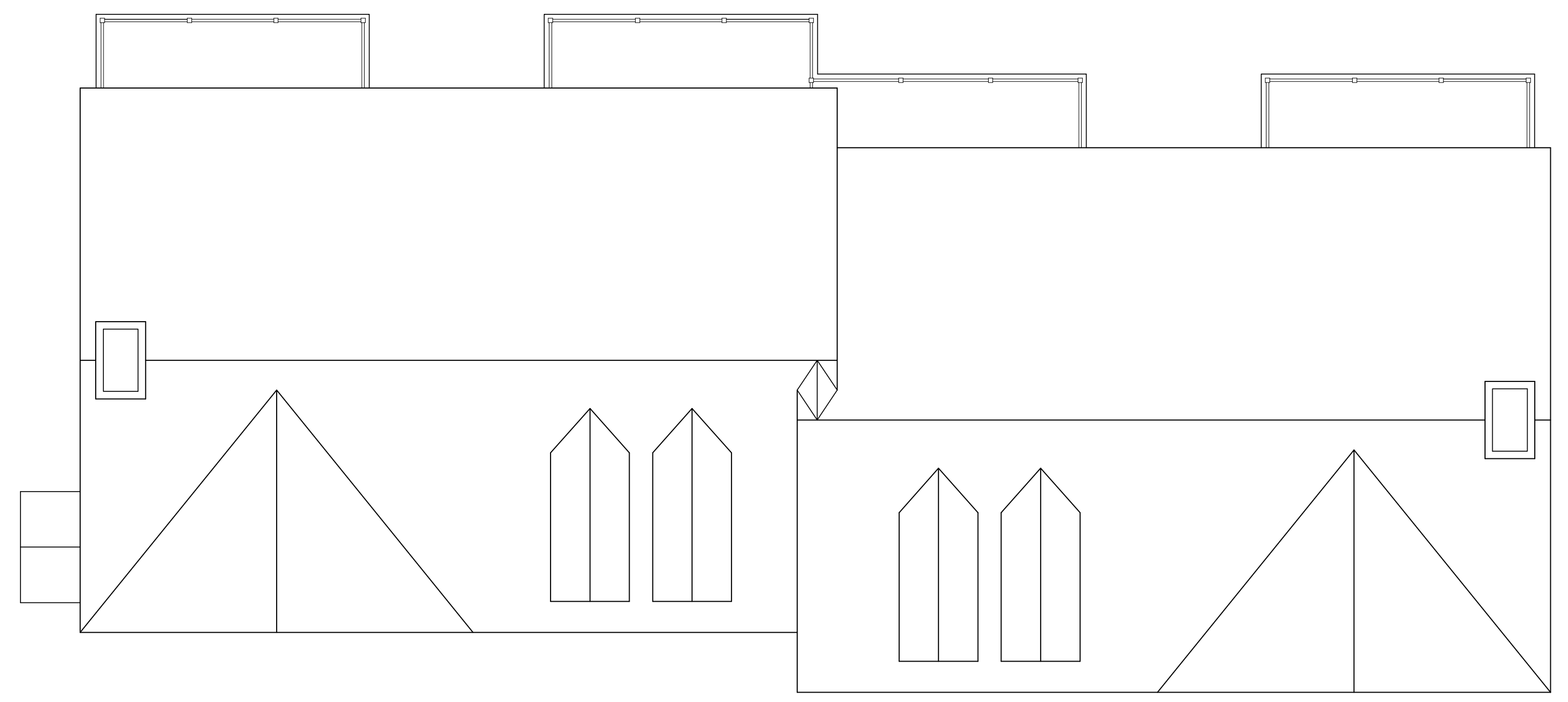


BUILDING # 3

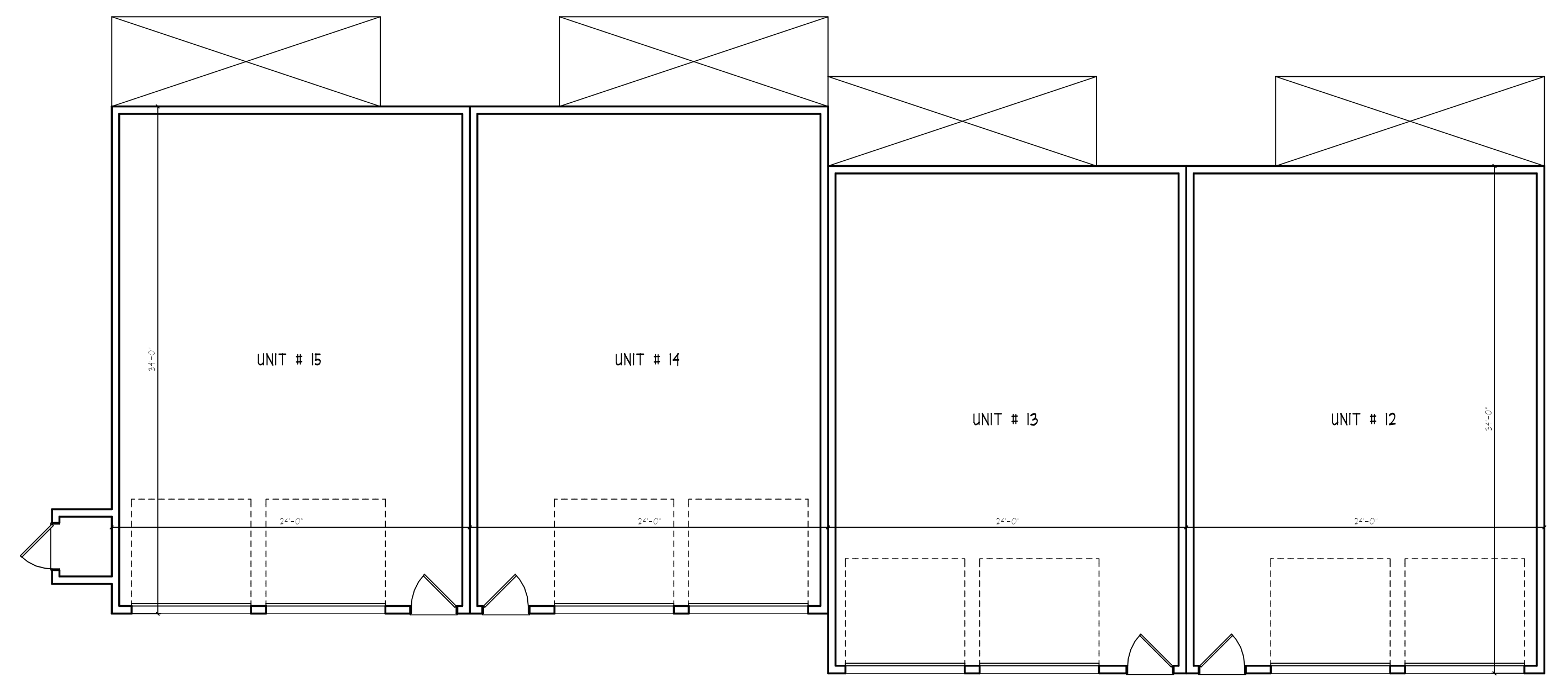


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FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



BUILDING # 4



BUILDING # 4



FRONT ELEVATION

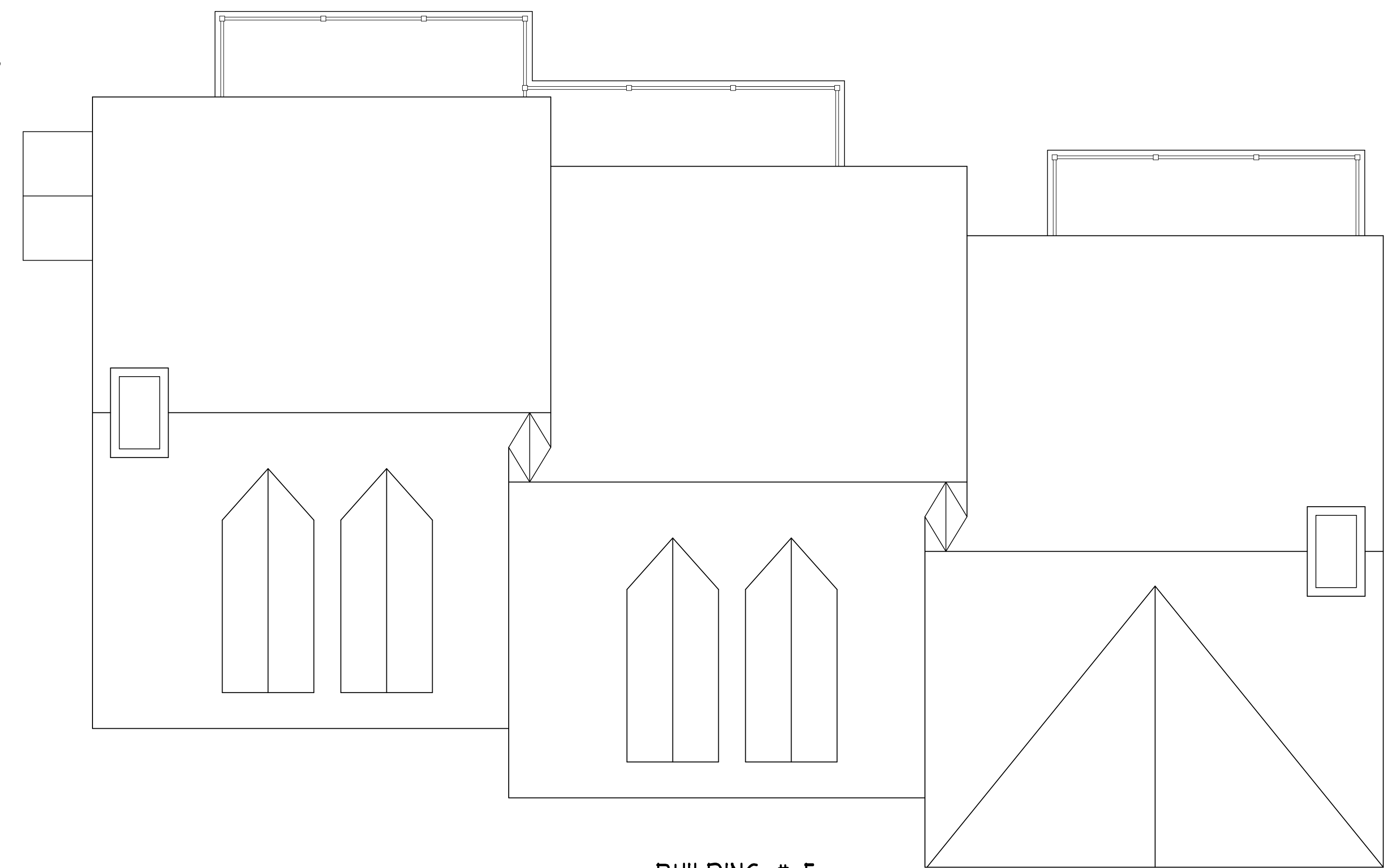
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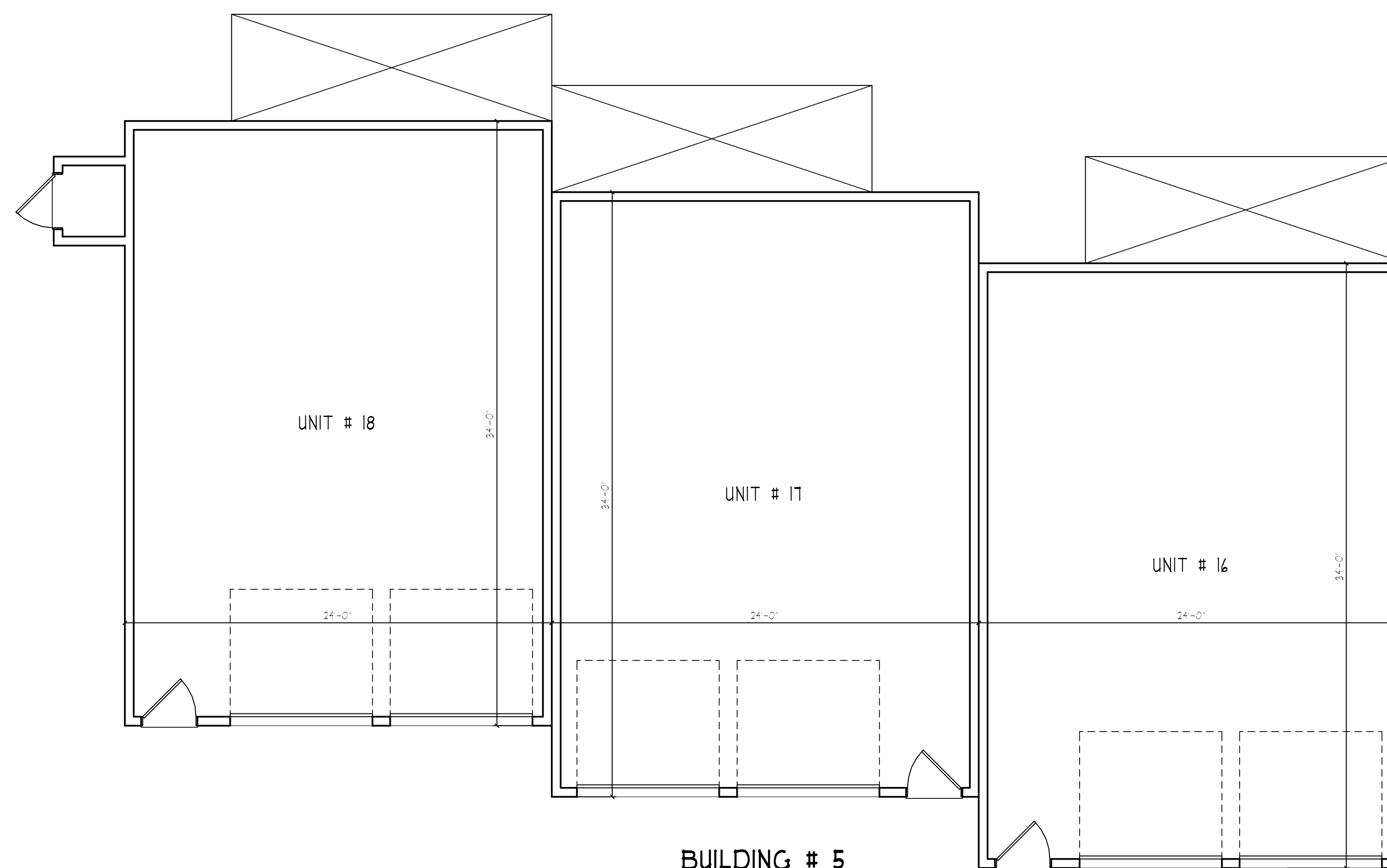
FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS



BUILDING # 5



BUILDING # 5

BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING DORMERS, ETC.

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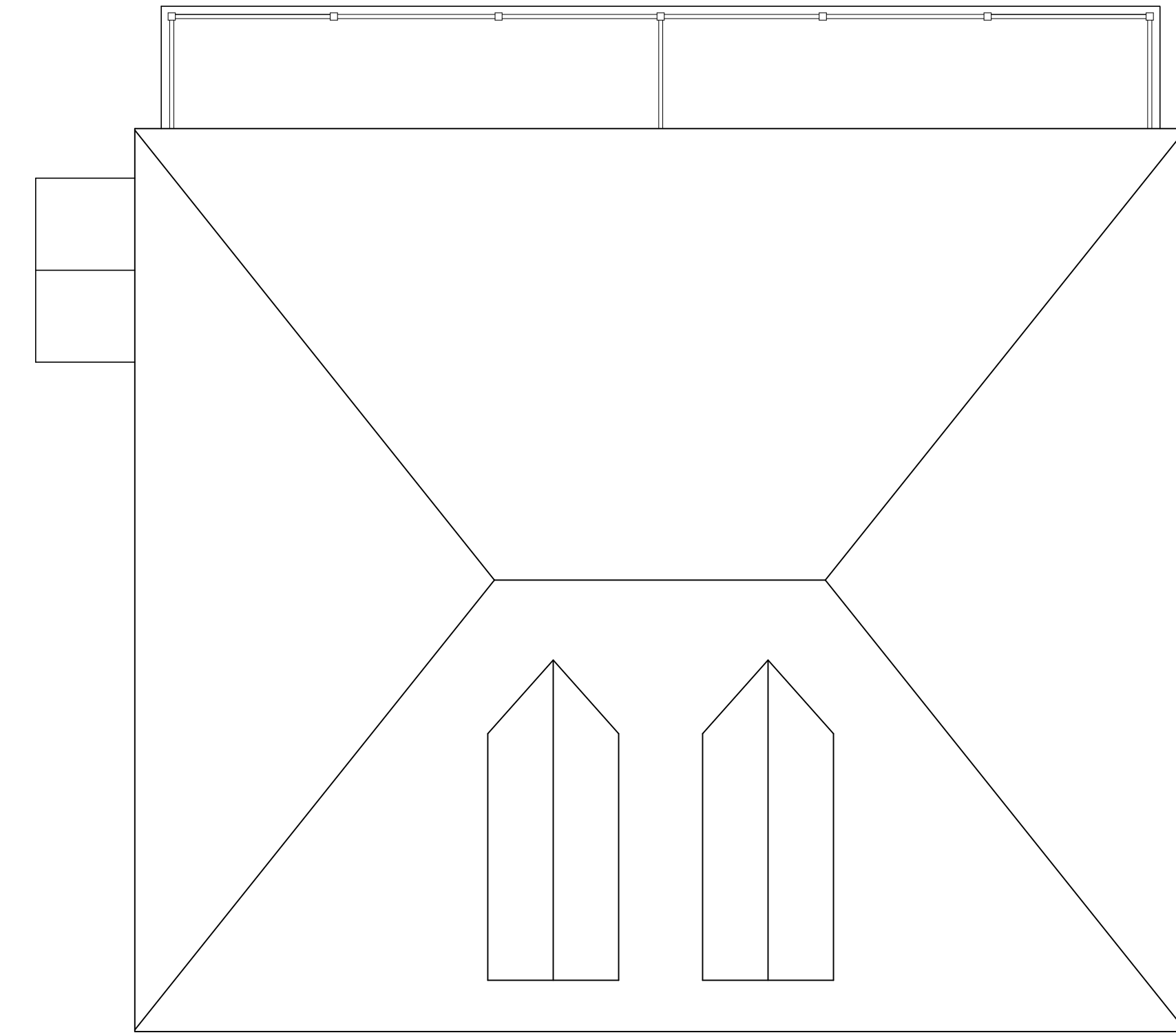
BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS



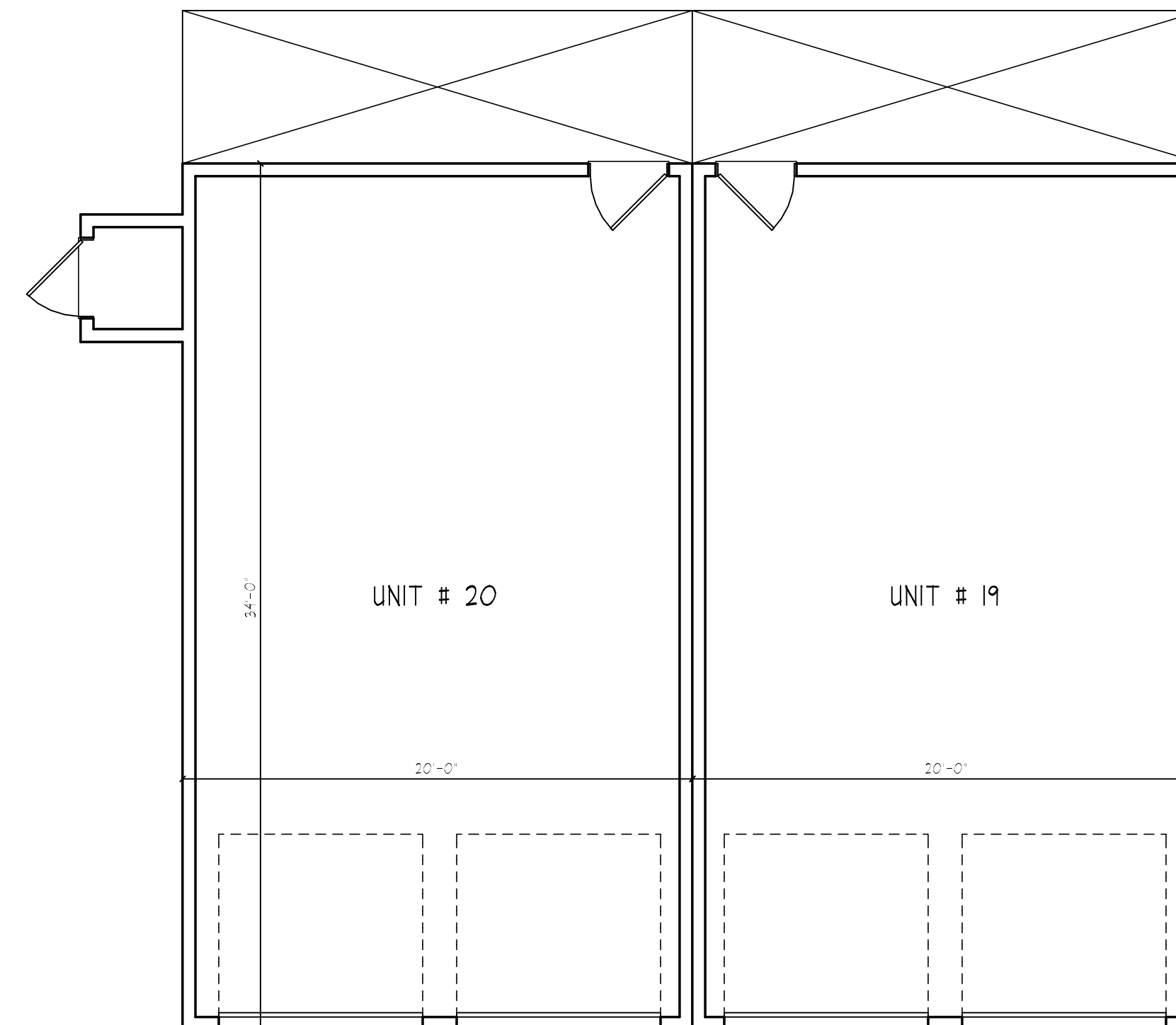
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GATEWAY TOWNHOUSE: SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW MASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.



BUILDING # 6



BUILDING # 6



FRONT ELEVATION

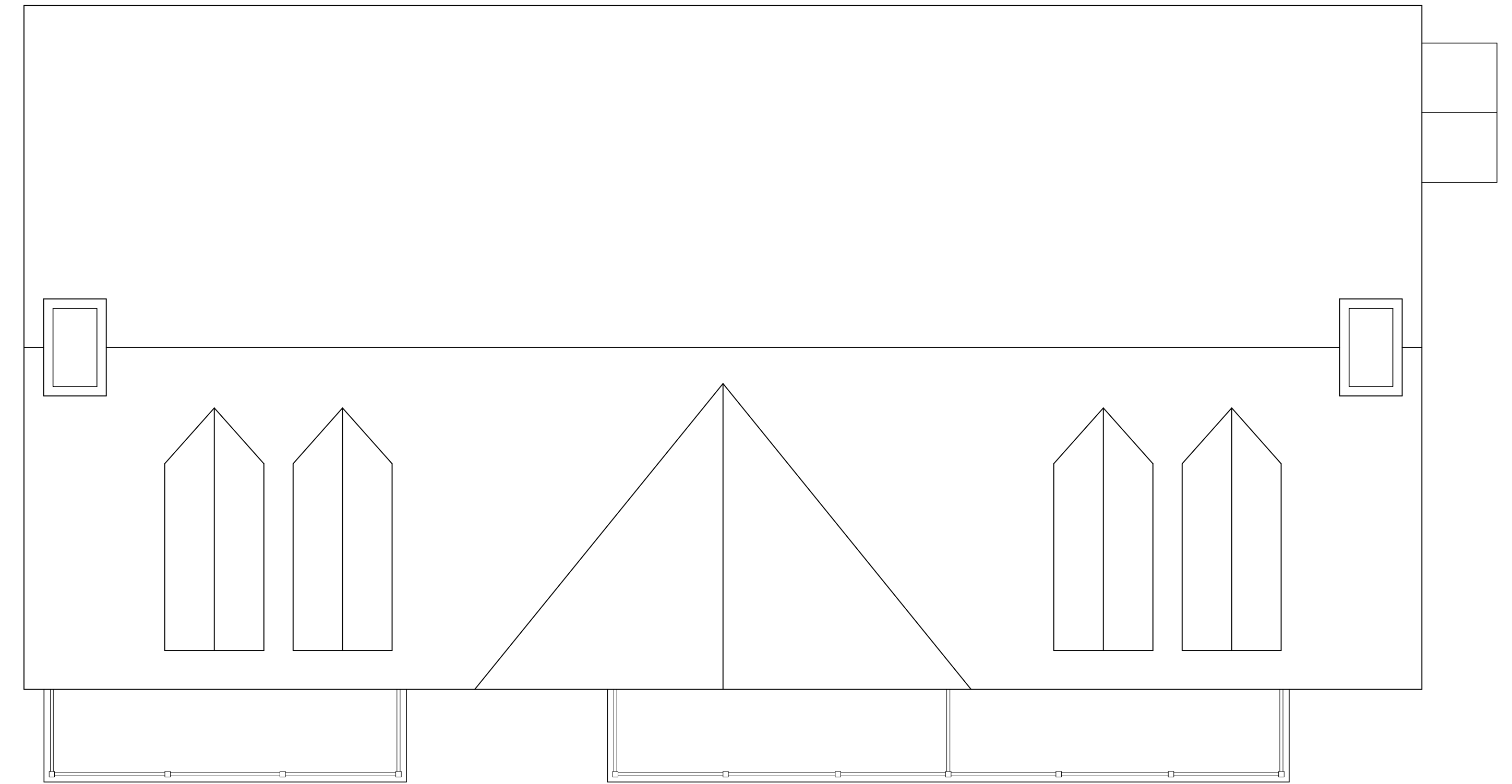
SCALE 1/4" = 1'-0"

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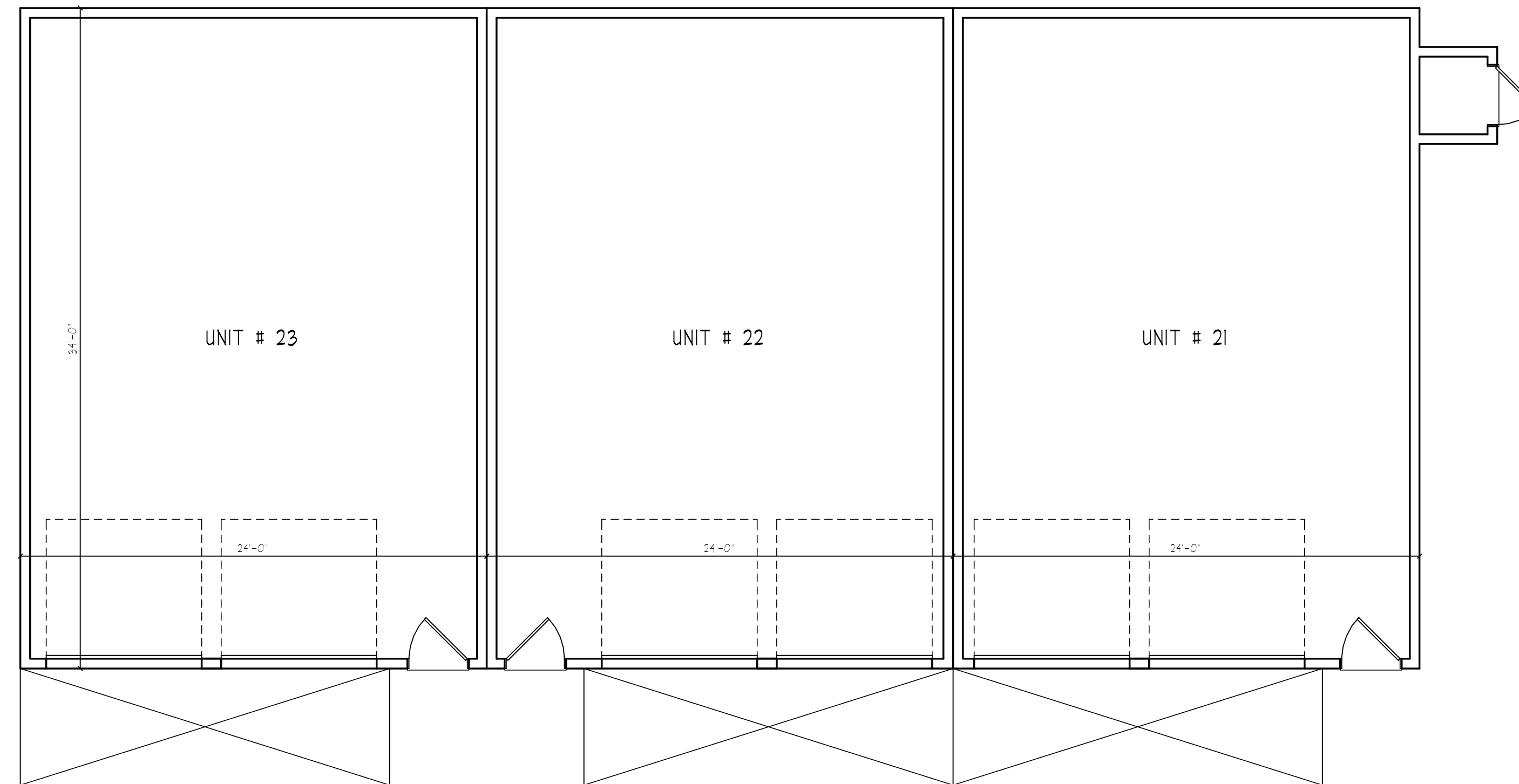
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BUILDING # 1



BUILDING # 1



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

GATEWAY TOWNHOUSE:
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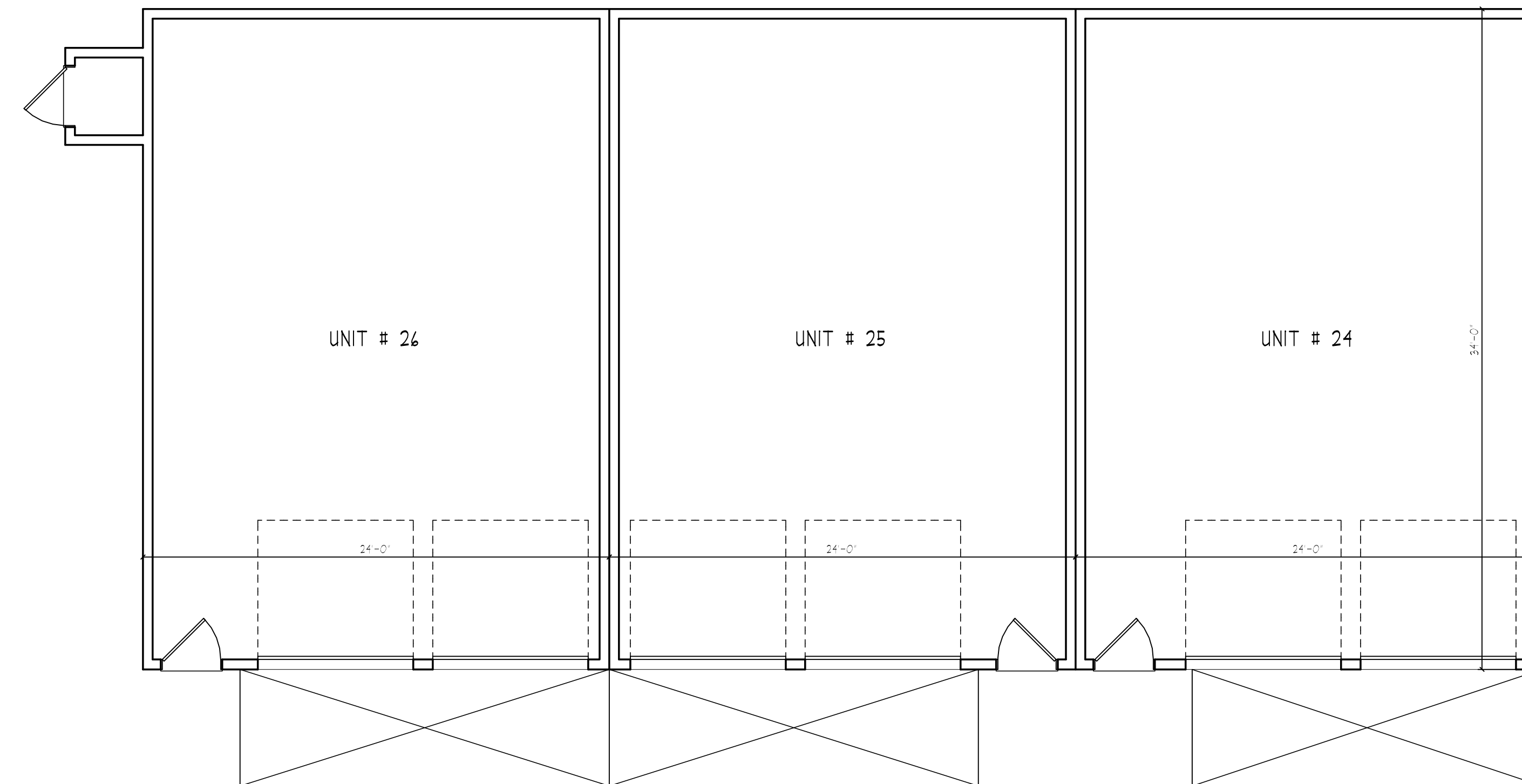
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BUILDING # 8



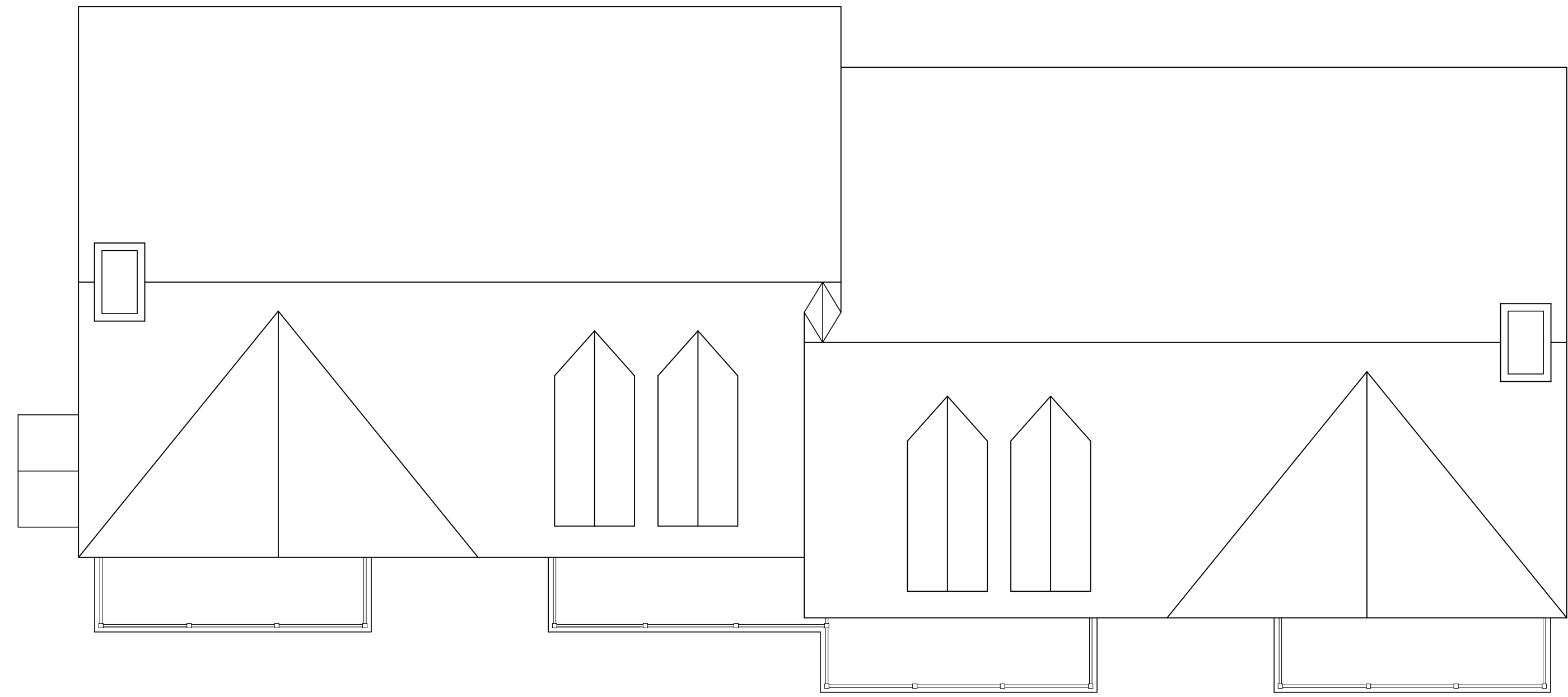
BUILDING # 8



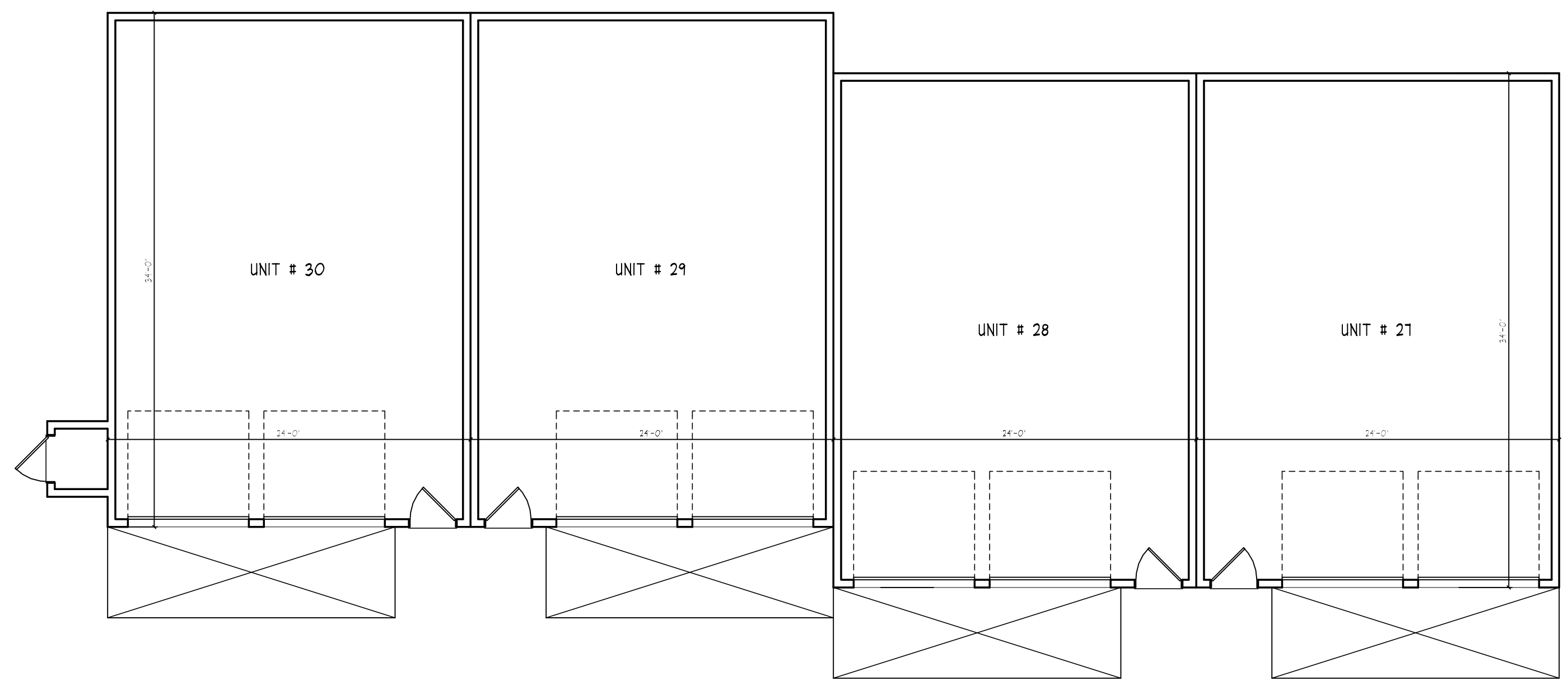
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING # 9



BUILDING # 9

MINIMUM ROOF SLOPE GUIDELINES MET BY USING 8:12 ROOF SLOPE ON MAIN ROOF AND 10:12 ROOF SLOPE ON GABLES

FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

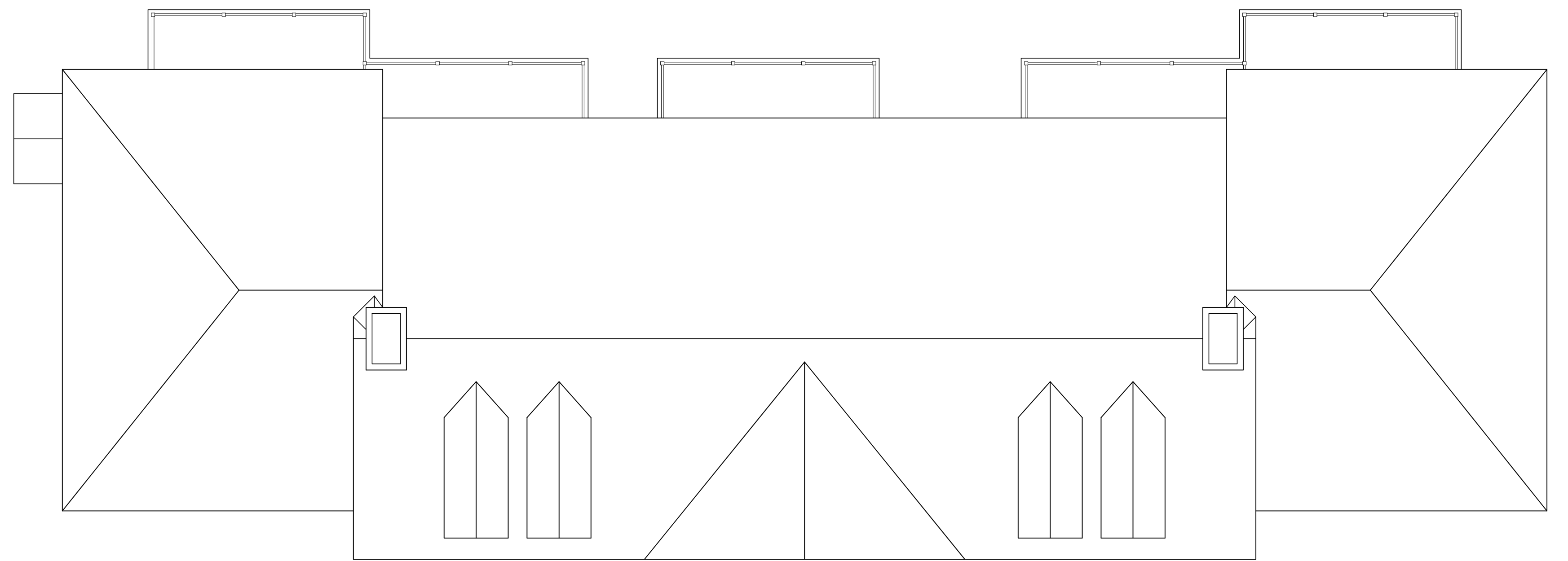
BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS

BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING DORMERS, ETC.

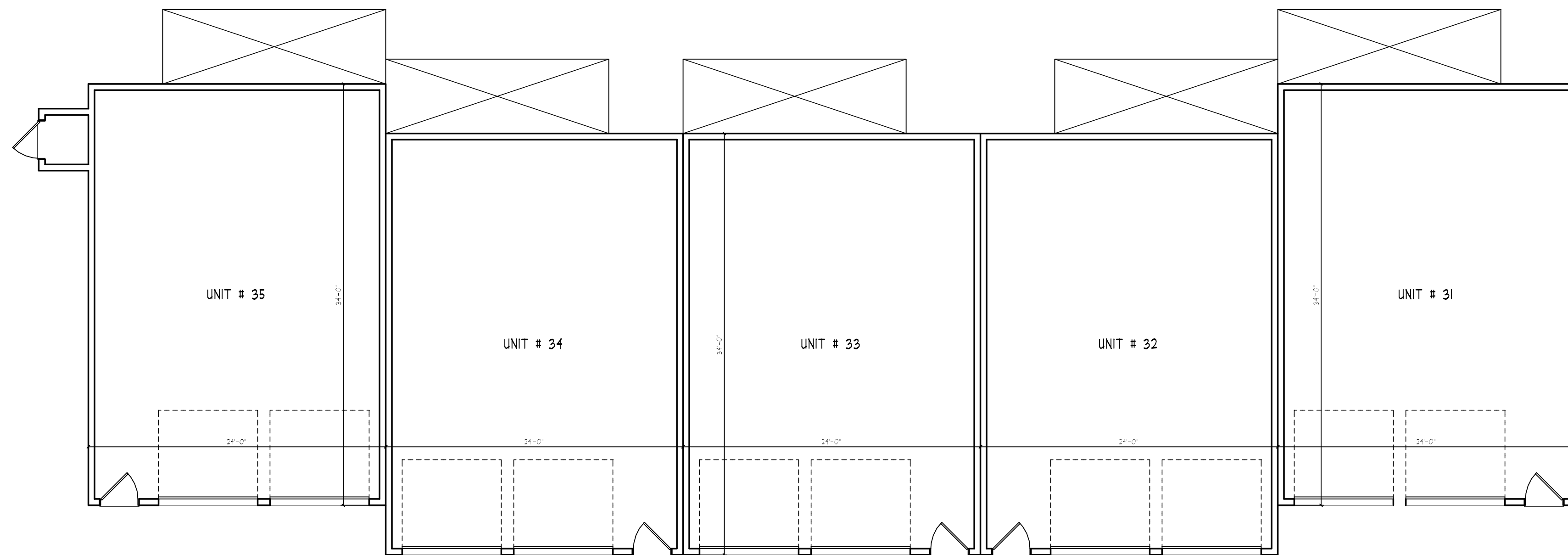


GATEWAY TOWNHOUSE: SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW MASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING # 10



BUILDING # 10

BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING DORMERS, ETC.

AVERAGE BUILDING HEIGHT LESS THAN MAXIMUM ALLOWABLE HEIGHT OF 35'-0"

CEILING HGT. 21'-3 1/8" A.F.F.

THIRD FLR. 19'-4" A.F.F.

SECOND FLR. 14'-8" A.F.F.

GROUND FLR. 0'-0" A.F.F.



MINIMUM ROOF SLOPE GUIDELINES MET BY USING 8:12 ROOF SLOPE ON MAIN ROOF AND 10:12 ROOF SLOPE ON GABLES

FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

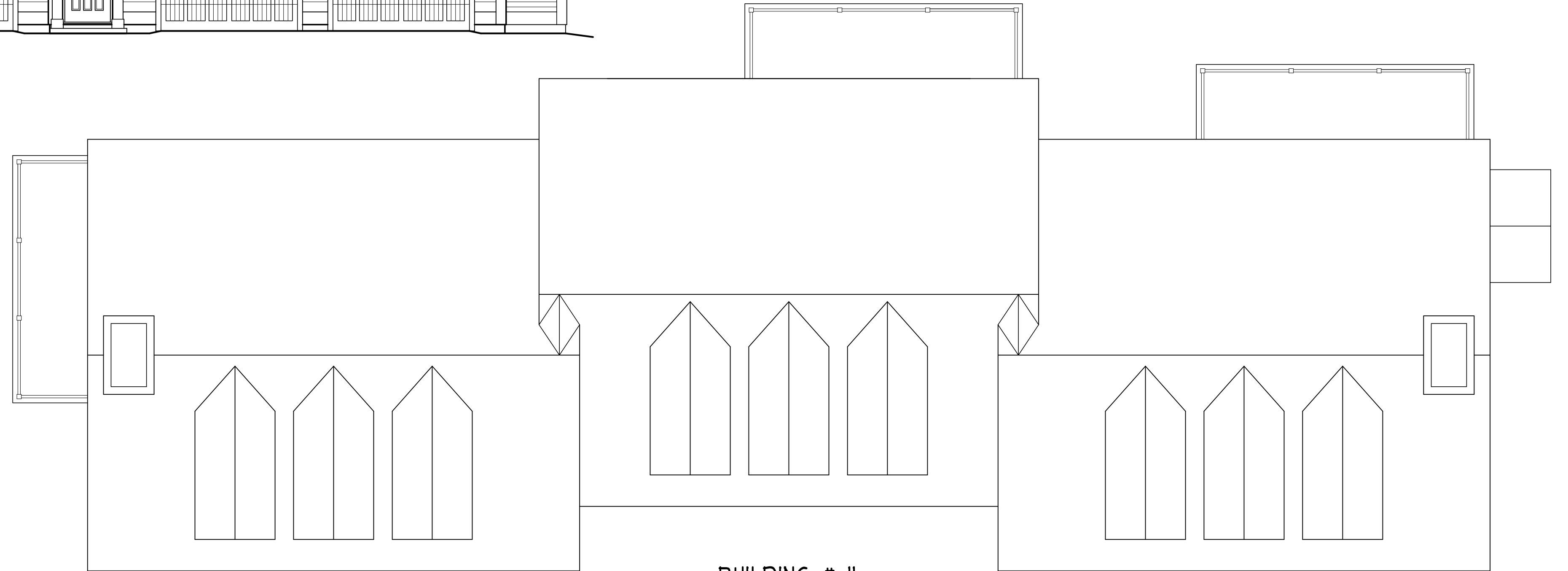
FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS

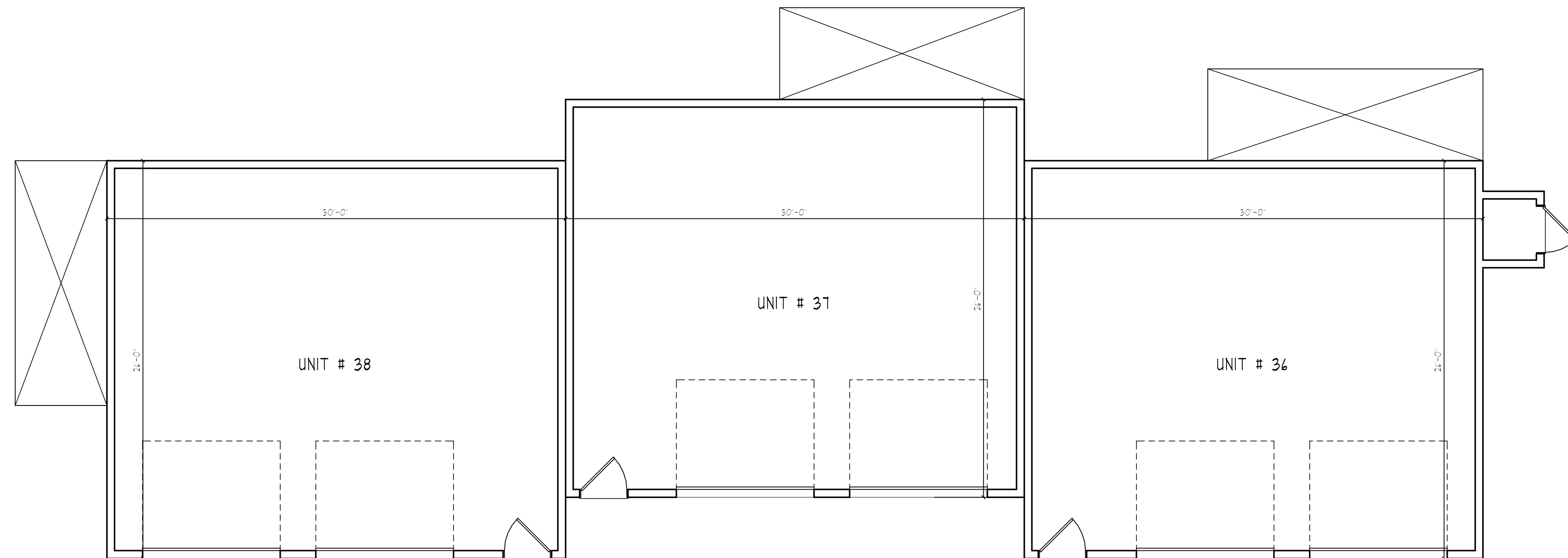
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING # II



BUILDING # II

MINIMUM ROOF SLOPE GUIDELINES MET BY USING 8:12 ROOF SLOPE ON MAIN ROOF AND 10:12 ROOF SLOPE ON GABLES

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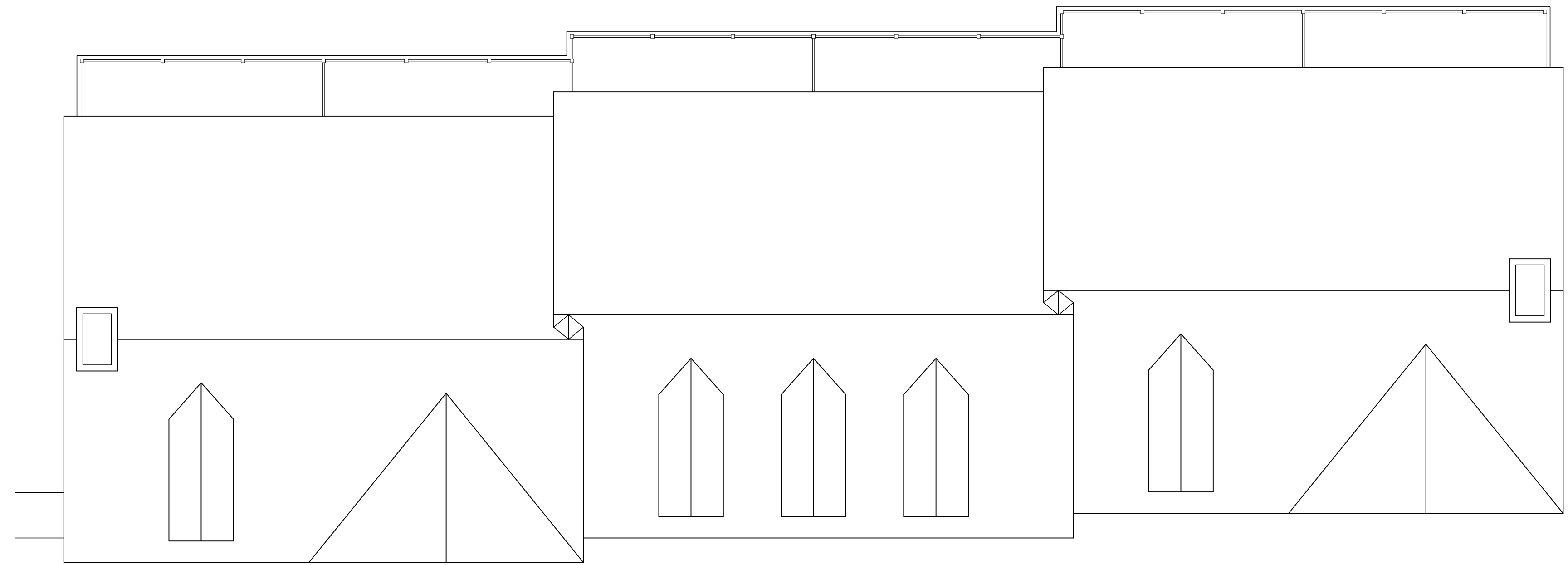
BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS



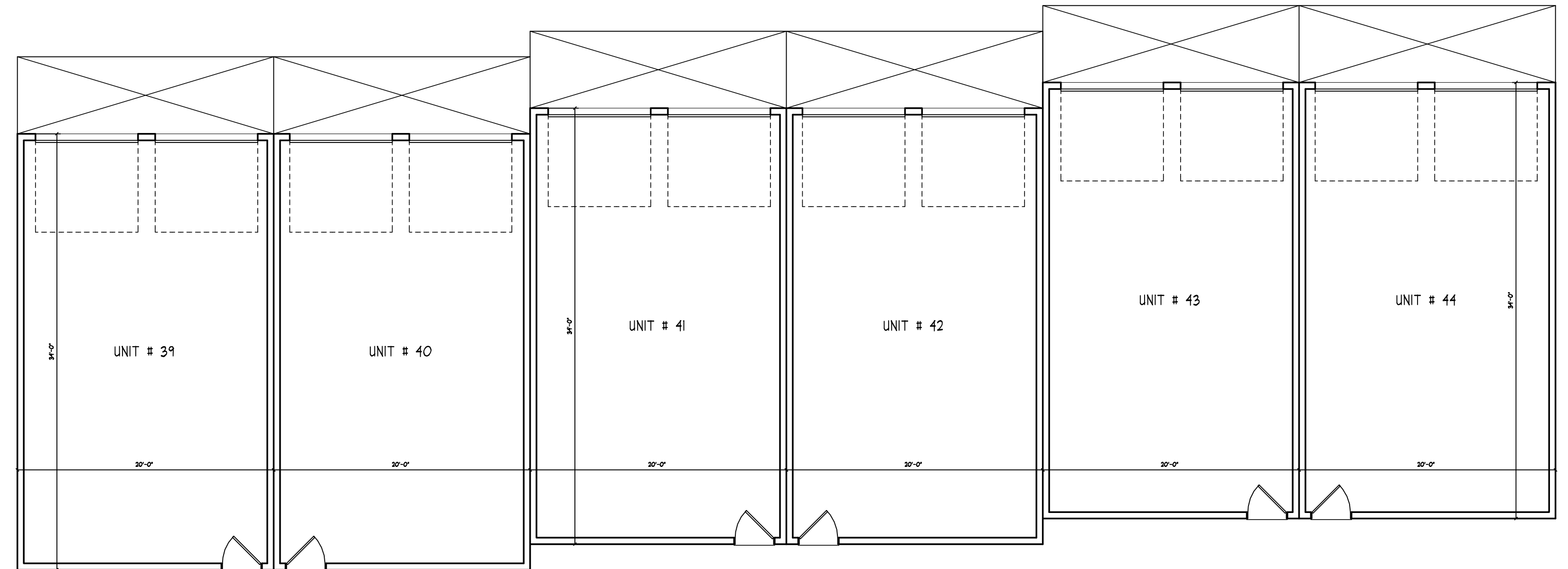
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FRONT ELEVATION

SCALE 1/4" = 1'-0"



BUILDING # 12

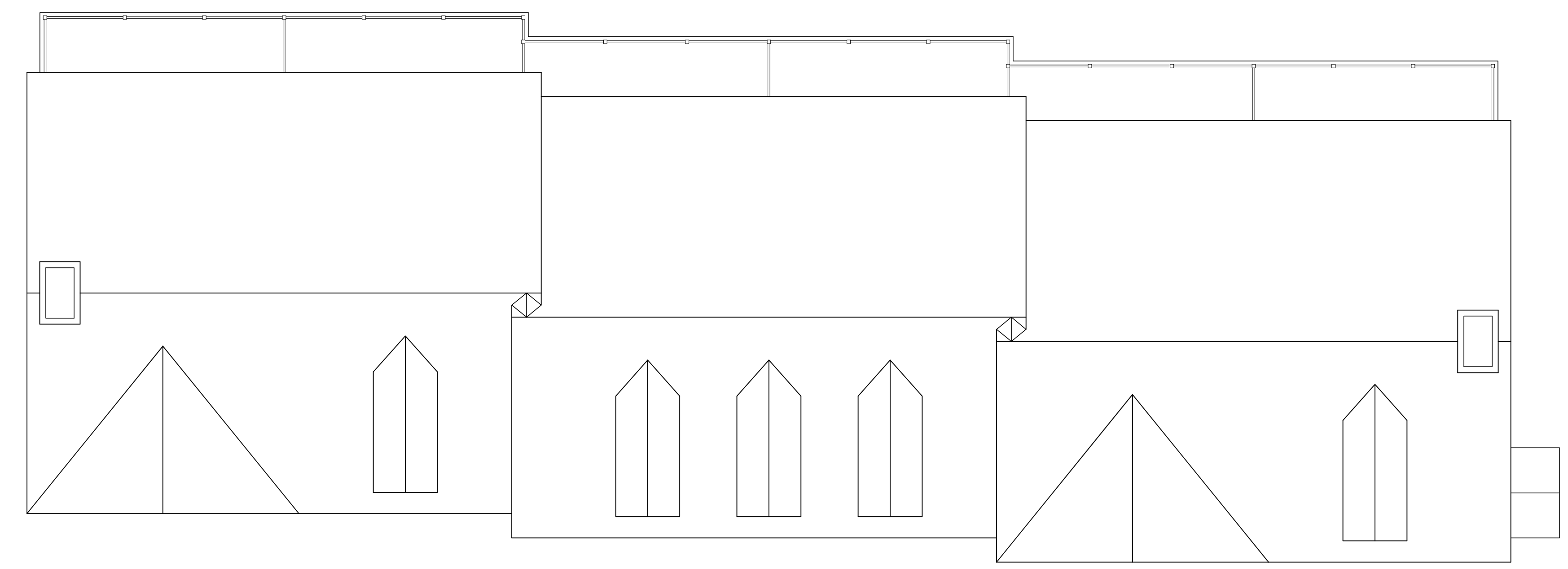


BUILDING # 12

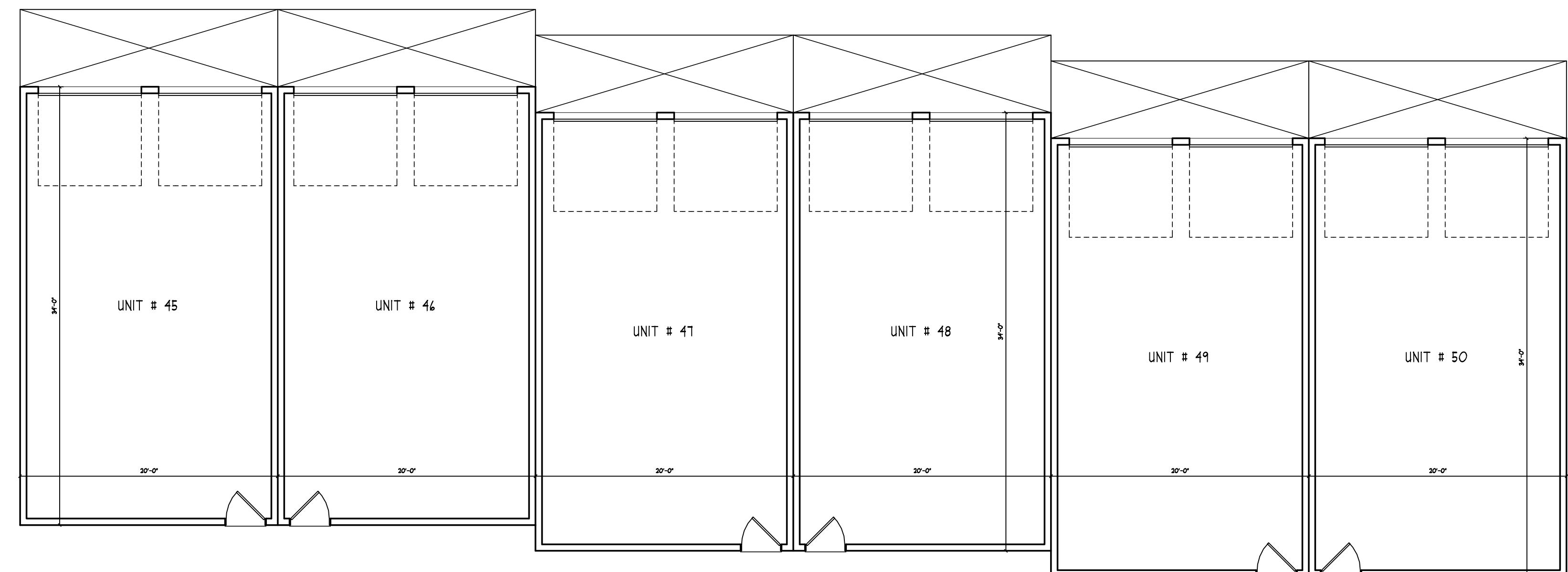


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FRONT ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING # 13



BUILDING # 13