

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

April 22, 2024

Portsmouth Technical Review Advisory Committee  
Attn: Board Members  
1 Junkins Avenue, Suite 3<sup>rd</sup> Floor  
Portsmouth, NH 03801

**RE: Site Plan Application  
Friends of Lafayette House  
413 Lafayette Road, Portsmouth, NH  
Tax Map 230, Lot 23A  
JBE Project No. 23036**

Dear Board Members,

Jones & Beach Engineers, Inc., respectfully submits a Site Plan Application on behalf of the applicant and owner, Friends of Lafayette House. This structure houses 12 developmentally disabled residents with full-time inhouse care. The intent of this application is to add a 635 S.F. addition to the existing building for the use of the full-time caretaker onsite. This building was constructed in 1983 and the City Staff have looked for a previous site plan on file. No site plans were found, so we are applying for a site plan even though typically this would be an amended site plan.

Currently the caretaker has a unit inside the building and works 5 days a week all day. On weekends, they have a secondary caretaker that comes in and covers the weekend workload, but they must live with the full-time caretaker in the same unit. It is tight quarters, and they share a bathroom and kitchen and it's not an ideal living situation. The proposed addition is to give the full-time caretaker their own unit and then the weekend caretaker would use the existing space just on the weekends. There is no increase in staffing or residency proposed with this expansion.

There are no proposed changes to the utilities outside of the building. The addition will be plumbed internally from the existing building. There are no changes proposed for the parking area and there is a minimal increase in impervious coverage. We are removing the existing sheds on the property. Therefore, we would prefer not to provide a full drainage report for these small changes to the site. We are also not proposing any additional landscaping and the lighting modifications will be minimal. The owner would just have a small light above the doorway providing access to the caretaker unit.


We attended a pre-TAC meeting to discuss the level of detail needed for this minor building addition. From that discussion, we did reach out to TMD Utility Locating company and had them go to the site to determine the utility locations. We have added that information to the plans today. For other typical submission requirements, we are requesting waivers due to the small nature of the addition.

The following items are provided in support of this Application:

1. Completed Site Plan Application (submitted online).
2. Site Plan Checklist.
3. Waiver Request Letter
4. Letter of Authorization.
5. Current Deed.
6. One (1) Full Size Plan Set Folded.
7. One (1) Full Size set of architectural drawings

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Joseph A. Coronati  
Vice President

cc: Melanie Merz, Friends of Lafayette House (via email)  
John Bosen, Esq (via email)  
Chris Mulligan, Esq (via email)

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

April 22, 2024

Portsmouth Technical Review Advisory Committee  
Attn: Board Members  
1 Junkins Avenue, Suite 3<sup>rd</sup> Floor  
Portsmouth, NH 03801

**RE: Waiver Request  
Friends of Lafayette House  
413 Lafayette Road, Portsmouth, NH  
Tax Map 230, Lot 23A  
JBE Project No. 23036**

Dear Board Members,

Jones & Beach Engineers, Inc. respectfully submits a Waiver Request for the above-referenced parcel on behalf of our client & owner, Friends of Lafayette House. Jones & Beach respectfully requests a waiver for the following Articles and sub-articles of the Site Plan Regulations.

Article 3 – Vehicular Circulation Standards and all sub articles.

Reasoning: There is no change to the number of residents or employees and no change to the traffic pattern or parking spaces that exist today.

Article 6 – Landscaping and Screening Standards and sub articles.

Reasoning: We are not proposing to add any additional landscaping to the site at this time. There is minimal amount of landscaping being removed.

Article 7 – Water Resources Standards and sub articles.

Reasoning: The proposed addition is 635 square feet and we are removing some old sheds and have a net increase in impervious area of 596 square feet on a 33,096 square foot lot, which is a 1.8% increase on the lot. We feel that this is such a minor increase that it does not warrant a stormwater study nor require erosion control design. The addition will have utilities provided from the existing building, so there is no trenching or sitework needed elsewhere on the property.

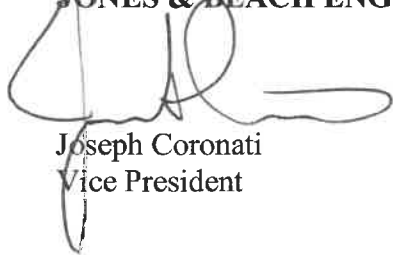
Article 10 – Outdoor Lighting and sub articles.

Reasoning: We are proposing any additional lighting other than small residential light at the new entrance door into the caretaker unit that is controlled by light switch within the unit.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,

**JONES & BEACH ENGINEERS, INC.**

A handwritten signature in black ink, appearing to read 'JC', with a long horizontal flourish extending to the right.

Joseph Coronati  
Vice President



## City of Portsmouth, New Hampshire

### *Site Plan Application Checklist*

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Friends of Lafayette House Date Submitted: April 22, 2024

Application # (in City's online permitting): \_\_\_\_\_

Site Address: 413 Lafayette Road Map: 230 Lot: 23A

<b>Application Requirements</b>			
	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete <u>application</u> form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))		N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. <b>(2.5.2.8)</b>		N/A

<b>Site Plan Review Application Required Information</b>			
	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. <b>(2.5.3.1B)</b>		
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. <b>(2.5.3.1C)</b>		N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. <b>(2.5.3.1D)</b>		N/A

**Site Plan Review Application Required Information**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. <b>(2.5.3.1E)</b>		N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. <b>(2.5.3.1F)</b>		N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. <b>(2.5.3.1G)</b>		N/A
<input checked="" type="checkbox"/>	List of reference plans. <b>(2.5.3.1H)</b>		N/A
<input type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. <b>(2.5.3.1I)</b>		N/A

**Site Plan Specifications**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. <b>(2.5.4.1A)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. <b>(2.5.4.1B)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. <b>(2.5.4.1C)</b>		N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. <b>(2.5.4.1E)</b>		N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. <b>(2.5.4.2A)</b>		N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>		N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. <b>(2.5.4.2C)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. <b>(2.5.4.2D)</b>		N/A

**Site Plan Specifications – Required Exhibits and Data**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	<b>1. Existing Conditions: (2.5.4.3A)</b> <ul style="list-style-type: none"> <li>• Surveyed plan of site showing existing natural and built features;</li> <li>• Existing building footprints and gross floor area;</li> <li>• Existing parking areas and number of parking spaces provided;</li> <li>• Zoning district boundaries;</li> <li>• Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre;</li> <li>• Existing impervious and disturbed areas;</li> <li>• Limits and type of existing vegetation;</li> <li>• Wetland delineation, wetland function and value assessment (including vernal pools);</li> <li>• SFHA, 100-year flood elevation line and BFE data, as required.</li> </ul>	C1	
<input checked="" type="checkbox"/>	<b>2. Buildings and Structures: (2.5.4.3B)</b> <ul style="list-style-type: none"> <li>• Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;</li> <li>• Elevations: Height, massing, placement, materials, lighting, façade treatments;</li> <li>• Total Floor Area;</li> <li>• Number of Usable Floors;</li> <li>• Gross floor area by floor and use.</li> </ul>	C1 & C2	
<input type="checkbox"/>	<b>3. Access and Circulation: (2.5.4.3C)</b> <ul style="list-style-type: none"> <li>• Location/width of access ways within site;</li> <li>• Location of curbing, right of ways, edge of pavement and sidewalks;</li> <li>• Location, type, size and design of traffic signing (pavement markings);</li> <li>• Names/layout of existing abutting streets;</li> <li>• Driveway curb cuts for abutting prop. and public roads;</li> <li>• If subdivision; Names of all roads, right of way lines and easements noted;</li> <li>• AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).</li> </ul>		Waiver
<input checked="" type="checkbox"/>	<b>4. Parking and Loading: (2.5.4.3D)</b> <ul style="list-style-type: none"> <li>• Location of off street parking/loading areas, landscaped areas/buffers;</li> <li>• Parking Calculations (# required and the # provided).</li> </ul>	C2	
<input checked="" type="checkbox"/>	<b>5. Water Infrastructure: (2.5.4.3E)</b> <ul style="list-style-type: none"> <li>• Size, type and location of water mains, shut-offs, hydrants &amp; Engineering data;</li> <li>• Location of wells and monitoring wells (include protective radii).</li> </ul>	C1	
<input checked="" type="checkbox"/>	<b>6. Sewer Infrastructure: (2.5.4.3F)</b> <ul style="list-style-type: none"> <li>• Size, type and location of sanitary sewage facilities &amp; Engineering data, including any onsite temporary facilities during construction period.</li> </ul>	C1	

<input checked="" type="checkbox"/>	<b>7. Utilities: (2.5.4.3G)</b> <ul style="list-style-type: none"> <li>The size, type and location of all above &amp; below ground utilities;</li> <li>Size type and location of generator pads, transformers and other fixtures.</li> </ul>	C1	
<input checked="" type="checkbox"/>	<b>8. Solid Waste Facilities: (2.5.4.3H)</b> <ul style="list-style-type: none"> <li>The size, type and location of solid waste facilities.</li> </ul>	C1	
<input type="checkbox"/>	<b>9. Storm water Management: (2.5.4.3I)</b> <ul style="list-style-type: none"> <li>The location, elevation and layout of all storm-water drainage.</li> <li>The location of onsite snow storage areas and/or proposed off-site snow removal provisions.</li> <li>Location and containment measures for any salt storage facilities</li> <li>Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures.</li> </ul>		Waiver
<input type="checkbox"/>	<b>10. Outdoor Lighting: (2.5.4.3J)</b> <ul style="list-style-type: none"> <li>Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan.</li> </ul>		Waiver
<input type="checkbox"/>	<b>11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)</b>		Waiver
<input type="checkbox"/>	<b>12. Landscaping: (2.5.4.3K)</b> <ul style="list-style-type: none"> <li>Identify all undisturbed area, existing vegetation and that which is to be retained;</li> <li>Location of any irrigation system and water source.</li> </ul>		Waiver
<input checked="" type="checkbox"/>	<b>13. Contours and Elevation: (2.5.4.3L)</b> <ul style="list-style-type: none"> <li>Existing/Proposed contours (2 foot minimum) and finished grade elevations.</li> </ul>	C1	
<input checked="" type="checkbox"/>	<b>14. Open Space: (2.5.4.3M)</b> <ul style="list-style-type: none"> <li>Type, extent and location of all existing/proposed open space.</li> </ul>	C2, Note 4	
<input checked="" type="checkbox"/>	<b>15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)</b>	C1, Notes	
<input checked="" type="checkbox"/>	<b>16. Character/Civic District (All following information shall be included): (2.5.4.3P)</b> <ul style="list-style-type: none"> <li>Applicable Building Height (10.5A21.20 &amp; 10.5A43.30);</li> <li>Applicable Special Requirements (10.5A21.30);</li> <li>Proposed building form/type (10.5A43);</li> <li>Proposed community space (10.5A46).</li> </ul>	Architect Plans	
<input checked="" type="checkbox"/>	<b>17. Special Flood Hazard Areas (2.5.4.3Q)</b> <ul style="list-style-type: none"> <li>The proposed development is consistent with the need to minimize flood damage;</li> <li>All public utilities and facilities are located and construction to minimize or eliminate flood damage;</li> <li>Adequate drainage is provided so as to reduce exposure to flood hazards.</li> </ul>	C1, Note 3	



**Other Required Information**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <b>(3.2.1-2)</b>		N/A
<input type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. <b>(7.1)</b>		Waiver
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. <b>(7.3.1)</b>		
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. <b>(7.4)</b>		Waiver
<input type="checkbox"/>	Inspection and Maintenance Plan <b>(7.6.5)</b>		

**Final Site Plan Approval Required Information**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>• Waivers;</li> <li>• Driveway permits;</li> <li>• Special exceptions;</li> <li>• Variances granted;</li> <li>• Easements;</li> <li>• Licenses.</li> </ul> <b>(2.5.3.2A)</b>		
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>• Calculations relating to stormwater runoff;</li> <li>• Information on composition and quantity of water demand and wastewater generated;</li> <li>• Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>• Estimates of traffic generation and counts pre- and post-construction;</li> <li>• Estimates of noise generation;</li> <li>• A Stormwater Management and Erosion Control Plan;</li> <li>• Endangered species and archaeological / historical studies;</li> <li>• Wetland and water body (coastal and inland) delineations;</li> <li>• Environmental impact studies.</li> </ul> <b>(2.5.3.2B)</b>		Waiver
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. <b>(2.5.3.2D)</b>		N/A

**Final Site Plan Approval Required Information**

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. <b>(2.5.3.2E)</b>		N/A
<input type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." <b>(2.5.4.2E)</b>		N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. <b>(2.5.4.2F)</b>		N/A
<input type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." <b>(2.13.3)</b>		N/A

Applicant's Signature: \_\_\_\_\_



Date: \_\_\_\_\_

4/19/24

**Letter of Authorization**

Friends of Lafayette House, 400 Little Harbor Road, Suite 1104, Portsmouth, NH 03801, owner of property located in Portsmouth, NH, known as Tax Map 230, Lot 23A, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, and Bosen & Associates, 266 Middle Street, Portsmouth, NH 03801, to act on my behalf concerning the previously mentioned property. The parcel is located at 413 Lafayette Road in Portsmouth, NH.

We hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

\_\_\_\_\_  
Witness

*Melanie May*  
\_\_\_\_\_  
Friends of Lafayette House

*12/20/23*  
\_\_\_\_\_  
Date



Ganz Law Office

Box 62

*Cathy Ann Tracy*

LCHIP	ROA474216	25.00
TRANSFER TAX	RO093549	2,884.00
RECORDING		14.00
SURCHARGE		2.00

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS that **Community Home Solutions, Inc., a New Hampshire corporation**, of 14 New Zealand Road, Seabrook, New Hampshire 03874, for consideration paid, grant to **Friends of Lafayette House, a New Hampshire non-profit corporation**, with a mailing address of PO Box 4545, Portsmouth, New Hampshire 03802, with warranty covenants, the following:

A certain parcel of land, together with the buildings and improvements thereon, situate in Portsmouth, County of Rockingham and State of New Hampshire, identified as Lot 2 on subdivision plan entitled "Plan of Land of J. Philip McCaffery for Great Bay School and Training Center, by Richard P. Millette & Associates", dated December 1981, with Revision I dated January 7, 1982, and recorded in the Rockingham County Registry of Deeds as Plan No. D- 10590 (the "Premises"), as more particularly bounded and described as follows:

Beginning at a point which is 155 feet distant from the Southwest corner of land now or formerly of Lester A. and Priscilla M. Pettis, on a bearing S 79° 23' 39" E from Lafayette Road and from said point of beginning, and being at the Southerly side of Lot 3 on aforesaid plan; thence running S 79° 23' 39" E a distance of 154.32 feet to a point at land now or formerly of Church of Jesus Christ of Latter Day Saints; thence running South by said Church land S 22° 05' 21" W a distance of 179.22 feet to land now or formerly of the City of Portsmouth; thence running S 88° 21' 21"W a distance of 183.14 feet to Lot 1 on said Plan; thence running N 21° 15' 21" E a distance of 187.72 feet to a point at a right of way in common of fifty (50) feet in width; thence running S 79° 23' 39" E a distance of twenty (20) feet to a point; thence running N 21° 15' 21" E, a distance of 30.53 feet to the point of beginning.

There is granted herewith a fifty (50) foot easement right of way as shown on said Plan, extending from Lot 2 to Lafayette Road. This right of way shall run with the land, for all purposes of vehicular and pedestrian passage, for the benefit of Lot 1, Lot 2 and Lot 3 on said Plan, and also for the benefit of land abutting this right of way to the North, now or formerly owned by Lester A. Pettis and Priscilla M. Pettis.

Premises are conveyed subject to the terms of an Option Agreement, a Notice of which is recorded in Rockingham County Registry of Deeds at Book 5879, Page 1258.

Said conveyance is subject to the mortgage to the Newburyport Five Cents Savings Bank dated December 14, 2017 and recorded at Book 5879, Page 120, the Assignment of Rents to the Newburyport Five Cents Savings Bank dated December 14, 2017 and recorded at Book 5879, Page 1247 and a UCC-1 Financing Statement dated December 14, 2017 and recorded at Book 5888, Page 630.

The grantee herein has assumed the financial obligations to Newburyport Five Cents Savings Bank.

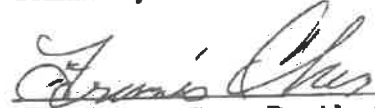
Subject to all rights, restrictions and easements of record.

This is not homestead property of Grantor.

Meaning and intending to describe the same premises conveyed to Grantor by deed of Great Bay Services, Inc. dated December 14, 2017 and recorded in the Rockingham County Registry of Deeds at Book 5879, Page 1225.

Executed this 10th day of December, 2019.

**Community Home Solutions, Inc.**



By Francis G. Chase, President

Witness

**STATE OF NEW HAMPSHIRE  
ROCKINGHAM, SS.**

**December 10, 2019**

Then appeared the above-named **Francis G. Chase**, duly authorized **President of Community Home Solutions, Inc.**, known to me or satisfactorily proven through proof of identification (i.e. his driver's license) to be the individual who executed the foregoing instrument, and acknowledged same to be his voluntary act and deed.

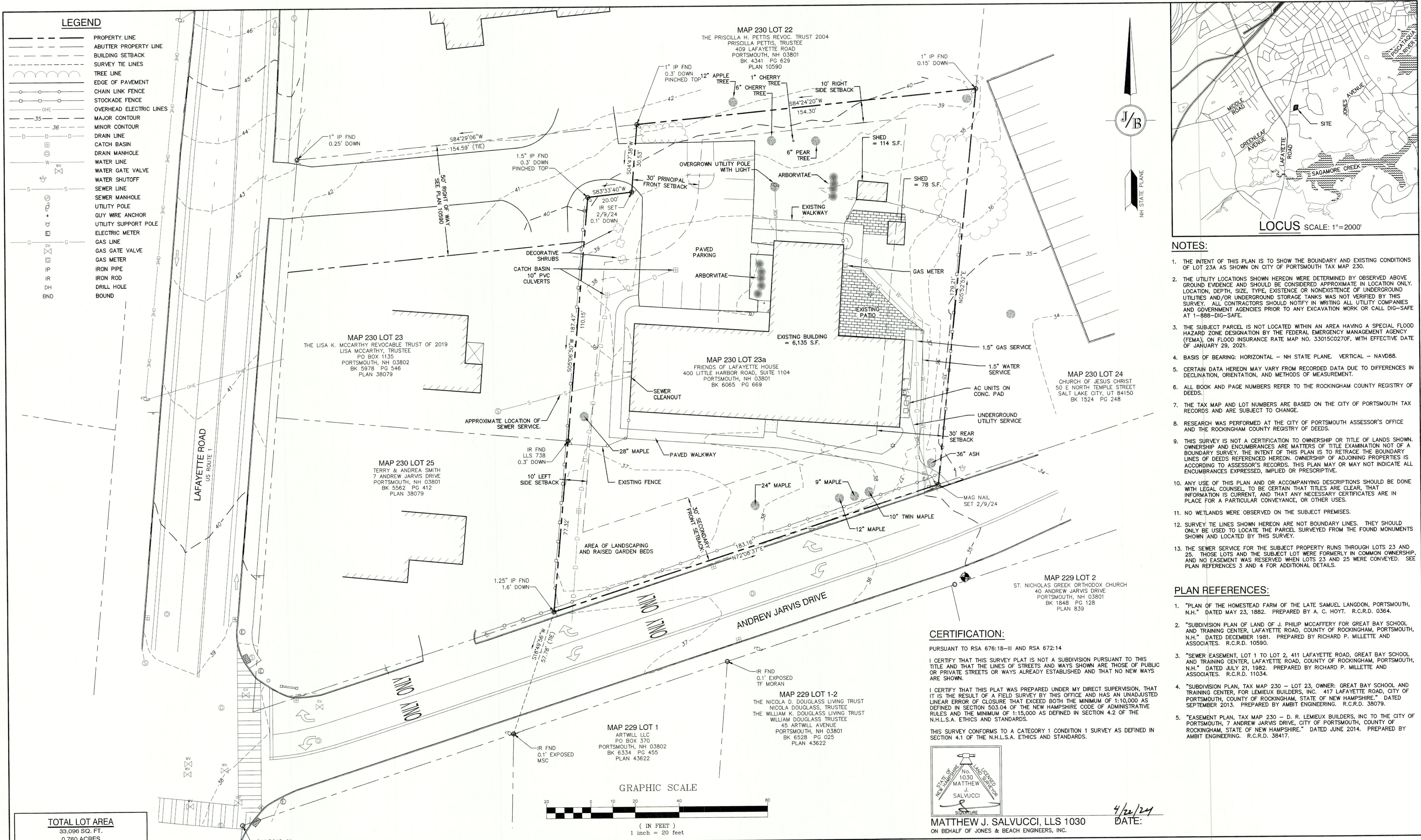
Before me,

**Mary Keohan Ganz, Justice of the Peace  
State of New Hampshire  
My Commission Expires: August 28, 2024**



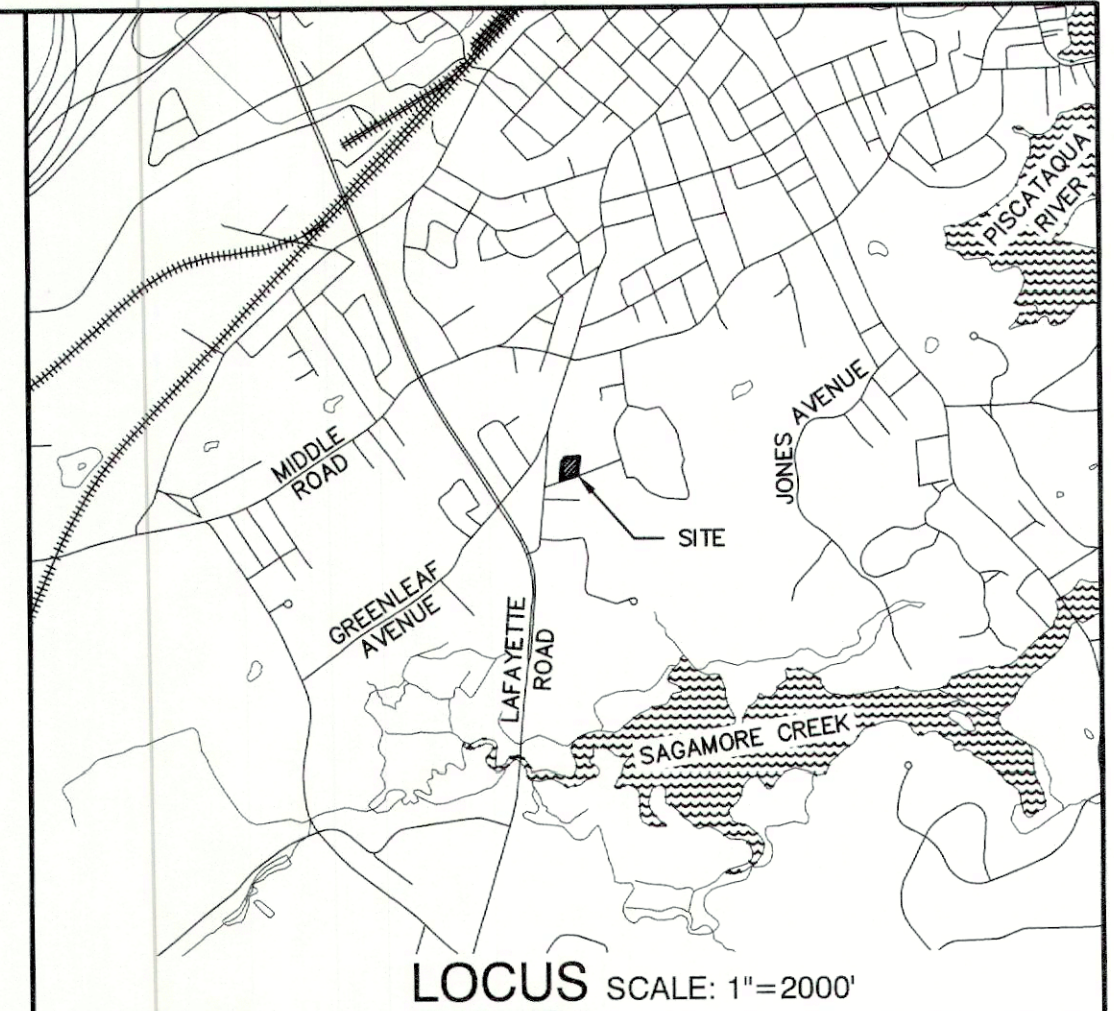
**Mary Keohan Ganz - Justice of the Peace  
My Commission Expires: 08/28/2024**

#8784-A/BF



**LEGEND**

- PROPERTY LINE
- ABUTTER PROPERTY LINE
- BUILDING SETBACK
- SURVEY TIE LINES
- TREE LINE
- EDGE OF PAVEMENT
- CHAIN LINK FENCE
- STOCKADE FENCE
- OVERHEAD ELECTRIC LINES
- MAJOR CONTOUR
- MINOR CONTOUR
- DRAIN LINE
- CATCH BASIN
- DRAIN MANHOLE
- WATER LINE
- WATER GATE VALVE
- WATER SHUTOFF
- SEWER LINE
- SEWER MANHOLE
- UTILITY POLE
- GUY WIRE ANCHOR
- UTILITY SUPPORT POLE
- ELECTRIC METER
- GAS LINE
- GAS GATE VALVE
- GAS METER
- IRON PIPE
- IRON ROD
- DRILL HOLE
- BOUND



- NOTES:**
1. THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS OF LOT 23a AS SHOWN ON CITY OF PORTSMOUTH TAX MAP 230.
  2. THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
  3. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0270F, WITH EFFECTIVE DATE OF JANUARY 29, 2021.
  4. BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
  5. CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
  6. ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  7. THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
  8. RESEARCH WAS PERFORMED AT THE CITY OF PORTSMOUTH ASSESSOR'S OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  9. THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
  10. ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
  11. NO WETLANDS WERE OBSERVED ON THE SUBJECT PREMISES.
  12. SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
  13. THE SEWER SERVICE FOR THE SUBJECT PROPERTY RUNS THROUGH LOTS 23 AND 25. THOSE LOTS AND THE SUBJECT LOT WERE FORMERLY IN COMMON OWNERSHIP, AND NO EASEMENT WAS RESERVED WHEN LOTS 23 AND 25 WERE CONVEYED. SEE PLAN REFERENCES 3 AND 4 FOR ADDITIONAL DETAILS.

- PLAN REFERENCES:**
1. "PLAN OF THE HOMESTEAD FARM OF THE LATE SAMUEL LANGDON, PORTSMOUTH, N.H.," DATED MAY 23, 1882. PREPARED BY A. C. HOYT. R.C.R.D. 0364.
  2. "SUBDIVISION PLAN OF LAND OF J. PHILIP MCCAFFERY FOR GREAT BAY SCHOOL AND TRAINING CENTER, LAFAYETTE ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H.," DATED DECEMBER 1981. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 10590.
  3. "SEWER EASEMENT, LOT 1 TO LOT 2, 411 LAFAYETTE ROAD, GREAT BAY SCHOOL AND TRAINING CENTER, FOR LEMIEUX BUILDERS, INC., 417 LAFAYETTE ROAD, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE," DATED SEPTEMBER 2013. PREPARED BY AMBIT ENGINEERING. R.C.R.D. 38079.
  4. "SUBDIVISION PLAN, TAX MAP 230 - LOT 23, OWNER: GREAT BAY SCHOOL AND TRAINING CENTER, FOR LEMIEUX BUILDERS, INC., 417 LAFAYETTE ROAD, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE," DATED JUNE 2014. PREPARED BY AMBIT ENGINEERING. R.C.R.D. 38417.

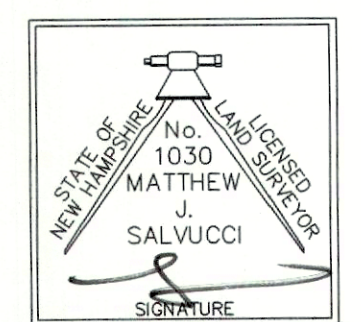
**CERTIFICATION:**

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

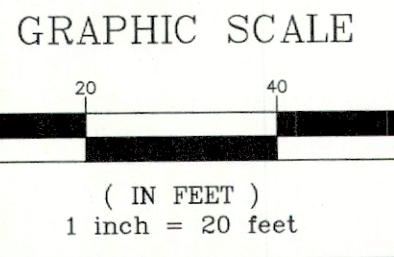
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

4/22/24  
DATE:

**TOTAL LOT AREA**  
33,096 SQ. FT.  
0.760 ACRES



Design: JAC	Draft: KDR	Date: 2/28/24
Checked: JAC	Scale: 1" = 20'	Project No.: 23036
Drawing Name: 23036-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
0	2/28/24	ADDING BUILDING SETBACKS	KDR

Designed and Produced in NH

**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	<b>BUILDING ADDITION 413 LAFAYETTE ROAD, PORTSMOUTH, NH</b>
Owner of Record:	<b>FRIENDS OF LAFAYETTE HOUSE 400 LITTLE HARBOR ROAD, SUITE 1104, PORTSMOUTH, NH 03801</b>

DRAWING No.  
**C1**  
SHEET 1 OF 2  
JBE PROJECT NO. 23036

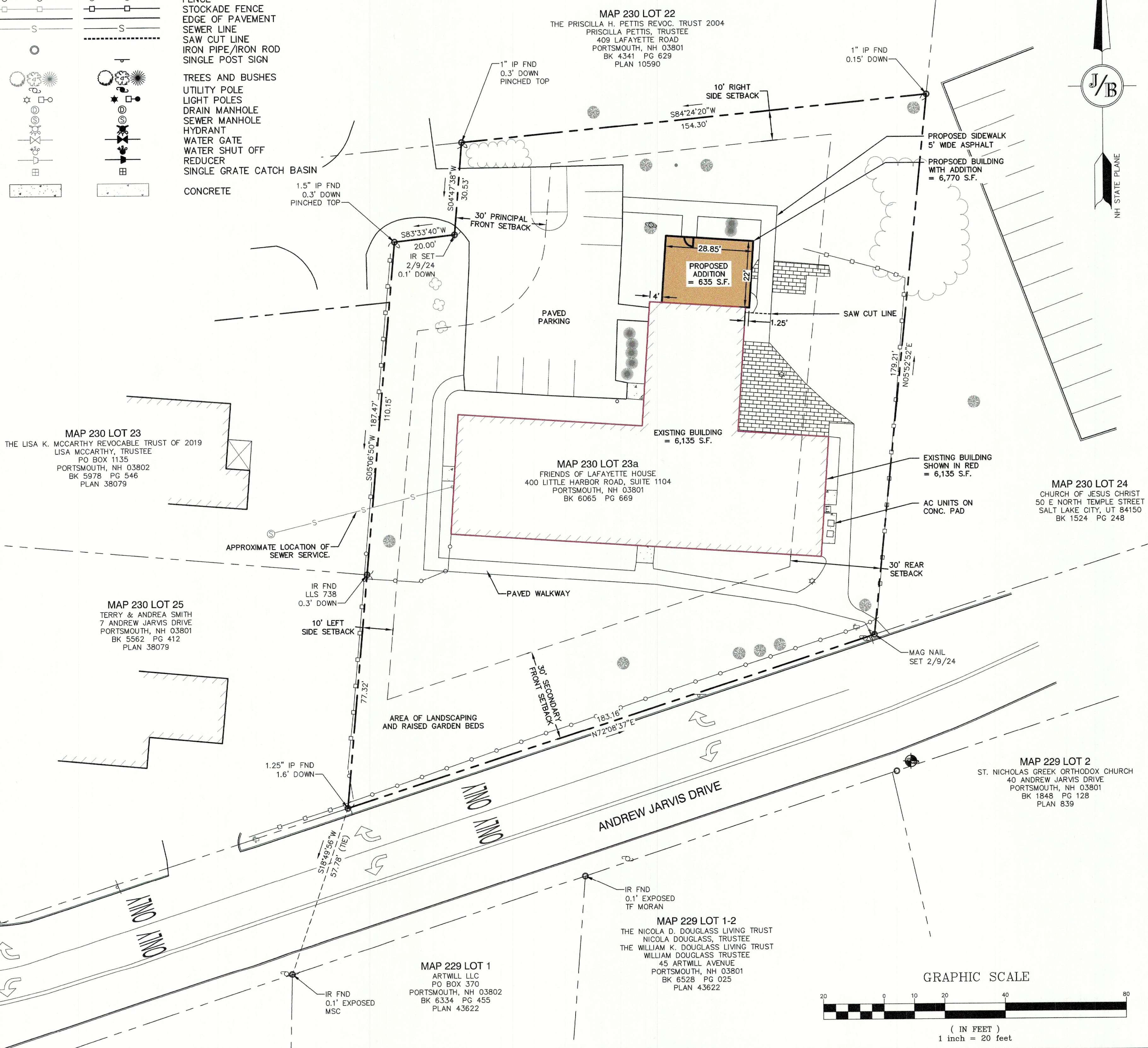
**GENERAL LEGEND**

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINES
		SETBACK LINES
		STREAM CHANNEL
		TREE LINE
		FENCE
		STOCKADE FENCE
		EDGE OF PAVEMENT
		SEWER LINE
		SAW CUT LINE
		IRON PIPE/IRON ROD
		SINGLE POST SIGN
		TREES AND BUSHES
		UTILITY POLE
		LIGHT POLES
		DRAIN MANHOLE
		SEWER MANHOLE
		HYDRANT
		WATER GATE
		WATER SHUT OFF
		REDUCER
		SINGLE GRATE CATCH BASIN
		CONCRETE

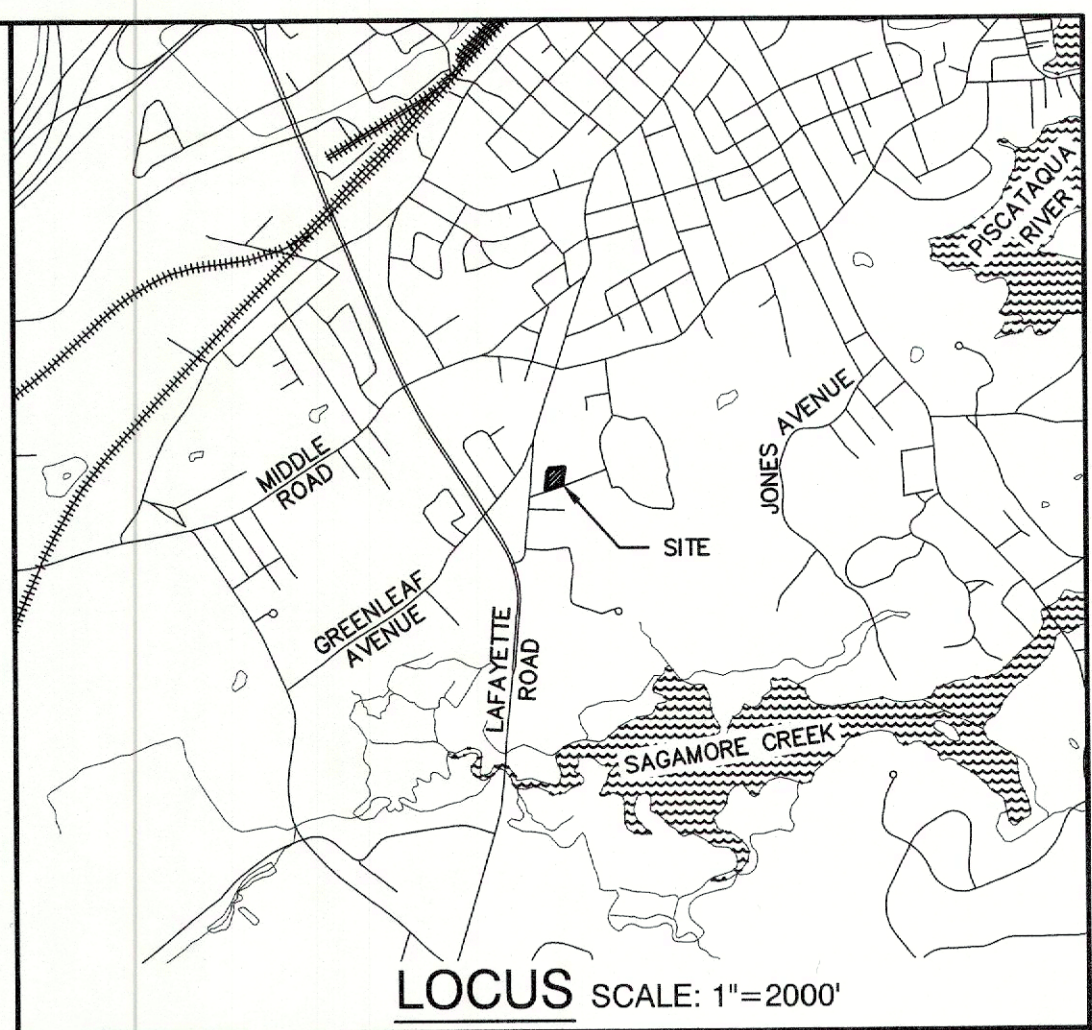
PROPERTY LINES  
SETBACK LINES  
STREAM CHANNEL  
TREE LINE  
FENCE  
STOCKADE FENCE  
EDGE OF PAVEMENT  
SEWER LINE  
SAW CUT LINE  
IRON PIPE/IRON ROD  
SINGLE POST SIGN

TREES AND BUSHES  
UTILITY POLE  
LIGHT POLES  
DRAIN MANHOLE  
SEWER MANHOLE  
HYDRANT  
WATER GATE  
WATER SHUT OFF  
REDUCER  
SINGLE GRATE CATCH BASIN

CONCRETE



EXISTING & PROPOSED CONDITIONS (ZONE-SRB)			
LAND USE	EXISTING	PROPOSED	PERMITTED/REQUIRED
LOT AREA (S.F.)	33,096	33,096	15,000 MIN.
STREET FRONTAGE (ANDREW JARVIS DRIVE)(FT.)	183	183	100 MIN.
LOT DEPTH (FT.)	173	173	100 MIN.
PRINCIPAL FRONT YARD (FT.)	59'	59'	30 MIN.
SECONDARY FRONT YARD (FT.)	30'	30'	30' MIN.
LEFT YARD (FT.)	58.7'	37.6'	10 MIN.
RIGHT YARD (FT.)	25.7'	25.7'	10 MIN.
REAR YARD (FT.)	19.9'	19.9'	30 MIN.
HEIGHT (FT.)	18	18	35 MAX.
BUILDING COVERAGE (%)	19	20.4	20 MAX.
OPEN SPACE COVERAGE (%)	61	58.9	40 MIN.
PARKING	8	8	7 MIN.



**SITE NOTES:**

- THE INTENT OF THIS PLAN IS TO ADD AN ADDITION FOR A CARETAKER UNIT.
- PARKING CALCULATIONS (ARTICLE 11, SECTION 10.1112.321.2 - ASSISTED LIVING FACILITY/RESIDENTIAL CARE FACILITY):  
REQUIREMENT: 5 PARKING SPACES PER BED OR RESIDENT  
13 TOTAL ROOMS EXISTING \* .5 SPACES PER BED = 6.5 ≈ 7  
7 PARKING SPACES REQUIRED  
8 PARKING SPACES PROVIDED
- THE FOLLOWING VARIANCES HAVE BEEN APPROVED BY THE ZONING BOARD OF ADJUSTMENT ON: MARCH 19, 2024  
A) SECTION 10.331 - TO EXTEND, ENLARGE, OR CHANGE THE LAWFUL NONCONFORMING USE WITHOUT CONFORMING TO THE ORDINANCE.  
B) SECTION 10.334 - TO EXTEND THE NONCONFORMING USE TO A REMAINING PORTION OF THE LAND.
- EXISTING IMPERVIOUS CALCULATIONS:  
EXISTING BUILDING = 6,135 S.F. (18.5%)  
PATIO, WALKWAY, CONCRETE = 2,746 S.F. (8.3%)  
PAVED SURFACES = 3,939 S.F. (11.9%)  
SHEDS = 192 S.F.  
TOTAL = 13,011 S.F. (39.3%)  
PROPOSED IMPERVIOUS CALCULATIONS:  
PROPOSED BUILDING FOOTPRINT = 6,770 S.F. (20.4%)  
PATIO, WALKWAY, CONCRETE = 2,898 S.F. (8.8%)  
PAVED SURFACES = 3,939 S.F. (11.9%)  
TOTAL = 13,607 S.F. (41.1%)
- THE FACILITY SHALL BE LIMITED TO 12 CARE RESIDENTS OR RESIDENTS UNDER CARE.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE SITE IS NOT LOCATED WITHIN A WELLHEAD PROTECTION AREA OR AQUIFER PROTECTION AREA.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270FB, DATED JANUARY 29, 2021.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.

**CERTIFICATION:**

PURSUANT TO RSA 676:18-III AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

4/22/24  
DATE:

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

TOTAL LOT AREA  
33,096 SQ. FT.  
0.760 ACRES

Design: JAC	Draft: KDR	Date: 2/28/24
Checked: JAC	Scale: 1" = 20'	Project No.: 23036
Drawing Name: 23036-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
0	2/28/24	ADDING BUILDING SETBACKS	KDR

Designed and Produced in NH

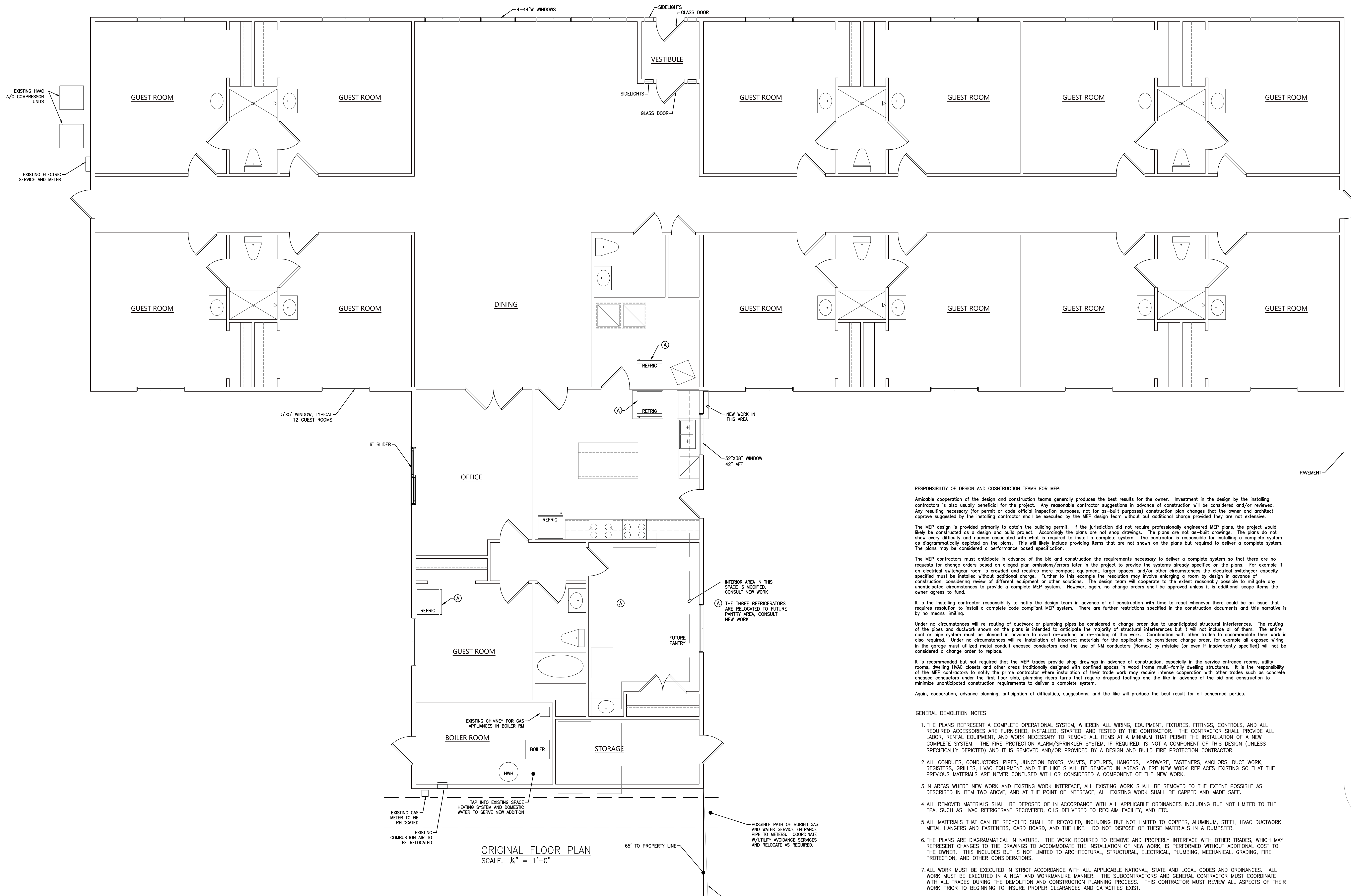
**J/B Jones & Beach Engineers, Inc.**  
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885  
603-772-4746  
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>SITE PLAN</b> MAP 230, LOT 23A
Project:	<b>BUILDING ADDITION</b> 413 LAFAYETTE ROAD, PORTSMOUTH, NH
Owner of Record:	FRIENDS OF LAFAYETTE HOUSE 400 LITTLE HARBOR ROAD, SUITE 1104, PORTSMOUTH, NH 03801

DRAWING No. **C2**

SHEET 2 OF 2  
JBE PROJECT NO. 23036



ORIGINAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**RESPONSIBILITY OF DESIGN AND CONSTRUCTION TEAMS FOR MEP:**

Amicable cooperation of the design and construction teams generally produces the best results for the owner. Investment in the design by the installing contractors is also usually beneficial for the project. Any reasonable contractor suggestions in advance of construction will be considered and/or reviewed. Any resulting necessary (for permit or code official inspection purposes, not for as-built purposes) construction plan changes that the owner and architect approve suggested by the installing contractor shall be executed by the MEP design team without additional charge provided they are not extensive.

The MEP design is provided primarily to obtain the building permit. If the jurisdiction did not require professionally engineered MEP plans, the project would likely be constructed as a design and build project. Accordingly, the plans are not shop drawings. The plans are not as-built drawings. The plans do not show every difficulty and nuance associated with what is required to install a complete system. The contractor is responsible for installing a complete system as diagrammatically depicted on the plans. This will likely include providing items that are not shown on the plans but required to deliver a complete system. The plans may be considered a performance based specification.

The MEP contractors must anticipate in advance of the bid and construction the requirements necessary to deliver a complete system so that there are no requests for change orders based on alleged plan omissions/errors later in the project to provide the systems already specified on the plans. For example if an electrical switchgear room is crowded and requires more compact equipment, larger spaces, and/or other circumstances the electrical switchgear capacity specified must be installed without additional charge. Further to this example the resolution may involve enlarging a room by design in advance of construction, considering review of different equipment or other solutions. The design team will cooperate to the extent reasonably possible to mitigate any unanticipated circumstances to provide a complete MEP system. However, again, no change orders shall be approved unless it is additional scope items the owner agrees to fund.

It is the installing contractor responsibility to notify the design team in advance of all construction with time to react whenever there could be an issue that requires resolution to install a complete code compliant MEP system. There are further restrictions specified in the construction documents and this narrative by no means limiting.

Under no circumstances will re-routing of ductwork or plumbing pipes be considered a change order due to unanticipated structural interferences. The routing of the pipes and ductwork shown on the plans is intended to anticipate the majority of structural interferences but it will not include all of them. The entire duct or pipe system must be planned in advance to avoid re-working or re-routing of this work. Coordination with other trades to accommodate their work is also required. Under no circumstances will re-installation of incorrect materials for the application be considered change order, for example all exposed wiring in the garage must utilize metal conduit enclosed conductors and the use of NM conductors (Romex) by mistake (or even if inadvertently specified) will not be considered a change order to replace.

It is recommended but not required that the MEP trades provide shop drawings in advance of construction, especially in the service entrance rooms, utility rooms, dwelling HVAC closets and other areas traditionally designed with confined spaces in wood frame multi-family dwelling structures. It is the responsibility of the MEP contractors to notify the prime contractor where installation of their trade work may require intense cooperation with other trades such as concrete enclosed conductors under the first floor slab, plumbing risers turns that require dropped footings and the like in advance of the bid and construction to minimize unanticipated construction requirements to deliver a complete system.

Again, cooperation, advance planning, anticipation of difficulties, suggestions, and the like will produce the best result for all concerned parties.

- GENERAL DEMOLITION NOTES**
1. THE PLANS REPRESENT A COMPLETE OPERATIONAL SYSTEM, WHEREIN ALL WIRING, EQUIPMENT, FIXTURES, FITTINGS, CONTROLS, AND ALL REQUIRED ACCESSORIES ARE FURNISHED, INSTALLED, STARTED, AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL LABOR, RENTAL EQUIPMENT, AND WORK NECESSARY TO REMOVE ALL ITEMS AT A MINIMUM THAT PERMIT THE INSTALLATION OF A NEW COMPLETE SYSTEM. THE FIRE PROTECTION ALARM/SPRINKLER SYSTEM, IF REQUIRED, IS NOT A COMPONENT OF THIS DESIGN (UNLESS SPECIFICALLY DEPICTED) AND IT IS REMOVED BY A DESIGN AND BUILD FIRE PROTECTION CONTRACTOR.
  2. ALL CONDUITS, CONDUCTORS, PIPES, JUNCTION BOXES, VALVES, FIXTURES, HANGERS, HARDWARE, FASTENERS, ANCHORS, DUCT WORK, REGISTER, GRILLES, HVAC EQUIPMENT AND THE LIKE SHALL BE REMOVED IN AREAS WHERE NEW WORK REPLACES EXISTING SO THAT THE PREVIOUS MATERIALS ARE NEVER CONFUSED WITH OR CONSIDERED A COMPONENT OF THE NEW WORK.
  3. IN AREAS WHERE NEW WORK AND EXISTING WORK INTERFACE, ALL EXISTING WORK SHALL BE REMOVED TO THE EXTENT POSSIBLE AS DESCRIBED IN ITEM TWO ABOVE, AND AT THE POINT OF INTERFACE, ALL EXISTING WORK SHALL BE CAPPED AND MADE SAFE.
  4. ALL REMOVED MATERIALS SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES INCLUDING BUT NOT LIMITED TO THE EPA, SUCH AS HVAC REFRIGERANT RECOVERED, OILS DELIVERED TO RECLAIM FACILITY, AND ETC.
  5. ALL MATERIALS THAT CAN BE RECYCLED SHALL BE RECYCLED, INCLUDING BUT NOT LIMITED TO COPPER, ALUMINUM, STEEL, HVAC DUCTWORK, METAL HANGERS AND FASTENERS, CARD BOARD, AND THE LIKE. DO NOT DISPOSE OF THESE MATERIALS IN A DUMPSTER.
  6. THE PLANS ARE DIAGRAMMATICAL IN NATURE. THE WORK REQUIRED TO REMOVE AND PROPERLY INTERFACE WITH OTHER TRADES, WHICH MAY REPRESENT CHANGES TO THE DRAWINGS TO ACCOMMODATE THE INSTALLATION OF NEW WORK, IS PERFORMED WITHOUT ADDITIONAL COST TO THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, GRADING, FIRE PROTECTION, AND OTHER CONSIDERATIONS.
  7. ALL WORK MUST BE EXECUTED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES. ALL WORK MUST BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. THE SUBCONTRACTORS AND GENERAL CONTRACTOR MUST COORDINATE WITH ALL TRADES DURING THE DEMOLITION AND CONSTRUCTION PLANNING PROCESS. THIS CONTRACTOR MUST REVIEW ALL ASPECTS OF THEIR WORK PRIOR TO BEGINNING TO INSURE PROPER CLEARANCES AND CAPACITIES EXIST.
  8. THE CONTRACTOR MUST BE LICENSED AND INSURED IN THE COUNTY AND STATE AS APPLICABLE. SUBMIT TO THE OWNER AS DIRECTED PROOF OF INSURANCE INCLUSIVE OF LIMITS OF LIABILITY AND DEDUCTIBLE INFORMATION. ALL SUBCONTRACTORS OF SUBCONTRACTORS MUST BE LICENSED AND INSURED TOO.
  9. SINCE THE PLANS ARE DIAGRAMMATICAL IN NATURE FOR CLARITY PURPOSES, THE CONTRACTOR MUST SUBMIT A SHOP DRAWING WHERE DEMOLITION IS COMPLEX OR COULD AFFECT OTHER ASPECTS OF THE WORK OR THAT MAY INCLUDE SUBSTANTIAL DIFFERENCES FROM THE PLANS, INCLUSIVE OF CALCULATIONS AND OTHER ITEMS TO THE OWNER PRIOR TO COMMENCING WORK. THE SHOP DRAWINGS MUST INCLUDE EXACT LOCATIONS, SPECIAL FITTINGS, AND VERIFICATION THAT THIS INFORMATION IS ACCURATE.
  10. THE CONTRACTOR AND ALL SUBCONTRACTORS WARRANT THAT THEY HAVE VISITED THE PROJECT SITE, REVIEWED ALL OF THE CONTRACT DOCUMENTS, AND ARE OTHERWISE FAMILIAR WITH THE REQUIREMENTS NECESSARY TO COMPLETELY EXECUTE THE WORK REQUIRED TO COMPLY WITH THE DIAGRAMMATICAL WORK DEPICTED HEREIN. FURTHER, THE CONTRACTOR WARRANTS THAT, IN POSSESSING A THOROUGH KNOWLEDGE OF THE CODE AND INDUSTRY STANDARD CONSTRUCTION PRACTICES, THE BID FOR PERFORMING THE WORK WILL CONTAIN ALLOWANCES FOR NORMAL DIFFICULTIES EXPERIENCED DURING THE CONSTRUCTION OF A BUILDING OF THIS TYPE. MODIFICATIONS TO THE CONTRACT, WHICH DO NOT ADD VALUE TO THE PROJECT, WILL NOT BE CONSIDERED VALID.
  11. THIS DESIGN IS NON TRANSFERABLE. IT IS INTELLECTUAL PROPERTY WITH TRADE SECRETS TO BE UTILIZED ON THIS PROJECT ONLY.
  12. THE PLANS INDICATE QUANTITIES ON THE PLANS TO ENHANCE THE UNDERSTANDING OF THE DESIGN CONCEPT. THE QUANTITIES ARE RELIABLE, BUT NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CORRECT QUANTITIES OF ITEMS REQUIRED TO REMOVE AND DELIVER A COMPLETE FUNCTIONING BUILDING.
  13. THIS PROJECT MAY HAVE AREAS OF AN UNUSUAL INTENSE MEP COORDINATION REQUIREMENT, AND IT IS THE RESPONSIBILITY OF THE MEP TRADES TO INSURE THAT ALL ASPECTS OF THE WORK ARE PROPERLY REMOVED AND PROVIDED TO DELIVER A COMPLETE AND FUNCTIONING MEP SYSTEM.
  14. WHERE THERE EXISTS A DISCREPANCY BETWEEN THE PLANS, DOCUMENTS, OR CODE THE CONTRACTOR SHALL PROVIDE FOR THE MOST EXPENSIVE METHOD AND ADVISE THE ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK.

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE  
PORTSMOUTH, NEW HAMPSHIRE

ARCHITECT:  
SCOT ENGINEERING

ENGINEER:  
JOSHUA W. CHAPMAN P.E., LEED AP, PRINCIPAL

DESIGNED BY: RSM/JWC  
DRAWN BY: LFG/DMM/C  
SCALE: AS NOTED

DATE: 10/10/2022  
CHECKED BY: RSM/JWC

FLOOR PLAN  
SHEET IDENTIFICATION  
A-1

THIS DIAGRAMMATIC DESIGN IS NON TRANSFERABLE, AND REPRESENTS A COMPLETE SYSTEM.

IGSHPA  
International Ground Source Heat Pump Association

SCOT ENGINEERING  
8000 BURNING TREE COURSE SUITE 100 FARMERS STATION VA 23039-2723  
PH: 804.627.0477 FAX: 804.627.1425 email: info@scoteng.com

JOSHUA W. CHAPMAN P.E., LEED AP, PRINCIPAL

NEW HAMPSHIRE - REGISTERED PROFESSIONAL ENGINEER  
JOSHUA W. CHAPMAN  
No. 02814

NEW HAMPSHIRE - REGISTERED PROFESSIONAL ARCHITECT  
SCOT ENGINEERING  
No. 00000

AMERICAN SOCIETY OF MECHANICAL ENGINEERS  
MEMBER

AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS  
MEMBER

AMERICAN SOCIETY OF MECHANICAL ENGINEERS  
MEMBER

AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS  
MEMBER

AMERICAN SOCIETY OF MECHANICAL ENGINEERS  
MEMBER

AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS  
MEMBER

AMERICAN SOCIETY OF MECHANICAL ENGINEERS  
MEMBER

AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS  
MEMBER

AMERICAN SOCIETY OF MECHANICAL ENGINEERS  
MEMBER

AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS  
MEMBER

AMERICAN SOCIETY OF MECHANICAL ENGINEERS  
MEMBER

AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS  
MEMBER







GENERAL DEMOLITION NOTES

- THE PLANS REPRESENT A COMPLETE OPERATIONAL SYSTEM, WHEREIN ALL WIRING, EQUIPMENT, FIXTURES, FITTINGS, CONTROLS, AND ALL REQUIRED ACCESSORIES ARE FURNISHED, INSTALLED, STARTED, AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL LABOR, RENTAL EQUIPMENT, AND WORK NECESSARY TO REMOVE ALL ITEMS AT A MINIMUM THAT PERMIT THE INSTALLATION OF A NEW COMPLETE SYSTEM. THE FIRE PROTECTION ALARM/SPRINKLER SYSTEM, IF REQUIRED, IS NOT A COMPONENT OF THIS DESIGN (UNLESS SPECIFICALLY DEPICTED) AND IT IS REMOVED AND/OR PROVIDED BY A DESIGN AND BUILD FIRE PROTECTION CONTRACTOR.
- ALL CONDUITS, CONDUCTORS, PIPES, JUNCTION BOXES, VALVES, FIXTURES, HANGERS, HARDWARE, FASTENERS, ANCHORS, DUCT WORK, REGISTERS, GRILLES, HVAC EQUIPMENT AND THE LIKE SHALL BE REMOVED IN AREAS WHERE NEW WORK REPLACES EXISTING SO THAT THE PREVIOUS MATERIALS ARE NEVER CONFUSED WITH OR CONSIDERED A COMPONENT OF THE NEW WORK.
- IN AREAS WHERE NEW WORK AND EXISTING WORK INTERFACE, ALL EXISTING WORK SHALL BE REMOVED TO THE EXTENT POSSIBLE AS DESCRIBED IN ITEM TWO ABOVE, AND AT THE POINT OF INTERFACE, ALL EXISTING WORK SHALL BE CAPPED AND MADE SAFE.
- ALL REMOVED MATERIALS SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES INCLUDING BUT NOT LIMITED TO THE EPA, SUCH AS HVAC REFRIGERANT RECOVERED, OILS DELIVERED TO RECLAIM FACILITY, AND ETC.
- ALL MATERIALS THAT CAN BE RECYCLED SHALL BE RECYCLED, INCLUDING BUT NOT LIMITED TO COPPER, ALUMINUM, STEEL, HVAC DUCTWORK, METAL HANGERS AND FASTENERS, CARD BOARD, AND THE LIKE. DO NOT DISPOSE OF THESE MATERIALS IN A DUMPSTER.
- THE PLANS ARE DIAGRAMMATICAL IN NATURE. THE WORK REQUIRED TO REMOVE AND PROPERLY INTERFACE WITH OTHER TRADES, WHICH MAY REPRESENT CHANGES TO THE DRAWINGS TO ACCOMMODATE THE INSTALLATION OF NEW WORK, IS PERFORMED WITHOUT ADDITIONAL COST TO THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, GRADING, FIRE PROTECTION, AND OTHER CONSIDERATIONS.
- ALL WORK MUST BE EXECUTED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES AND ORDINANCES. ALL WORK MUST BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. THE SUBCONTRACTORS AND GENERAL CONTRACTOR MUST COORDINATE WITH ALL TRADES DURING THE DEMOLITION AND CONSTRUCTION PLANNING PROCESS. THIS CONTRACTOR MUST REVIEW ALL ASPECTS OF THEIR WORK PRIOR TO BEGINNING TO INSURE PROPER CLEARANCES AND CAPACITIES EXIST.
- THE CONTRACTOR MUST BE LICENSED AND INSURED IN THE COUNTY AND STATE AS APPLICABLE. SUBMIT TO THE OWNER AS DIRECTED PROOF OF INSURANCE INCLUSIVE OF LIMITS OF LIABILITY AND DEDUCTIBLE INFORMATION. ALL SUBCONTRACTORS OF SUBCONTRACTORS MUST BE LICENSED AND INSURED TOO.
- IF THE PLANS ARE DIAGRAMMATICAL IN NATURE FOR CLARITY PURPOSES, THE CONTRACTOR MUST SUBMIT A SHOP DRAWING WHERE DEMOLITION IN COMPLEX OR COULD AFFECT OTHER ASPECTS OF THE WORK OR THAT MAY INCLUDE SUBSTANTIAL DIFFERENCES FROM THE PLANS, INCLUSIVE OF CALCULATIONS AND OTHER ITEMS TO THE OWNER PRIOR TO COMMENCING WORK. THE SHOP DRAWINGS MUST INCLUDE EXACT LOCATIONS, SPECIAL FITTINGS, AND VERIFICATION THAT THIS INFORMATION IS ACCURATE.
- THE CONTRACTOR AND ALL SUBCONTRACTORS WARRANT THAT THEY HAVE VISITED THE PROJECT SITE, REVIEWED ALL OF THE CONTRACT DOCUMENTS, AND ARE OTHERWISE FAMILIAR WITH THE REQUIREMENTS NECESSARY TO COMPLETELY EXECUTE THE WORK REQUIRED TO COMPLY WITH THE DIAGRAMMATICAL WORK DEPICTED HEREIN. FURTHER, THE CONTRACTOR WARRANTS THAT, IN POSSESSING A THOROUGH KNOWLEDGE OF THE CODE AND INDUSTRY STANDARD CONSTRUCTION PRACTICES, THE BID FOR PERFORMING THE WORK WILL CONTAIN ALLOWANCES FOR NORMAL DIFFICULTIES EXPERIENCED DURING THE CONSTRUCTION OF A BUILDING OF THIS TYPE. MODIFICATIONS TO THE CONTRACT, WHICH DO NOT ADD VALUE TO THE PROJECT, WILL NOT BE CONSIDERED VALID.
- THIS DESIGN IS NON TRANSFERABLE. IT IS INTELLECTUAL PROPERTY WITH TRADE SECRETS TO BE UTILIZED ON THIS PROJECT ONLY.
- THE PLANS INDICATE QUANTITIES ON THE PLANS TO ENHANCE THE UNDERSTANDING OF THE DESIGN CONCEPT. THE QUANTITIES ARE RELIABLE, BUT NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CORRECT QUANTITIES OF ITEMS REQUIRED TO REMOVE AND DELIVER A COMPLETE FUNCTIONING BUILDING.
- THIS PROJECT MAY HAVE AREAS OF AN UNUSUAL INTENSE MEP COORDINATION REQUIREMENT, AND IT IS THE RESPONSIBILITY OF THE MEP TRADES TO INSURE THAT ALL ASPECTS OF THE WORK ARE PROPERLY REMOVED AND PROVIDED TO DELIVER A COMPLETE AND FUNCTIONING MEP SYSTEM.
- WHERE THERE EXISTS A DISCREPANCY BETWEEN THE PLANS, DOCUMENTS, OR CODE THE CONTRACTOR SHALL PROVIDE FOR THE MOST EXPENSIVE METHOD AND ADVISE THE ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK.

RESPONSIBILITY OF DESIGN AND CONSTRUCTION TEAMS:

Amicable cooperation of the design and construction teams generally produces the best results for the owner. Investment in the design by the installing contractors is also usually beneficial for the project. Any reasonable contractor suggestions in advance of construction will be considered and/or reviewed. Any resulting necessary (for permit or code official inspection purposes, not for as-built purposes) construction plan changes that the owner and architect approve suggested by the installing contractor shall be executed by the design team without additional charge provided they are not extensive.

The design is provided primarily to obtain the building permit. If the jurisdiction did not require professionally engineered plans, the project would likely be constructed as a design and build project. Accordingly the plans are not shop drawings. The plans are not as-built drawings. The plans do not show every difficulty and nuance associated with what is required to install a complete system. The contractor is responsible for installing a complete system as diagrammatically depicted on the plans. This will likely include providing items that are not shown on the plans but required to deliver a complete system. The plans may be considered a performance based specification.

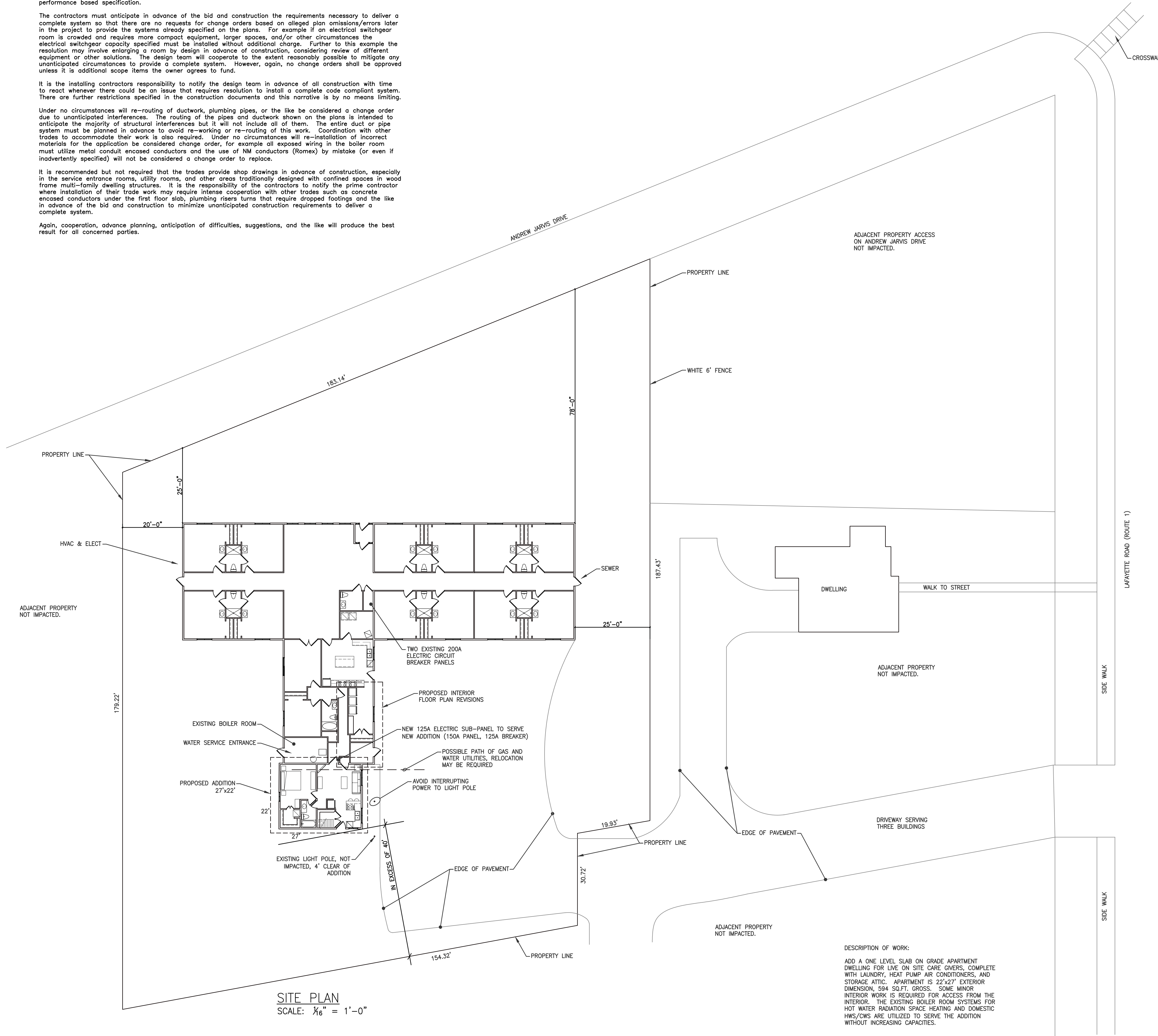
The contractors must anticipate in advance of the bid and construction the requirements necessary to deliver a complete system so that there are no requests for change orders based on alleged plan omissions/errors later in the project to provide the systems already specified on the plans. For example if an electrical switchgear room is crowded and requires more compact equipment, larger spaces, and/or other circumstances the electrical switchgear capacity specified must be installed without additional charge. Further to this example the resolution may involve enlarging a room by design in advance of construction, considering review of different equipment or other solutions. The design team will cooperate to the extent reasonably possible to mitigate any unanticipated circumstances to provide a complete system. However, again, no change orders shall be approved unless it is additional scope items the owner agrees to fund.

It is the installing contractors responsibility to notify the design team in advance of all construction with time to react whenever there could be an issue that requires resolution to install a complete code compliant system. There are further restrictions specified in the construction documents and this narrative is by no means limiting.

Under no circumstances will re-routing of ductwork, plumbing pipes, or the like be considered a change order due to unanticipated interferences. The routing of the pipes and ductwork shown on the plans is intended to anticipate the majority of structural interferences but it will not include all of them. The entire duct or pipe system must be planned in advance to avoid re-working or re-routing of this work. Coordination with other trades to accommodate their work is also required. Under no circumstances will re-installation of incorrect materials for the application be considered change order, for example all exposed wiring in the boiler room must utilize metal conduit enclosed conductors and the use of NM conductors (Romex) by mistake (or even if inadvertently specified) will not be considered a change order to replace.

It is recommended but not required that the trades provide shop drawings in advance of construction, especially in the service entrance rooms, utility rooms, and other areas traditionally designed with confined spaces in wood frame multi-family dwelling structures. It is the responsibility of the contractors to notify the prime contractor where installation of their trade work may require intense cooperation with other trades such as concrete enclosed conductors under the first floor slab, plumbing risers turns that require dropped footings and the like in advance of the bid and construction to minimize unanticipated construction requirements to deliver a complete system.

Again, cooperation, advance planning, anticipation of difficulties, suggestions, and the like will produce the best result for all concerned parties.

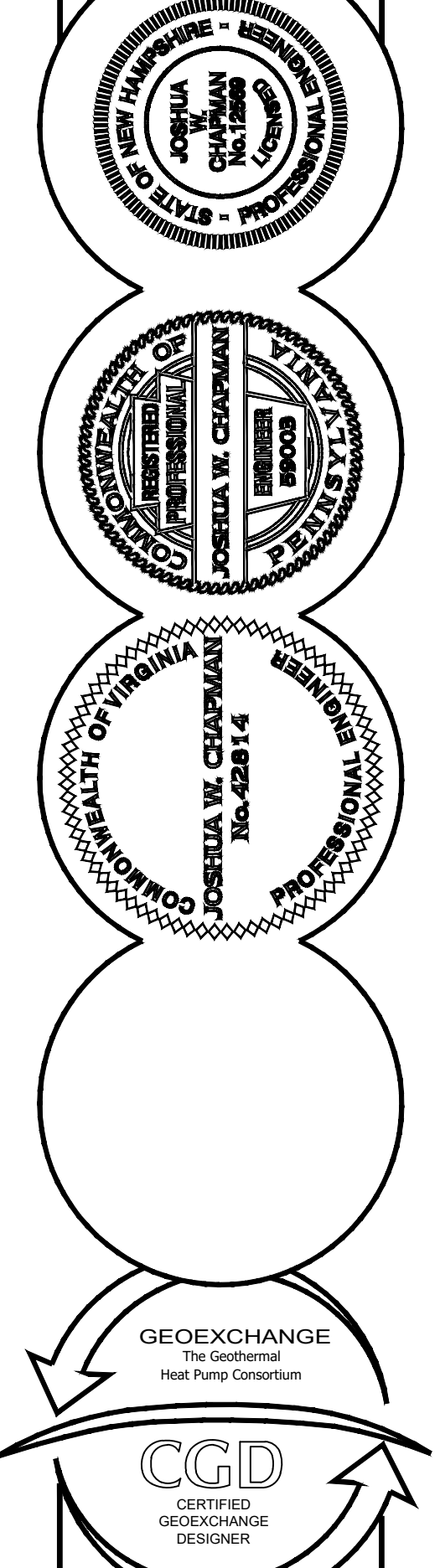


DESCRIPTION OF WORK:  
 ADD A ONE LEVEL SLAB ON GRADE APARTMENT DWELLING FOR LIVE ON SITE CARE GIVERS, COMPLETE WITH LAUNDRY, HEAT PUMP, AIR CONDITIONERS, AND STORAGE ATTIC. APARTMENT IS 22'x27' EXTERIOR DIMENSION, 594 SQ.FT. GROSS. SOME MINOR INTERIOR WORK IS REQUIRED FOR ACCESS FROM THE INTERIOR. THE EXISTING BOILER ROOM SYSTEMS FOR HOT WATER RADIATION SPACE HEATING AND DOMESTIC HWS/CWS ARE UTILIZED TO SERVE THE ADDITION WITHOUT INCREASING CAPACITIES.

CODES	SHEET INDEX
2015 IMC	S-1 SITE PLAN & COVER SHEET
2015 IECC	A-1 FLOOR PLAN
2015 IRC	A-2 FLOOR PLAN
2015 IBC	M-1 MECHANICAL NOTES & DETAILS
2017 NEC	M-2 FLOOR PLAN
	E-1 ELECTRICAL NOTES & DETAILS
	E-2 ELECTRICAL PLANS
	P-1 PLUMBING NOTES & LEGEND
	P-2 PLUMBING DETAILS & RISERS
	P-3 FLOOR PLAN

SITE PLAN  
 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.  
 PROJECT: LAFAYETTE HOUSE  
 PORTSMOUTH, NEW HAMPSHIRE



REVISIONS

NO.	DESCRIPTION	DATE	BY

THIS DIAGRAMMATIC DESIGN IS NON TRANSFERABLE AND REPRESENTS A COMPLETE SYSTEM.

DRAWING TITLE: SITE PLAN & COVER SHEET

OWNER: ...

DESIGNED BY: RSM/JWC DATE: 10/10/2022

DRAWN BY: DP/DMM/C DATE: 10/10/2022

SCALE: AS NOTED CHECKED BY: RSM/JWC

SHEET IDENTIFICATION

S-1

IGSHPA  
 International Ground Source Heat Pump Association

SCOT ENGINEERING  
 SINCE 1960  
 800 BURNING FORD COURT SUITE 100 FARMERSVILLE VA 22039-2723  
 PHOTOS@SCOTENR.COM WWW.SCOTENR.COM

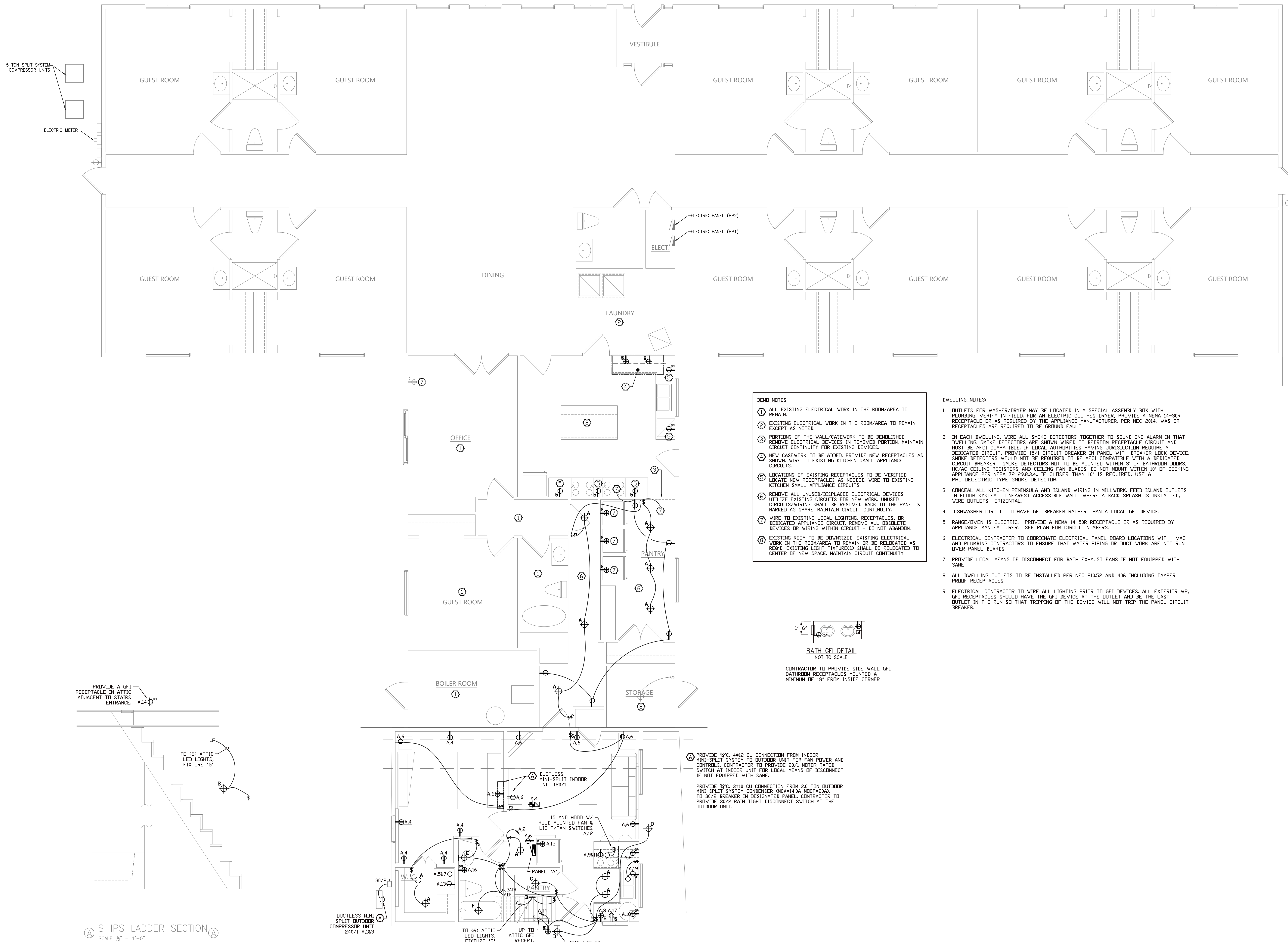
JOSHUA W. CHAPMAN, PE, LEED AP, PRINCIPAL

THE ASSOCIATION OF ENERGY ENGINEERS

GEOTHERMAL HVAC EXPERT



ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

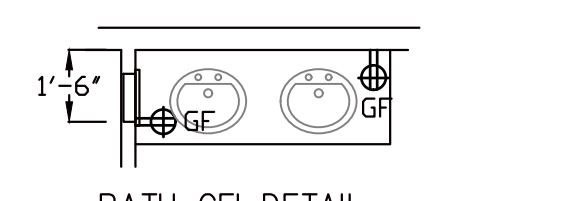


**DEMO NOTES:**

- ALL EXISTING ELECTRICAL WORK IN THE ROOM/AREA TO REMAIN.
- EXISTING ELECTRICAL WORK IN THE ROOM/AREA TO REMAIN EXCEPT AS NOTED.
- PORTIONS OF THE WALL/CASEWORK TO BE DEMOLISHED. REMOVE ELECTRICAL DEVICES IN REMOVED PORTION. MAINTAIN CIRCUIT CONTINUITY FOR EXISTING DEVICES.
- NEW CASEWORK TO BE ADDED. PROVIDE NEW RECEPTABLES AS SHOWN. WIRE TO EXISTING KITCHEN SMALL APPLIANCE CIRCUITS.
- LOCATIONS OF EXISTING RECEPTABLES TO BE VERIFIED. LOCATE NEW RECEPTABLES AS NEEDED. WIRE TO EXISTING KITCHEN SMALL APPLIANCE CIRCUITS.
- REMOVE ALL UNUSED/DISPLACED ELECTRICAL DEVICES. UTILIZE EXISTING CIRCUITS FOR NEW WORK. UNUSED CIRCUITS/WIRING SHALL BE REMOVED BACK TO THE PANEL & MARKED AS SPARE. MAINTAIN CIRCUIT CONTINUITY.
- WIRE TO EXISTING LOCAL LIGHTING, RECEPTABLES, OR DEDICATED APPLIANCE CIRCUIT. REMOVE ALL OBSOLETE DEVICES OR WIRING WITHIN CIRCUIT - DO NOT ABANDON.
- EXISTING ROOM TO BE DOWNSIZED. EXISTING ELECTRICAL WORK IN THE ROOM/AREA TO REMAIN OR BE RELOCATED AS NOTED. EXISTING LIGHT FIXTURE(S) SHALL BE RELOCATED TO CENTER OF NEW SPACE. MAINTAIN CIRCUIT CONTINUITY.

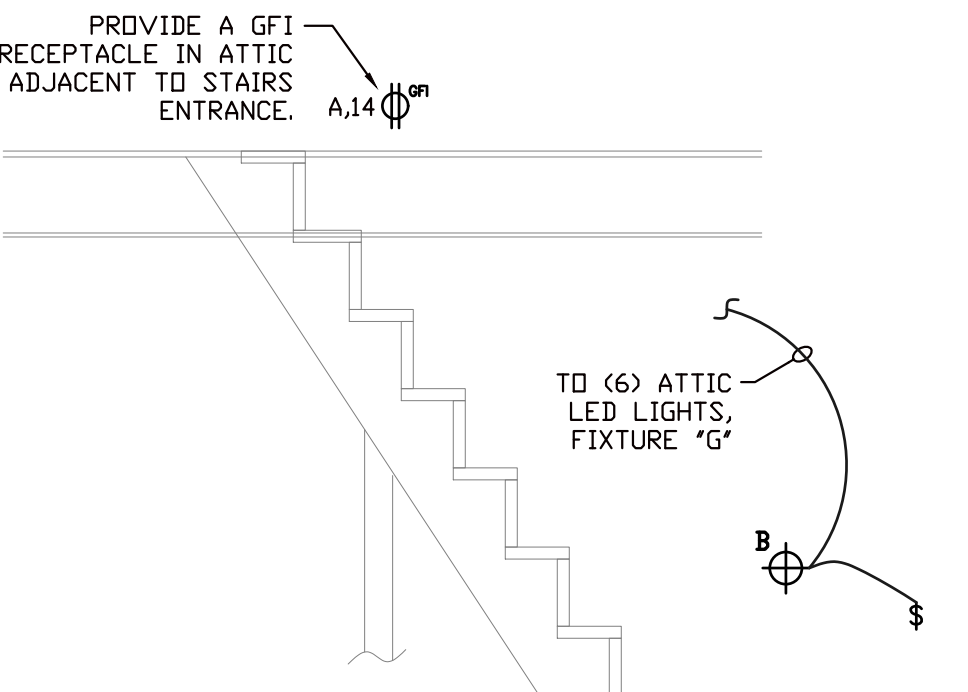
**DWELLING NOTES:**

- OUTLETS FOR WASHER/DRYER MAY BE LOCATED IN A SPECIAL ASSEMBLY BOX WITH PLUMBING. VERIFY IN FIELD FOR AN ELECTRIC CLOTHES DRYER. PROVIDE A NEMA 14-30R RECEPTACLE OR AS REQUIRED BY THE APPLIANCE MANUFACTURER. PER NEC 2014, WASHER RECEPTABLES ARE REQUIRED TO BE GROUND FAULT.
- IN EACH DWELLING, WIRE ALL SMOKE DETECTORS TO SOUND ONE ALARM IN THAT DWELLING. SMOKE DETECTORS ARE SHOWN WIRED TO BEDROOM RECEPTACLE CIRCUIT AND MUST BE AFCI COMPATIBLE. IF LOCAL AUTHORITIES HAVING JURISDICTION REQUIRE A DEDICATED CIRCUIT, PROVIDE 15/1 CIRCUIT BREAKER IN PANEL WITH BREAKER LOCK DEVICE. SMOKE DETECTORS WOULD NOT BE REQUIRED TO BE AFCI COMPATIBLE WITH A DEDICATED CIRCUIT BREAKER. SMOKE DETECTORS NOT TO BE MOUNTED WITHIN 3' OF BATHROOM DOORS, HEVAC CEILING REGISTERS AND CEILING FAN BLADES. DO NOT MOUNT WITHIN 10' OF COOKING APPLIANCE. PER NFPA 72-29.8.3.4. IF CLOSER THAN 10' IS REQUIRED, USE A PHOTOELECTRIC TYPE SMOKE DETECTOR.
- CONCEAL ALL KITCHEN PENINSULA AND ISLAND WIRING IN MILLWORK. FEED ISLAND OUTLETS IN FLOOR SYSTEM TO NEAREST ACCESSIBLE WALL. WHERE A BACK SPLASH IS INSTALLED, WIRE OUTLETS HORIZONTAL.
- DISHWASHER CIRCUIT TO HAVE GFI BREAKER RATHER THAN A LOCAL GFI DEVICE.
- RANGE/OVEN IS ELECTRIC. PROVIDE A NEMA 14-30R RECEPTACLE OR AS REQUIRED BY APPLIANCE MANUFACTURER. SEE PLAN FOR CIRCUIT NUMBERS.
- ELECTRICAL CONTRACTOR TO COORDINATE ELECTRICAL PANEL BOARD LOCATIONS WITH HVAC AND PLUMBING CONTRACTORS TO ENSURE THAT WATER PIPING OR DUCT WORK ARE NOT RUN OVER PANEL BOARDS.
- PROVIDE LOCAL MEANS OF DISCONNECT FOR BATH EXHAUST FANS IF NOT EQUIPPED WITH SAME.
- ALL DWELLING OUTLETS TO BE INSTALLED PER NEC 210.52 AND 406 INCLUDING TAMPER PROOF RECEPTABLES.
- ELECTRICAL CONTRACTOR TO WIRE ALL LIGHTING PRIOR TO GFI DEVICES. ALL EXTERIOR WP, GFI RECEPTABLES SHOULD HAVE THE GFI DEVICE AT THE OUTLET AND BE THE LAST OUTLET IN THE RUN SO THAT TRIPPING OF THE DEVICE WILL NOT TRIP THE PANEL CIRCUIT BREAKER.



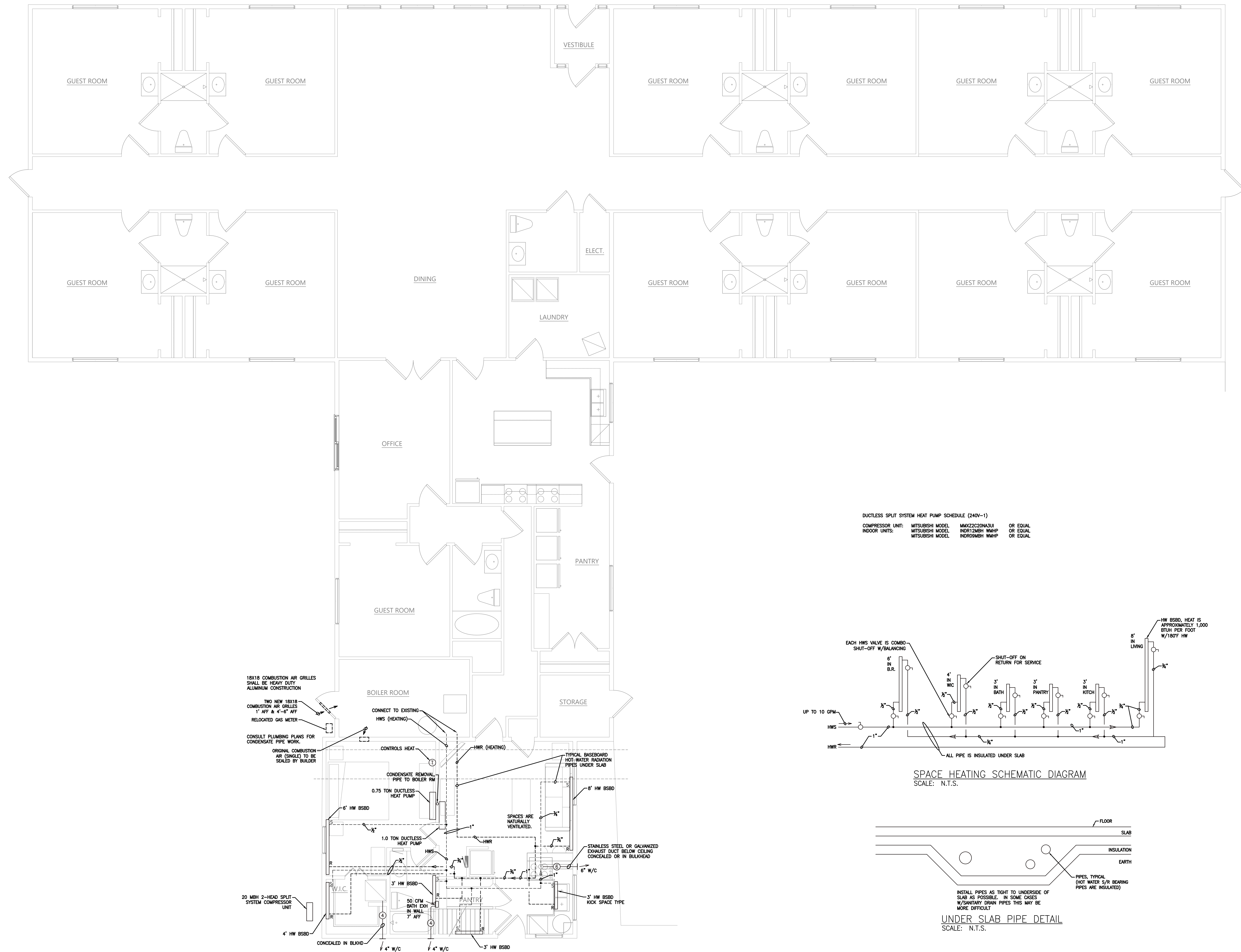
(A) PROVIDE 3/4" CU CONNECTION FROM INDOOR MINI-SPLIT SYSTEM TO OUTDOOR UNIT FOR FAN POWER AND CONTROLS. CONTRACTOR TO PROVIDE 20/1 MOTOR RATED SWITCH AT INDOOR UNIT FOR LOCAL MEANS OF DISCONNECT IF NOT EQUIPPED WITH SAME.

PROVIDE 3/4" CU CONNECTION FROM 2.0 TON OUTDOOR MINI-SPLIT SYSTEM CONDENSER (MCA=14.0A MDCP=20A) TO 30/2 BREAKER IN DESIGNATED PANEL. CONTRACTOR TO PROVIDE 30/2 RAIN TIGHT DISCONNECT SWITCH AT THE OUTDOOR UNIT.



**PROPOSED FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

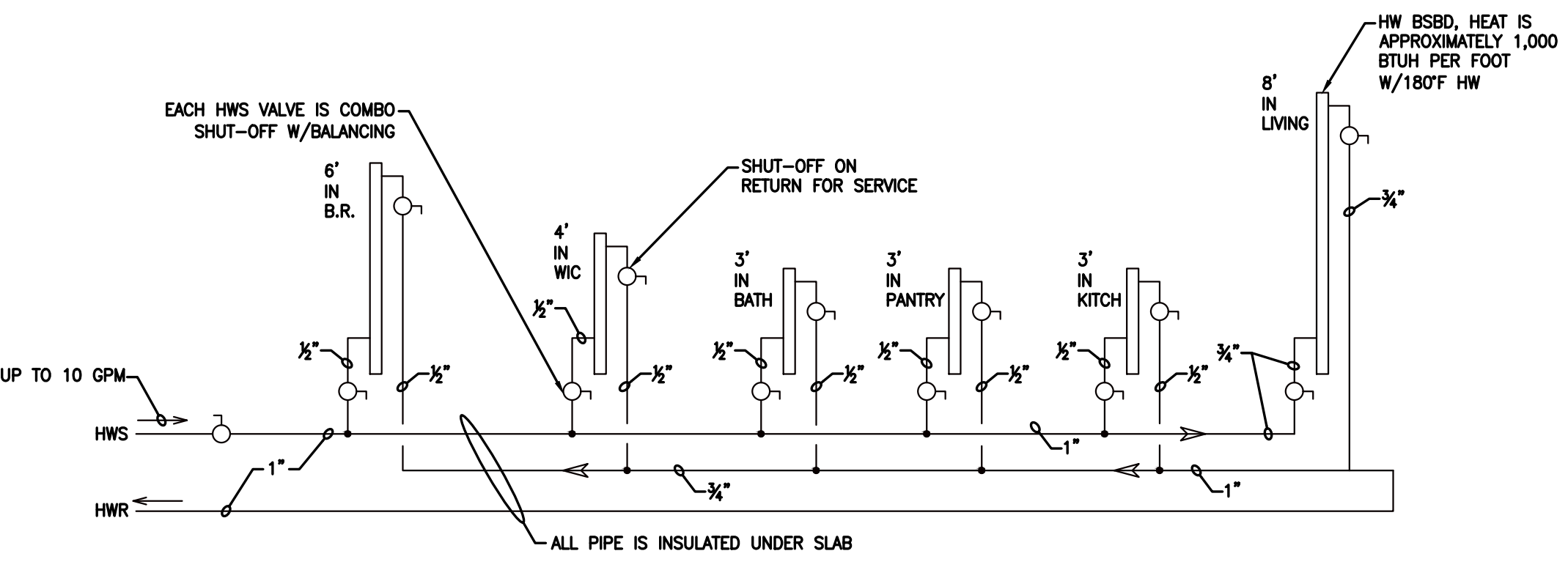




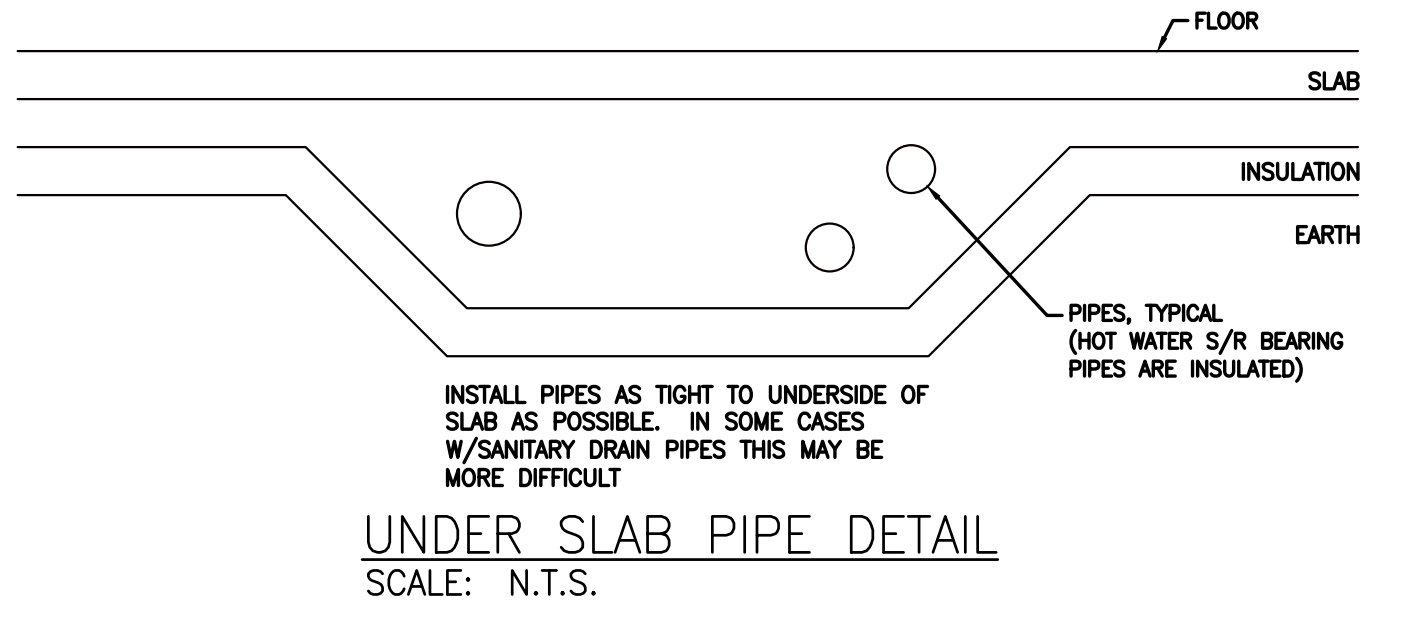
**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

THE EXHAUST DUCTS ARE BELOW CEILING W/SEALED DRYWALL. ABOVE IT, DO NOT FAIL TO SEPARATE HORIZONTAL EXH DUCTS FROM ATTIC W/SEALED DRYWALL, VAPOR BARRIER AND INSULATION.

**DUCTLESS SPLIT SYSTEM HEAT PUMP SCHEDULE (240V-1)**  
 COMPRESSOR UNIT: MITSUBISHI MODEL MAMZ2C20NA3UI OR EQUAL  
 INDOOR UNITS: MITSUBISHI MODEL INDR12MHI W/HIP OR EQUAL  
 MITSUBISHI MODEL INDR09MHI W/HIP OR EQUAL



**SPACE HEATING SCHEMATIC DIAGRAM**  
SCALE: N.T.S.



**UNDER SLAB PIPE DETAIL**  
SCALE: N.T.S.

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

**CEE**  
The Association of Energy Engineers  
**IGSHPA**  
International Ground Source Heat Pump Association  
**SCOT ENGINEERING** SINCE 1960  
 800 BUNNING FCG COLLEGE SUITE 100 FINEA ST FLDVA, VA 22039-2723  
 P: (703) 597-3477 F: (703) 597-1423 email: scot@scoteng.com  
 PROJECT: LAFAYETTE HOUSE  
 ARCHITECT: JOSHUA W. CHAPMAN, P.E.  
 CONSULTING ENGINEER: JOSHUA W. CHAPMAN, P.E., LEED AP, PRINCIPAL

NEW HAMPSHIRE - REGISTERED PROFESSIONAL ENGINEER  
 STATE OF NEW HAMPSHIRE  
 JOSHUA W. CHAPMAN  
 No. 42814  
 PROFESSIONAL ENGINEER

**GEOEXCHANGE**  
The Geothermal Heat Pump Consortium  
**CGD**  
CERTIFIED GEOEXCHANGE DESIGNER

REVISIONS			
NO.	DESCRIPTION	DATE	BY

THIS DIAGRAMATIC DESIGN IS NON-TRANSFERABLE AND REPRESENTS A COMPLETE SYSTEM.

DRAWING TITLE: FLOOR PLAN	OWNER: ...
DESIGNED BY: RSM/JWC	DATE: 10/10/2022
DRAWN BY: DP/GDM/C	CHECKED BY: RSM/JWC
SCALE: AS NOTED	

**M-2**

JOSHUA W. CHAPMAN, P.E., LEED AP, PRINCIPAL

1. SECTION 15100 - BASIC MECHANICAL REQUIREMENTS

PLUMBING SPECIFICATIONS Section 15400 - Plumbing

A. THE WORK OF EACH OF THE MECHANICAL SECTIONS INCLUDES FURNISHING AND INSTALLING THE MATERIAL, EQUIPMENT AND SYSTEMS COMPLETE AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS. THE MECHANICAL INSTALLATIONS, WHEN FINISHED, SHALL BE COMPLETE AND COORDINATED, READY FOR SATISFACTORY SERVICE.

B. THE CONTRACTOR SHALL MAKE APPLICATIONS AND PAY ALL CHARGES FOR ALL NECESSARY PERMITS, LICENSES AND INSPECTIONS AS REQUIRED UNDER THE ABOVE CODES. UPON COMPLETION OF THE WORK, THE CUSTOMARY CERTIFICATIONS OF APPROVAL SHALL BE FURNISHED.

C. NO MATERIALS OR EQUIPMENT SHALL BE USED IN THE WORK UNTIL APPROVED. BEFORE SUBMISSION OF THE SHOP DRAWINGS, AND NOT MORE THAN THIRTY (30) DAYS AFTER AWARD OF THE CONTRACT, THE CONTRACTOR SHALL SUBMIT FOR APPROVAL A COMPLETE LIST OF MATERIALS AND EQUIPMENT WHICH HE INTENDS TO FURNISH, GIVING MANUFACTURER AND CATALOG NUMBERS. A COMPLETE LIST OF PROPOSED SUBCONTRACTORS SHALL ALSO BE SUBMITTED.

D. THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND SPECIFICATIONS AND SHALL INSPECT THE EXISTING CONDITIONS OF THE SITE. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLYING WITH THE INTENT OF THE CONTRACT DOCUMENTS.

E. THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF THE PLUMBING INSTALLATIONS. DETAILS OF PROPOSED REPAIRS DUE TO ACTUAL FIELD CONDITIONS OR OTHER CAUSES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. REWORKING OF COMPLETED ITEMS DUE TO IMPROPER FIELD COORDINATION SHALL BE AT THE CONTRACTOR'S EXPENSE.

F. PROVIDE SUFFICIENT ACCESS AND CLEARANCE FOR ALL ITEMS OF EQUIPMENT REQUIRING SERVICING AND MAINTENANCE, SUCH AS VALVES, CONTROLS, DRAINS, VENTS, SWITCHES, FILTERS, TRAPS, AND MAJOR ITEMS OF EQUIPMENT.

G. THE CONTRACTOR SHALL PREPARE THREE (3) COPIES OF A RECORD AND INFORMATION BOOKLET. THE BOOKLET SHALL BE BOUND IN A THREE-RING LOOSE-LEAF BINDER. PROVIDE THE FOLLOWING DATA IN THE BOOKLET:

- 1) CATALOG DATA ON EACH PIECE OF EQUIPMENT FURNISHED.
2) APPROVED SHOP DRAWINGS ON EACH PIECE OF EQUIPMENT FURNISHED.
3) MAINTENANCE, OPERATION AND LUBRICATION INSTRUCTIONS ON EACH PIECE OF EQUIPMENT FURNISHED.
4) MANUFACTURER'S AND CONTRACTOR'S WARRANTIES.
5) COMMISSIONING REPORTS.
6) SCHEDULE/DESCRIPTION OF ALL SERVICE WORK/MAINTENANCE INSPECTIONS REQUIRED BY PARAGRAPHS D,P AND Q OF THIS SECTION.

I. THE ENTIRE NEW PLUMBING SYSTEM SHALL BE TESTED HYDROSTATICALLY BEFORE INSULATION COVERING IS APPLIED AND PROVIDED TIGHT UNDER THE FOLLOWING GAUGE PRESSURES:

SANITARY AND STORM WATER PIPING.....AS SPECIFIED BELOW
DOMESTIC WATER.....100 PSI
FIRE PROTECTION.....100 PSI

J. ALL SOIL, WASTE AND VENT PIPING SHALL BE TESTED BY THE CONTRACTOR. THE ENTIRE NEW DRAINAGE SYSTEM AND VENTING SYSTEM SHALL HAVE ALL NECESSARY OPENINGS PLUGGED AND FILLED WITH WATER TO THE LEVEL OF TEN (10) FEET ABOVE THE MAIN OR BRANCH BEING TESTED. THE TEST SHALL BE PERFORMED FOR THIRTY (30) MINUTES WITHOUT SHOWING A DROP GREATER THAN FOUR (4) INCHES.

NOTE: IF ANY CODE OR AUTHORITY REQUIRES TESTING WHICH IS DIFFERENT THAN THE TEST LISTED ABOVE, THE MORE STRINGENT TEST SHALL BE PERFORMED.

K. UPON COMPLETION OF THE PLUMBING INSTALLATIONS, THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF PRINTS OF THE PLUMBING CONTRACT DRAWINGS WHICH SHALL BE LEGIBLY MARKED IN RED PENCIL TO SHOW ANY CHANGES AND REPAIRS OF THE INSTALLATION AS COMPARED WITH THE ORIGINAL DESIGN. THEY SHALL BE SUITABLE FOR USE IN PREPARATION OF RECORD DRAWINGS.

L. ALL PIPING AND VALVE SYSTEMS SHALL BE IDENTIFIED WITH LABELS AND TAGS. MATERIALS SHALL BE MANUFACTURED BY SETON NAME PLATE CORPORATION.

M. ALL NEW PLUMBING INSTALLATIONS, INCLUDING ALL MATERIALS AND LABOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF OWNER ACCEPTANCE. THE ABOVE SHALL NOT IN ANY WAY VOID OR ABROGATE EQUIPMENT MANUFACTURER'S GUARANTEE OR WARRANTY. CERTIFICATES OF GUARANTEE SHALL BE DELIVERED TO THE OWNER.

N. CONTRACTOR SHALL ALSO PROVIDE ONE (1) YEAR FREE SERVICE TO KEEP THE EQUIPMENT IN OPERATING CONDITION. THIS SERVICE SHALL BE PROVIDED PER THE FOLLOWING SCHEDULE AND RENDERED UPON REQUEST WHEN NOTIFIED OF ANY EQUIPMENT MALFUNCTION.

O. IN ADDITION TO THE FIRST YEAR WARRANTY PERIOD, THE CONTRACTOR SHALL PROVIDE, AT NO ADDITIONAL COST TO THE OWNER, A MINIMUM OF FOUR (4) SERVICE CALLS AND MAINTENANCE INSPECTIONS PER BUILDING. A COMPLETE OUTLINE OF THE REQUIRED MAINTENANCE AND THE PREPARED SCHEDULE SHALL BE INCLUDED IN THE RECORD AND INFORMATION BOOKLET DETAILED IN SECTION 15100. BASIC MECHANICAL REQUIREMENTS, PARAGRAPH I, FOR REVIEW AND ACCEPTANCE BY THE OWNER/REPRESENTATIVE AND ENGINEER. THE INSPECTIONS ARE TO BE PERFORMED AT THREE (3) MONTH INTERVALS FOR A TOTAL OF FOUR (4) SERVICE CALLS AND INSPECTIONS DURING THE FIRST YEAR WARRANTY PERIOD (THREE (3) TIMES DURING THE YEAR PLUS THE ORIGINAL SYSTEM STARTUP COMMISSIONING).

P. THE PLUMBING OR SERVICE CONTRACTOR SHALL, AT THE NINTH MONTH, ADVISE THE OWNER OF THE TERMINATION DATE OF THE ABOVE SERVICE. THIS CONTRACTOR SHALL ALSO PROVIDE THE OWNER WITH A DETAILED PROPOSAL, REFLECTING ANNUAL ESCALATION, FOR THE CONTINUATION OF THE SERVICE AND INSPECTIONS DESCRIBED ABOVE.

2. SECTION 15050 - BASIC MECHANICAL PIPING MATERIAL & METHODS

A. PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH AND INSTALL ALL PIPING SYSTEMS ON THE PROJECT, INCLUDING INTERIOR STORM, SANITARY, SANITARY VENT, DOMESTIC WATER, CONDENSATE DRAINAGE, HEATING WATER AND NATURAL GAS PIPING SYSTEMS.

B. PROVIDE DIELECTRIC COUPLINGS WHERE NON-FERROUS METAL PIPING IS JOINED TO FERROUS METAL PIPING. THE GASKET MATERIAL SHALL BE CAPABLE OF WITHSTANDING THE TEMPERATURES AND PRESSURES WITHIN THE PIPING SYSTEM IN WHICH INSTALLED. SUBMIT DIELECTRIC COUPLING AND GASKET MATERIAL FOR APPROVAL.

SECTION 15250 - MECHANICAL INSULATION

A. ALL DOMESTIC WATER PIPING SYSTEMS SHALL BE INSULATED WITH CLOSED CELL FOAM INSULATION FOR HOT WATER HEATING APPLICATIONS PER IECC AND AS REQUIRED TO PREVENT CONDENSATION.

B. ALL HYDRONIC/MECHANICAL PIPING WITH FLUID TEMPS ABOVE 105F OR BELOW 55F MUST BE INSULATED WITH R-4 MINIMUM.

SECTION 15300 - FIRE PROTECTION

PROVIDE INTUMESCENT FITTINGS WHERE PVC PIPING PENETRATES FIRE RATED PARTITIONS. FIRE PROTECTION SYSTEM BY DESIGN AND BUILD SPRINKLER CONTRACTOR.

SECTION 15400 - PLUMBING

C. All hangers for copper piping shall be copper clad, split ring swivel type, having rods with machine threads and threaded copper clad ceiling flange. Cast iron and steel piping supports shall be similar without copper clad and prime paint finish. Hangers for plastic piping shall be plastic.

D. Provide dielectric couplings where non-ferrous metal piping is joined to ferrous metal piping. The gasket material shall be capable of withstanding the temperatures and pressures within the piping system in which installed. Submit dielectric coupling and gasket material for approval.

A. The work covered by this section of the specifications consists of furnishing all labor, equipment and materials in connection with the rough-in, final setting and connections to all plumbing fixtures. The contractor shall carefully review the conditions at the site and all of the contract drawings to determine the extent of the plumbing work required.

B. All plumbing fixtures shall be complete in every detail with all trimmings and connections. All fixtures shall be designed to prevent the back flow of polluted water or waste into the water supply system.

C. The dwelling water heaters shall be manufactured by BRADFORD WHITE, GAS FIRED, 40 GPM INPUT, 40 GALLON MODEL, REG-BY-DESIGN, ASHRAE COMPLIANT. Heater shall be rated as indicated on drawings and be listed by Underwriters' Laboratories. Heater shall have integral heat traps. Tank shall be factory fired with glass lining with 150 psi working pressure and equipped with extruded high density magnesium anode at 1/8" relief valve. The controls shall include a thermostat and a high temperature cutoff. The jacket shall provide full size control compartments for performance of service and maintenance thru front panel openings and enclose the tank with insulation. The drain valve shall be baked enamel finish. Heater shall have a three (3) year limited warranty for commercial installation, as outlined in the written warranty. Fully illustrated instruction manual shall be included. Refer to drawings for size, capacity and voltage.

D. Potable water systems shall be disinfect prior to use. The method to be followed shall be that prescribed by the Health Authority and code requirements.

GENERAL CONSTRUCTION NOTES

1. THE PLANS REPRESENT A COMPLETE OPERATIONAL SYSTEM, WHEREIN ALL WIRING, EQUIPMENT, FIXTURES, FITTINGS, CONTROLS, AND ALL REQUIRED ACCESSORIES ARE FURNISHED, INSTALLED, STARTED, AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR, AND SUPERVISION TO DELIVER A COMPLETE SYSTEM. THE FIRE PROTECTION ALARM/SPRINKLER SYSTEM, IF REQUIRED, IS NOT A COMPONENT OF THIS DESIGN UNLESS SPECIFICALLY DEPICTED AND IT IS PROVIDED BY A DESIGN AND BUILD FIRE PROTECTION CONTRACTOR.

2. THE PLANS ARE DIAGRAMMATICAL IN NATURE. THE WORK REQUIRED TO PROPERLY INTERFACE WITH OTHER TRADES, WHICH MAY REPRESENT CHANGES TO THE DRAWINGS TO ACCOMMODATE THE INSTALLATION OF THIS WORK, IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY. THIS INCLUDES BUT IS NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, GRADING, FIRE PROTECTION, AND OTHER CONSIDERATIONS.

3. ALL WORK MUST BE EXECUTED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES. ALL WORK EXECUTED IN A NEW AND WORKMANLIKE MANNER. THE SUBCONTRACTORS AND GENERAL CONTRACTOR MUST COORDINATE WITH ALL TRADES DURING THE CONSTRUCTION PROCESS. THIS CONTRACTOR MUST REVIEW ALL ASPECTS OF THEIR WORK PRIOR TO INSTALLATION TO INSURE PROPER CLEARANCES AND CAPACITIES EXIST.

4. THE CONTRACTOR MUST BE LICENSED AND INSURED IN THE COUNTY AND STATE AS APPLICABLE. SUBMIT TO THE OWNER AS DIRECTED PROOF OF INSURANCE INCLUSIVE OF LIMITS OF LIABILITY AND DEDUCTIBLE INFORMATION. ALL SUBCONTRACTORS OF SUBCONTRACTORS MUST BE LICENSED AND INSURED TOID.

5. SINCE THE PLANS ARE DIAGRAMMATICAL IN NATURE FOR CLARITY PURPOSES, THE CONTRACTOR MUST SUBMIT A SHOP DRAWING WHERE THE CONTRACTOR INTENDS TO INSTALL WORK THAT INCLUDES SUBSTANTIAL DIFFERENCES FROM THE PLANS, INCLUSIVE OF CALCULATIONS AND OTHER ITEMS TO THE OWNER PRIOR TO COMMENCING WORK. THE SHOP DRAWINGS MUST INCLUDE EXACT LOCATIONS, SPECIAL FITTINGS, AND VERIFICATION THAT THIS INFORMATION IS ACCURATE.

6. THE CONTRACTOR AND ALL SUBCONTRACTORS WARRANT THAT THEY HAVE VISITED THE PROJECT SITE, REVIEWED ALL OF THE CONTRACT DOCUMENTS, AND ARE OTHERWISE FAMILIAR WITH THE REQUIREMENTS NECESSARY TO COMPLETELY EXECUTE THE WORK REQUIRED TO COMPLY WITH THE DIAGRAMMATICAL WORK DEPICTED HEREIN. FURTHER, THE CONTRACTOR WARRANTS THAT, IN POSSESSING A THOROUGH KNOWLEDGE OF THE CODE AND INDUSTRY STANDARD CONSTRUCTION PRACTICES, THE BID FOR PERFORMING THE WORK WILL CONTAIN ALLOWANCES FOR NORMAL DIFFICULTIES EXPERIENCED DURING THE CONSTRUCTION OF A BUILDING OF THIS TYPE. MODIFICATIONS TO THE CONTRACT, WHICH DO NOT ADD VALUE TO THE PROJECT, WILL NOT BE CONSIDERED VALID.

7. THIS DESIGN IS NON TRANSFERABLE. IT IS INTELLECTUAL PROPERTY WITH TRADE SECRETS TO BE UTILIZED IN THIS PROJECT ONLY.

8. WHERE THE CONTRACTOR FURNISHES CERTAIN MODELS OR PROTOTYPES OF DESIGN SPECIFIED ON THE DRAWINGS, SUBMITTAL DATA IS NOT NECESSARY. SIMPLY NOTIFY THE OWNER IN WRITING THAT THE SPECIFIED ITEM WILL BE USED AND PROCEED WITH THE WORK. IF EQUAL DEVIATIONS FROM THE SPECIFIED PRODUCT ARE UTILIZED, THE PRODUCT DATA MUST BE SUBMITTED TO THE OWNER FOR APPROVAL. IT IS THE INTENT OF THE DESIGN TO MAKE A COMPETITIVE BID. EQUAL PRODUCTS WILL BE CONSIDERED AS SUBMITTER.

9. WHERE THERE EXISTS A DISCREPANCY BETWEEN THE PLANS, DOCUMENTS, OR CODE THE CONTRACTOR SHALL PROVIDE FOR THE MOST EXPENSIVE METHOD AND ADVISE THE ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK.

RESPONSIBILITY OF DESIGN AND CONSTRUCTION TEAMS FOR MEP: AMICABLE COOPERATION OF THE DESIGN AND CONSTRUCTION TEAMS GENERALLY PRODUCES THE BEST RESULTS FOR THE OWNER. INVESTMENT IN THE DESIGN BY THE INSTALLING CONTRACTORS IS ALSO USUALLY BENEFICIAL FOR THE PROJECT. ANY REASONABLE CONTRACTOR SUGGESTIONS IN ADVANCE OF CONSTRUCTION WILL BE CONSIDERED AND/OR REVIEWED. ANY RESULTING NECESSARY FOR PERMIT OR CODE OFFICIAL INSPECTION PURPOSES, NOT FOR AS-BUILT PURPOSES) CONSTRUCTION PLAN CHANGES THAT THE OWNER AND ARCHITECT APPROVE SUGGESTED BY THE INSTALLING CONTRACTOR SHALL BE EXECUTED BY THE MEP DESIGN TEAM AS NECESSARY.

THE MEP DESIGN IS PROVIDED PRIMARILY TO OBTAIN THE BUILDING PERMIT. THE PLANS ARE NOT SHOP DRAWINGS. THE PLANS ARE NOT AS-BUILT DRAWINGS. THE PLANS DO NOT SHOW EVERY DIFFICULTY AND NUANCE ASSOCIATED WITH WHAT IS REQUIRED TO INSTALL A COMPLETE SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING A COMPLETE SYSTEM AS DIAGRAMMATICALY DEPICTED ON THE PLANS. THIS WILL INCLUDE PROVIDING ITEMS THAT ARE NOT SHOWN ON THE PLANS BUT REQUIRED TO DELIVER A COMPLETE SYSTEM. THE PLANS MAY BE CONSIDERED A PERFORMANCE BASED SPECIFICATION.

THIS PROJECT IS DESIGN BUILD. THE MEP CONTRACTORS MUST ANTICIPATE IN ADVANCE OF THE BID AND CONSTRUCTION THE REQUIREMENTS NECESSARY TO DELIVER A COMPLETE SYSTEM. THE DESIGN TEAM WILL COOPERATE TO THE EXTENT REASONABLY POSSIBLE TO MITIGATE ANY UNANTICIPATED CIRCUMSTANCES TO PROVIDE A COMPLETE MEP SYSTEM. HOWEVER, NO CHANGE ORDERS SHALL BE APPROVED UNLESS IT IS ADDITIONAL SCOPE ITEMS THE OWNER AGREES TO FUND.

IT IS THE INSTALLING CONTRACTOR RESPONSIBILITY TO NOTIFY THE DESIGN TEAM IN ADVANCE OF ALL CONSTRUCTION WITH TIME TO REACT WHENEVER THERE COULD BE AN ISSUE THAT REQUIRES RESOLUTION TO INSTALL A COMPLETE CODE COMPLIANT MEP SYSTEM. THERE ARE FURTHER RESTRICTIONS SPECIFIED IN THE CONSTRUCTION DOCUMENTS AND THIS NARRATIVE IS BY NO MEANS LIMITING.

UNDER NO CIRCUMSTANCES WILL RE-ROUTING OF DUCTWORK OR PLUMBING PIPES BE CONSIDERED A CHANGE ORDER DUE TO UNANTICIPATED STRUCTURAL INTERFERENCES. THE ROUTING OF THE PIPES AND DUCTWORK SHOWN ON THE PLANS IS INTENDED TO ANTICIPATE THE MAJORITY OF STRUCTURAL INTERFERENCES BUT IT WILL NOT INCLUDE ALL OF THEM. THE ENTIRE DUCT OR PIPE SYSTEM MUST BE PLANNED IN ADVANCE TO AVOID RE-WORKING OR RE-ROUTING OF THIS WORK. COORDINATION WITH OTHER TRADES TO ACCOMMODATE THEIR WORK IS ALSO REQUIRED. UNDER NO CIRCUMSTANCES WILL RE-INSTALLATION OF INCORRECT MATERIALS FOR THE APPLICATION BE CONSIDERED CHANGE ORDER, FOR EXAMPLE ALL EXPOSED PIPING IN THE GARAGE MUST UTILIZED METAL CONDUIT ENCASED CONDUCTORS AND THE USE OF NM CONDUCTORS (ROMEX) BY MISTAKE OR EVEN IF INADVERTENTLY SPECIFIED WILL NOT BE CONSIDERED A CHANGE ORDER TO REPLACE.

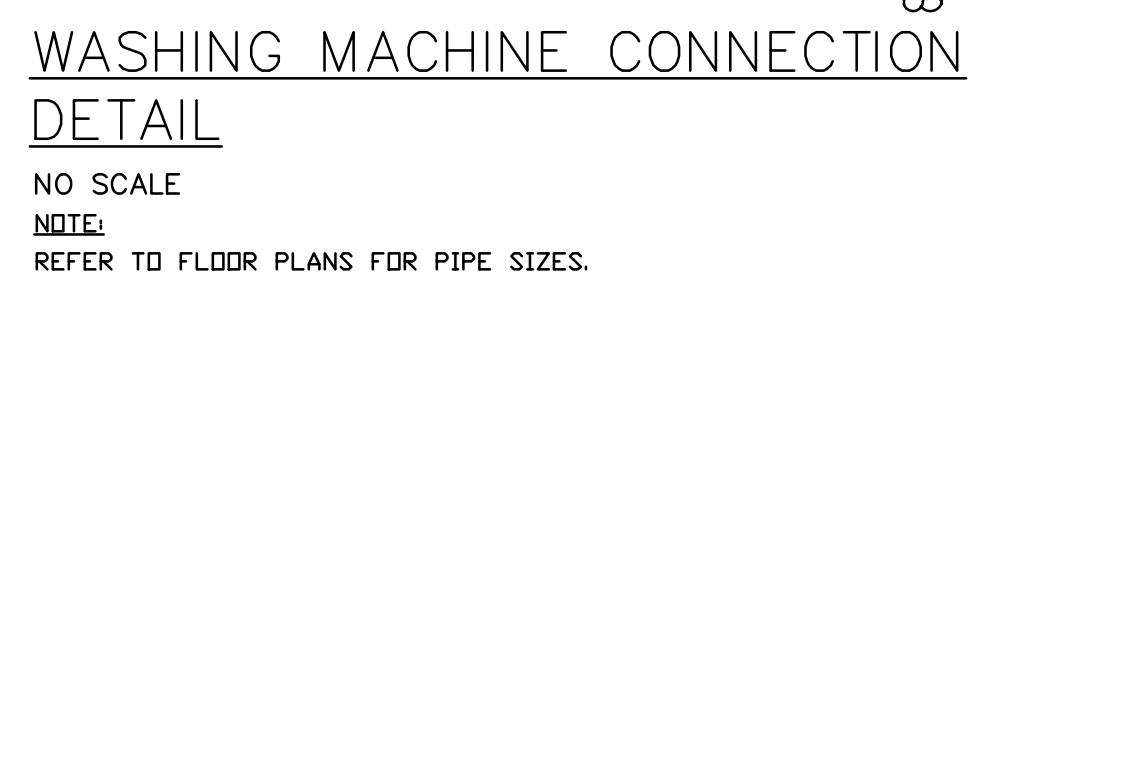
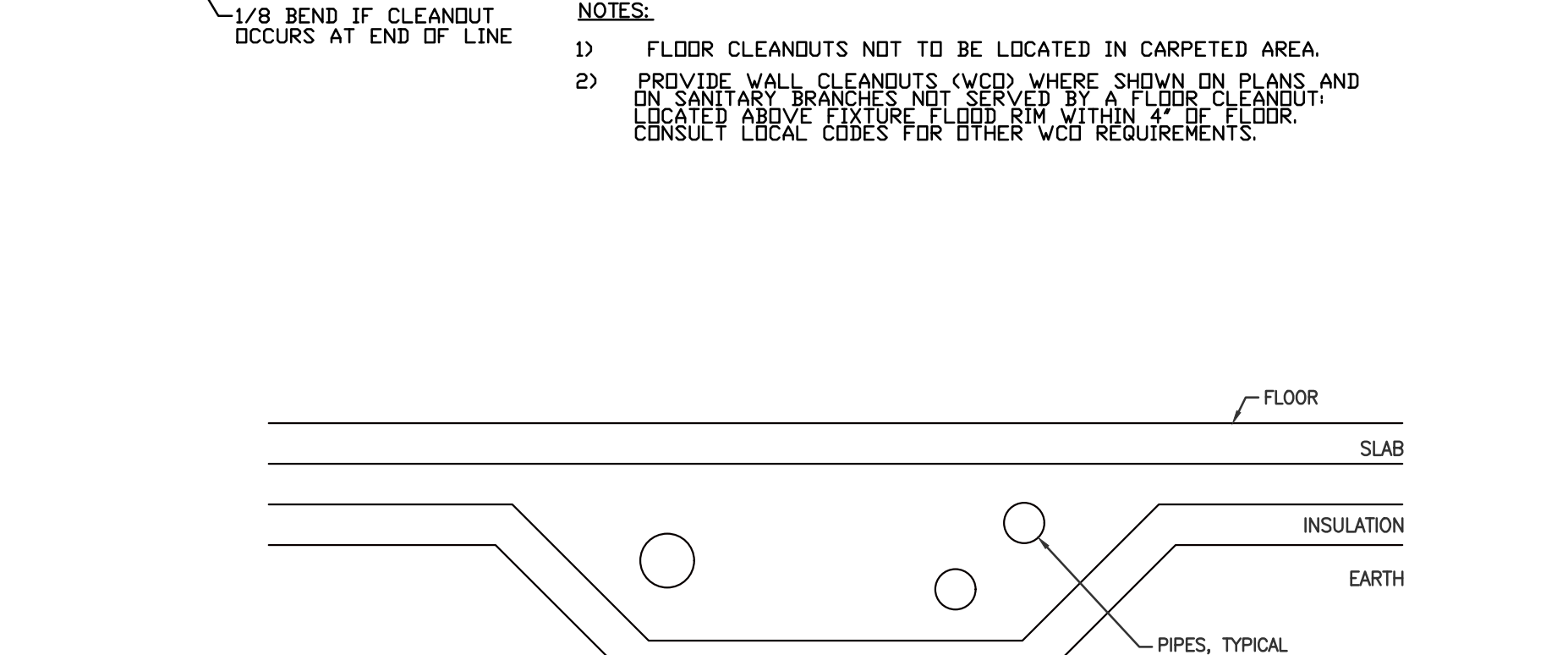
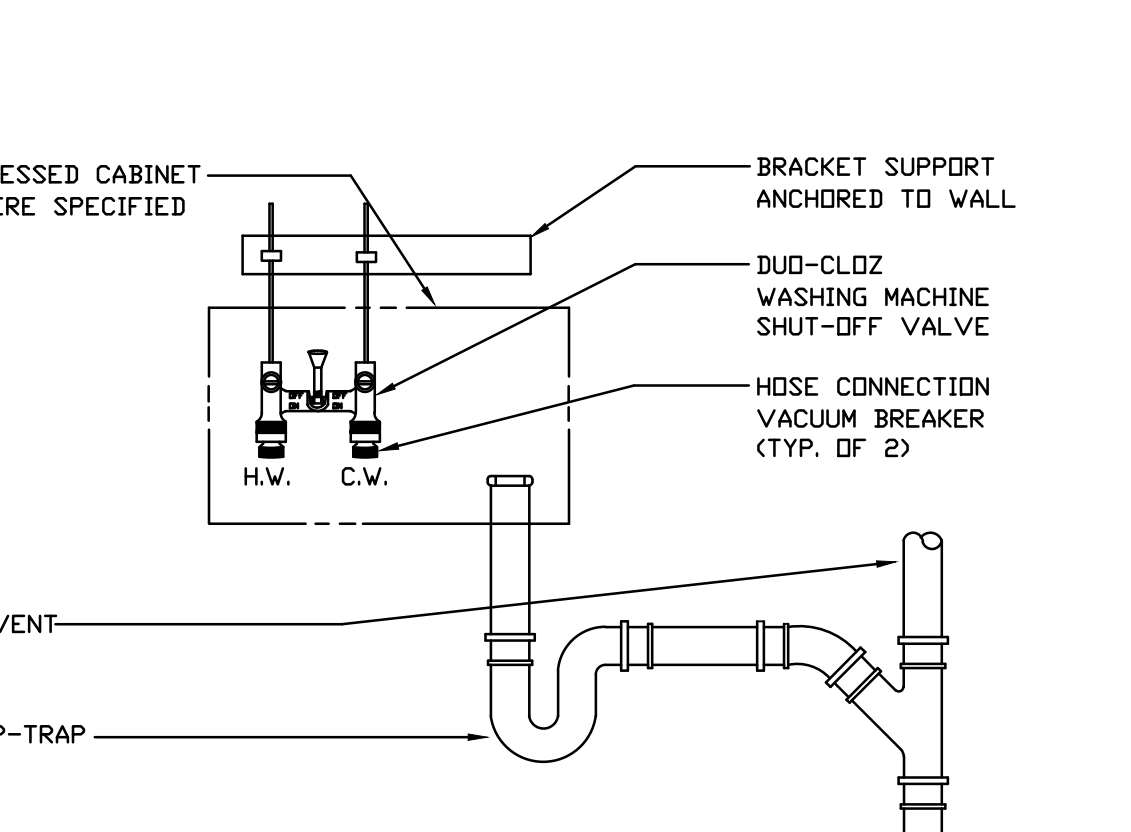
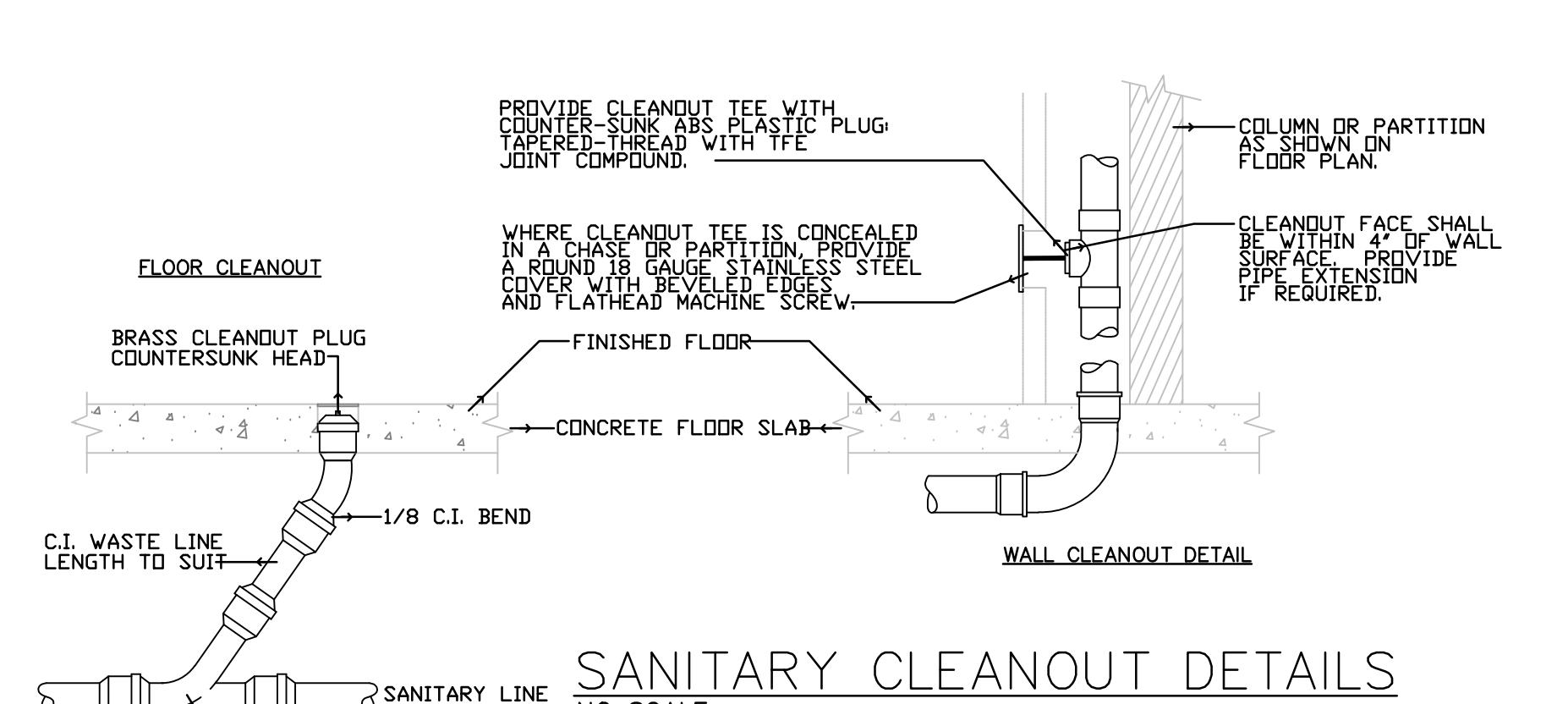
IT IS RECOMMENDED BUT NOT REQUIRED THAT THE MEP TRADES PROVIDE SHOP DRAWINGS IN ADVANCE OF CONSTRUCTION, ESPECIALLY IN THE SERVICE ENTRANCE ROOMS, UTILITY ROOMS, DWELLING HVAC CLOSETS AND OTHER AREAS TRADITIONALLY DESIGNED WITH CONFINED SPACES IN WOOD FRAME MULTI-FAMILY DWELLING STRUCTURES. IT IS THE RESPONSIBILITY OF THE MEP CONTRACTORS TO NOTIFY THE PRIME CONTRACTOR WHERE INSTALLATION OF THEIR TRADE WORK MAY REQUIRE INTENSE COOPERATION WITH OTHER TRADES SUCH AS CONCRETE ENCASED CONDUCTORS UNDER THE FIRST FLOOR SLAB. PLUMBING RISERS TURNS THAT REQUIRE DROPPED FOOTINGS AND THE LIKE IN ADVANCE OF THE BID AND CONSTRUCTION TO MINIMIZE UNANTICIPATED CONSTRUCTION REQUIREMENTS TO DELIVER A COMPLETE SYSTEM. AGAIN, COOPERATION, ADVANCE PLANNING, ANTICIPATION OF DIFFICULTIES, SUGGESTIONS, AND THE LIKE WILL PRODUCE THE BEST RESULT FOR ALL CONCERNED PARTIES.

PLUMBING FIXTURE SCHEDULE table with columns: ITEM, FIXTURE, ROUGH-IN PIPE SIZES (C.W., H.W., SAN., VENT), TRAP TYPE, REMARKS. Includes items like WATER CLOSET, LAVATORY, TUB/SHOWER, SHOWER, SINK, DOUBLE COMPARTMENT SINK, WASHING MACHINE, LAUNDRY TUB, SPA TUB, JANITOR'S MOP SINK.

PLUMBING LEGEND & SYMBOL LIST table with columns: SYMBOL, DESCRIPTION, and corresponding plumbing symbols for various components like pipes, valves, and fixtures.

PIPING MATERIAL SCHEDULE table with columns: SYSTEM, SYMBOL, PIPE, FITTING, JOINT, REMARKS. Lists materials for sanitary waste & vent, storm drainage, domestic cold water, and natural gas.

- 1. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. CONTACT BETWEEN DISSIMILAR METALS SHALL BE MADE WITH DIELECTRIC COUPLINGS OR DIELECTRIC FLANGES. CONTACT BETWEEN FERROUS AND BOLTS AND BRONZE OR COPPER FLANGES SHALL BE ELECTRICALLY INSULATED WITH NON-METALLIC WASHERS. PROVIDE UNION CONNECTIONS TO ALL PNEUMATICALLY OPERATED EQUIPMENT.
3. INSTALLATION, INCLUDING SUPPORT SPACING, COMPENSATION FOR EXPANSION AND CONTRACTION, AND JOINING SHALL BE IN COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS.
4. JOINTS AND CONNECTIONS SHALL BE PERMANENT AND GAS AND WATER TIGHT. JOINTING SHALL BE TYPES SPECIFIED FOR SERVICE INDICATED. JOINTS AND CONNECTIONS SHALL MEET REQUIREMENTS OF MANUFACTURER'S BEST RECOMMENDED PRACTICE. ALL TRANSITIONS BETWEEN DIFFERENT PIPING MATERIALS SHALL BE USING APPROVED ADAPTERS. ADAPTERS FOR TRANSITIONS BETWEEN TWO TYPES OF PIPING MATERIALS SHALL BE MANUFACTURED FOR PURPOSE INTENDED.
5. ALL FLOOR DRAINS AND/OR PRODUCTS CONNECTED TO SPECIAL DRAINAGE SYSTEM MUST BE COORDINATED FOR CORROSION RESISTANCE, SIZE AND CONNECTION COMPATIBILITY PRIOR TO ORDERING ANY MATERIAL.



INSTALL PIPES AS TIGHT TO UNDERSIDE OF SLAB AS POSSIBLE. IN SOME CASES W/SANITARY DRAIN PIPES THIS MAY BE MORE DIFFICULT.

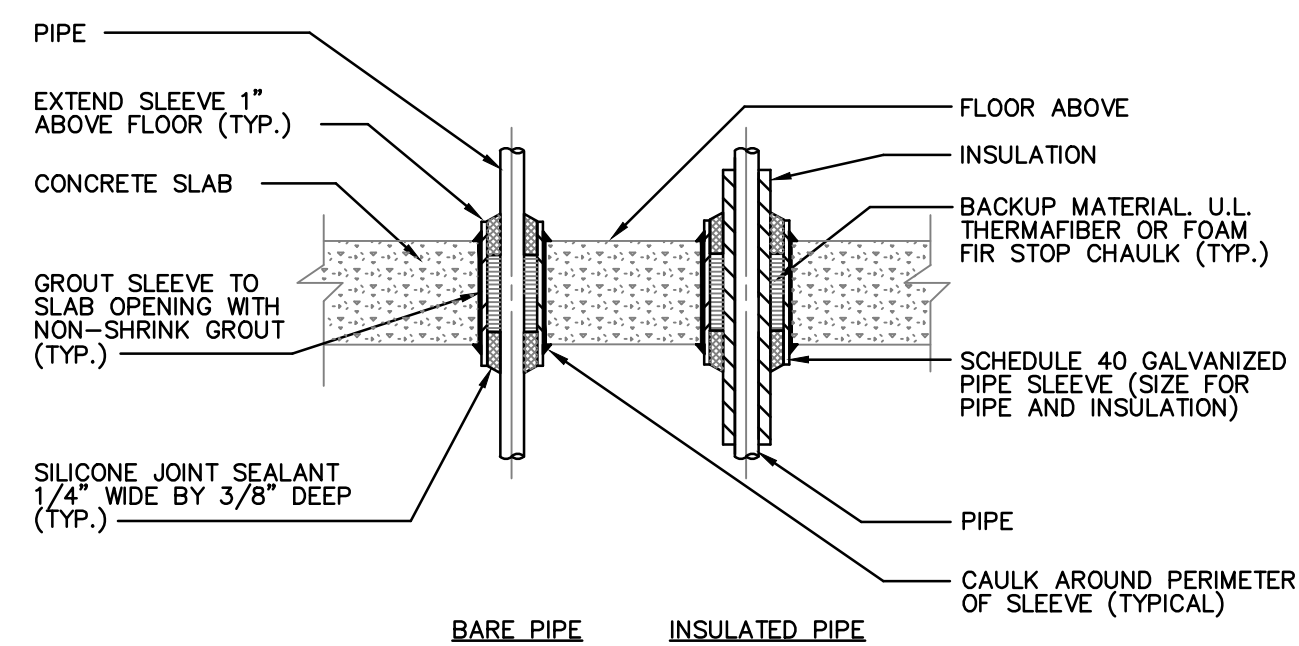
UNDER SLAB PIPE DETAIL SCALE: N.T.S.

CODES: 2015 MC, 2015 IECC, 2015 IPC, 2015 BC, 2017 NEC. PLUMBING SHEET INDEX: P-1 PLUMBING NOTES & LEGEND, P-2 PLUMBING DETAILS & RISERS, P-3 FLOOR PLAN.

Vertical sidebar containing project information: LAFAYETTE HOUSE, SCOT ENGINEERING, and various professional seals for the architect and engineer.

PLUMBING NOTES & LEGEND, DRAWING TITLE, OWNER, DESIGNED BY, DRAWN BY, CHECKED BY, SCALE, SHEET IDENTIFICATION (P-1).

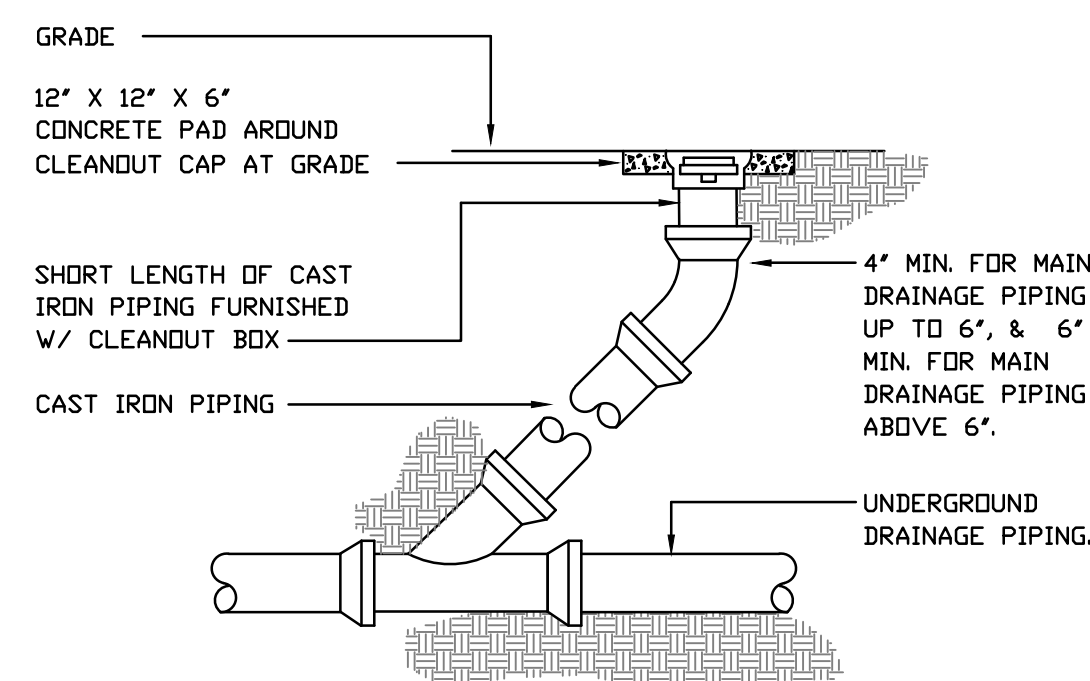




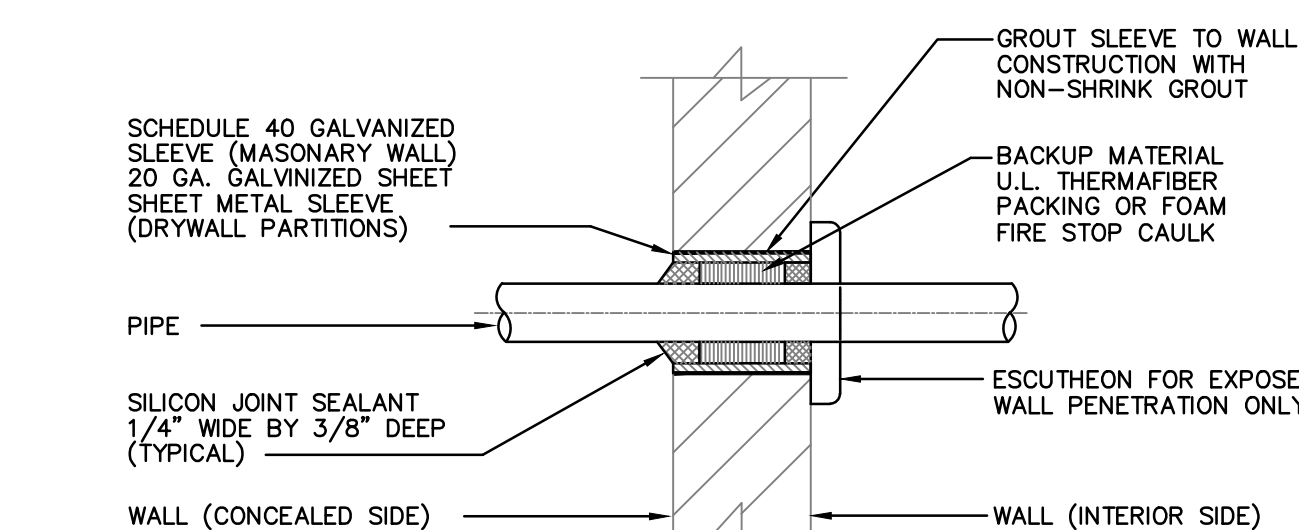
**PIPE SLEEVE THRU CONCRETE SLAB DETAIL**  
NO SCALE

**NOTES**

- 1) AT THE CONTRACTORS' OPTION A U.L. LISTED/APPROVED FIRE STOP PIPE SLEEVE ASSEMBLY MAY BE SUBMITTED FOR APPROVAL.
- 2) GALVANIZED SLEEVE SHALL BE CAST INTO NEW CONCRETE WALL POURS.



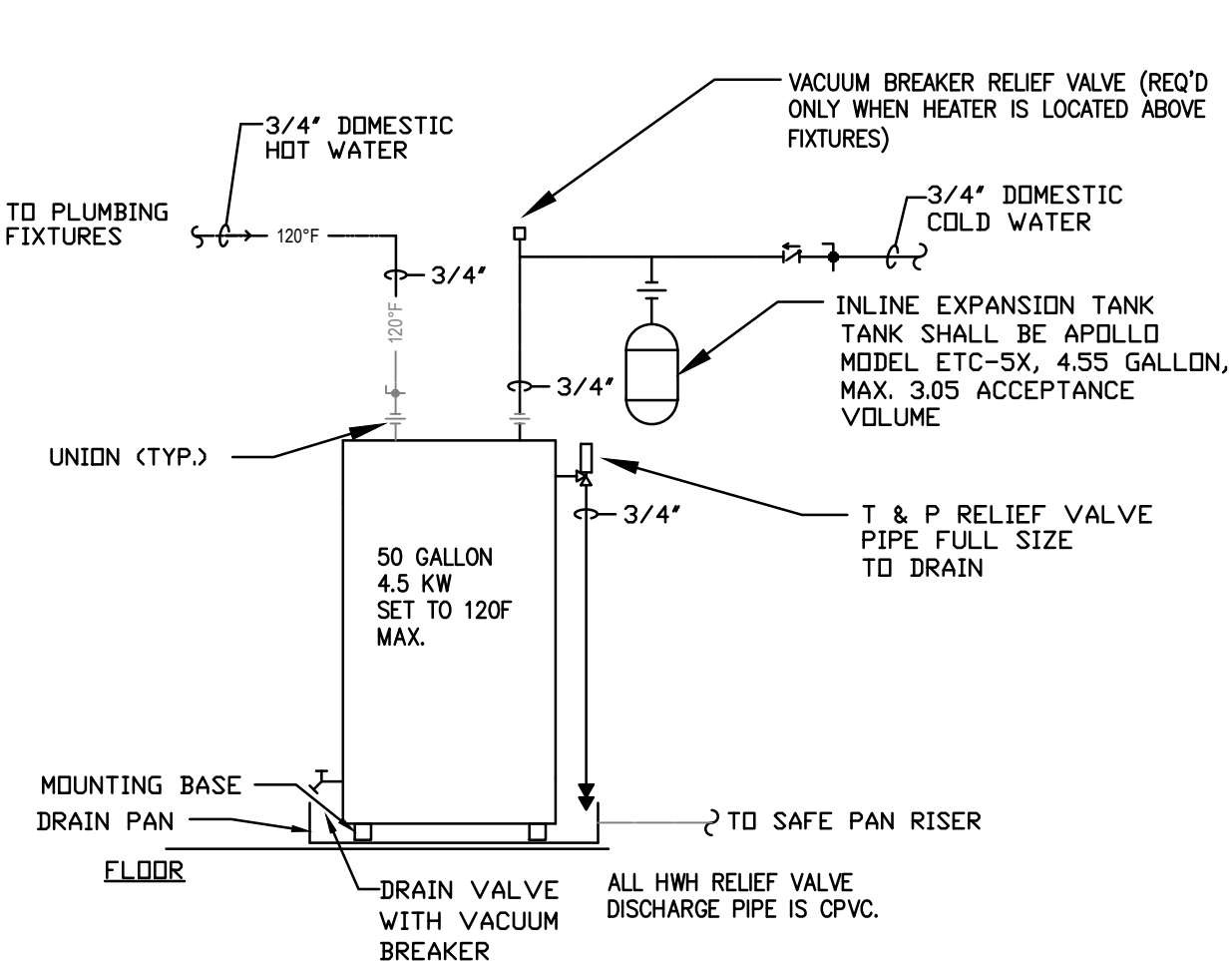
**EXTERIOR CLEANOUT DETAIL**  
NO SCALE



**PIPE SLEEVE FOR BARE PIPE THRU WALL DETAIL**  
NO SCALE

**NOTES**

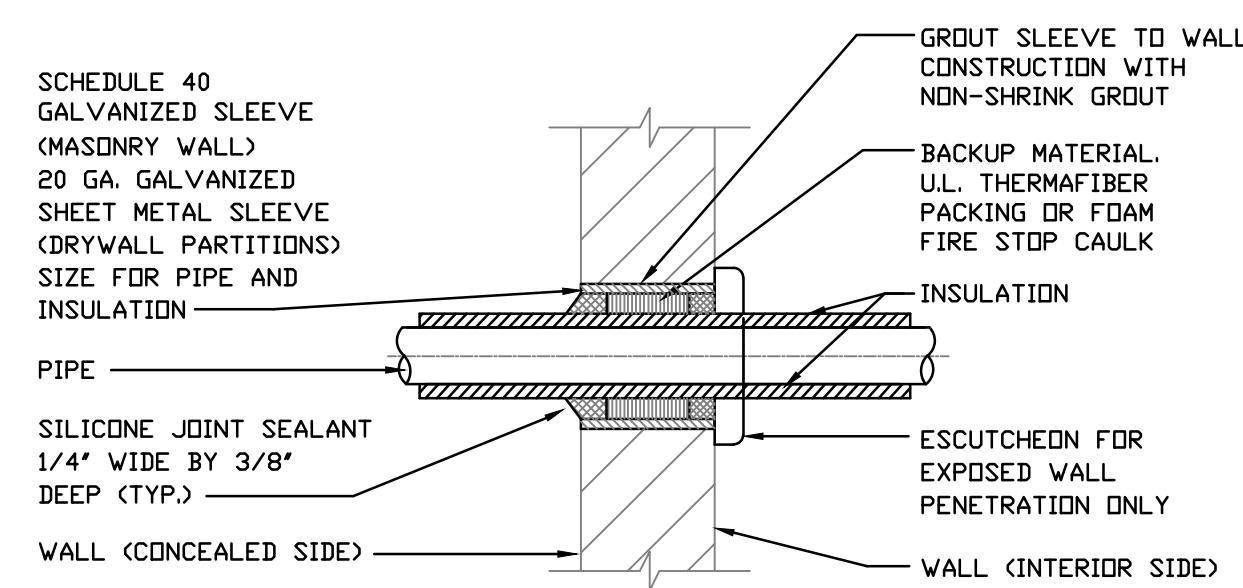
- 1) AT THE CONTRACTORS' OPTION A U.L. LISTED/APPROVED FIRE STOP PIPE SLEEVE ASSEMBLY MAY BE SUBMITTED FOR APPROVAL.
- 2) GALVANIZED SLEEVE SHALL BE CAST INTO NEW CONCRETE WALL POURS.



**ELECTRIC WATER HEATER PIPING SCHEMATIC**  
NO SCALE - Dwelling HWHs

**NOTE:**

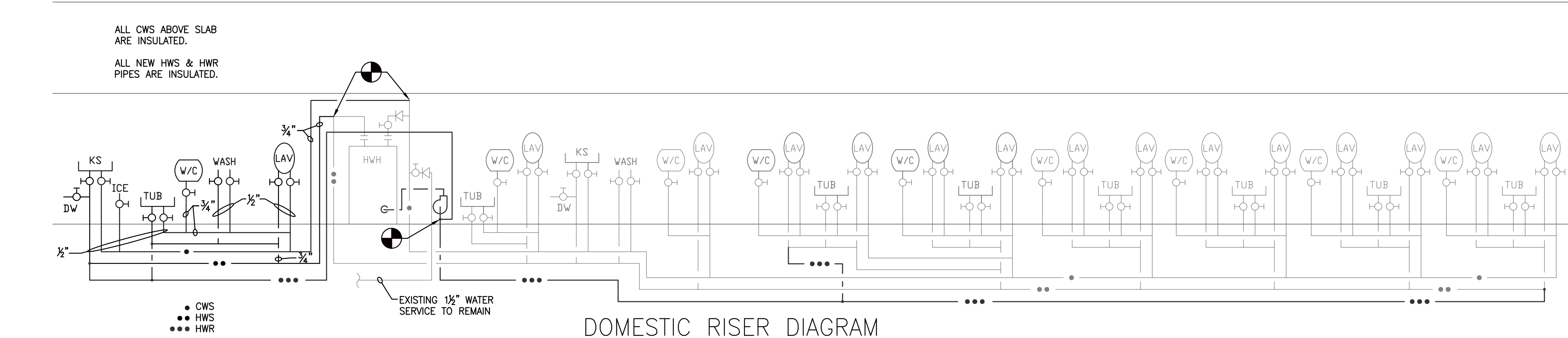
- 1) DRAIN PAN BELOW ELEC WATER HEATER SHALL BE 26\"/>



**PIPE SLEEVE FOR INSULATED PIPE THRU WALL DETAIL**  
NO SCALE

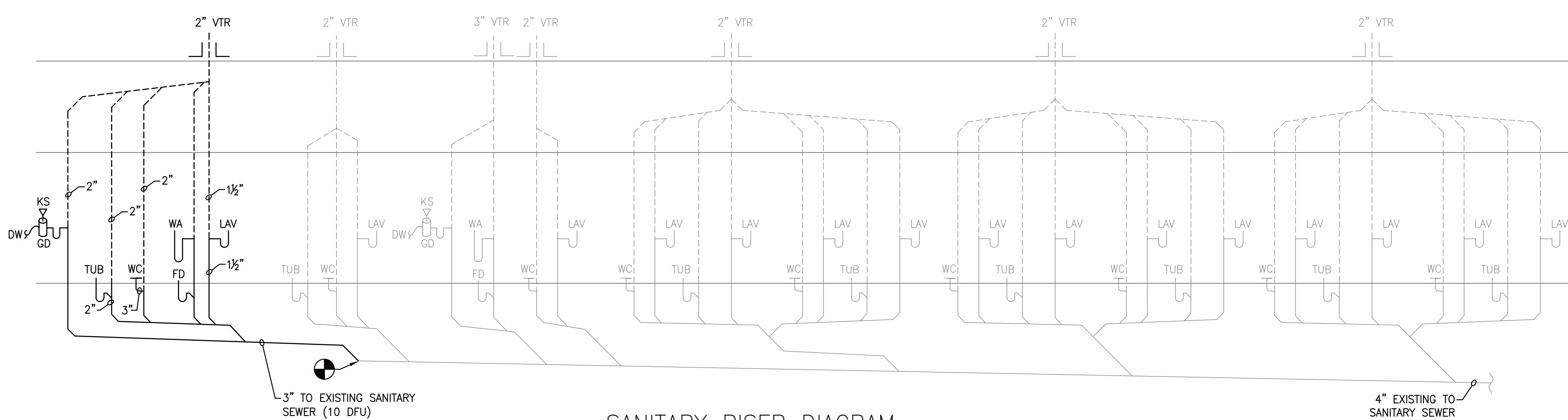
**NOTES**

- 1) AT THE CONTRACTORS' OPTION A U.L. LISTED/APPROVED FIRE STOP PIPE SLEEVE ASSEMBLY MAY BE SUBMITTED FOR APPROVAL.
- 2) GALVANIZED SLEEVE SHALL BE CAST INTO NEW CONCRETE WALL POURS.



**DOMESTIC RISER DIAGRAM**  
N.T.S.

WORK SHOWN IN BOLD IS NEW CONSTRUCTION.  
WORK SHOWN IN LIGHT GRAY IS EXISTING TO REMAIN.



**SANITARY RISER DIAGRAM**  
N.T.S.

**GENERAL DEMOLITION NOTES**

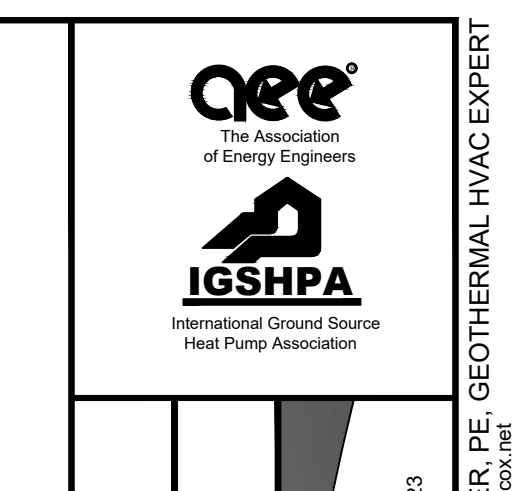
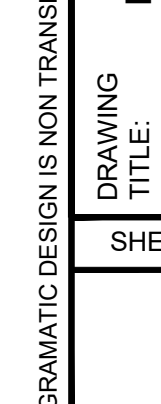
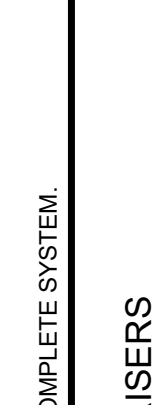
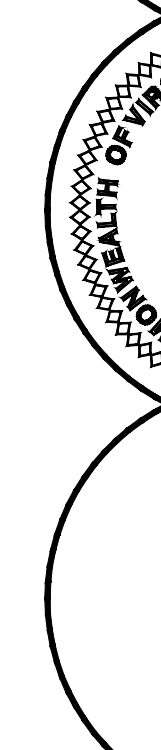
1. THE PLANS REPRESENT A COMPLETE OPERATIONAL SYSTEM, WHEREIN ALL WIRING, EQUIPMENT, FIXTURES, FITTINGS, CONTROLS, AND ALL REQUIRED ACCESSORIES ARE FURNISHED, INSTALLED, STARTED, AND TESTED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE ALL LABOR, RENTAL EQUIPMENT, AND WORK NECESSARY TO REMOVE ALL ITEMS AT A MINIMUM THAT PERMIT THE INSTALLATION OF A NEW COMPLETE SYSTEM. THE FIRE PROTECTION ALARM/SPRINKLER SYSTEM, IF REQUIRED, IS NOT A COMPONENT OF THIS DESIGN (UNLESS SPECIFICALLY DEPICTED) AND IT IS REMOVED AND/OR PROVIDED BY A DESIGN AND BUILD FIRE PROTECTION CONTRACTOR.
2. ALL CONDUITS, CONDUCTORS, PIPES, JUNCTION BOXES, VALVES, FIXTURES, HANGERS, HARDWARE, FASTENERS, ANCHORS, DUCT WORK, REGISTERS, GRILLES, HVAC EQUIPMENT AND THE LIKE SHALL BE REMOVED IN AREAS WHERE NEW WORK REPLACES EXISTING SO THAT THE PREVIOUS MATERIALS ARE NEVER CONFUSED WITH OR CONSIDERED A COMPONENT OF THE NEW WORK.
3. IN AREAS WHERE NEW WORK AND EXISTING WORK INTERFACE, ALL EXISTING WORK SHALL BE REMOVED TO THE EXTENT POSSIBLE AS DESCRIBED IN ITEM TWO ABOVE, AND AT THE POINT OF INTERFACE, ALL EXISTING WORK SHALL BE CAPPED AND MADE SAFE.
4. ALL REMOVED MATERIALS SHALL BE DEPOSED OF IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES INCLUDING BUT NOT LIMITED TO THE EPA, SUCH AS HVAC REFRIGERANT RECOVERED, OILS DELIVERED TO RECLAIM FACILITY, AND ETC.
5. ALL MATERIALS THAT CAN BE RECYCLED SHALL BE RECYCLED, INCLUDING BUT NOT LIMITED TO COPPER, ALUMINUM, STEEL, HVAC DUCTWORK, METAL HANGERS AND FASTENERS, GARD BOARD, AND THE LIKE. DO NOT DISPOSE OF THESE MATERIALS IN A DUMPSTER.
6. THE PLANS ARE DIAGRAMMATICAL IN NATURE. THE WORK REQUIRED TO REMOVE AND PROPERLY INTERFACE WITH OTHER TRADES, WHICH MAY REPRESENT CHANGES TO THE DRAWINGS TO ACCOMMODATE THE INSTALLATION OF NEW WORK, IS PERFORMED WITHOUT ADDITIONAL COST TO THE OWNER. THIS INCLUDES BUT IS NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL, PLUMBING, MECHANICAL, GRADING, FIRE PROTECTION, AND OTHER CONSIDERATIONS.
7. ALL WORK MUST BE EXECUTED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND ORDINANCES. ALL WORK MUST BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER. THE SUBCONTRACTORS AND GENERAL CONTRACTOR MUST COORDINATE WITH ALL TRADES DURING THE DEMOLITION AND CONSTRUCTION PLANNING PROCESS. THIS CONTRACTOR MUST REVIEW ALL ASPECTS OF THEIR WORK PRIOR TO BEGINNING TO INSURE PROPER CLEARANCES AND CAPACITIES EXIST.
8. THE CONTRACTOR MUST BE LICENSED AND INSURED IN THE COUNTY AND STATE AS APPLICABLE. SUBMIT TO THE OWNER AS DIRECTED PROOF OF INSURANCE INCLUSIVE OF LIMITS OF LIABILITY AND DEDUCTIBLE INFORMATION. ALL SUBCONTRACTORS OF SUBCONTRACTORS MUST BE LICENSED AND INSURED TOO.
9. SINCE THE PLANS ARE DIAGRAMMATICAL IN NATURE FOR CLARITY PURPOSES, THE CONTRACTOR MUST SUBMIT A SHOP DRAWING WHERE DEMOLITION IN COMPLEX OR COULD AFFECT OTHER ASPECTS OF THE WORK OR THAT MAY INCLUDE SUBSTANTIAL DIFFERENCES FROM THE PLANS, INCLUDING OF CALCULATIONS AND OTHER ITEMS TO THE OWNER PRIOR TO COMMENCING WORK. THE SHOP DRAWINGS MUST INCLUDE EXACT LOCATIONS, SPECIAL FITTINGS, AND VERIFICATION THAT THIS INFORMATION IS ACCURATE.
10. THE CONTRACTOR AND ALL SUBCONTRACTORS WARRANT THAT THEY HAVE VISITED THE PROJECT SITE, REVIEWED ALL OF THE CONTRACT DOCUMENTS, AND ARE OTHERWISE FAMILIAR WITH THE REQUIREMENTS NECESSARY TO COMPLETELY EXECUTE THE WORK REQUIRED TO COMPLY WITH THE DIAGRAMMATICAL WORK DEPICTED HEREIN. FURTHER, THE CONTRACTOR WARRANTS THAT, IN POSSESSING A THOROUGH KNOWLEDGE OF THE CODE AND INDUSTRY STANDARD CONSTRUCTION PRACTICES, THE BID FOR PERFORMING THE WORK WILL CONTAIN ALLOWANCES FOR NORMAL DIFFICULTIES EXPERIENCED DURING THE CONSTRUCTION OF A BUILDING OF THIS TYPE. MODIFICATIONS TO THE CONTRACT, WHICH DO NOT ADD VALUE TO THE PROJECT, WILL NOT BE CONSIDERED VALID.
11. THIS DESIGN IS NON TRANSFERABLE. IT IS INTELLECTUAL PROPERTY WITH TRADE SECRETS TO BE UTILIZED ON THIS PROJECT ONLY.
12. THE PLANS INDICATE QUANTITIES ON THE PLANS TO ENHANCE THE UNDERSTANDING OF THE DESIGN CONCEPT. THE QUANTITIES ARE RELIABLE, BUT NOT GUARANTEED. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CORRECT QUANTITIES OF ITEMS REQUIRED TO REMOVE AND DELIVER A COMPLETE FUNCTIONING BUILDING.
13. THIS PROJECT MAY HAVE AREAS OF AN UNUSUAL INTENSE MEP COORDINATION REQUIREMENT, AND IT IS THE RESPONSIBILITY OF THE MEP TRADES TO INSURE THAT ALL ASPECTS OF THE WORK ARE PROPERLY REMOVED AND PROVIDED TO DELIVER A COMPLETE AND FUNCTIONING MEP SYSTEM.
14. WHERE THERE EXISTS A DISCREPANCY BETWEEN THE PLANS, DOCUMENTS, OR CODE THE CONTRACTOR SHALL PROVIDE FOR THE MOST EXPENSIVE METHOD AND ADVISE THE ARCHITECT IN WRITING PRIOR TO PERFORMING ANY WORK.

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE  
PORTSMOUTH, NEW HAMPSHIRE

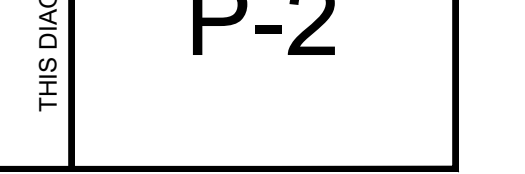
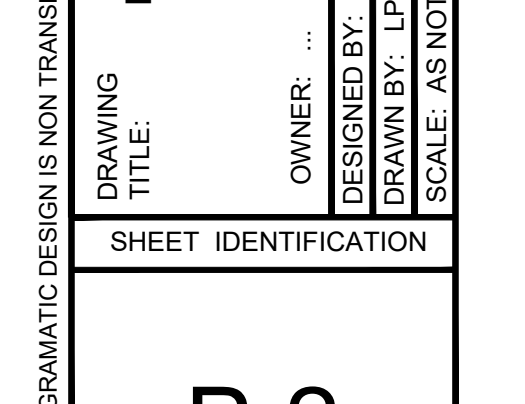
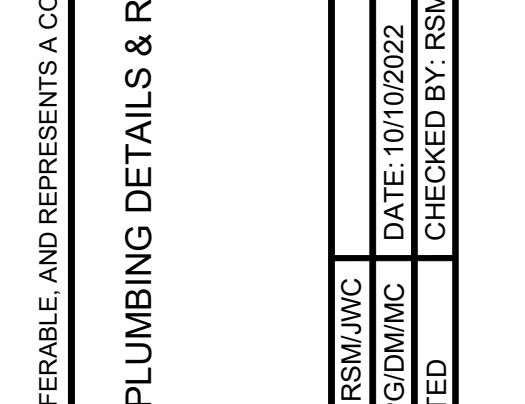
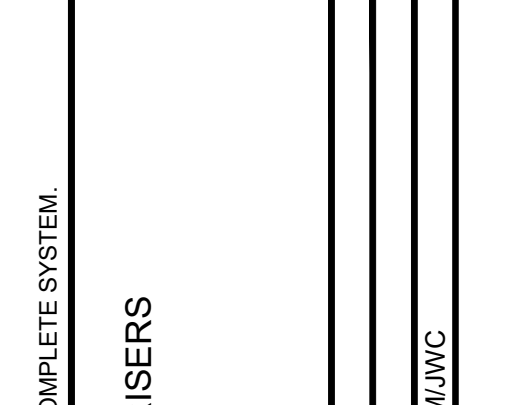
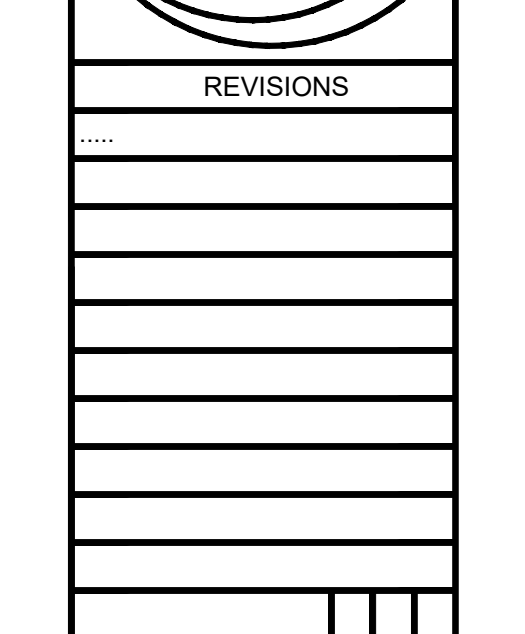
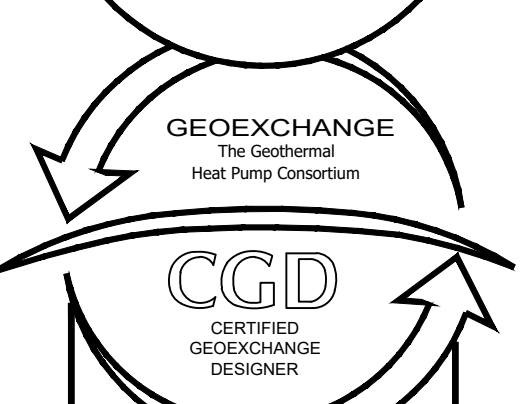
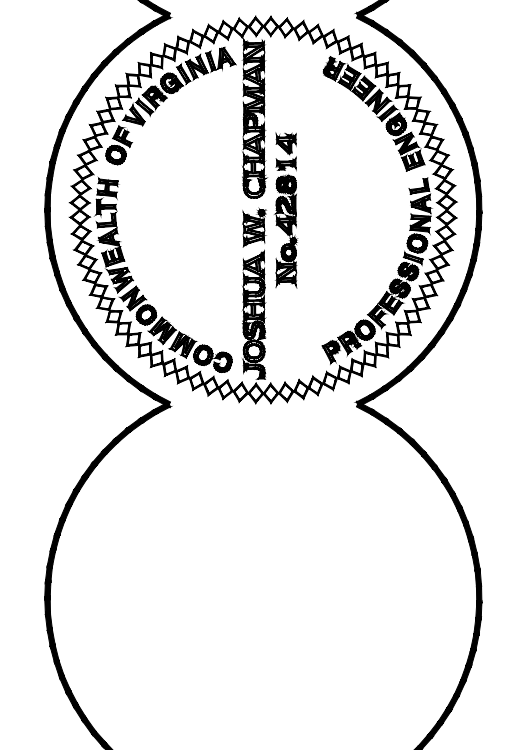
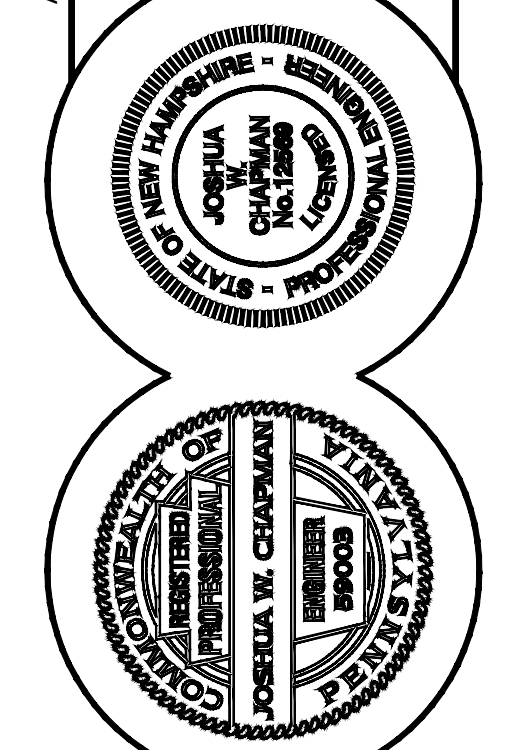
PROJECT ARCHITECT:  
PROJECT CONSULTING ENGINEER:

JOSHUA W. CHAPMAN P.E. LEED AP, PRINCIPAL



**SCOT ENGINEERING**  
SINCE 1960  
8000 BURNING TREE COURT, SUITE 100, FAYETTEVILLE, VA 22039-2723  
PH: 540-885-0477 FAX: 540-885-0478  
www.scoteng.com

JOSHUA W. CHAPMAN P.E. LEED AP, PRINCIPAL



THIS DIAGRAMMATIC DESIGN IS NON TRANSFERABLE, AND REPRESENTS A COMPLETE SYSTEM.

PLUMBING DETAILS & RISERS

OWNER: ...

DESIGNED BY: RSM/JWC

DRAWN BY: DPG/DMM/C

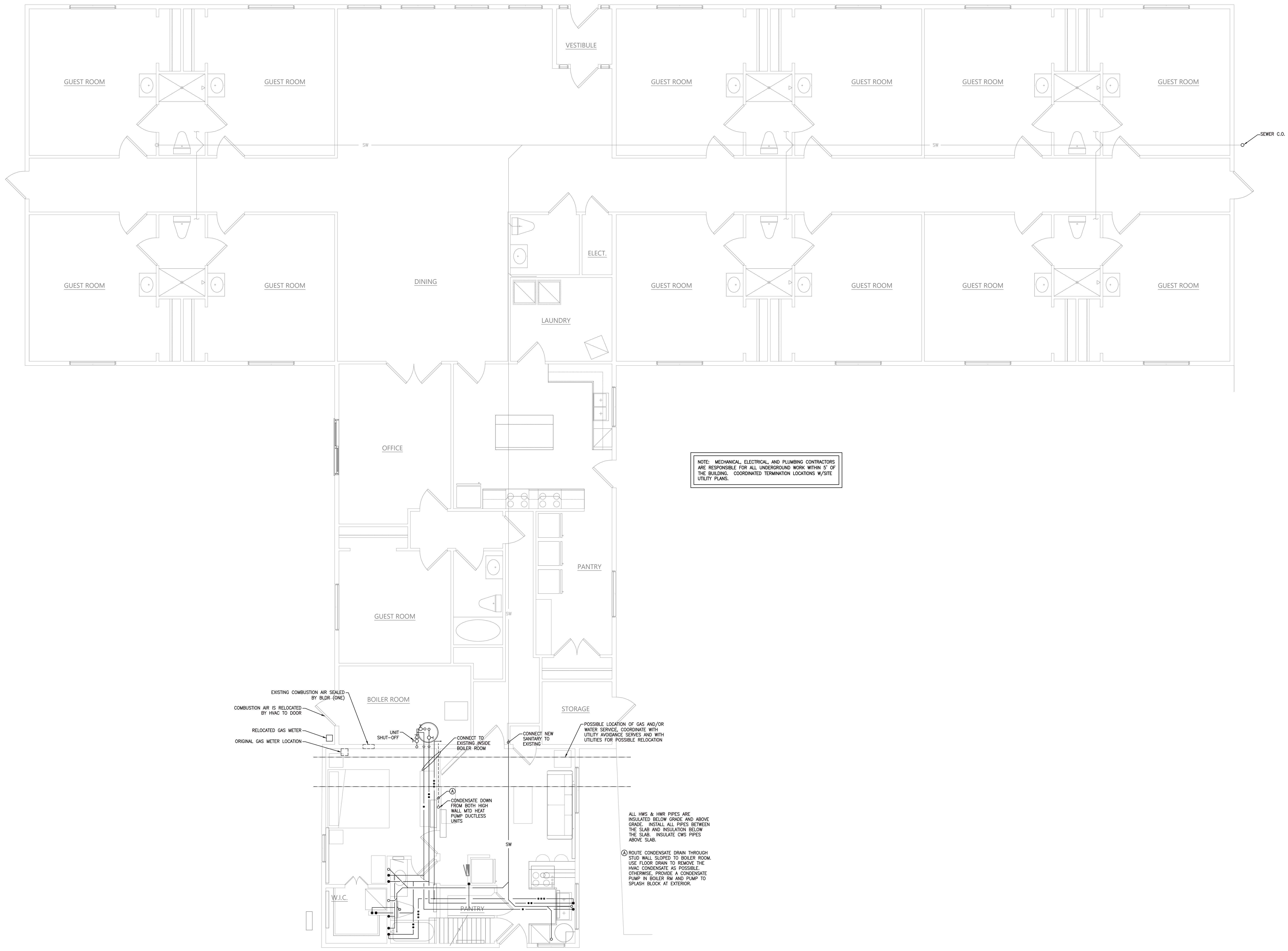
DATE: 10/10/2022

SCALE: AS NOTED

CHECKED BY: RSM/JWC

SHEET IDENTIFICATION

P-2



PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTE: MECHANICAL, ELECTRICAL, AND PLUMBING CONTRACTORS ARE RESPONSIBLE FOR ALL UNDERGROUND WORK WITHIN 5' OF THE BUILDING. COORDINATED TERMINATION LOCATIONS W/SITE UTILITY PLANS.

**SCOT ENGINEERING**  
SINCE 1980  
8000 BURNING FLOOR COURT, SUITE 100, LAFAYETTE, VA 22093-2723  
PH: 540-887-0477 FAX: 540-887-1425  
www.scoteng.com  
PROJECT ARCHITECT: JOSHUA W. CHAPMAN, PE  
PROJECT CONSULTING ENGINEER: JOSHUA W. CHAPMAN, PE, LEED AP, PRINCIPAL

ALL DIMENSIONS, SIZES AND CAPACITIES MUST BE FIELD AND CODE VERIFIED.

PROJECT: LAFAYETTE HOUSE  
PORTSMOUTH, NEW HAMPSHIRE

THIS DIAGRAMATIC DESIGN IS NON-TRANSFERABLE AND REPRESENTS A COMPLETE SYSTEM.

DRAWING TITLE: FLOOR PLAN

OWNER: ...

DESIGNED BY: RSM/JWC DATE: 10/10/2022

DRAWN BY: DPG/DMC CHECKED BY: RSM/JWC

SCALE: AS NOTED

REVISIONS

IGSHPA  
International Ground Source Heat Pump Association

GEOTHERMAL HVAC EXPERT