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OCT 17 2019

BY: \_\_\_\_\_

10/16/19

Vince Lombardi, Chairman  
Historic District Commission  
City of Portsmouth, NH

Re Lot 2, 55 Lafayette Road

Attachments:  
Plans dated 10/7/19  
Specifications Dated 10/11/19  
Submittals for Materials and Colors

Dear Commissioners,

Attached is our revised application for the new home proposed for this location.

Please note the following additions and revisions:

The first floor elevation has been lowered 2 feet to elevation 5.0 (5' above the sidewalk)

There are two folded grouped photos in the files. One shows houses #30-91. The other shows the homes across Willard, numbered 145-169. We shot the elevation of the sidewalk and front door sills of homes to the left and right of our lot and noted the info on the folded photos submitted. We also estimated the building heights and noted those as well. The bottom row of photos shows the homes located at correct distances at their correct elevations. The top row of pictures provides perspective views. Pictures were taken of the front of each home, justified to 1/8 scale, then pasted up in 1/8 scale and then reduced for printing.

The front entrance has been upgraded. It is based on the historic entrance located at 873 Middle Street. Dimensioned pictures of that entrance as interpreted for this home are included. Some of the moldings are non-standard. Michael Wise at Woodworks has similar knives and will be providing the non-standard moldings for the columns

The front door is submitted as three choices. First choice is a smooth fiberglass four panel door, second choice is a fir four panel door, and third choice is a three panel smooth fiberglass door with art glass. We would like to use an insulated door. Your input is requested.

The concrete foundation below the mudsill is revised to be painted to match Color B. There is no siding below the sill, except on the framed basement wall in the rear.

Windows changes are as follows. The transoms on the Left Elevation have been changed to a twin transom in the Dining Room, and the transom in the master bath above has been deleted. On the Rear Elevation, the filled-in window has been removed, and the window over the patio door has been shifted to center correctly in the bathroom.

The fence is specified as Cedar, and the rear retaining wall is no longer needed so it has been removed.

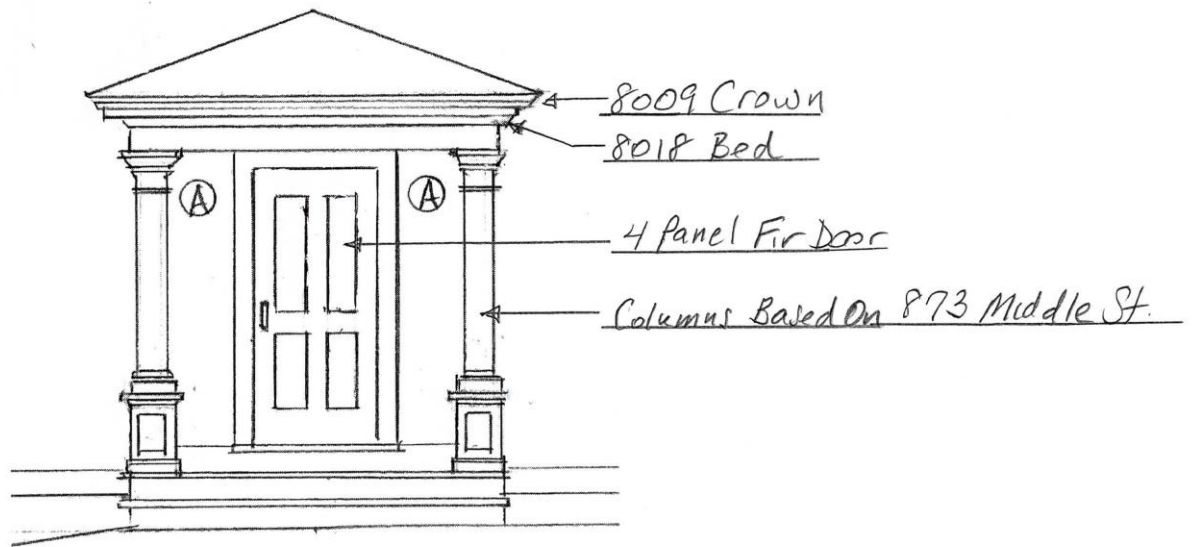
Colors are revised per the colors 10/17 attachment. Color A: Hardie Aged Pewter;  
Color B: Field Painted Ben Moore HC-166, Kendall Charcoal;  
Front Door if painted: Sherwin Williams Antique Red; Front Door if Fir: Clear poly on Fir toner.

The attached Submittals cover the materials we are requesting to be approved. Thank you for your consideration and suggestions on this project.

Sincerely,

Joe Caldarola  
President





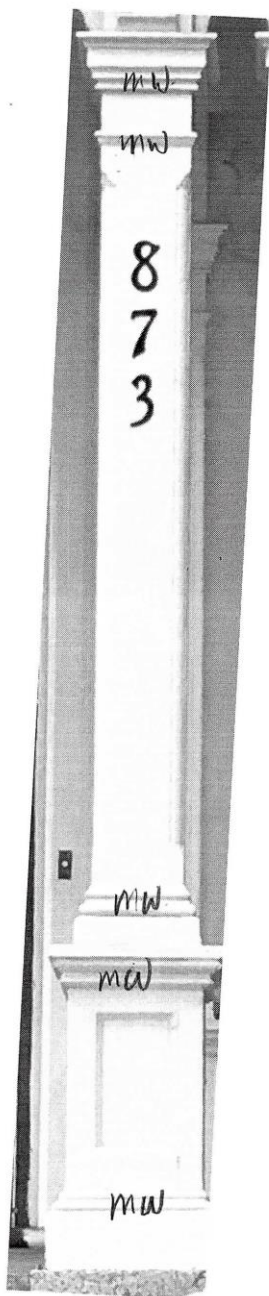
55 Lafayette Road Lot 2 Front Entrance 10/2/19



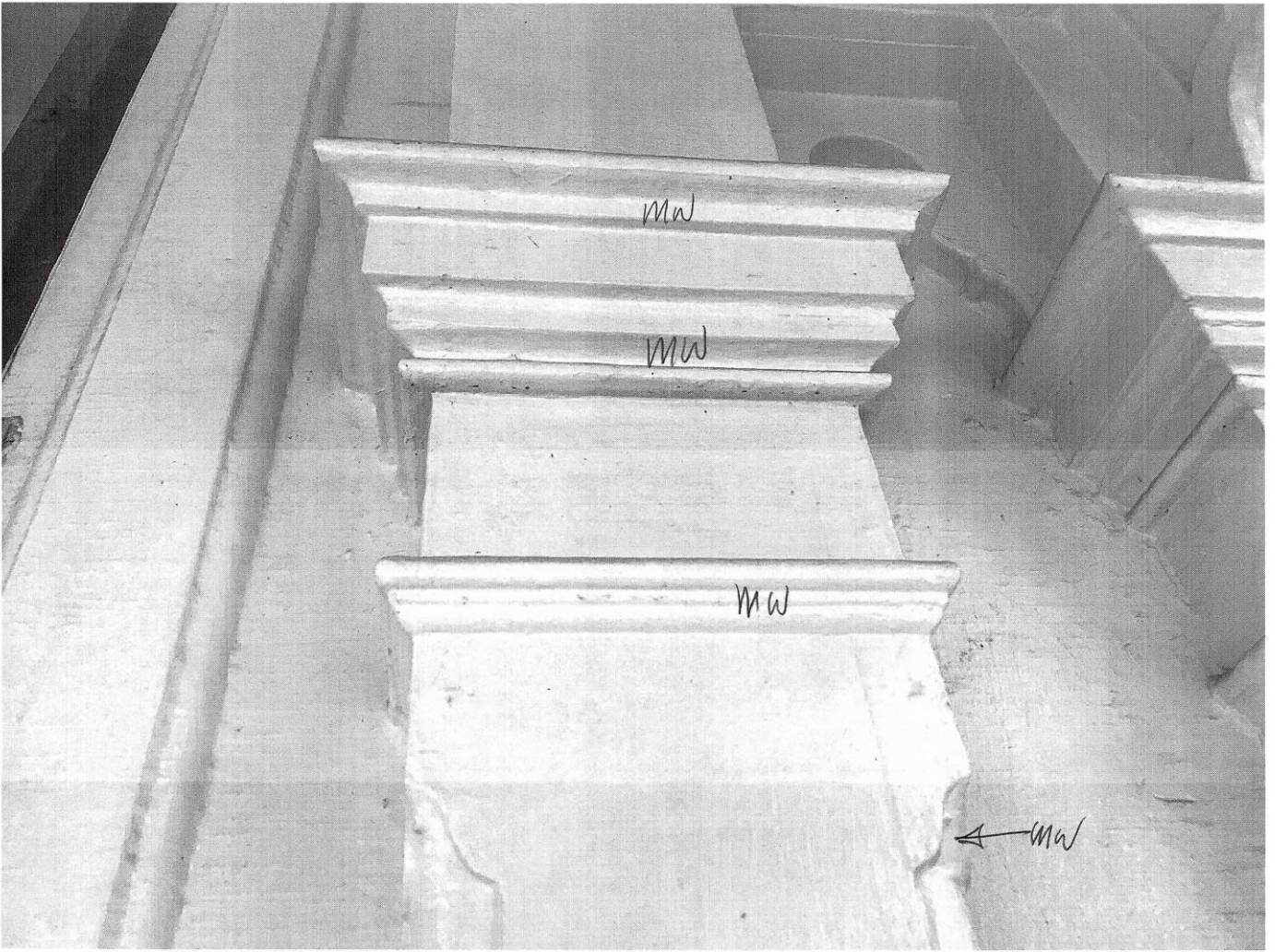












## Handleset for Front Door

Schlage F59 Addison, in aged bronze







**Exterior Specifications**  
**Lot 2, 55 Lafayette Road, Portsmouth, NH**  
10-11-2019

**The following Specifications are submitted for Approval**

**1. Siding:**

Hardie Lap Siding, Smooth, 4" exposure.  
Color "A": Prefinished in Aged Pewter  
Color "B": Field Painted Ben Moore Kendall Charcoal HC 166  
See Elevations for locations

**2. Windows:**

**Sanford Hills.** Historically accurate vinyl windows by Mathews Brothers. SDL putty profile grilles, black painted exterior sash and grille, white frame, full screens

**3. Window Trim:**

1x5 Klear PVC, screws and plugs, applied on 1x4 PT to create siding rabbit.  
Klear 7435 Historic Sill

**4. Front Door Trim:**

5/4x8 Primed Pine, rabbited for siding

**5. Corners:**

8" rabbited corners, premade in PVC, Azek or equal, applied with screws and plugs  
6" rabbited corners on dormers and garage

**6. Mudsill:**

1x8 Klear PVC per elevations

**7. Freeze**

1x4 Klear PVC

**8. Soffit:**

Klear PVC, 1/2" x 18' panels

**9. Fascia**

Klear PVC 1x6 and 1x3

**10. Roofing**

IKO Cambridge Architectural Shingles in Dual Black

**11. Front and Walk-out Doors:**

Front Door: Three choices:

First Choice 4 panel Thermatru Smoothstar S-960 smooth fiberglass insulated door.

Second Choice: 4 Panel Fir Door REEB F-2044

Third Choice: Art Glass over 2 panel, S2620-FF Smoothstar insulated door

Front Door Color: If Insulated Door: Sherwin Williams Antique Red

Lockset: Schlage F59 Addison in aged bronze

Front Door Color: If Fir Door: Clear poly on fir toner

Walkout Door: Insulated Steel 4 panel door

**12. Garage Door**

Door: Amarr Carraige Court Overlay Door with grilles as shown

Trim: 1x6 Klear PVC, screws and plugs, on 1x4 PT Spacers

**13. Patio Door**

Kasson and Keller/or Mathews Brothers 9' vinyl slider, black exterior, .28 glass.

**14. Porch Landing and Steps**

Risers: 1x8 Klear PVC

Treads: Aeratis T&G composite porch flooring, 3 ¼ " coverage, field painted.

Railings: None

**15. Front Porch Columns and Trim**

The two columns will be based on historic columns located at 873 Middle Street.

Photos and notes are attached. The non-stock moldings will be made by

Michael Wise in close approximation of the profiles at 873. Flat stock will be MDO;

Moldings will be pine, and the 5/4 x 5 base and base cap will be PVC

**16. Rear Deck and Steps**

1x8 Azek Deck Wrap and Risers

Decking: Azek Select Pebble Grey

Railings: Expanse Select white PVC railing and balusters. 4x4 post wraps and caps

**17: Walk and Landscape Steps**

Techo Block Blu 80 6 ½ x 13 in Shale Grey, or equal

Steps: Granite Steps

**18. Front Planter**

Cambridge Amortec Matrix wall stone, Bluestone Blend or native stone equal.

**19. AC Condenser**

Type and location: Work YCD mounted on pad on ground

**20. Vents**

For bath fans, range vent, gas furnace, and fireplace, as drawn

**22. Fence**

4' Cedar picket fence

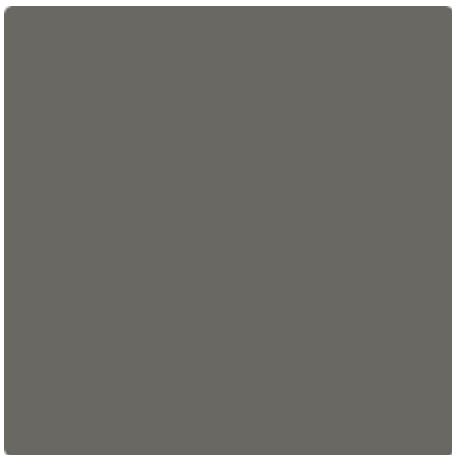
**23. Light Fixtures**

A and B fixtures per submittals



**Siding Color: Color “A”: Hardie Panel Aged Pewter**

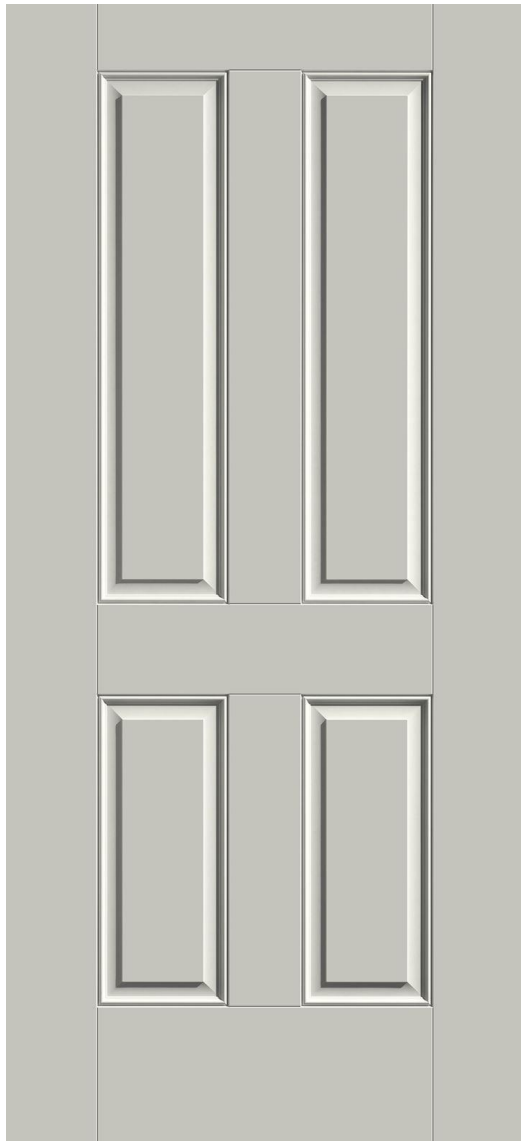
**Siding Color “B” Ben Moore HC-166 Kendall Charcoal**



**Front Door, if Insulated, Sherwin Williams Antique Red**



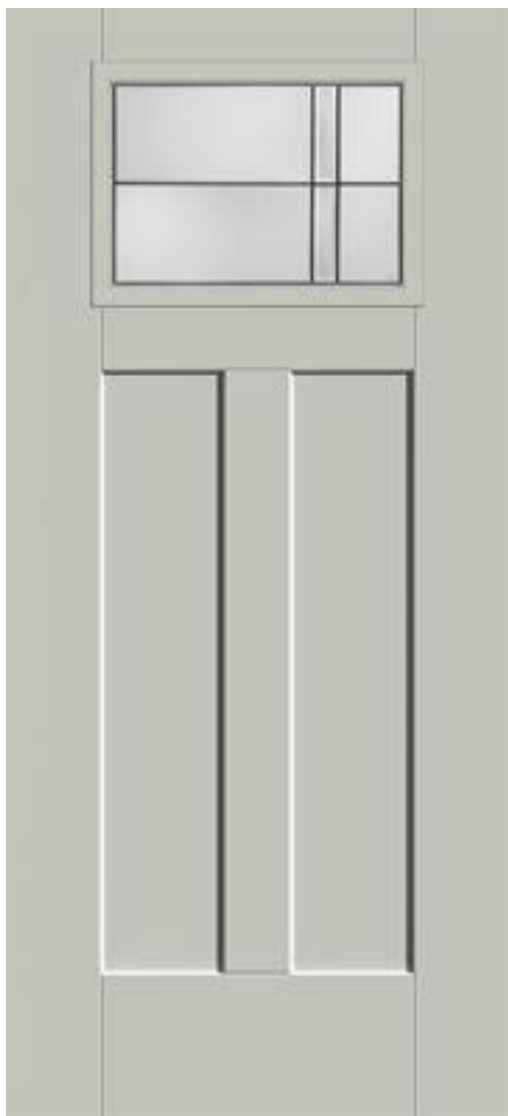




Front Door Option A- Smoothstar S960 Fiberglass



Font Door Option B- Fir four panel F-2044



Font Door Choice C: Smoothstar S2620-FF



← West Ave

Sidewalk 0.00

First Floor 8" Above Sidewalk

Sidewalk +9"

First Floor 66" Above Sidewalk

Sidewalk 0 +22"

First Floor 79" Above Sidewalk



Sidewalk - 2'-6"  
1st Floor at 35" Above Sidewalk

Sidewalk at -1.0  
1st Floor 31" Above Sidewalk

Sidewalk at 0.0  
1st Floor 60" Above Sidewalk

Sidewalk - 0.08 (1")  
1st Floor 41" Above Sidewalk

5.5' House

36' House 12' Garage

38' House Width

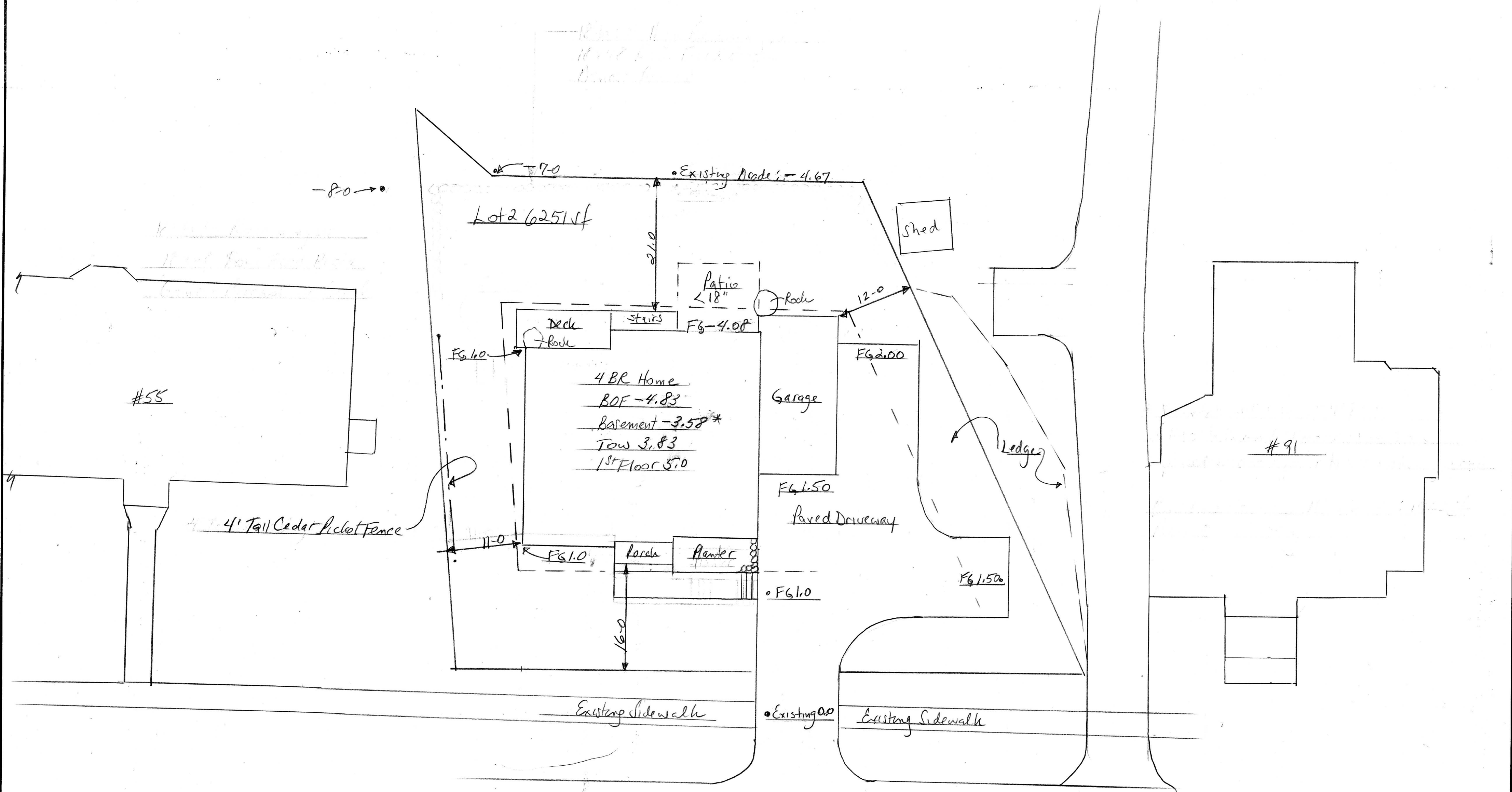
18' Above Sidewalk

18' Above Sidewalk

22' Above Sidewalk

24' Above Sidewalk

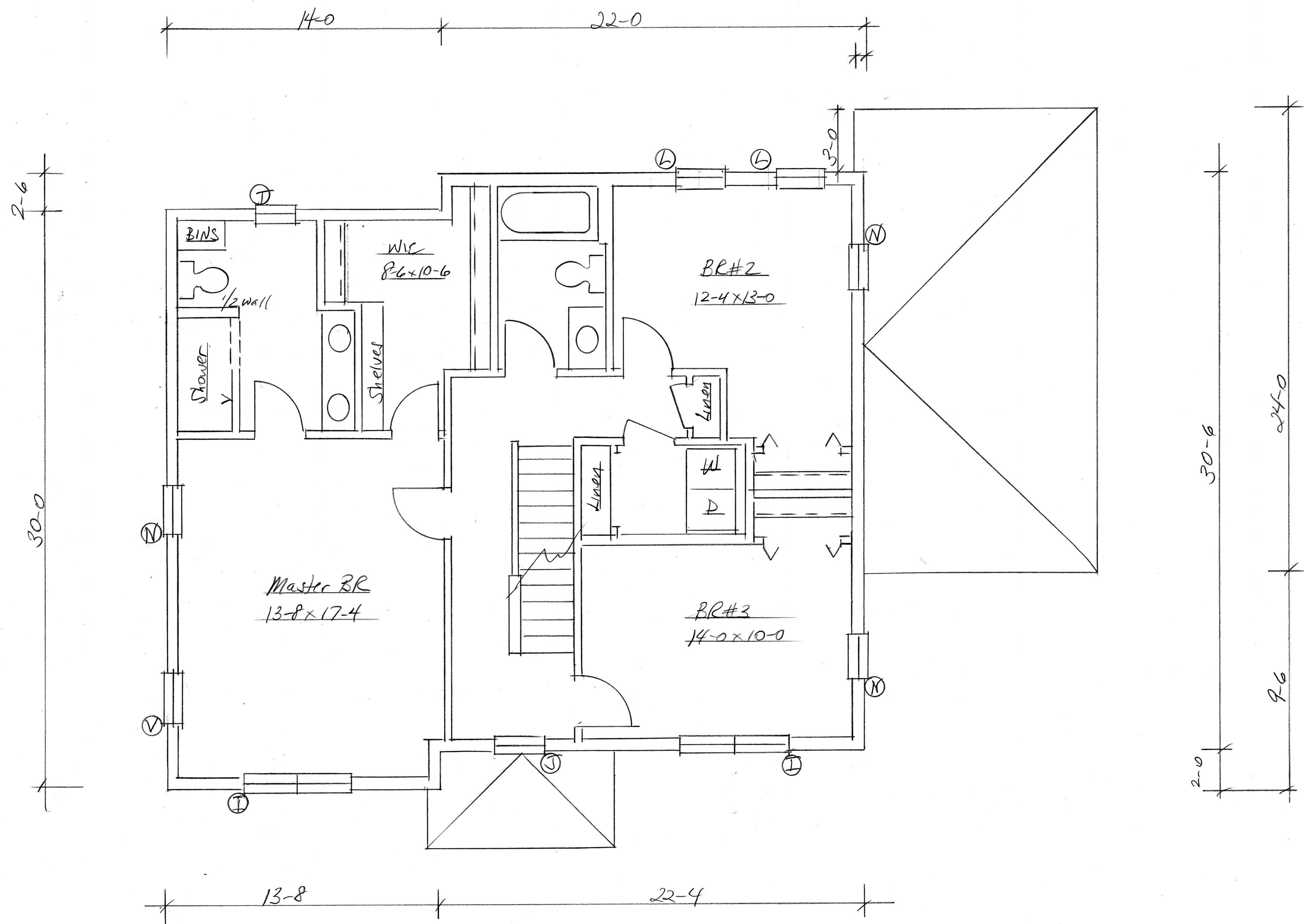




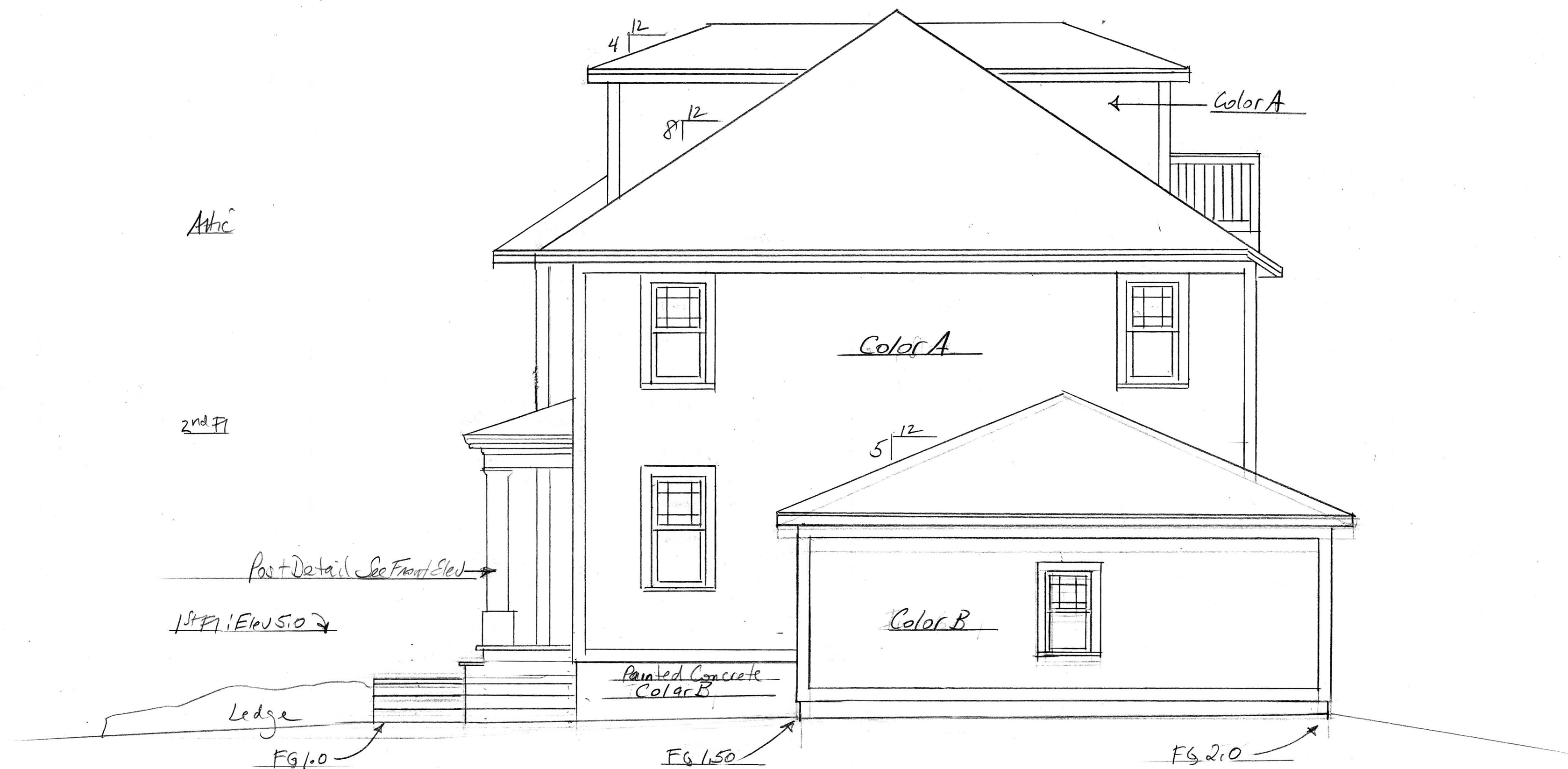
\* Foundation Wall Height: 7'-8"  
 (7-10 Wall on 8" Footer with stone placed 2" above  
 footer to allow for 2" styrofoam)

Lafayette Road

Lot 2 55 Lafayette Road		
SCALE: 1" = 10'	APPROVED BY:	DRAWN BY:
DATE: 10/7/19		REVISED:
Smithfield Construction		
Site Plan		DRAWING NUMBER: 1

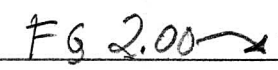
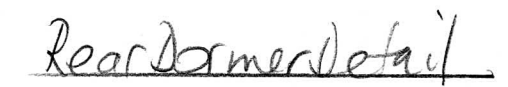
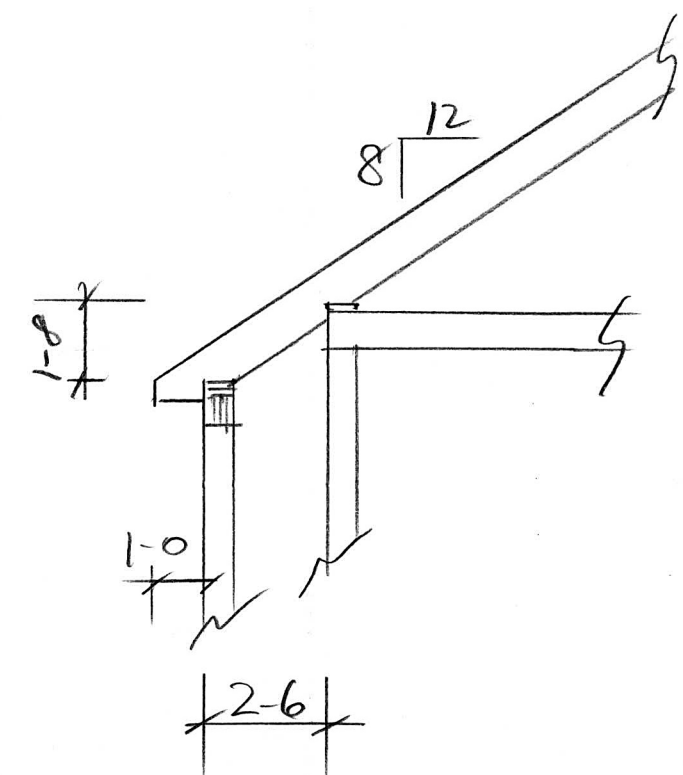


Lot 2 55 Lafayette Rd		
SCALE: 1/4"	APPROVED BY:	DRAWN BY
DATE: 10/17/19		REVISED
Smithfield Construction		DRAWING NUMBER
Second Floor Plan		2



Lot 2 55 Lafayette Rd		
SCALE: 1/4"	APPROVED BY:	DRAWN BY
DATE: 10/7/19		REVISED
Smithfield Construction		DRAWING NUMBER
Right Side Elevation		3





Lot 2 55 Lafayette Rd

SCALE: 1/4  
DATE: 10/7/19

APPROVED BY: \_\_\_\_\_

DRAWN BY

REVISÉ

Smithfield Construction

### Rear Elevation

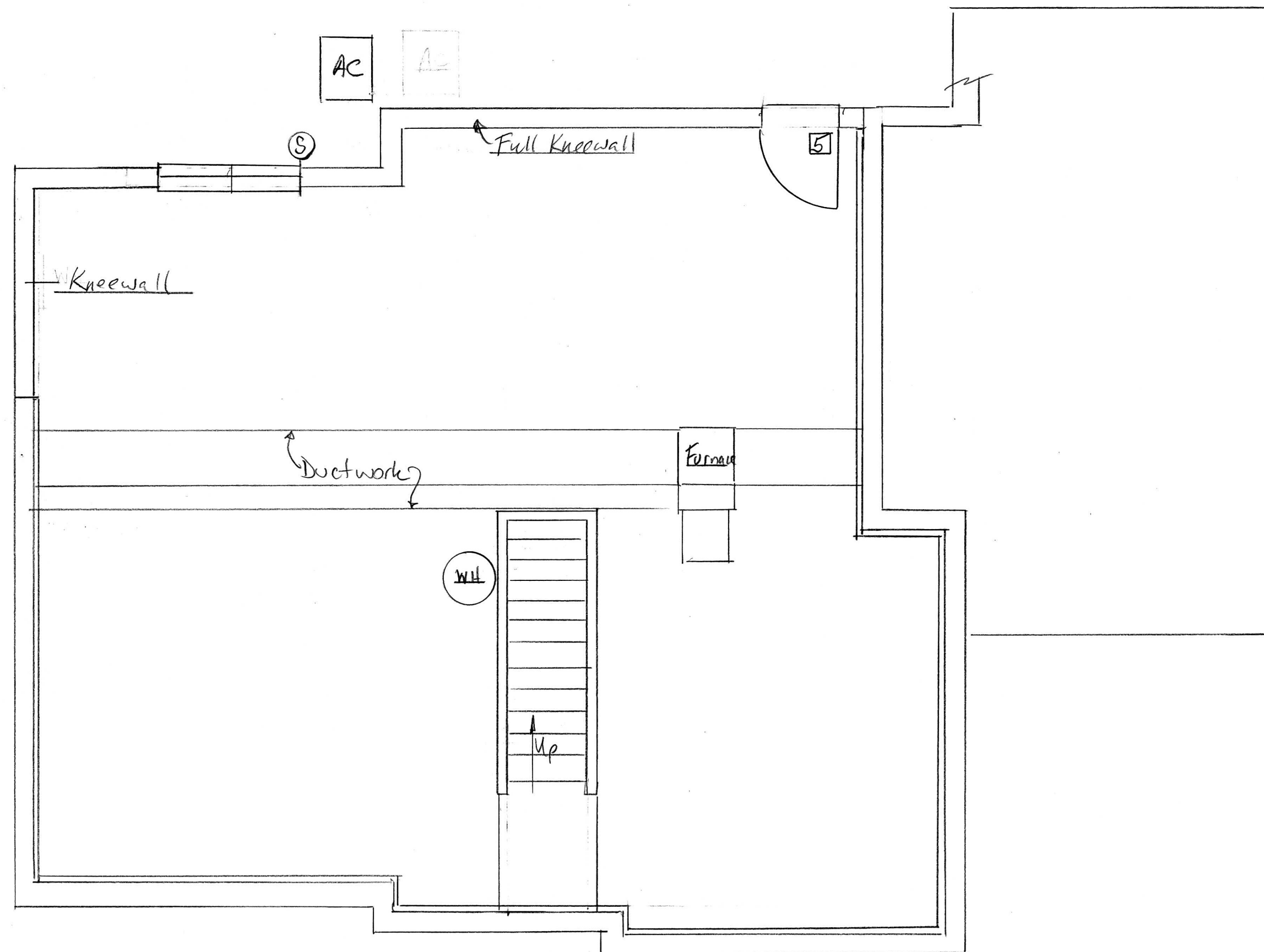
DRAWING NUMBER
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4



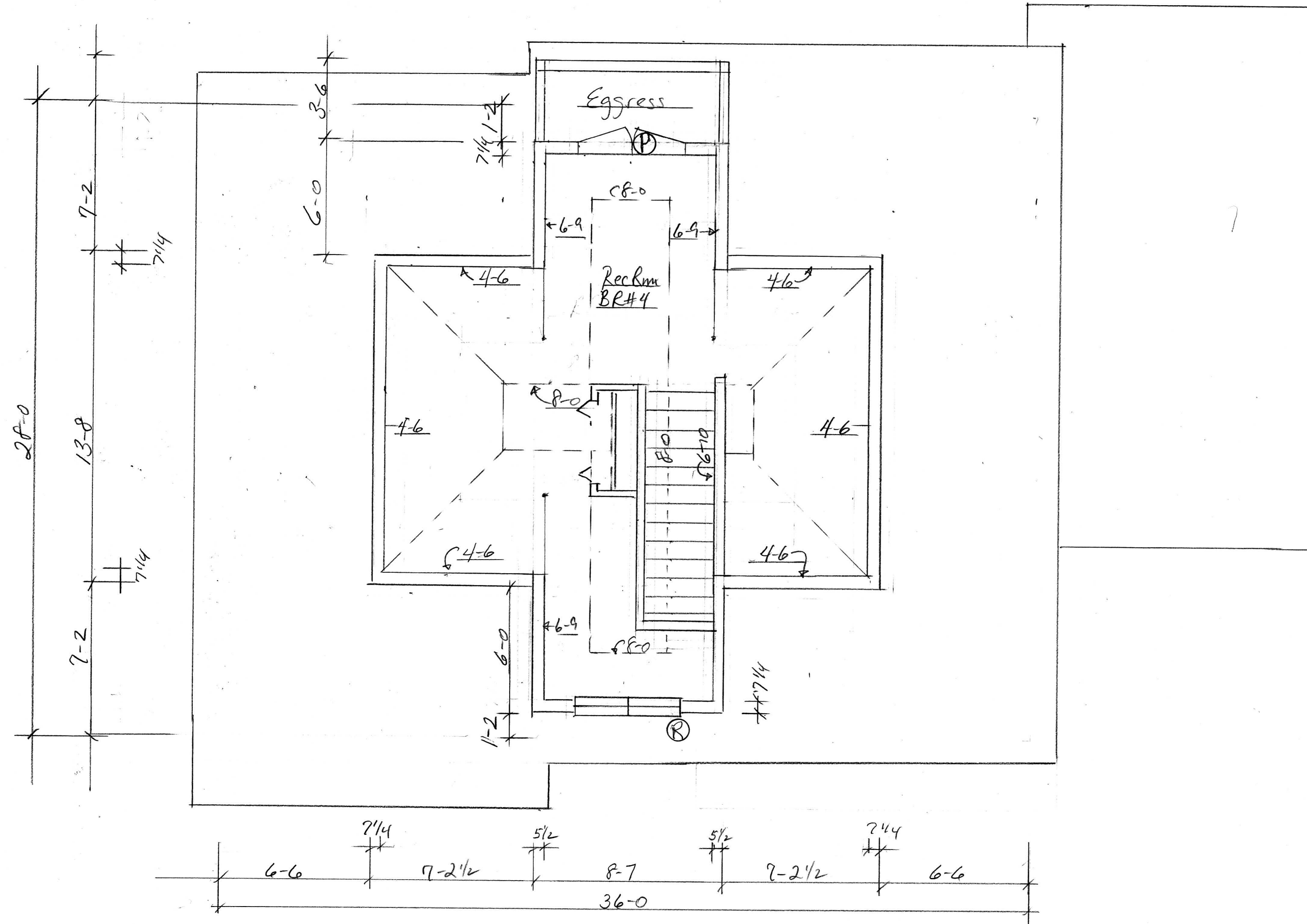
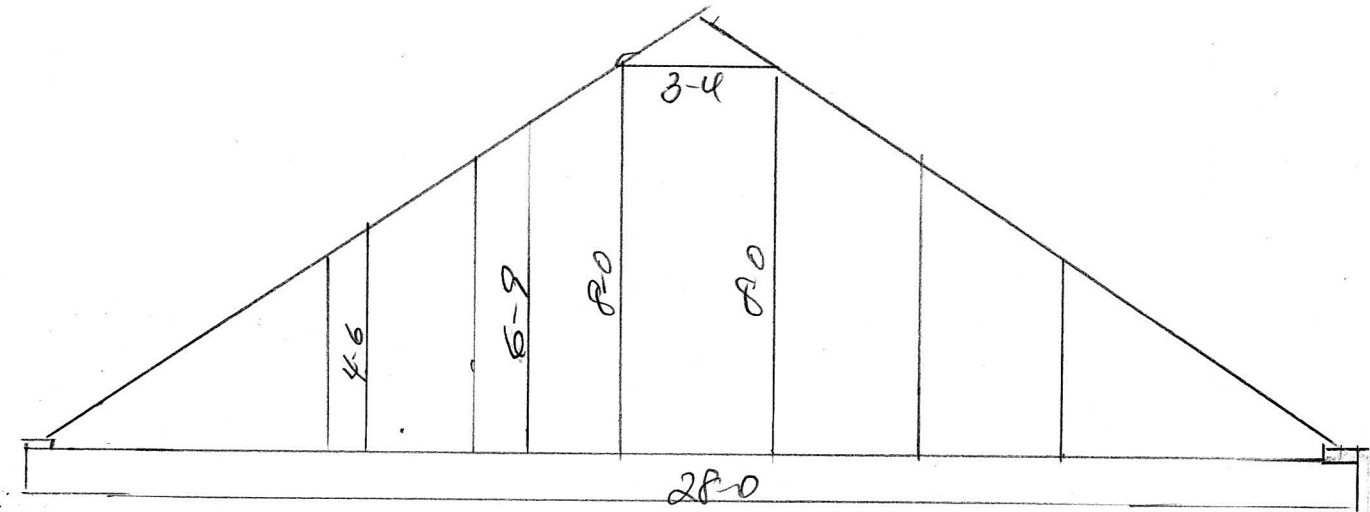
Lot 2 55 Lafayette Rd		
SCALE: 1/4"	APPROVED BY:	DRAWN BY
DATE: 10/7/19		REVISED
Smithfield Construction		
Left Elevation		DRAWING NUMBER 5





55 Lafayette Rd Lot 2		
SCALE: 1/4"	APPROVED BY:	DRAWN BY
DATE: 10/7/19		REVISED
Smithfield Construction		DRAWING NUMBER
Basement Floor Plan		9





Heated Area 4771 sf

55 Lafayette Rd Lot 2		
SCALE: 1/4"	APPROVED BY:	DRAWN BY
DATE: 10/7/19		REVISED
Smithfield Construction		
Attic Floor Plan		DRAWING NUMBER 8





Lot 2 55 Lafayette Rd		
SCALE: 1/4"	APPROVED BY:	DRAWN BY
DATE: 10/7/19		REVISED
Smithfield Construction		DRAWING NUMBER
Front Elevation		2

