



200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

5 September, 2023

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

**RE: Request for TAC Workshop Review at 581 Lafayette Road
Tax Map 229 Lot 8B**

Dear Mr. Stith and TAC Members:

On behalf of Atlas Common, LLC (Owner) we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **September 12, 2023**, Technical Advisory Committee Meeting. The project consists of the addition of residential units (including 20% Workforce) at 581 Lafayette Road with two new building additions with the associated and required site improvements. The site is currently developed with two restaurants. The re-development will include creating additional parking below first floor building level.

The project is located at 581 Lafayette Road and is a proposed addition to an existing building. The building was renovated when the site was changed from a Cinema to the Tuscan Restaurant – Tuscan Marketplace in 2016. The site is at the corner of Lafayette Road and Ledgewood Drive, and is known as Tax Map 229, Lot 8B. The lot is a 98,124 square foot parcel with frontage on both streets. The existing conditions plan shows the current site features. The Tuscan Market moved to downtown Portsmouth, and that portion of the site was re-purposed to a restaurant with golf simulators, known as Tour. The Tuscan Marketplace closed, but recently the Tuscan Marketplace was converted to another restaurant with some outside seating.

The property is located in the Gateway Neighborhood Mixed-Use District - G1. The purpose of the district is to support the goals of the cities Master Plan and Housing Policy. The aim of the policy is to encourage walkable, mixed-use development, and continued economic vitality in the cities primary gateway areas. The district seeks to ensure that new developments complement and enhance the surroundings and provide housing stock that is suitable for changing demographics, and accommodate the housing needs of the city's current and future workforce. This plan works towards that standard by adding to the existing structure and creating 72 new dwelling units. The proposed uses; being restaurant use and dwelling units (multi-family residential) are both allowed uses in the district.

The project proposes additions that are set back 33 feet from Ledgewood Drive, 47 feet from Lafayette Road, 24 feet from the southerly abutting property line, and 39 feet from the easterly abutting property line. The proposed building additions maintain the ability for the free flow of traffic around the proposed additions, as required by deed restrictions and easements on the property. First floor parking spaces are accessed from driveways to the parking areas at first floor level, as shown on the site plan. Underground parking is accessed from a driveway ramp on the north side of the proposed structure off Ledgewood Drive. The total parking provided is within 28 spaces of meeting the ordinance requirements of the city of Portsmouth, however in this particular case this property has deeded agreements with the abutting properties along Lafayette Road, wherein shared is a deeded right among the properties. Therefore, in this case the parking provided meets the ordinance.

The submitted site plan shows the impervious surface calculations for the proposed development. When the site was redeveloped to the Tuscan Marketplace, the impervious surface coverage (increase) was allowed under a Variance, up to coverage which maintained 16.5% open space. The submitted site plan proposes coverage of 82%, leaving an open space of 18%, which is less than 20%, but more than the allowable as granted by the ZBA decision of 2015. The building height is intended to comply with section 10.5 B 22.10 as allowed under the section. Regarding the special setback requirements on Lafayette Road, the project is in a location where there is a significant open space in front of the subject parcel. This open space was created when the Lafayette Road, Route 1 Bypass intersection was restructured around 2011. That relocation of the intersection created this large open space area in front of the lot, which in effect meets this special set back requirements inherent in the section regarding properties on Lafayette Road.

The presence of the parking in front of the building is as it has been for many years, when this property was used as a cinema, and additionally when it was repurposed to Tuscan Marketplace. A variance for front of building parking was granted. The proposal has gone to the Portsmouth Planning Board for Conceptual Review. During the review it was noted that some of the parking spaces in front of the building are partially located off the lot in the state highway right of way. Those spaces existed when the work was done to relocate the intersection, and they existed when the property was redeveloped into the Tuscan Marketplace and allowed to stay.

The existing drainage consists of some roof drain connections as well as some parking lot connections to the drainage network, which flow off-site. The property drainage is divided into two watersheds, one that flows to the south along the front of the adjacent mall and the other flows to the south along the back of the adjacent mall. The intent of this design is to maintain those flow directions and re-purpose the drainage in accordance with the proposed site addition roof drains that will replace some catch basins to direct the water in this manner.

It is our understanding that this development would most likely fall under Section 10.05 B 42.20, Mixed-Use Development, and the development standards of that section. The process for development in the Gateway Neighborhood Mixed-Use District requires application to the Planning Board for a Conditional Use Permit where development deviates from the strict standards, and proof that the development proposed meets, and is consistent with, the Portsmouth Master Plan. In the density section of the ordinance this development would be allowed up to 24 units per structure. This project proposes a Conditional Use Permit for a

density bonus as allowed in section 10.5 B 72 for two buildings with 36 units in each building. This increased housing density is allowed with an incentive. In order to be eligible for the bonus incentive the development shall include workforce housing. The intent of this development is to provide 20% of the dwelling units, or 15 units, as workforce units, as defined by the Portsmouth Ordinance. In addition to the workforce housing units, the developer plans to provide for two community rooms within the structures, providing community space for the development. We believe that under section 10.5 B 74.30 the Planning Board is authorized to grant modifications to the standards of the section since, and as a result of, the developer providing workforce housing. We believe that the modifications to the strict ordinance interpretations are consistent with the purpose and intent set forth in the Gateway Neighborhood Mixed-Use District section. We therefore request that review of this project at the Technical Advisory Committee level proceed not only to look at the technical aspects of the proposal, but to review our proposed development and provide feedback regarding compliance with the intent of the ordinance.

The development plan is summarized as follows and as shown on the Proposed Site Plans:

- Sheet C1 – Existing Conditions Plan: The plan shows current site conditions.
- Sheet C2 – Demolition Plan: The plan shows required site demolition.
- Sheet C3 – Site Plan: This sheet shows the location of the proposed building additions, outdoor seating area, and associated site improvements.
- Sheet C4 – Parking Plan: The plan shows the underground parking.
- Sheet C5 – Utility Plan: The plan shows proposed utility connections.
- Sheet C6 – Grading, Drainage, Erosion Control Plan: The plan shows the proposed drainage connections for the site.
- Renderings – Elevations – Floor Plans – these are the Architectural site designs.

We look forward to an in-person presentation at the September 12th meeting.

Sincerely,



John Chagnon, PE; Ambit Engineering – Haley Ward
Submitted Online

P:\NH\5010156-McNabb_Properties\1397.03-Lafayette Rd., Portsmouth-JRC\2023 Site Plan 1397.03\Applications\Portsmouth TAC Workshop\581 Lafayette TAC Worksop Application 2-7-23.doc



CITY OF PORTSMOUTH

Community Development Department
(603) 610-7232

Planning Department
(603) 610-7216

PLANNING DEPARTMENT

September 25, 2015

DiLorenzo Lafayette Ledgewood RE LLC
549 U.S. Hiway 1 By-Pass
Portsmouth, NH 03801

Re: Property at 581 Lafayette Road, Permit 15-1037
Assessor Plan 229, Lot 8B

Dear Applicant:

The Board of Adjustment at its reconvened meeting on September 22, 2015 completed its consideration of your application described as follows:

Application:

9) Case # 9-10

Petitioner: DiLorenzo Lafayette Ledgewood RE LLC

Property: 581 Lafayette Road

Assessor Plan 229, Lot 8B

Zoning District: Gateway

Description: Allow a restaurant and market with associated parking.

Requests: The Variances necessary to grant the required relief from the Zoning Ordinance, including the following:

1. A Special Exception under Section 10.440, Use #9.52 to allow a restaurant with 492 seats where 250 to 500 seats are allowed by Special Exception.
2. A Variance from 10.593.10 to allow a restaurant to be located 92.1' from a residential district where 200' is required.
3. A Variance from 10.531 to allow 16.5% open space where 11% exists and 20% is required.
4. A Variance from Section 10.1112.50 to allow 154 off-street parking spaces where 184 exist and 132 are the maximum allowed.
5. A Variance from Section 10.1113.20 to allow parking in the front yard or between a building and a street for 34 spaces where 38 exist and 0 spaces are permitted.

6. A Variance from 10.1113.10 to allow 28 existing and 30 proposed off-street parking spaces to be partially located on a lot separate from that of the principal use.
7. A Variance from Section 10.1114.21 to allow 10 off-street parking spaces to be 17.5' in length where 19' is required.
8. A Variance from 10.1124.20 to allow off-street loading or maneuvering areas to be 87.7' from an adjoining Residential or Mixed Residential District where 100' is required.

Action:

The Board voted to **grant** the petition as presented and advertised.

Stipulations:

None.

Review Criteria:

The Special Exception was granted for the following reasons:

- The standards as provided by the Ordinance for this particular use permitted by Special Exception are met.
- There will be no hazard to the public or adjacent property from fire explosion or release of toxic materials from the proposed uses.
- There will be no detriment to property values in the vicinity or change in the essential characteristics of the area on account of the location or scale of buildings, odors, smoke, or other pollutants or irritants, or unsightly outdoor storage of equipment, vehicles or other materials. This is primarily a business district with the property containing essentially the same characteristics as it has had in the past. The scale of buildings will not change appreciably and there is nothing in the proposed uses to generate noxious odors, smoke or pollutants.
- There will be no creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity. Concerns with traffic congestion and the general traffic flow will be addressed by the Technical Advisory Committee and the Planning Board.
- There will be no excessive demand on municipal services. There is nothing in the restaurant use that would create an unusual demand.
- There will be no significant increase in storm water runoff onto adjacent property or streets. There are existing buildings on the property and it is proposed to add additional green space which will help to mitigate any runoff.

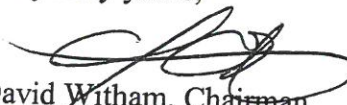
The Variances were granted for the following reasons:

- Granting the variances will not be contrary to the public interest. The restaurant will be located in what has been a commercial corridor so that the essential characteristics of the neighborhood will not be altered and no threat will be presented to the public health, safety or welfare. Any traffic generated will tend to be variable throughout the day and week and not create an undue burden. Any impact on traffic will be further addressed by the Technical Advisory Committee and the Planning Board.
- The spirit of the Ordinance will be observed. The retail and restaurant use will be more compatible in its proximity to a residential area than many uses with similar setbacks. Only minor relief is required with the proposed setback for the off-street loading and maneuvering area. The proposed parking is part of a larger shopping complex with interchanging use of the parking areas from different entities. The spirit of the Ordinance is also served as the proposal will move closer to what is required for open space.
- Substantial justice will be done by allowing the property owner to make full and practical use of what has been a deteriorated property which will also benefit the general public.
- The value of surrounding properties will not be diminished as there will not be a major change in use in terms of activity related to the conduct of business.
- The hardship with particular reference to the parking variances includes the existing structure and existing parking layout that the property owners must adapt to their needs. With specific regard to the distances from a residential area, there have been long standing business uses on the property and a hardship would be created in imposing the current Ordinance requirements. The applicant's request is a reasonable one.

Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches. Contact the Inspector at 603-610-7243 between the hours of 8:00 and 10:00 a.m. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Very truly yours,


David Witham, Chairman
Board of Adjustment

mek
c: Robert Marsilia, Chief Building Inspector
Roseann Maurice-Lentz, City Assessor
R. Timothy Phoenix, Esq.
John Chagnon



LCHIP	ROA646155	25.00
RECORDING		22.00
SURCHARGE		2.00

WARRANTY DEED

JOHN GALT, LLC, a New Hampshire limited liability company with a mailing address of 3 Pleasant Street, Suite 400, Portsmouth, New Hampshire 03801 ("Grantor") for consideration paid grants to **ATLAS COMMONS, LLC**, a New Hampshire limited liability company with a mailing address of 3 Pleasant Street, Suite 400, Portsmouth, New Hampshire 03801 ("Grantee") **WITH WARRANTY COVENANTS**

THE FOLLOWING DESCRIBED PREMISES:

1. A certain tract or parcel of land, together with any buildings or improvements thereon, situate in Portsmouth, County of Rockingham and State of New Hampshire, bounded and described as follows:

Beginning at a point in the Easterly sideline of Lafayette Road at the Northwesterly corner of the parcel herein described and at land of the City of Portsmouth; thence running North 81°43 East by City of Portsmouth land, two hundred eighty-one and seven tenths (281.7) feet to a corner at land of Ledgewood Manor Associates; thence turning and running South 5°56' West two hundred forty-six and thirty-one hundredths (246.31) feet, South 15°05'30" West fourteen and twenty-one hundredths (14.21) feet, South 07°12' West seventy-two and no hundredths (72.00) feet, South 48°45' East thirty-three and thirty-two hundredths (33.32) feet and South 39°04' East seventy-five and seven hundredths (75.07) feet, all by land of Ledgewood Manor Associates to a corner of land now or formerly of William N. Genimatas; thence turning and running North 84°04' West three hundred thirty and forty hundredths (330.40) feet by land of said Genimatas to Lafayette Road; thence turning and running North 05°56' East two hundred thirty-nine and thirty-nine hundredths (239.39) feet and North 05°31' West ninety-six and two tenths (96.2) feet by said Lafayette Road to the point of beginning. Containing 2.25 acres, more or less.

2. Together with the perpetual right to use in common with DLR, Inc., and William N. Genimatas, their heirs, devisees, successors and assigns, the Lafayette Road entrance-exit way as developed by DLR, Inc., (formerly MDL, Inc.) near the southwest corner of the land retained by Genimatas, together with the perpetual right hereby granted to grantees,

their heirs, devisees and assigns, to use in common with said DLR, Inc., and Genimatas, their heirs, devisees, successors and assigns, the other Lafayette Road entrance-exit ways on the DLR, Inc. and the Bowl-O-Rama lots adjoining the premises hereby conveyed.

3. Subject to, and with the benefit of mutual parking rights in common with said DLR, Inc., and said Genimatas respecting this lot and the adjoining Bowl-O-Rama and DLR, Inc., lots, namely and respectively, that said DLR, Inc., Genimatas and Robbins shall have free parking as may be necessarily available on any of these three parcels of land, and such parking rights for each of them in each other's adjacent land shall be mutually interchangeable, for said Genimatas, DLR, Inc., and said Robbins, their respective heirs, devisees, successors and assigns, such mutual parking rights and benefits to extend to any other persons or corporations and any other lands and premises, which said Genimatas, said Robbins, MGR Realty and/or MGR Realty, Inc., may have heretofore conveyed and reserved such rights, benefits or privileges. The foregoing parking rights shall not limit or restricts the rights of the owners of the said lots to construct buildings or additions to same, upon the said lots, provided no unreasonable imposition of owner's parking is caused the abutters by such buildings or additions thereto.
4. Also being conveyed with the benefit of, a certain right of way in common with others, including Petzold, et al, and Ledgewood Manor Associates on the Southerly part of the DLR, Inc., Lot #3, second lot south of this lot, said right of way being also subject to a restriction against the erection of a barrier, fence or other obstruction on either side of said right of way as it runs to Lafayette Road, all as per agreement acknowledged on July 23, 1973, recorded in Rockingham Registry of Deeds, Book 2209, Page 1400.
5. The foregoing premises are further conveyed subject to, and with the benefit of, a perpetual easement for a roadway thirty (30) feet in width extending from Lafayette Road on the South, adjacent to land of Petzold, running thence along the southerly and easterly boundary of the DLR (former Tower Restaurant) Lot of 1.92 acres, the easterly boundary of the Genimatas (Bowl-O-Rama) Lot of 2.82 acres, and the easterly boundary of the Robbins (Jerry Lewis Cinema) Lot of 2.25 acres, as shown on plan of "Subdivision of Land, Portsmouth, N.H., for Genimatas and Robbins" dated November 1978, Revised June 7, 1979 which roadway easement is reserved for use in common of, and the benefit in common of, William N. Genimatas, Henry J. Robbins, Joan M. Robbins, and DLR, Inc., and their respective heirs, devisees, successors and assigns. Owners of Lots #1, 2, and 3 in said Subdivision agree that they will equally contribute to development and maintenance of such thirty (30) foot right-of-right as a passable gravel way, excluding winter maintenance such as snow plowing and clearing way of snow, ice, slush or water.
6. The premises hereby conveyed (the "Premises") shall be SUBJECT TO the restriction (this "Use Restriction") that the business of a movie theater shall not be conducted or maintained upon the Premises or any portion thereof for a period of twenty (20) years from October 10, 2007, the date of the recording of the deed from Canavan Properties, LLC, to MANI Properties, LLC recorded in the Rockingham County Registry of Deeds at Book 4851, Page 526 (the "Restriction Term"). By the acceptance of this Deed, the within grantee agrees to be bound by this Use Restriction. This Use Restriction shall run with the land and be binding upon the within grantee, the within grantee's successor and

assigns, and the Premises and every part thereof for the duration of the Restriction Term; and in each and every Deed to the Premises or any portion thereof given during the Restriction Term, the then grantor shall undertake to insert a clause referring to this Use Restriction. This Use Restriction is for the benefit of Hoyts Cinemas Corporation, a Delaware Corporation, and its subsidiaries, and their respective successors and assigns (collectively, "Hoyts"), and Hoyts, as a former tenant of the Premises and for consideration paid to the within grantor, shall have the right to enforce this Use Restriction.

7. A portion of the above premises, more particularly bounded and described as set forth below, is subject to a perpetual easement for the installation and maintenance of utility lines:

A certain tract or parcel of land situate on the Easterly side of Lafayette Road, Portsmouth, Rockingham County, New Hampshire, described as follows:

Beginning at a point in the Easterly sideline of Lafayette Road at the Northwest corner of the parcel herein described and the Southwest corner of land of the City of Portsmouth; thence running North $81^{\circ}43'$ East two hundred eighty-one and seven tenths (281.7) feet to an iron pipe at land now or formerly of Ledgewood Manor Associates; thence turning and running South $05^{\circ}56'$ West by said Ledgewood Manor Associates land ten and thirty-two hundredths (10.32) feet to a corner at other land now or formerly of MGR Realty; thence turning and running South $81^{\circ}43'$ West sixty-seven and fifty-six hundredths (67.56) feet; South $59^{\circ}00'$ West ten and eighty-eight hundredths (10.88) feet and South $66^{\circ}12'$ West one hundred seventy-eight and ten hundredths (178.10) feet to a point; thence continuing on the arc of a curve to the left having a radius of 50 feet an arc distance of fifty-two and fifty-nine hundredths (52.59) feet to a point in the easterly sideline of Lafayette Road, said previous four courses being along land now or formerly of MGR Realty; thence turning and running North $05^{\circ}56'$ East one and sixty-nine hundredths (1.69) feet and North $05^{\circ}31'$ West ninety-six and two tenths (96.2) feet by the Easterly sideline of Lafayette Road to the point of beginning.

The said easement rights are preserved and more fully described in a certain Partial Termination of Easement granted by RPL Properties, LLC to DiLorenzo Lafayette Ledgewood Real Estate, LLC, dated November 3, 2015 and recorded in the Rockingham County Registry of Deeds as of the date hereof, and as set forth therein consist of the rights of RPL Properties, LLC, its successors and assigns ("RPL") to install, lay, maintain, replace and repair and use utility lines of all types including, without limitation, water mains, gas mains, electric wires (above and below grade) and telephone lines (above and below grade), storm and sanitary sewer drains and catch basins, together with all facilities related to the use, operations and maintenance of such utility lines, and the right to pass and re-pass over said premises for the foregoing purposes. Any such work performed by RPL shall be undertaken so as to minimize disruption, disturbance or damage to the premises herein conveyed, and once commenced, such work shall be diligently

pursued to completion. Any damage or disturbance to the premises herein conveyed shall be repaired or restored in a prompt and workmanlike manner as nearly as practicable to the condition that existed immediately prior to such damage or destruction.

Meaning and intending to convey Lot #1, as shown on plan entitled "Subdivision of Land, Portsmouth, N.H., for Genimatas and Robbins" dated November 1978, Revised June 7, 1979, being Durgin Plan #5558, File #689, drawn by John W. Durgin Civil Engineers, which Plan is recorded in the Rockingham County Registry of Deeds as Plan D-8806. See also Warranty Deed of DiLorenzo Lafayette Ledgewood Real Estate, LLC to Grantor dated November 9, 2015 and recorded in the Rockingham County Registry of Deeds at Book 5669, Page 667.

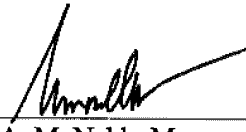
Meaning and intending to describe and convey the same premises conveyed to the Grantor by deed of OMJ Realty dated October 20, 2022 and recorded in the Rockingham County Registry of Deeds at Book 6448, Page 1309 on October 25, 2022.

Transfer Tax: This transfer is exempt from transfer tax pursuant to RSA 78-B:2, XXII.

Homestead: This is not homestead property.

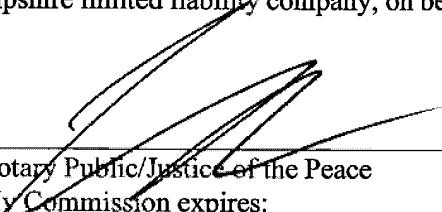
March 30, 2023

John Galt, LLC

By: 
Mark A. McNabb, Manager

STATE OF NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

The foregoing instrument was acknowledged before me this 30 day of March, 2023 by Mark A. McNabb, Manager of John Galt, LLC a New Hampshire limited liability company, on behalf of the company.


Notary Public/Justice of the Peace
My Commission expires:



Water Quality Units



Water Quality Units

Standards for storm water quality will vary by location and land use. The most targeted sources of runoff pollution are paved areas in urban and industrial sites. These are generally areas with high traffic loads, such as parking lots and gas stations, that generate significant concentrations of contaminant particles and hydrocarbons.

Because of land constraints, ADS underground Water Quality Units have become an increasingly efficient solution for treating storm water. These durable, lightweight structures have been specifically designed for fast installation and easy maintenance.

Benefits

- Independent testing shows the following:
 - 80% TSS removal
 - 80% oil and grease removal
 - 74% heavy metals removal
 - Greater than 40% TP removal
- Removes floatable debris, such as oils and greases
- Available in 36"-60" (900-1500 mm) diameters
- Lightweight High-Density Polyethylene (HDPE) unit installs easily with a minimum of manpower. Heavy cranes are not necessary to install the unit
- Each unit is fitted with access risers for easy inspection and maintenance of the sediment and oil chambers
- The unit is inexpensive because the design is simple and there are no moving parts
- The bypass system prevents re-suspension of captured solids by diverting water flows greater than the first flush
- HDPE resists abrasion and chemicals found in storm water and in the surrounding soil

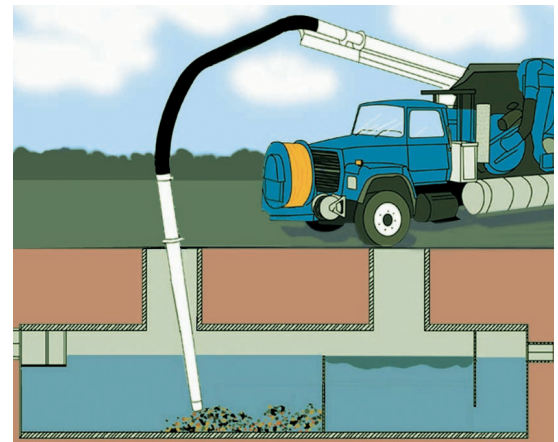
Design and Installation

Available in 36"-60" (900-1500 mm) diameters, ADS Water Quality Units (WQU) are modified sections of N-12[®] pipe with weir plates at specific locations and heights to remove high percentages of sediment and oils from the first flush of a storm event. They can be installed at any point in the sub-surface drainage system and are ideally suited to treat "hot spots" in existing storm water lines.

The unit is designed using the fundamental principles of Stoke's Law and a standard orifice outlet control. The settling velocity of a particle is calculated based on the smallest particle to be removed. Standard units offer a choice of 140 or 200 sieve size removal (106 and 75 μm) particle sizes, respectively.

The outlet orifice is sized to release a typical first flush discharge and to redirect any excess flow to a bypass piping system installed with the unit.

Water Quality Units are designed and manufactured to meet ASTM F27737 - Standard Specification for Corrugated HDPE Water Quality Units.



Installation of WQUs follows the same accepted practices as for the installation of large diameter flexible pipe. Specific installation instructions, along with details on specifying the proper size of a WQU, are available in Technical Note 1.03 and Installation Guide 2.01. You can also find more information on the ADS website adspipe.com.

The heart of the treatment train

For many drainage sites, the Water Quality Unit by itself can provide the required degree of pollutant removal. However, certain sites with higher concentrations of hydrocarbons or sediment runoff will need further treatment upstream and/or downstream of the unit. This multi-tiered approach to storm water quality is known as the *treatment train*.

Upstream measures include sediment prevention (vegetated swales, etc.) and inlet protection devices such as screens, filters and silt fences. These techniques are designed to prevent a large percentage of pollutants from ever entering the storm drain system. For impervious surfaces such as paved parking areas, catch basin insert filters are most commonly used for early stage treatment.

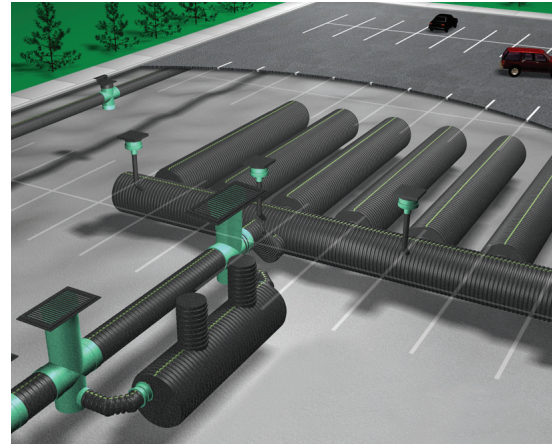
Retention/Detention

Treatment downstream from the WQU generally involves some form of retention or detention system. Retention allows accumulated storm water to gradually percolate into the surrounding soil, while detention meters the water through an outlet to a ditch, stream or other receiving area.

Inlet designs to such underground storage vessels can also enhance pollutant removal. The “eccentric header system” consists of a large diameter manifold pipe with an invert positioned lower than those of the smaller inlet pipes to the storage vessels. The large header pipe thus acts as a sump into which suspended particles may settle. Manholes and/or risers may be installed to facilitate inspection and cleaning.

Designers can choose between two methods of constructing the retention or detention system. The first is the use of ADS N-12 large diameter corrugated HDPE pipe, known for its economy and ease of installation. The second option is StormTech®, specially engineered to meet the demands of subsurface storm water management applications.

ADS supplies a complete line of pipe, fittings and fabricated manifolds, along with detailed sizing, design and installation instructions on our website at adspipe.com.



ADS Storm Water Quality Unit Specification

Scope

This specification describes 36- through 60-inch (900 to 1500 mm) storm Water Quality Unit for use in onsite point source storm water treatment applications.

Requirements

Water Quality Units shall have a smooth interior and annular exterior corrugations meeting the requirements of ASTM F2737.

The unit shall have at least three containment zones, each zone separated from the next by use of a weir or baffle plate.

Weir and baffle plates shall be welded at all interfaces between the plate and Water Quality Unit. First weir plate shall incorporate a saw tooth design and shall be reinforced with stiffeners positioned horizontally on the downstream side of the plate to be retained.

Water Quality units shall provide adequate clean-out and inspection areas.

Joint Performance

Connections for the bypass line and the unit shall utilize the same joint quality as specified for the main storm sewer pipe. Couplers for the bypass line may be either split couplers, in-line bell couplers, snap couplers, bell-bell couplers, or welded bell couplers.

Material Properties

Material for pipe and fittings used to produce Water Quality Units shall be high-density polyethylene conforming with the minimum requirements of cell classification 424420C for 4- through 10-inch (100 to 250 mm) diameters, and 435400C for 12- through 60-inch (300 to 1500 mm) diameters, as defined and described in the latest version of ASTM D3350. The pipe material shall be evaluated using the notched constant ligament-stress (NCLS) test as specified in Sections 9.5 and 5.1 of AASHTO M294 and ASTM F2306, respectively. All smooth baffle and weir plates shall be high density polyethylene.

Build America, Buy America (BABA)

ADS Storm Water Quality Unit, manufactured in accordance with AASHTO M294 or ASTM F2306, complies with the requirements in the Build America, Buy America (BABA) Act.

Installation

Installation shall be in accordance with the ADS recommended installation guidelines, utilizing a Class I (ASTM D2321) structural backfill material or flowable fill (CLSM - Controlled Low Strength Material). Contact your local ADS representative or visit adspipe.com for the latest installation guidelines.

Performance

Water Quality Units shall remove a minimum of 80% of the first flush total suspended solids (TSS) based on flow rates and corresponding sieve sizes shown in Table 1. Water Quality Units shall be installed "offline" to prevent re-suspension of solids in high flow situations. Offline installation shall be constructed utilizing an ADS bypass structure. Flow through the unit shall be controlled by an orifice fabricated on the outlet end of the structure.

COMMERCIAL DEVELOPMENT

581 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

OWNER:

ATLAS COMMONS, LLC
3 PLEASANT STREET
SUITE #400
PORTSMOUTH, NH 03801

LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE
ARCHITECTURE
163A COURT STREET
PORTSMOUTH, NH 03801
TEL. (603) 430-8388

LAND SURVEYOR & CIVIL ENGINEER:

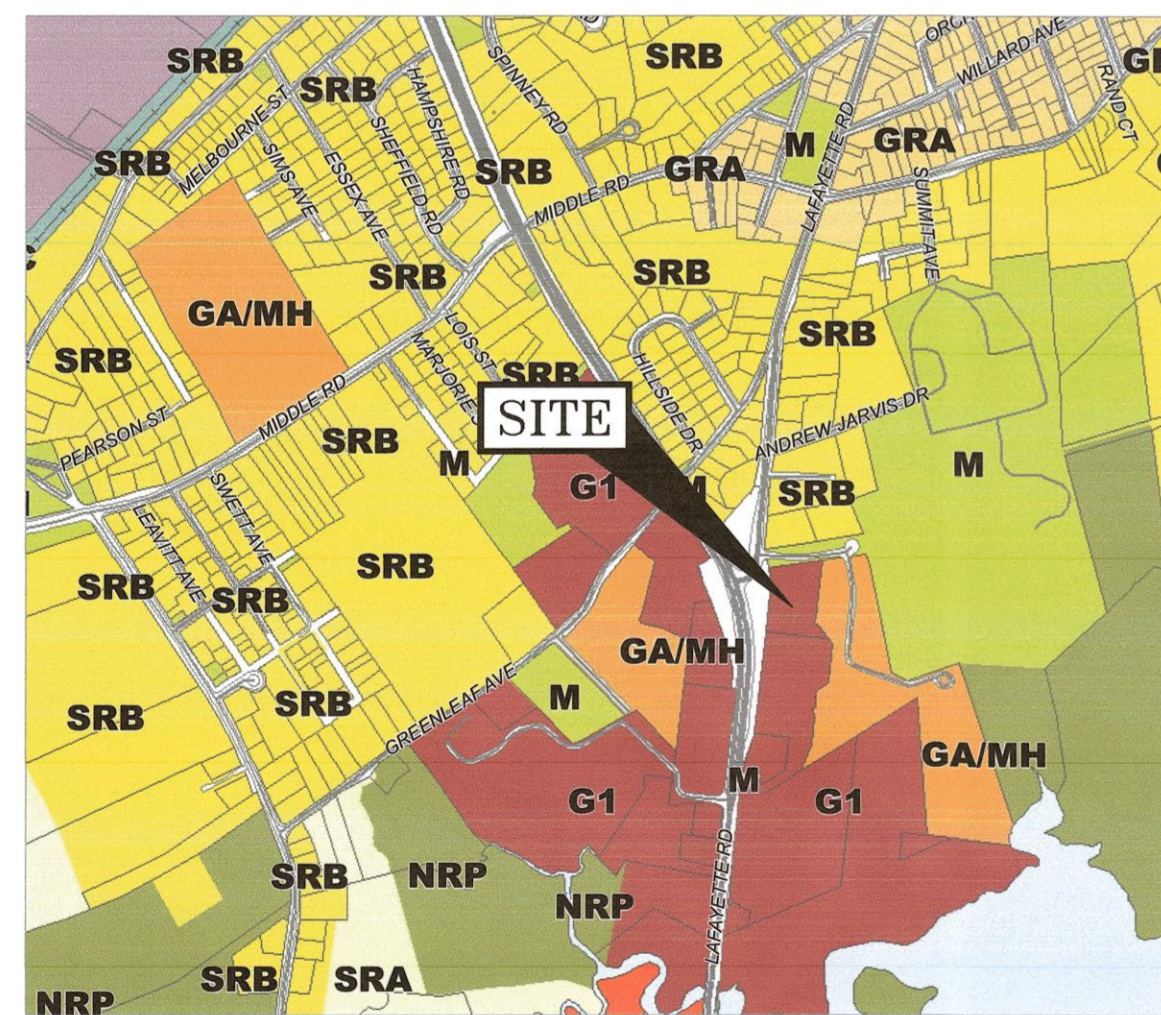
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

ARCHITECT:

ARCOVE ARCHITECTS
3 CONGRESS STREET, SUITE 1
PORTSMOUTH, NH 03801
TEL. (603) 988-0042

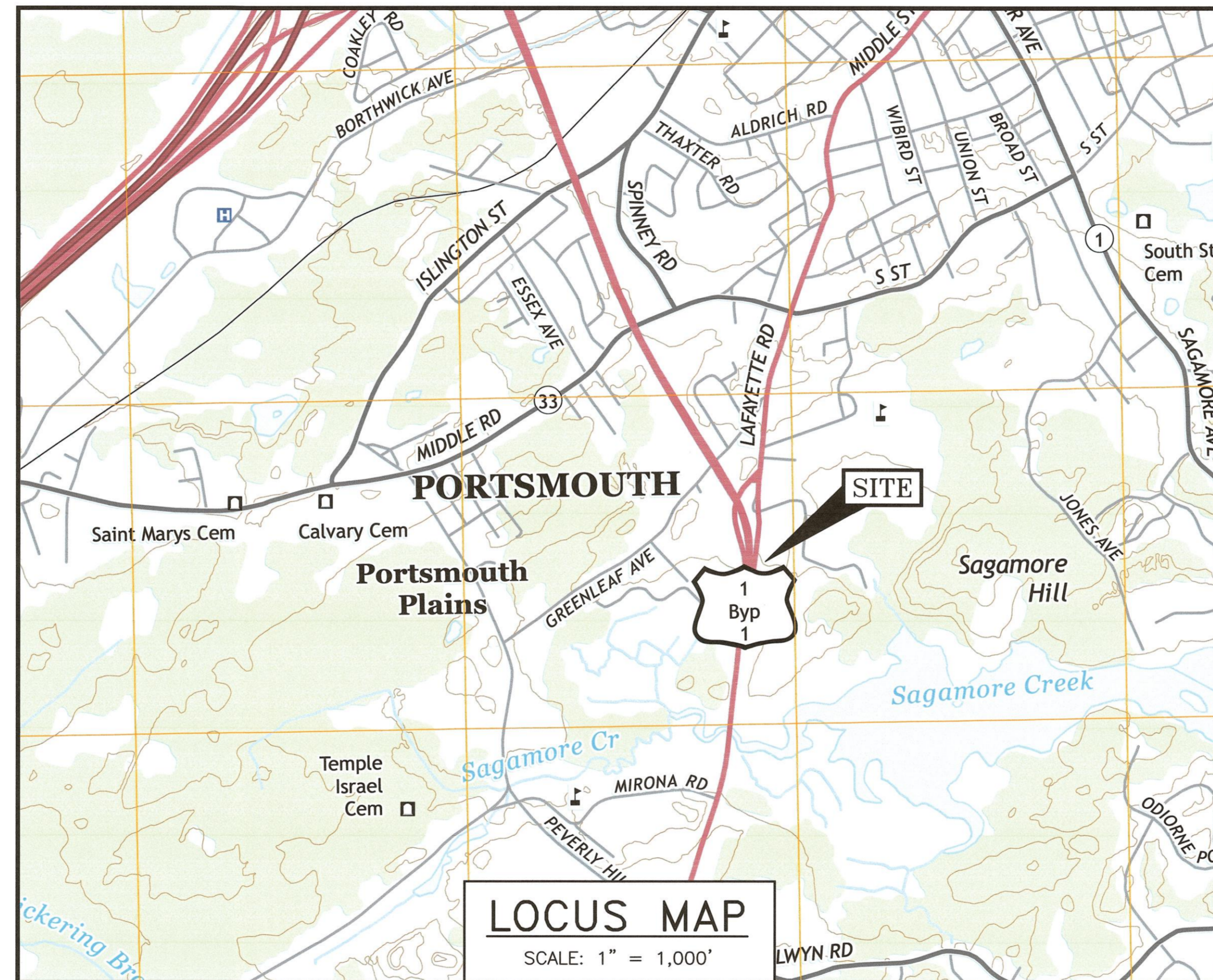
PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED
PORTSMOUTH SITE PLAN APPROVAL: PENDING



Mixed Residential Districts

MRO	Mixed Residential Office
MRB	Mixed Residential Business
G1	Gateway Corridor
G2	Gateway Center



LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
☑	☑	TRANSFORMER ON CONCRETE PAD
⊕	⊕	ELECTRIC HANDHOLD
⊕	⊕	SHUT OFFS (WATER/GAS)
⊕	⊕	GATE VALVE
⊕	⊕	HYDRANT
⊕	⊕	CATCH BASIN
⊕	⊕	SEWER MANHOLE
⊕	⊕	DRAIN MANHOLE
⊕	⊕	TELEPHONE MANHOLE
⊕	⊕	PARKING SPACE COUNT
⊕	⊕	PARKING METER
LSA	LSA	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



INDEX OF SHEETS

DWG No.	Description
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
C4	PARKING PLAN
C5	UTILITY PLAN
C6	GRADING, DRAINAGE, EROSION CONTROL PLAN
-	RENDERINGS
-	ELEVATIONS
-	FLOOR PLANS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

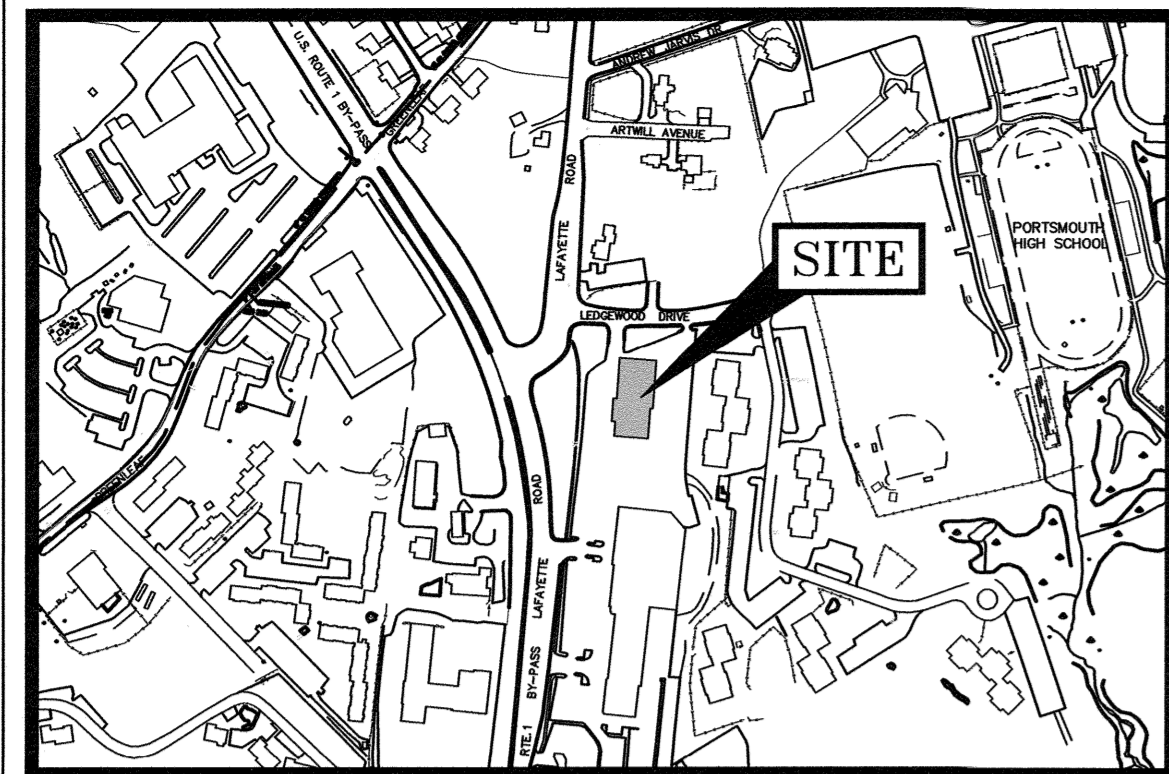
**SITE PLANS
COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**



WWW.HALEYWARD.COM

200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

PLAN SET SUBMITTAL DATE: 5 SEPTEMBER 2023



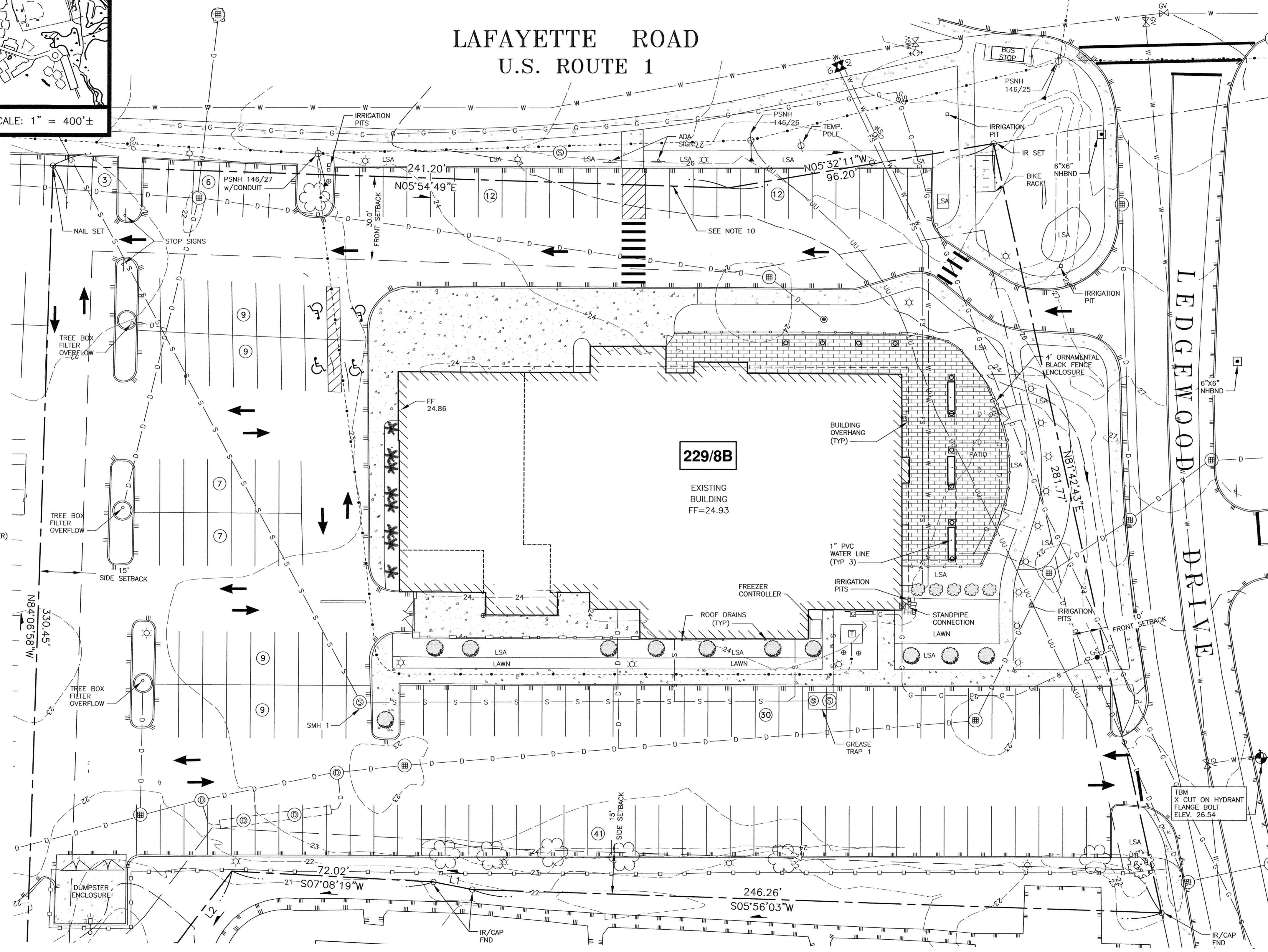
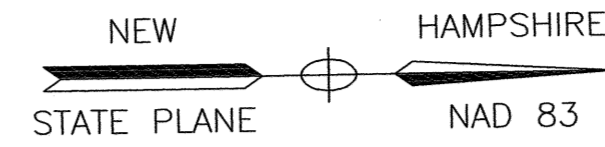
LOCATION MAP SCALE: 1" = 400'±

LEGEND

EXISTING	DESCRIPTION
124/21	MAP 124 / LOT 21
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
	BOUNDARY LINE
	SETBACK LINE
RR SPK FND	RAILROAD SPIKE FOUND
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
DH FND	DRILL HOLE FOUND
BND w/ DH	BOUND w/ DRILL HOLE
FM	FORCE MAIN
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	POTABLE WATER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD WIRES
100	CONTOUR LINE
97x3	SPOT ELEVATION
	EDGE OF PAVEMENT
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY) (w/ LIGHT)
	LIGHT POLE
	SHUTOFF/CURB STOP (WATER, GAS, SEWER)
	GATE VALVE
	HYDRANT
CB	CATCH BASIN
TMH	TELEPHONE MANHOLE
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
FF	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S15°17'27"W	14.20'
L2	S48°43'16"E	33.26'



AMBIT ENGINEERING, INC.
A DIVISION OF HALEY WARD, INC.

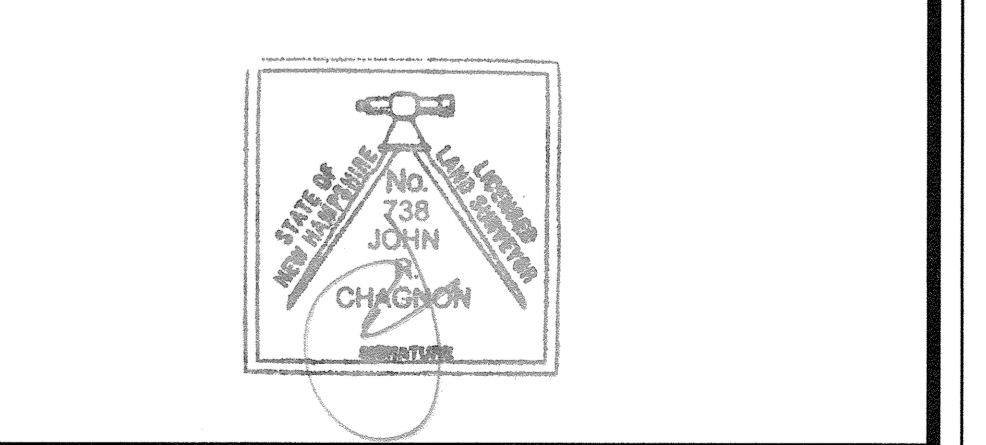
200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

WWW.HALEYWARD.COM

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
 - 2) OWNERS OF RECORD:
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
 - 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270F, EFFECTIVE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
98,124 S.F.
2.2526 AC
 - 5) PARCEL IS LOCATED IN THE GATEWAY (GW) DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 43,560 S.F.
FRONTAGE: 200 FT.
DEPTH: 100 FT.
SETBACKS:
FRONT: 30 FT.
SIDE: 30 FT.
REAR: 50 FT.
MAXIMUM STRUCTURE HEIGHT: 40 FT.
MAXIMUM ROOF APPURTENANCE HEIGHT: 10 FT.
MAXIMUM BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: 20%
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 229 LOT 8B.
 - 8) EASEMENTS & RESTRICTIONS:
A) ROAD/UTILITY EASEMENT AREA: SEE C-3316 AND RCRD 2110/428 AND 2184/184. THIS EASEMENT WAS PARTIALLY TERMINATED ON 11/9/15; SEE RCRD 5669/0645.
B) 30' RIGHT OF WAY: SEE D-8806 AND 5446/2589.
C) MUTUAL PARKING AND ACCESS RIGHTS FOR LOTS 1-3 ON PLAN D-8806 ARE OF RECORD. RCRD 2343/128 AND 5446/2588.
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 10) THE 2011 NHDOT LAFAYETTE ROAD PROJECT IDENTIFIED THIS ENCROACHMENT.

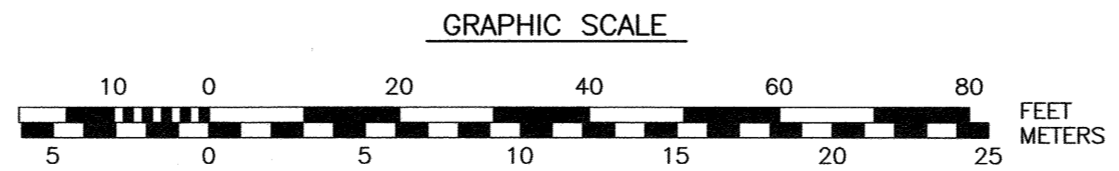
COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	7/5/23



SCALE: 1"=20' JULY 2023

EXISTING CONDITIONS PLAN **C1**



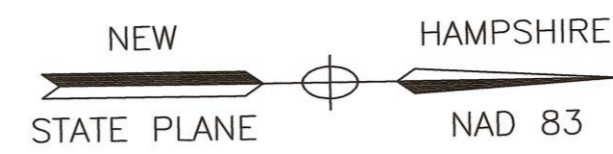
P:\NH\010155-McMahan-Projects\197709-Lafayette Rd., Portsmouth-RCRD2023 Site Plan 197709-Lafayette Rd., Portsmouth-RCRD2023.dwg, Title Sep 5, 10:46:09 2023.
 Plotter: HP DesignJet 1000

ZONING TABLE

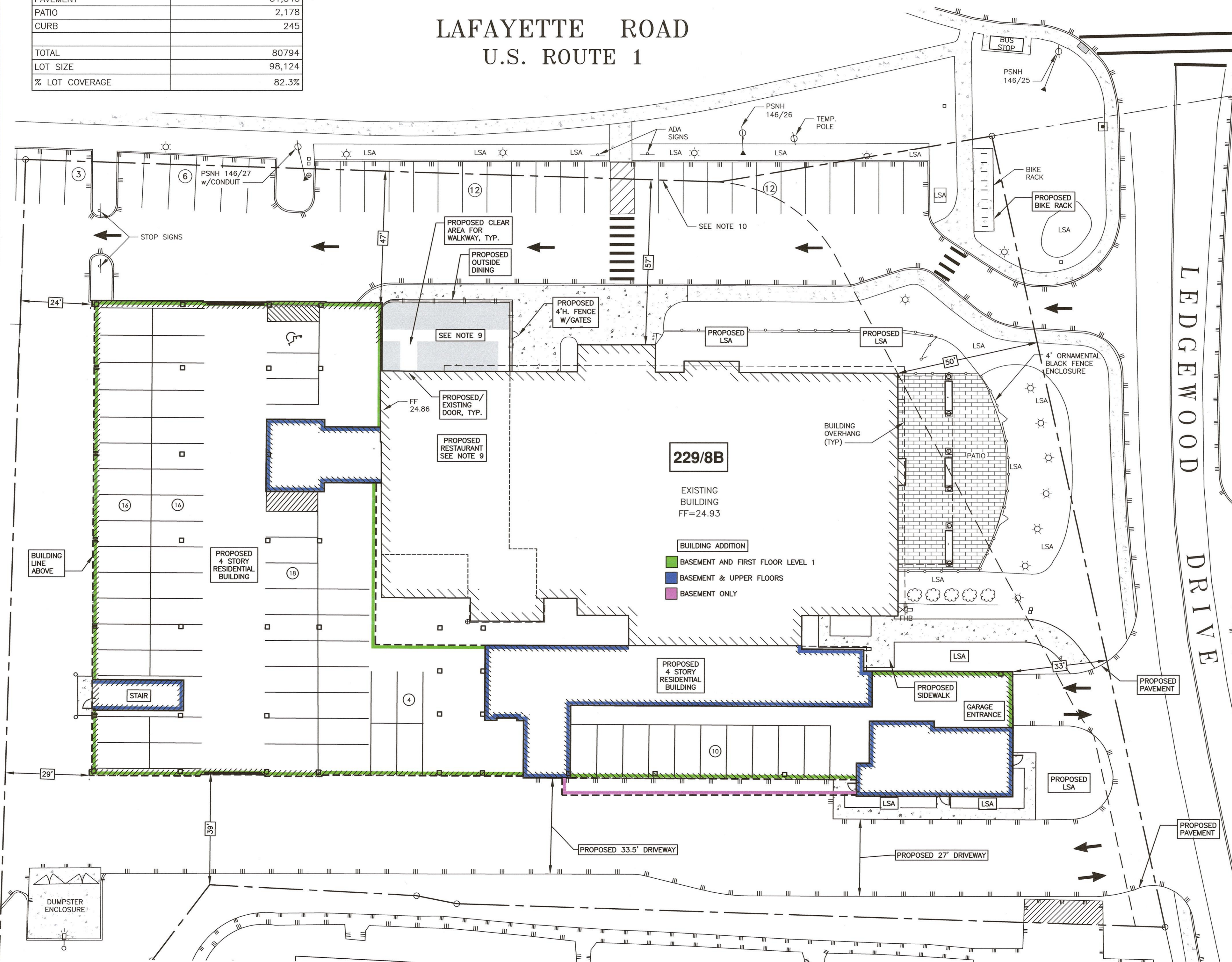
Zone	Existing	Proposed
Height	5 stories or 60 ft. per Density Bonus 10.5B72.30; G1 apartments: 4 stories or 50 ft. (+ density bonus 1 story or 10') 10.5B.22.20, at streets <60' row: 35' max <25' setback 45' max <50' setback 60' max >50' setback.	35/3 stories at street fronts 45/4 stories beyond 60/5 stories at center
Penthouses	10' above allowed building height	<10'
Roof appurtenance	Roof decks, roof gardens, and related structures and appurtenances shall not be counted in the building height limits.	<10'
Facade Types	forecourt, recessed entry, dooryard, steps, porch	recessed entry
Building Types	Dwelling units	Workforce Housing: 4 stories Podium parking at street level and one level below grade
Setbacks (ft) *		
Front (principle)	70'-90' from cl of Lafayette Rd	setback is within public way
Front (secondary)	min 10' & max 30' from Lot Line at Ledgewood	19'
Side	Minimum side setback: 15 ft. Where a development site includes a more than one building type, the minimum building setback to interior lot lines shall be 0 feet	40'
Rear	N/A. Minimum rear setback 20 ft. (& 25 ROW easement)	24'
Front lot line buildout residential	30%	85%
Front lot line buildout commercial/mixed-use	75%	85%
Frontage, Lafayette	100 ft min	337.4'
Lot area (sf)	NR	
area per dwelling	Workforce Housing units for rent: min 120 or 2 units, min. 800 sq. ft. or average unit size (larger of two)	1,363
Coverage, maximum	50%	82%
Footprint, max	NR for apartment buildings	
Offstreet parking	For developments located on public transit with year-round, 5-days-per-week, fixed-route service and where at least 50% of the building(s) are within 1/4 mile of a transit stop, the minimum offstreet parking shall be reduced by 20%.	170
ground floor area per use, max	NR	parking 15%
Open space, minimum permitted uses (G1)	multifamily, restaurant	multifamily
building length, max (ft)	200	236
facade modulation length, max (ft)	A) Symmetrical and vertically articulated bays >6' & <50' wide, minimum 3. B) Buildings greater than one hundred (100) feet in width shall read as a series of smaller buildings with varied architectural design and facade glazing patterns; or include a change in vertical plane of the facade of at least four (4) feet (in depth or projection) for at least one (1) bay in width for every one hundred (100) feet of total facade width. This change in plane applies to the entire height of the facade.	modulations < 100 ft
entrance spacing, max (ft)		entries facing street fronts
floor height above sidewalk, max	36"	8"
ground floor height, min		12'
second floor height, min		11'
glazing, shopfront, min		Streetfront Glazing at lobby entrances 100%. Sides & rear: podium parking at first floor, some open and some screening
glazing, other	20%	
roof types(pitch)	NR	Flat & Sloped
Parking, off-street	All (flat roofs must have "parapet wall that acts as a structural expression of the building facade and its materials) 1 bicycle space for each 5 dwellings units or portion thereof. Off-site parking: Less than 500 sq. ft. 0.5 spaces per unit 500-700 sq. ft. 1.0 space per unit Over 750 sq. ft. 1.3 space per unit 10.1112.312 In addition to the off-street parking spaces provided in accordance with Sec. 10.1112.311, any dwelling unit shall provide one visitor parking space for every 5 dwelling units or portion thereof.	170
Units density	24 units per building, 36 units exception for workforce housing Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72.10.5B72	36 units per building * 2 buildings = 72 units

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)

STRUCTURE	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	43567
CONCRETE/SIDWALK	2,956
PAVEMENT	31,848
PATIO	2,178
CURB	245
TOTAL	80794
LOT SIZE	98,124
% LOT COVERAGE	82.3%



LAFAYETTE ROAD
U.S. ROUTE 1



PORTSMOUTH APPROVAL CONDITIONS NOTES:

- 1) ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.
- 2) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 3) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
- 2) OWNERS OF RECORD:
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
- 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270E, EFFECTIVE MAY 17, 2005
- 4) EXISTING LOT AREA:
98,124 S.F.
2.2526 AC
- 5) PARCEL IS LOCATED IN THE GATEWAY CORRIDOR (G1) DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE SECTION 10.5B22.10
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED BUILDING ADDITION ON TAX MAP 229 LOT 8B.
- 8) DESIGN BASED ON ARCHITECTURAL PLAN BY ARCOVE ARCHITECTS DATED 8/22/23.
- 9) CONVERSION OF TUSCAN MARKETPLACE TO RESTAURANT (NORTHEASTERN THAI, LLC) APPROVED UNDER PERMIT: LU-22-254

COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	8/31/23

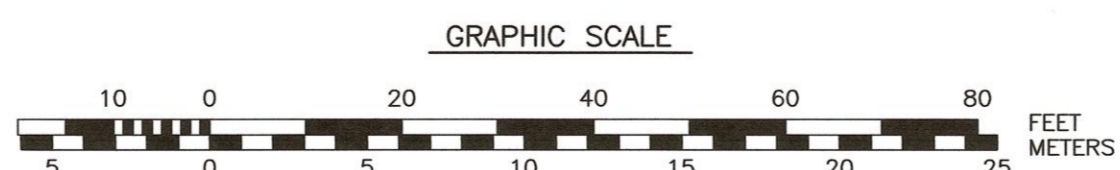


SCALE: 1"=20' JULY 2023

SITE PLAN C3

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



P:\NH\010\56\McNabb\Projects\197759-Lafayette Rd., Portsmouth-HC\2023 Site Plan 197759\Plan & Specs\SitePlan197759.DWG, The Sep. 5, 15:48:13 2023, Plotter: Foster-Cohen, 10/20/23

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
 - 2) OWNERS OF RECORD:
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
 - 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBSURFACE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 229 LOT 8B IN THE CITY OF PORTSMOUTH.
 - 4) REQUIRED PARKING: (SEE TABLE)

REQUIRED PARKING:

		581 Lafayette Road	
		Unit/Parking Analysis	
		September 5, 2023	

1 bedroom units 500-900 sf			
Level	Room No.	Area (sf)	spaces/unit
LEVEL 2	A201	3,028	1.30
LEVEL 2	A202	963	1.30
LEVEL 2	A203	1,682	1.30
LEVEL 2	A204	963	1.30
LEVEL 2	A205	968	1.30
LEVEL 2	A206	1,066	1.30
LEVEL 2	A207	615	1.00
LEVEL 2	A208	1,553	1.30
LEVEL 2	B201	597	1.00
LEVEL 2	B202	536	1.00
LEVEL 2	B203	741	1.00
LEVEL 2	B204	1,219	1.30
LEVEL 2	B205	1,382	1.30
LEVEL 2	B206	1,565	1.30
LEVEL 2	B207	660	1.00
LEVEL 2	B208	648	1.00
LEVEL 3	A301	3,028	1.30
LEVEL 3	A302	970	1.30
LEVEL 3	A303	1,120	1.30
LEVEL 3	A304	970	1.30
LEVEL 3	A305	518	1.30
LEVEL 3	A306	498	0.50
LEVEL 3	A307	1,069	1.30
LEVEL 3	A308	440	0.50
LEVEL 3	A309	617	1.00
LEVEL 3	A310	1,549	1.30
LEVEL 3	B301	750	1.00
LEVEL 3	B302	996	1.30
LEVEL 3	B303	595	1.00
LEVEL 3	B304	465	0.50
LEVEL 3	B305	686	1.00
LEVEL 3	B306	479	0.50
LEVEL 3	B307	481	0.50
LEVEL 3	B308	605	1.00
LEVEL 3	B309	493	0.50
LEVEL 3	B310	1,437	1.30

LEVEL 4	A401	2,579	1.30
LEVEL 4	A402	846	1.30
LEVEL 4	A403	489	0.50
LEVEL 4	A404	846	1.30
LEVEL 4	A405	912	1.30
LEVEL 4	A406	409	0.50
LEVEL 4	A407	923	1.30
LEVEL 4	A408	406	0.50
LEVEL 4	A409	553	1.00
LEVEL 4	A410	1,415	1.30
LEVEL 4	B401	750	1.00
LEVEL 4	B402	1,001	1.30
LEVEL 4	B403	599	1.00
LEVEL 4	B404	354	0.50
LEVEL 4	B405	405	0.50
LEVEL 4	B406	422	0.50
LEVEL 4	B407	386	0.50
LEVEL 4	B408	609	1.00
LEVEL 4	B409	636	1.00
LEVEL 4	B410	1,377	1.30
LEVEL 5	A501	856	1.30
LEVEL 5	A503	855	1.00
LEVEL 5	A504	488	0.50
LEVEL 5	A505	438	0.50
LEVEL 5	A506	895	1.30
LEVEL 5	A507	395	1.30
LEVEL 5	A508	564	1.00
LEVEL 5	A509	900	1.30
LEVEL 5	B501	587	1.00
LEVEL 5	B502	624	1.00
LEVEL 5	B503	600	1.00
LEVEL 5	B504	416	0.50
LEVEL 5	B505	681	1.00
LEVEL 5	B506	474	0.50
LEVEL 5	B507	446	0.50
LEVEL 5	B508	442	0.50

Total Units	Parking Req.
Total Units: 72	71.80
Visitor Parking - 1 space per every 5 dwellings	14.36
Bicycle parking deduction - 1 space for 6 bikes max 5% =	(3.59)
TOTAL residential automobile parking	82.57

Car Parking Spaces Required per Unit Size	
0-500	0.5
500-750	1
750-1900	1.3

Bicycle Parking Required		
use	spaces required per use	total required
multifamily	1 bicycle for every 5 dwelling units	15
restaurant/rec	1 bicycle for every 10 car parking spaces	12
TOTAL		27



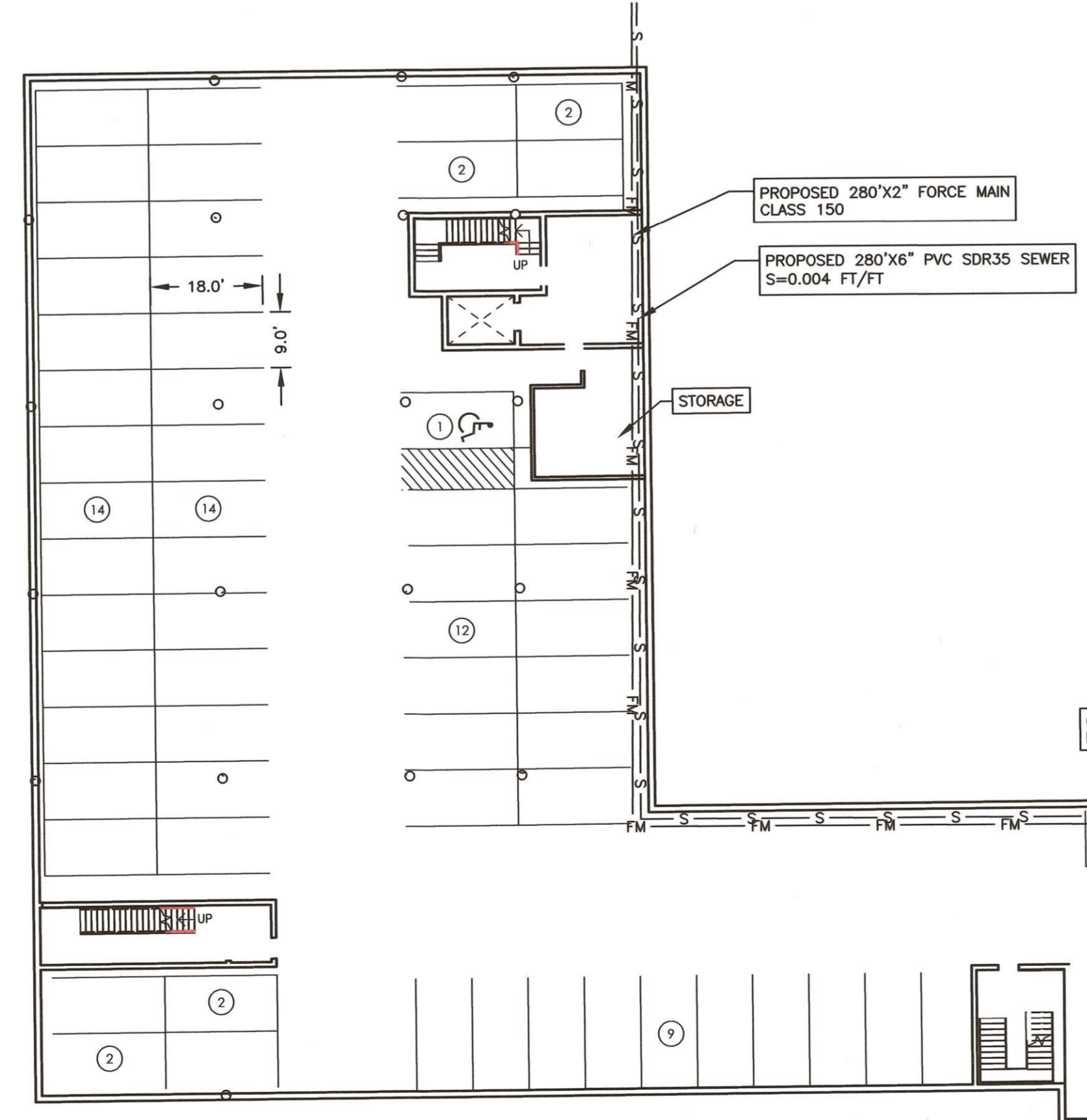
PARKING ANALYSIS
Zoning Ordinance 10.1112
September 5, 2023

Apartments Parking Required		with gateway deduct -20%	
subtotal parking spaces required			66.2
gateway deduct -20%			-16.5
Apartment Parking Required			49.7

Restaurant/Recreation Parking Required		subtotal w/20% gateway deduct	
restaurant	spaces/gfa	gfa or occ	spaces
restaurant	1/100	13,982.00	139.82
recreation (golf)	1 per 4 occ.	20.00	5.0
subtotal			144.8
gateway deduct -20%			-29.0
Total restaurant/recreation parking required			115.8

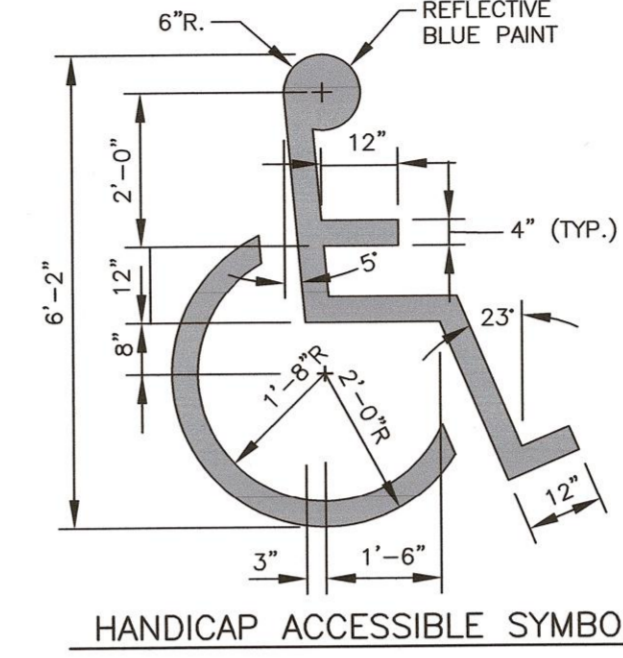
Shared Parking 10.1112.60	
Total Parking Required	161.3
Land Use	spaces required
Apartments	49.7
Restaurant	115.8
Office	0.2
Entertainment (golf)	4.0
Total Required	169.7

Total Parking Proposed	
In-building, level 1 + basement	136
Open air, on site	13
Off-site parking per deed/easement	0
Total parking proposed	149
Excess (Deficit)	20.7
Existing total available-today	154
Proposed Net Increase (reduction) in parking	28

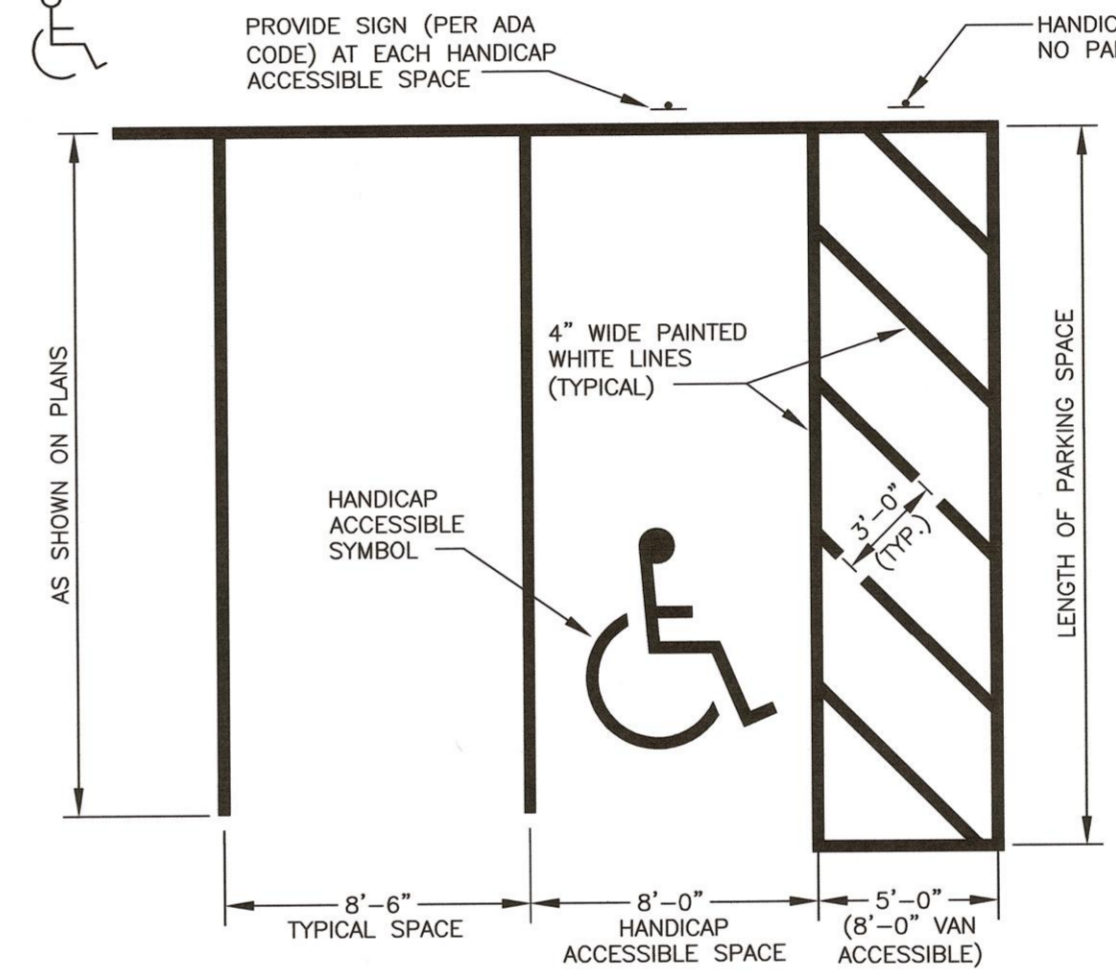


EACH SPACE SHALL HAVE THIS SIGN DISPLAYED PER ADA CODE
SIGNAGE

LEGEND SYMBOL



SIGNAGE



1 C4 HANDICAP PARKING DETAIL
NTS

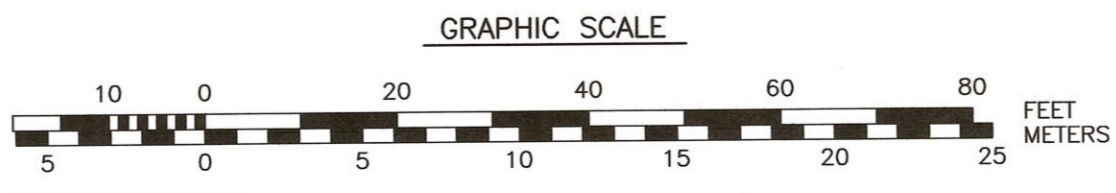
- NOTES:**
- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
 - 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
 - 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.

COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

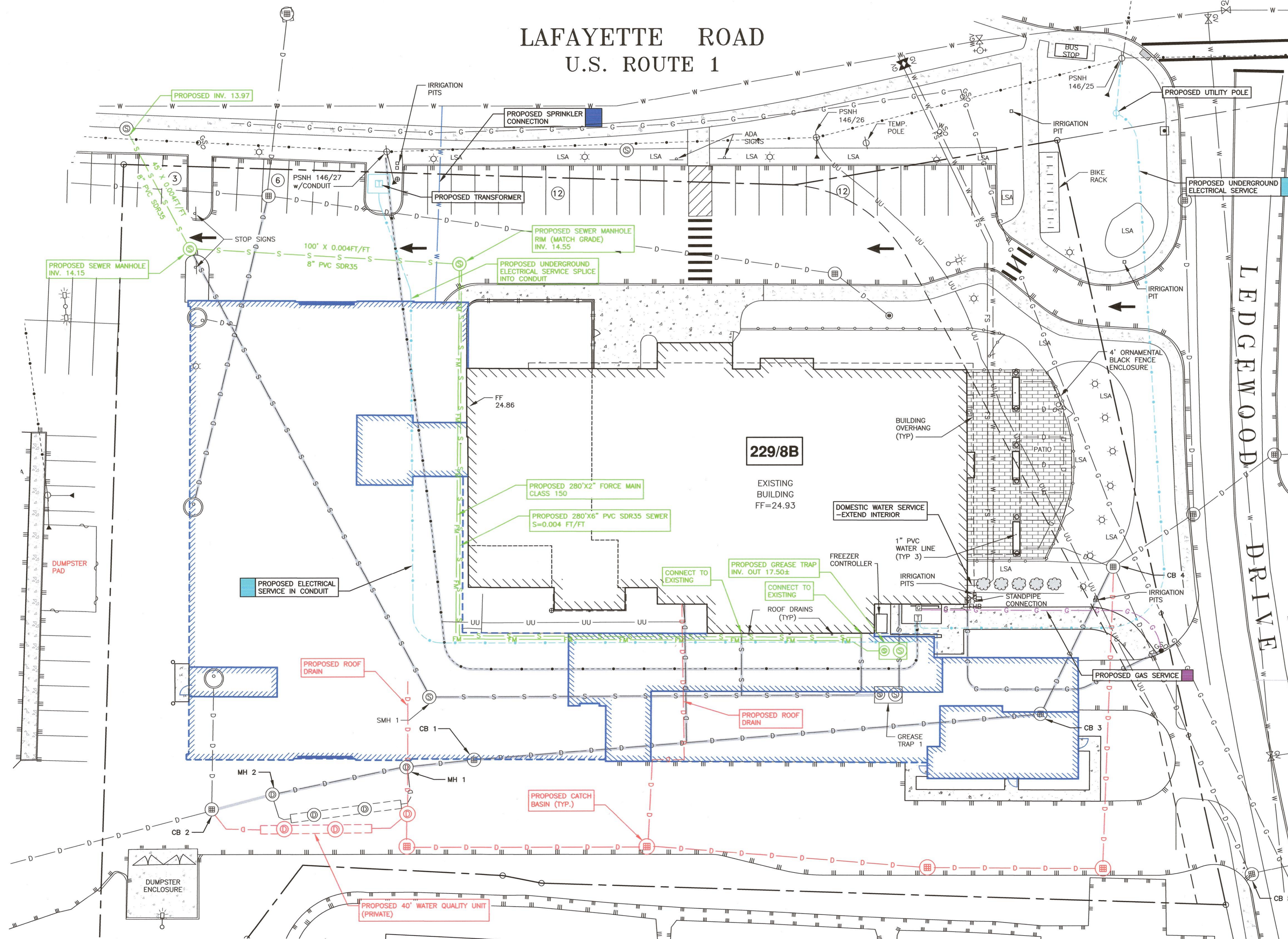
NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	7/5/23

SCALE: 1"=20'
JULY 2023
LOWER LEVEL PARKING PLAN

C4



**LAFAYETTE ROAD
U.S. ROUTE 1**



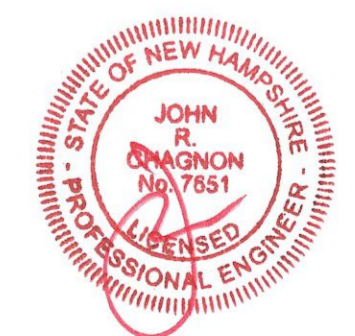
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**COMMERCIAL
DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	5/8/23

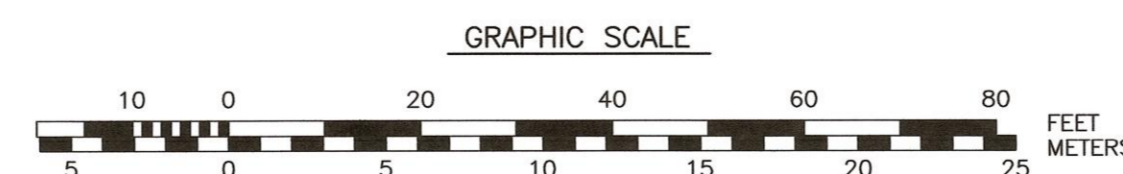
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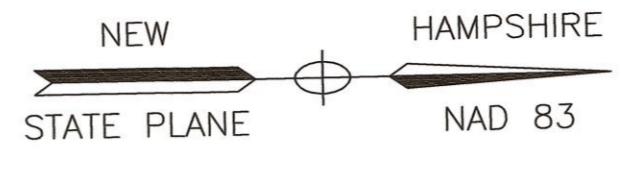


SCALE: 1"=20' FEBRUARY 2023

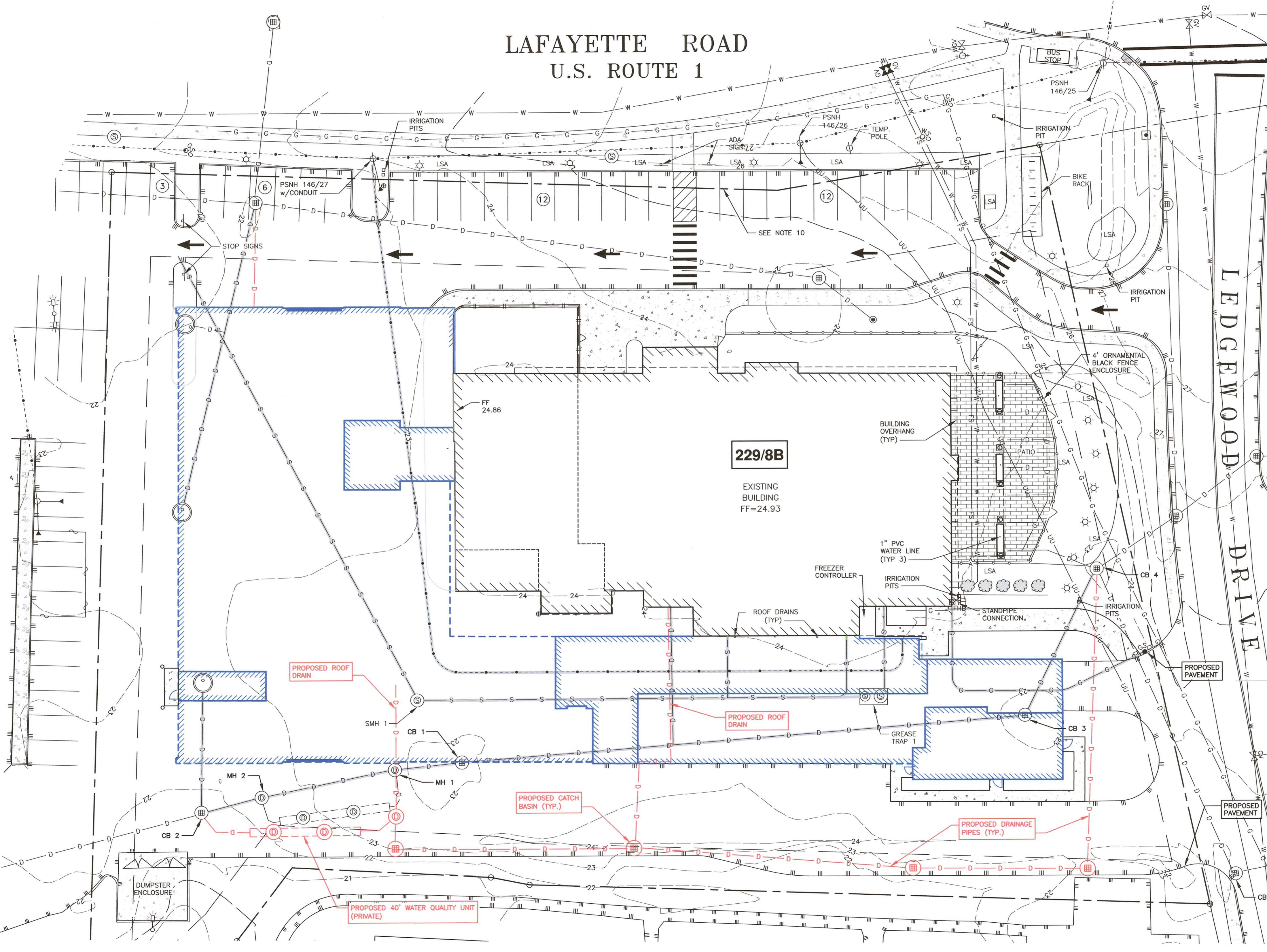
UTILITY
PLAN

C5





LAFAYETTE ROAD U.S. ROUTE 1



NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

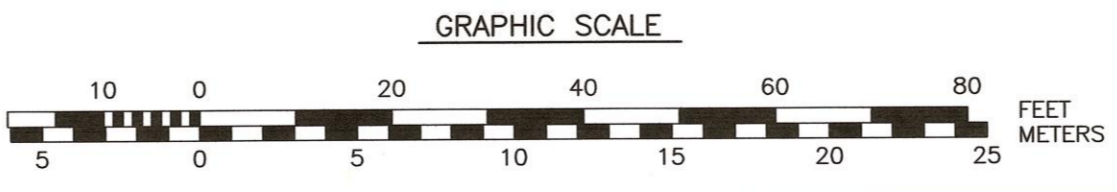
COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	2/7/23
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE: 1"=20' JULY 2023

GRADING DRAINAGE EROSION CONTROL PLAN **C6**



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581 LAFAYETTE RD
PORTSMOUTH, NH, 03801

PROJECT NO: 1013

OWNER
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
603.427.0725

CIVIL ENGINEERING
AMBIT ENGINEERING, A DIVISION OF
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SITE PLAN REVIEW

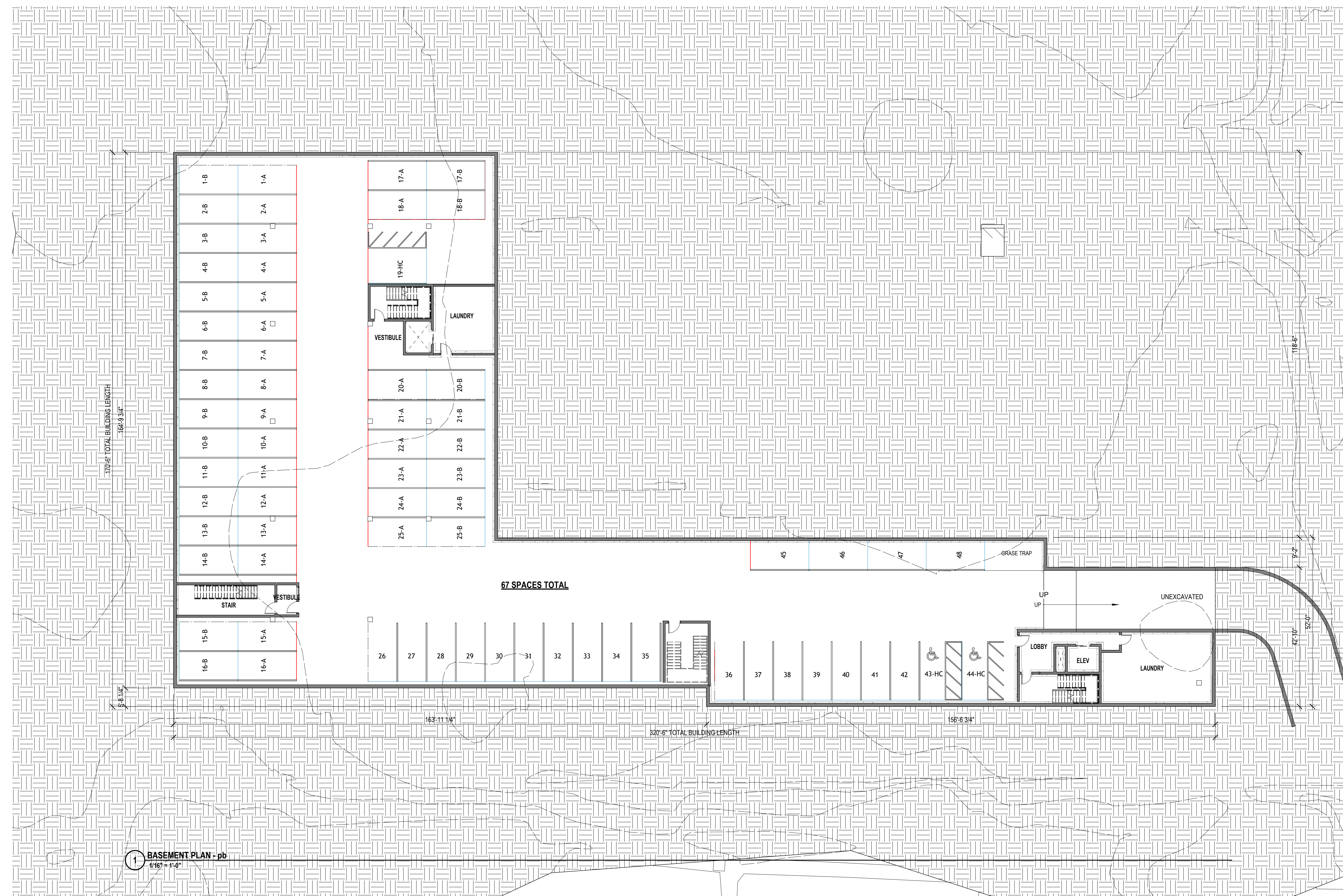
REVISIONS

NO.	DATE	DESCRIPTION

BASEMENT PLAN

SCALE: 1/16" = 1'-0"
DATE: 09/05/2023
DRAWN: Author
CHECKED: Checker

PB1.01



1 BASEMENT PLAN - pb
1/16" = 1'-0"

U.S. ROUTE 1



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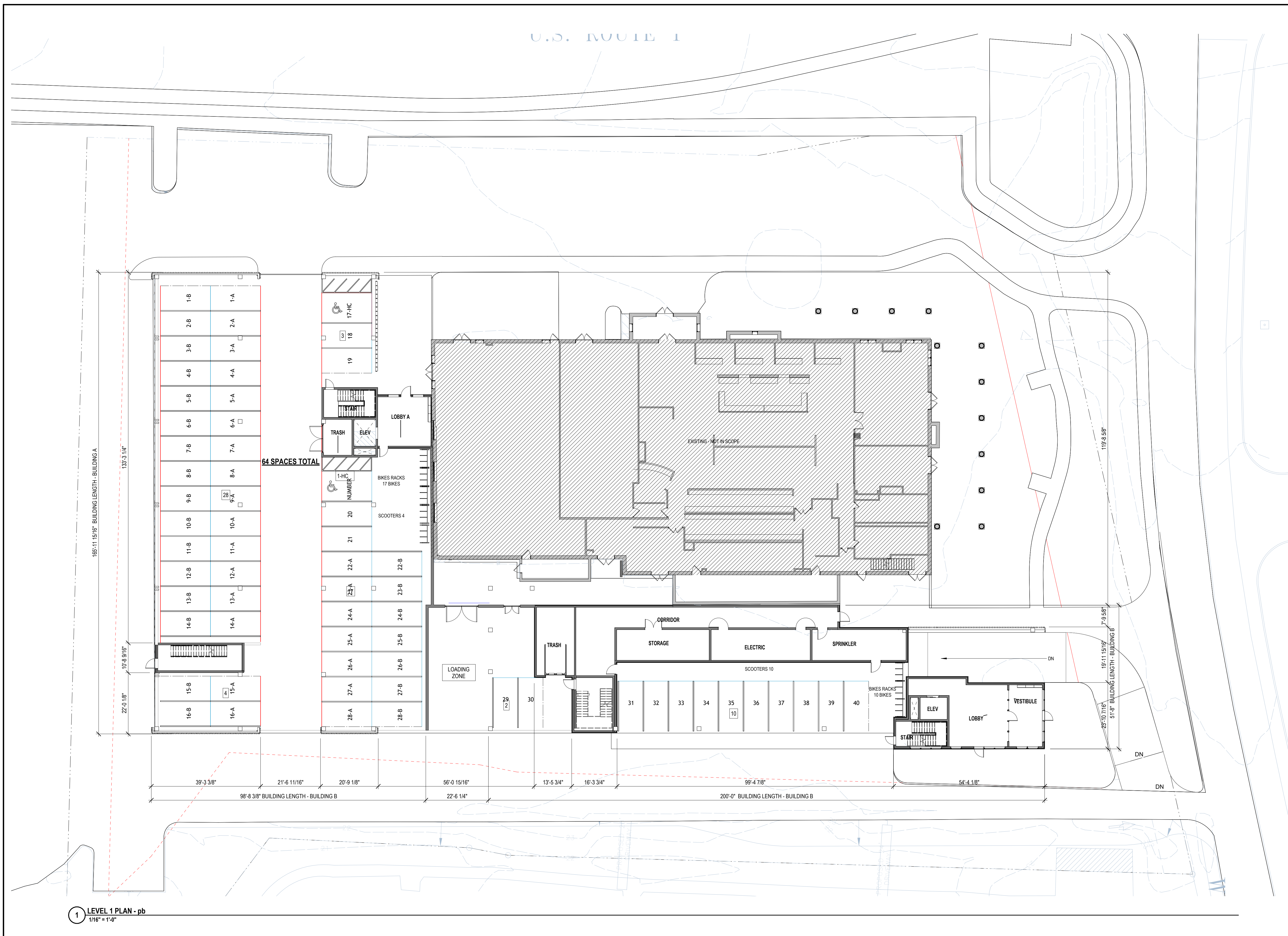
LEVEL 1 FLOOR PLAN

SCALE: 1/16" = 1'-0"
DATE: 09/05/2023
DRAWN: Author
CHECKED: Checker

PB1.02

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1 LEVEL 1 PLAN - pb
1/16" = 1'-0"





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SITE PLAN REVIEW

REVISIONS

NO.	DATE	DESCRIPTION

LEVEL 2 FLOOR PLAN

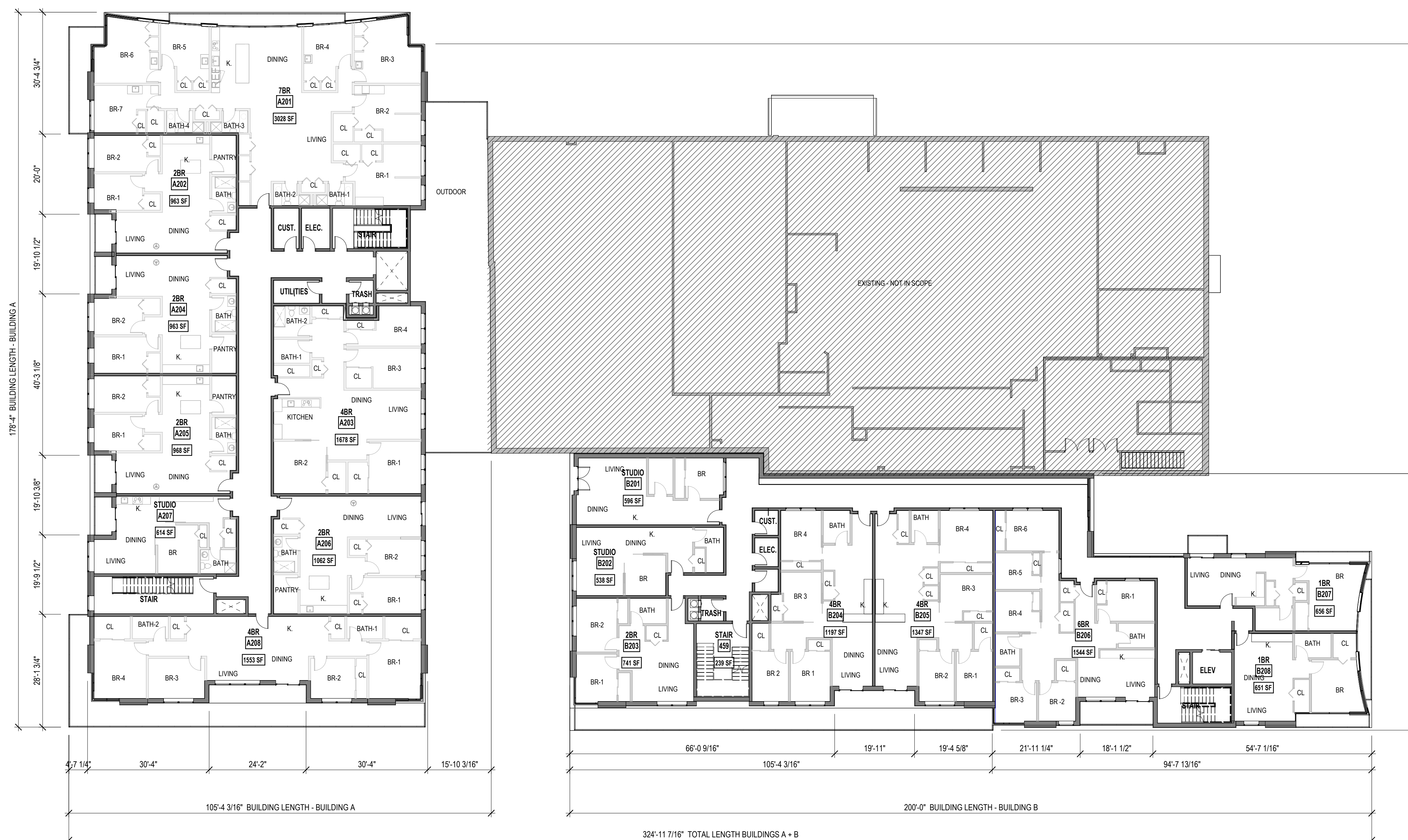
SCALE: 1/16" = 1'-0"

DATE: 09/05/2023

DRAWN: Author

CHECKED: Checker

PB1.03



1 LEVEL 2 PLAN - pb
1/16" = 1'-0"



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NO.	DATE	DESCRIPTION

LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'-0"
DATE: 09/05/2023
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PB1.04



1 LEVEL 3 PLAN - pb
1/16" = 1'-0"



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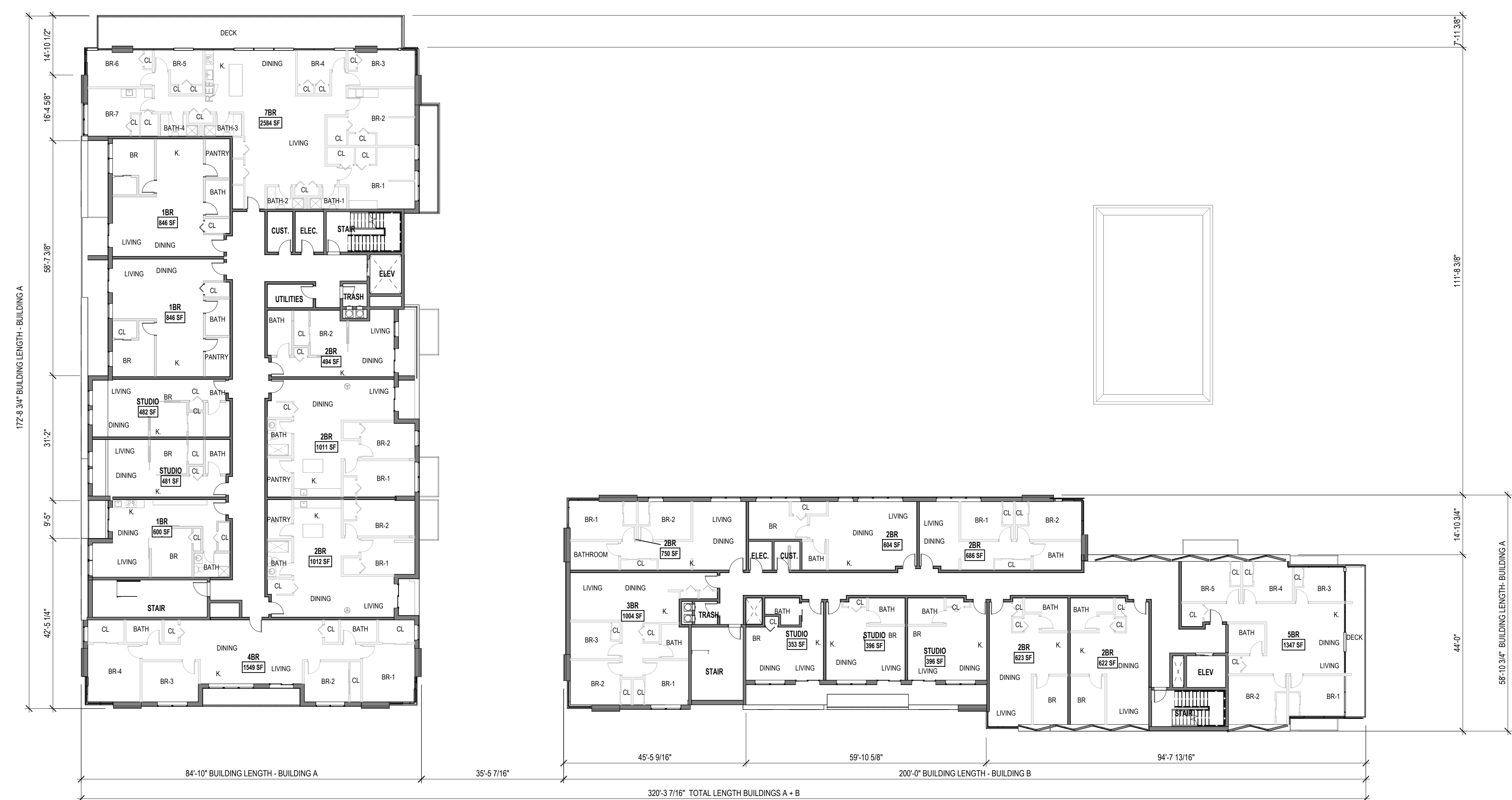
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NO.	DATE	DESCRIPTION

LEVEL 4 FLOOR PLAN

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
 DRAWN: Author
 CHECKED: Checker

PB1.05



1 LEVEL 4 PLAN - pb
 1/16" = 1'-0"



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LEVEL 5 FLOOR PLAN

SCALE: 1/16" = 1'-0"

DATE: 09/05/2023

DRAWN: Author

CHECKED: Checker

PB1.06

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1 LEVEL 5 PLAN - pb
1/16" = 1'-0"



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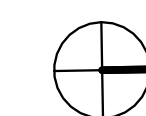
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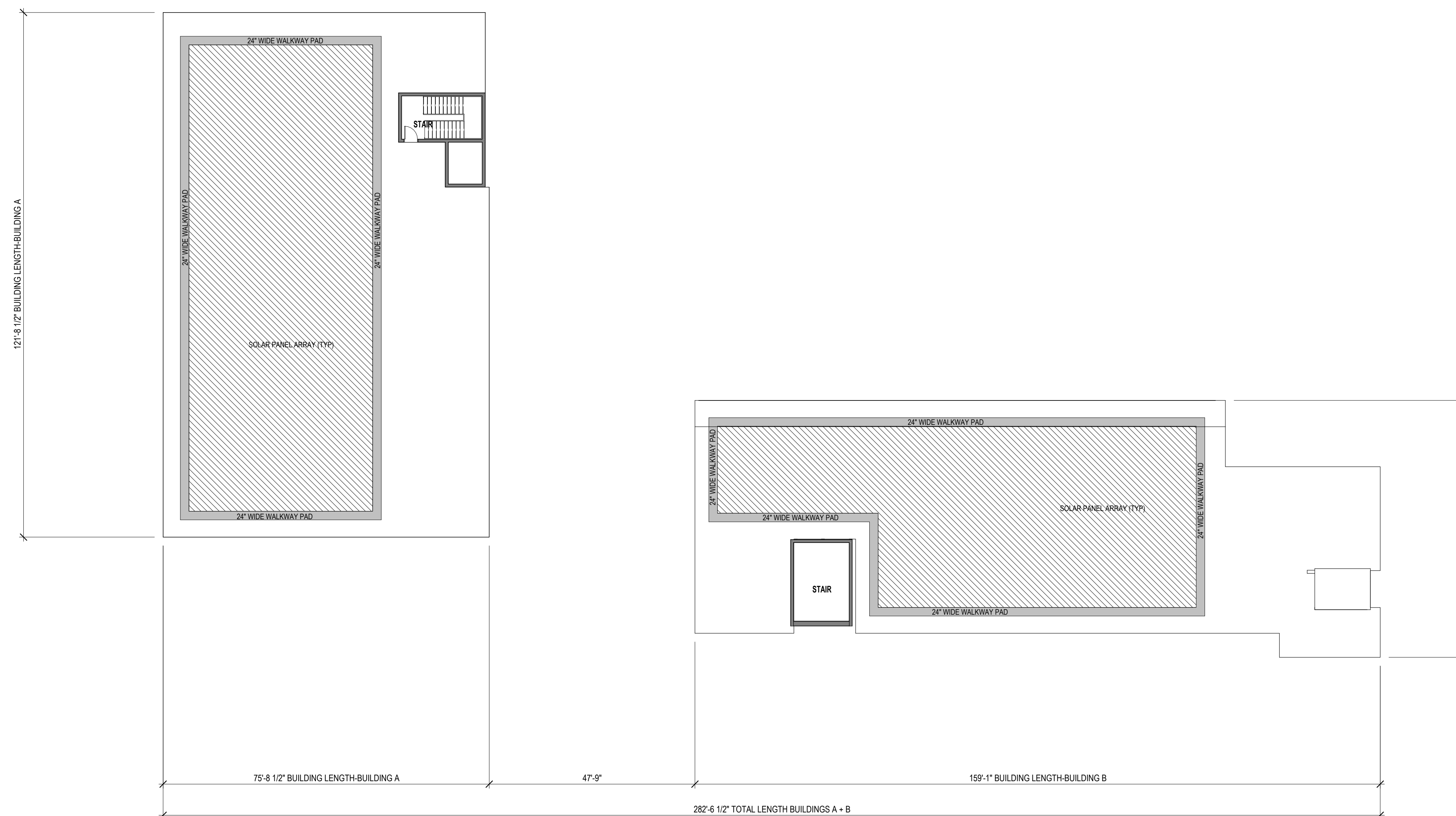
NO.	DATE	DESCRIPTION

**ROOF FLOOR
 PLAN**



SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
 DRAWN: Author
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PB1.07





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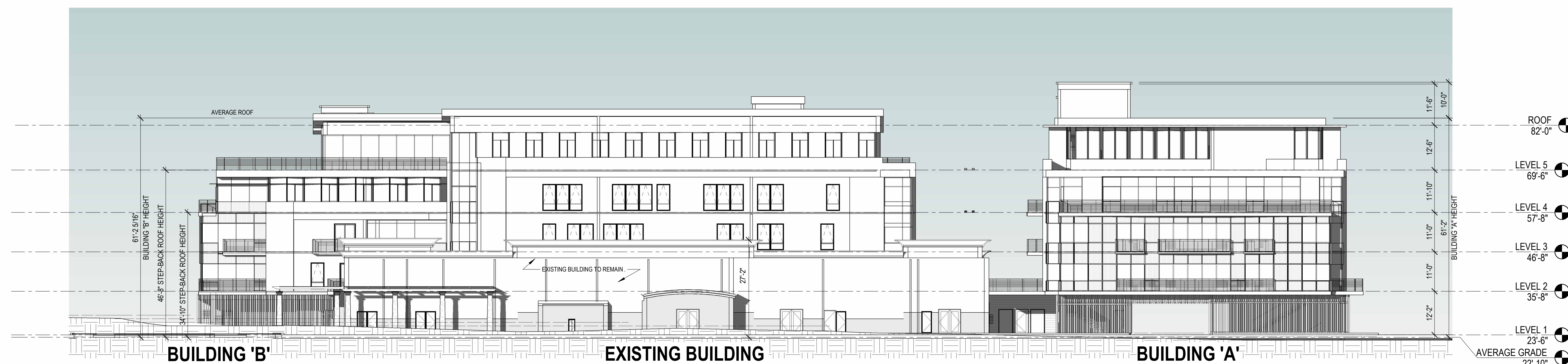
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NO.	DATE	DESCRIPTION

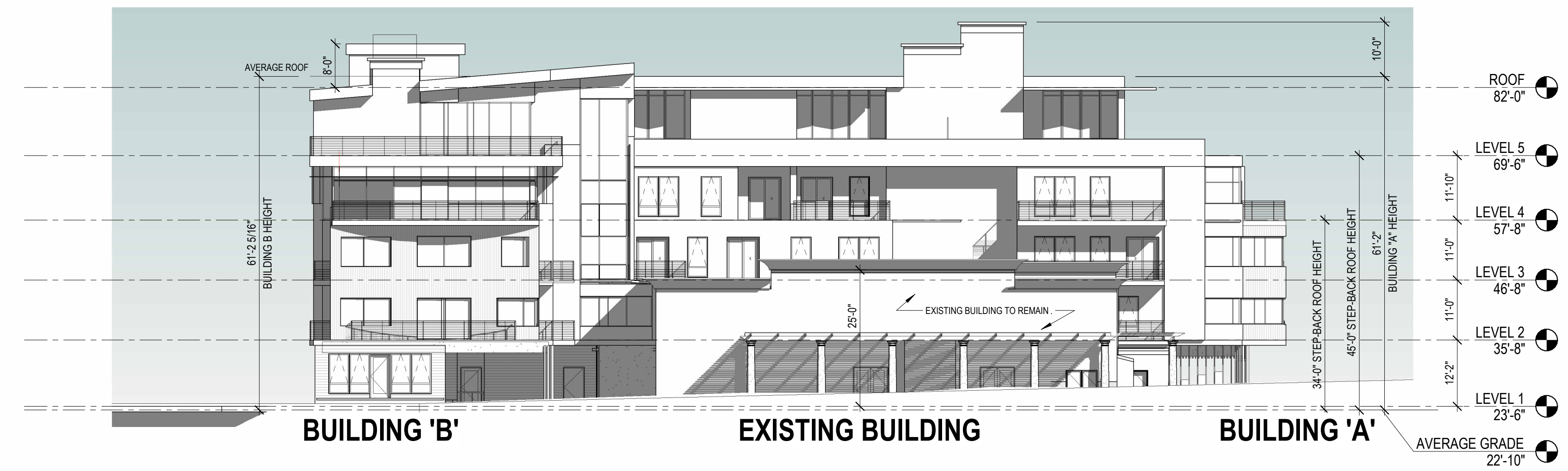
ELEVATIONS

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
 DRAWN: HA
 CHECKED: TK

PB1.08



2 WEST ELEVATION PB
 1/16" = 1'-0"



1 NORTH ELEVATION PB
 1/16" = 1'-0"



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ELEVATIONS

SCALE: 1/16" = 1'-0"
 DATE: 09/05/2023
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PB1.09



2 EAST ELEVATION PB
 1/16" = 1'-0"



1 SOUTH ELEVATION PB
 1/16" = 1'-0"



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RENDERINGS

SCALE:
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PB1.11



NORTH-WEST CORNER



SOUTH-WEST CORNER



EAST VIEW



EAST CLOSE-UP VIEW



NORTH VIEW - BASEMENT ENTRANCE



NORTH-WEST VIEW



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RENDERINGS

SCALE:
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PB1.12