



200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

20 November, 2023

Peter Stith, TAC Committee Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Site Plan Approval at 581 Lafayette Road; Mixed Use Development  
Tax Map 229 Lot 8B**

Dear Mr. Stith and TAC Members:

On behalf of Atlas Common, LLC (Owner) we are pleased to submit the attached plan set for **Site Plan Approval** for the above-mentioned project and request that we be placed on the agenda for your **December 5, 2023**, Technical Advisory Committee Meeting. The project consists of the addition of residential units (including 20% Workforce) at 581 Lafayette Road with two new building additions with the associated and required site improvements. The site is currently developed with two restaurants. The re-development will include creating additional parking below first floor building level.

The project is located at 581 Lafayette Road and are two proposed additions to an existing building. The building was renovated when the site was changed from a Cinema to the Tuscan Restaurant – Tuscan Marketplace in 2016. The site is at the corner of Lafayette Road and Ledgewood Drive, and is known as Tax Map 229, Lot 8B. The lot is a 98,124 square foot parcel with frontage on both streets. The existing conditions plan shows the current site features. The Tuscan Market moved to downtown Portsmouth, and that portion of the site was re-purposed to a restaurant with golf simulators, known as Tour. The Tuscan Marketplace closed, but recently the Tuscan Marketplace was converted to another restaurant with some outside seating.

The property is located in the Gateway Neighborhood Mixed-Use District - G1. The purpose of the district is to support the goals of the cities Master Plan and Housing Policy. The aim of the policy is to encourage walkable, mixed-use development, and continued economic vitality in the cities primary gateway areas. The district seeks to ensure that new developments complement and enhance the surroundings and provide housing stock that is suitable for changing demographics and accommodate the housing needs of the city's current and future workforce. This plan works towards that standard by adding to the existing structure and creating 72 new dwelling units. The proposed uses; being restaurant use and dwelling units (multi-family residential) are both allowed uses in the district.

The project proposes additions that are set back 33 feet from Ledgewood Drive, 47 feet from Lafayette Road, 24 feet from the southerly abutting property line, and 39 feet from the easterly abutting property line. The proposed building additions maintain the ability for the free flow of traffic around the proposed additions, as required by deed restrictions and easements on the property. First floor parking spaces are accessed from driveways to the parking areas at first floor level, as shown on the site plan. Underground parking is accessed from a driveway ramp on the north side of the proposed structure off Ledgewood Drive. The property has deeded agreements with the abutting properties along Lafayette Road, wherein shared parking is a deeded right among the properties.

The submitted site plan shows the impervious surface calculations for the proposed development. When the site was redeveloped to the Tuscan Marketplace, the impervious surface coverage (increase) was allowed under a Variance, up to coverage which maintained 16.5% open space. The building height is intended to comply with section 10.5 B 22.10 as allowed under the section. Regarding the special setback requirements on Lafayette Road, the project is in a location where there is a significant open space in front of the subject parcel. This open space was created when the Lafayette Road, Route 1 Bypass intersection was restructured around 2011. That relocation of the intersection created this large open space area in front of the lot, which in effect meets this special set back requirements inherent in the section regarding properties on Lafayette Road.

The presence of the parking in front of the building is as it has been for many years, when this property was used as a cinema, and additionally when it was repurposed to Tuscan Marketplace. A variance for front of building parking was granted. The proposal has gone to the Portsmouth Planning Board for Conceptual Review. During the review it was noted that some of the parking spaces in front of the building are partially located off the lot in the state highway right of way. Those spaces existed when the work was done to relocate the intersection, and they existed when the property was redeveloped into the Tuscan Marketplace and allowed to stay.

The existing drainage consists of some roof drain connections as well as some parking lot connections to the drainage network, which flow off-site. The property drainage is divided into two watersheds, one that flows to the south along the front of the adjacent mall and the other flows to the south along the back of the adjacent mall. The intent of this design is to maintain those flow directions and re-purpose the drainage in accordance with the proposed site addition roof drains that will replace some catch basins to direct the water in this manner. Additional treatment of the runoff is provided with the introduction of a Jellyfish filter.

It is our understanding that this development would most likely fall under Section 10.05 B 42.20, Mixed-Use Development, and the development standards of that section. The process for development in the Gateway Neighborhood Mixed-Use District requires application to the Planning Board for a Conditional Use Permit where development deviates from the strict standards, and proof that the development proposed meets, and is consistent with, the Portsmouth Master Plan. In the density section of the ordinance this development would be allowed up to 24 units per structure. This project proposes a Conditional Use Permit for a density bonus as allowed in section 10.5 B 72 for two buildings with 36 units in each building. This increased housing density is allowed with an incentive. In order to be eligible for the bonus incentive the development shall include workforce housing. The intent of this

development is to provide 20% of the dwelling units, or 15 units, as workforce units, as defined by the Portsmouth Ordinance. We believe that under section 10.5 B 74.30 the Planning Board is authorized to grant modifications to the standards of the section since, and as a result of, the developer providing workforce housing. We believe that the modifications to the strict ordinance interpretations are consistent with the purpose and intent set forth in the Gateway Neighborhood Mixed-Use District section. We therefore request that review of this project at the Technical Advisory Committee level proceed not only to look at the technical aspects of the proposal, but to review our proposed development and provide feedback regarding compliance with the intent of the ordinance.

The development plan is summarized as follows and as shown on the Proposed Site Plans:

- Sheet C1 – Existing Conditions Plan: The plan shows current site conditions.
- Sheet C2 – Demolition Plan: The plan shows required site demolition.
- Sheet C3 –Site Plan: This sheet shows the location of the proposed building additions, outdoor seating area, and associated site improvements.
- Sheet L1 and L2 – this plan shows the added site landscaping.
- Sheet C4 – Parking Plan: The plan shows the underground parking.
- Sheet C5 – Utility Plan: The plan shows proposed utility connections.
- Sheet C6 – Grading, Drainage, Erosion Control Plan: The plan shows the proposed drainage connections for the site.
- Sheets D1 to D5 – These sheets show the site construction details.
- Floor Plans - Elevations - Renderings - These are the Architectural site designs.

We look forward to an in-person presentation at the December 5, 2023, meeting.

Sincerely,



John Chagnon, PE; Ambit Engineering – Haley Ward  
Submitted Online

P:\NH\5010156-McNabb\_Properties\1397.03-Lafayette Rd., Portsmouth-JRC\2023 Site Plan 1397.03\Applications\Portsmouth Site Plan\581 Lafayette TAC Application 11-20-23.doc

# Construction Cost Estimate

## Ambit Engineering-A Division of Haley Ward

Date: November 20 2023

Project: Atlas Commons, LLC

Job No: 1397.04

Location: 581 Lafayette Road, Portsmouth, NH

Scope: **Site Cost Estimate**

ITEM NO	DESCRIPTION	UNIT	AMOUNT	UNIT COST	TOTAL
1	Site Demolition	LS	1	\$55,000.00	\$55,000.00
2	Remove Pavement	TON	500	\$65.00	\$32,500.00
3	Granite Curbing	LF	90	\$60.00	\$5,400.00
4	Concrete Retaining Wall	SFF	912	\$120.00	\$109,440.00
5	Parking Striping	LS	1	\$1,500.00	\$1,500.00
6	Concrete Sidewalk	SF	365	\$25.00	\$9,125.00
7	Landscape Plantings	LS	1	\$45,000.00	\$45,000.00
8	Underground Electric / Conduit	LF	650	\$55.00	\$35,750.00
9	Sewer Service	LF	660	\$80.00	\$52,800.00
10	Transformer and Pad	EA	1	\$10,000.00	\$10,000.00
11	Water & Sprinkler Services	LF	70	\$80.00	\$5,600.00
12	Grease Trap	LS	1	\$6,000.00	\$6,000.00
13	JellyFish Filter	LS	1	\$65,000.00	\$65,000.00
14	Catch Basin	LS	4	\$5,000.00	\$20,000.00
15	Drain Manhole	LS	1	\$6,500.00	\$6,500.00
16	Drainage Pipe	LF	604	\$90.00	\$54,360.00
17	Erosion Control	LS	1	\$6,000.00	\$6,000.00
18	Site Excavation	CY	12255	\$15.00	\$183,825.00
19	Proposed Pavement	TON	260	\$150.00	\$39,000.00
	<b>TOTAL</b>				<b>\$742,800</b>

Note: This is an estimate of construction costs based upon various sources



LCHIP	ROA646155	25.00
RECORDING		22.00
SURCHARGE		2.00

**WARRANTY DEED**

**JOHN GALT, LLC**, a New Hampshire limited liability company with a mailing address of 3 Pleasant Street, Suite 400, Portsmouth, New Hampshire 03801 ("Grantor") for consideration paid grants to **ATLAS COMMONS, LLC**, a New Hampshire limited liability company with a mailing address of 3 Pleasant Street, Suite 400, Portsmouth, New Hampshire 03801 ("Grantee") **WITH WARRANTY COVENANTS**

**THE FOLLOWING DESCRIBED PREMISES:**

1. A certain tract or parcel of land, together with any buildings or improvements thereon, situate in Portsmouth, County of Rockingham and State of New Hampshire, bounded and described as follows:

Beginning at a point in the Easterly sideline of Lafayette Road at the Northwestern corner of the parcel herein described and at land of the City of Portsmouth; thence running North 81°43 East by City of Portsmouth land, two hundred eighty-one and seven tenths (281.7) feet to a corner at land of Ledgewood Manor Associates; thence turning and running South 5°56' West two hundred forty-six and thirty-one hundredths (246.31) feet, South 15°05'30" West fourteen and twenty-one hundredths (14.21) feet, South 07°12' West seventy-two and no hundredths (72.00) feet, South 48°45' East thirty-three and thirty-two hundredths (33.32) feet and South 39°04' East seventy-five and seven hundredths (75.07) feet, all by land of Ledgewood Manor Associates to a corner of land now or formerly of William N. Genimatas; thence turning and running North 84°04' West three hundred thirty and forty hundredths (330.40) feet by land of said Genimatas to Lafayette Road; thence turning and running North 05°56' East two hundred thirty-nine and thirty-nine hundredths (239.39) feet and North 05°31' West ninety-six and two tenths (96.2) feet by said Lafayette Road to the point of beginning. Containing 2.25 acres, more or less.

2. Together with the perpetual right to use in common with DLR, Inc., and William N. Genimatas, their heirs, devisees, successors and assigns, the Lafayette Road entrance-exit way as developed by DLR, Inc., (formerly MDL, Inc.) near the southwest corner of the land retained by Genimatas, together with the perpetual right hereby granted to grantees,

their heirs, devisees and assigns, to use in common with said DLR, Inc., and Genimatas, their heirs, devisees, successors and assigns, the other Lafayette Road entrance-exit ways on the DLR, Inc. and the Bowl-O-Rama lots adjoining the premises hereby conveyed.

3. Subject to, and with the benefit of mutual parking rights in common with said DLR, Inc., and said Genimatas respecting this lot and the adjoining Bowl-O-Rama and DLR, Inc., lots, namely and respectively, that said DLR, Inc., Genimatas and Robbins shall have free parking as may be necessarily available on any of these three parcels of land, and such parking rights for each of them in each other's adjacent land shall be mutually interchangeable, for said Genimatas, DLR, Inc., and said Robbins, their respective heirs, devisees, successors and assigns, such mutual parking rights and benefits to extend to any other persons or corporations and any other lands and premises, which said Genimatas, said Robbins, MGR Realty and/or MGR Realty, Inc., may have heretofore conveyed and reserved such rights, benefits or privileges. The foregoing parking rights shall not limit or restricts the rights of the owners of the said lots to construct buildings or additions to same, upon the said lots, provided no unreasonable imposition of owner's parking is caused the abutters by such buildings or additions thereto.
4. Also being conveyed with the benefit of, a certain right of way in common with others, including Petzold, et al, and Ledgewood Manor Associates on the Southerly part of the DLR, Inc., Lot #3, second lot south of this lot, said right of way being also subject to a restriction against the erection of a barrier, fence or other obstruction on either side of said right of way as it runs to Lafayette Road, all as per agreement acknowledged on July 23, 1973, recorded in Rockingham Registry of Deeds, Book 2209, Page 1400.
5. The foregoing premises are further conveyed subject to, and with the benefit of, a perpetual easement for a roadway thirty (30) feet in width extending from Lafayette Road on the South, adjacent to land of Petzold, running thence along the southerly and easterly boundary of the DLR (former Tower Restaurant) Lot of 1.92 acres, the easterly boundary of the Genimatas (Bowl-O-Rama) Lot of 2.82 acres, and the easterly boundary of the Robbins (Jerry Lewis Cinema) Lot of 2.25 acres, as shown on plan of "Subdivision of Land, Portsmouth, N.H., for Genimatas and Robbins" dated November 1978, Revised June 7, 1979 which roadway easement is reserved for use in common of, and the benefit in common of, William N. Genimatas, Henry J. Robbins, Joan M. Robbins, and DLR, Inc., and their respective heirs, devisees, successors and assigns. Owners of Lots #1, 2, and 3 in said Subdivision agree that they will equally contribute to development and maintenance of such thirty (30) foot right-of-right as a passable gravel way, excluding winter maintenance such as snow plowing and clearing way of snow, ice, slush or water.
6. The premises hereby conveyed (the "Premises") shall be SUBJECT TO the restriction (this "Use Restriction") that the business of a movie theater shall not be conducted or maintained upon the Premises or any portion thereof for a period of twenty (20) years from October 10, 2007, the date of the recording of the deed from Canavan Properties, LLC, to MANI Properties, LLC recorded in the Rockingham County Registry of Deeds at Book 4851, Page 526 (the "Restriction Term"). By the acceptance of this Deed, the within grantee agrees to be bound by this Use Restriction. This Use Restriction shall run with the land and be binding upon the within grantee, the within grantee's successor and

assigns, and the Premises and every part thereof for the duration of the Restriction Term; and in each and every Deed to the Premises or any portion thereof given during the Restriction Term, the then grantor shall undertake to insert a clause referring to this Use Restriction. This Use Restriction is for the benefit of Hoyts Cinemas Corporation, a Delaware Corporation, and its subsidiaries, and their respective successors and assigns (collectively, "Hoyts"), and Hoyts, as a former tenant of the Premises and for consideration paid to the within grantor, shall have the right to enforce this Use Restriction.

7. A portion of the above premises, more particularly bounded and described as set forth below, is subject to a perpetual easement for the installation and maintenance of utility lines:

A certain tract or parcel of land situate on the Easterly side of Lafayette Road, Portsmouth, Rockingham County, New Hampshire, described as follows:

Beginning at a point in the Easterly sideline of Lafayette Road at the Northwest corner of the parcel herein described and the Southwest corner of land of the City of Portsmouth; thence running North 81°43' East two hundred eighty-one and seven tenths (281.7) feet to an iron pipe at land now or formerly of Ledgewood Manor Associates; thence turning and running South 05°56' West by said Ledgewood Manor Associates land ten and thirty-two hundredths (10.32) feet to a corner at other land now or formerly of MGR Realty; thence turning and running South 81°43' West sixty-seven and fifty-six hundredths (67.56) feet; South 59°00' West ten and eighty-eight hundredths (10.88) feet and South 66°12' West one hundred seventy-eight and ten hundredths (178.10) feet to a point; thence continuing on the arc of a curve to the left having a radius of 50 feet an arc distance of fifty-two and fifty-nine hundredths (52.59) feet to a point in the easterly sideline of Lafayette Road, said previous four courses being along land now or formerly of MGR Realty; thence turning and running North 05°56' East one and sixty-nine hundredths (1.69) feet and North 05°31' West ninety-six and two tenths (96.2) feet by the Easterly sideline of Lafayette Road to the point of beginning.

The said easement rights are preserved and more fully described in a certain Partial Termination of Easement granted by RPL Properties, LLC to DiLorenzo Lafayette Ledgewood Real Estate, LLC, dated November 3, 2015 and recorded in the Rockingham County Registry of Deeds as of the date hereof, and as set forth therein consist of the rights of RPL Properties, LLC, its successors and assigns ("RPL") to install, lay, maintain, replace and repair and use utility lines of all types including, without limitation, water mains, gas mains, electric wires (above and below grade) and telephone lines (above and below grade), storm and sanitary sewer drains and catch basins, together with all facilities related to the use, operations and maintenance of such utility lines, and the right to pass and re-pass over said premises for the foregoing purposes. Any such work performed by RPL shall be undertaken so as to minimize disruption, disturbance or damage to the premises herein conveyed, and once commenced, such work shall be diligently

pursued to completion. Any damage or disturbance to the premises herein conveyed shall be repaired or restored in a prompt and workmanlike manner as nearly as practicable to the condition that existed immediately prior to such damage or destruction.

Meaning and intending to convey Lot #1, as shown on plan entitled "Subdivision of Land, Portsmouth, N.H., for Genimatas and Robbins" dated November 1978, Revised June 7, 1979, being Durgin Plan #5558, File #689, drawn by John W. Durgin Civil Engineers, which Plan is recorded in the Rockingham County Registry of Deeds as Plan D-8806. See also Warranty Deed of DiLorenzo Lafayette Ledgewood Real Estate, LLC to Grantor dated November 9, 2015 and recorded in the Rockingham County Registry of Deeds at Book 5669, Page 667.

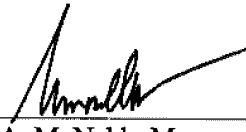
Meaning and intending to describe and convey the same premises conveyed to the Grantor by deed of OMJ Realty dated October 20, 2022 and recorded in the Rockingham County Registry of Deeds at Book 6448, Page 1309 on October 25, 2022.

**Transfer Tax:** This transfer is exempt from transfer tax pursuant to RSA 78-B:2, XXII.

**Homestead:** This is not homestead property.

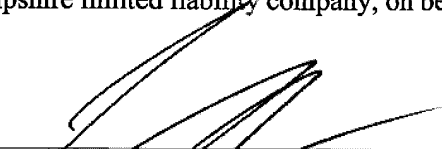
March 30, 2023

John Galt, LLC

By:   
Mark A. McNabb, Manager

STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM

The foregoing instrument was acknowledged before me this 30 day of March, 2023 by Mark A. McNabb, Manager of John Galt, LLC a New Hampshire limited liability company, on behalf of the company.

  
Notary Public/Justice of the Peace  
My Commission expires:





A5109-001  
November 10, 2023

Mr. Roger Appleton, P.E.  
Assistant District 6 Engineer  
New Hampshire Department of Transportation  
271 Main Street, P.O. Box 740  
Durham, New Hampshire 03824

Re: **Trip Generation Memorandum  
581 Lafayette Road Development  
Portsmouth, New Hampshire**

Dear Roger:

Tighe & Bond has prepared a trip generation memorandum to outline the anticipated study area of the Traffic Impact Assessment (TIA) for the proposed Lafayette Road residential development located at 581 Lafayette Road (US Route 1) in Portsmouth, NH. The project proposes to add 72 residential units to the to the existing restaurant and restaurant/ indoor golf uses at 581 Lafayette Road. The site is bounded by Ledgewood Drive to the north, residential land use to the east, a shopping plaza to the south, and Lafayette Road (US Route 1) to the west. The project consists of the construction of 72 residential units in two new buildings adjacent to the existing building, which is to remain. Structured parking will be provided below the apartments on the ground level and basement levels of the building. The existing parking area will be reconfigured to accommodate the building addition. Access to the development will be provided via three driveways. The existing western entrance-only driveway located on Ledgewood Drive will be maintained. The existing eastern driveway on Ledgewood Drive will be replaced by two separate full-access driveways, one providing access to the structured parking and the other providing access to the surface parking spaces. The trip generation estimate for the proposed development will serve as the basis for the traffic impact assessment.

## Study Area

Based on a preliminary review of expected trip generation and distribution for the surrounding area, the following intersections have been identified to be included in the study area:

- US Route 1 Bypass at Greenleaf Avenue (signalized)
- US Route 1 Bypass at Lafayette Road (US Route 1) (signalized)
- US Route 1 at North Shopping Plaza Driveway (Bowl-O-Rama/ Urgent Care)
- Lafayette Road (US Route 1) at Ledgewood Drive (signalized)
- Ledgewood Drive at East Site Driveway
- Ledgewood Drive at West Site Driveway

Turning movement count (TMC) data was collected at the study area intersections on Wednesday November 1, 2023 and Saturday November 4, 2023. Automatic traffic recorder (ATR) counts were collected along Ledgewood Drive in the vicinity of the site driveways. The ATR was installed for a 48-hour period from October 31 to November 1, 2023, collecting directional traffic volume flows and vehicular travel speeds.



The anticipated study area intersections are shown in Figure 1.

## Traffic Volume Adjustments

The NHDOT continuous count station located along Route 16 (Spaulding Turnpike) between Exit 6 and Exit 7 (ID 02125090) will be used to compare 2023 traffic volumes to 2019 traffic volumes to determine if any adjustments to the turning movement counts are necessary per current NHDOT guidelines.

## Trip Generation

Trips expected to be generated by the proposed development were estimated using the Institute of Transportation Engineers (ITE) Trip Generation, 11<sup>th</sup> Edition, 2021. Multifamily Housing (Mid-Rise) (LUC-221) was used to estimate vehicle trips generated by the development based on the current development program, which proposes 5-story buildings with structured parking on the ground level and residential units on floors 2 through 5.

Based on the ITE data, the proposed development is estimated to generate 27 trips (6 entering, 21 exiting) during the weekday morning peak hour, 28 trips (17 entering, 11 exiting) during the weekday afternoon peak hour, and 29 trips (15 entering, 14 exiting) during the Saturday midday peak hour. There will be no changes to the existing uses on site; trips generated by these uses will be captured through existing turning movement counts. Table 1 provides a detailed summary of the trip generation.

**TABLE 1**  
Site-Generated Traffic Summary

<b>Proposed - 72 Apartments Peak Hour Period</b>	<b>Enter</b>	<b>Exit</b>	<b>LUC Total</b>
Weekday Morning	6	21	27
Weekday Afternoon	17	11	28
Saturday Midday	15	14	29
Weekday	164	163	327
Saturday	175	176	351

**Source:** Institute of Transportation Engineers, Trip Generation, 11th Edition, 2021  
Land Use - 221 [Multifamily Housing (Mid-Rise)]

## Trip Distribution

The distribution of the proposed traffic entering and exiting the site expected to be generated by the proposed residential use was reviewed based on U.S. Census journey-to-work data for people residing in Portsmouth. The following arrival/departure distributions are anticipated:

- 30% to/ from the North to Portsmouth Center via US Route 1
- 25% to/ from the South via US Route 1 (Lafayette Road)
- 20% to/ from the West to US Route 4 (Spaulding Turnpike) via US Route 1 Bypass
- 15% to/ from the South to I-95 South via Route 33
- 5% to/ from the West via Route 33



- 5% to/ from the North to I-95 North via US Route 1 Bypass

Based on the regional distribution, it is estimated that 45% of site traffic will access the site via US Route 1 Bypass to the northwest, 30% will access the site to/ from the northeast via US Route 1 and 25% will access the site to/ from the south via US Route 1.

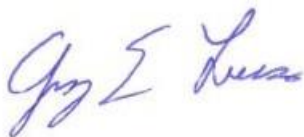
Figure 1 presents the anticipated regional site traffic distributions of the traffic through the study area roadways.

## Conclusion

The proposed development program includes 72 residential units. Based on the estimated trip generation and trip distribution, the TIA will analyze traffic operations at three intersections during the weekday morning, weekday afternoon, and Saturday midday peak periods.

Sincerely,

**TIGHE & BOND, INC.**



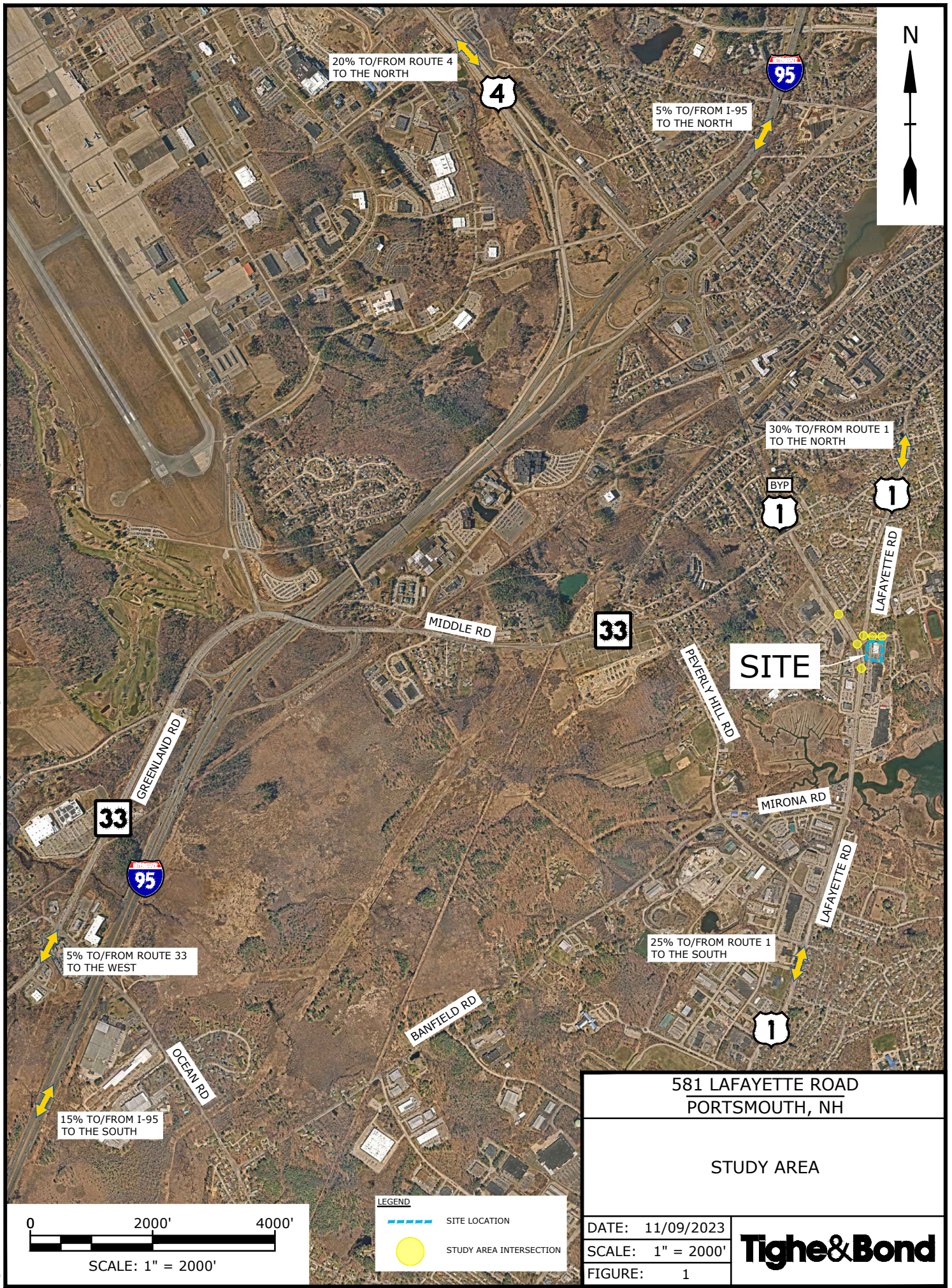
Greg Lucas, PE, PTOE, RSP1  
Senior Project Manager

Copy: Marie Bodi, Atlas Commons, LLC  
John Chagnon, Ambit Engineering, Inc.

Enclosures: Study Area Map (Figure 1)

\\tighebond.com\data\Data\Projects\A\A5109 Atlas Commons, LLC\001 - 581 Lafayette Road Traffic Study\Reports\2023-11-09 Trip Generation Memo\A5109-001 581 Lafayette Rd Trip Gen Memo.docx

Nov 09, 2023-2:54pm Plotted By: MStout  
Tighe & Bond, Inc. J:\VA5109 Atlas Commons, LLC\001 - 581 Lafayette Road Traffic Study\Drawings\AutoCAD\Figures\VA5109-001 Traffic Study Area Figure.dwg



20% TO/FROM ROUTE 4 TO THE NORTH

5% TO/FROM I-95 TO THE NORTH

30% TO/FROM ROUTE 1 TO THE NORTH

SITE

25% TO/FROM ROUTE 1 TO THE SOUTH

5% TO/FROM ROUTE 33 TO THE WEST

15% TO/FROM I-95 TO THE SOUTH

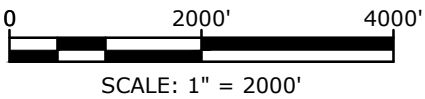
581 LAFAYETTE ROAD  
PORTSMOUTH, NH

STUDY AREA

LEGEND

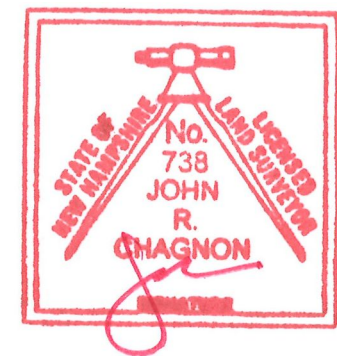
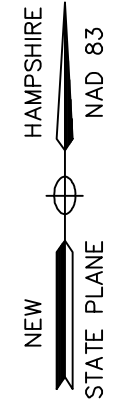
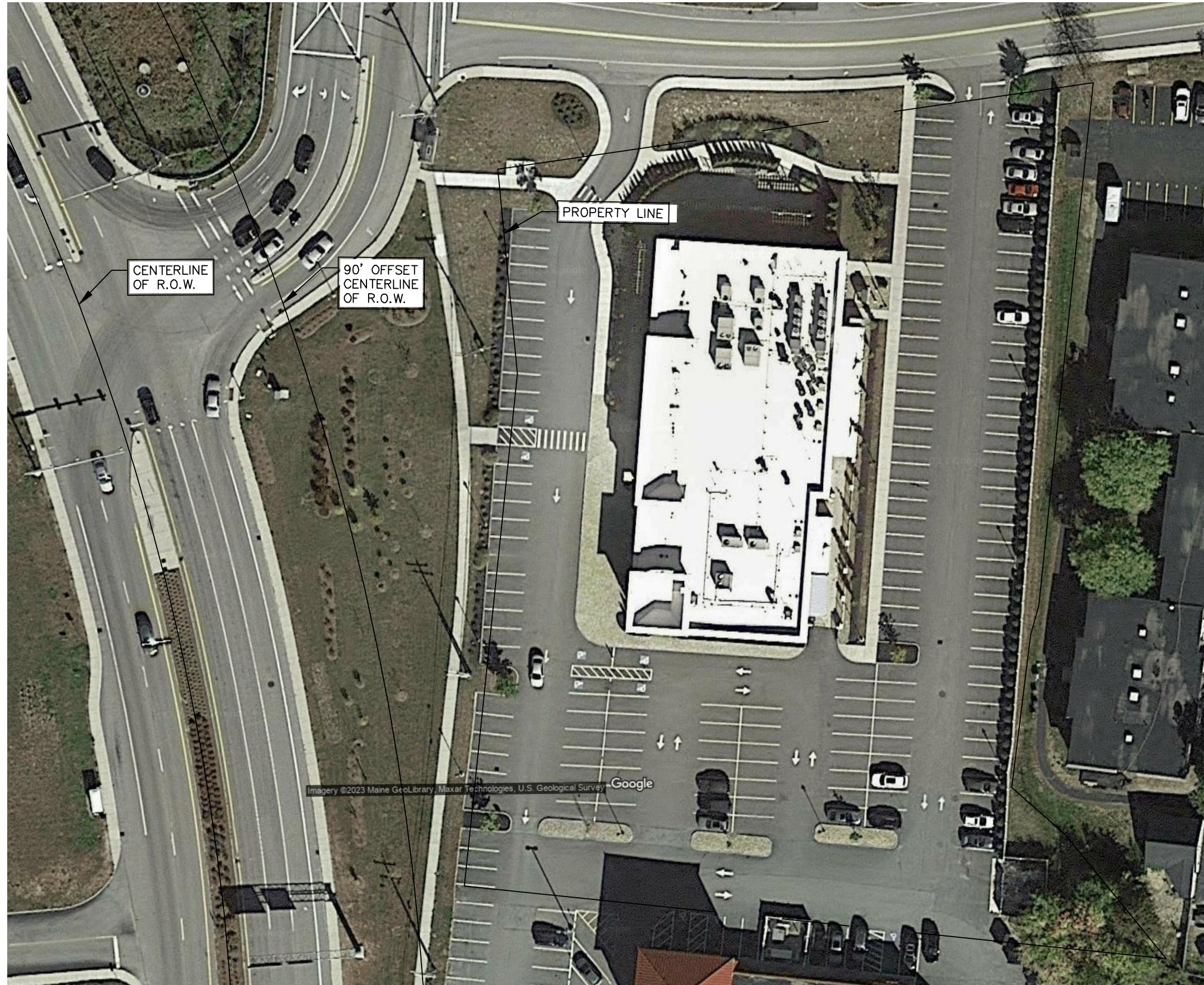
- SITE LOCATION
- STUDY AREA INTERSECTION

DATE: 11/09/2023  
SCALE: 1" = 2000'  
FIGURE: 1



OWNER: JOHN GALT, LLC  
581 LAFAYETTE ROAD

CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE



DEED REFERENCE: 6448/1309  
PLAN REFERENCE: RCRD PLAN D-39349

1" = 50' 15 MARCH 2023



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

# MIXED USE DEVELOPMENT

## 581 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE SITE PERMIT PLANS

### OWNER:

ATLAS COMMONS, LLC  
3 PLEASANT STREET  
SUITE #400  
PORTSMOUTH, NH 03801

### LAND SURVEYOR & CIVIL ENGINEER:

AMBIT ENGINEERING, INC.  
A DIVISION OF HALEY WARD, INC  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801  
Tel. (603) 430-9282  
Fax (603) 436-2315

### ARCHITECT:

ARCOVE ARCHITECTS  
3 CONGRESS STREET, SUITE 1  
PORTSMOUTH, NH 03801  
TEL. (603) 988-0042

### LANDSCAPE ARCHITECT:

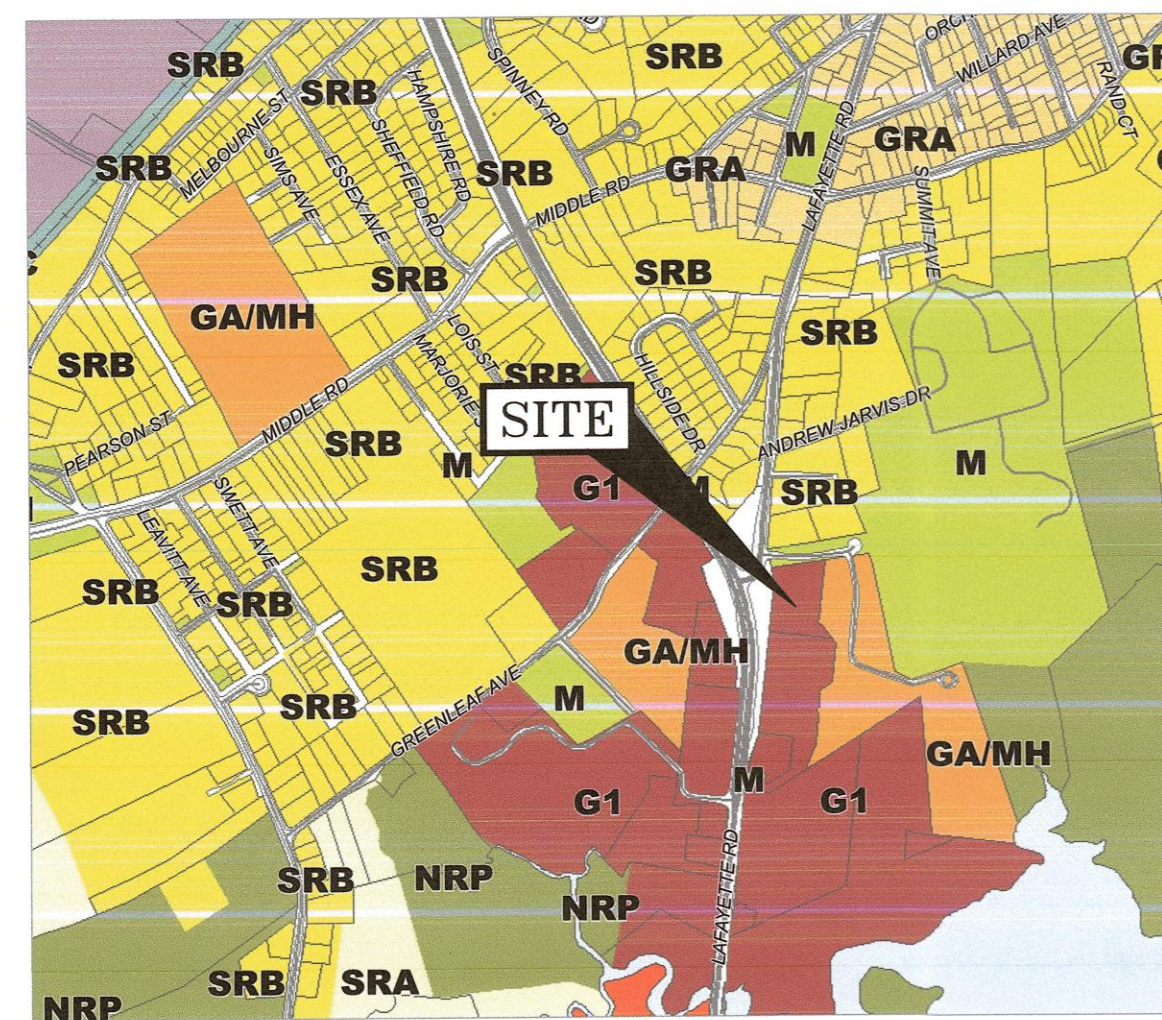
TERRA FIRMA LANDSCAPE  
ARCHITECTURE  
163A COURT STREET  
PORTSMOUTH, NH 03801  
TEL. (603) 430-8388

### PERMIT LIST:

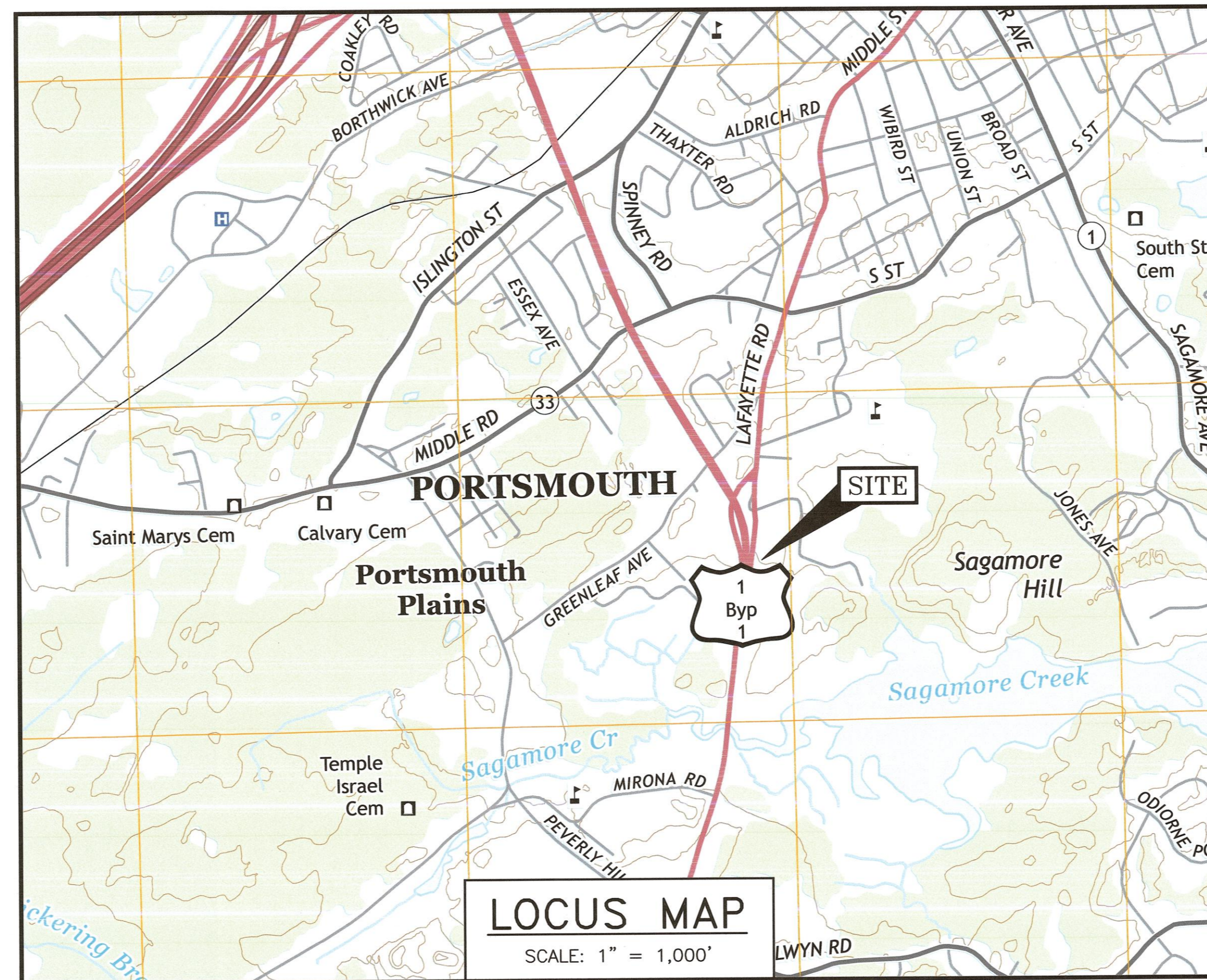
NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED  
PORTSMOUTH SITE PLAN APPROVAL: PENDING

### LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
	UD	FOUNDATION DRAIN
	EP	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		UTILITY POLE
		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
		SHUT OFFS (WATER/GAS)
		GATE VALVE
		HYDRANT
		CATCH BASIN
		SEWER MANHOLE
		DRAIN MANHOLE
		TELEPHONE MANHOLE
		PARKING SPACE COUNT
		PARKING METER
		LANDSCAPED AREA
		TO BE DETERMINED
		CAST IRON PIPE
		COPPER PIPE
		DUCTILE IRON PIPE
		POLYVINYL CHLORIDE PIPE
		REINFORCED CONCRETE PIPE
		ASBESTOS CEMENT PIPE
		VITRIFIED CLAY PIPE
		EDGE OF PAVEMENT
		ELEVATION
		FINISHED FLOOR
		INVERT
		SLOPE FT/FT
		TEMPORARY BENCH MARK
		TYPICAL



Mixed Residential Districts	
MRO	Mixed Residential Office
MRB	Mixed Residential Business
G1	Gateway Corridor
G2	Gateway Center



### INDEX OF SHEETS

DWG No.	Description
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
L1 & L2	LANDSCAPE PLANS
C4	PARKING PLAN
C5	UTILITY PLAN
C6	GRADING, DRAINAGE, EROSION CONTROL PLAN
T1 & T2	TURNING PLANS
D1 - D5	EROSION CONTROL NOTES AND DETAILS
PB1.01-1.07	FLOOR PLANS
PB1.08-1.09	ELEVATIONS
PB1.10	RENDERINGS

### UTILITY CONTACTS

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**COMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

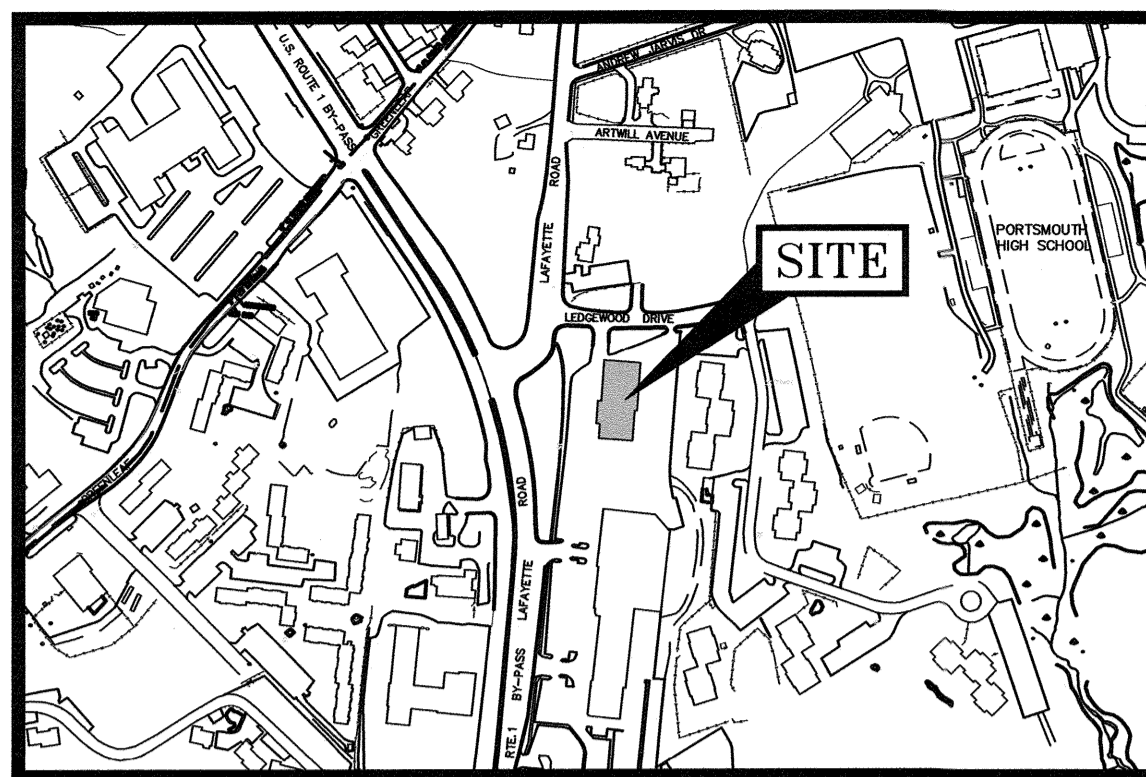
**SITE PLANS  
MIXED USE DEVELOPMENT  
581 LAFAYETTE ROAD  
PORTSMOUTH, N.H.**



WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 20 NOVEMBER 2023

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282



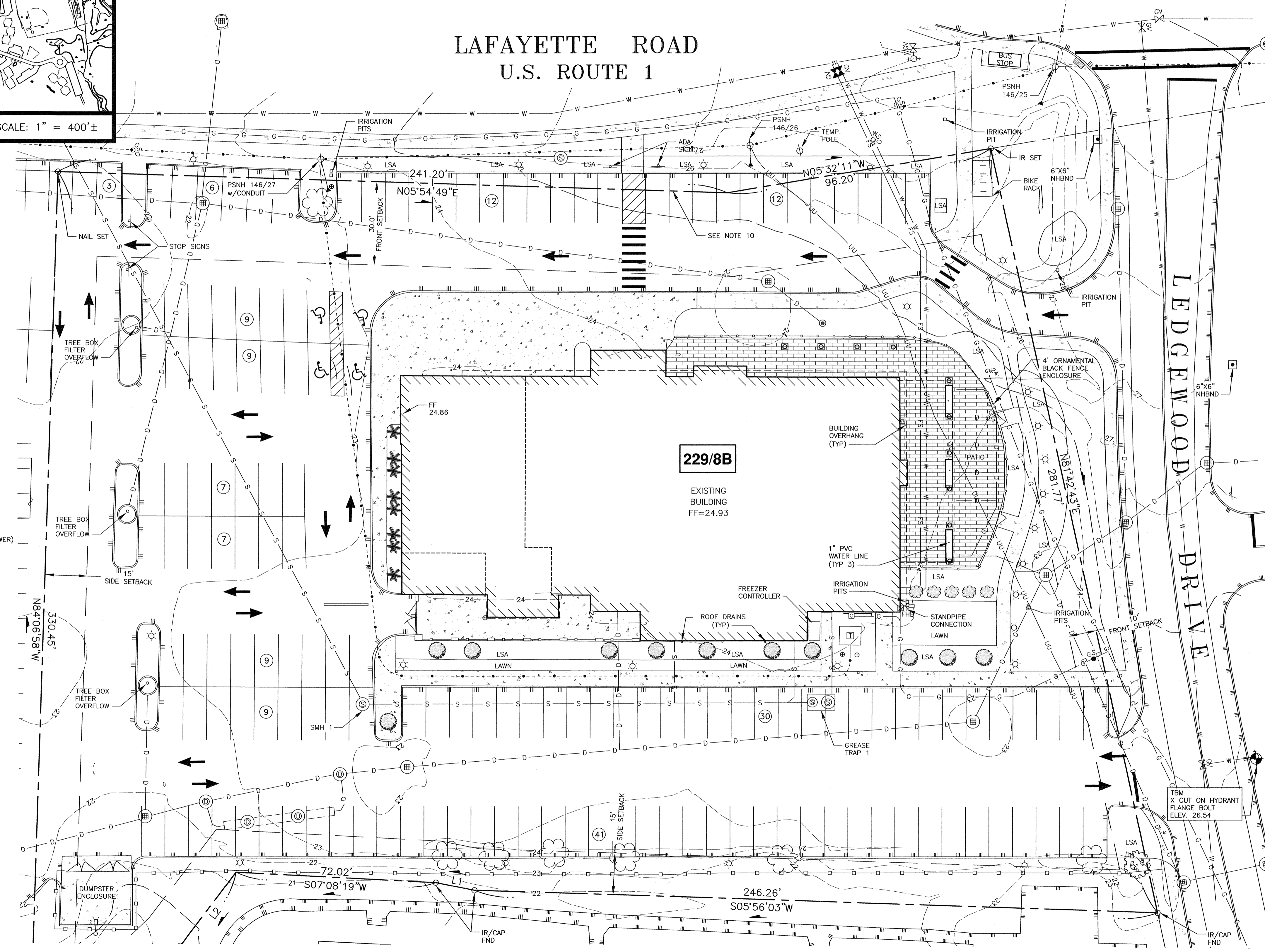
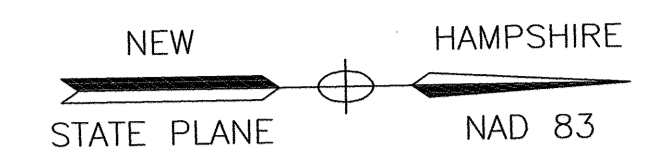
LOCATION MAP SCALE: 1" = 400'±

**LEGEND**

EXISTING	DESCRIPTION
124/21	MAP 124 / LOT 21
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTER OF DEEDS
	BOUNDARY LINE
	SETBACK LINE
RR SPK FND	RAILROAD SPIKE FOUND
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
DH FND	DRILL HOLE FOUND
BND w/ DH	BOUND w/ DRILL HOLE
FM	FORCE MAIN
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	POTABLE WATER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD WIRES
100	CONTOUR LINE
97x3	SPOT ELEVATION
	EDGE OF PAVEMENT
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY) (w/ LIGHT)
	LIGHT POLE
	SHUTOFF/CURB STOP (WATER, GAS, SEWER)
	GATE VALVE
	HYDRANT
CB	CATCH BASIN
TMH	TELEPHONE MANHOLE
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
FF	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL

**LENGTH TABLE**

LINE	BEARING	DISTANCE
L1	S15°17'27"W	14.20'
L2	S48°43'16"E	33.26'



**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

WWW.HALEYWARD.COM

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
  - 2) OWNERS OF RECORD:  
ATLAS COMMONS, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6474/1538
  - 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270F, EFFECTIVE JANUARY 29, 2021.
  - 4) EXISTING LOT AREA:  
98,124 S.F.  
2.2526 AC
  - 5) PARCEL IS LOCATED IN THE GATEWAY (GW) DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 43,560 S.F.  
FRONTAGE: 200 FT.  
DEPTH: 100 FT.  
SETBACKS :  
FRONT: 30 FT.  
SIDE: 30 FT.  
REAR: 50 FT.  
MAXIMUM STRUCTURE HEIGHT: 40 FT.  
MAXIMUM ROOF APPURTENANCE HEIGHT: 10 FT.  
MAXIMUM BUILDING COVERAGE: 30%  
MINIMUM OPEN SPACE: 20%
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 229 LOT 8B.
  - 8) EASEMENTS & RESTRICTIONS:  
A) ROAD/UTILITY EASEMENT AREA: SEE C-3316 AND RCRD 2110/428 AND 2184/184. THIS EASEMENT WAS PARTIALLY TERMINATED ON 11/9/15; SEE RCRD 5669/0645.  
B) 30' RIGHT OF WAY: SEE D-8806 AND 5446/2589.  
C) MUTUAL PARKING AND ACCESS RIGHTS FOR LOTS 1-3 ON PLAN D-8806 ARE OF RECORD. RCRD 2343/128 AND 5446/2588.
  - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 10) THE 2011 NHDOT LAFAYETTE ROAD PROJECT IDENTIFIED THIS ENCROACHMENT.

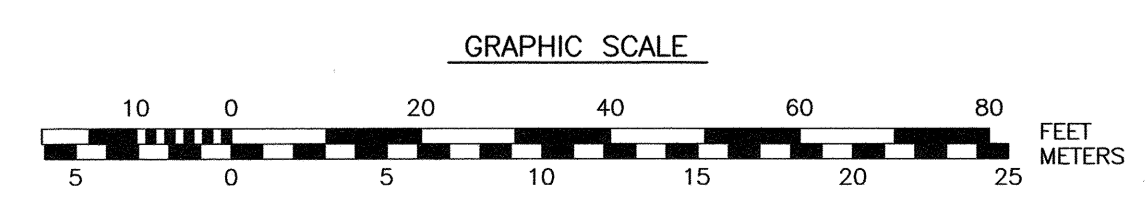
**COMMERCIAL DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	7/5/23

REVISIONS

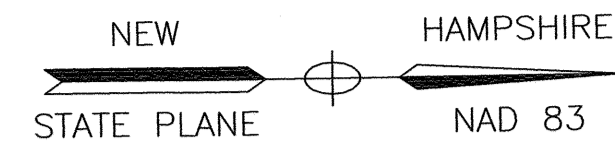
SCALE: 1"=20' JULY 2023

EXISTING CONDITIONS PLAN **C1**



**GENERAL NOTES:**

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION." (NHDES DECEMBER 2008).

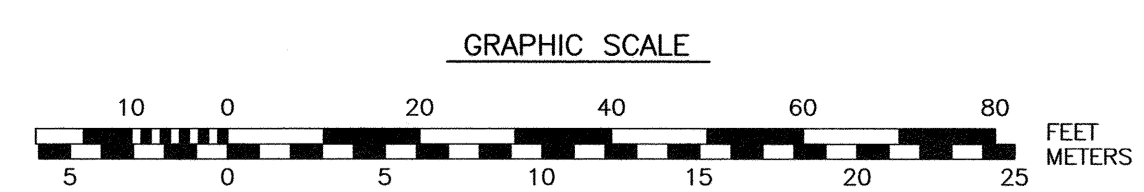
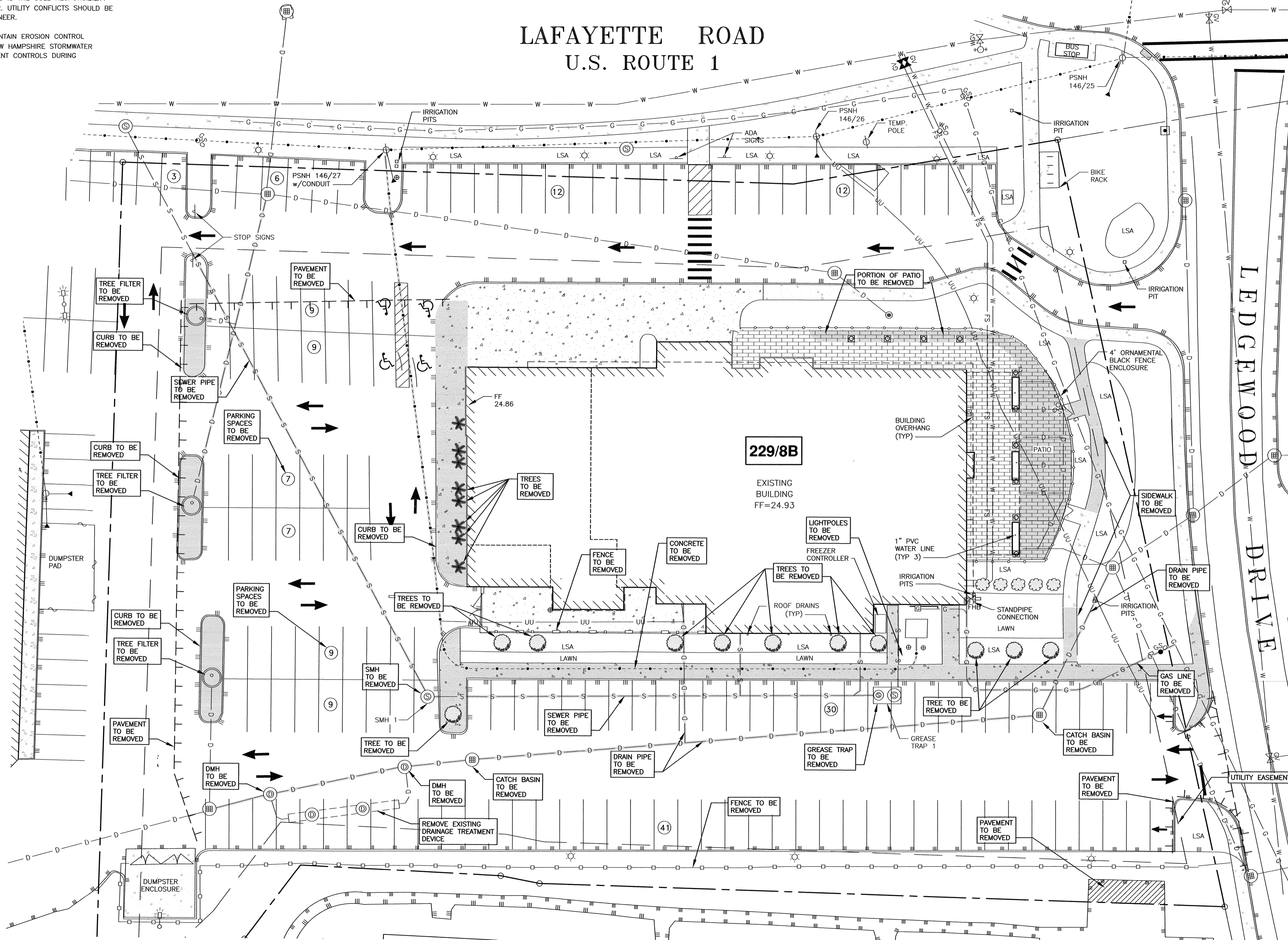


200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9262

WWW.HALEYWARD.COM

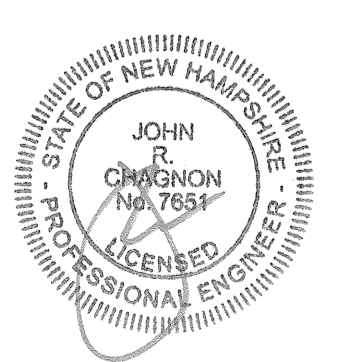
**DEMOLITION NOTES**

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



**COMMERCIAL DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

NO.		
1	ISSUED FOR APPROVAL	9/5/23
0	ISSUED FOR COMMENT	7/5/23
NO. DESCRIPTION DATE		
REVISIONS		



SCALE: 1"=20' JULY 2023

**DEMOLITION PLAN**  
**C2**

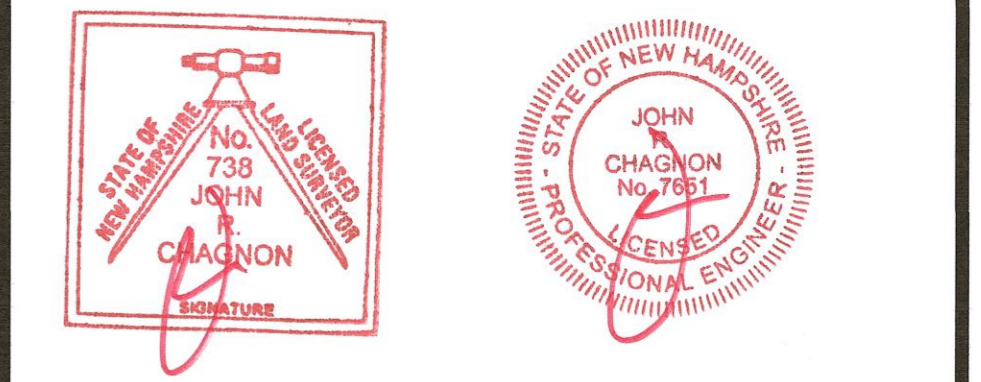
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 Portmouth Ploter Canon T80002d



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
  - 2) OWNERS OF RECORD:  
ATLAS COMMONS, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6474/1538
  - 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270E, EFFECTIVE MAY 17, 2005
  - 4) EXISTING LOT AREA:  
98,124 S.F.  
2.2526 AC
  - 5) PARCEL IS LOCATED IN THE GATEWAY NEIGHBORHOOD CORRIDOR (G1) DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
SEE ZONING ORDINANCE SECTION 10.5B22.10
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED BUILDING ADDITION ON TAX MAP 229 LOT 8B.
  - 8) DESIGN BASED ON ARCHITECTURAL PLAN BY ARCOVE ARCHITECTS DATED 8/22/23.
  - 9) CONVERSION OF TUSCAN MARKETPLACE TO RESTAURANT (NORTHEASTERN THAI, LLC) APPROVED UNDER PERMIT: LU-22-254

**COMMERCIAL DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	11/20/23
0	ISSUED FOR COMMENT	8/31/23



SCALE: 1"=20' JULY 2023

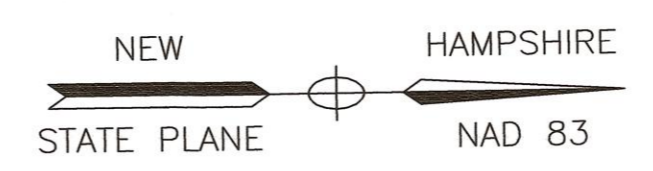
**SITE PLAN** **C3**

**ZONING TABLE**

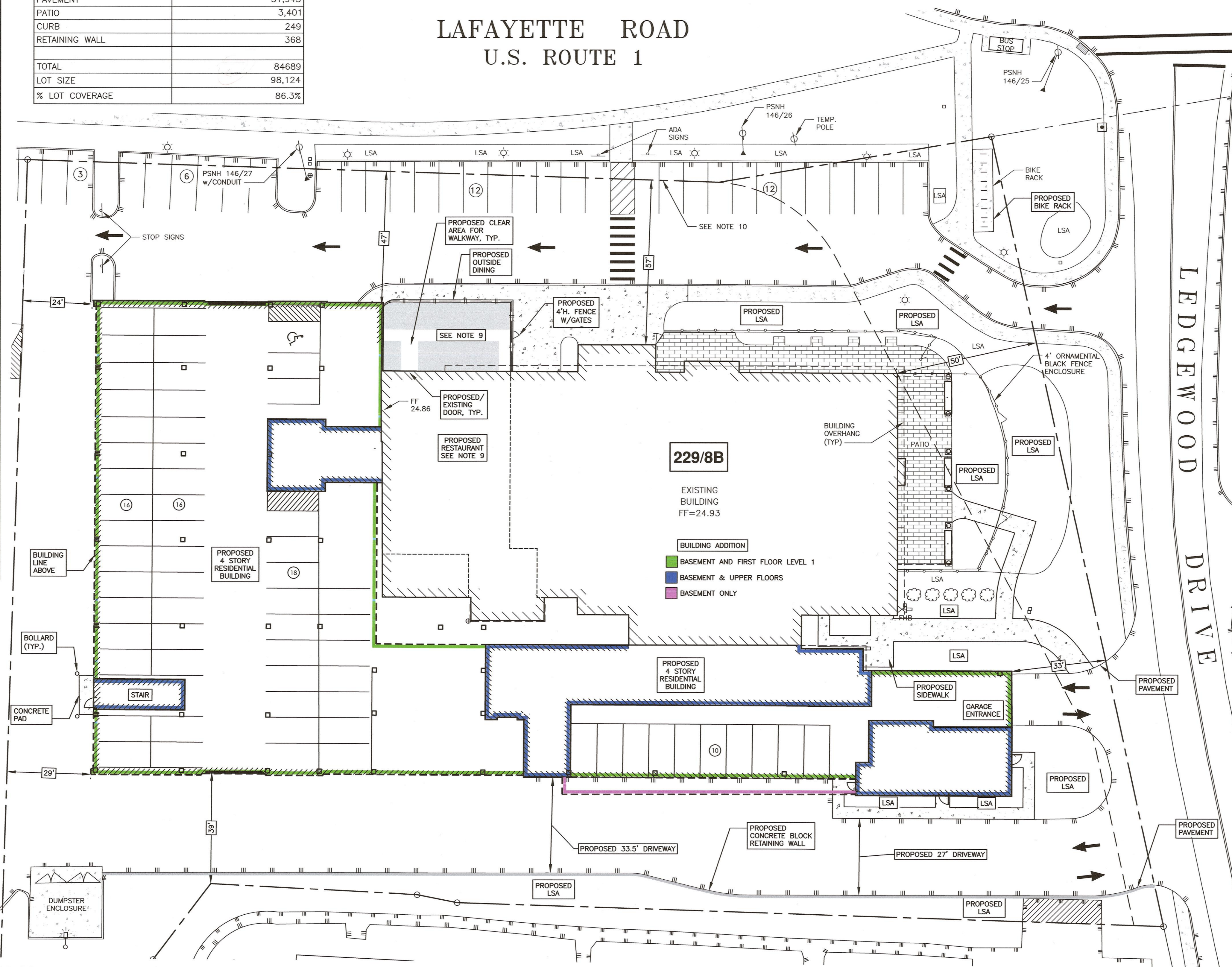
Zone	Allowed	Proposed
Height	G1 apartments: 5 stories or 60 ft. per Density Bonus 10.5B72.30: 4 stories or 50 ft. (+ density bonus 1 story or 10') 10.5B.22.20, at streets <60' row: 35' max <25' setback 45' max <50' setback 60' max >50' setback.	<35/3 stories at street fronts <45/4 stories beyond <60/5 stories at center
Penthouses	10' above allowed building height	<10'
Roof appurtenance	Roof decks, roof gardens, and related structures and appurtenances shall not be counted in the building height limits.	<10'
Facade Types	forecourt, recessed entry, doorway, steps, porch	recessed entry
Building Types	Dwelling units	Workforce Housing: 4 stories Podium parking at street level and one level below grade
Setbacks (ft) *	70'-00" from rd of Lafayette Rd Front (secondary) min 10' & max 30' from Lot Line at Ledgewood	setback is within public way 19'
Side	Minimum side setback: 15 ft. Where a development site includes a more than one building type, the minimum building setback to interior lot lines shall be 0 feet.	40'
Rear	N/A. Minimum rear setback 20 ft. (& 25 ROW easement)	24'
Front lot line buildout residential	50%	85%
Front lot line buildout commercial/mixed-use	75%	85%
Frontage, Lafayette	100 ft min	337.4'
Lot area (sf)	NR	NR
area per dwelling	Workforce Housing units for rent: min 10% or 2 units, min. 800 sf or average unit size (larger of two)	1,363'
Coverage, maximum	50%	83.5%
Footprint, max	NR for apartment buildings	NR
Offstreet parking	For developments located on public transit with year-round, 5-days-per-week, fixed-route service and where at least 50% of the building(s) are within 1/2 mile of a transit stop, the minimum offstreet parking shall be reduced by 20%.	See attached parking summary
ground floor area per use, max	NR	parking
Open space, minimum permitted uses (G1)	20% multifamily, restaurant	multifamily
building length, max (ft)	200	<200
façade modulation length, max (ft)	A) Symmetrical and vertically articulated bays >6' & <50' wide, minimum 3. B) Buildings greater than one hundred (100) feet in width shall read as a series of smaller buildings with varied architectural design and façade glazing patterns; or include a change in vertical plane of the façade of at least four (4) feet (in depth or projection) or at least one (1) bay in width for every one hundred (100) feet of total façade width. This change in plane applies to the entire height of the façade.	modulations < 100 ft
entrance spacing, max (ft)	NR	both entries are facing street fronts
floor height above sidewalk, max	36"	8"
ground floor height, min	NR	12'
second floor height, min	NR	11'
glazing, shopfront, min	NR	Streetfront Glazing at lobby entrances 100%. Sides & rear: podium parking at first floor, some open and some screening
glazing, other	NR	20%
roof types/pitch	NR	Flat & Sloped
Parking, off-street:	1 bicycle space for each 5 dwellings units or portion thereof. Off-site parking: Less than 500 sq. ft. 0.5 spaces per unit. 500-700 sq. ft. 1.0 space per unit. Over 750 sq. ft. 1.3 space per unit. 10.1112.312 In addition to the off-street parking spaces provided in accordance with Sec. 10.1112.311, any dwelling or group of dwelling on a lot containing more than 4 dwelling units shall provide one visitor parking space for every 5 dwelling units or portion thereof.	See attached parking summary
Units density	24 units per building, 36 units exception for workforce housing Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72&10.5B72	36 units per building * 2 buildings = 72 units

**IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)**

STRUCTURE	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	4,356.7
CONCRETE/SIDEWALK	5,159
PAVEMENT	31,945
PATIO	3,401
CURB	249
RETAINING WALL	368
<b>TOTAL</b>	<b>84,689</b>
LOT SIZE	98,124
<b>% LOT COVERAGE</b>	<b>86.3%</b>



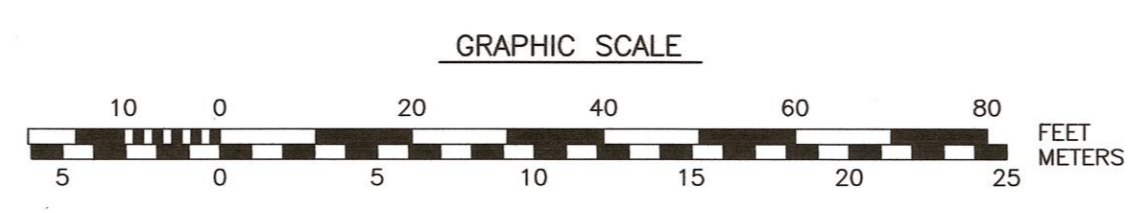
**LAFAYETTE ROAD**  
**U.S. ROUTE 1**



- PORTSMOUTH APPROVAL CONDITIONS**
- NOTES:**
- 1) ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.
  - 2) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
  - 3) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



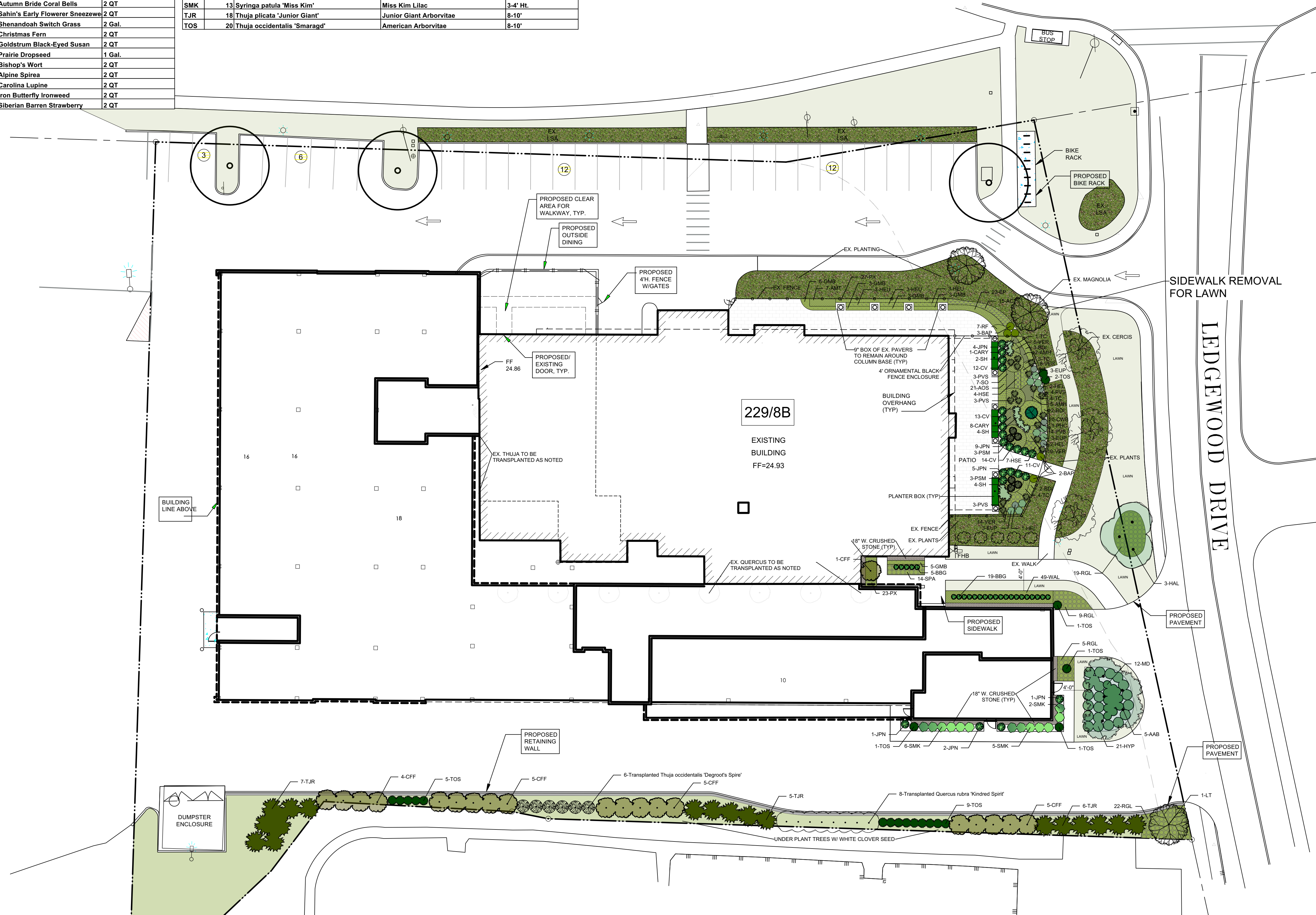
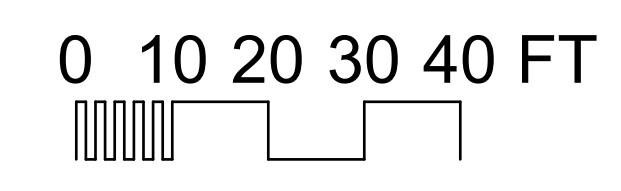
### Plant List - Perennials

ID	Qty	Botanical Name	Common Name	Scheduled Size
ACT	15	Actaea racemosa	Bugbane	1 Gal.
AMH	7	Amsonia hubrichtii	Arkansas Blue Star	1 Gal.
AMT	7	Amsonia tabernaemontana	Eastern Blue Star	1 Gal.
AOS	21	Aster oblongifolius 'October Skies'	Aromatic Aster	2 QT
BAP	5	Baptisia australis 'Screaming Yellow'	False Indigo	2 QT
CARY	9	Caryopteris clandonensis 'First Choice'	First Choice Bluebeard	2 QT
CV	50	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 QT
CWB	20	Chrysanthemum weyrichii 'White Bomb'	Dwarf Chrysanthemum	2 QT
EP	23	Epimedium x rubrum 'Sweetheart'	Barrenwort	1 QT
EUP	9	Eupatorium maculatum 'Gateway'	Joe Pye Weed	Plug
GMB	20	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
HEL	5	Helianthus salicifolius	Willowleaf Sunflower	2 QT
HEU	9	Heuchera villosa 'Autumn Bride'	Autumn Bride Coral Bells	2 QT
HSE	11	Helenium 'Sahin's Early Flowerer'	Sahin's Early Flowerer Sneezeweed	2 QT
PVS	17	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	2 Gal.
PX	50	Polystichum acrostichoides	Christmas Fern	2 QT
RF	7	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	2 QT
SH	10	Sporobolus heterolepis	Prairie Dropseed	1 Gal.
SO	7	Stachys officinalis	Bishop's Wort	2 QT
SPA	14	Spiraea japonica 'Alpina'	Alpine Spirea	2 QT
TC	12	Thermopsis caroliniana	Carolina Lupine	2 QT
VER	37	Vernonia lettermannii 'Iron Butterfly'	Iron Butterfly Ironweed	2 QT
WAL	49	Waldsteinia ternata	Siberian Barren Strawberry	2 QT

### Plant List - Trees and Shrubs

ID	Qty	Botanical Name	Common Name	Scheduled Size
AAB	5	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2 1/1" Cal.
BBG	24	Buxus microphylla 'Baby Gem'	Baby Gem Boxwood	4-4 1/2'
BDF	7	Buddleia 'Davidii'	Butterfly Bush	4-5'
CFF	20	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	1 1/2-2" Cal.
HAL	3	Halesia carolina 'Jersey Belle'	Jersey Belle Carolina Silverbelle	1 1/2" Cal.
HYP	21	Hypericum 'Hidcote'	St. Johnswort	5 Gal.
JPN	22	Juniperus procumbens 'Nana'	Dwarf Japanese Garden Juniper	3 Gal.
LT	1	Liriodendron tulipifera	Tulip Tree	2 1/2" Cal.
MD	12	Microbiota decussata	Russian Arborvitae	2 G
PHC	1	Pinus sylvestris 'Hillside Creeper'	Hillside Creeper Scotch Pine	3 Gal.
PSM	6	Pinus strobus 'Minuta'	Minuta White Pine	3'
RGL	55	Rhus aromatica 'Grow Low'	Grow Low Sumac	18"+ Ht.
SMK	13	Syringa patula 'Miss Kim'	Miss Kim Lilac	3-4' Ht.
TJR	18	Thuja plicata 'Junior Giant'	Junior Giant Arborvitae	8-10'
TOS	20	Thuja occidentalis 'Smaragd'	American Arborvitae	8-10'

# LAFAYETTE ROAD U.S. ROUTE 1

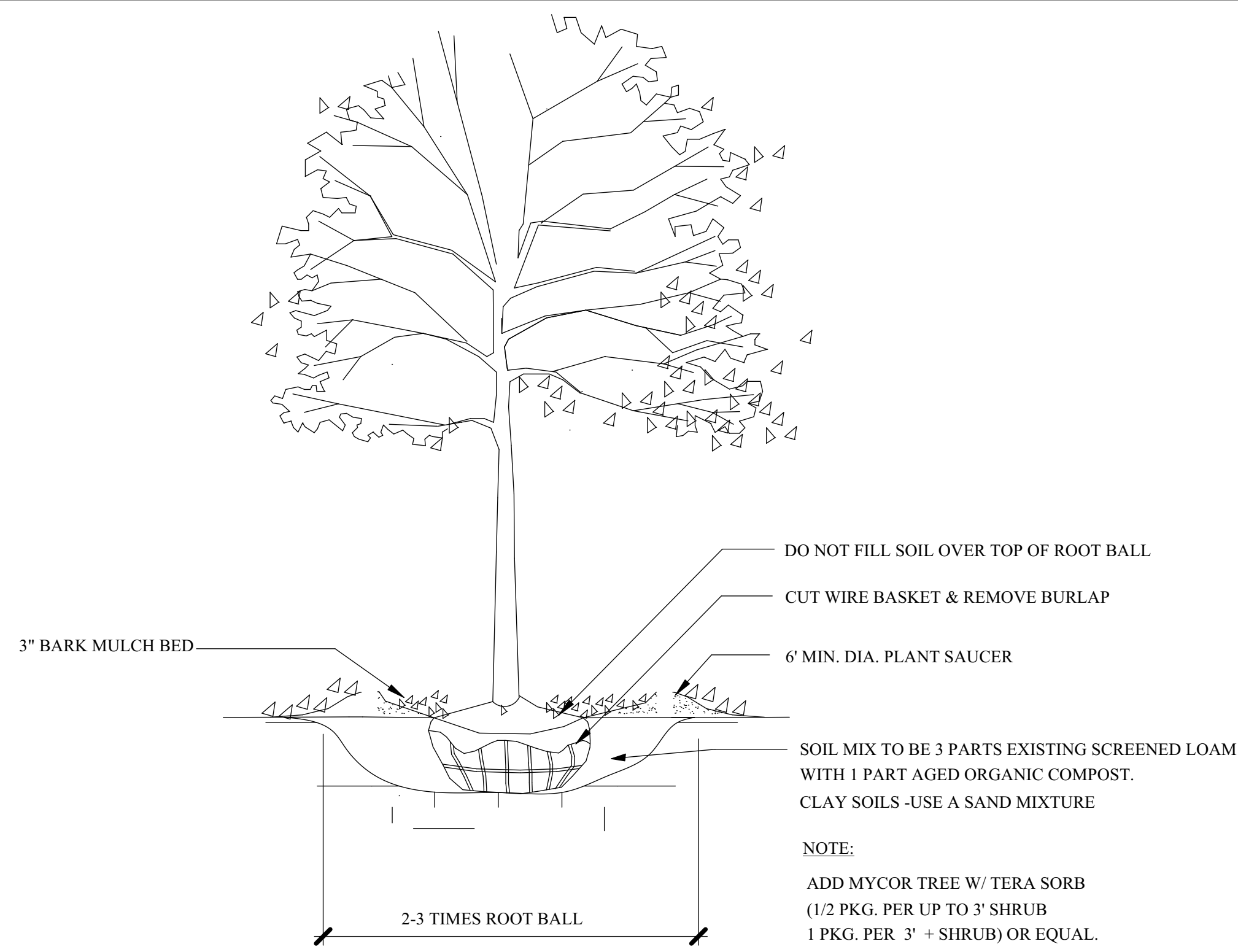
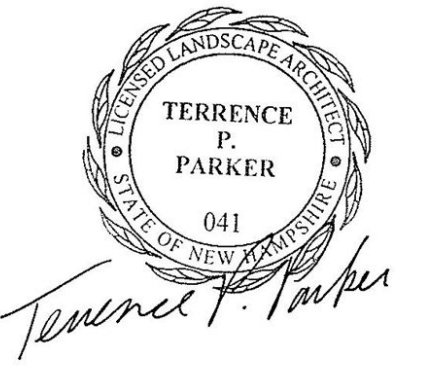


No.	Date	By	Revision Notes

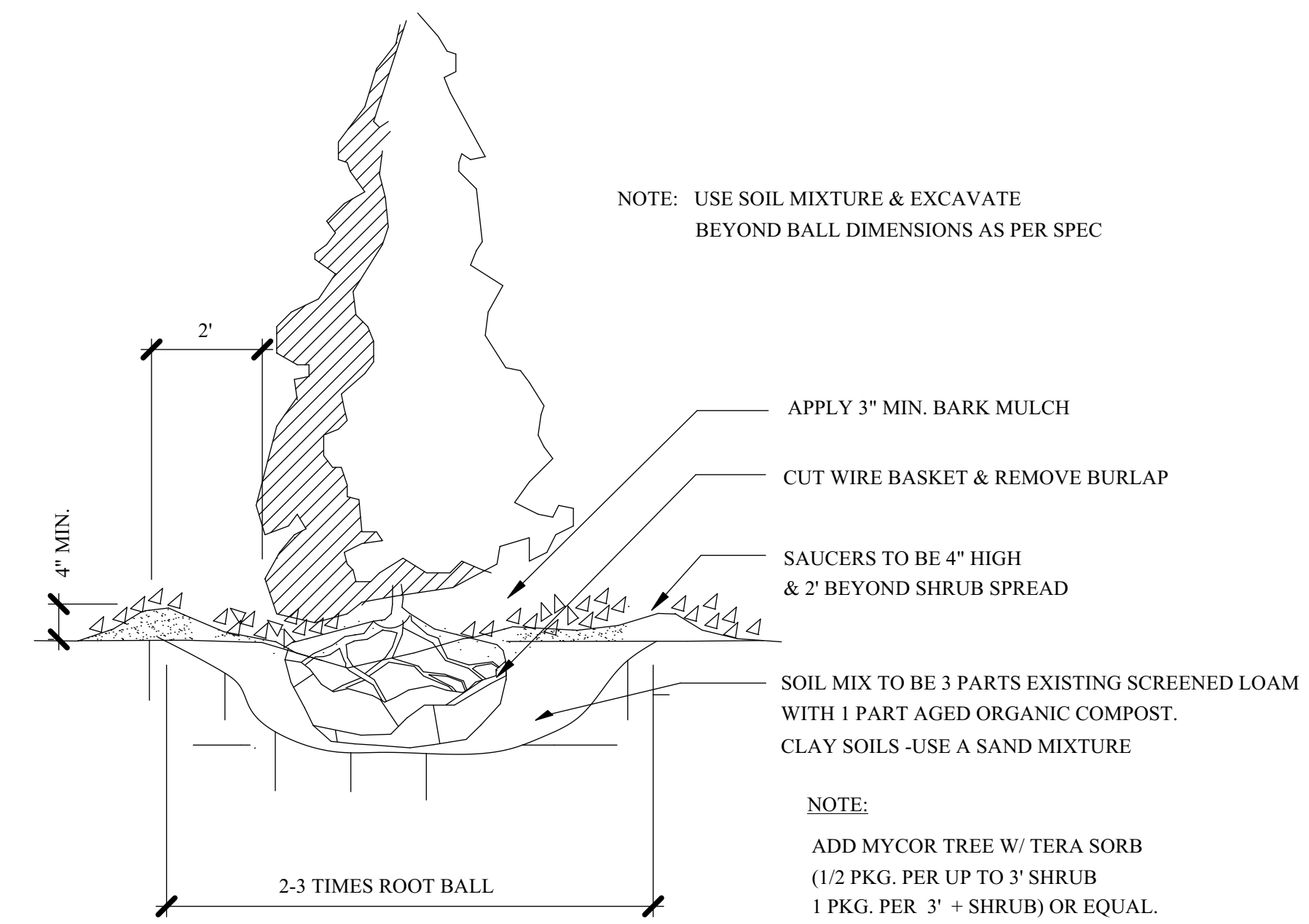
No.	Date	Issue Notes

Design Firm		terra firma landscape architecture
163.a Court Street Portsmouth, NH		
Consultant		
Project Title		581 LAFAYETTE
Sheet Title		Landscape Plan
Project Manager	Project ID	581 LAFAYETTE
Drawn By	Scale	1:240
Reviewed By	Sheet No.	L-1
Date		of 2
CAD File Name		1LAFAYETTE_v2024.vwx

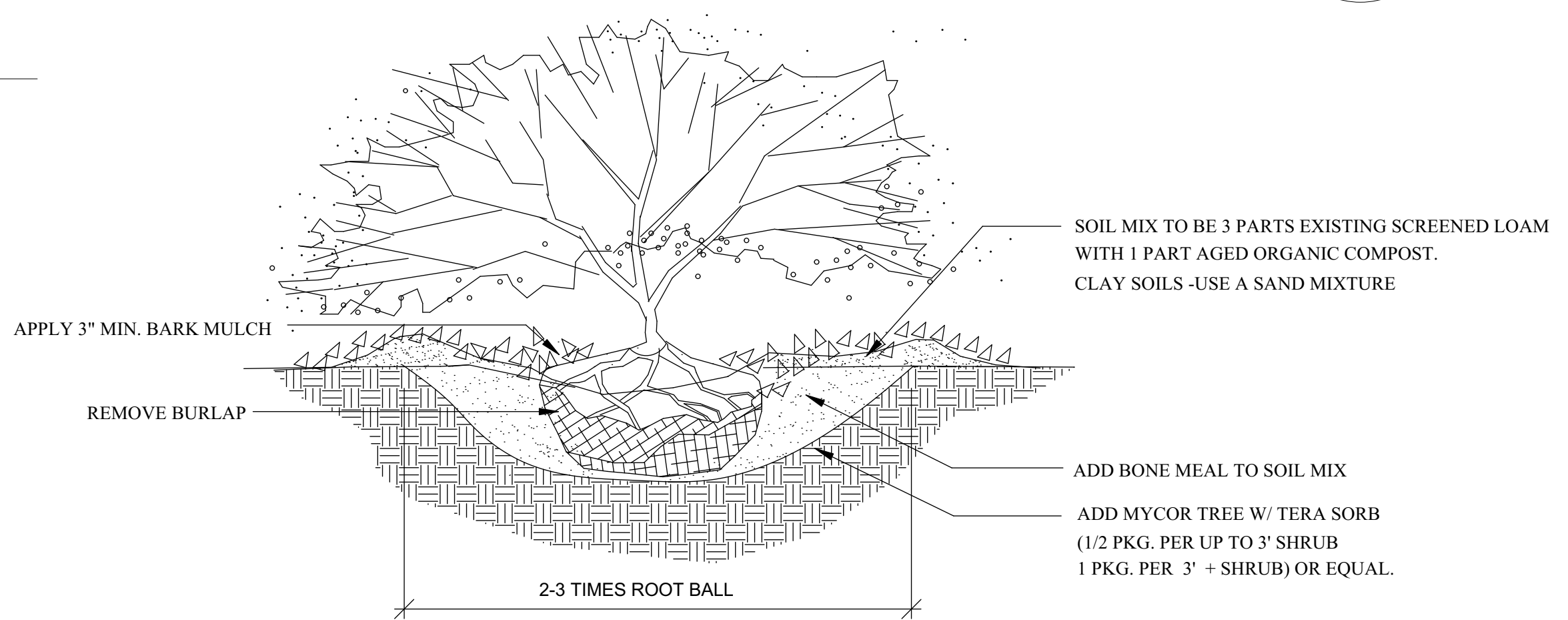
PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE. 581LAFAYETTE\_v2024.vwx



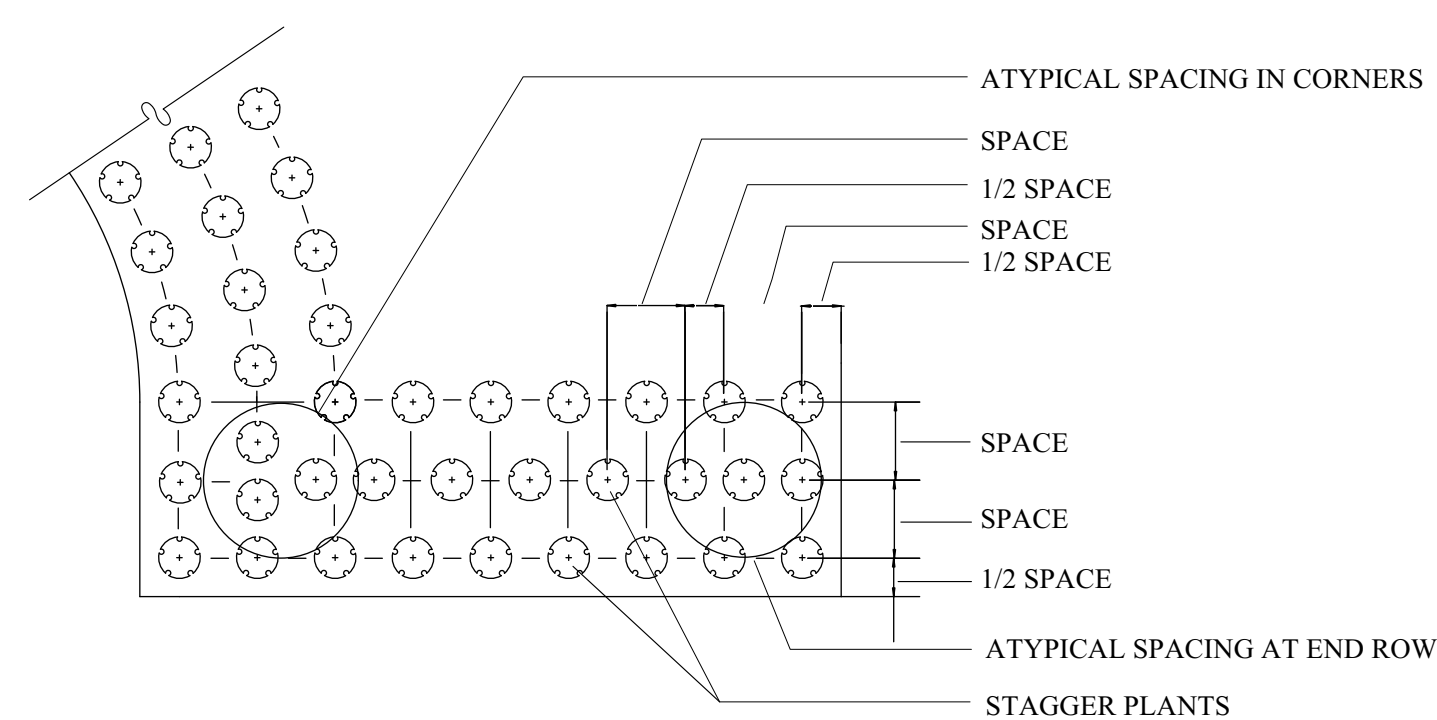
**1**  
L-2  
**TREE PLANTING - 2"+ CAL.**  
SCALE: NTS



**2**  
L-2  
**PYRAMIDAL EVERGREEN TREE PLANTING**  
SCALE: NTS

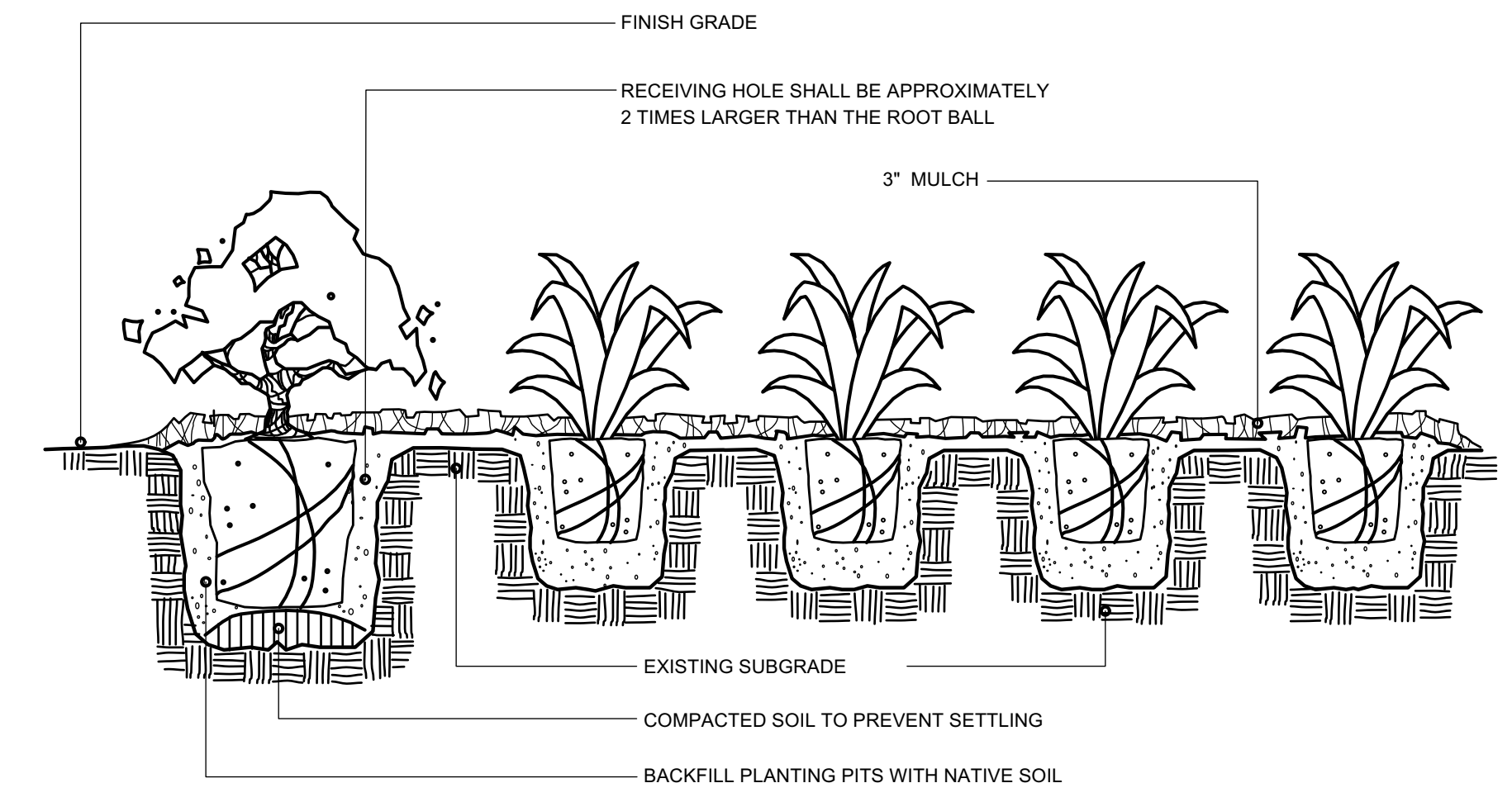


**3**  
L-2  
**B&B SHRUB PLANTING**  
SCALE: NTS



NOTES:  
1. PLACE PLANTS IN BED AS SHOWN, SPACING AS SPECIFIED IN PLANT SCHEDULE.  
2. GROUND COVER SHALL BE TRIANGULAR SPACED IN ROWS PARALLEL TO STRAIGHT EDGES AND SHALL BE EVENLY SPACED IN ROWS PARALLEL TO CURVE EDGES.

**4**  
L-2  
**GROUND COVER SPACING DETAIL**  
SCALE: NTS



NOTE: SHRUBS SHALL BE PLANTED A MINIMUM OF 1" & NO MORE THAN 2" ABOVE FINISH GRADE, DEPENDING UPON SITE CONDITIONS.

**5**  
L-2  
**SHRUB/GROUND COVER PLANTING DETAIL**  
SCALE: NTS

No.	Date	By	Revision Notes
No.	Date	Issue Notes	
Design Firm	terra firma landscape architecture 163.a Court Street Portsmouth, NH		
Consultant			
Project Title	581 LAFAYETTE		
Sheet Title	Landscape Plan		
Project Manager	Project ID	581 LAFAYETTE	
Drawn By	Scale	AS NOTED	
Reviewed By	Sheet No.	L-2	
Date		of	
11/20/2023		2	
CAD File Name	581LAFAYETTE_v2024.vwx		

REQUIRED PARKING:

581 Lafayette Road			
Unit/Parking Analysis			
November 8, 2023			

Level	Room No.	Area (sf)	spaces/unit
<b>1 bedroom units 500-900 sf</b>			
LEVEL 2	A201	2,412	1.30
LEVEL 2	A202	1,788	1.30
LEVEL 2	A203	458	0.50
LEVEL 2	A204	458	0.50
LEVEL 2	A205	458	0.50
LEVEL 2	A206	456	0.50
LEVEL 2	A207	385	0.50
LEVEL 2	A208	1,916	1.30
LEVEL 2	A209	633	1.00
LEVEL 2	A210	729	1.00
LEVEL 2	A211	730	1.00
LEVEL 2	B201	1,051	1.30
LEVEL 2	B202	740	1.30
LEVEL 2	B203	1,197	1.30
LEVEL 2	B204	1,345	1.30
LEVEL 2	B205	1,547	1.30
LEVEL 2	B206	632	1.00
LEVEL 2	B207	571	1.00
LEVEL 3	A301	1,679	1.30
LEVEL 3	A302	1,786	1.30
LEVEL 3	A303	698	1.00
LEVEL 3	A304	1,913	1.30
LEVEL 3	A305	1,783	1.30
LEVEL 3	A306	633	1.00
LEVEL 3	A307	618	1.00
LEVEL 3	A308	729	1.00
LEVEL 3	A309	750	1.00
LEVEL 3	B301	713	1.00
LEVEL 3	B302	845	1.30
LEVEL 3	B303	629	1.00
LEVEL 3	B304	440	0.50
LEVEL 3	B305	703	1.00
LEVEL 3	B306	414	0.50
LEVEL 3	B307	416	0.50
LEVEL 3	B308	660	1.00
LEVEL 3	B309	472	0.50
LEVEL 3	B310	652	1.00
LEVEL 3	B311	551	1.00
LEVEL 4	A401	1,451	1.30
LEVEL 4	A402	1,558	1.30
LEVEL 4	A403	708	1.00
LEVEL 4	A404	2,550	1.30
LEVEL 4	A405	1,942	1.30
LEVEL 4	A406	655	1.00
LEVEL 4	A407	750	1.00
LEVEL 4	A408	742	1.00
LEVEL 4	B401	715	1.00
LEVEL 4	B402	846	1.30
LEVEL 4	B403	627	1.00
LEVEL 4	B404	407	1.00
LEVEL 4	B405	703	1.00
LEVEL 4	B406	433	0.50
LEVEL 4	B407	437	0.50
LEVEL 4	B408	544	1.00
LEVEL 4	B409	546	1.00
LEVEL 4	B410	579	1.00
LEVEL 4	B411	496	0.50
LEVEL 5	A502	760	1.30
LEVEL 5	A503	485	0.50
LEVEL 5	A504	644	1.00
LEVEL 5	A505	641	1.00
LEVEL 5	A506	1,352	1.30
LEVEL 5	A507	736	1.00
LEVEL 5	A508	1,938	1.30
LEVEL 5	A509	522	1.00
LEVEL 5	B501	1,096	1.30
LEVEL 5	B502	627	1.00
LEVEL 5	B503	423	0.50
LEVEL 5	B504	703	1.00
LEVEL 5	B505	467	0.50
LEVEL 5	B506	469	0.50
LEVEL 5	B507	475	0.50
<b>Total Units</b>		<b>Parking Req.</b>	
<b>Total Units:</b>	<b>72</b>	<b>69.80</b>	
Visitor Parking - 1 space per every 5 dwellings		13.96	
Bicycle parking deduction - 1 space for 6 bikes max 5% =	3.49	(3.49)	
<b>TOTAL residential automobile parking</b>		<b>80.27</b>	

Car Parking Spaces Required per Unit Size	
0-500	0.5
500-750	1
750-1900	1.3

Bicycle Parking Required			
use	spaces required per use	total required	
multifamily	1 bicycle for every 5 dwelling units	15	
restaurant/rec	1 bicycle for each 10 car parking spaces	12	
<b>TOTAL</b>		<b>27</b>	

Apartment Parking Required		with gateway
subtotal parking spaces required		deduct -20%
Gateway deduct -20%		80.3
<b>Apartment Parking Required</b>		<b>64.2</b>

Restaurant/Recreation Parking Required		spaces/gfa	gfa or occ	spaces	subtotal w/20% gateway deduct
restaurant	1/100	13,982.00		139.82	111.9
mezzanine office	1/350	1,060.00		3.0	2.4
recreation (golf)	1per 4 occ.	20.00		5.0	4.0
subtotal				147.8	
Gateway deduct -20%				-29.6	
<b>Total restaurant/recreation parking required</b>				<b>118.3</b>	

**total parking required all uses** **182.5**

Shared Parking 10.1112.60

Land Use	Weekday			Weekend			Nighttime			Maximum
	daytime (8am-5pm)	spaces required	evening (6-12pm)	spaces required	daytime (8am-5pm)	spaces required	evening (6-midnight)	spaces required	midnight-6am)	
Apartment	60%	38.5	100%	64.2	80%	51.4	100%	64.2	100%	64.2
restaurant	70%	78.3	100%	111.9	80%	89.5	100%	111.9	10%	11.2
Office	100%	2.4	20%	0.5	10%	0.2	5%	0.1	5%	0.1
entertainment (golf)	40%	1.6	100%	4.0	80%	3.2	100%	4.0	10%	0.4
<b>Total Required</b>		<b>120.9</b>		<b>180.56</b>		<b>144.3</b>		<b>180.2</b>		<b>75.9</b>

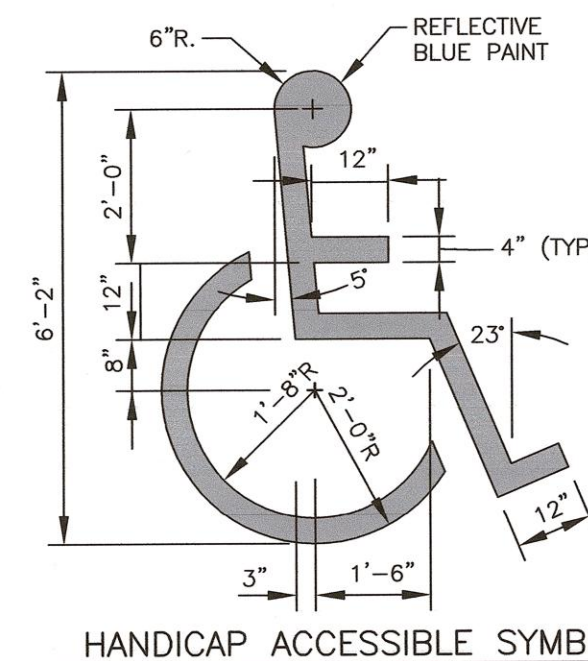
<b>Total Parking Proposed</b>										
In-building, level 1 + basement										136
Open air, on site										33
Off-site parking per deed/easement										12
<b>Total parking proposed</b>										<b>181</b>
Excess (Deficit)										0
Existing total available today										154
Proposed Net Increase (reduction) in parking										27

4.10	Religious, sectarian or private non-profit recreational use	Parking demand analysis
4.20	Classroom or similar indoor recreational use with no live performance	0.4 per seat or Parking demand analysis
4.30	Indoor recreation use, such as racquetball, table tennis, etc.	1 per 4 persons maximum
4.40	Health club, yoga studio, martial arts school or similar use	1 per 250 of GFA
4.50	Outdoor recreation use	Parking demand analysis
4.60	Amusement park, water park or theme park	NA - Published Use

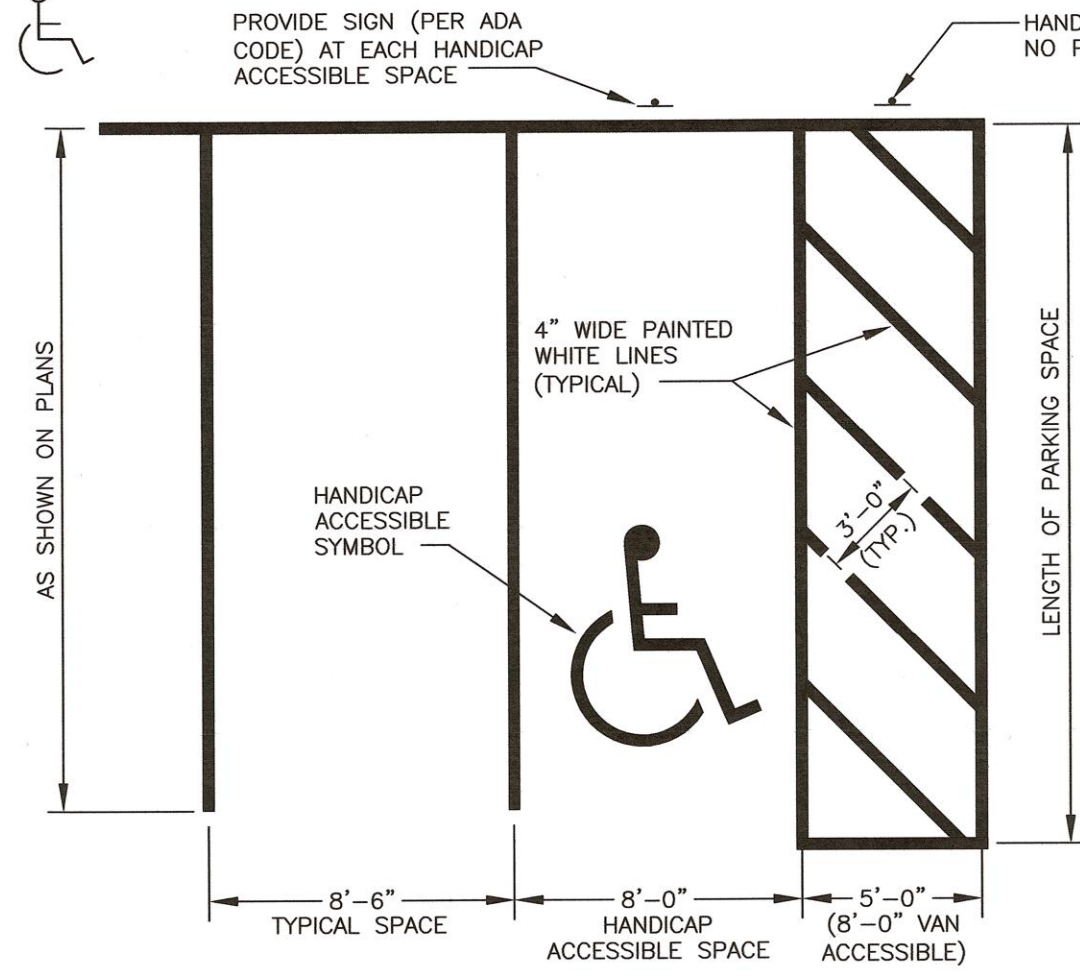


R7-8a  
12" x 18"  
SIGN ON POST  
EACH SPACE SHALL HAVE THIS SIGN DISPLAYED PER ADA CODE  
**SIGNAGE**

LEGEND SYMBOL

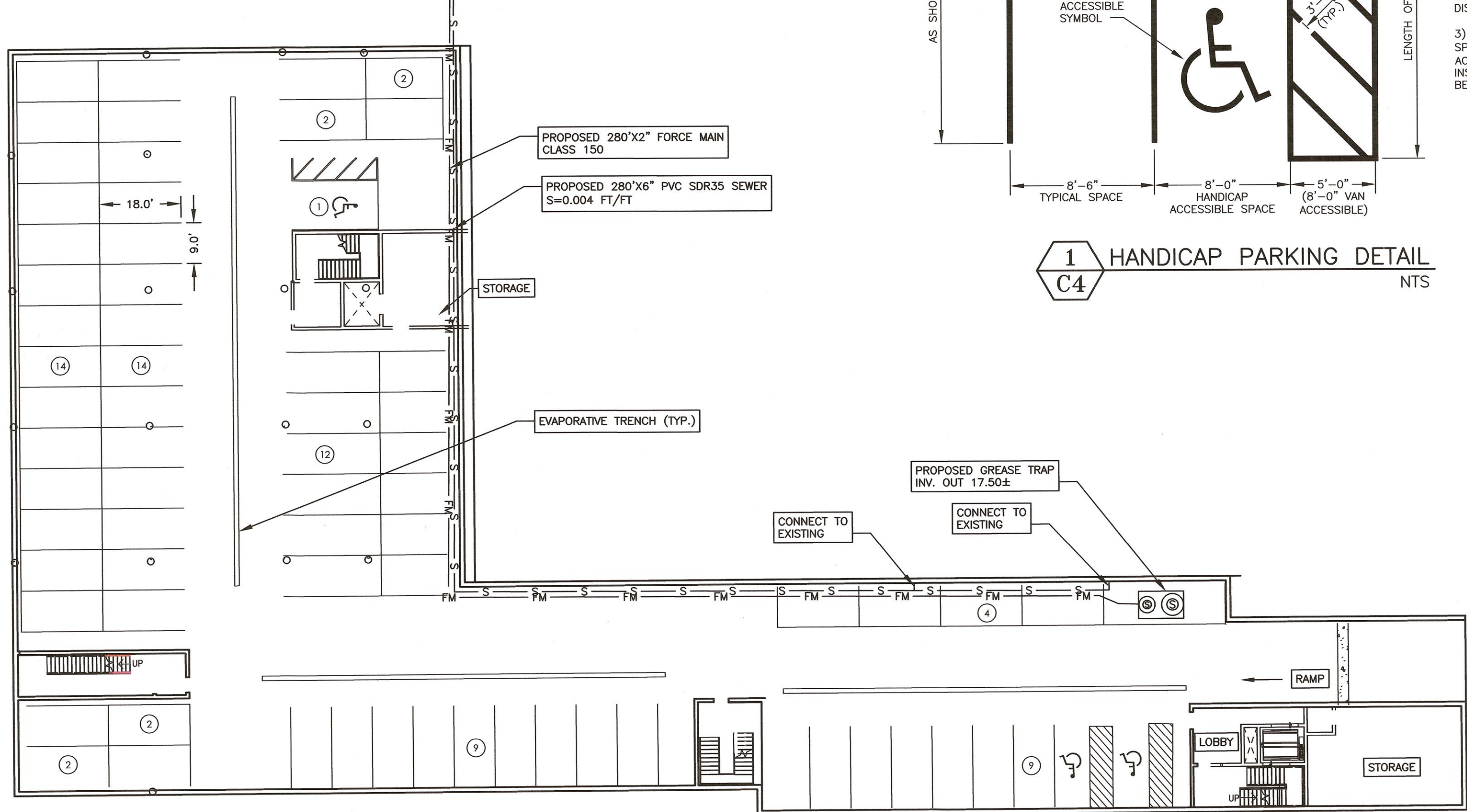


K-4438  
12" x 18"  
SIGN ON POST  
**SIGNAGE**

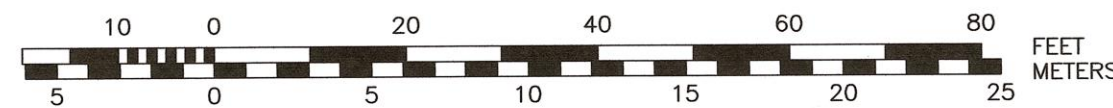


**1 C4 HANDICAP PARKING DETAIL**

- NOTES:**
- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
  - 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
  - 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.



GRAPHIC SCALE



**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
- 2) OWNERS OF RECORD:  
ATLAS COMMONS, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
6474/1538
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBSURFACE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 229 LOT 8B IN THE CITY OF PORTSMOUTH.
- 4) REQUIRED PARKING: (SEE TABLE)

**COMMERCIAL DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	11/20/23
0	ISSUED FOR COMMENT	7/5/23

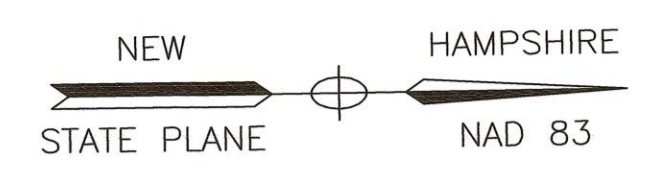
REVISIONS

SCALE: 1"=20' JULY 2023

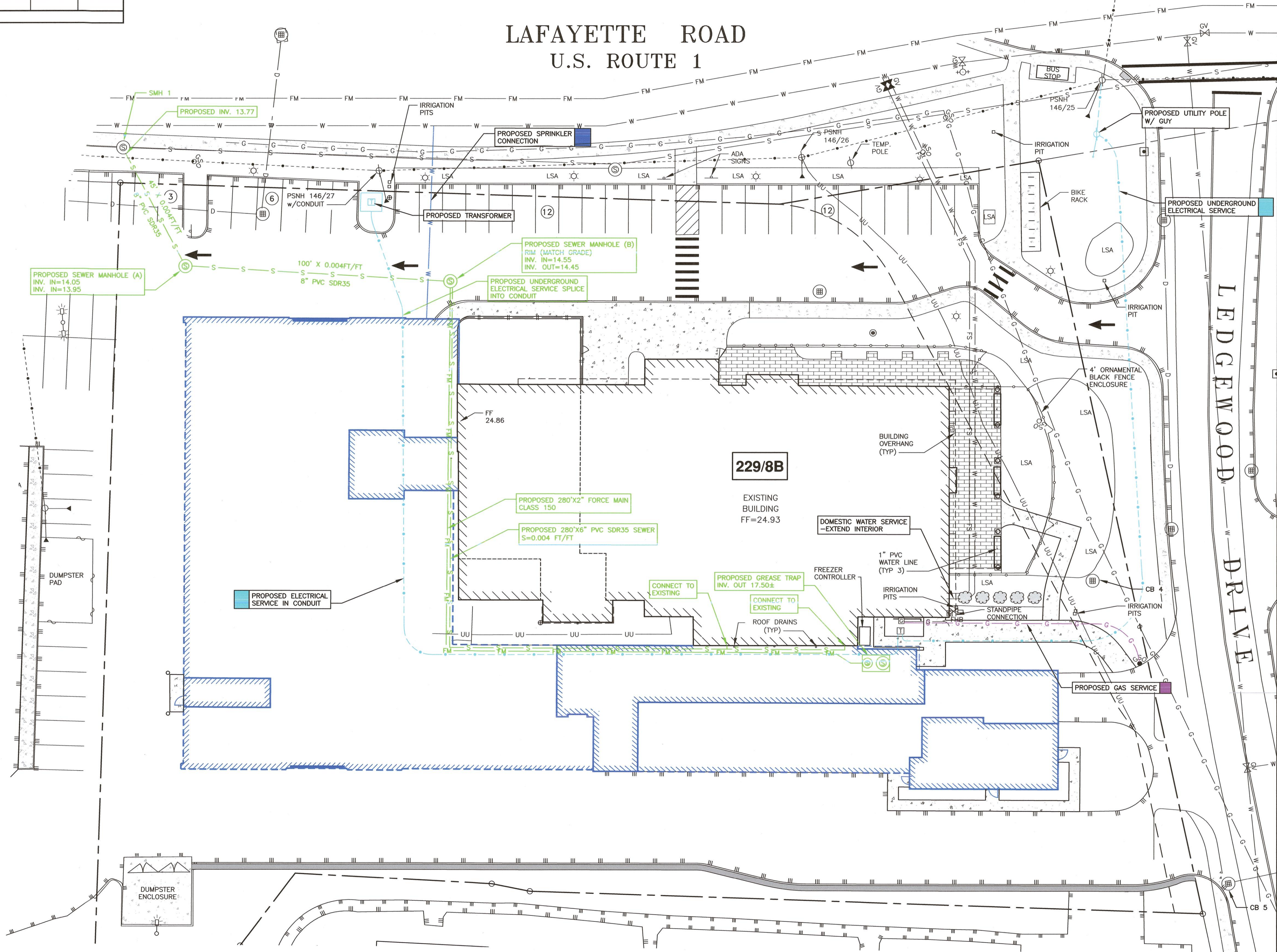
**LOWER LEVEL PARKING PLAN**

**C4**

EXISTING SEWER STRUCTURE SCHEDULE					
STRUCTURE	PROP/EX	RIM	PIPE SIZE	INVERT	DIRECTION
SMH 1	EX	22.56	8" CI	13.26	IN
GREASE TRAP 1	EX	23.63		17.58	OUT
GREASE TRAP 1	EX	23.63		17.23	OUT



## LAFAYETTE ROAD U.S. ROUTE 1



- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

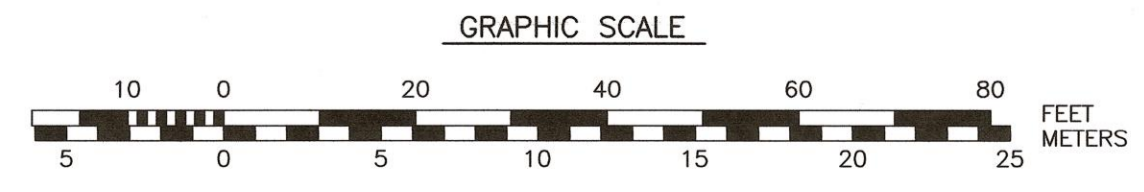
**COMMERCIAL DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	11/20/23
0	ISSUED FOR COMMENT	5/8/23

REVISIONS

SCALE: 1"=20' FEBRUARY 2023

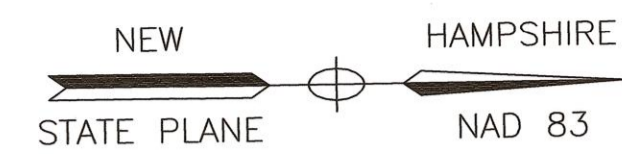
UTILITY PLAN **C5**



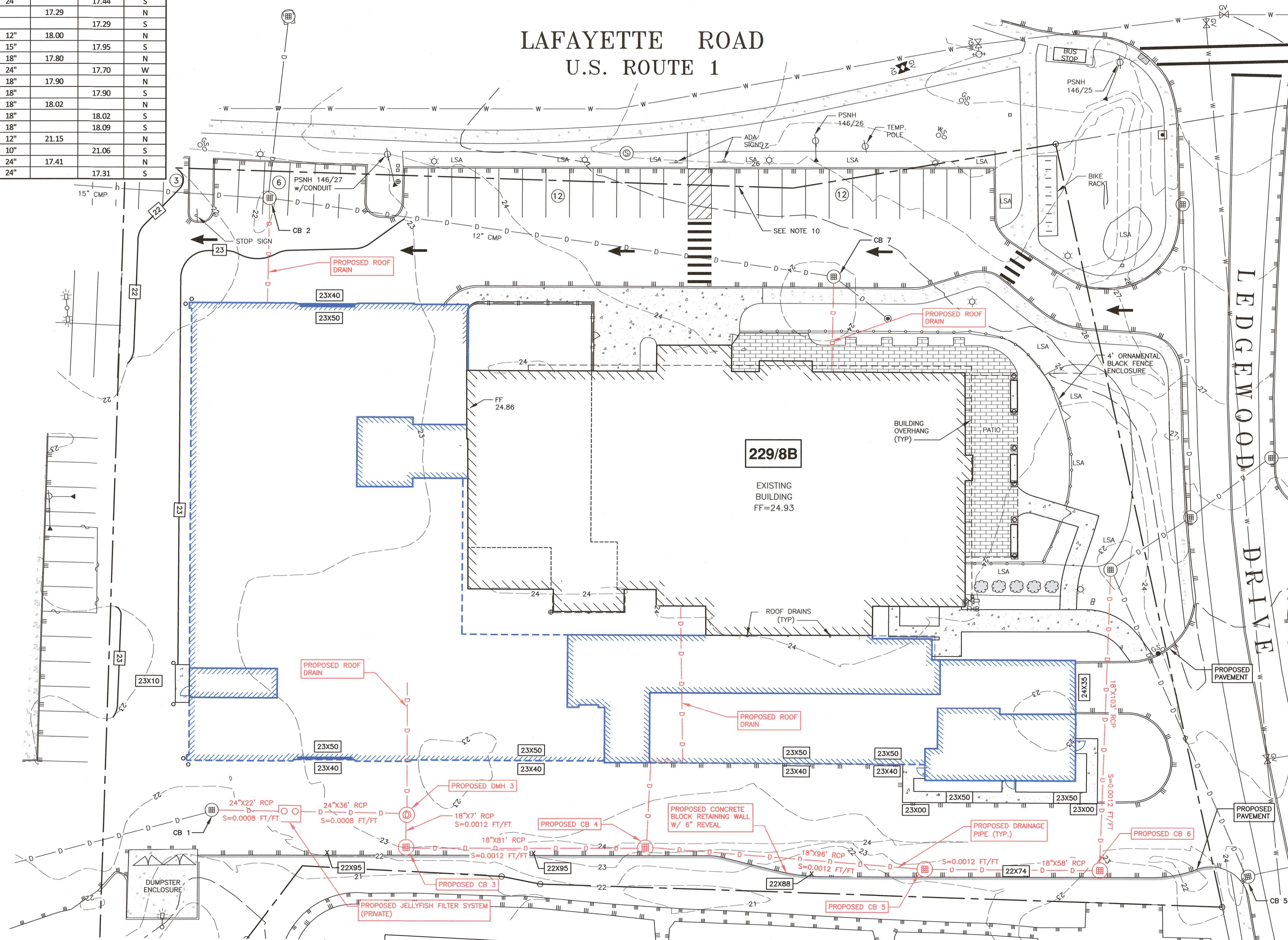
P:\NH\010156\MC\Abbi\Projects\1397\03-Lafayette Rd., Portsmouth-HC\2023 Site Plan 1397\03\Plan & Specs\Sheet\Final\_Sheet\1397\_03\_UTILITY\_2023.dwg, Men No. 20155450, 2023.  
 Portsmouth River Commission T35001.psd

**DRAINAGE STRUCTURE SCHEDULE**

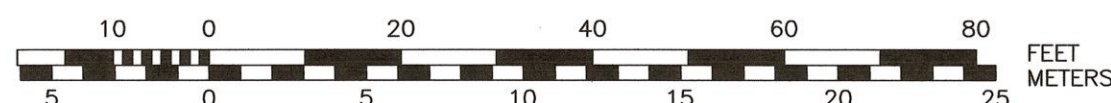
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT	DIRECTION
DMH 1	EX	22.3	15"	17.60	17.40	W
DMH 2	EX	22.3	15"	17.40	17.40	W
DMH 3	PROP		24"	17.69	17.44	E
CB 1	EX	21.46		17.29	17.29	N
CB 2	EX	22.00	12"	18.00	17.95	S
CB 3	PROP	22.80	18"	17.80	17.70	N
CB 4	PROP	22.45	18"	17.90	17.90	N
CB 5	PROP	22.60	18"	18.02	18.02	N
CB 6	PROP	22.65	18"	18.09	18.09	S
CB 7	EX	24.16	12"	21.15	21.06	S
JELLYFISH FILTER	PROP	23.05	24"	17.41	17.31	S



**LAFAYETTE ROAD  
U.S. ROUTE 1**



GRAPHIC SCALE



**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**COMMERCIAL  
DEVELOPMENT  
581 LAFAYETTE ROAD  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	11/20/23
0	ISSUED FOR COMMENT	2/7/23



SCALE: 1"=20' JULY 2023

**GRADING DRAINAGE  
EROSION CONTROL PLAN**

**C6**

P:\NH\015156\Projects\1397.04 Lafayette Rd., Portsmouth, NH\015156\Drawings\1397.04\_GD&EC\_2023.dwg, Mon Nov 20 13:45:17 2023.  
 Plotted by: John R. Chagnon, 11/20/23







# EROSION CONTROL NOTES

## CONSTRUCTION SEQUENCE

- DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- THE CONTRACTOR SHALL OBTAIN AN NPDES PHASE II STORMWATER PERMIT BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.
- INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AROUND THE LIMITS OF DISTURBANCE AND CATCH BASIN BASKETS AS NEEDED BEFORE ANY EARTH MOVING OPERATIONS.
- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
- CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.
- DEMOLISH EXISTING WALKWAYS, PAVEMENT, AND UTILITIES AS INDICATED ON THE PLANS.
- REPLANT TREES OR MOVE TO STABLE LOCATION.
- BEGIN CONSTRUCTION OF ADDITIONS.
- LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.
- FINISH GRADE SITE, BACKFILL ROAD SUBBASE GRAVEL IN TWO, COMPACTED LIFTS. PROVIDE TEMPORARY EROSION PROTECTION IN THE FORM OF MULCHING, JUTE MESH OR DITCH DAMS.
- INSTALL RETAINING WALL.
- INSTALL DRAINAGE SYSTEM.
- PLACE BINDER LAYER OF PAVEMENT, THEN RAISE CATCH BASIN FRAMES TO FINAL GRADE. REINSTALL BASIN INLET PROTECTION.
- PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.
- AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.
- CONSTRUCT ASPHALT WEARING COURSE.
- REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

## GENERAL CONSTRUCTION NOTES

- THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE", THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.
- ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.
- DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
- SILT FENCES AND SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.
- AVOID THE USE OF FUTURE OPEN SPACES ( LOAM AND SEED AREAS ) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.
- ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS—CONSTRUCT SILT FENCE OR SILT/SOXX AROUND TOPSOIL STOCKPILE.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.
- ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.
- ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.
- FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.
- FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.
- DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.
- THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.
- ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
  - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
  - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

## VEGETATIVE PRACTICE

### FOR PERMANENT MEASURES AND PLANTINGS:

- LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.
- FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
- SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING,

THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREeping RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	
SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)		
CREeping RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFLOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

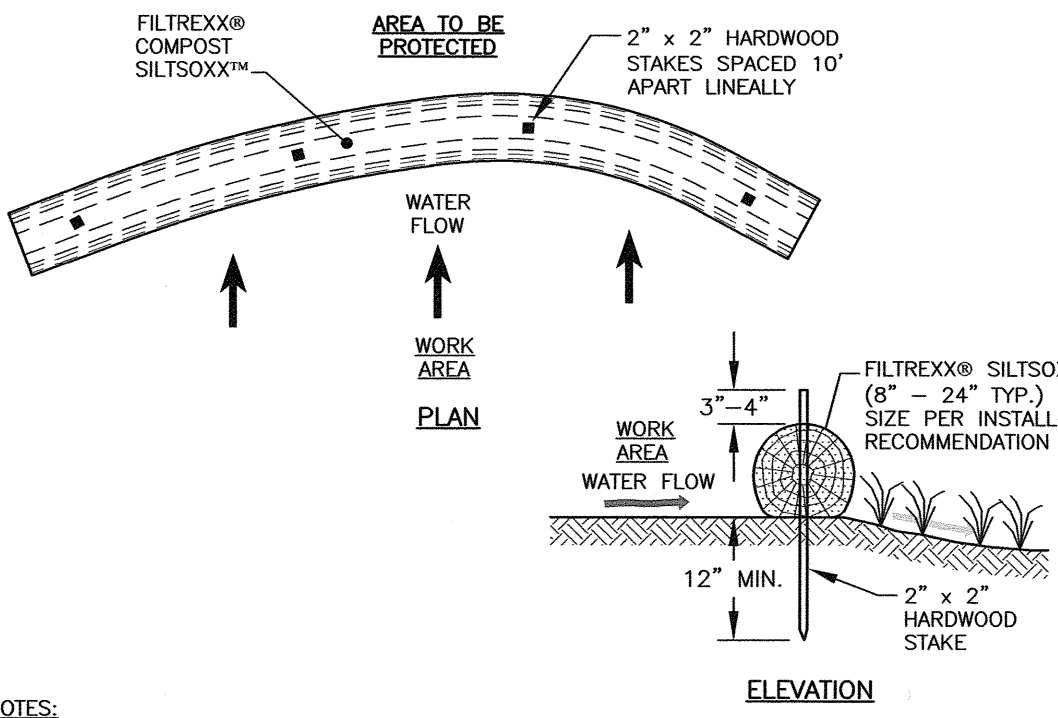
FOR TEMPORARY PROTECTION OF DISTURBED AREAS:  
 MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:  
 PERENNIAL RYE: 0.7 LBS/1,000 S.F.  
 MULCH: 1.5 TONS/ACRE

## MAINTENANCE AND PROTECTION

- THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THAN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.
- TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.
- SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
- THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
- THE SILT FENCE OR SILT/SOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- SILT FENCING AND SILT/SOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILT/SOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

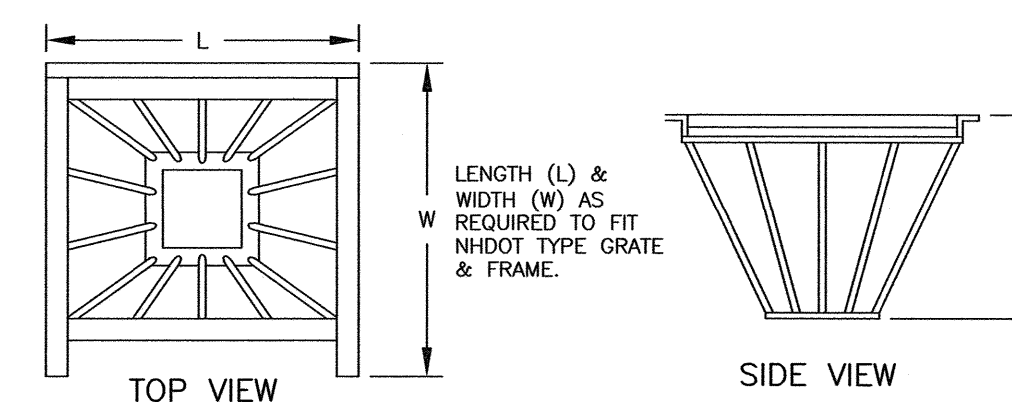
## WINTER NOTES

- ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



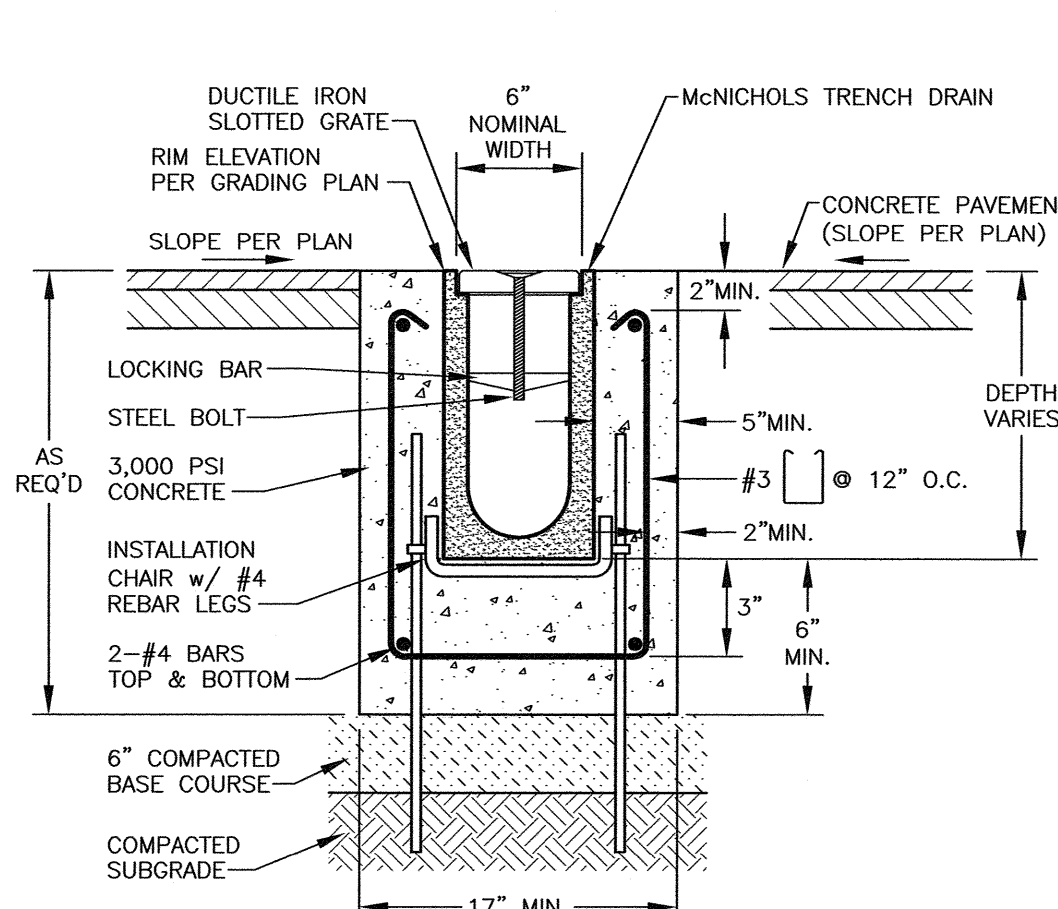
- NOTES:
- ALL MATERIAL TO MEET FILTRIXX SPECIFICATIONS.
  - FILTRIXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTRIXX INSTALLER.
  - THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
  - SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
  - THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

## A FILTRIXX® SILT/SOXX™ FILTRATION SYSTEM NTS

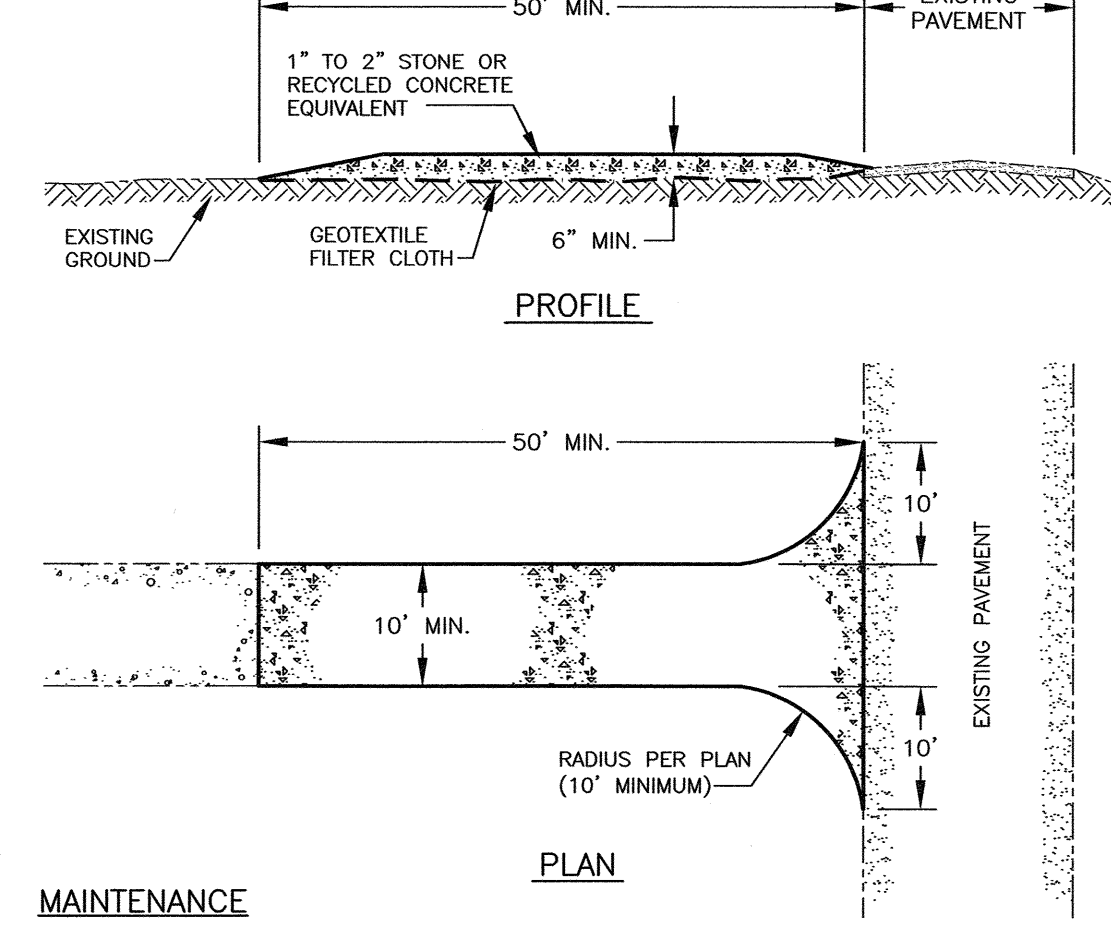


- INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC, POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
  - RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
  - MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)
- THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITTIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

## B CATCH BASIN INLET BASKET NTS



## D EVAPORATIVE TRENCH DRAIN DETAIL NTS SECTION



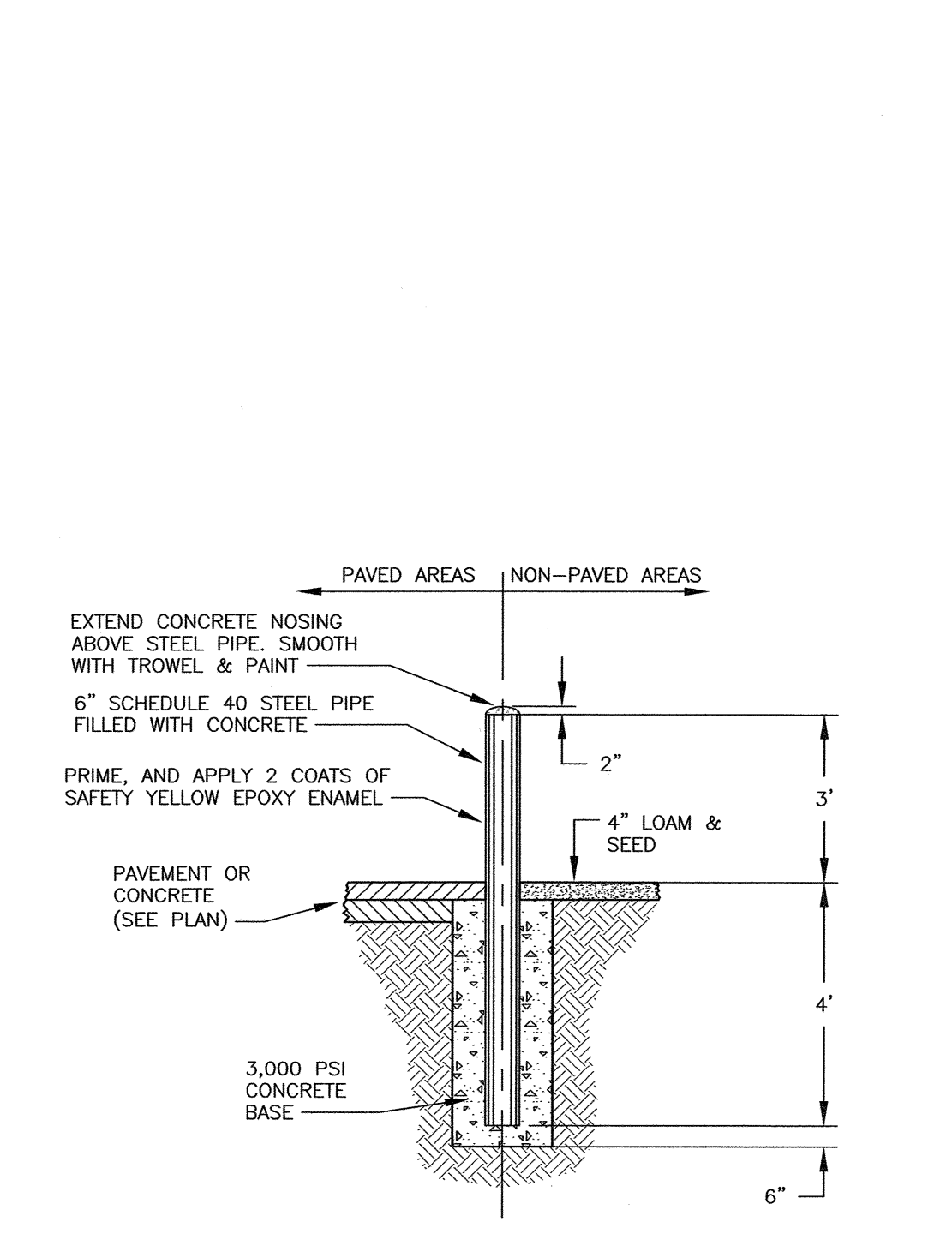
## Maintenance

- MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
- IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

## CONSTRUCTION SPECIFICATIONS

- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE GROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

## C STABILIZED CONSTRUCTION ENTRANCE NTS



## E PIPE BOLLARD DETAIL NTS

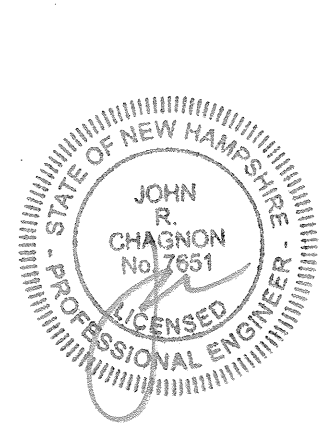
**AMBIT ENGINEERING, INC.**  
 A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
 Portsmouth, NH 03801  
 603.430.9282

WWW.HALEYWARD.COM

MIXED USE  
 DEVELOPMENT  
 581 LAFAYETTE ROAD  
 PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	11/20/23



SCALE: AS NOTED NOVEMBER 2023

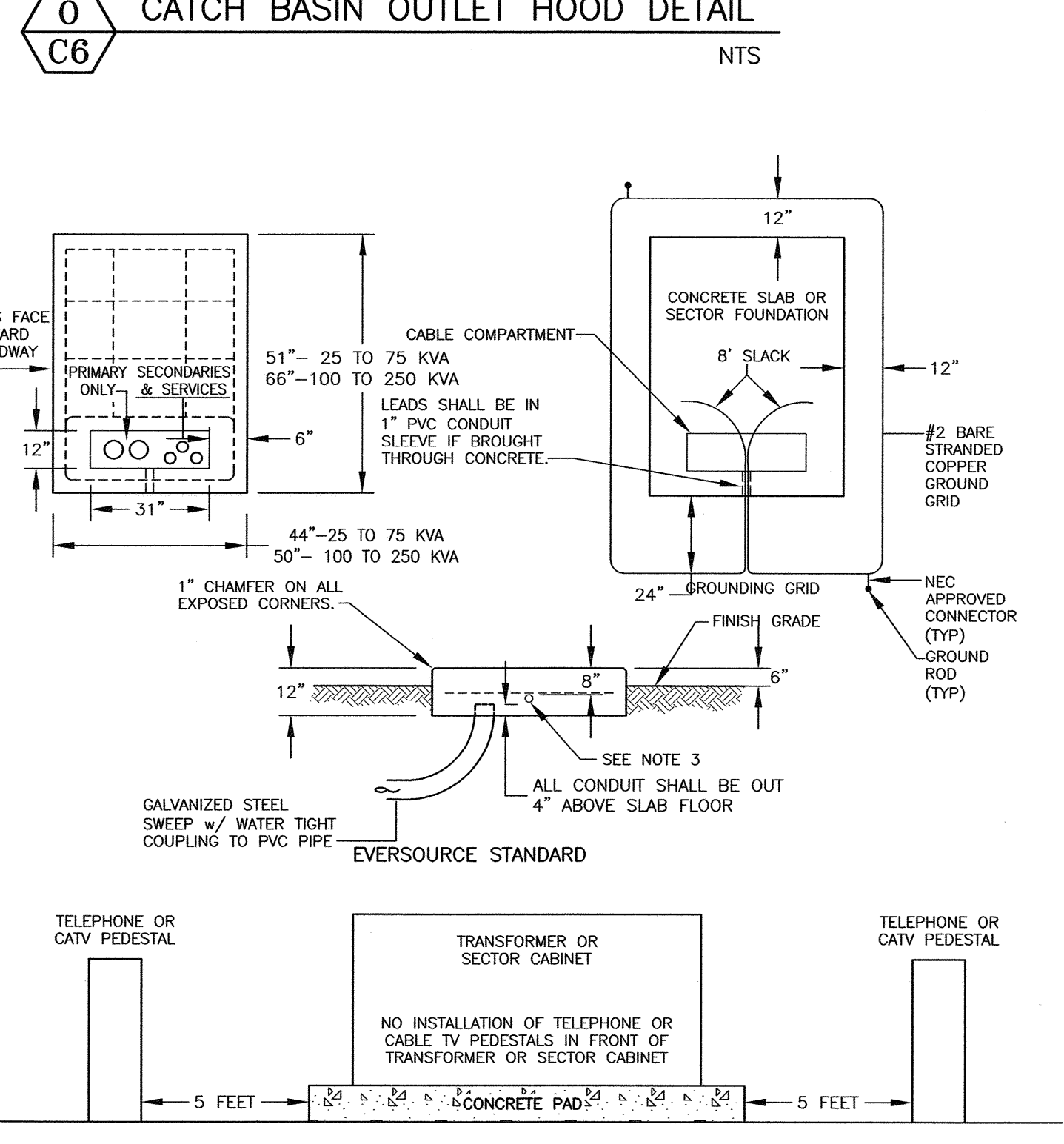
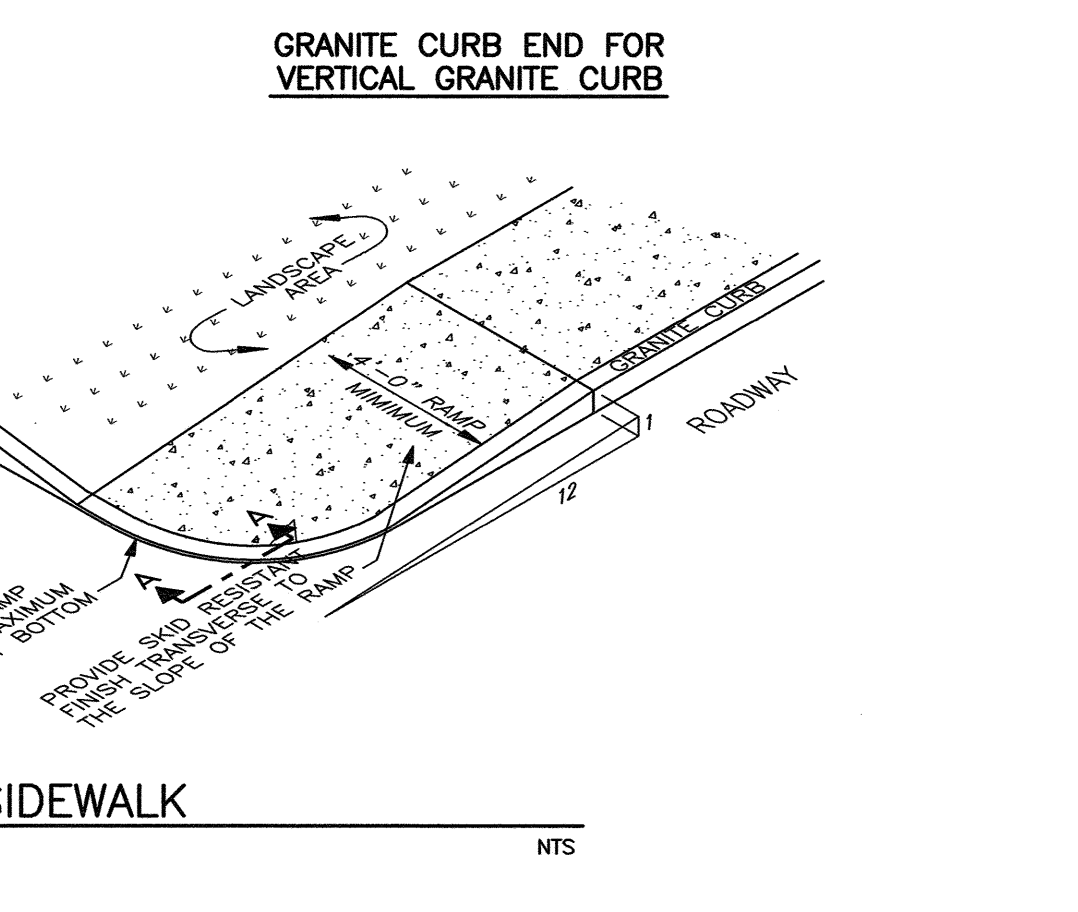
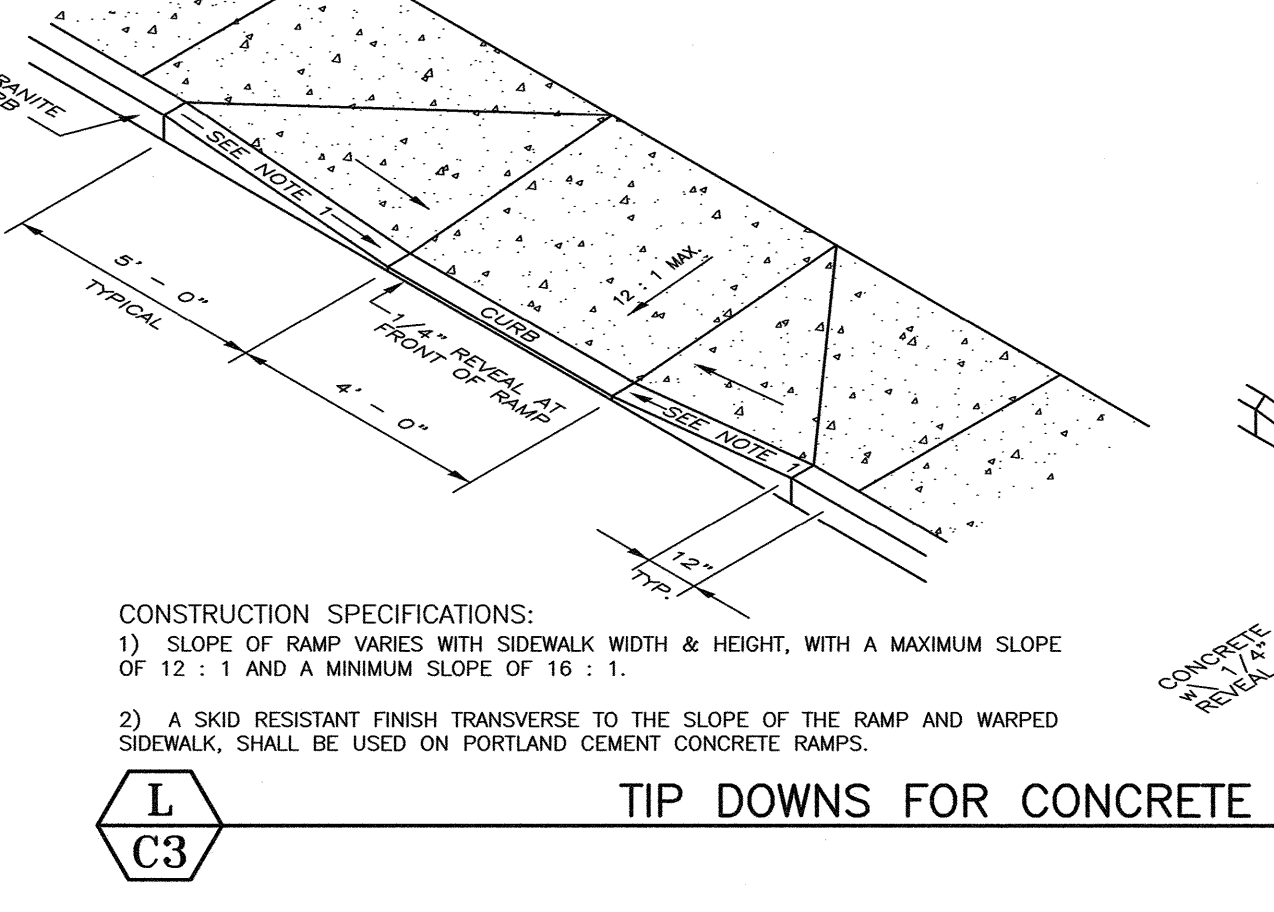
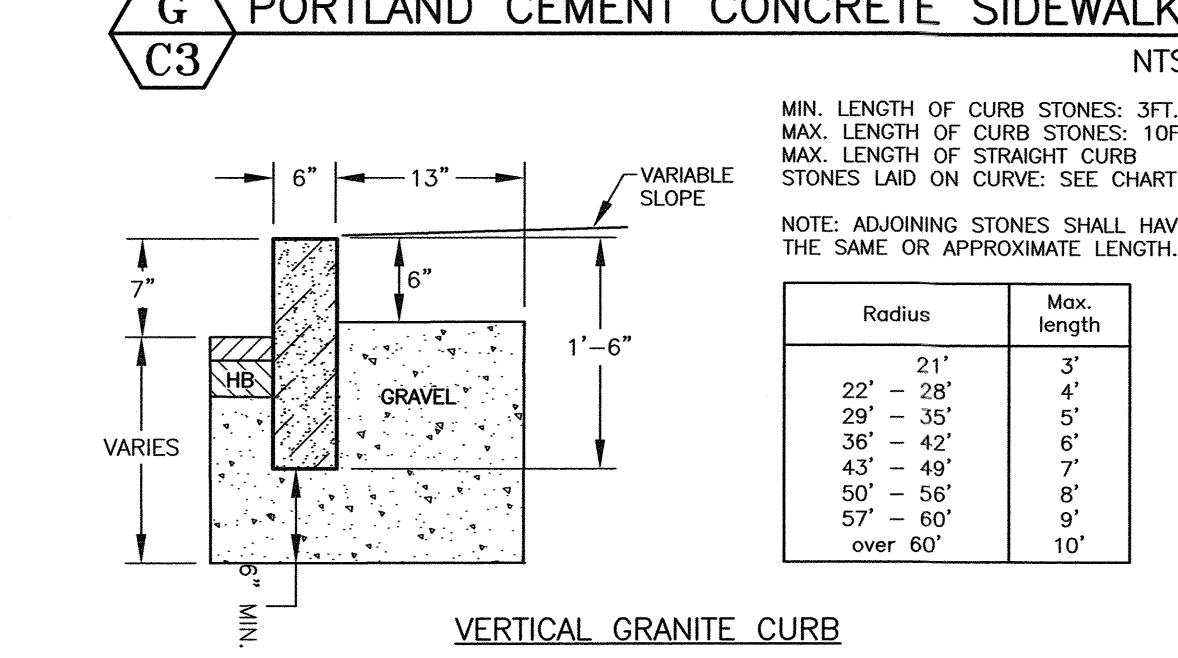
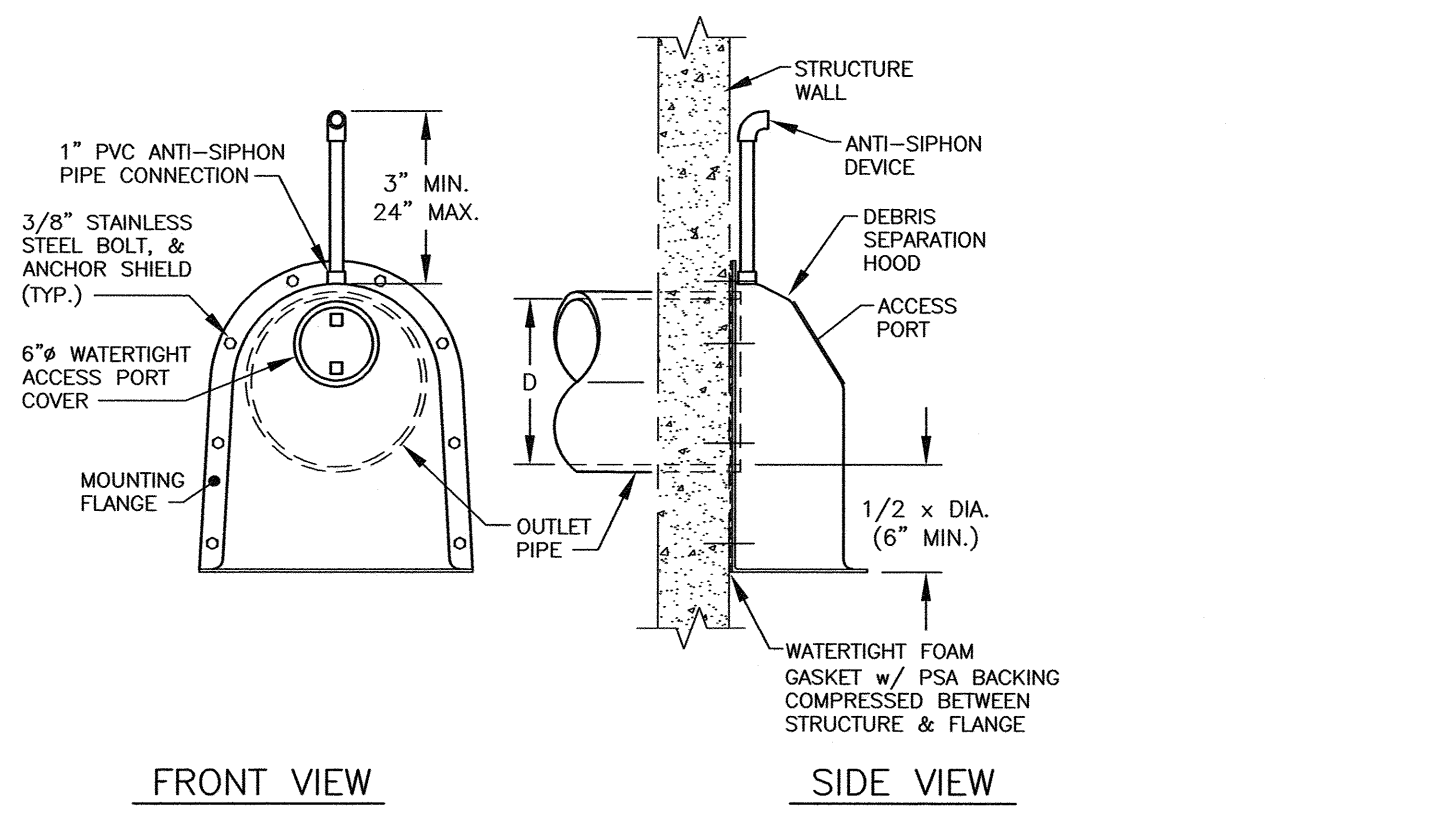
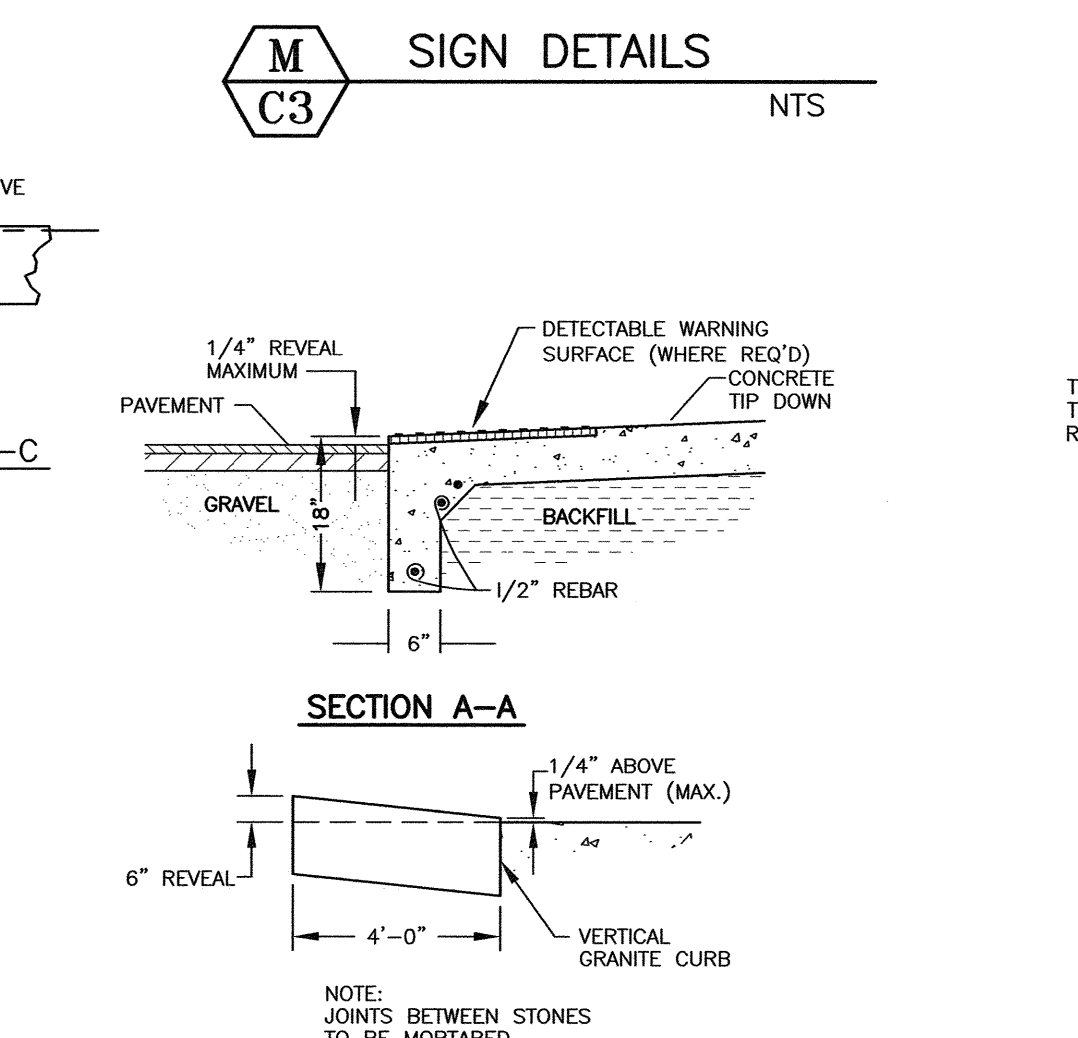
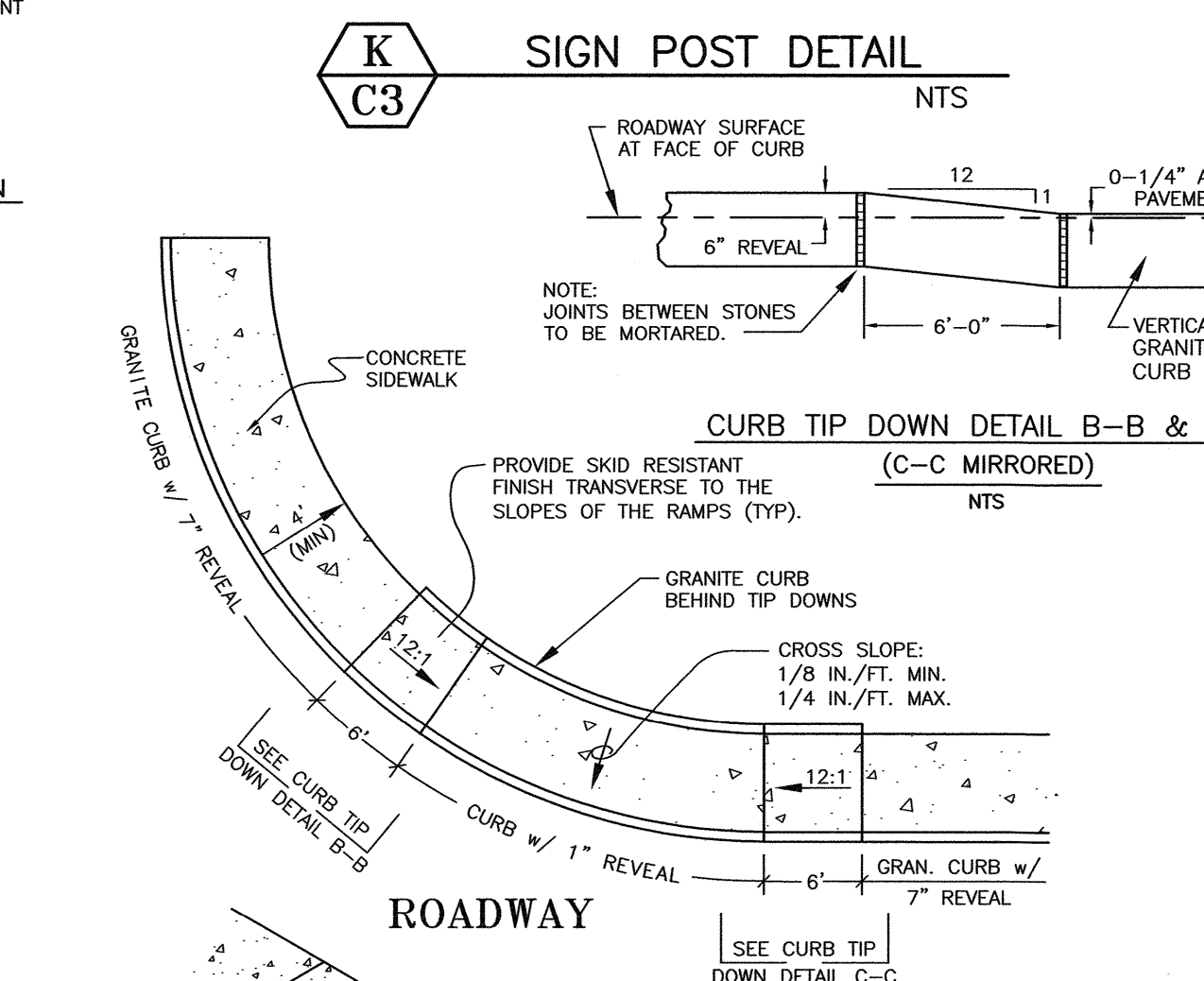
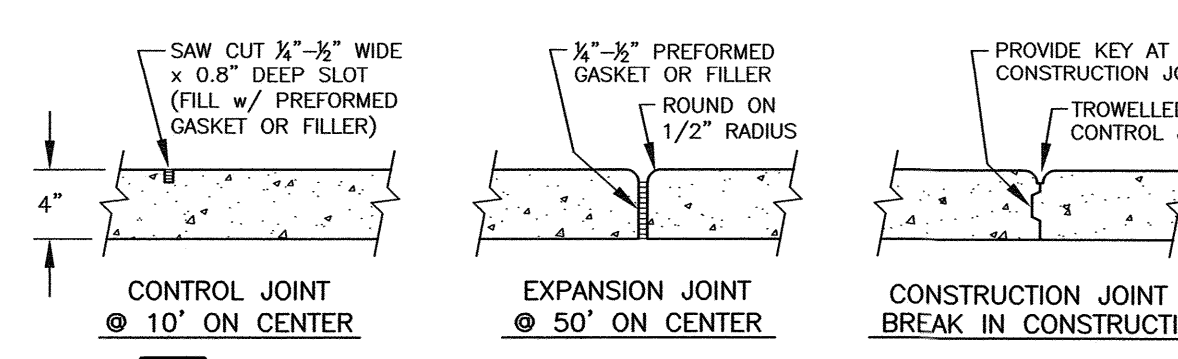
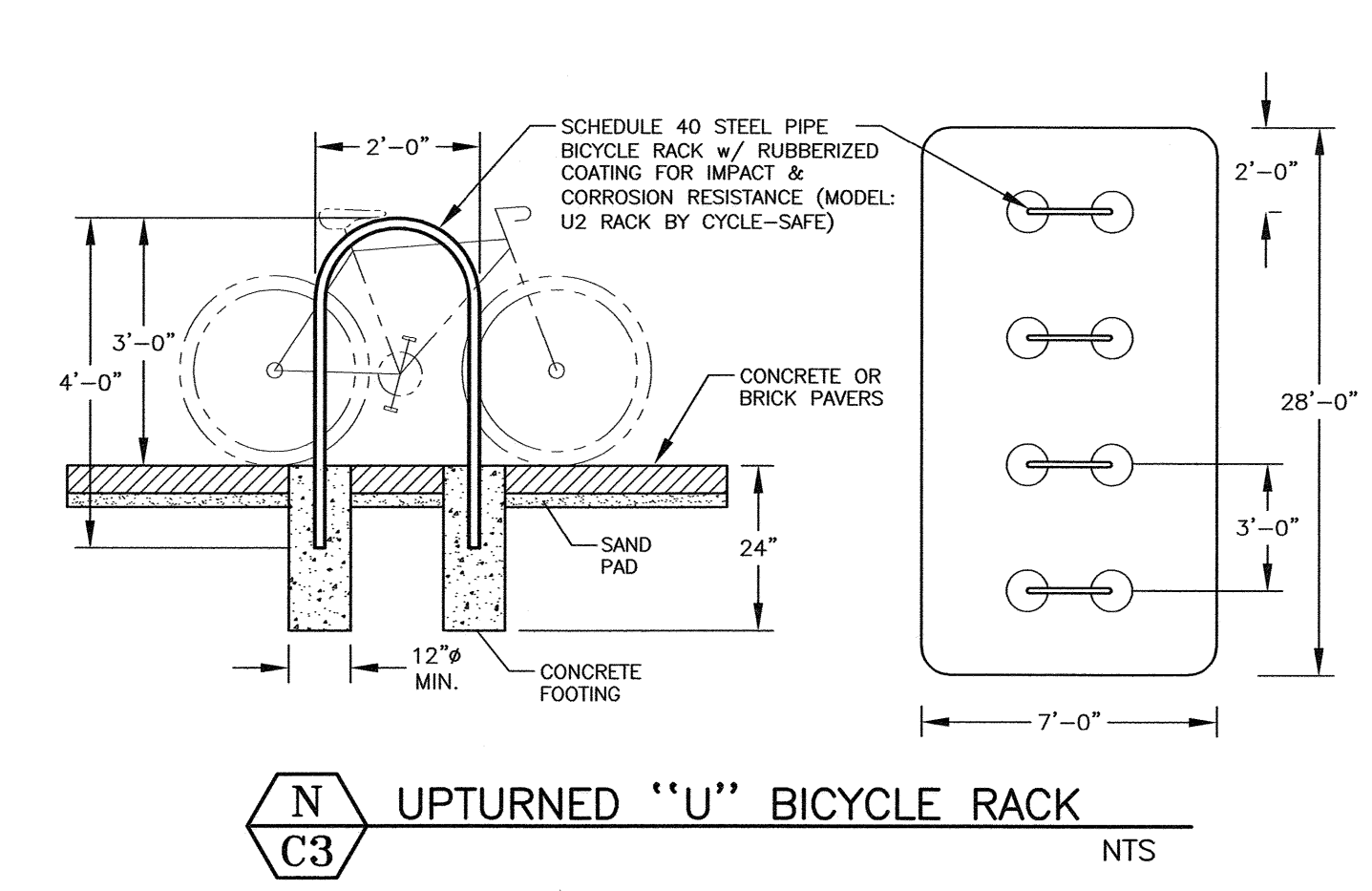
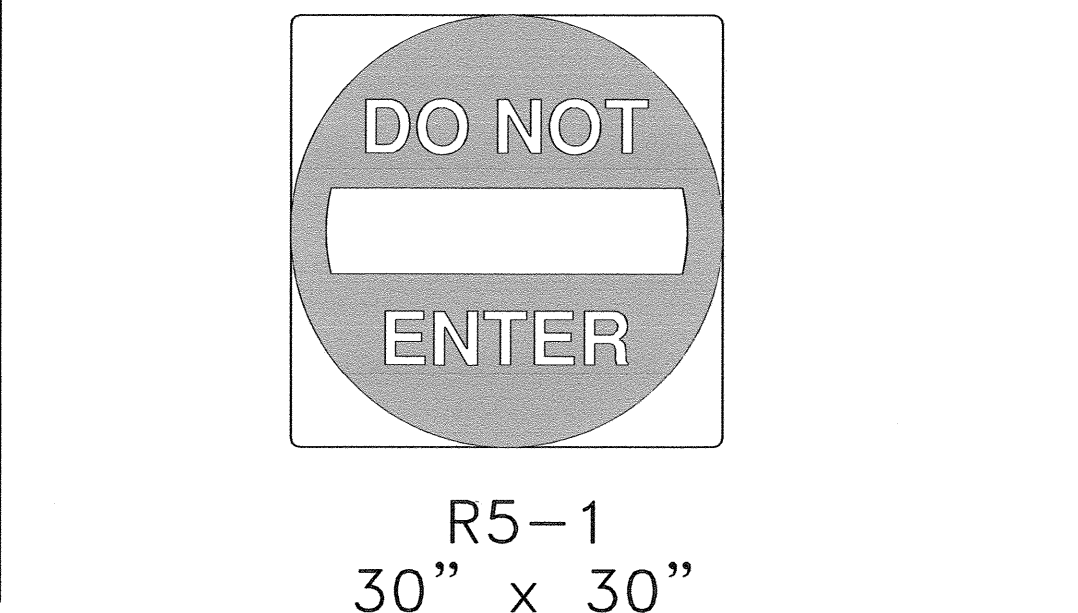
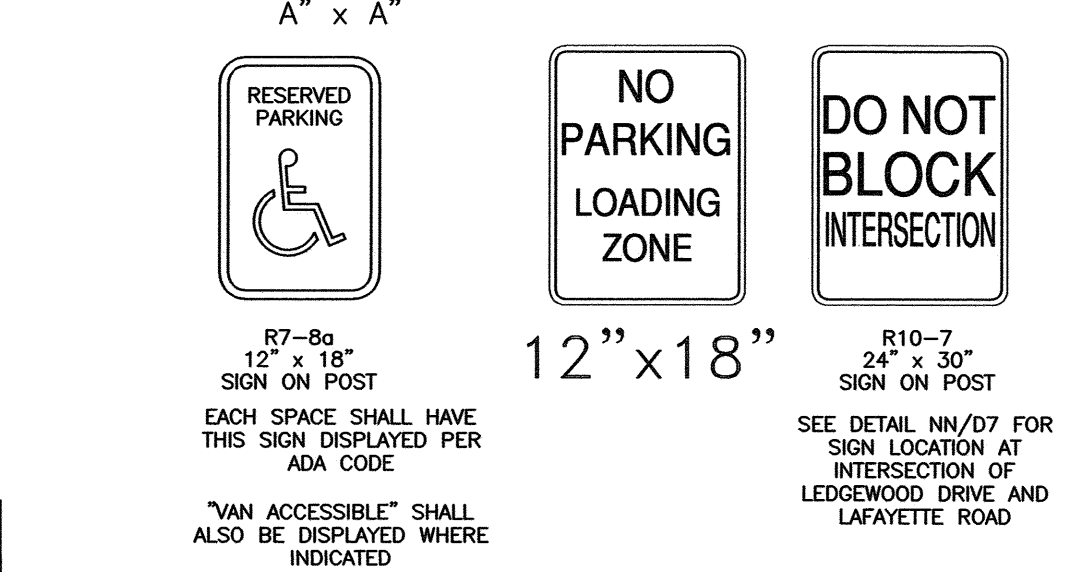
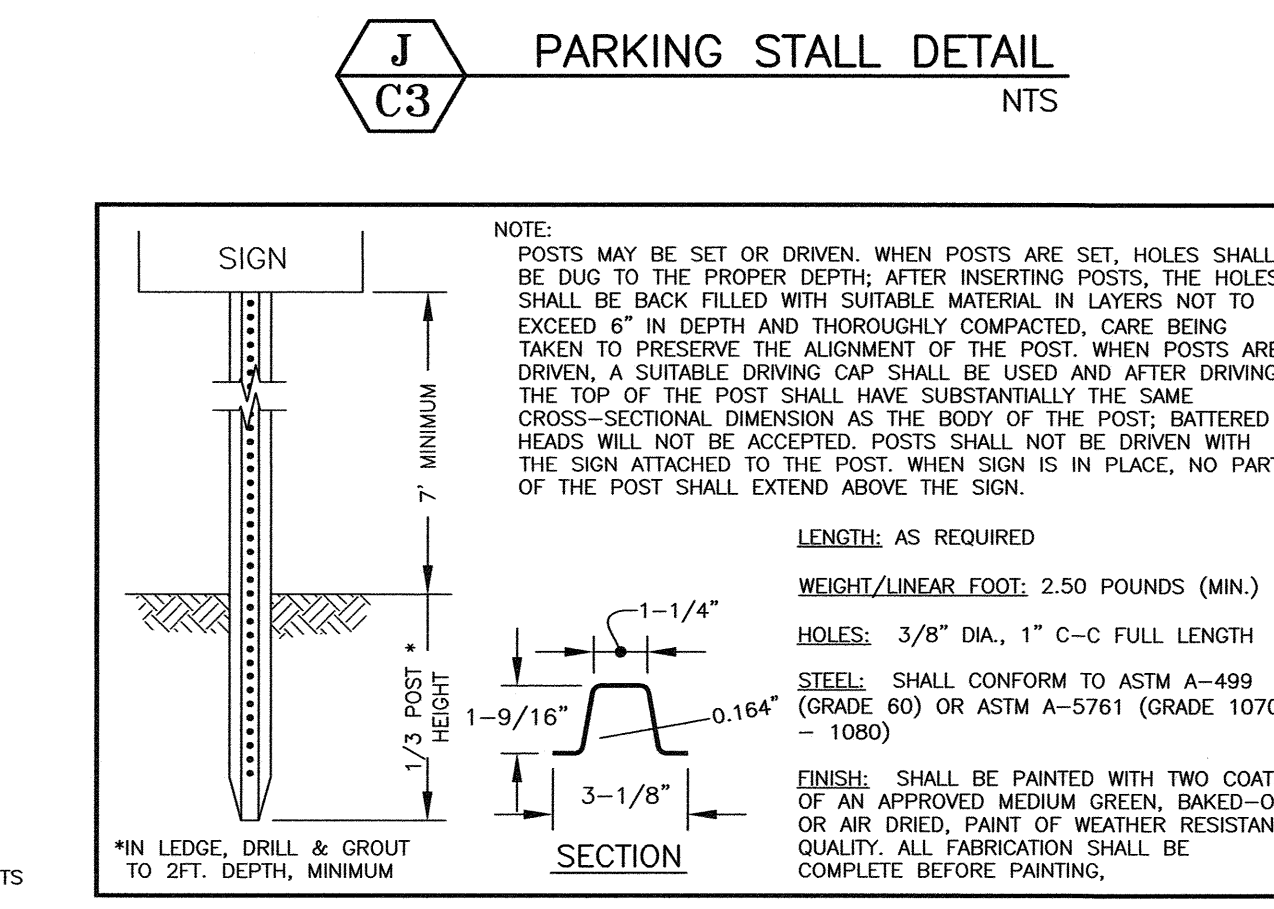
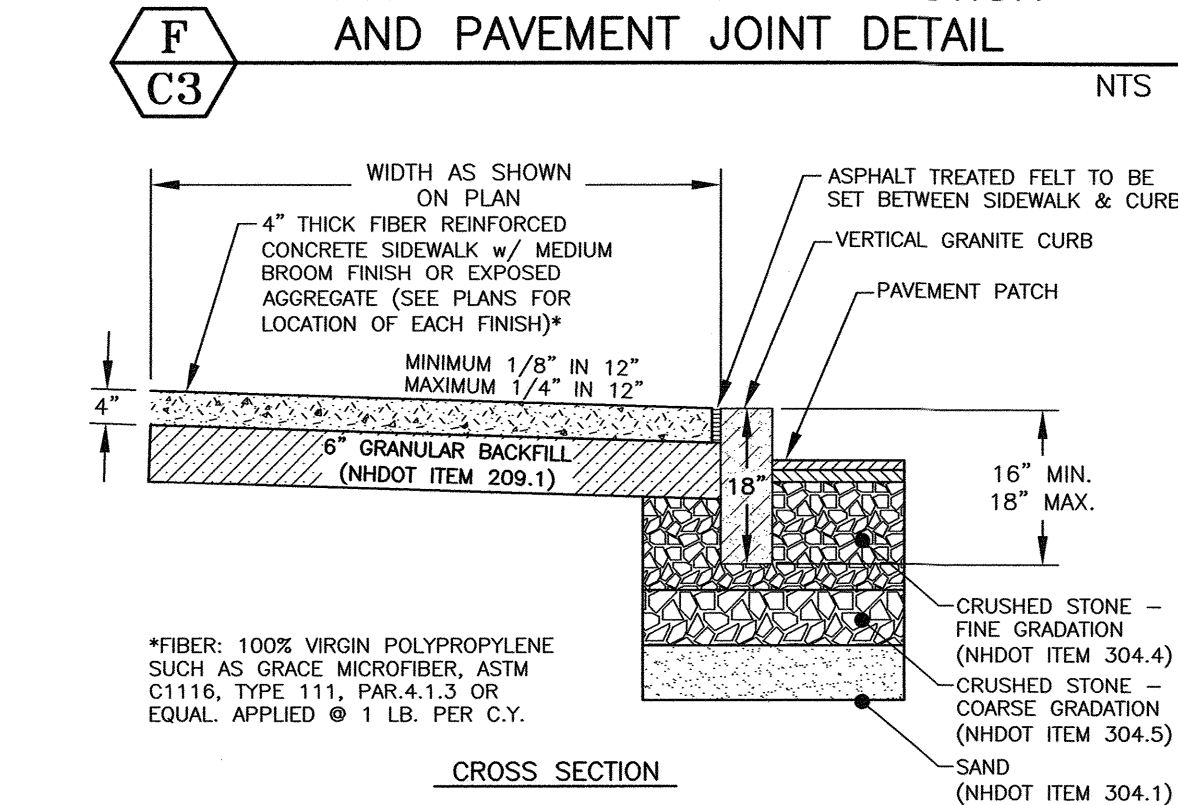
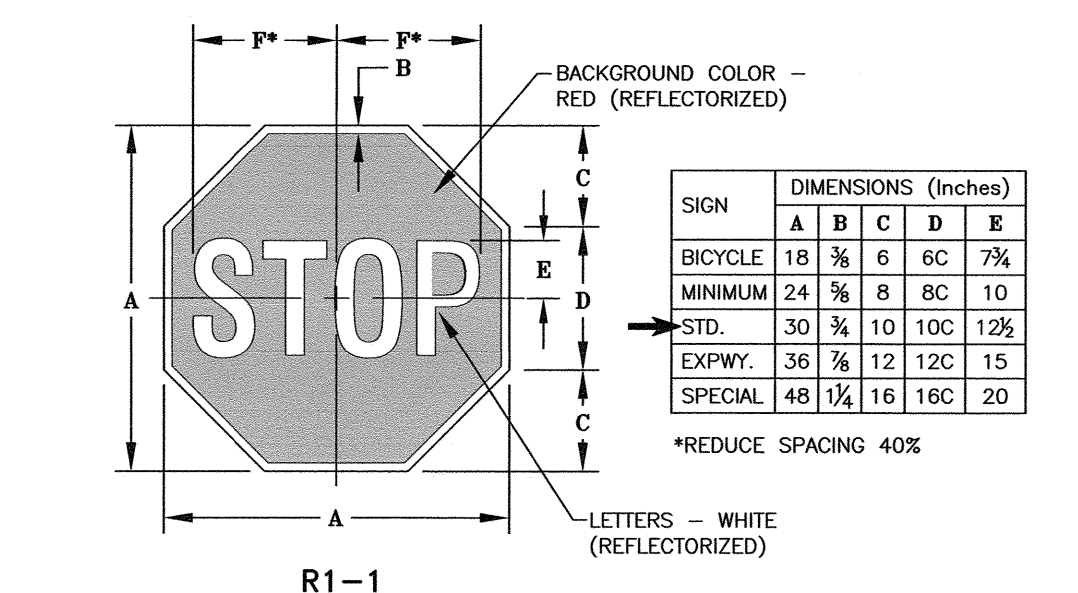
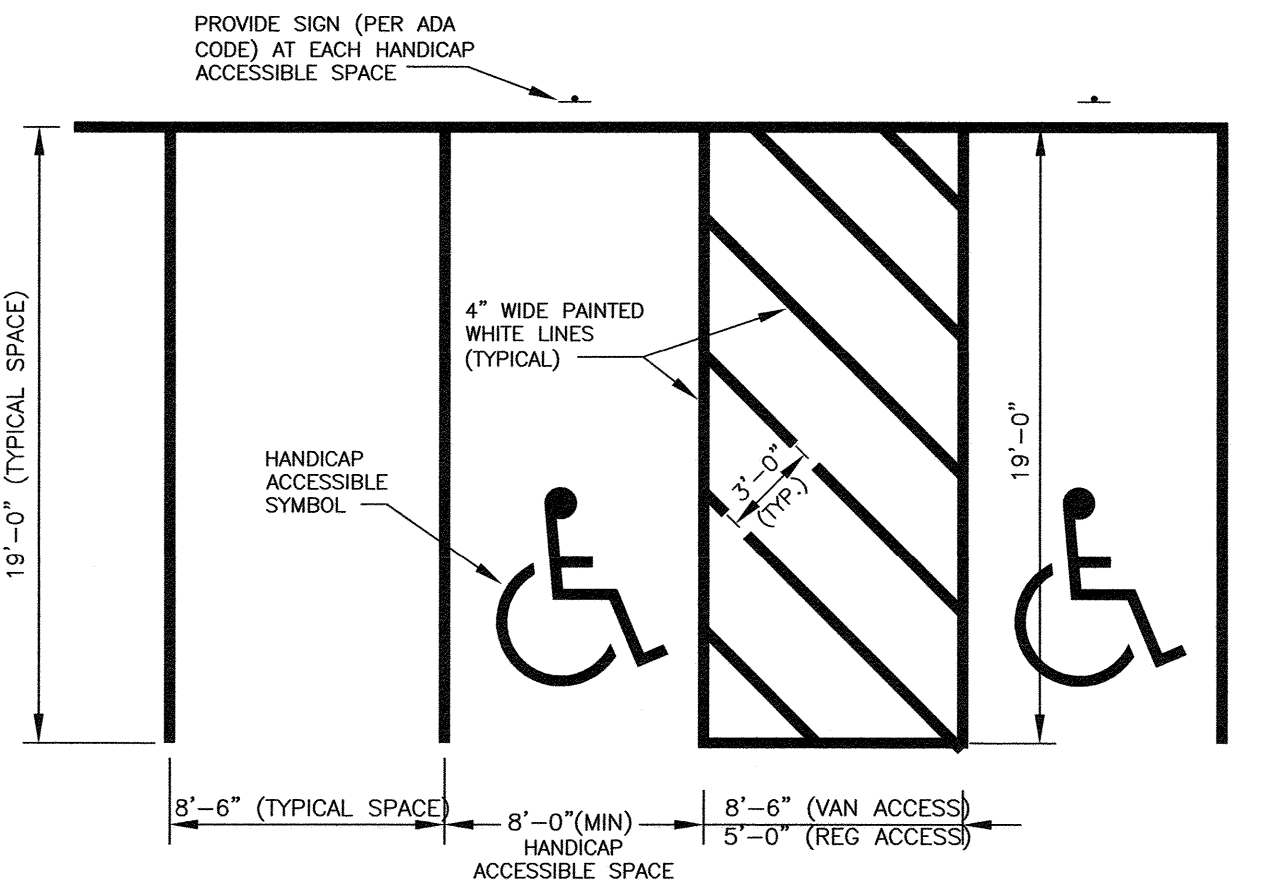
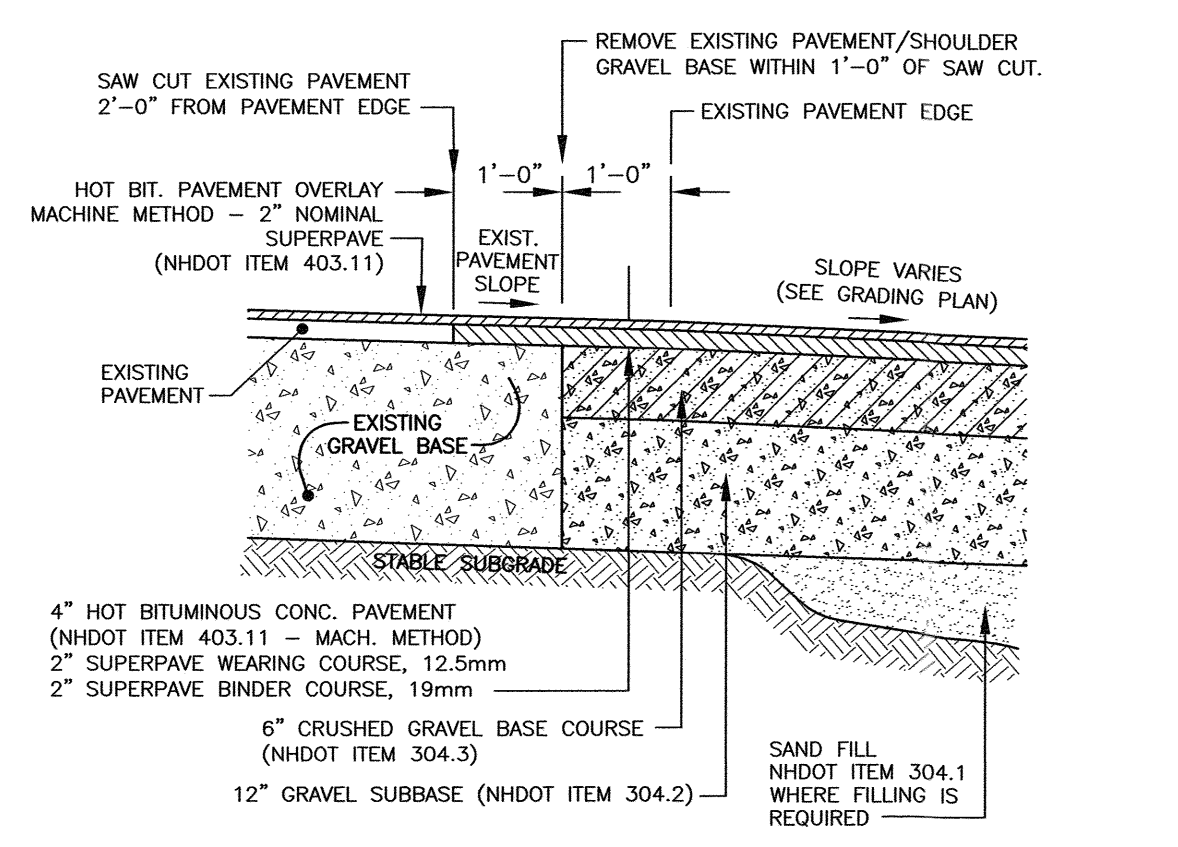
EROSION CONTROL NOTES & DETAILS D1

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

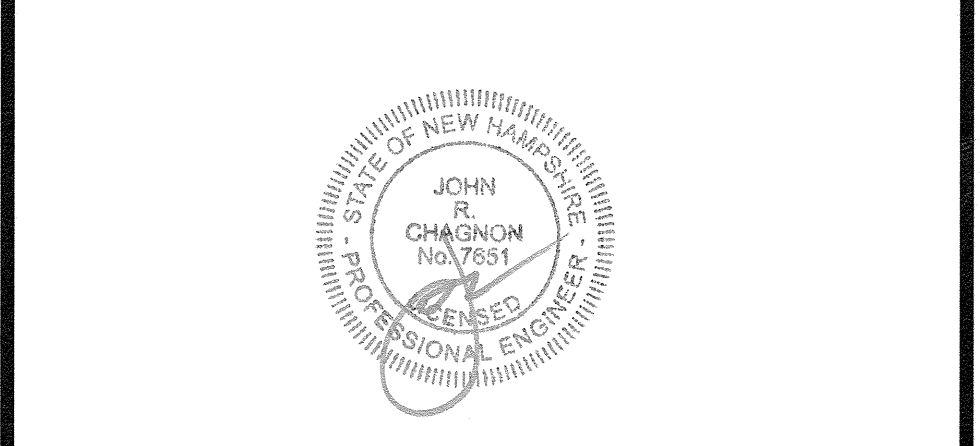
**NOTES:**

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- 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



**MIXED USE DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	11/20/23



SCALE: AS NOTED NOVEMBER 2023

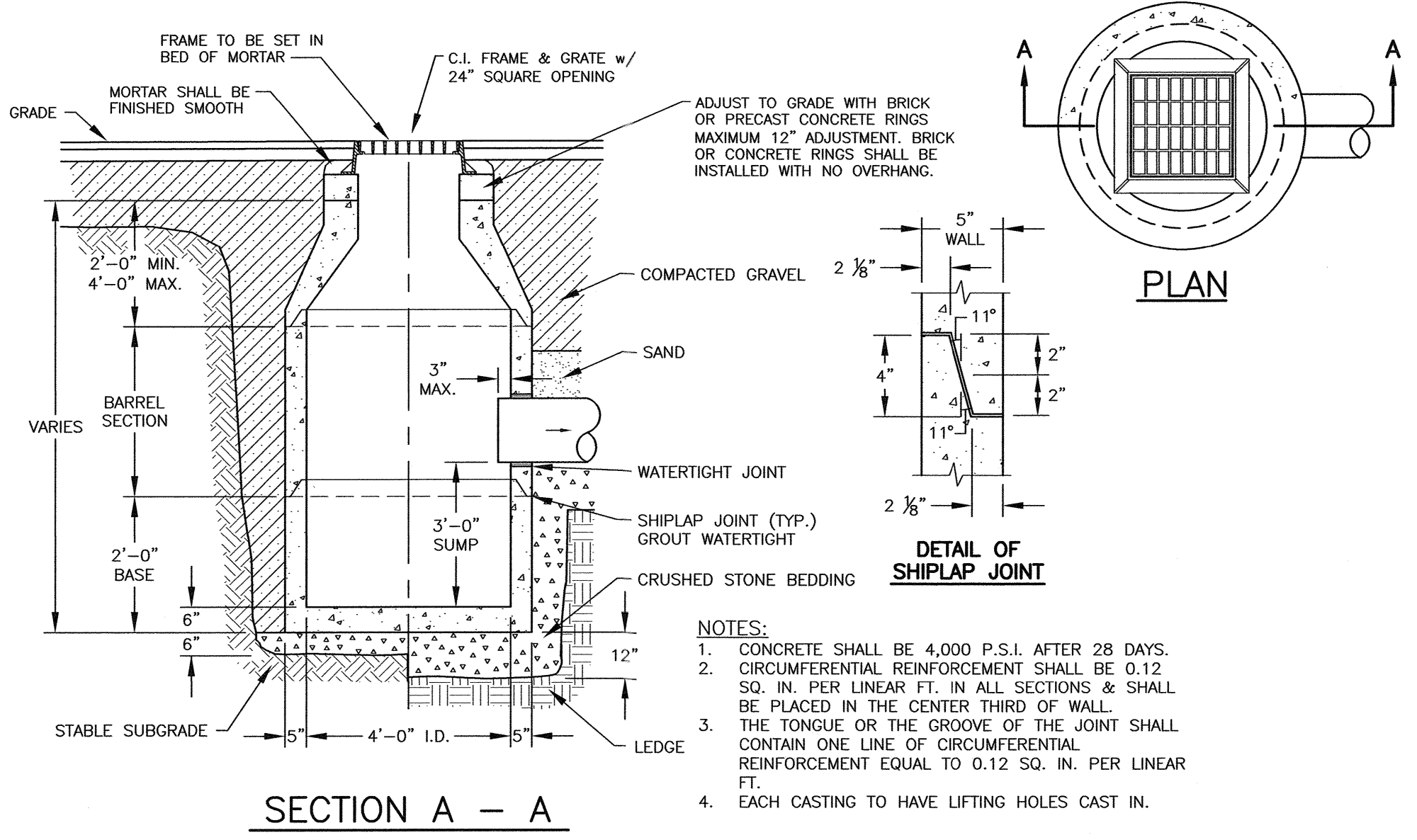
**DETAILS** **D2**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

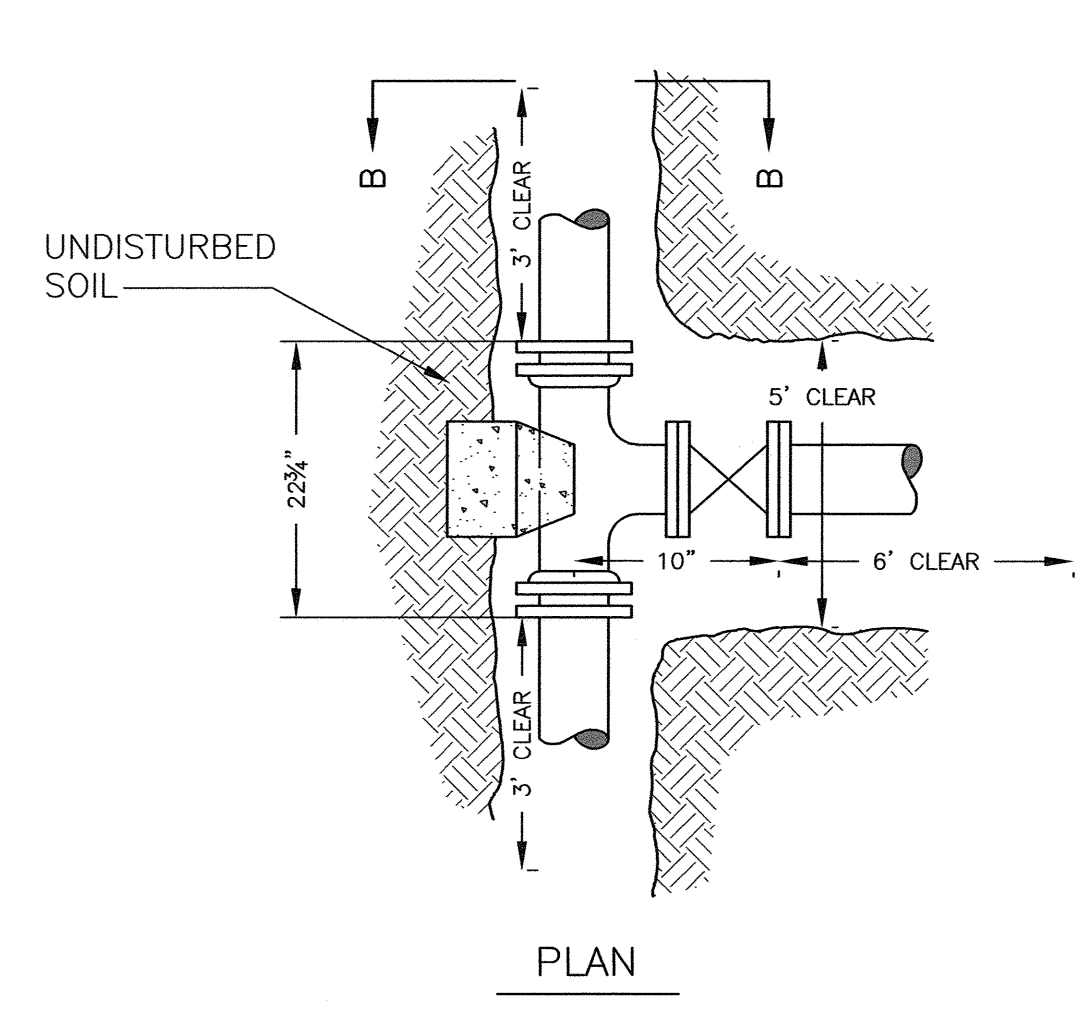
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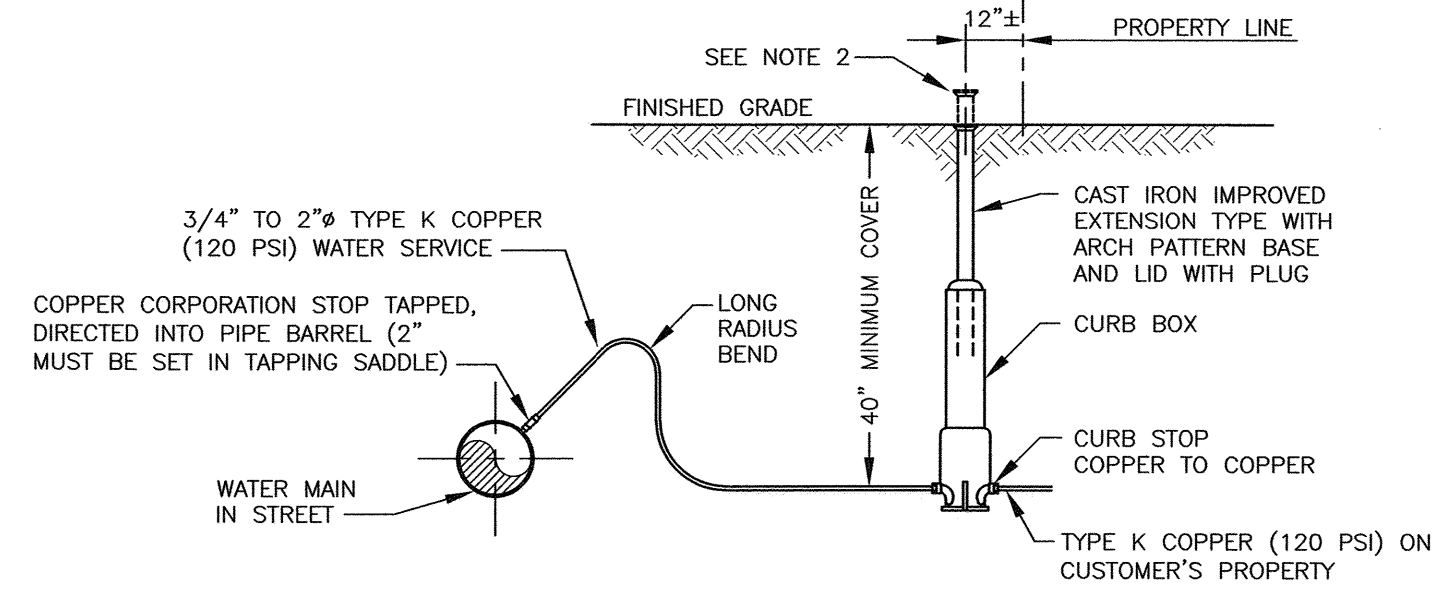
SECTION A - A

**Q**  
**C5** CATCH BASIN DETAIL  
NTS

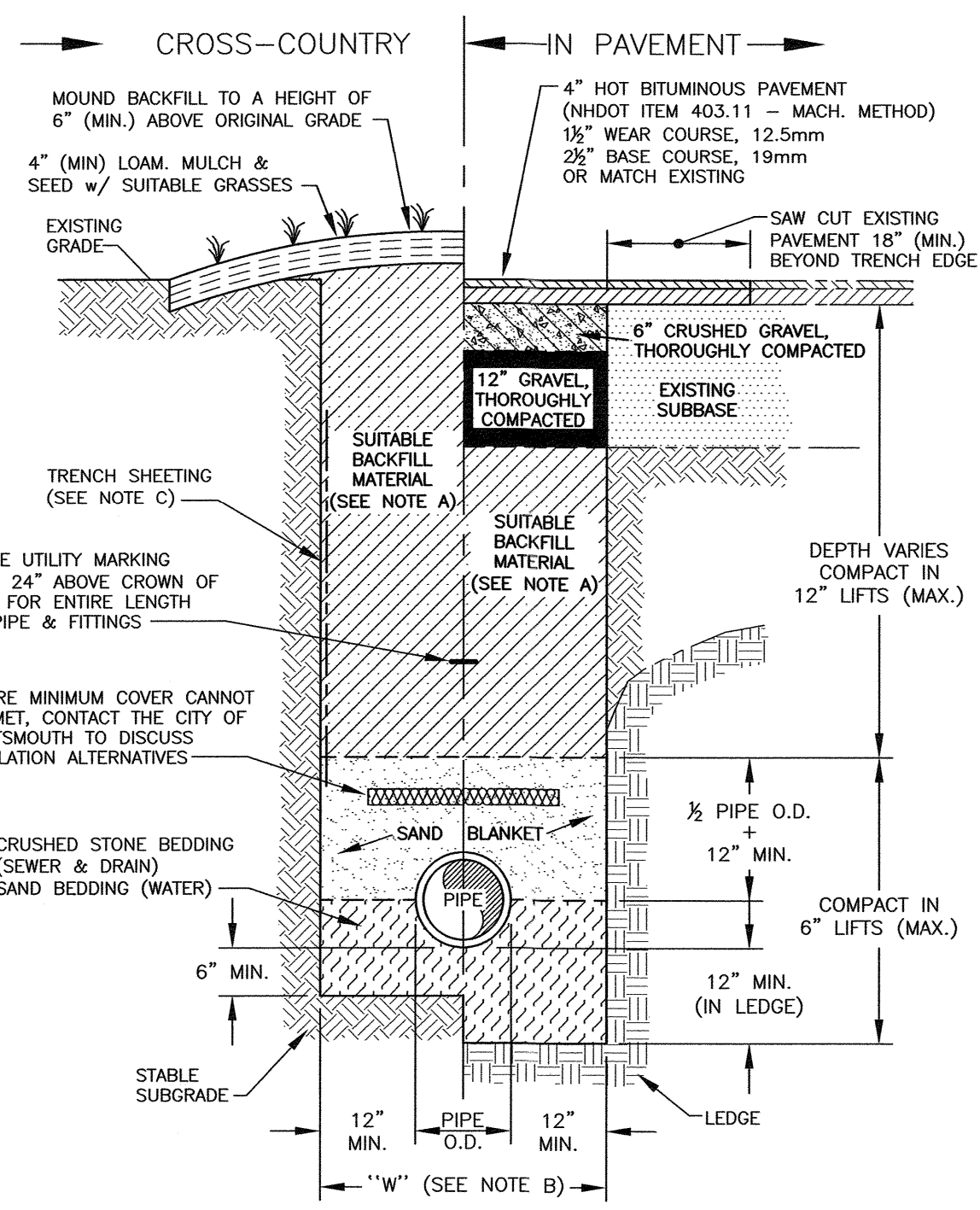


PLAN

**V**  
**C4** WATER SERVICE CONNECTION  
INSTALL PER PORTSMOUTH REQUIREMENTS NTS



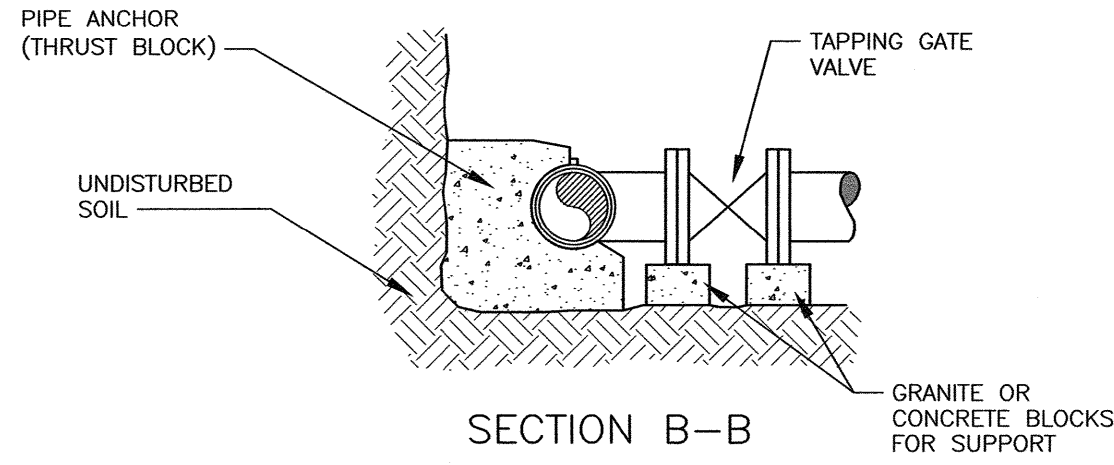
- NOTE:
- 1) INSTALLATION OF WATER MAIN TAP & CURB STOP & BOX SHALL ONLY BE PERFORMED BY THOSE AUTHORIZED BY THE PUBLIC WORKS DEPARTMENT.
  - 2) IN AREAS OF HEAVY GROWTH THE CURB BOX COVER SHALL BE SET 6\"/>
  - 3) CURB BOX SHALL BE SET APPROXIMATELY 12\"/>
  - 4) PRIOR TO ACCEPTANCE, A PLAN INDICATING THE LOCATION OF THE CURB BOX SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH WATER DIVISION.



**R**  
**C4** TYPICAL PIPE TRENCH  
NTS

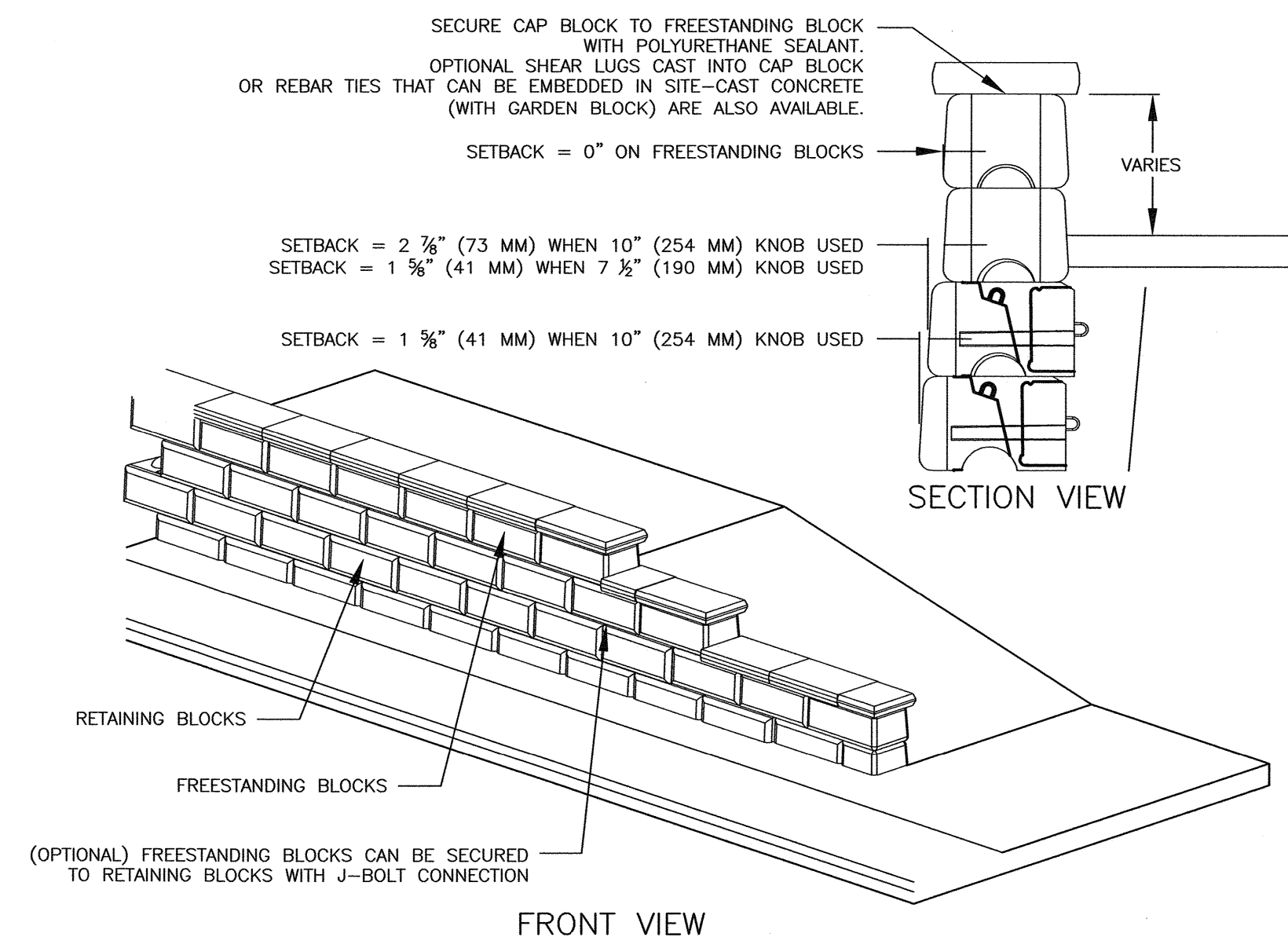
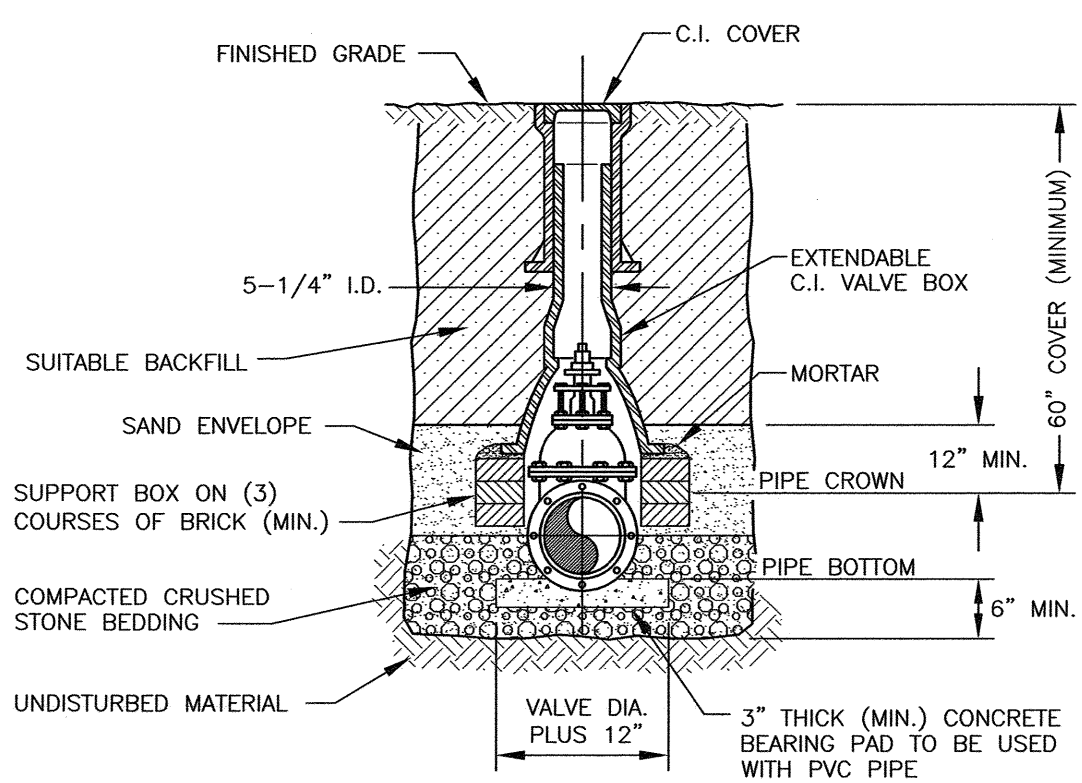
- TRENCH NOTES:**
- A) TRENCH BACKFILL:  
- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
- B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
- C) TRENCH SHEETING:  
IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):  
6\"/>

**T**  
**C4** TAPPING SLEEVE AND GATE  
INSTALL PER PORTSMOUTH REQUIREMENTS NTS

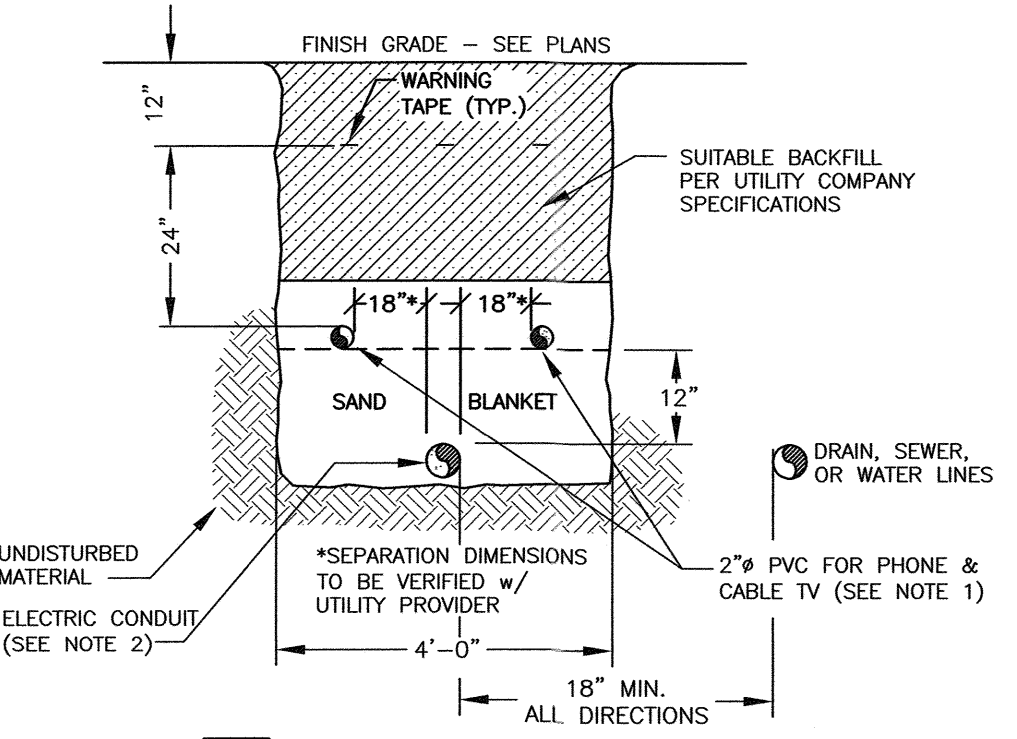


- NOTES:
- 1) ALL MATERIALS SHALL BE APPROVED BY THE PORTSMOUTH WATER DEPARTMENT PRIOR TO INSTALLATION AND USE.
  - 2) ALL JOINTS SHALL BE MECHANICAL.
  - 3) "CLEAR" DIMENSIONS SHOWN ARE REQUIRED FOR WORKSPACE. NO JOINTS ON PIPE BEING TAPPED WITHIN "CLEAR" AREA.
  - 4) FORD TYPE STAINLESS STEEL TAPPING SADDLES OR APPROVED EQUAL ARE ALSO ACCEPTABLE.

**U**  
**C4** TYPICAL VALVE BOX INSTALLATION  
INSTALL PER PORTSMOUTH REQUIREMENTS NTS



**W**  
**C3** SMALL BLOCK RETAINING WALL  
GENEST - BRUSSELS - UNILOCK WALL  
COORDINATE COLOR WITH OWNER NTS



**S**  
**C4** UTILITY TRENCH ELECTRIC/COMMUNICATIONS  
NTS

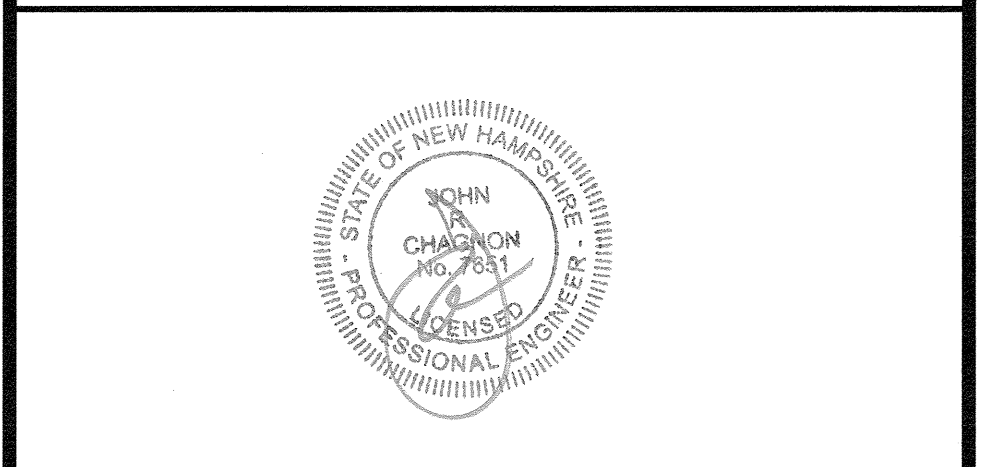
- NOTES:
- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCH. 40 FOR THE REMAINDER.
  - 2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
  - 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
  - 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
  - 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**MIXED USE DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	11/20/23
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SCALE: AS NOTED NOVEMBER 2023

DETAILS **D3**

## JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD PEAK DIVERSION STYLE WITH PRECAST TOP SLAB IS SHOWN. ALTERNATE OFFLINE VAULT AND/OR SHALLOW ORIENTATIONS ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

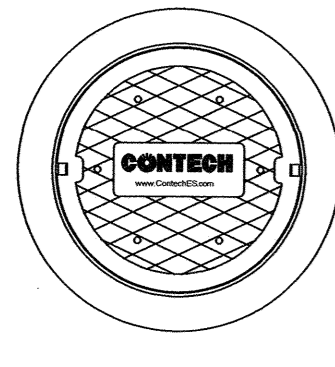
CARTRIDGE SELECTION				
CARTRIDGE LENGTH	54"	40"	27"	15"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-4"	5'-4"	4'-3"	3'-3"
FLOW RATE HI-FLO / DRAINDOWN (CFS) (PER CART)	0.178 / 0.089	0.133 / 0.067	0.089 / 0.045	0.049 / 0.025
MAX. TREATMENT (CFS)	1.96	1.47	0.98	0.54
DECK TO INSIDE TOP (MIN) (B)	5.00	4.00	4.00	4.00

### GENERAL NOTES:

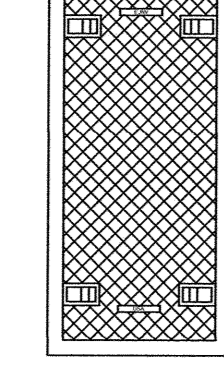
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. [www.conteches.com](http://www.conteches.com)
- JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS-20 PER APPROVING JURISDICTION REQUIREMENTS, WHICH EVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 10' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M309 LOAD RATINGS AND BE CAST WITH THE CONTECH LOGO.
- STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-867, ASTM C-918, AND AASHTO LOAD FACTOR DESIGN METHOD.
- OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
- THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS RECOMMENDED TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
- NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

### INSTALLATION NOTES:

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE.
- CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
- CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION.

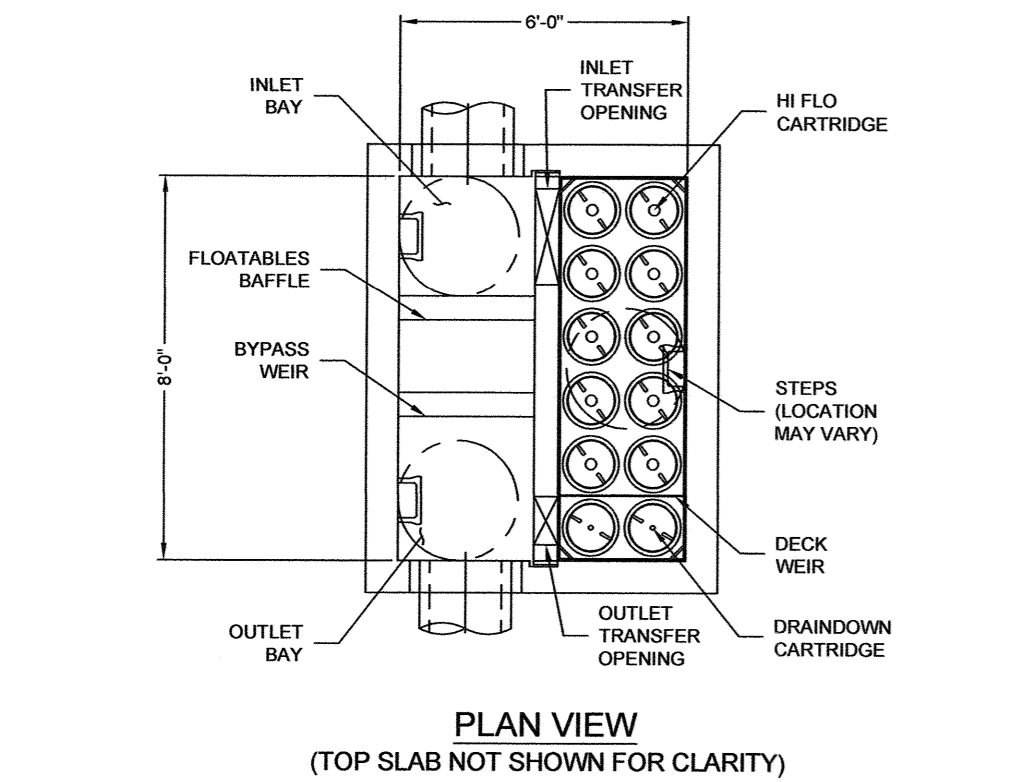


**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

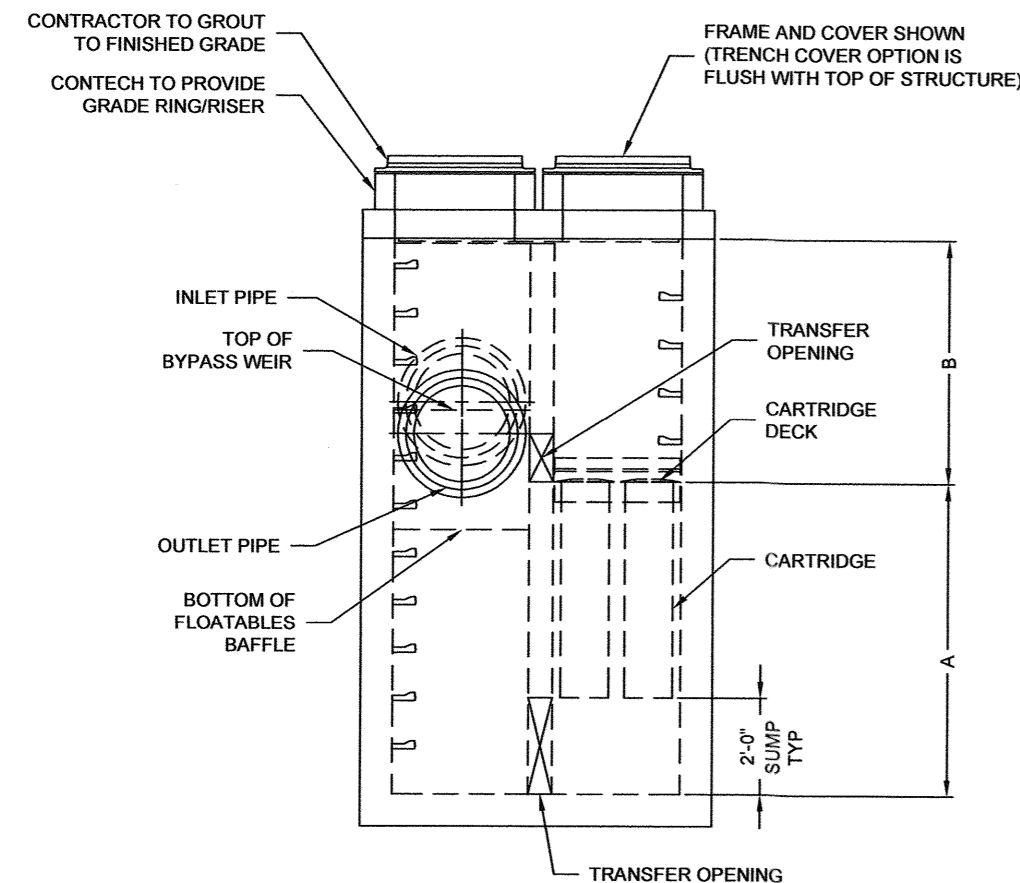


**24" TRENCH COVER**  
(LENGTH VARIES)  
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID		WQFLOW	ID
WATER QUALITY FLOW RATE (cfs)		PEAK	RETURN
PEAK FLOW RATE (cfs)		CART	SIZE
RETURN PERIOD OF PEAK FLOW (yrs)			
# OF CARTRIDGES REQUIRED (H/F / DD)			
CARTRIDGE LENGTH			
PIPE DATA: I.E. MATL DIA SLOPE HGL			
INLET #1 ELEV MATL DIA SLOPE HGL			
INLET #2 ELEV MATL DIA SLOPE HGL			
OUTLET ELEV MATL DIA SLOPE HGL			
SEE GENERAL NOTES 6-7 FOR INLET AND OUTLET HYDRAULIC AND SIZING REQUIREMENTS.			
RIM ELEVATION		RIMELEV	
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
	WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:			
PER ENGINEER OF RECORD			



**PLAN VIEW**  
(TOP SLAB NOT SHOWN FOR CLARITY)



**ELEVATION VIEW**

## JELLYFISH FILTER DETAIL

N.T.S.

## 1.0 Inspection and Maintenance Overview

The primary purpose of the Jellyfish® Filter is to capture and remove pollutants from stormwater runoff. As with any filtration system, these pollutants must be removed to maintain the filter's maximum treatment performance. Regular inspection and maintenance are required to insure proper functioning of the system.

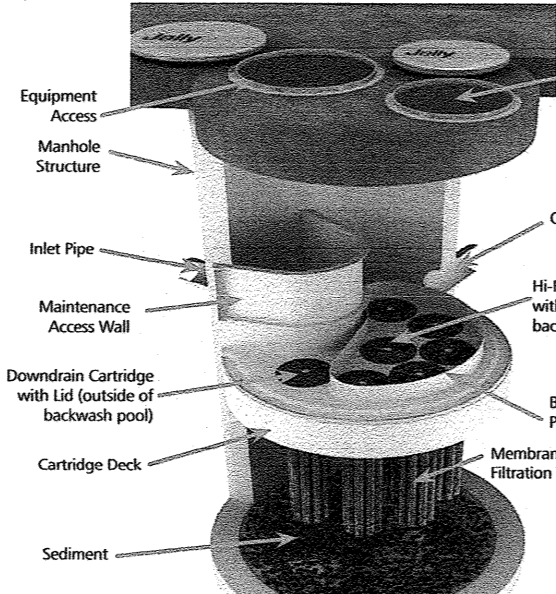
Maintenance frequencies and requirements are site specific and vary depending on pollutant loading. Additional maintenance activities may be required in the event of non-storm event runoff, such as base-flow or seasonal flow, an upstream chemical spill or due to excessive sediment loading from site erosion or extreme runoff events. It is a good practice to inspect the system after major storm events.

Inspection activities are typically conducted from surface observations and include:

- Observe if standing water is present
- Observe if there is any physical damage to the deck or cartridge lids
- Observe the amount of debris in the Maintenance Access Wall (MAW) or inlet bay for vault systems

Maintenance activities include:

- Removal of oil, floatable trash and debris
- Removal of collected sediments
- Rinsing and re-installing the filter cartridges
- Replace filter cartridge tentacles, as needed



Note: Separator Skirt not shown

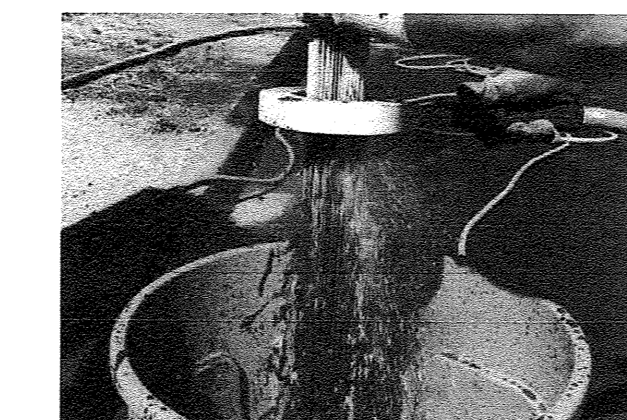
## 2.0 Inspection Timing

Inspection of the Jellyfish Filter is key in determining the maintenance requirements for, and to develop a history of, the site's pollutant loading characteristics. In general, inspections should be performed at the times indicated below, or per the approved project stormwater quality documents (if applicable), whichever is more frequent.

- Collected rinse water is typically removed by vacuum hose.
- Reassemble cartridges as detailed later in this document. Reuse O-rings and nuts, ensuring proper placement on each tentacle.

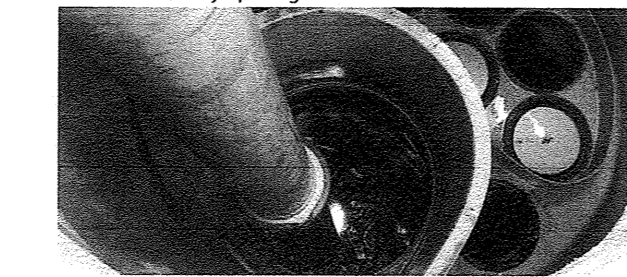
### 5.3 Sediment and Floatables Extraction

- Perform vacuum cleaning of the Jellyfish Filter only after filter cartridges have been removed from the system. Access the lower chamber for vacuum cleaning only through the maintenance access wall (MAW) opening. Be careful not to damage the flexible plastic separator skirt that is attached to the underside of the deck on manhole systems. Do not lower the vacuum wand through a cartridge receptacle, as damage to the receptacle will result.
- Vacuum floatable trash, debris, and oil, from the MAW opening or inlet bay. Alternatively, floatable solids may be removed by a net or skimmer.



Vacuuming Sump Through MAW

- Pressure wash cartridge deck and receptacles to remove all sediment and debris. Sediment should be rinsed into the sump area. Take care not to flush rinse water into the outlet pipe.
- Remove water from the sump area. Vacuum or pump equipment should only be introduced through the MAW or inlet bay.
- Remove the sediment from the bottom of the unit through the MAW or inlet bay opening.



Vacuuming Sump Through MAW

- A minimum of quarterly inspections during the first year of operation to assess the sediment and floatable pollutant accumulation, and to ensure proper functioning of the system.
- Inspection frequency in subsequent years is based on the inspection and maintenance plan developed in the first year of operation. Minimum frequency should be once per year.
- Inspection is recommended after each major storm event.
- Inspection is required immediately after an upstream oil, fuel or other chemical spill.

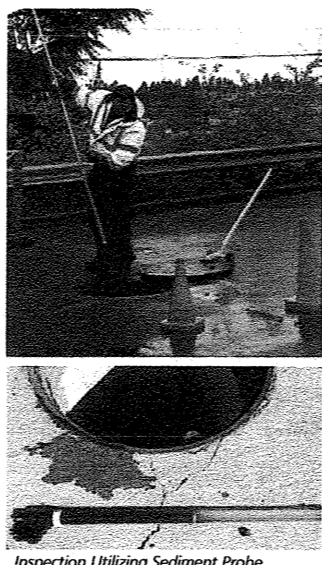
### 3.0 Inspection Procedure

The following procedure is recommended when performing inspections:

- Provide traffic control measures as necessary.
- Inspect the MAW or inlet bay for floatable pollutants such as trash, debris, and oil sheen.
- Measure oil and sediment depth in several locations, by lowering a sediment probe until contact is made with the floor of the structure. Record sediment depth, and presences of any oil layers.
- Inspect cartridge lids. Missing or damaged cartridge lids to be replaced.
- Inspect the MAW (where appropriate), cartridge deck and receptacles, and backwash pool weir, for damaged or broken components.

### 3.1 Dry weather inspections

- Inspect the cartridge deck for standing water, and/or sediment on the deck.
- No standing water under normal operating conditions.
- Standing water inside the backwash pool, but not outside the backwash pool indicates, that the filter cartridges need to be rinsed.



Inspection Utilizing Sediment Probe

3

- Standing water outside the backwash pool is not anticipated and may indicate a backwater condition caused by high water elevation in the receiving water body, or possibly a blockage in downstream infrastructure.
- Any appreciable sediment (≥1/16") accumulated on the deck surface should be removed.

### 3.2 Wet weather inspections

- Observe the rate and movement of water in the unit. Note the depth of water above deck elevation within the MAW or inlet bay.
- Less than 6 inches, flow should be exiting the cartridge lids of each of the draindown cartridges (i.e. cartridges located outside the backwash pool).
- Greater than 6 inches, flow should be exiting the cartridge lids of each of the draindown cartridges and each of the hi-flo cartridges (i.e. cartridges located inside the backwash pool), and water should be overflowing the backwash pool weir.
- 18 inches or greater and relatively little flow is exiting the cartridge lids and outlet pipe, this condition indicates that the filter cartridges need to be rinsed.

### 4.0 Maintenance Requirements

Required maintenance for the Jellyfish Filter is based upon results of the most recent inspection, historical maintenance records, or the site specific water quality management plan; whichever is more frequent. In general, maintenance requires some combination of the following:

- Sediment removal for depths reaching 12 inches or greater, or within 3 years of the most recent sediment cleaning, whichever occurs sooner.
- Floatable trash, debris, and oil removal.
- Deck cleaned and free from sediment.
- Filter cartridges rinsed and re-installed as required by the most recent inspection results, or within 12 months of the most recent filter rinsing, whichever occurs sooner.
- Replace tentacles if rinsing does not restore adequate hydraulic capacity; remove accumulated sediment, or if damaged or missing. It is recommended that tentacles should remain in service no longer than 5 years before replacement.
- Damaged or missing cartridge deck components must be repaired or replaced as indicated by results of the most recent inspection.
- The unit must be cleaned out and filter cartridges inspected immediately after an upstream oil, fuel, or chemical spill. Filter cartridge tentacles should be replaced if damaged or compromised by the spill.

### 5.0 Maintenance Procedure

The following procedures are recommended when maintaining the Jellyfish Filter:

- Provide traffic control measures as necessary.
- Open all covers and hatches. Use ventilation equipment as needed, according to confined space entry procedures.
- Caution: Dropping objects onto the cartridge deck may cause damage.
- 

## Jellyfish Filter Components & Filter Cartridge Assembly and Installation

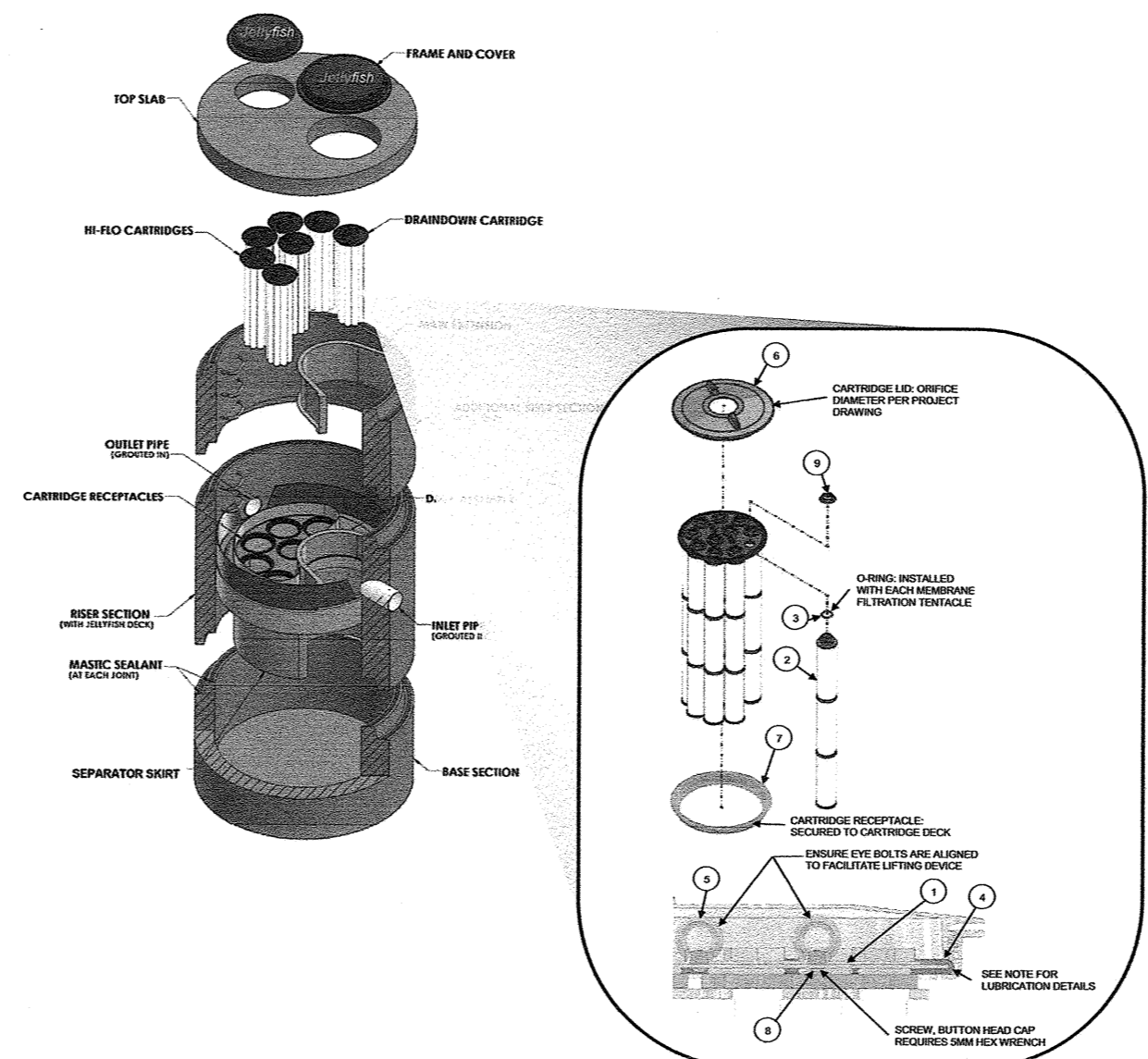


TABLE 1: BOM

ITEM NO.	DESCRIPTION
1	JF HEAD PLATE
2	JF TENTACLE
3	JF O-RINGS
4	JF HEAD PLATE GASKET
5	JF CARTRIDGE INLET
6	JF MIN COVER
7	JF RECEPTACLE
8	BUTTON HEAD CAP
9	JF CARTRIDGE NUT

TABLE 2: APPROVED GASKET LUBRICANTS

PART NO.	MFR	DESCRIPTION
7873	LA-CO	LUBR-JOINT
4001	BERKELS	CLUCK BUTTER
3000	DATEY	PIPE LUBRICANT
PSLUBR-10	PROSPECT	PIPE JOINT LUBRICANT

### NOTES:

**Head Plate Gasket Installation:**  
Install Head Plate Gasket (Item 4) onto the Head Plate (Item 1) and liberally apply a lubricant from Table 2 Approved Gasket Lubricants onto the gasket where it contacts the Receptacle (Item 7) and Cartridge Lids (Item 5). Follow Lubricant manufacturer's instructions.

**Lid Assembly:**  
Rotate Cartridge Lid counter-clockwise until both male threads drop down and properly seat. Then rotate Cartridge Lid clockwise approximately one-third of a full rotation until Cartridge Lid is firmly secured, creating a watertight seal.

## NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE EROSION AND SEDIMENT CONTROL BMP'S" PUBLISHED BY THE NEW HAMPSHIRE D.E.S. IN 2008.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

## MIXED USE DEVELOPMENT

### 581 LAFAYETTE ROAD

### PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	11/20/23
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NO.	DESCRIPTION	DATE
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SCALE: AS NOTED NOVEMBER 2023

## JELLYFISH DETAILS

# D4

**NOTES:**

- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**MANHOLE NOTES**

- 1) IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- 2) BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE, OR POURED IN PLACE REINFORCED CONCRETE IF POURED AS A COMPLETE MANHOLE.
- 3) PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.
- 4) LEAKAGE TEST MAY NOT BE FEASIBLE, BUT SHALL CONFORM TO ENV-WQ 704.10(X) THROUGH ENV-WQ 704.10(Z).
- 5) INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE AND TANGENT TO THE CENTERLINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- 6) FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A THREE INCH (MINIMUM HEIGHT) WORD "SEWER" FOR SEWERS AND "DRAIN" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. CASTINGS SHALL CONFORM TO CLASS 30, ASTM A48.
- 7) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.
 

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%- 55% PASSING	3/8 INCH SCREEN
0%- 10% PASSING	#4 SIEVE
0%- 5% PASSING	#8 SIEVE

WHEN ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.
- 8) FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:  
RCP & CI PIPE - ALL SIZES - 48"
- 9) SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.
- 10) HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET, IN 2 ROWS. APPROVED ELASTOMERIC SEALANTS ARE:
 

RAM-NEK	KENT SEAL NO. 2	EZ
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**GENERAL NOTES**

- 1) MINIMUM PIPE SIZE FOR HOUSE SERVICE SHALL BE FOUR INCHES.
- 2) PIPE AND JOINT MATERIALS:
  - A. PLASTIC SEWER PIPE
    1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
 

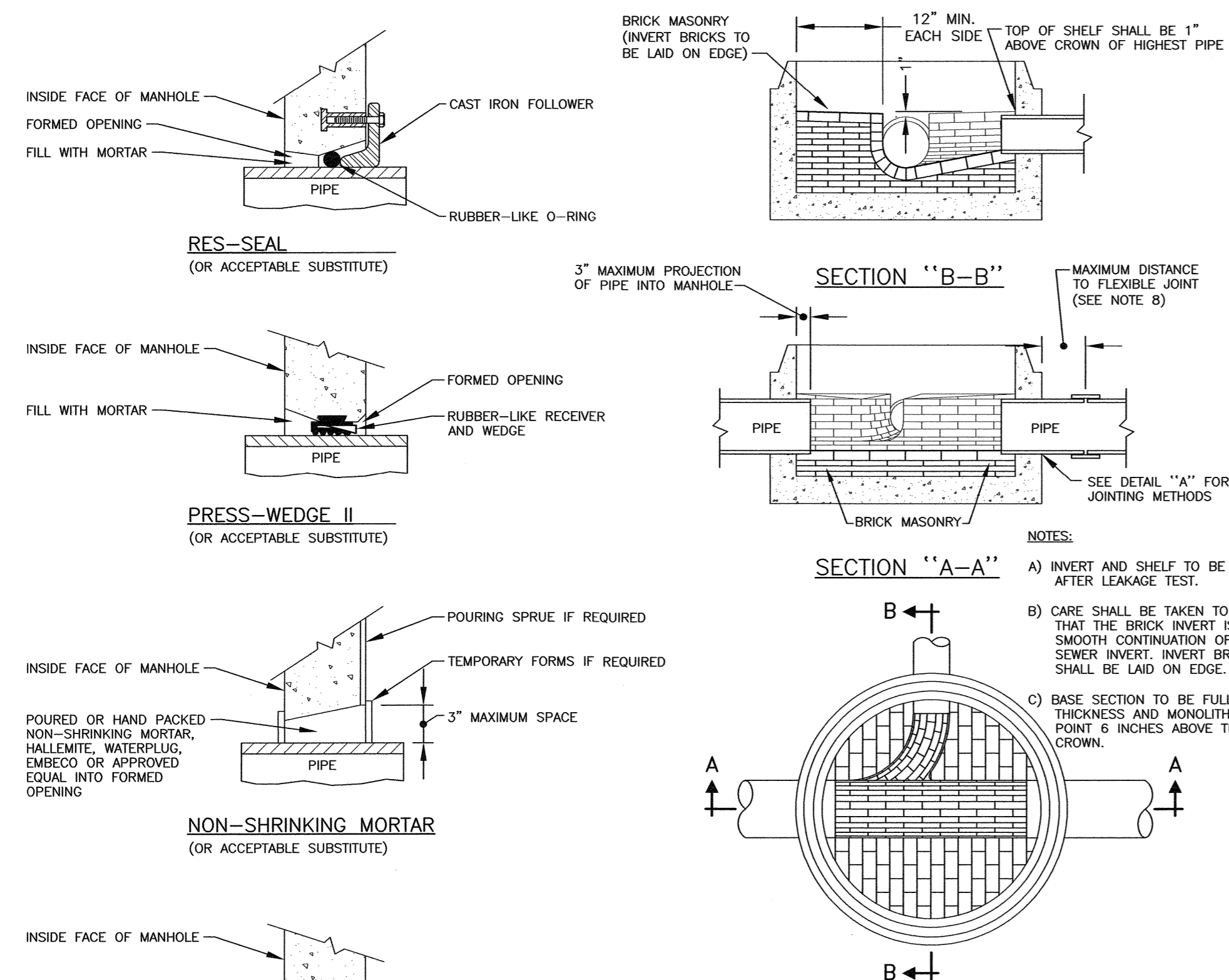
ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
AWWA C900	PVC (SOLID WALL)	8" THROUGH 18"

\*PVC: POLYVINYL CHLORIDE
    2. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE.
  - 3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
  - 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
  - 5) HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND REFILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.
  - 6) THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
  - 7) TESTING: WHEN REQUIRED BY THE GOVERNING AUTHORITY, TESTING SHALL CONFORM TO ENV-WQ 704.07.
  - 8) ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM HOUSE TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
  - 9) HOUSE WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE, UNLESS IT IS ON A SHELF 12" HIGHER, AND 18" APART.
  - 10) BEDDING: PROCESSED GRAVEL OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING THE FOLLOWING GRADATION (ALL STONE MUST HAVE AT LEAST 2 FRACTURED FACES):
 

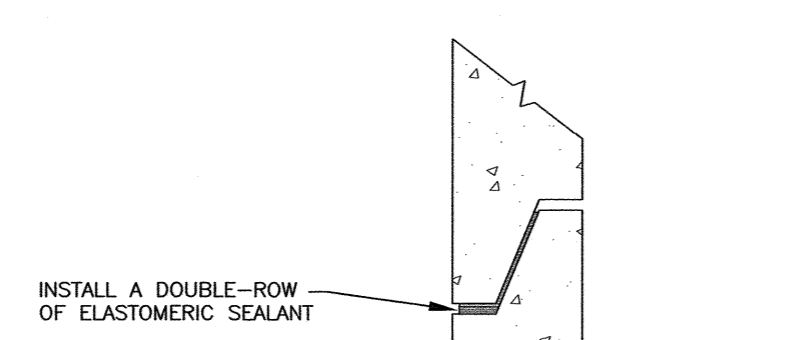
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90%-100% PASSING	3/4 INCH SCREEN
0%- 75% PASSING	3/8 INCH SCREEN
0%- 25% PASSING	#4 SIEVE
0%- 5% PASSING	#10 SIEVE

WHEN ORDERED BY THE ENGINEER, OVEREXCAVATE UNSTABLE TRENCH BOTTOM AND BACKFILL WITH CRUSHED STONE.
  - 13) BACKFILL UP TO SUBBASE GRAVEL SHALL BE WITH EXCAVATED SOIL FROM TRENCHING OPERATIONS. COMPACT IN 8" LIFTS WITH VIBRATORY PLATE COMPACTORS TO 90% OF MODIFIED PROCTOR DENSITY. IF FINE-GRAINED, COMPACT WITH POGO STICKS OR SHEEPSFOOT ROLLERS. PLACE NO LARGE ROCKS WITHIN 24" OF PIPE. TRENCHES THAT ARE NOT ADEQUATELY COMPACTED SHALL BE RE-EXCAVATED AND BACKFILLED UNDER THE SUPERVISION OF THE DESIGN ENGINEER OR GOVERNING BODY. UNSUITABLE BACKFILL MATERIAL INCLUDES CHUNKS OF PAVEMENT, TOPSOIL, ROCKS OVER 6" IN SIZE, MUCK, PEAT OR PIECES OF PAVEMENT.
  - 14) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY AND COMPLIANCE WITH GOVERNING REGULATIONS.
  - 15) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. FOR TRENCH WIDTH SEE TRENCH DETAIL.
  - 16) SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90% - 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
  - 17) BASE COURSE GRAVEL, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE:
 

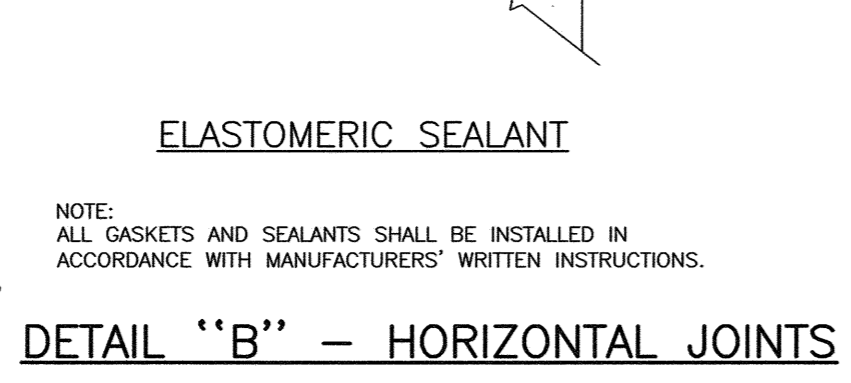
STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION.
  - 18) IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
  - 19) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
  - 20) THE PURPOSE OF THIS PLAN IS TO SHOW STANDARDS FOR SEWER CONSTRUCTION.
  - 21) ALL WORK SHALL BE IN COMPLIANCE WITH NHDES CODE OF ADMINISTRATIVE RULES PART ENV-WQ 704 DESIGN OF SEWERS.



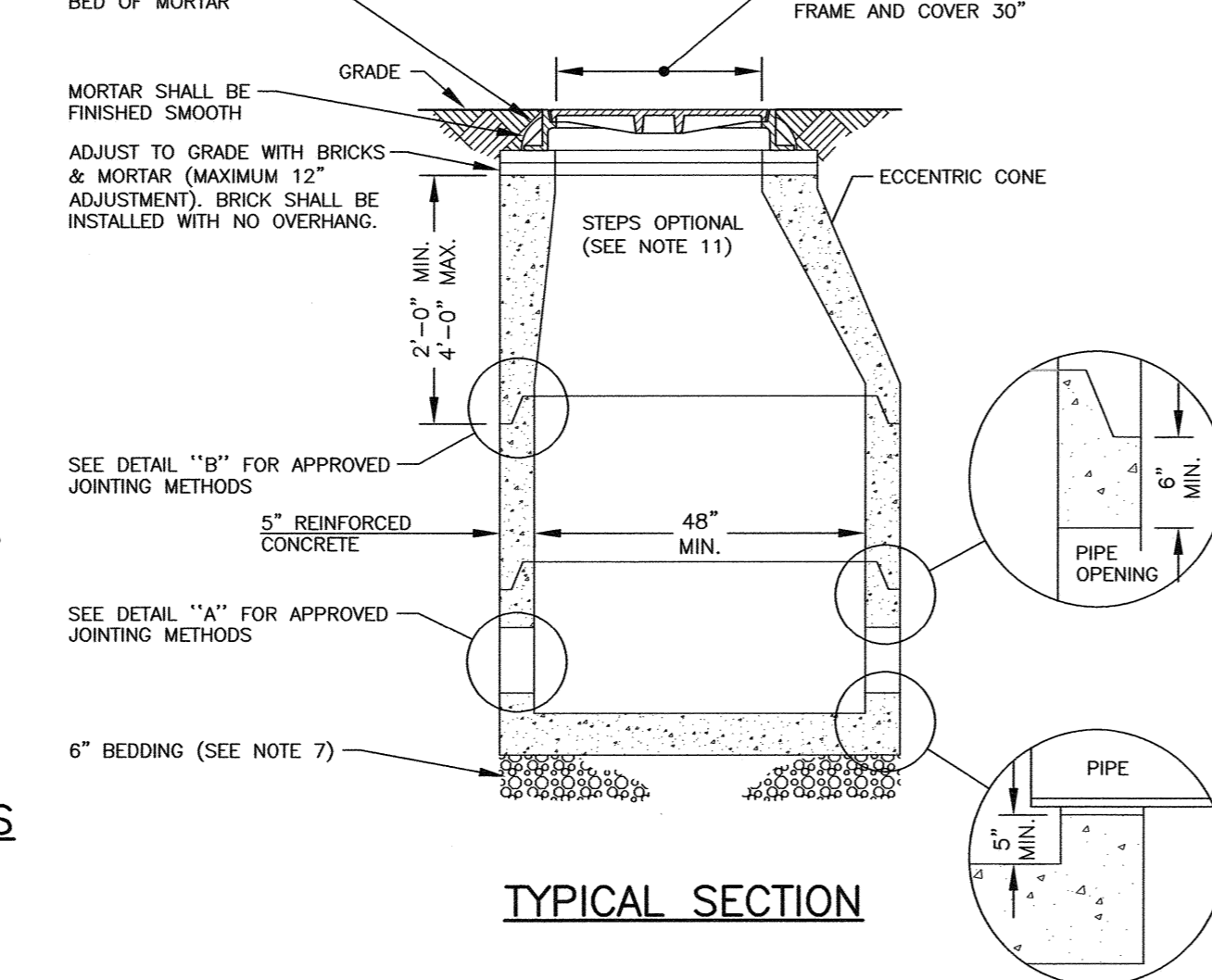
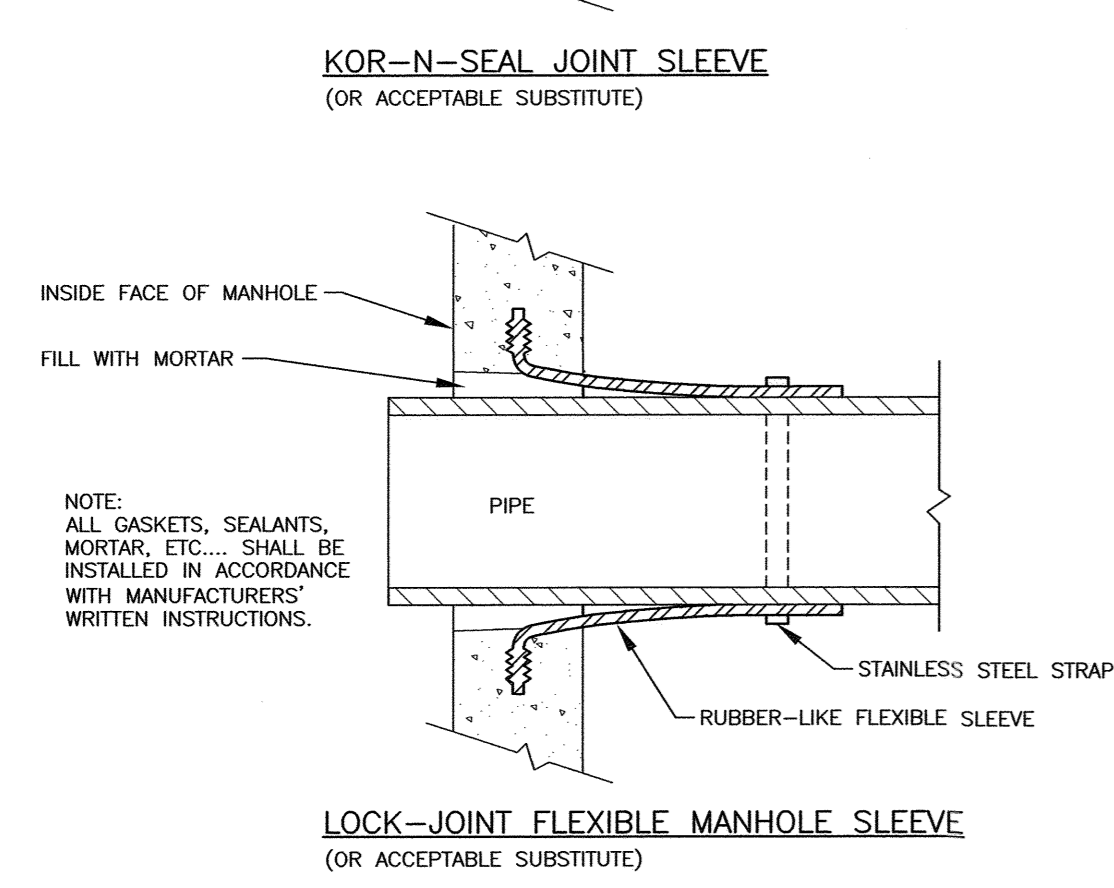
**TYPICAL MANHOLE - PLAN VIEW**



**DETAIL "B" - HORIZONTAL JOINTS**



**DETAIL "A" - PIPE TO MANHOLE JOINTS**



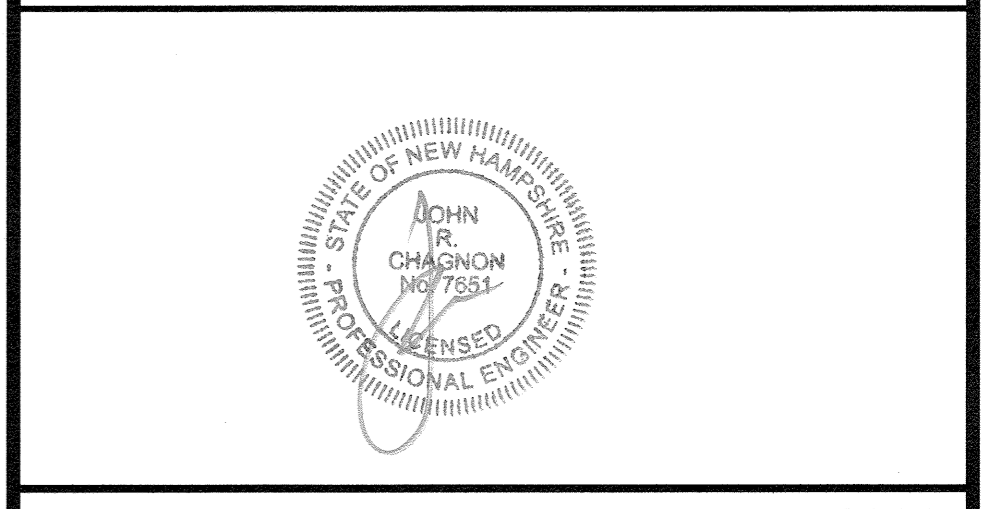
**SEWER MANHOLE DETAILS**  
INSTALL PER PORTSMOUTH REQUIREMENTS NTS

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**MIXED USE DEVELOPMENT**  
**581 LAFAYETTE ROAD**  
**PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	11/20/23
NO.	DESCRIPTION	DATE
REVISIONS		



SCALE: AS NOTED NOVEMBER 2023

**SEWER DETAILS** **D5**



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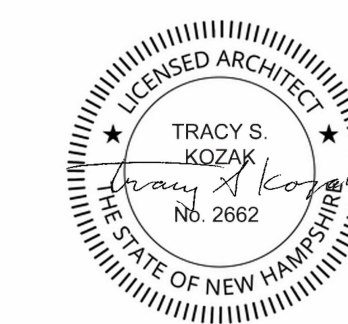
### 581 Lafayette Road Apartments

581 LAFAYETTE RD  
PORTSMOUTH, NH 03801

PROJECT NO: 1013

**OWNER**  
ATLAS COMMONS, LLC  
3 PLEASANT STREET, SUITE 400  
PORTSMOUTH, NH 03801  
603.427.0725

**CIVIL ENGINEERING**  
AMBIT ENGINEERING, A DIVISION OF  
HALEY WARD  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, NH 03801  
603.430.9282  
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#### SITE PLAN REVIEW

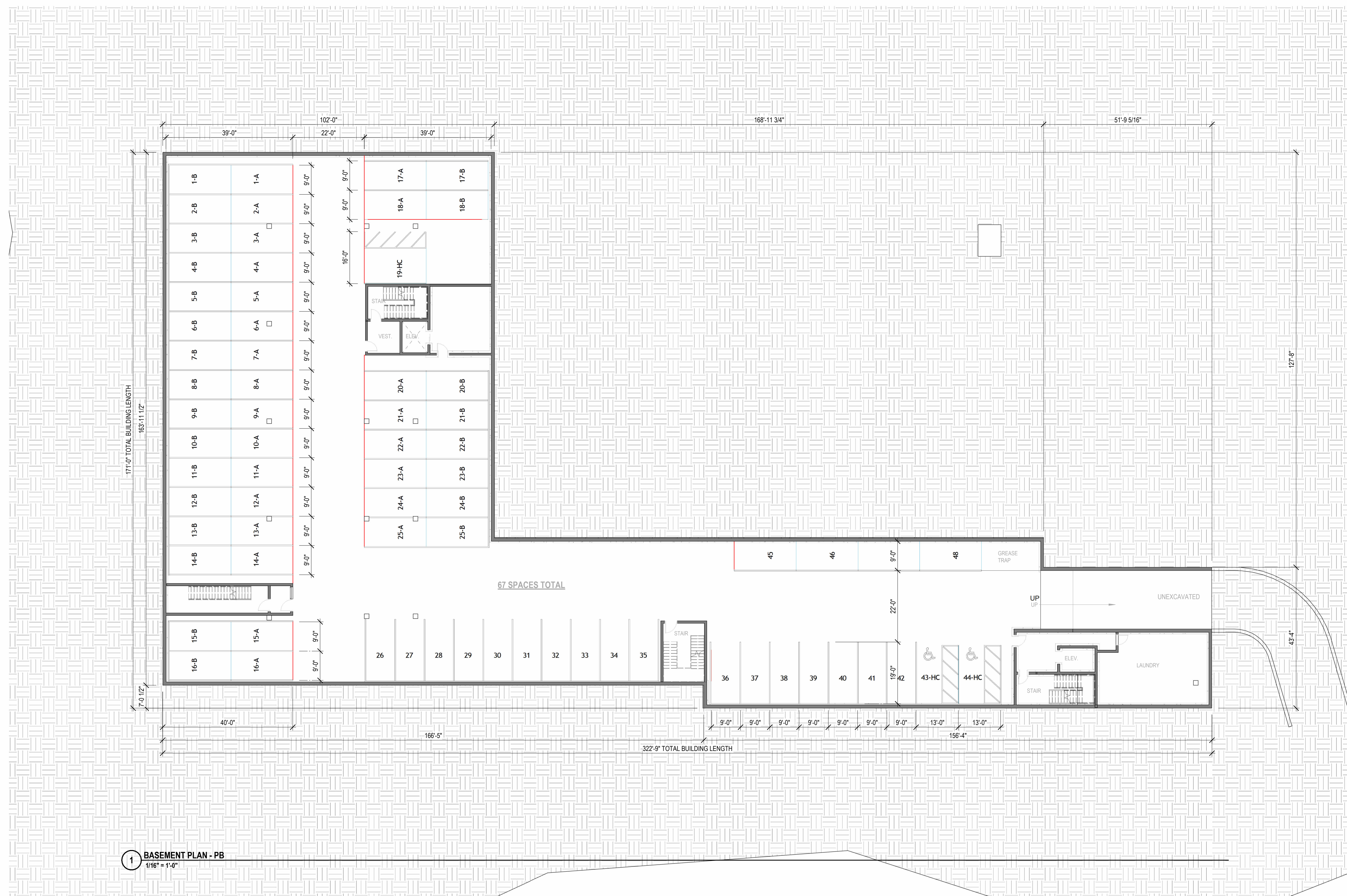
#### REVISIONS

NO.	DATE	DESCRIPTION

### BASEMENT PLAN

SCALE: 1/16" = 1'-0"  
DATE: 11/20/2023  
DRAWN: Author  
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# PB1.01



1 BASEMENT PLAN - PB  
1/16" = 1'-0"



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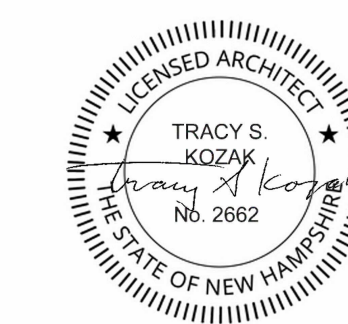
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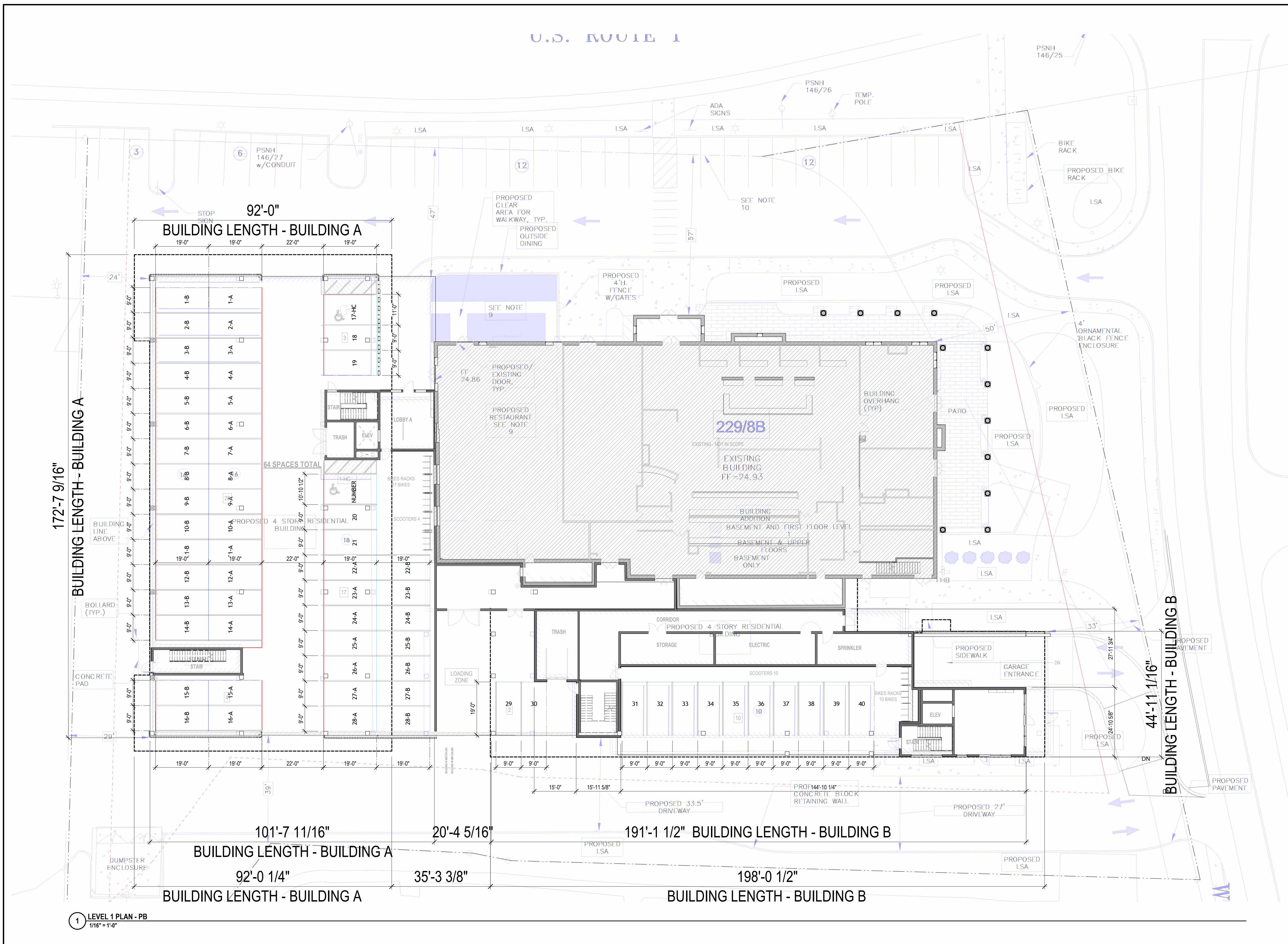
#### REVISIONS

NO.	DATE	DESCRIPTION

### LEVEL 1 FLOOR PLAN

SCALE: 1/16" = 1'-0"  
 DATE: 11/20/2023  
 DRAWN: Author  
 CHECKED: Checker

# PB1.02



1 LEVEL 1 PLAN - PB  
 1/16" = 1'-0"



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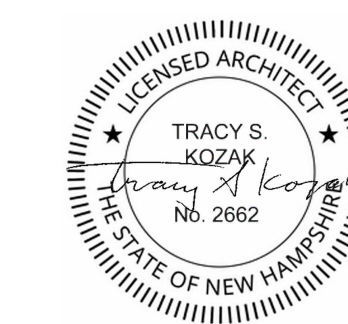
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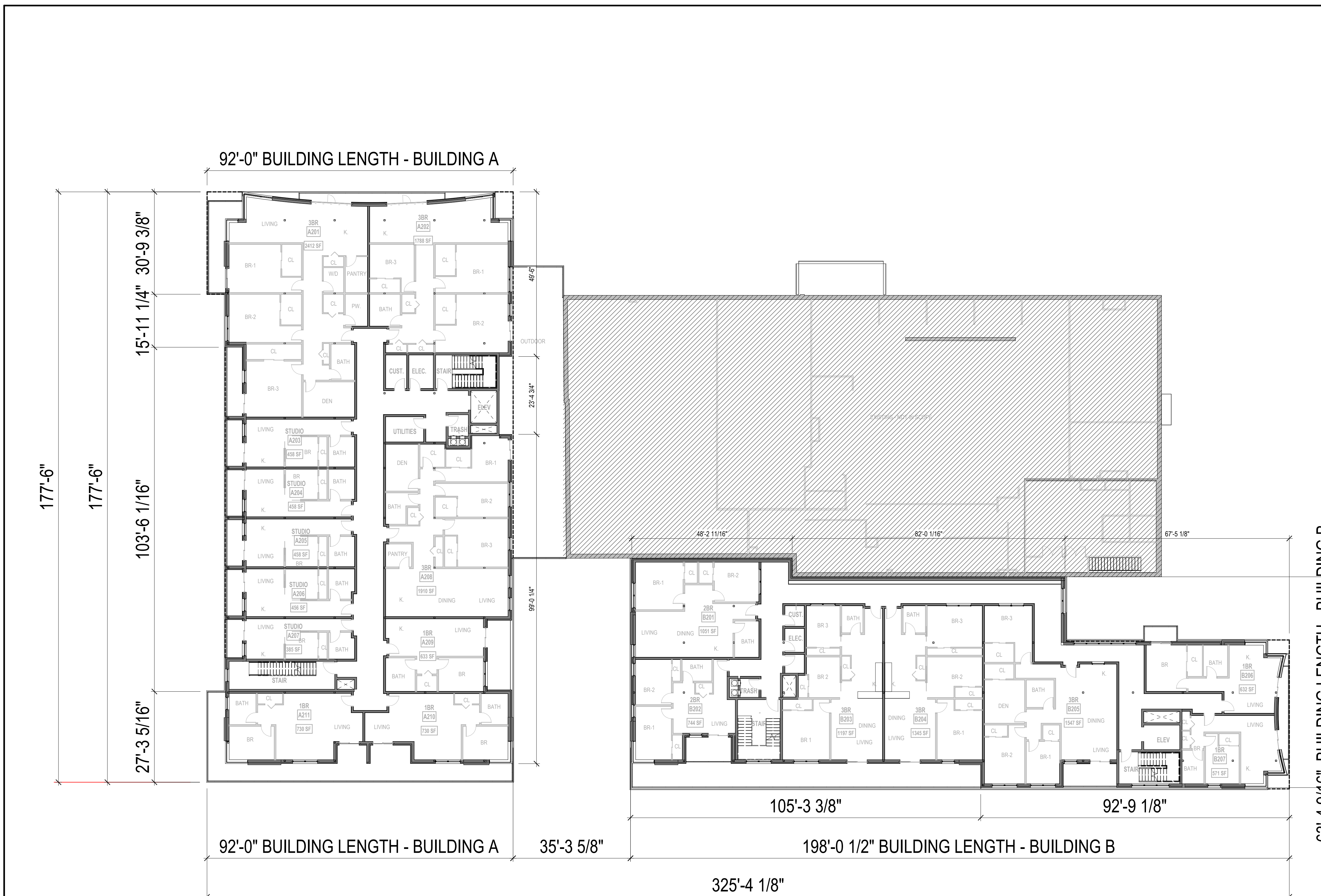
#### REVISIONS

NO.	DATE	DESCRIPTION

### LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0"  
 DATE: 11/20/2023  
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# PB1.03



1 LEVEL 2 PLAN - PB  
 1/16" = 1'-0"





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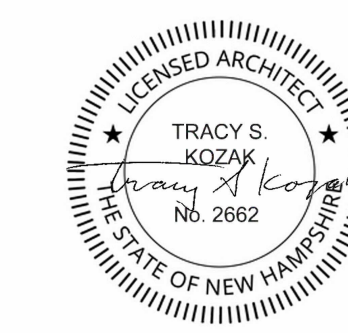
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### LEVEL 3 FLOOR PLAN

SCALE: 1/16" = 1'-0"  
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# PB1.04



1 LEVEL 3 PLAN - PB  
 1/16" = 1'-0"



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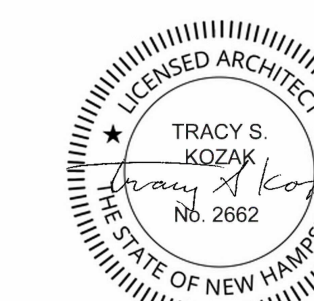
**581 Lafayette Road  
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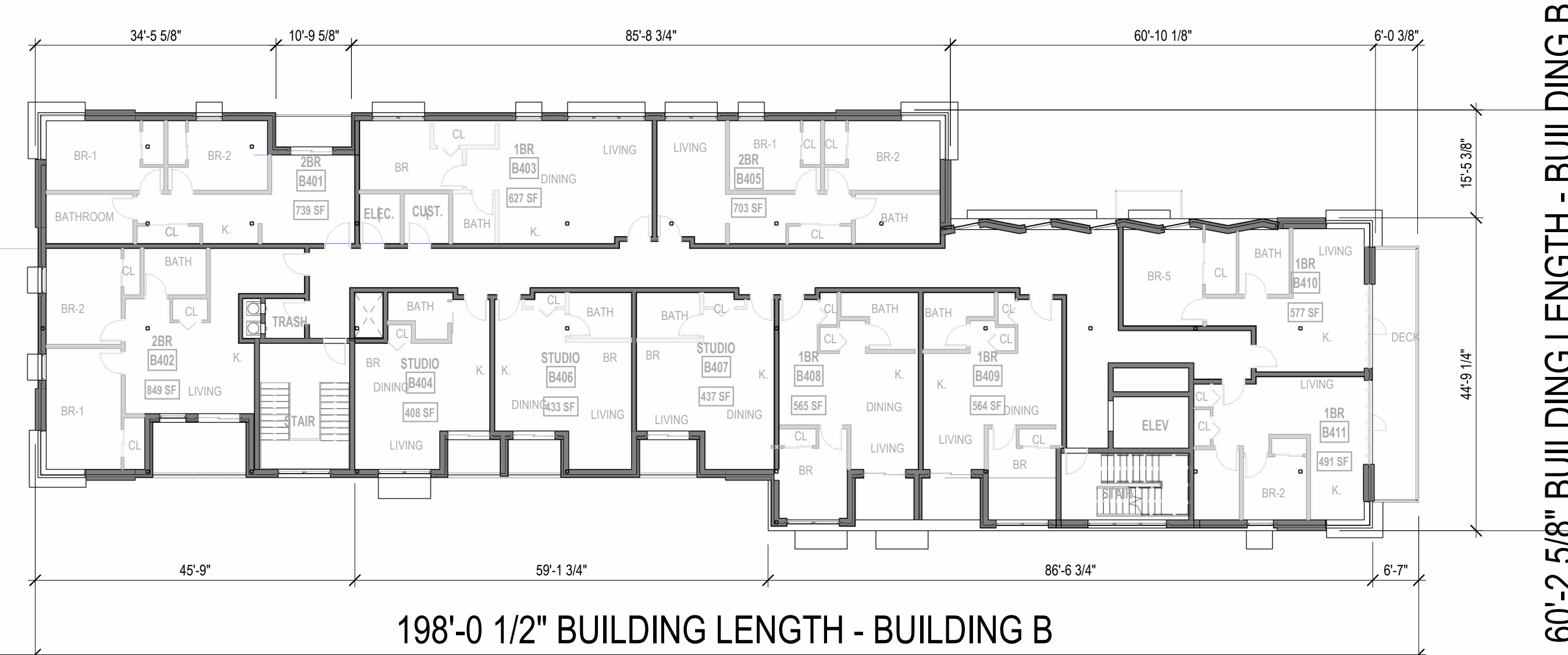
**REVISIONS**

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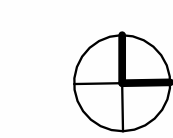
**LEVEL 4 FLOOR  
 PLAN**

SCALE: 1/16" = 1'-0"  
 DATE: 11/20/2023  
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**PB1.05**



1 LEVEL 4 PLAN - PB  
 1/16" = 1'-0"





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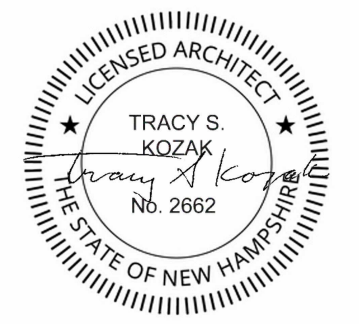
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#### LEVEL 5 FLOOR PLAN

SCALE: 1/16" = 1'-0"  
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# PB1.06

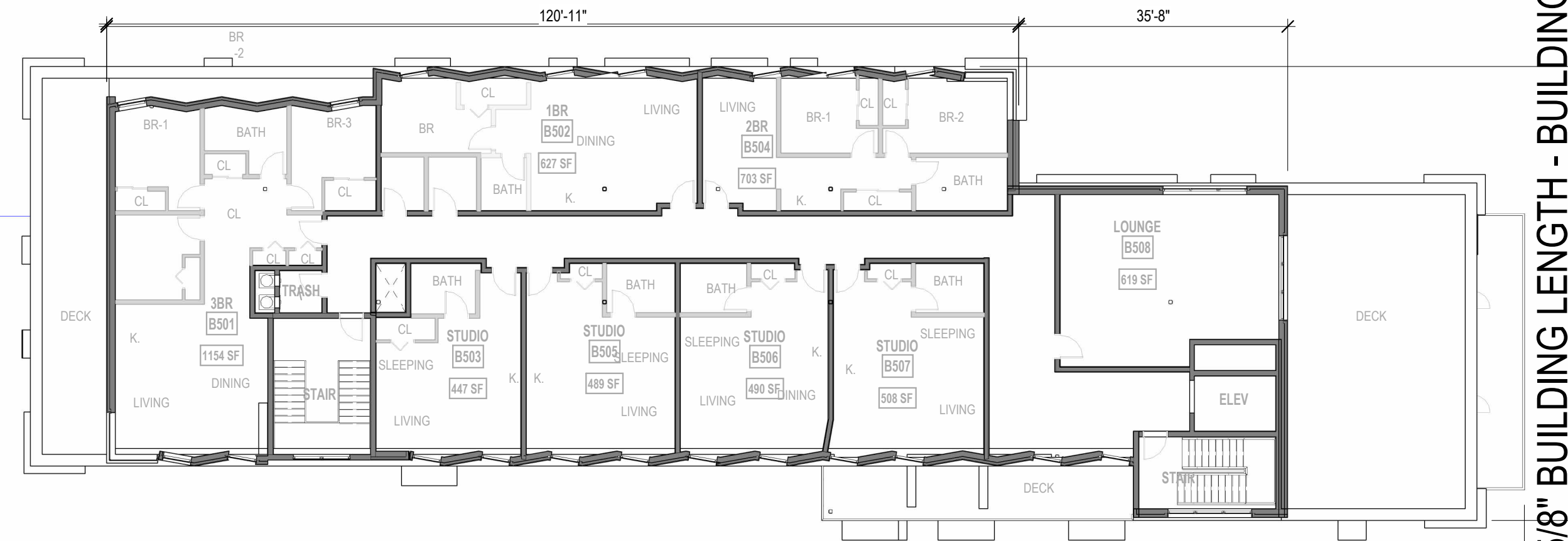
89'-6 11/16" BUILDING LENGTH - BUILDING A

172'-0 1/2" BUILDING LENGTH - BUILDING A



90'-7 5/8" BUILDING LENGTH - BUILDING A

232'-2 1/2" BUILDING LENGTH - BUILDING B



60'-2 5/8" BUILDING LENGTH - BUILDING B



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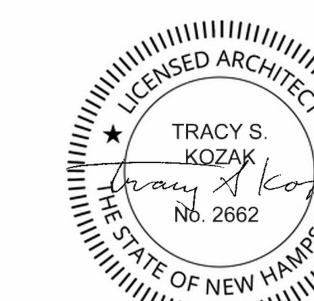
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**ROOF FLOOR  
 PLAN**

SCALE: 1/16" = 1'-0"  
 DATE: 11/20/2023  
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**PB1.07**





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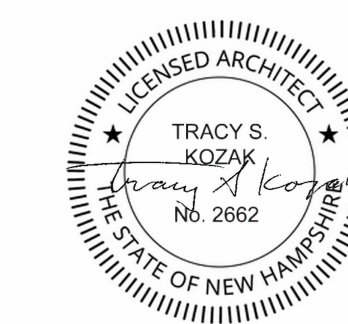
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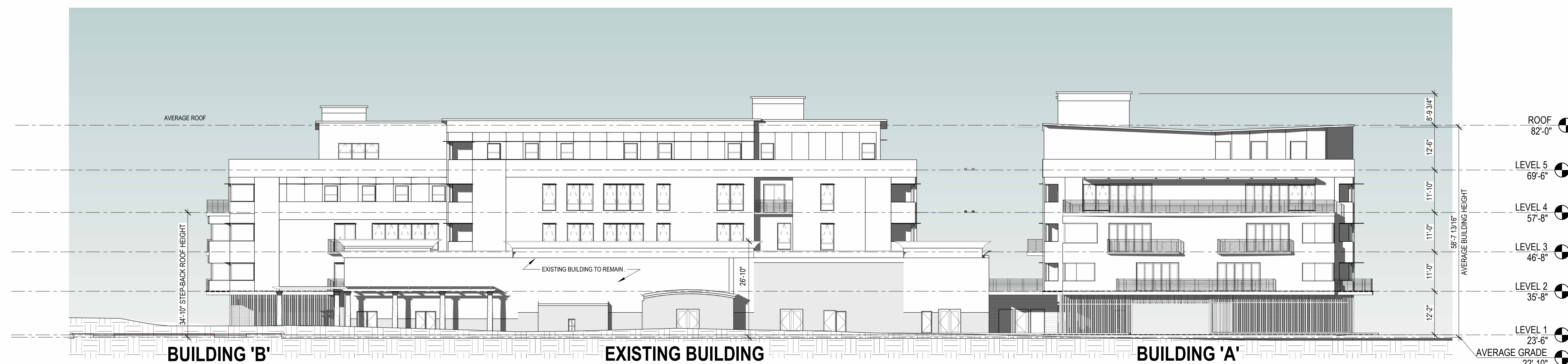
#### REVISIONS

NO.	DATE	DESCRIPTION

#### ELEVATIONS

SCALE: 1/16" = 1'-0"  
 DATE: 11/20/2023  
 DRAWN: HA  
 CHECKED: TK

# PB1.08



2 WEST ELEVATION PB  
 1/16" = 1'-0"



1 NORTH ELEVATION PB  
 1/16" = 1'-0"



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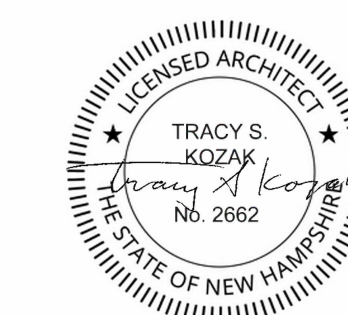
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#### ELEVATIONS

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 CHECKED: Checker

# PB1.09



2 EAST ELEVATION PB  
 1/16" = 1'-0"



1 SOUTH ELEVATION PB  
 1/16" = 1'-0"



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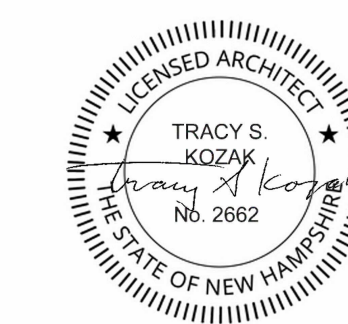
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#### REVISIONS

NO.	DATE	DESCRIPTION

#### RENDERING

SCALE:  
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DRAWN: Author  
CHECKED: Checker

# PB1.10

