



200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

6 July 2023

Rick Chellman, Planning Board Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for Preliminary Conceptual Consultation at 581 Lafayette Road, Mixed Use Site Development – Residential Addition

Dear Mr. Chellman and Planning Board Members:

On behalf of Atlas Commons, LLC we are pleased to submit the attached plan set for **Preliminary Conceptual Consultation** for the above-mentioned project and request that we be placed on the agenda for your **July 20, 2023**, Planning Board Meeting. The project consists of the addition of residential dwelling units in a proposed addition to the existing commercial building at 581 Lafayette Road with the associated and required site improvements. The new building addition is intended to add much needed housing in a desirable location where significant walkable amenities are in close proximity. Additionally, the site is near a Coast bus stop. The re-development will include some parking below street level.

The application conforms to the required density and development standards with some exceptions. The project therefore requires the filing of an application with the Zoning Board of Adjustment for those items. The development team would like feedback from the Planning Board before committing to that part of the process. This applicant seeks **Preliminary Conceptual Consultation** with the Planning Board as required under Section 2.4.2.1 of the Site Plan Regulations.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows proposed site demolition prior to construction.
- Site Plan C3 – This plan shows the site development with the associated Zoning Table and Impervious Surface calculations.
- Parking Plan C4 – This plan shows the lower-level parking layout and details the required parking.
- Floor Plans, Elevations, and Renderings PB 1.01 to PB 1.10 – These plans show proposed floor plans, building elevations, and building renderings.

We look forward to the Planning Boards review of this submission and the Boards feedback on the proposed design.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Chagnon', with a long horizontal flourish extending to the right.

John R. Chagnon, PE
CC: 581 Lafayette Team

COMMERCIAL DEVELOPMENT

581 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

SITE PERMIT PLANS- PRELIMINARY CONCEPTUAL CONSULTATION

OWNER:

ATLAS COMMONS, LLC
3 PLEASANT STREET
SUITE #400
PORTSMOUTH, NH 03801

LANDSCAPE ARCHITECT:

TERRA FIRMA LANDSCAPE
ARCHITECTURE
163A COURT STREET
SUITE #400
PORTSMOUTH, NH 03801
TEL. (603) 430-8388

CIVIL ENGINEER:

AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

ARCHITECT:

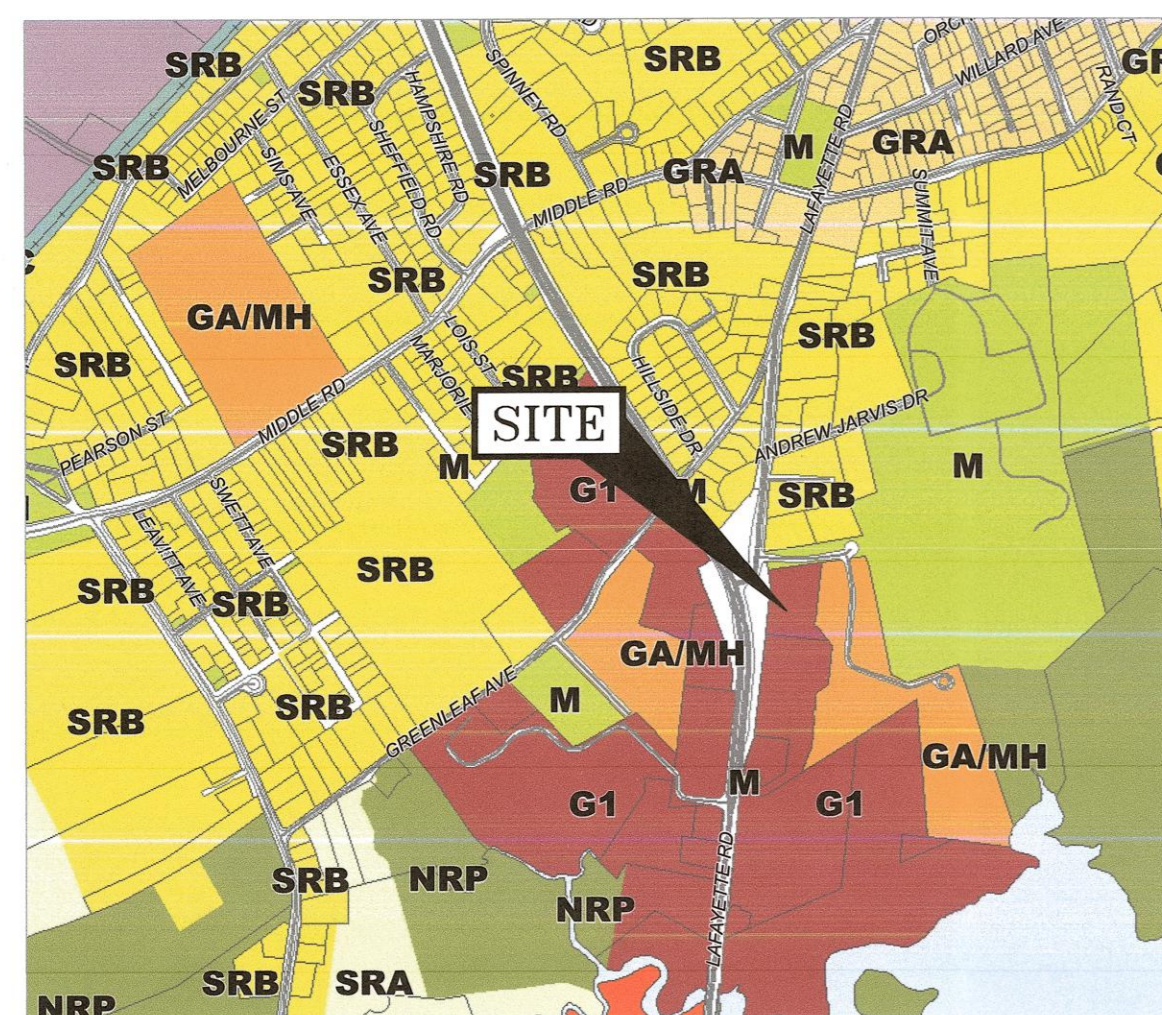
ARCOVE ARCHITECTS
3 CONGRESS STREET, SUITE 1
PORTSMOUTH, NH 03801
TEL. (603) 988-0042

PERMIT LIST:

NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED
PORTSMOUTH ZONING BOARD: TO BE SUBMITTED

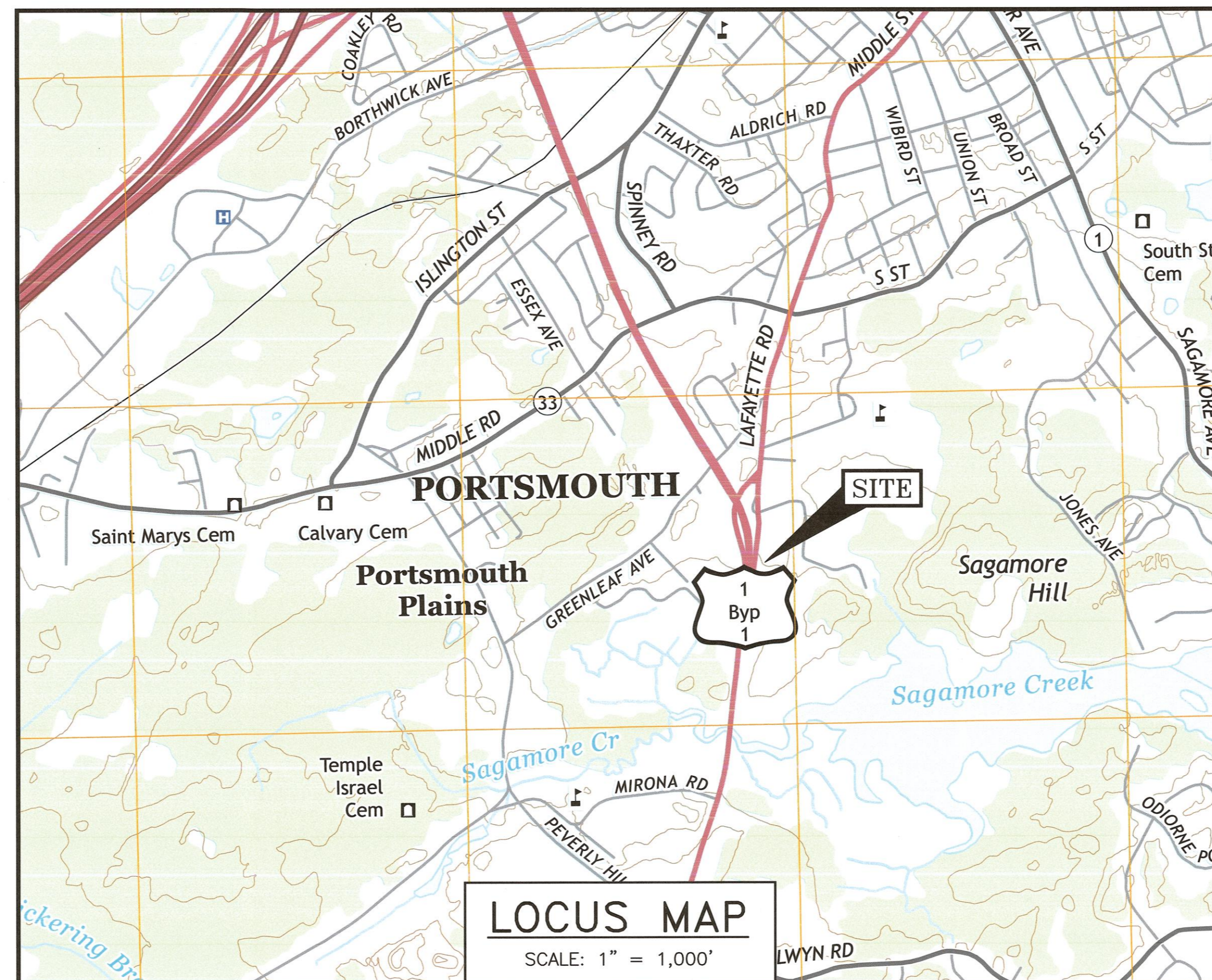
LEGEND:

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
UD	UD	FOUNDATION DRAIN
100	100	EDGE OF PAVEMENT (EP)
97x3	98x0	CONTOUR
○	○	SPOT ELEVATION
○	○	UTILITY POLE
☀	☀	WALL MOUNTED EXTERIOR LIGHTS
☀	☀	TRANSFORMER ON CONCRETE PAD
☀	☀	ELECTRIC HANDHOLD
☀	☀	SHUT OFFS (WATER/GAS)
☀	☀	GATE VALVE
☀	☀	HYDRANT
☀	☀	CATCH BASIN
☀	☀	SEWER MANHOLE
☀	☀	DRAIN MANHOLE
☀	☀	TELEPHONE MANHOLE
☀	☀	PARKING SPACE COUNT
☀	☀	PARKING METER
☀	☀	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



Mixed Residential Districts

MRO	Mixed Residential Office
MRB	Mixed Residential Business
G1	Gateway Corridor
G2	Gateway Center



INDEX OF SHEETS

DWG No.	Description
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
C4	PARKING PLAN
-	FLOOR PLANS
-	ELEVATIONS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

**SITE PERMIT PLANS-
PRELIMINARY CONCEPTUAL CONSULTATION
COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**



200 Griffin Road, Unit 3
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603.430.9282

WWW.HALEYWARD.COM

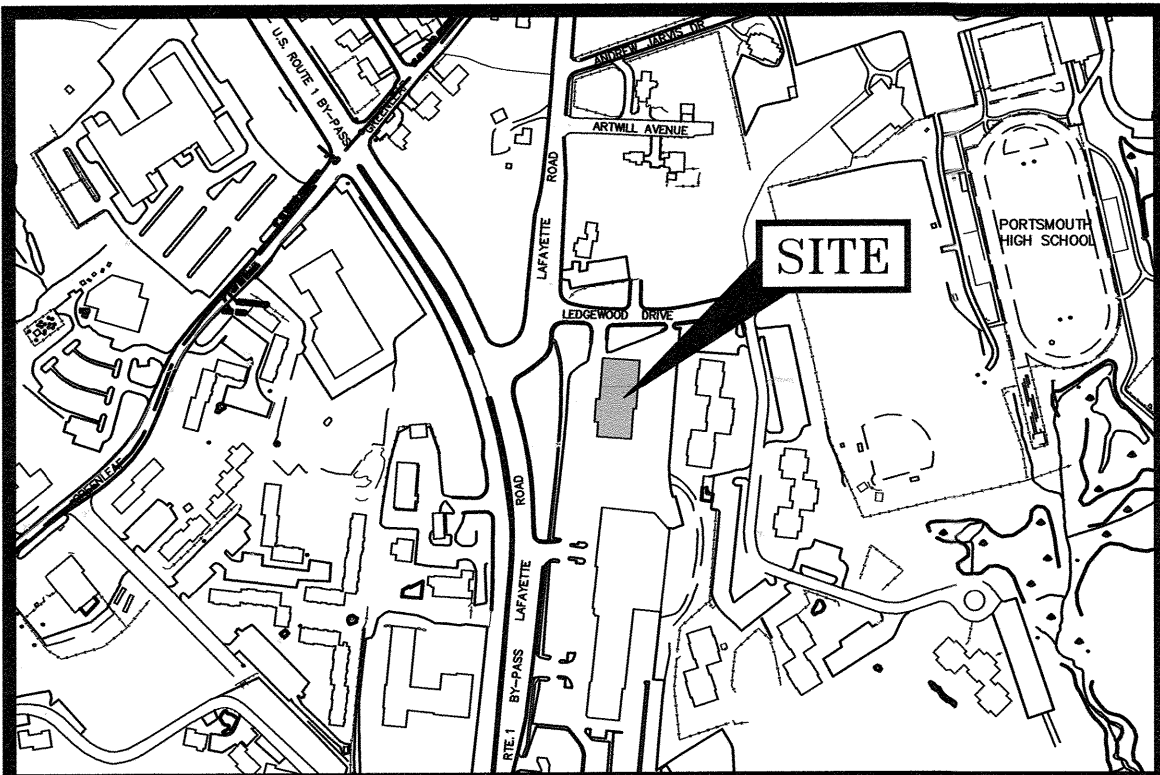
PLAN SET SUBMITTAL DATE: 6 JULY 2023

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

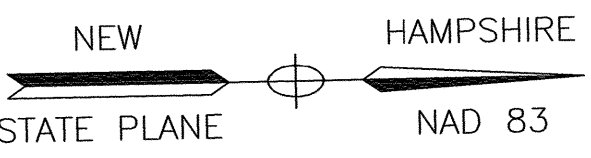
CHAIRMAN

DATE



SEWER STRUCTURE SCHEDULE					
STRUCTURE	PROP/EX	RIM	PIPE SIZE	INVERT	DIRECTION
SMH 1	EX	23.23	8" PVC	16.01	IN
SMH 1	EX	23.23	8" PVC	15.91	OUT
GREASE TRAP 1	EX	23.63		17.58	OUT
GREASE TRAP 1	EX	23.63		17.23	OUT

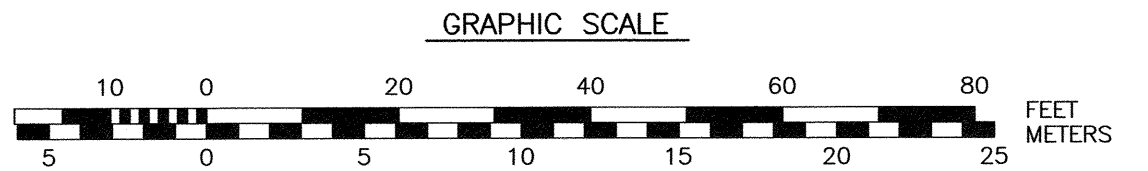
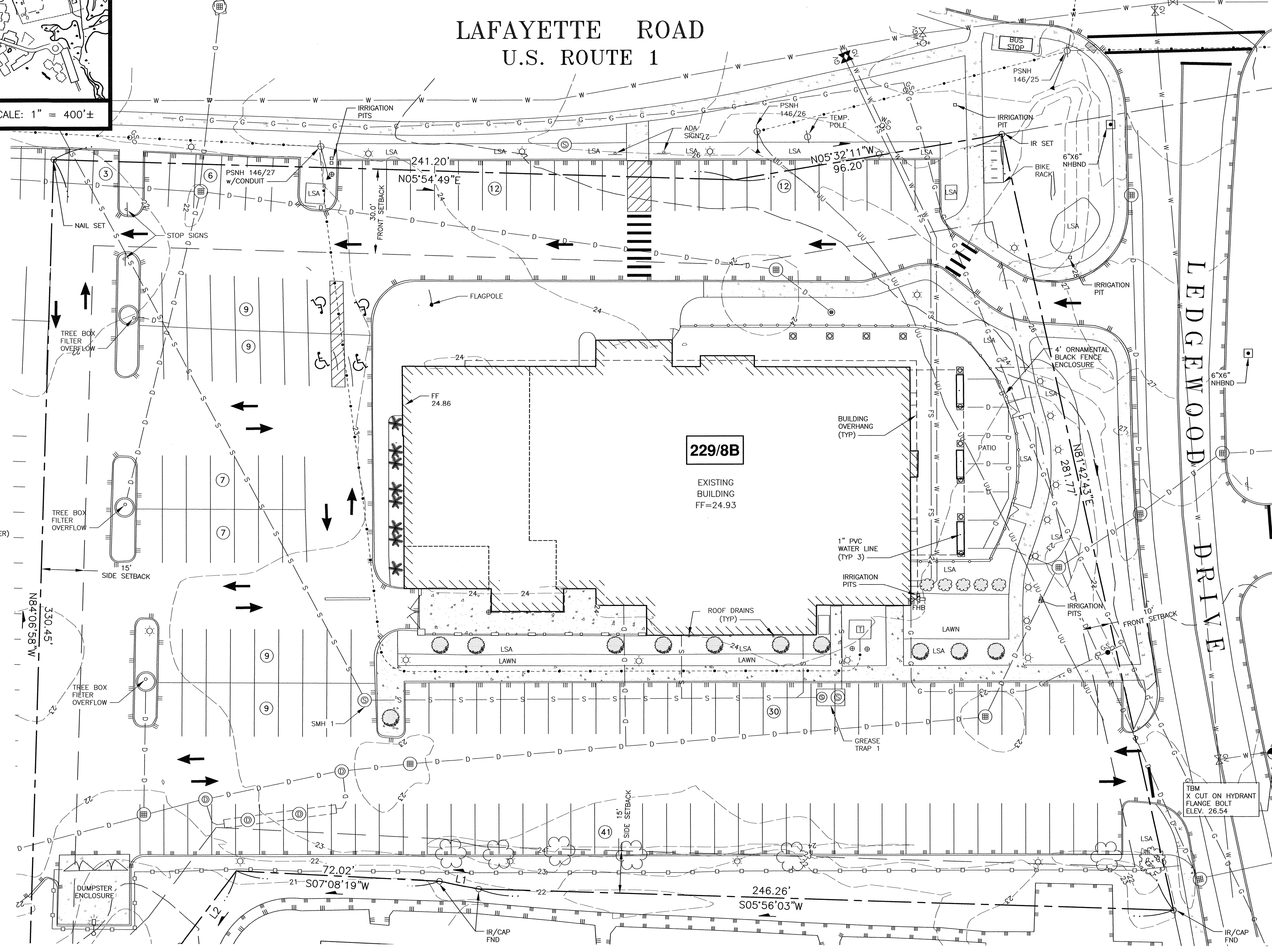
LENGTH TABLE		
LINE	BEARING	DISTANCE
L1	S15°17'27"W	14.20'
L2	S48°43'16"E	33.26'



LAFAYETTE ROAD U.S. ROUTE 1

LOCATION MAP SCALE: 1" = 400'±

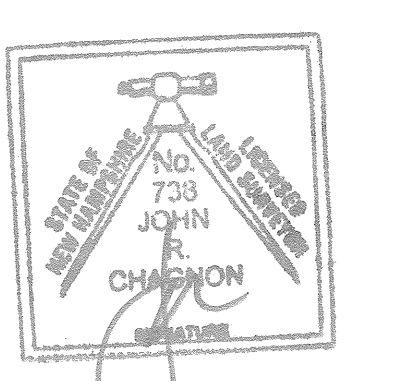
EXISTING	DESCRIPTION
(124/21)	MAP 124 / LOT 21
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
---	BOUNDARY LINE
- - -	SETBACK LINE
RR SPK FND	RAILROAD SPIKE FOUND
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
DH FND	DRILL HOLE FOUND
BND w/ DH	BOUND w/ DRILL HOLE
FM	FORCE MAIN
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	POTABLE WATER LINE
---	UNDERGROUND ELECTRIC
---	OVERHEAD WIRES
---100---	CONTOUR LINE
97x3	SPOT ELEVATION
---	EDGE OF PAVEMENT
W	WOODS / TREE LINE
U	UTILITY POLE (w/ GUY) (w/ LIGHT)
L	LIGHT POLE
CV	SHUTOFF/CURB STOP (WATER, GAS, SEWER)
GV	GATE VALVE
HYD.	HYDRANT
CB	CATCH BASIN
TM	TELEPHONE MANHOLE
SM	SEWER MANHOLE
DM	DRAIN MANHOLE
FF	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
 - 2) OWNERS OF RECORD: ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
 - 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270F, EFFECTIVE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
98,124 S.F.
2.2526 AC
 - 5) PARCEL IS LOCATED IN THE GATEWAY (GW) DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 43,560 S.F.
FRONTAGE: 200 FT.
DEPTH: 100 FT.
SETBACKS:
FRONT: 30 FT.
SIDE: 30 FT.
REAR: 50 FT.
MAXIMUM STRUCTURE HEIGHT: 40 FT.
MAXIMUM ROOF APPURTENANCE HEIGHT: 10 FT.
MAXIMUM BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: 20%
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 229 LOT 8B.
 - 8) EASEMENTS & RESTRICTIONS:
A) ROAD/UTILITY EASEMENT AREA: SEE C-3316 AND RCRD 2110/428 AND 2184/184. THIS EASEMENT WAS PARTIALLY TERMINATED ON 11/9/15: SEE RCRD 5669/0645.
B) 30' RIGHT OF WAY: SEE D-8806 AND 5446/2589.
C) MUTUAL PARKING AND ACCESS RIGHTS FOR LOTS 1-3 ON PLAN D-8806 ARE OF RECORD. RCRD 2343/128 AND 5446/2588.
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

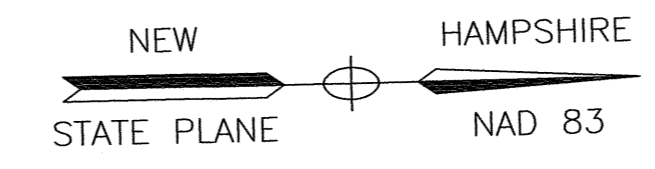
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/5/23



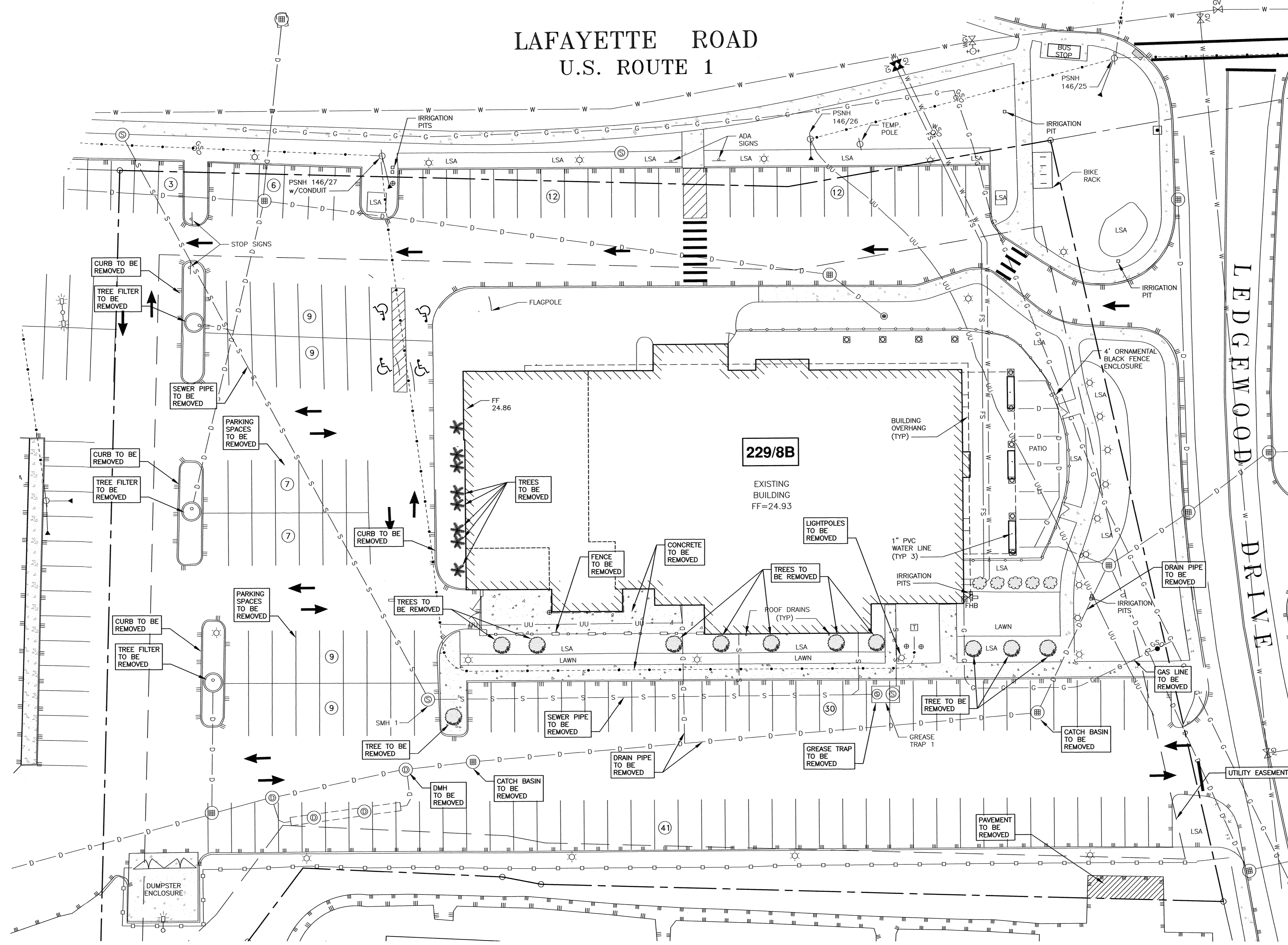
SCALE: 1"=20' FEBRUARY 2023

EXISTING CONDITIONS PLAN **C1**

P:\NH\2019\195-A\195-A\Drawings\19703-Lafayette Rd. Portsmouth-NH\19703-Plans & Specifications\19704-EXISTING 2023.dwg, 7/5/2023 1:47:41 PM, Portmouth Plotter Color, 7/5/2023



**LAFAYETTE ROAD
U.S. ROUTE 1**

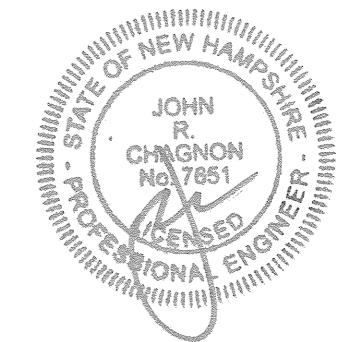


NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**COMMERCIAL
DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/5/23



SCALE: 1"=20' FEBRUARY 2023

**DEMOLITION
PLAN**

C2

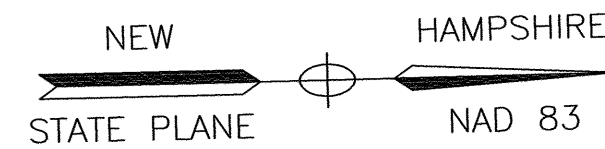
PLAN 1397.04-25-1397.04-DEMOLITION PLAN FOR EXISTING 581 LAFAYETTE RD., PORTSMOUTH, NH 03801, 7/6/2023 1:35:21 PM.
 Portsmouth Project: 1397.04-25-1397.04-DEMOLITION PLAN FOR EXISTING 581 LAFAYETTE RD., PORTSMOUTH, NH 03801, 7/6/2023 1:35:21 PM.

**IMPERVIOUS SURFACE AREAS
(TO PROPERTY LINE)**

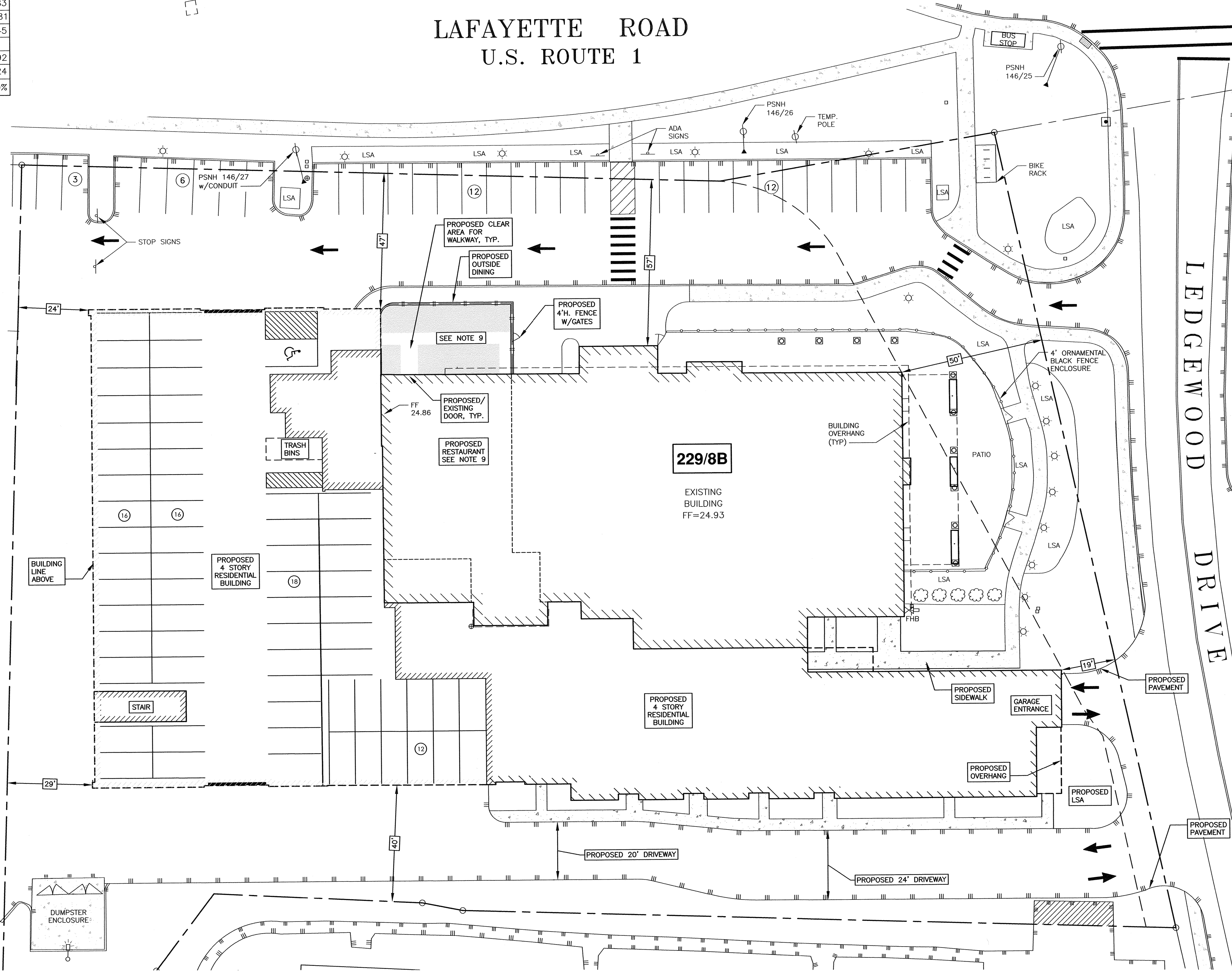
STRUCTURE	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	44,632
CONCRETE/SIDEWALK	3,996
PAVEMENT	29,483
PATIO	5,281
CURB	245
TOTAL	83,392
LOT SIZE	98,124
% LOT COVERAGE	85.0%

ZONING TABLE

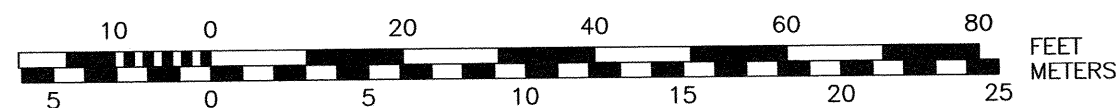
Zone	additions	proposed
G1		
Height	4 stories or 50 ft, for apartments in G1. 10.5B.22.20, at streets <60' row: 30' max <25' setback 45' max <50' setback 60' max >50' (verify)	35/3 stories at street fronts 45/4 stories beyond 50/4 stories at center
perthouses & appurtenances	10' above allowed building height	<10'
Roof appurtenance	Roof decks, roof gardens, and related structures and appurtenances shall not be counted in the building height limits.	<10'
Facade Types	forecourt, recessed entry, dooryard, step, porch	recessed entry
Building Types	Dwelling units	Workforce Housing: 3 stories Podium parking at street level and one level below grade
Setbacks (ft) *		
Front (principle)	70'-90' from cl of Lafayette Rd	>90'
Front (secondary)	min 10' & max 30' from Lot Line at Ledgewood	19'
Side	Minimum side setback: 15 ft. Where a development site includes a more than one building type, the minimum building setback to interior lot lines shall be 0 feet	40'
Rear	N/A Minimum rear setback 20 ft (& 25 ROW easement)	24'
Front lot line buildout residential	50%	85%
Front lot line buildout commercial/mixed-use	75%	85%
Frontage, Lafayette	100 ft min	337.4'
Lot area (sq ft)	NR	
area per dwelling	Workforce Housing units for rent: min 10% or 2 units, min. 800 sq ft or average unit size (larger of two)	1,363
Coverage, maximum	50%	85%
Footprint, max	NR	
Offstreet parking	For developments located on public transit with year round, 5-days-per-week, fixed route service and where at least 50% of the building(s) are within 1/4 mile of a transit stop, the minimum offstreet parking shall be reduced by 20%.	170
ground floor area per use, max	NR	parking
Open space, minimum	20%	15%
permitted uses (G1)	multifamily, restaurant	multifamily
building length, max (ft)	200	236
facade modulation length, max (ft)	A) Symmetrical and vertically articulated bays >6' & <50' wide, minimum 3. B) Buildings greater than one hundred (100) feet in width shall read as a series of smaller buildings with varied architectural design and facade glazing patterns; or include a change in vertical plane of the facade of at least four (4) feet (in depth or projection) for at least one (1) bay in width for every one hundred (100) feet of total facade width. This change in plane applies to the entire height of the facade.	modulations < 100 ft
entrance spacing, max (ft)		entries facing street fronts
floor height above sidewalk, max	36"	8"
ground floor height, min		13'
second floor height, min		11'
glazing, shopfront, min	20%	Streetfront Glazing at lobby entrances 100%. Sides & rear: podium parking at first floor, some open and some screening
glazing, other	NR	
roof types(pitch)	All flat roofs must have "parapet wall that acts as a structural expression of the building facade and its materials) 1 bicycle space for each 5 dwellings units or portion thereof Off-site parking: Less than 500 sq. ft. 0.5 spaces per unit. 500-700 sq. ft. 1.0 space per unit Over 750 sq. ft. 1.3 space per unit	flat
Parking, off-street,	10.1112.312 In addition to the off-street parking spaces provided in accordance with Sec. 10.1112.311, any dwelling or group of dwelling on a lot containing more than 4 dwelling units shall provide one visitor parking space for every 5 dwelling units or portion thereof.	170
Units density	24 units per building. 36 units exception for workforce housing Conditional Use Permit under the provisions for Density Bonuses in Section 10.5B72&10.5B72	36 units per building * 2 buildings = 72 units



**LAFAYETTE ROAD
U.S. ROUTE 1**



GRAPHIC SCALE



AMBIT ENGINEERING, INC.
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

WWW.HALEYWARD.COM

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
 - 2) OWNERS OF RECORD:
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3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
 - 3) THE PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0270E, EFFECTIVE MAY 17, 2005
 - 4) EXISTING LOT AREA:
98,124 S.F.
2.2526 AC
 - 5) PARCEL IS LOCATED IN THE GATEWAY CORRIDOR (G1) DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE SECTION 10.5B22.10
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED BUILDING ADDITION ON TAX MAP 229 LOT 8B.
 - 8) DESIGN BASED ON ARCHITECTURAL PLAN BY ARCOVE ARCHITECTS DATED 7/6/23.
 - 9) CONVERSION OF TUSCAN MARKETPLACE TO RESTAURANT (NORTHEASTERN THAI, LLC)
- APPROVED UNDER PERMIT: LU-22-254

**COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/5/23

REVISIONS

SCALE: 1"=20' FEBRUARY 2023

SITE PLAN **C3**

P:\NH\2023\581 Lafayette Road\Projects\581 Lafayette Road\Portsmouth, NH\2023 Site Plan_191703.dwg - 191703.dwg, 1/19/23 10:44:54 AM, User: jchagnon

REQUIRED PARKING:

581 Lafayette Road Unit/Parking Analysis June 6, 2023			
1 bedroom units 500-900 sf			
Level	Room No.	Area (sf)	spaces/unit
LEVEL 4	B405	503	1.00
LEVEL 4	B404	503	1.00
LEVEL 1	B103	522	1.00
LEVEL 1	B104	523	1.00
LEVEL 3	B310	607	1.00
LEVEL 2	A211	624	1.00
LEVEL 3	A311	627	1.00
LEVEL 3	B306	673	1.00
LEVEL 4	B410	678	1.00
LEVEL 4	A411	680	1.00
LEVEL 3	B307	683	1.00
LEVEL 2	B206	693	1.00
LEVEL 4	B407	697	1.00
LEVEL 4	B402	699	1.00
LEVEL 3	B305	726	1.00
LEVEL 3	B308	733	1.00
LEVEL 3	B303	737	1.00
LEVEL 4	B406	738	1.00
LEVEL 4	B403	755	1.30
LEVEL 4	B408	800	1.30
LEVEL 3	B309	847	1.30
LEVEL 1	B105	848	1.30
1 bedroom units:	22		23.20

Studio 400-500 sf			
LEVEL 1	B102	418	0.50
LEVEL 2	A207	433	0.50
LEVEL 3	A307	433	0.50
LEVEL 2	A209	434	0.50
LEVEL 3	A309	434	0.50
LEVEL 3	B304	442	0.50
LEVEL 4	A407	500	0.50
LEVEL 4	A409	500	0.50
Studio units:	8		4.00

2 bedroom units 900-1,400 sf			
LEVEL 4	B409	919	1.30
LEVEL 4	B411	946	1.30
LEVEL 3	A303	981	1.30
LEVEL 2	A203	981	1.30
LEVEL 3	A305	988	1.30
LEVEL 3	A308	1007	1.30
LEVEL 4	A408	1016	1.30
LEVEL 4	A403	1036	1.30
LEVEL 4	A405	1037	1.30
LEVEL 2	A208	1043	1.30
LEVEL 2	A204	1060	1.30
LEVEL 3	A304	1060	1.30
LEVEL 3	A306	1062	1.30
LEVEL 4	A406	1071	1.30
LEVEL 4	A404	1072	1.30
LEVEL 3	B301	1228	1.30
LEVEL 2	B205	1244	1.30
LEVEL 4	B401	1249	1.30
LEVEL 2	B201	1281	1.30
LEVEL 2	B203	1308	1.30
LEVEL 2	B204	1371	1.30
2 bedroom units:	21		27.30

3+ Bedroom units 1,500 - 2,200 sf			
Level	Type	Area (sf)	spaces/unit
LEVEL 2	A205	1952	1.30
LEVEL 3	A312	1535	1.30
LEVEL 4	A412	1675	1.30
LEVEL 2	A201	2201	1.30
LEVEL 3	A301	2201	1.30
LEVEL 4	A401	1778	1.30
LEVEL 2	A212	1670	1.30
LEVEL 2	B207	1536	1.30
LEVEL 3	B311	1534	1.30
LEVEL 2	B202	1551	1.30
3 bedroom units:	10		13.00
Total Units	61		67.5

Parking Spaces Required per Unit Size	
0-500	0.5
500-750	1
750-1900	1.3



PARKING ANALYSIS
Zoning Ordinance 10.1112
June 14, 2023

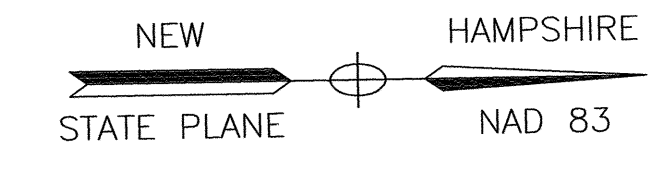
Apartments Parking Required			
Subtotal parking spaces required		67.5	with gateway deduct -20%
Apartment Parking Required		54	54

Restaurant/Recreation Parking Required			
spaces/gfa	gfa or occ	spaces	
restaurant	1/100	13,982.00	139.82
mezzanine office	1/350	1,060.00	3.0
recreation (golf)	1per 4 occ.	20.00	5.0
subtotal			147.8
Gateway deduct -20%			-29.6
Total restaurant/recreation parking required			118.3

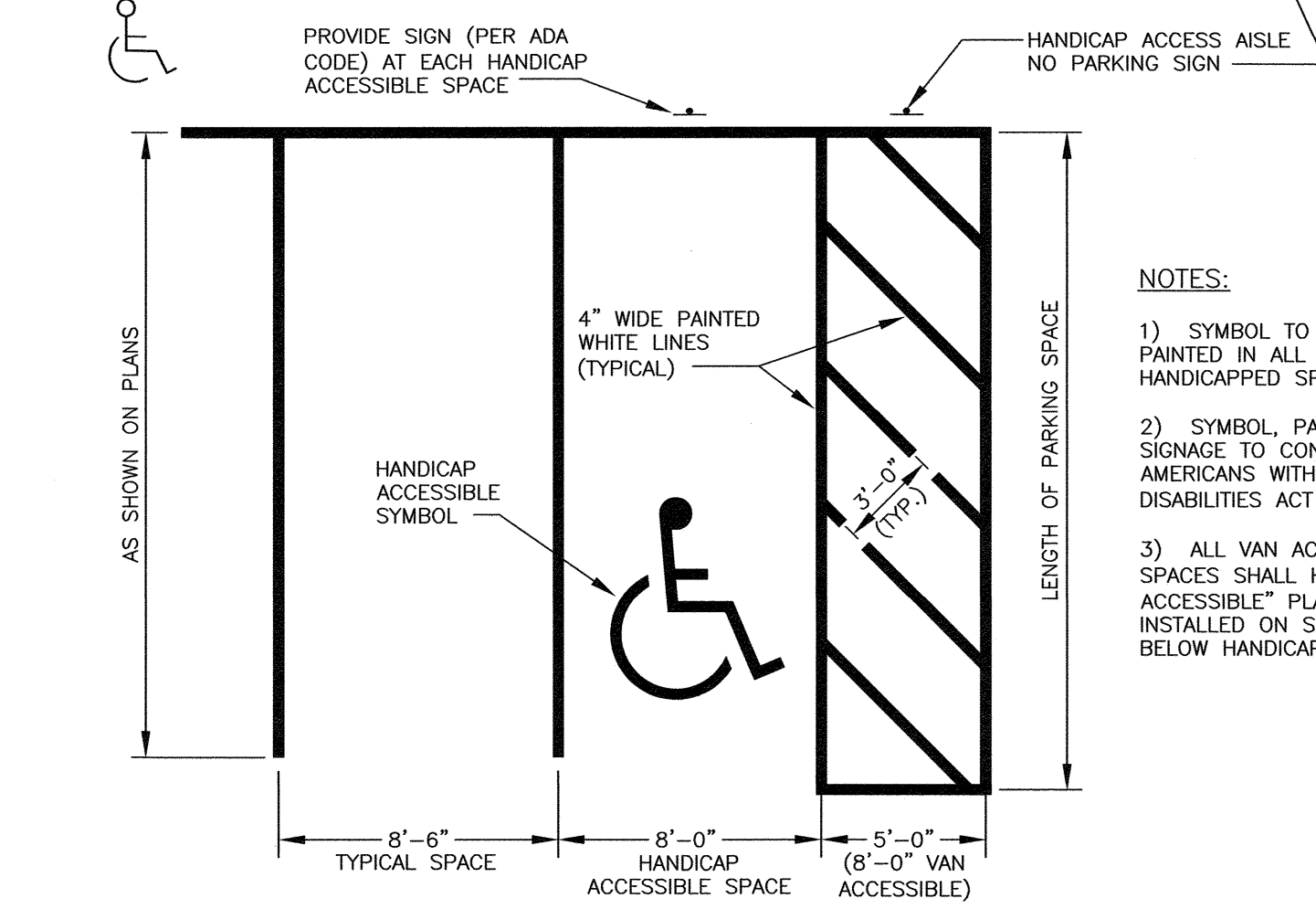
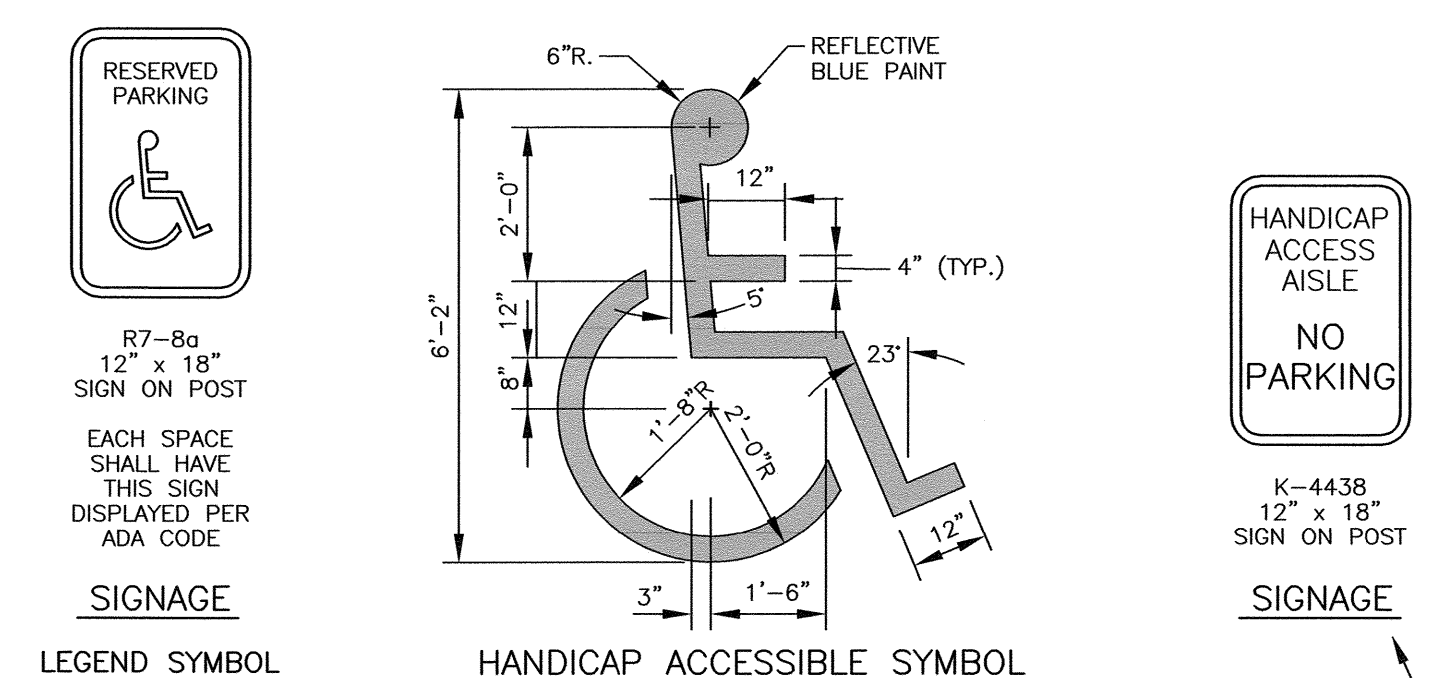
Land Use	Weekday				Weekend				Nighttime		Maximum TOTAL Required
	daytime (8am-5pm) required	spaces	evening (6-12pm) required	spaces	daytime (8am-5pm) required	spaces	evening (6-midnight) required	spaces	(midnight-5am) required	spaces	
Apartments	60%	32.4	100%	54.0	80%	43.2	100%	54.0	100%	54.0	170.6
restaurant	70%	78.3	100%	111.9	80%	89.5	100%	111.9	100%	111.9	111.9
Office	100%	2.4	20%	0.5	10%	0.2	5%	0.1	5%	0.1	2.4
entertainment (golf)	40%	1.6	100%	4.0	80%	3.2	100%	4.0	10%	0.4	4.0
Total NEEDED		114.7		170.34		136.1		170.0		65.7	170.0
Net Excess (Defect) Parking											16
Total parking level1+ basement proposed											137
Existing to remain on site											33
Total parking proposed											170
Existing total available-today											154
Provided-Existing											16

9. Eating and Drinking Places	
9.10-9.50	All eating and drinking places 1 per 100 of GFA

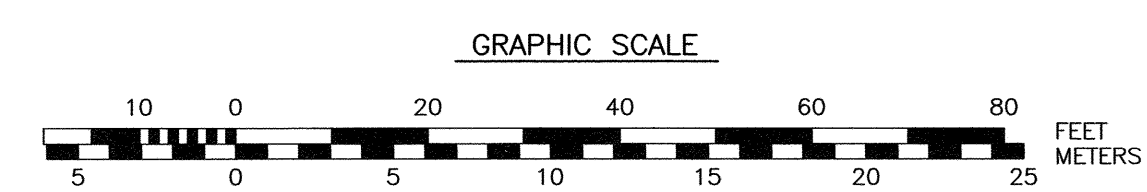
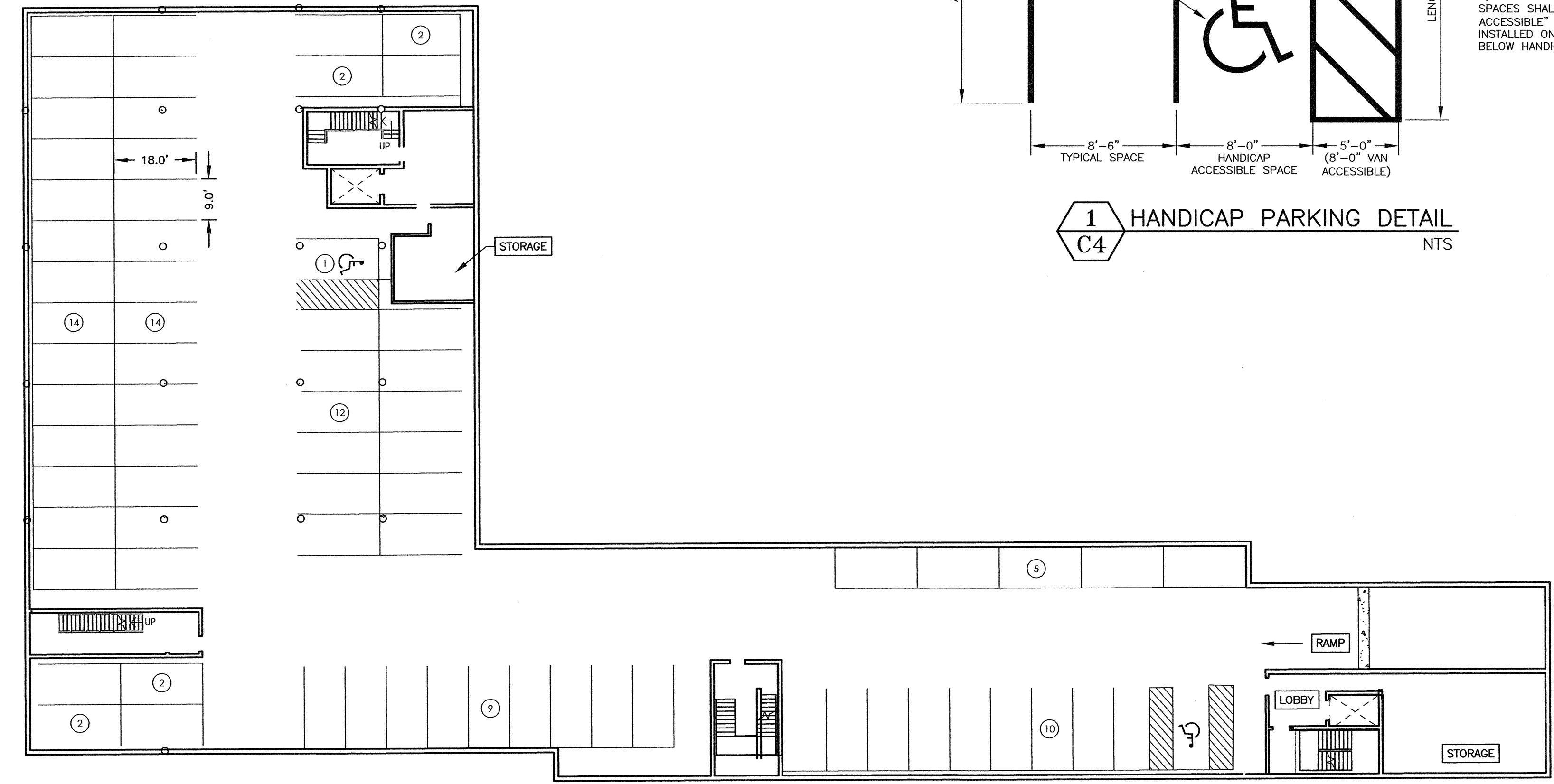
4. Recreational Uses	
4.10	Religious, recreation or private non-profit recreational use 1 per 100 of GFA
4.20	Cinema or similar indoor amusement use with no live performance 0.4 per seat, or Parking demand analysis
4.30	Indoor recreation use such as bowling alley or arcade 1 per 4 persons maximum occupancy
4.40	Health club, yoga studio, martial arts school, or similar use 1 per 250 of GFA
4.50	Outdoor recreation use Parking demand analysis
4.60	Amusement park, water park or theme park N/A - Prohibited Use



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 229 AS LOT 8B.
 - 2) OWNERS OF RECORD:
ATLAS COMMONS, LLC
3 PLEASANT STREET, SUITE 400
PORTSMOUTH, NH 03801
6474/1538
 - 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBSURFACE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 229 LOT 8B IN THE CITY OF PORTSMOUTH.
 - 4) REQUIRED PARKING: (SEE TABLE)

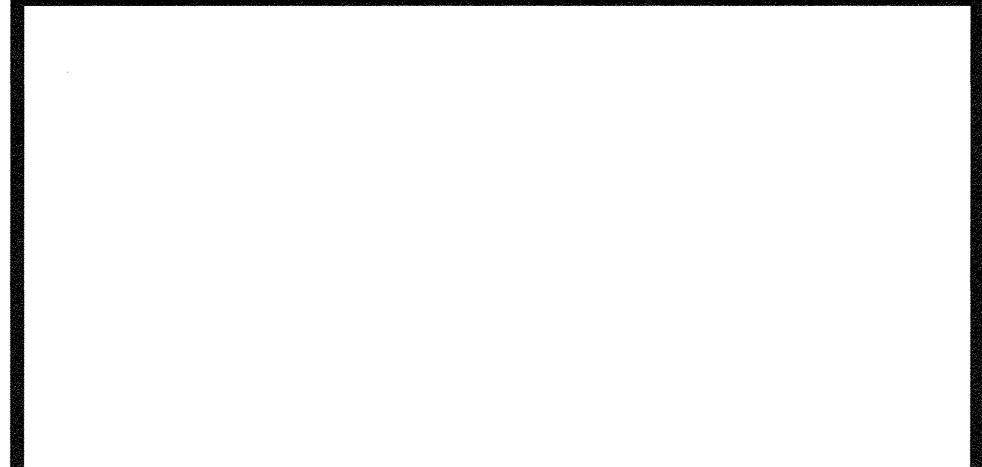


- NOTES:**
- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
 - 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
 - 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.



COMMERCIAL DEVELOPMENT
581 LAFAYETTE ROAD
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/5/23



SCALE: 1"=20' FEBRUARY 2023

PARKING PLAN

C4

P:\NH\010156\Arch\01\1397.04\1397.04 EXISTING 2023.dwg, 7/6/2023 3:40:12 PM
 Portsmouth Power & Light Company



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581 Lafayette Road Apartments

581 LAFAYETTE RD
 PORTSMOUTH, NH, 03801

PROJECT NO: 1013

OWNER
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 PORTSMOUTH, NH 03801
 603.427.0725

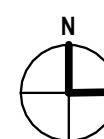
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 PORTSMOUTH, NH 03801
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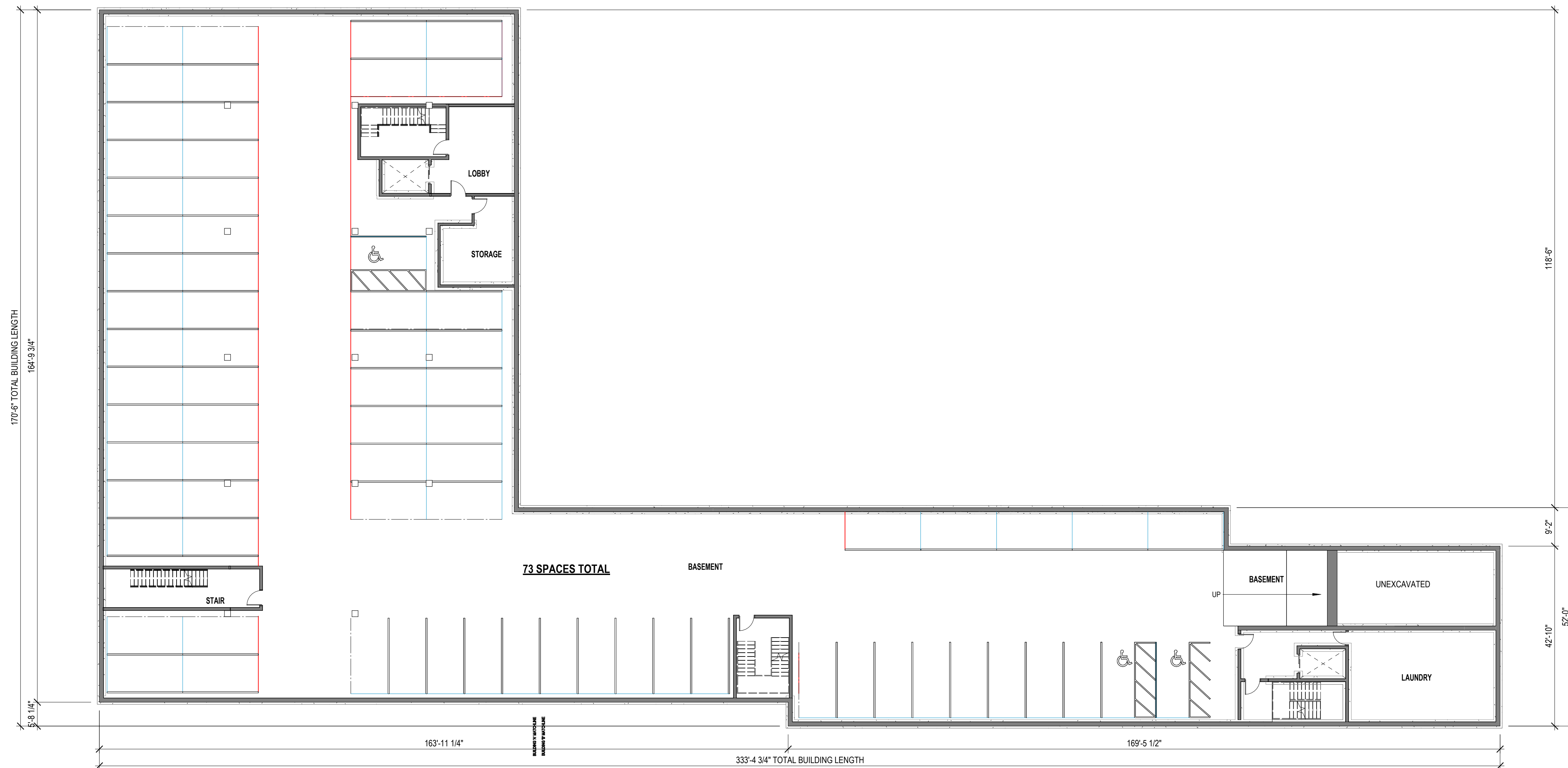
NO.	DATE	DESCRIPTION

BASEMENT PLAN



SCALE: 1/16" = 1'-0"
 DATE: 07/06/2023
 DRAWN: Author
 CHECKED: Checker

PB1.01



1 BASEMENT PLAN - pb
 1/16" = 1'-0"

U.S. ROUTE 1



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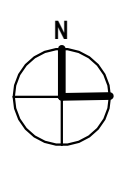
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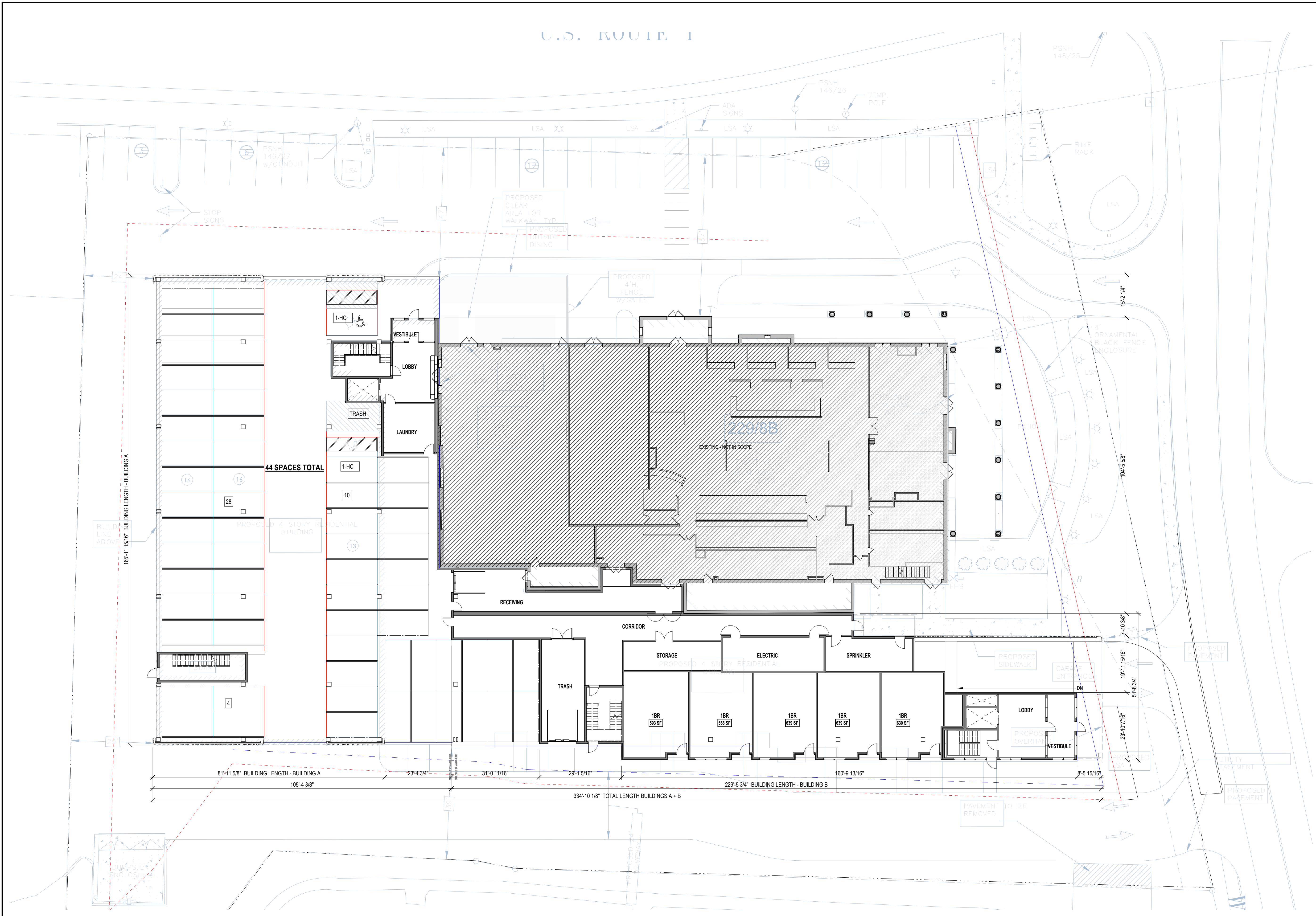
NO.	DATE	DESCRIPTION

LEVEL 1 FLOOR PLAN



SCALE: 1/16" = 1'-0"
DATE: 07/06/2023
DRAWN: Author
CHECKED: Checker

PB1.02



1 LEVEL 1 PLAN - pb
1/16" = 1'-0"

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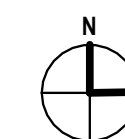
LEVEL 2 FLOOR PLAN

SCALE: 1/16" = 1'-0"

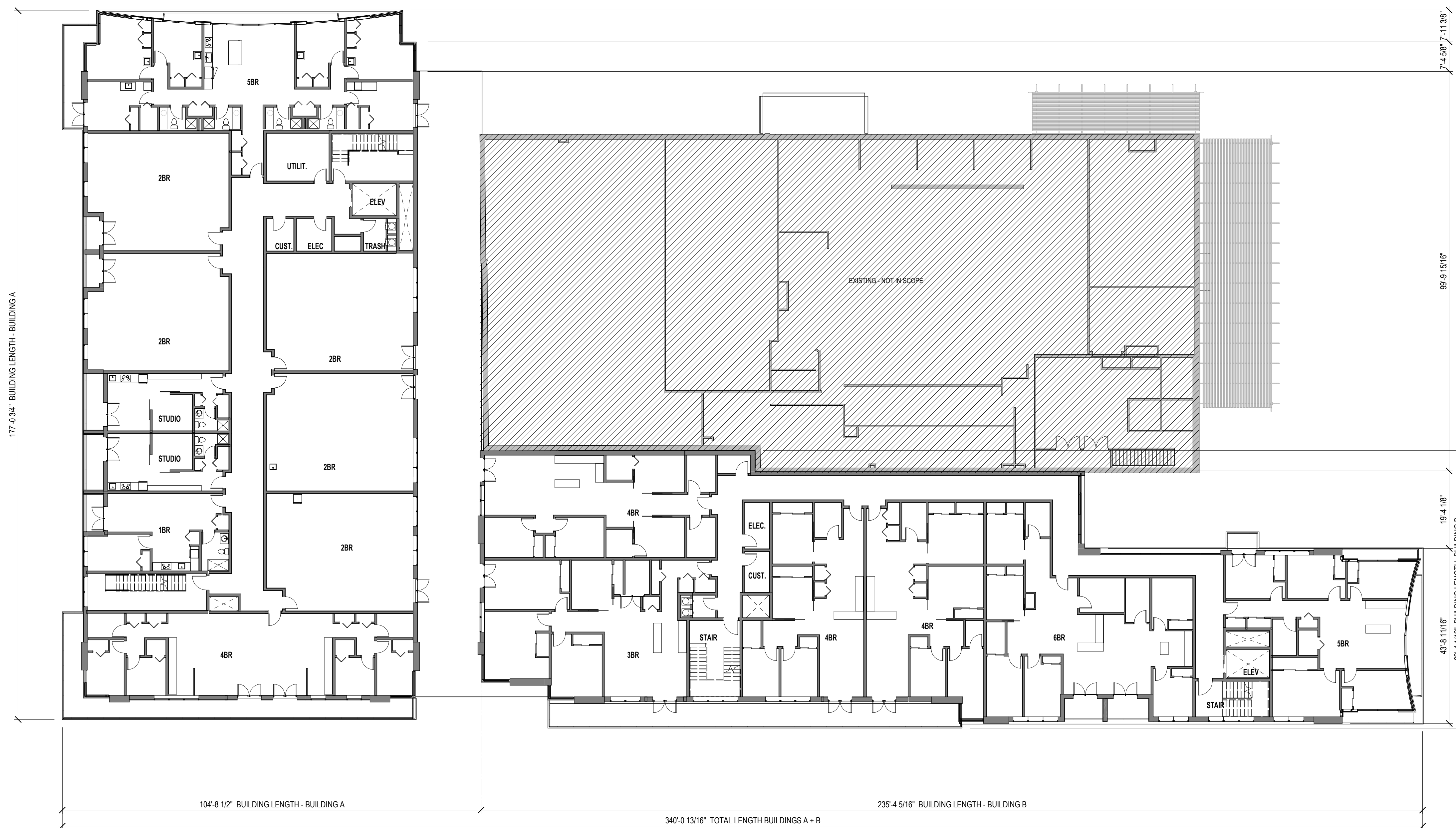
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PB1.03



1 LEVEL 2 PLAN - pb
1/16" = 1'-0"



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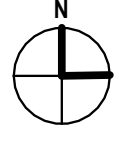
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LEVEL 3 FLOOR PLAN



SCALE: 1/16" = 1'-0"
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PB1.04



1 LEVEL 3 PLAN - pb
 1/16" = 1'-0"



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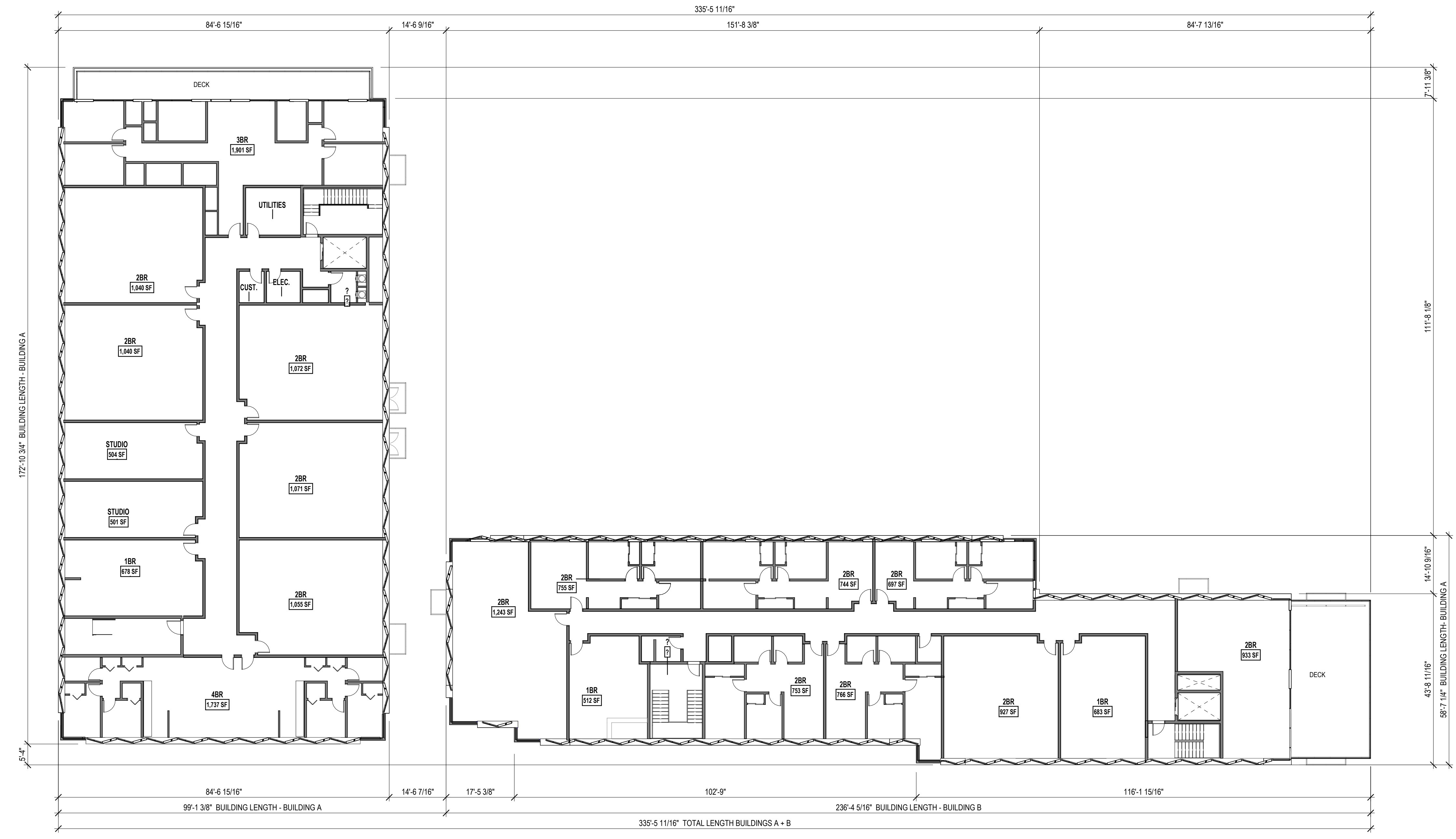
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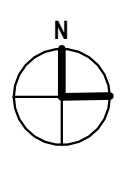
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NO.	DATE	DESCRIPTION

LEVEL 4 FLOOR PLAN



1 LEVEL 4 PLAN - pb
1/16" = 1'-0"



SCALE: 1/16" = 1'-0"
DATE: 07/06/2023
DRAWN: Author
CHECKED: Checker

PB1.05



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ELEVATIONS

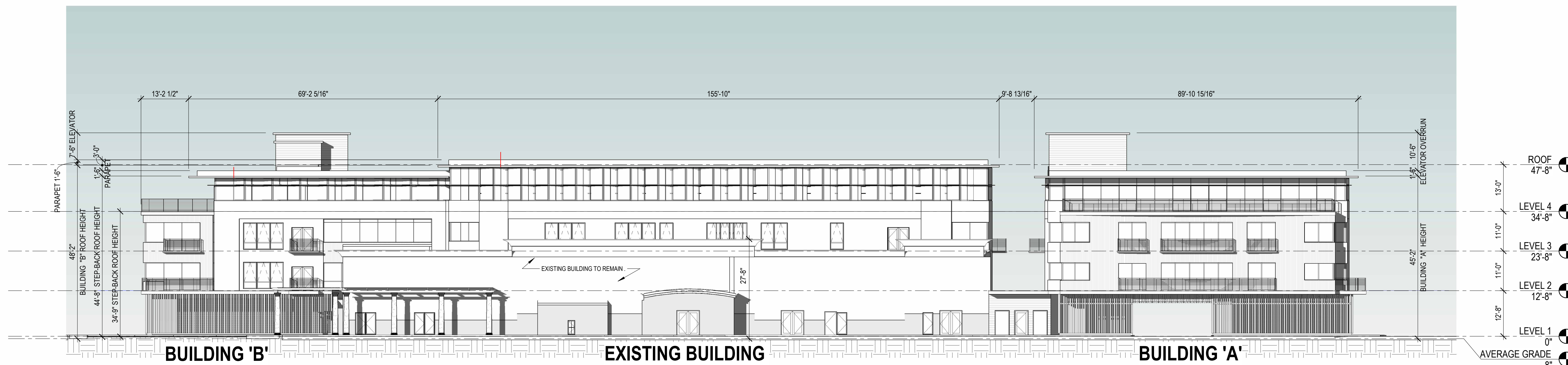
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DATE: 07/06/2023

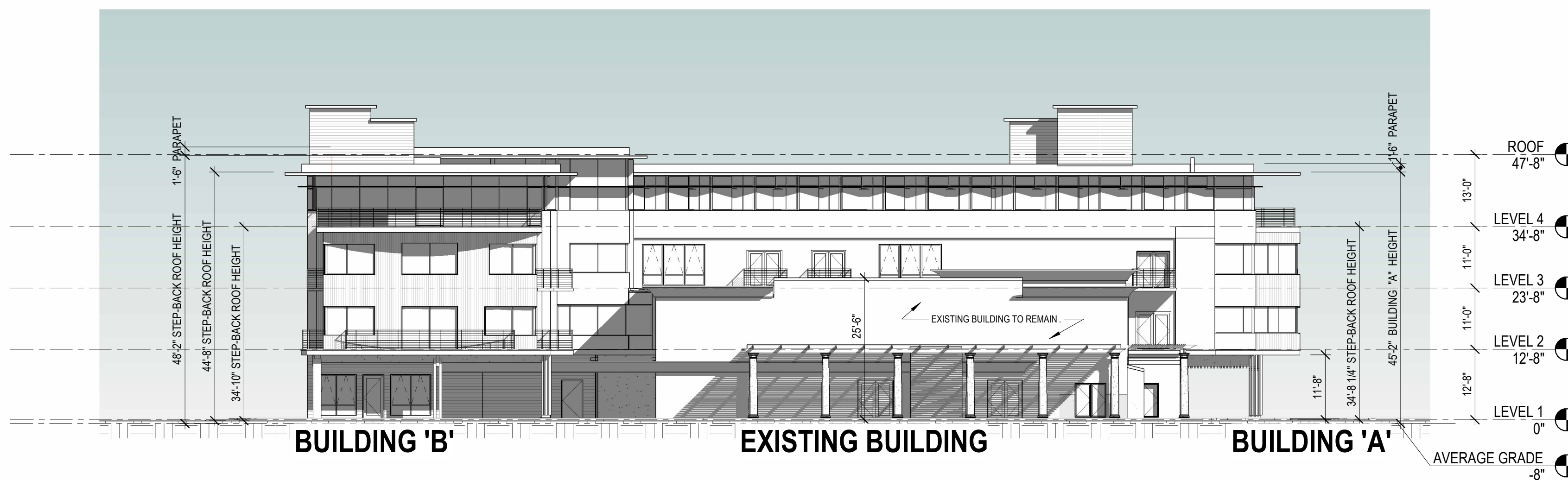
DRAWN: HA

CHECKED: TK

PB1.06



2 WEST ELEVATION PB
 1/16" = 1'-0"



1 NORTH ELEVATION PB
 1/16" = 1'-0"





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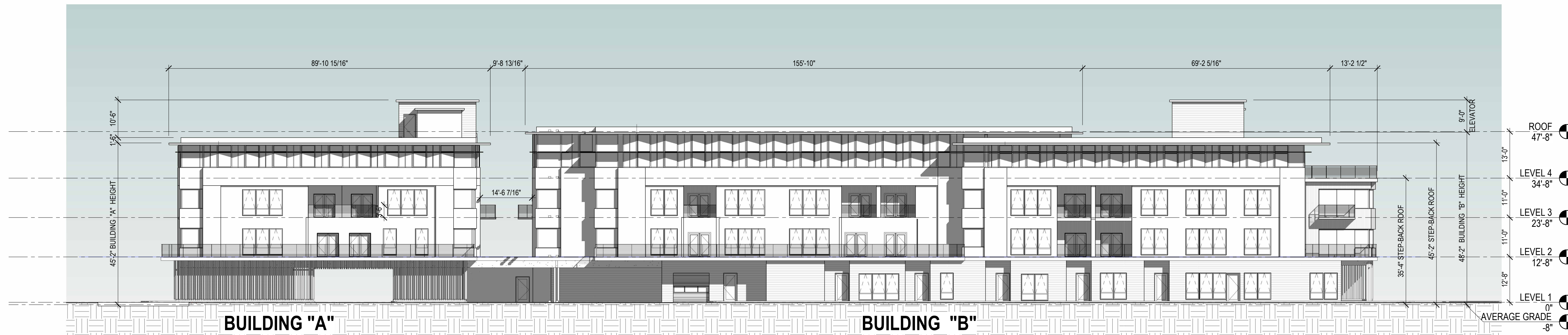
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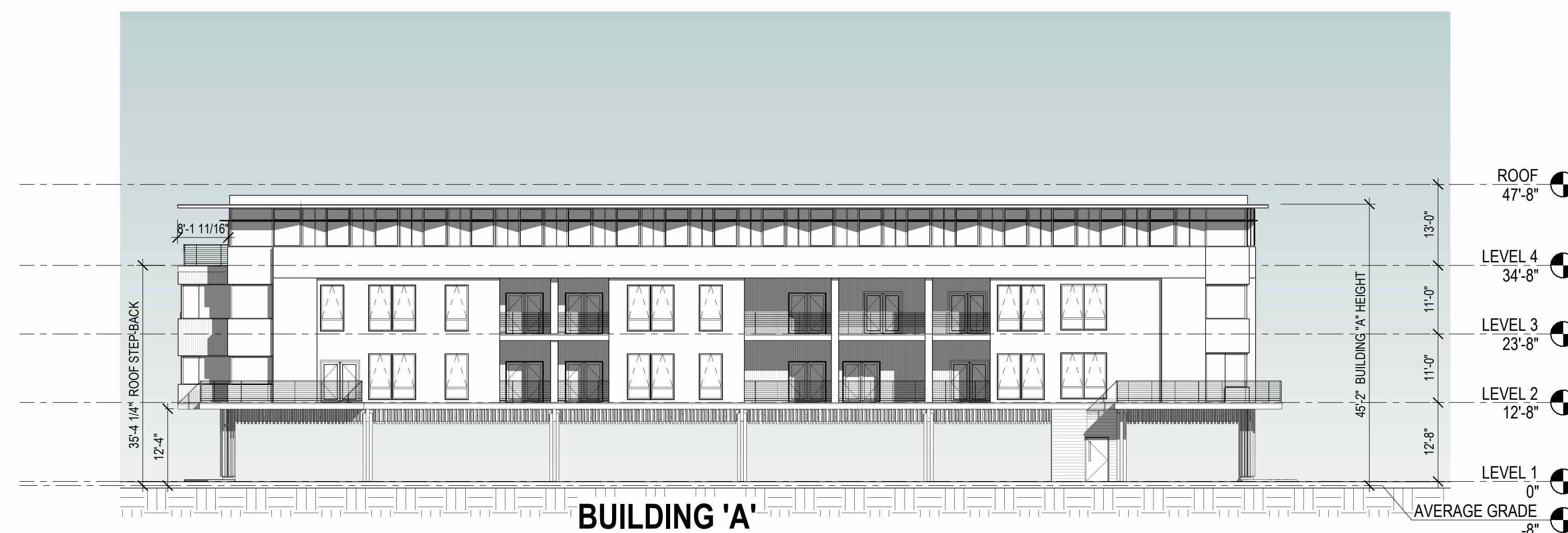
DRAWN: Author

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PB1.07



2 EAST ELEVATION PB
 1/16" = 1'-0"



1 SOUTH ELEVATION PB
 1/16" = 1'-0"





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PB1.08



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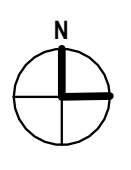
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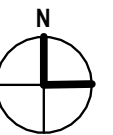
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PB1.10