

M-5131-001
September 5, 2023

Mr. Peter Britz, Director of Planning & Sustainability
City of Portsmouth Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: **Request for TAC Work Session**
815 Lafayette Road – Proposed Development

Dear Peter,

On behalf of Prospect North 815, LLC (owner/applicant) we are pleased to submit one (1) set of hard copies and one electronic file (.pdf) of the following information to support a request to meet with the Technical Advisory Committee (TAC) at their next scheduled Work Session for the above referenced project:

- Site Plan Set, dated September 5, 2023;
- Community Space Exhibit, dated September 5, 2023;
- Owners Authorization, dated June 1, 2023

The proposed project is located at 815 Lafayette Road (US Route 1) which is identified as Map 245 Lot 3 on the City of Portsmouth Tax Maps. The site was previously home to the WHEB radio station which no longer operates at this location. The property is a 19.6-acre parcel of land that is located in the Gateway District (G1). The property is bound to the west by Route 1 and the abutting Lafayette Plaza shopping center property, to the north and east by the Winchester Place property and to the south by Sagamore Creek.

The proposed project consists of the demolition of the existing building along Sagamore Creek and the construction of three 4-story, 24-unit multi-family buildings (72 total units) with first floor parking. The project will include associated site improvements such as parking, pedestrian access, utilities, stormwater management, lighting, and landscaping. The site will be accessed via the existing driveway on Route 1.

As currently designed, the project will require relief from the Zoning Board of Adjustment (ZBA) for efforts to develop the front lot line within the limits of the usable front yard. In addition, this project would require a Conditional Use Permit (CUP) for improvements within the 100-foot wetland buffer. The proposed project will be an environmental improvement from the existing condition and eliminates approximately 9,600 SF of existing impervious surface that is located in the 100-foot wetland buffer by removing the existing building and pavement located along Sagamore Creek. These previously disturbed areas will be re-established with vegetation to provide buffer enhancement. In addition, the project will enhance the quality of runoff discharged to Sagamore Creek with the addition of stormwater treatment practices that do not currently exist on the site.



The applicant respectfully requests to meet with TAC at their next scheduled Work Session on September 12, 2023. If you have any questions or need any additional information, please contact me by phone at (603) 433-8818 or by email at NAHansen@tighebond.com.

Sincerely,

TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Vice President

Copy: Prospect North 815, LLC



Neil A. Hansen, PE
Project Manager

815 LAFAYETTE ROAD PROPOSED DEVELOPMENT

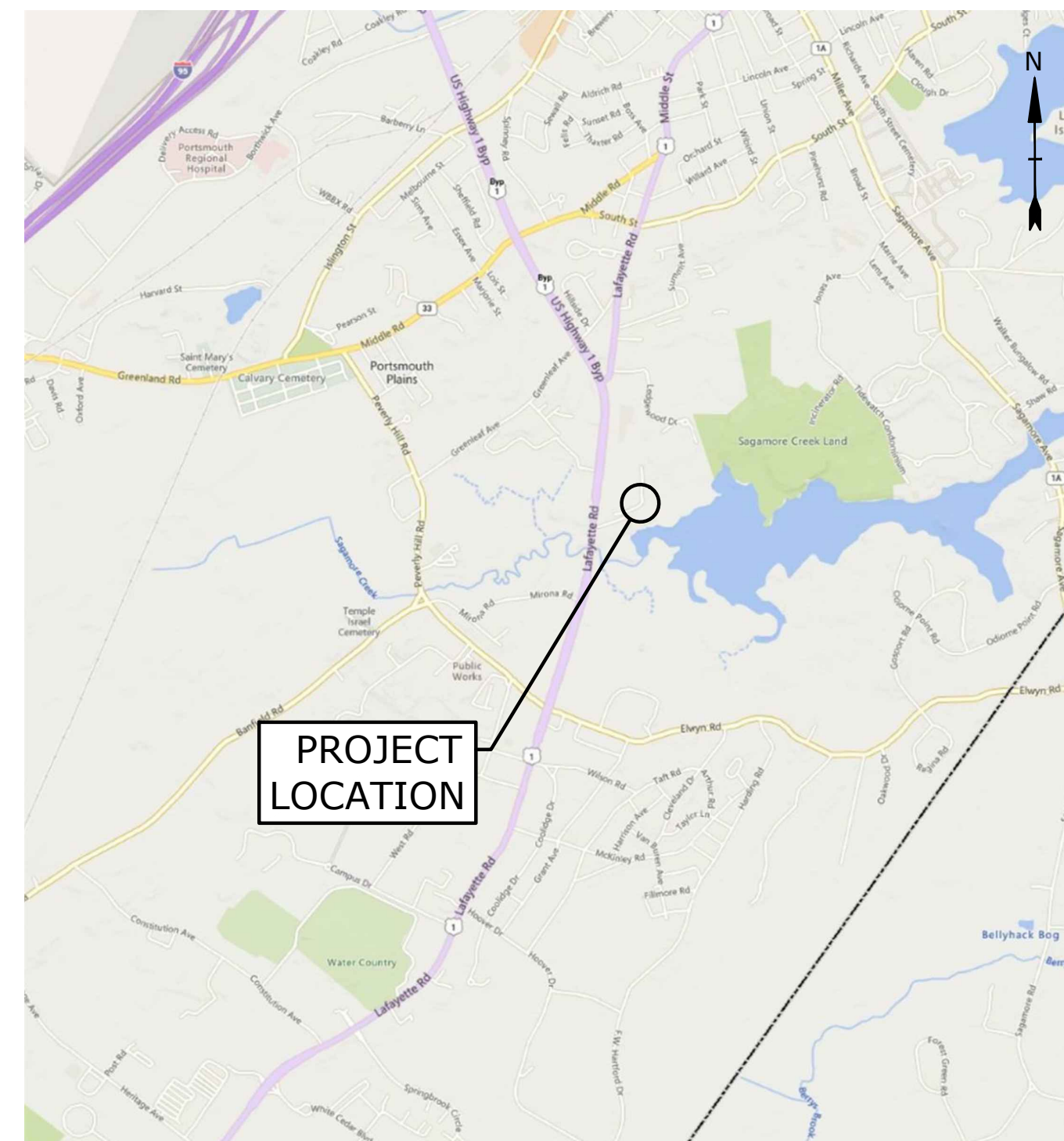
PORTSMOUTH, NEW HAMPSHIRE

DATE SEPTEMBER 5, 2023

PROGRESS PRINT

| LIST OF DRAWINGS | | |
|------------------|---|--------------|
| SHEET NO. | SHEET TITLE | LAST REVISED |
| | COVER SHEET | 9/5/2023 |
| C1 | EXISTING CONDITIONS PLAN | 2/2/2023 |
| C2 | EXISTING CONDITIONS PLAN | 2/2/2023 |
| C3 | EXISTING CONDITIONS PLAN | 2/2/2023 |
| C4 | EXISTING CONDITIONS PLAN | 2/2/2023 |
| C5 | EXISTING CONDITIONS PLAN | 2/2/2023 |
| G-100 | GENERAL NOTES AND LEGEND | 9/5/2023 |
| C-101 | DEMOLITION PLAN | 9/5/2023 |
| C-102 | SITE PLAN | 9/5/2023 |
| C-103 | GRADING, DRAINAGE, AND EROSION CONTROL PLAN | 9/5/2023 |
| C-104 | UTILITY PLAN | 9/5/2023 |
| C-501 | EROSION CONTROL NOTES AND DETAILS SHEET | 9/5/2023 |
| C-502 | DETAILS SHEET | 9/5/2023 |
| C-503 | DETAILS SHEET | 9/5/2023 |
| C-504 | DETAILS SHEET | 9/5/2023 |
| C-505 | DETAILS SHEET | 9/5/2023 |
| 1 OF 2 | BUILDING ELEVATIONS | 8/29/2023 |
| 2 OF 2 | TYPICAL FLOOR PLANS | 8/29/2023 |

| LIST OF PERMITS | | |
|---|---------------|------|
| LOCAL | STATUS | DATE |
| SITE PLAN REVIEW PERMIT | PENDING | |
| CONDITIONAL USE PERMIT - WETLAND BUFFER | PENDING | |
| ZONING BOARD OF ADJUSTMENTS | PENDING | |
| STATE | | |
| NHDES - SEWER CONNECTION PERMIT | NOT SUBMITTED | |
| NHDES - ALTERATION OF TERRAIN PERMIT | NOT SUBMITTED | |



LOCATION MAP
SCALE: 1" = 2000'

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL NOT RELY ON SCALED DIMENSIONS AND SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A REQUIRED DIMENSION IS NOT PROVIDED ON THE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND FOR SITE CONDITIONS THROUGHOUT CONSTRUCTION. NEITHER THE PLANS NOR THE SEAL OF THE ENGINEER AFFIXED HEREON EXTEND TO OR INCLUDE SYSTEMS REQUIRED FOR THE SAFETY OF THE CONTRACTOR, THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND IMPLEMENTING SAFETY PROCEDURES AND SYSTEMS AS REQUIRED BY THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND ANY STATE OR LOCAL SAFETY REGULATIONS.
3. TIGHE & BOND ASSUMES NO RESPONSIBILITY FOR ANY ISSUES LEGAL OR OTHERWISE, RESULTING FROM CHANGES MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION OF TIGHE & BOND.

PREPARED BY:

Tighe & Bond

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603-433-8818

APPLICANT:

PROSPECT NORTH 815, LLC
PO Box 372
Greenland, NH 04840

ARCHITECT:

MICHAEL J. KEANE ARCHITECTS, PLLC
101 Kent Place
Newmarket, NH 03857

SURVEYOR:

AMBIT ENGINEERING, INC.
200 Griffin Road - Unit 3
Portsmouth, NH 03801



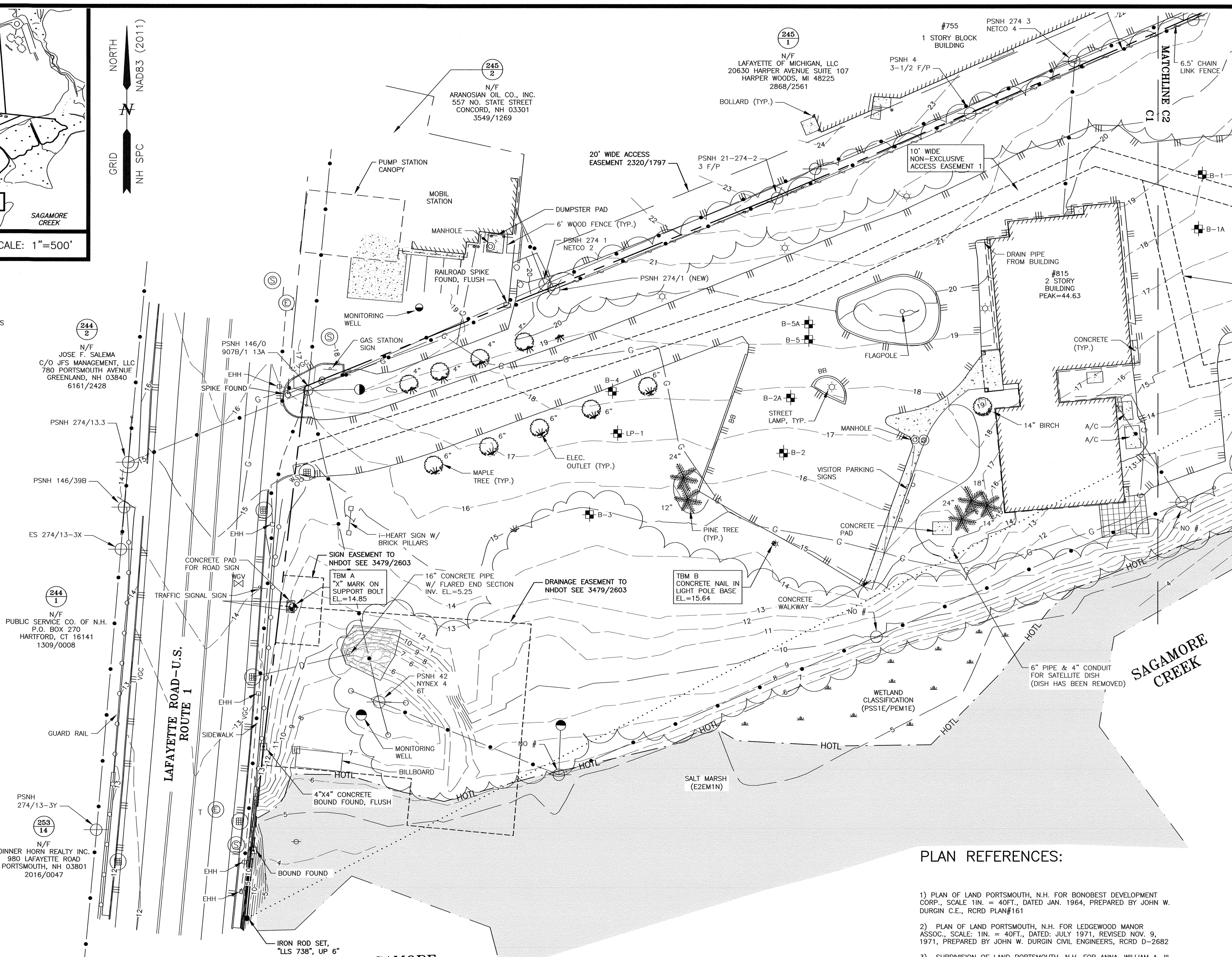
**TAC WORK SESSION SUBMISSION
COMPLETE SET 18 SHEETS**



LOCATION MAP SCALE: 1"=500'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- (17/21) MAP 11 / LOT 21
- BOUNDARY
- - - SETBACK
- HOTL HIGHEST OBSERVABLE TIDE LINE
- RAILROAD SPIKE FOUND
- IRON ROD/PIPE FOUND
- ⊙ DRILL HOLE FOUND
- ⊙ STONE/CONCRETE BOUND FOUND
- ⊙ RAILROAD SPIKE SET
- ⊙ IRON ROD SET
- ⊙ DRILL HOLE SET
- ⊙ GRANITE BOUND SET
- EDGE OF PAVEMENT (EP)
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC/WIRES
- CONTOUR
- WOODS / TREE LINE
- ⊙ WATER SHUT OFF/CURB STOP
- ⊙ GAS SHUT OFF/CURB STOP
- ⊙ WGV WATER GATE VALVE
- ⊙ GCY GAS GATE VALVE
- ⊙ UTY UTILITY POLE (w/ GUY)
- ⊙ METER (GAS, WATER, ELECTRIC)
- ⊙ CATCH BASIN
- ⊙ ELECTRIC MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE/COMMUNICATIONS MANHOLE
- ⊙ LIGHTPOLE
- ⊙ SIGNS
- TYP. TYPICAL
- LSA LANDSCAPED AREA
- EHH ELECTRIC HANDHOLE
- MW MONITORING WELL
- TH THRESHOLD
- EL. ELEVATION
- TBM TEMPORARY BENCHMARK
- VGC VERTICAL GRANITE CURB
- BC BITUMINOUS CURB
- INV. INVERT
- .ORN ORNAMENTAL TREE



AMBIT ENGINEERING, INC.
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3
Portsmouth, NH 03801
603.430.9282

WWW.HALEYWARD.COM

- NOTES:**
- 1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 245 AS LOTS 3 AND 4.
 - 2) OWNER OF RECORD:
PROSPECT NORTH 815 LLC
PO BOX 372
GREENLAND, NH 03840
6443/665
 - 3) PARCEL IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA (ZONE AE) AS SHOWN ON FIRM PANEL 33015C0270F. EFFECTIVE DATE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
MAP 245 LOT 3 855,562 S.F ± (TO MHW) 19.6410 AC ± (TO MHW)
MAP 245 LOT 4 19,948 S.F. 0.4579 ACRES
 - 5) PARCELS ARE LOCATED IN THE GATEWAY CORRIDOR (G1) ZONING DISTRICT.
 - 6) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF EXISTING CONDITIONS SURVEY OF ASSESSOR'S MAP 245 LOTS 3 & 4 IN THE CITY OF PORTSMOUTH.
 - 8) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 10) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

PLAN REFERENCES:

- 1) PLAN OF LAND PORTSMOUTH, N.H. FOR BONOBEST DEVELOPMENT CORP., SCALE 1/4" = 40FT., DATED JAN. 1964, PREPARED BY JOHN W. DURGIN C.E., RCRD PLAN#161
- 2) PLAN OF LAND PORTSMOUTH, N.H. FOR LEDGEWOOD MANOR ASSOC., SCALE: 1/4" = 40FT., DATED: JULY 1971, REVISED NOV. 9, 1971, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-2682
- 3) SUBDIVISION OF LAND PORTSMOUTH, N.H. FOR ANNA, WILLIAM A. III, RUTH, & MARGARET PETZOLD, SCALE: 1/4" = 40 FEET, DATED DECEMBER 1977, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-7650
- 4) LOT LINE REVISION 803 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE FOR B.P.P.M., INC. DATED: 7/13/2000, PREPARED BY JAMES VERRA AND ASSOCIATED, INC., RCRD D-28325
- 5) ALTA/ACSM LAND TITLE SURVEY (URBAN), MAP 245, LOTS 3 & 4, KNIGHT BROADCASTING, 815 LAFAYETTE ROAD, PORTSMOUTH, NEW HAMPSHIRE, SCALE: 1"=50', DATED: SEPTEMBER 19, 2000, PREPARED BY CUCCO & CORMIER ENGINEERING ASSOCIATES, INC., RCRD D-28739. **PLAN NOT HELD**
- 6) REVISED ACCESS EASEMENT PLAN & TAX ASSESSMENT/PRORATION PLAN TAX MAP 245 - LOTS 3 & 4 OVER LAND OF: IHEARTMEDIA & ENTERTAINMENT, INC. 815 LAFAYETTE ROAD CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE PREPARED BY AMBIT ENGINEERING, INC. DATED MAY 2022. R.C.R.D. D-43541

| NO. | DESCRIPTION | DATE |
|-----|--------------------|--------|
| 0 | ISSUED FOR COMMENT | 2/2/23 |

| REVISIONS | | |
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SCALE: 1" = 30' JANUARY 2023

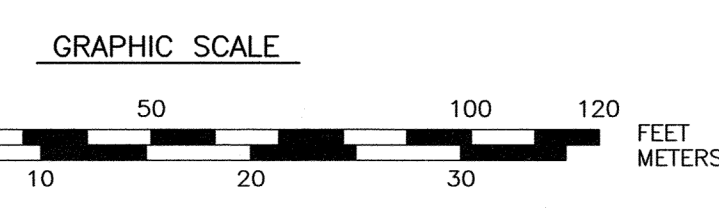
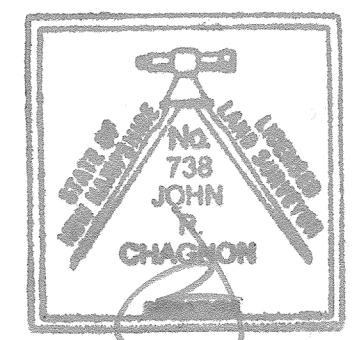
**EXISTING CONDITIONS
PLAN**

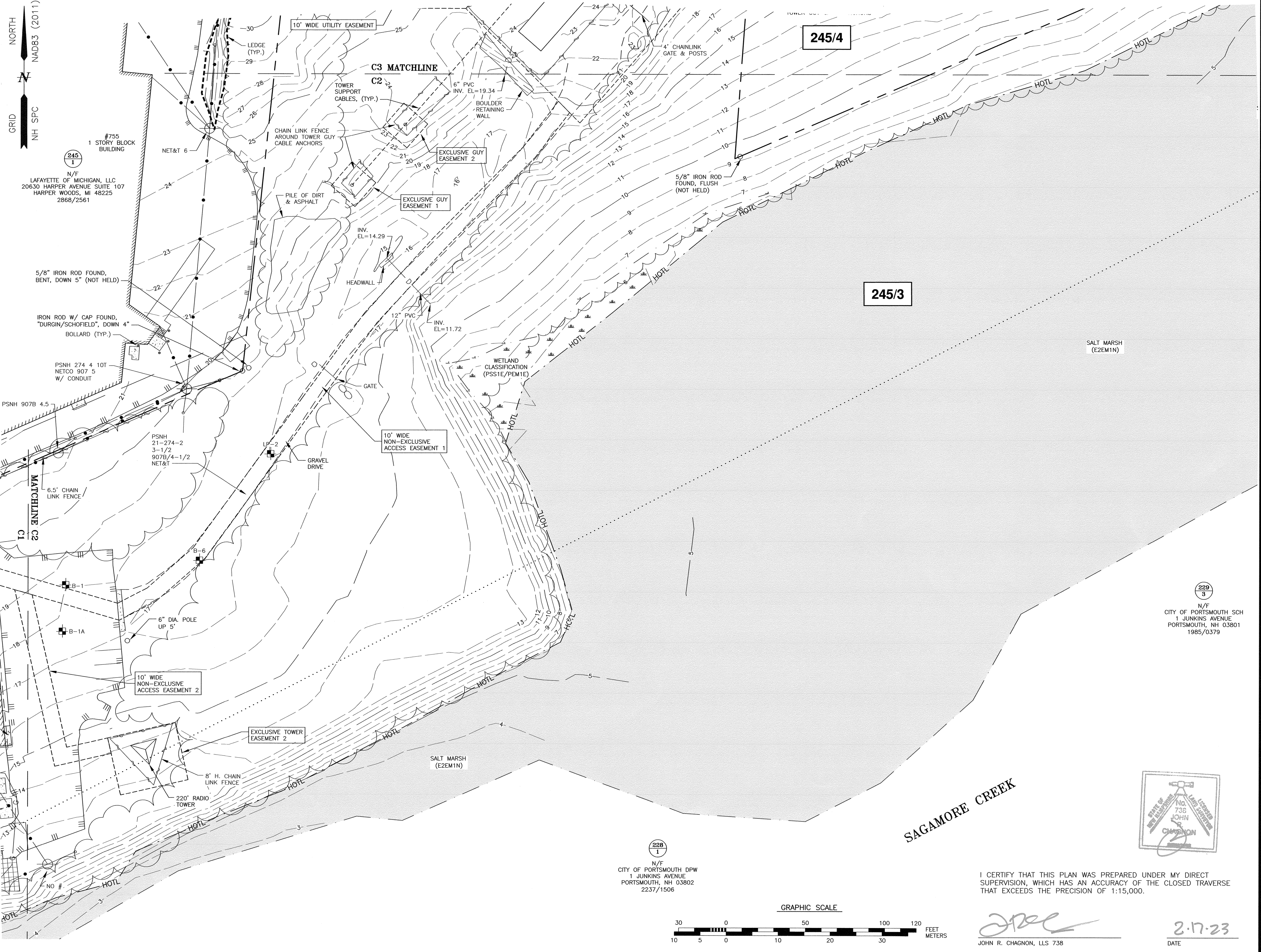
C1

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, WHICH HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

John R. Chagnon
JOHN R. CHAGNON, LLS 738

2.17.23
DATE





NORTH
NAD83 (2011)

GRID
NH SPC

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
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SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.

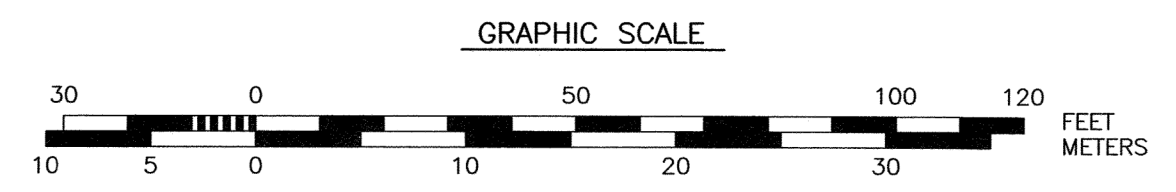
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| REVISIONS | | |

SCALE: 1" = 30' JANUARY 2023

EXISTING CONDITIONS PLAN

C2

228
1
N/F
CITY OF PORTSMOUTH DPW
1 JUNKINS AVENUE
PORTSMOUTH, NH 03802
2237/1506



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, WHICH HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

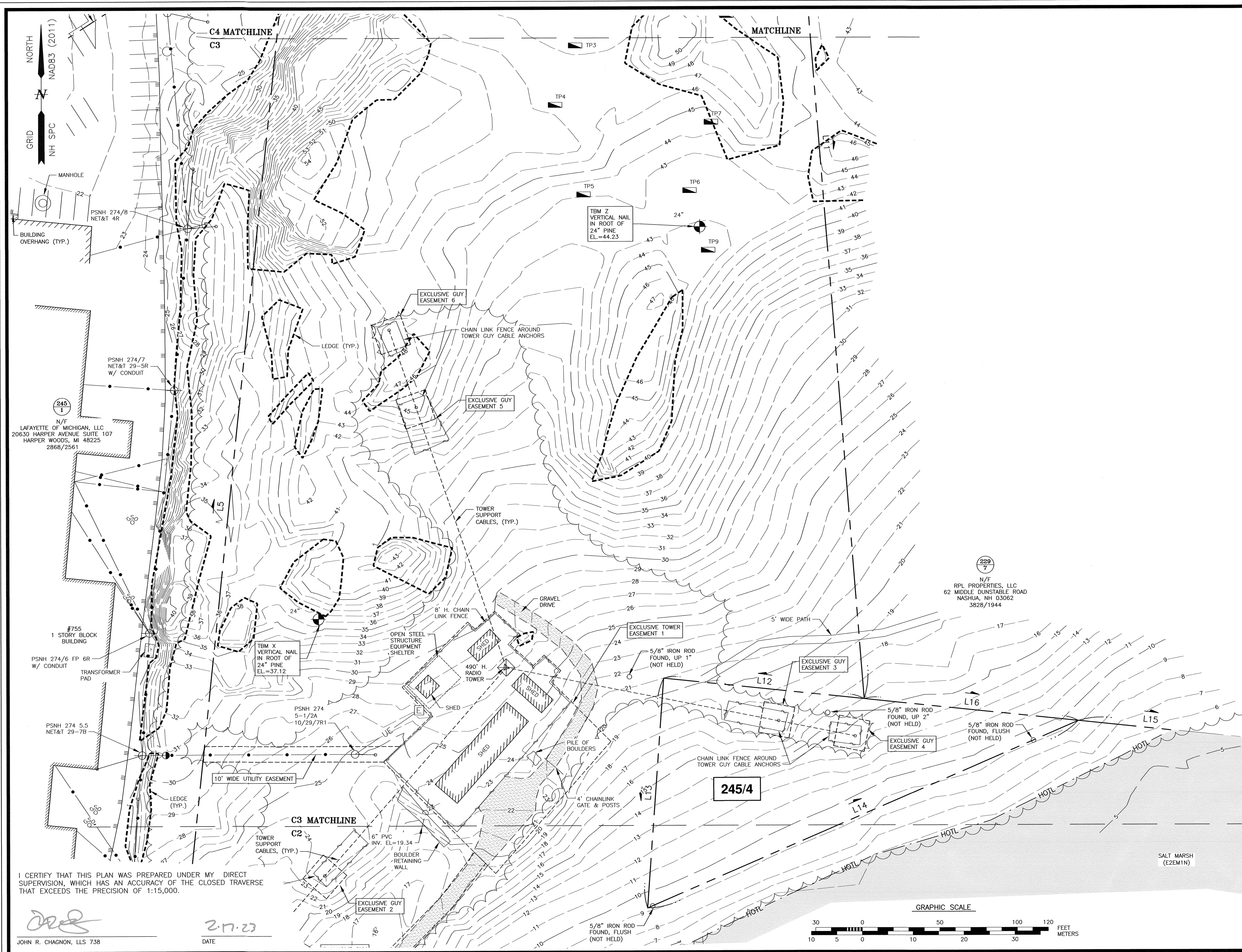
JRC
JOHN R. CHAGNON, LLS 738

2-17-23
DATE

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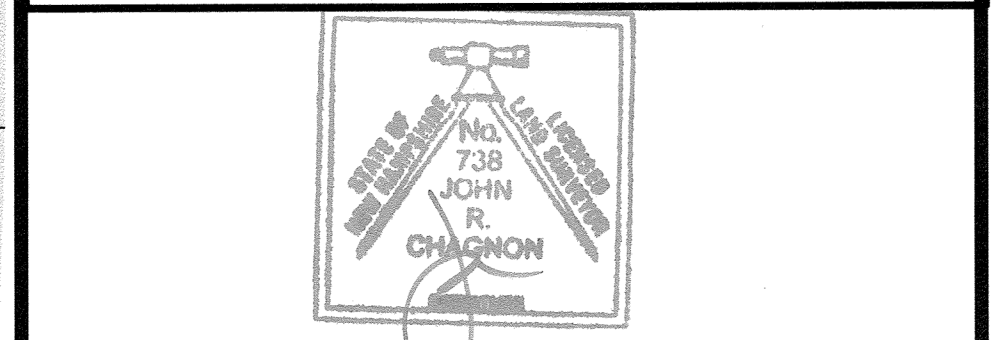


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[Signature]
JOHN R. CHAGNON, LLS 738
DATE 2.17.23

**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

| NO. | DESCRIPTION | DATE |
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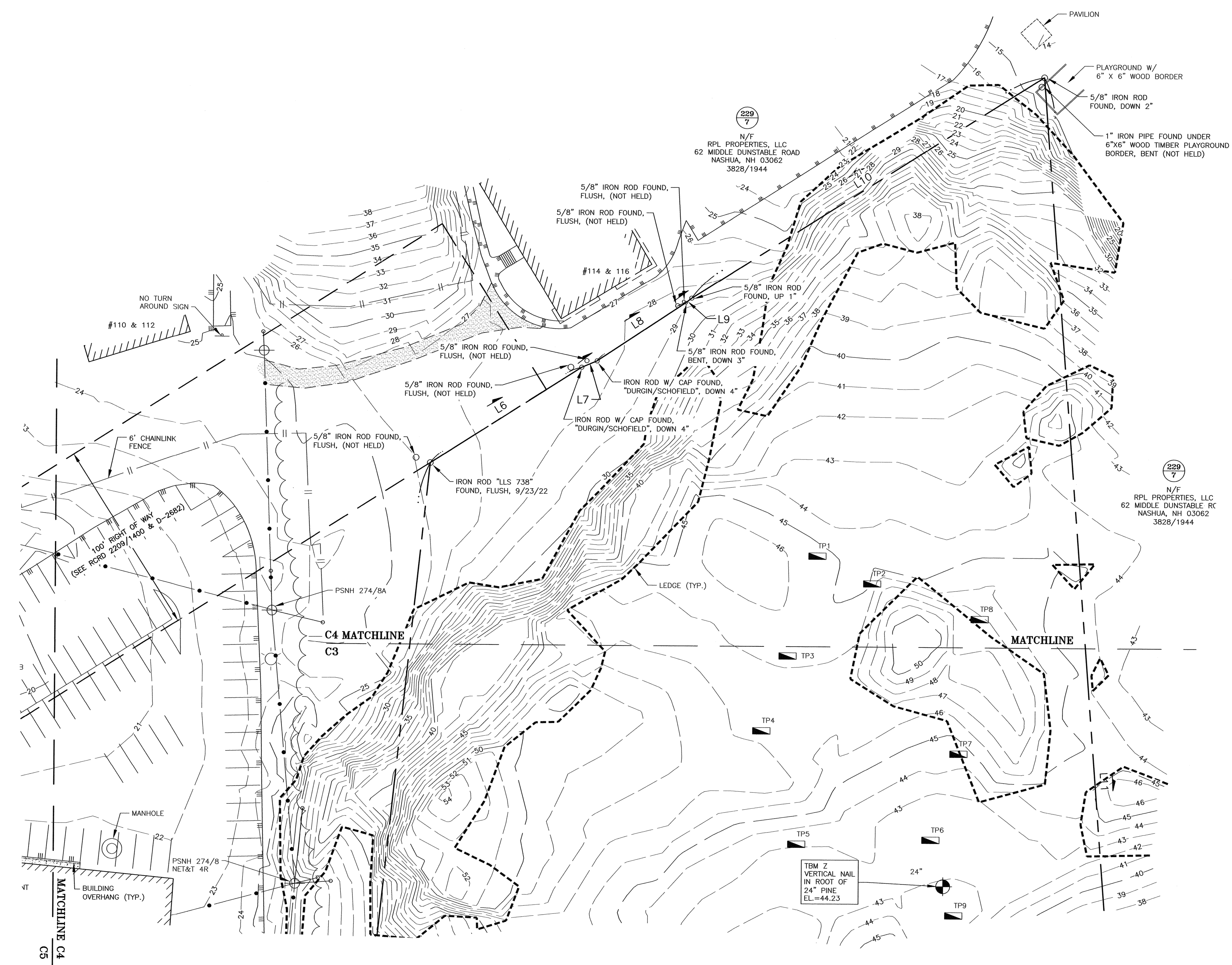
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**EXISTING CONDITIONS
PLAN**

C3

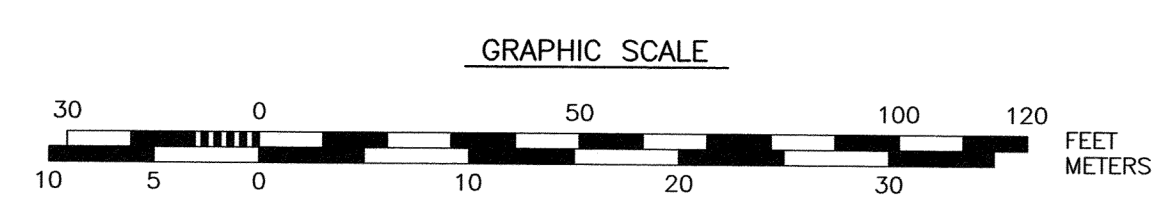
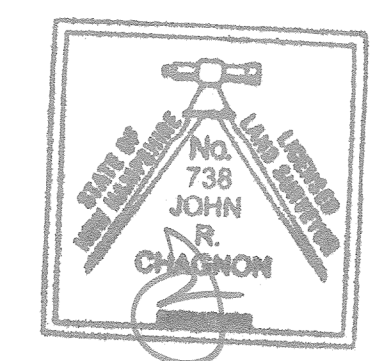
NORTH
NAD83 (2011)
GRID
NH SPC

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John R. Chagnon
JOHN R. CHAGNON, LLS 738
DATE: 2.17.23



**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

| NO. | DESCRIPTION | DATE |
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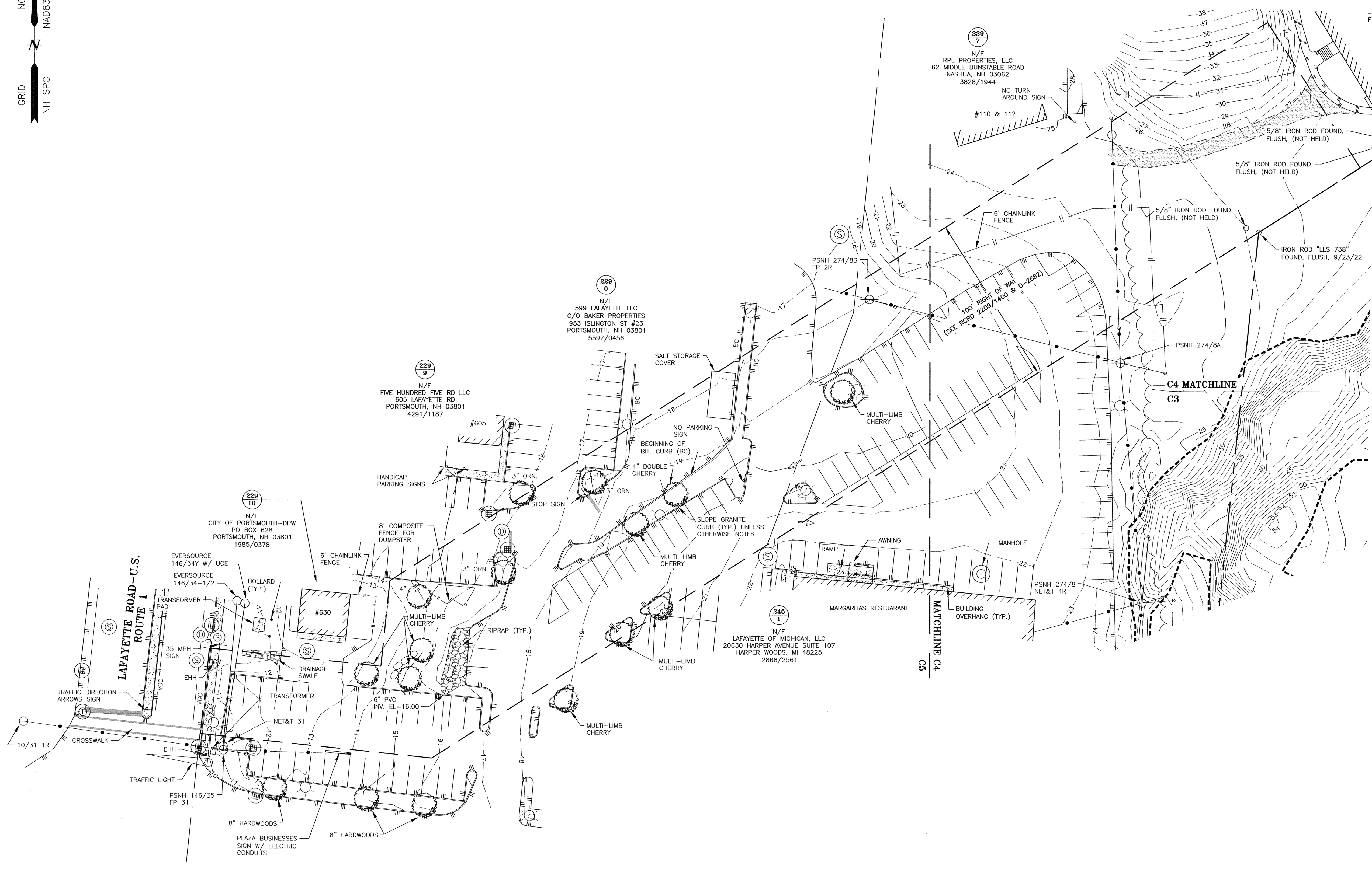
SCALE: 1" = 30' JANUARY 2023

EXISTING CONDITIONS
PLAN

C4

NORTH
NAD83 (2011)
GRID
NH SPC

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**SITE DEVELOPMENT
815 LAFAYETTE ROAD
PORTSMOUTH, N.H.**

| NO. | DESCRIPTION | DATE |
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| REVISIONS | | |

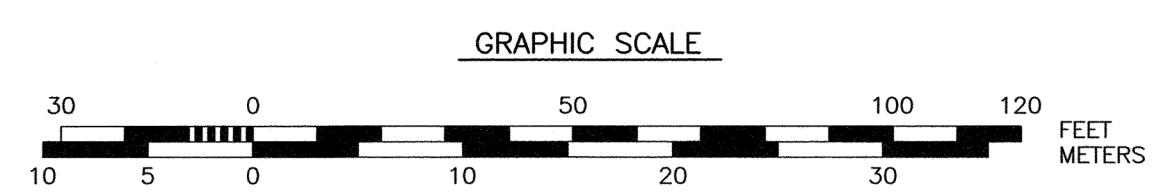
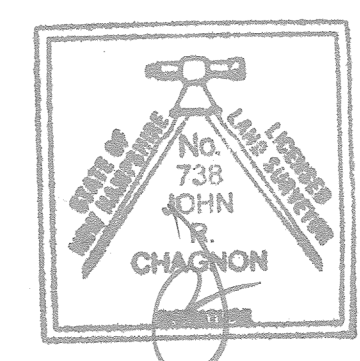
SCALE: 1" = 30' JANUARY 2023

EXISTING CONDITIONS PLAN

C5

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[Signature]
JOHN R. CHAGNON, LLS 738
DATE: 2.17.23



PROGRESS PRINT

PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE

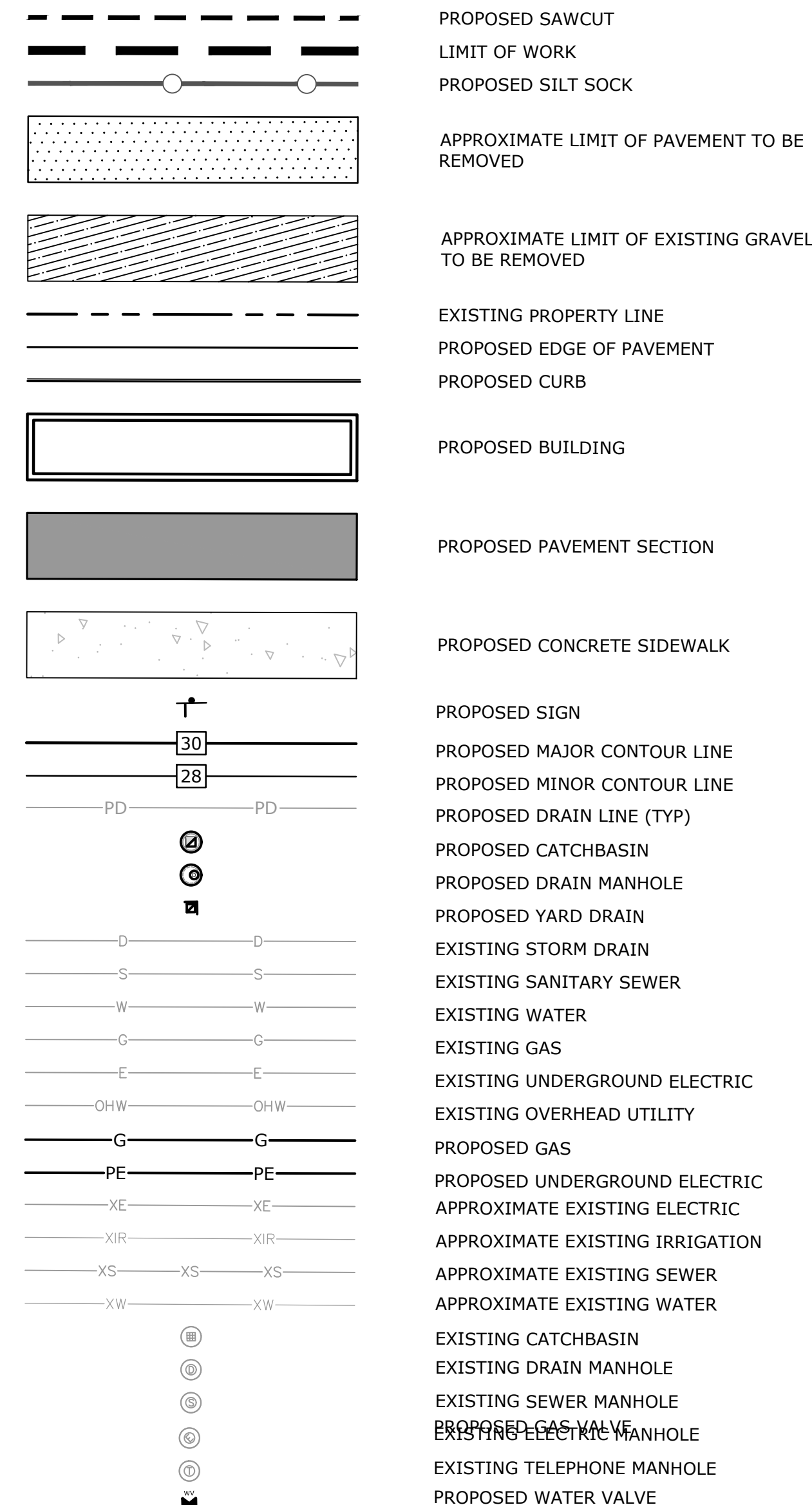
Table with 3 columns and 12 rows for project details.

Table with 3 columns: MARK, DATE, DESCRIPTION. Contains project metadata.

GENERAL NOTES

SCALE: AS SHOWN

LEGEND



- GENERAL NOTES: 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER...

DEMOLITION NOTES:

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

GRADING AND DRAINAGE NOTES:

- 1. COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS 95% TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95% BELOW LOAM AND SEED AREAS 90%

EROSION CONTROL NOTES:

- 1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

UTILITY NOTES:

- 1. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY. •NATURAL GAS - UNITIL •WATER - CITY OF PORTSMOUTH •SEWER - CITY OF PORTSMOUTH •ELECTRIC - EVERSOURCE •COMMUNICATIONS - CONSOLIDATED COMM/FAIRPOINT/COMCAST

EXISTING CONDITIONS PLAN NOTES:

- 1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY BY AMBIT ENGINEERING, INC. DATED 01/26/2023.

ABBREVIATIONS

Table with 2 columns: Abbreviation (e.g., TBR, BLDG, TYP) and Description (e.g., TO BE REMOVED, BUILDING, TYPICAL).

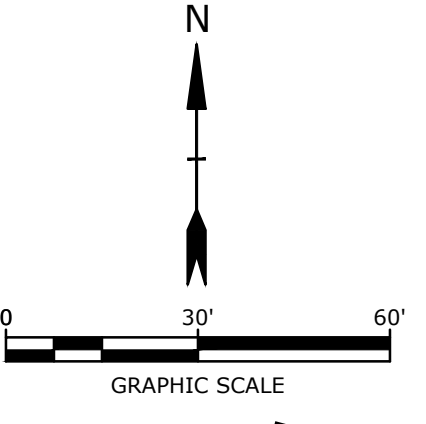
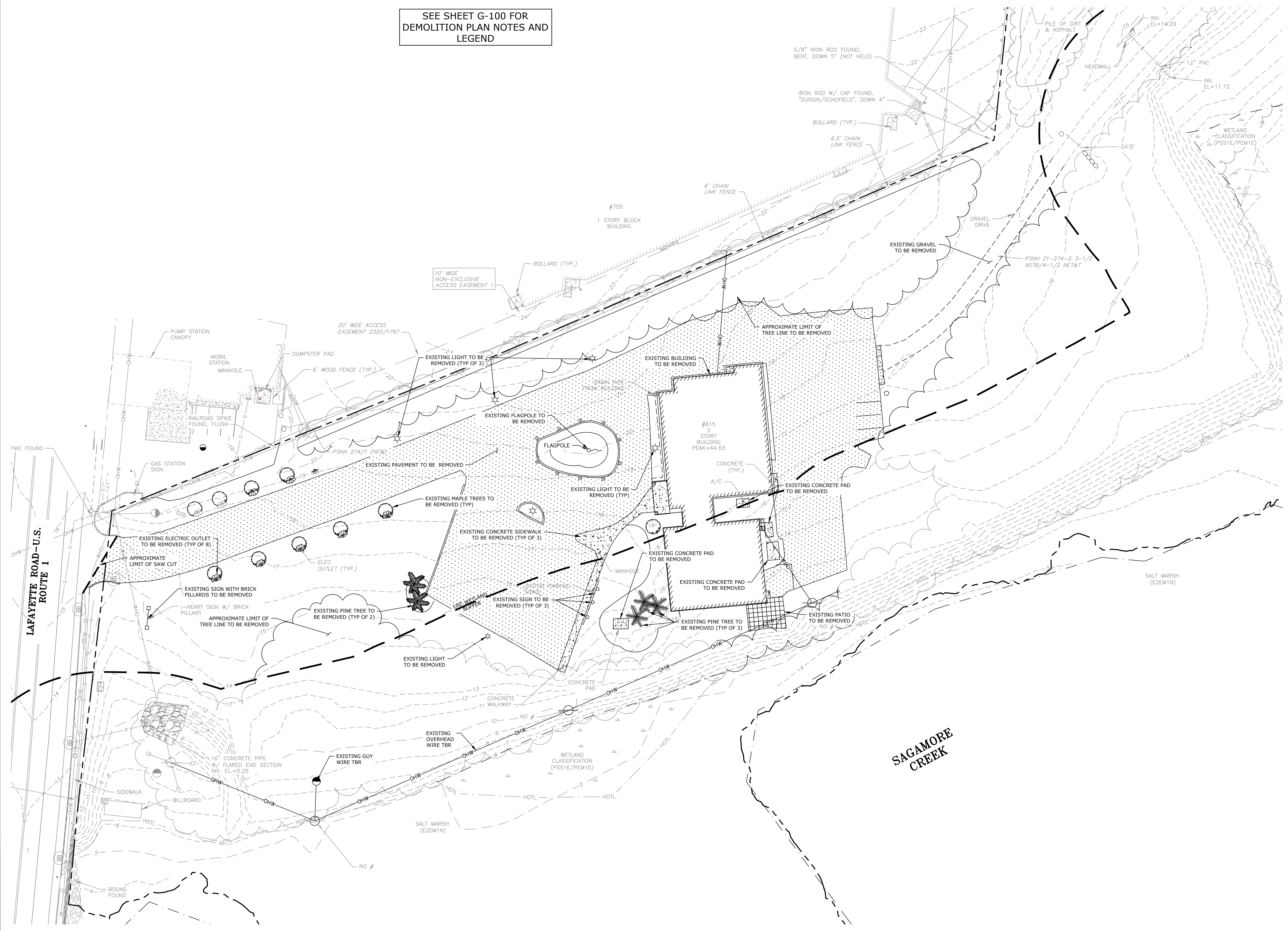
LANDSCAPE NOTES:

- 1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER.

SITE NOTES:

- 1. PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES.

SEE SHEET G-100 FOR
DEMOLITION PLAN NOTES AND
LEGEND



PROGRESS PRINT

PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD
PORTSMOUTH,
NEW HAMPSHIRE

| MARK | DATE | DESCRIPTION |
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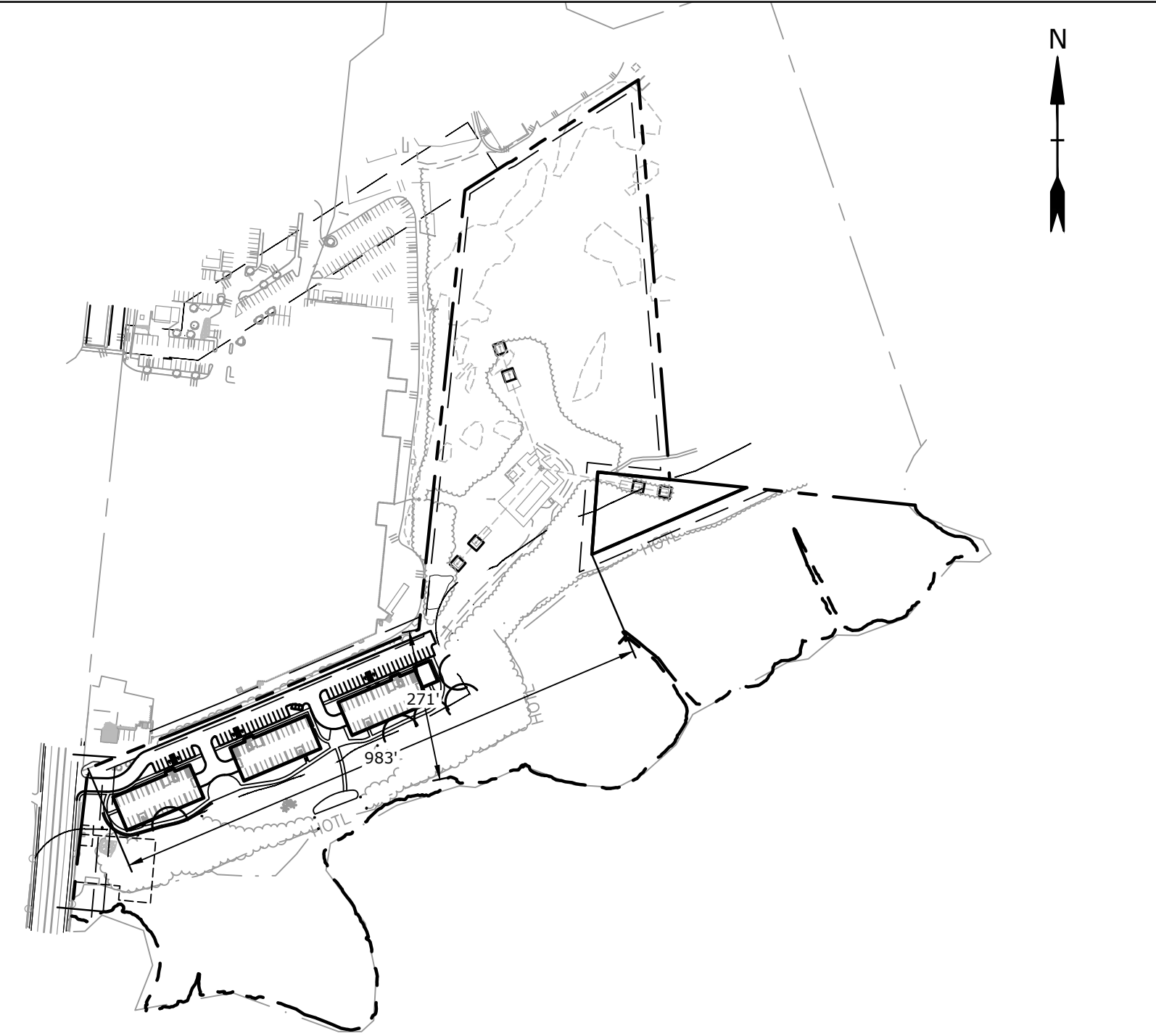
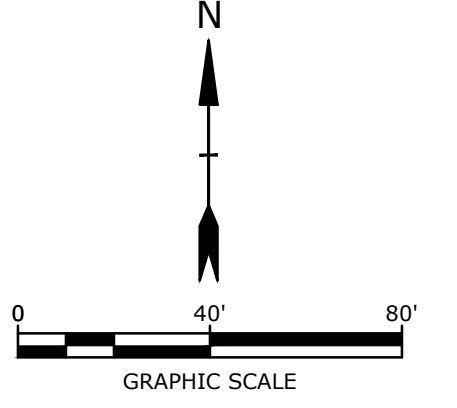
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| PROJECT NO: | M5131-001 |
| DATE: | 9/5/2023 |
| FILE: | M5131-001-DSGN.dwg |
| DRAWN BY: | NHW/CJK |
| DESIGNED/CHECKED BY: | NAH |
| APPROVED BY: | PMC |

EXISTING CONDITIONS
AND DEMOLITION PLAN

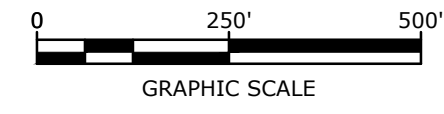
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SEE SHEET G-100 FOR SITE PLAN NOTES AND LEGEND



OVERALL PLAN



PROGRESS PRINT

SITE DATA:
 LOCATION: TAX MAP 245, LOT 3
 815 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE

ZONING DISTRICT: GATEWAY DISTRICT (G1)

PROPOSED USE: MULTIFAMILY

| DIMENSIONAL REQUIREMENTS: | REQUIRED | PROPOSED |
|---------------------------|-----------|-------------|
| MINIMUM LOT AREA: | 10,000 SF | ±855,567 SF |

| | | |
|---------------------|-------|---------|
| MINIMUM SITE WIDTH: | 75 FT | ±271 FT |
|---------------------|-------|---------|

| | | |
|----------------------|--------|---------|
| MINIMUM SITE LENGTH: | 100 FT | ±971 FT |
|----------------------|--------|---------|

| | | |
|--------------------------|-----|--|
| MINIMUM COMMUNITY SPACE: | 10% | |
|--------------------------|-----|--|

| MINIMUM STREET FRONTAGE: | REQUIRED | PROPOSED |
|--------------------------|----------|----------|
| APARTMENT BUILDING: | 100 FT | ±288 FT |

| | | |
|---------------------|----------|-------|
| FRONT YARD SETBACK: | 70-90 FT | 90 FT |
|---------------------|----------|-------|

| | | |
|-------------------------|-------|--------|
| MIN. SIDE YARD SETBACK: | 15 FT | ±56 FT |
|-------------------------|-------|--------|

| | | |
|-------------------------|-------|---------|
| MIN. REAR YARD SETBACK: | 20 FT | ±349 FT |
|-------------------------|-------|---------|

| | | |
|--------------------------|-------|--------|
| MAXIMUM BUILDING HEIGHT: | 50 FT | <50 FT |
|--------------------------|-------|--------|

| | | |
|----------------------------|-----|-------|
| MAXIMUM BUILDING COVERAGE: | 50% | ±3.6% |
|----------------------------|-----|-------|

| | | |
|---------------------------|-----|--------------------|
| FRONT LOT LINE BUILD OUT: | 50% | ±0% ⁽¹⁾ |
|---------------------------|-----|--------------------|

| | | |
|---------------------|-----|------|
| MINIMUM OPEN SPACE: | 20% | ±91% |
|---------------------|-----|------|

| PARKING REQUIREMENTS: | REQUIRED | PROPOSED |
|-----------------------|------------------------------------|---------------------|
| PARKING STALL LAYOUT: | | |
| • STANDARD 90° | WIDTH: 8.5' MIN LENGTH: 19' MIN | 8.5' MIN 19' MIN |

| | | |
|-----------------------|-------|-------------|
| DRIVE AISLE WIDTH: | 24 FT | 24 FT (MIN) |
| • 90° (2-WAY TRAFFIC) | | |

PARKING SPACE REQUIREMENTS:

MINIMUM APARTMENT PARKING
 1.3 SPACES PER UNIT x 72 UNITS = 94 SPACES
 +1 VISITOR PER 5 UNITS = 15 SPACES
 TOTAL APARTMENT PARKING REQUIRED = 109 SPACES

ADA PARKING REQUIREMENTS:
 1 / 25 STANDARD PARKING STALLS
 ADA SPACES REQUIRED = 5 SPACES
 ADA SPACES PROVIDED = 6 SPACES

| | |
|------------------|------------|
| PARKING REQUIRED | 109 SPACES |
| PARKING PROVIDED | 118 SPACES |

NOTES:

(1) - ZONING VARIANCE REQUESTED FROM SECTION 10.5B33.20, 50% FRONT LOT LINE BUILD OUT, AND SECTION 10.5b33.30, PRIMARY FACADE BUILT PARALLEL TO A FRONT LOT LINE.

PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE

| MARK | DATE | DESCRIPTION |
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| PROJECT NO: | M5131-001 | |
| DATE: | 9/5/2023 | |
| FILE: | M5131-001-DSGN.dwg | |
| DRAWN BY: | NHW/CLK | |
| DESIGNED/CHECKED BY: | NAH | |
| APPROVED BY: | PMC | |

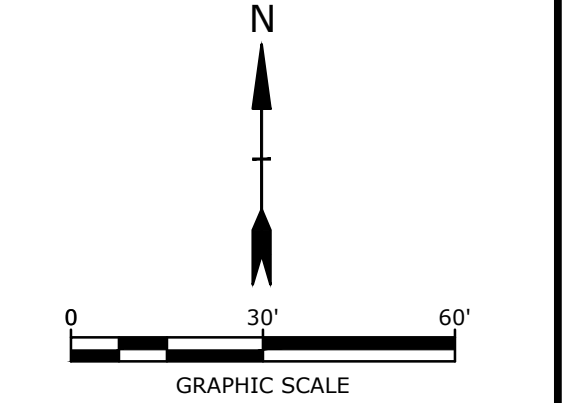
SITE PLAN

SCALE: AS SHOWN

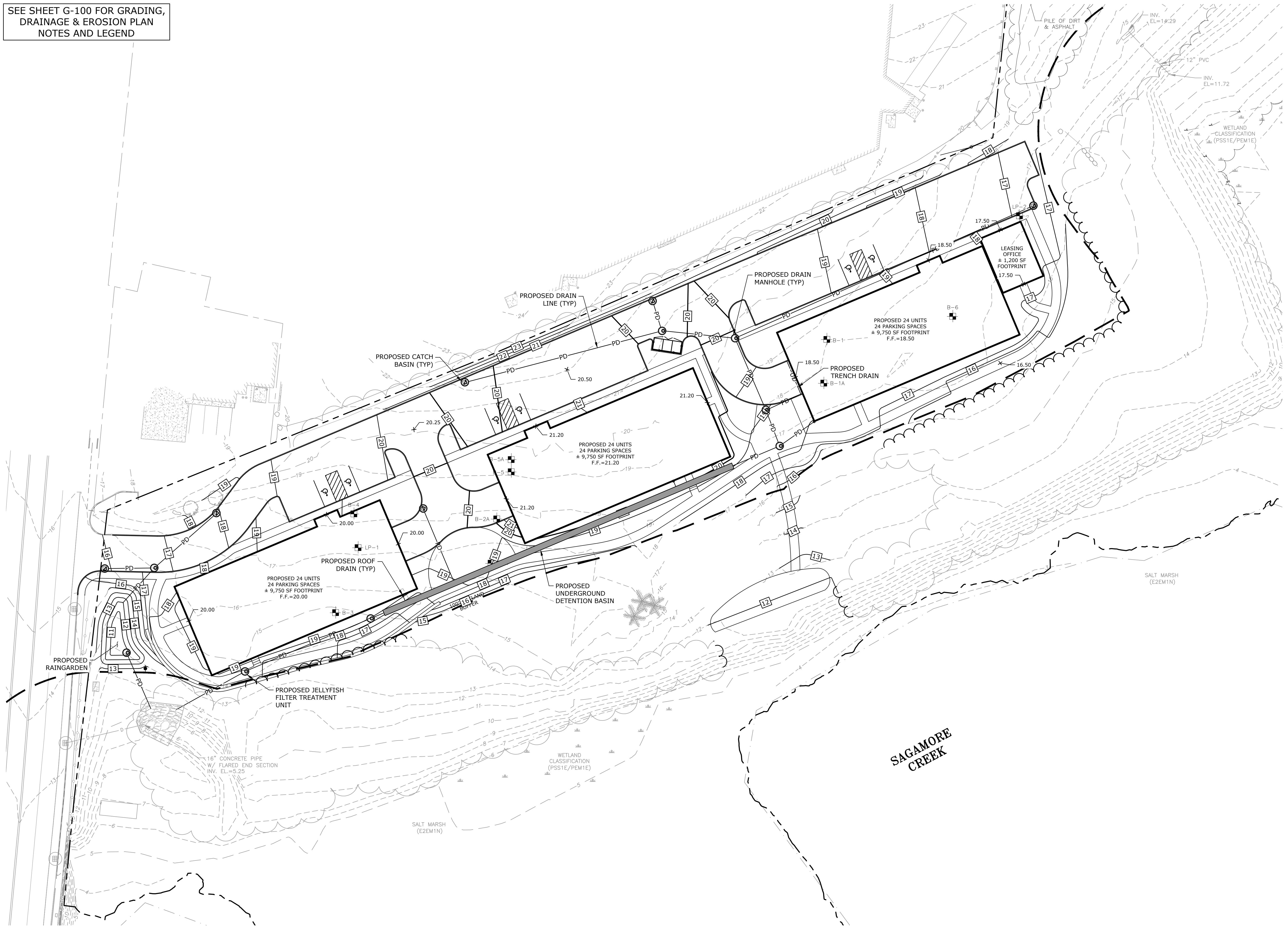
C-102

SEE SHEET G-100 FOR GRADING,
DRAINAGE & EROSION PLAN
NOTES AND LEGEND

Tighe&Bond



PROGRESS PRINT



PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD
PORTSMOUTH,
NEW HAMPSHIRE

| MARK | DATE | DESCRIPTION |
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| DRAWN BY: | NHW/CJK |
| DESIGNED/CHECKED BY: | NAH |
| APPROVED BY: | PMC |

GRADING, DRAINAGE & EROSION CONTROL PLAN

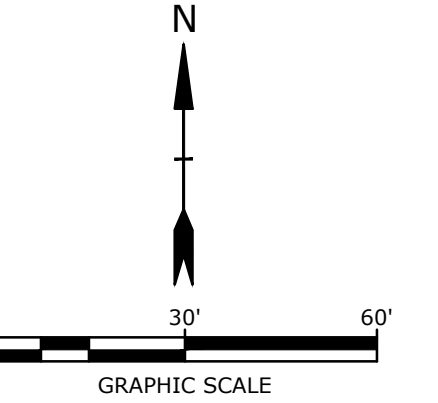
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C-103

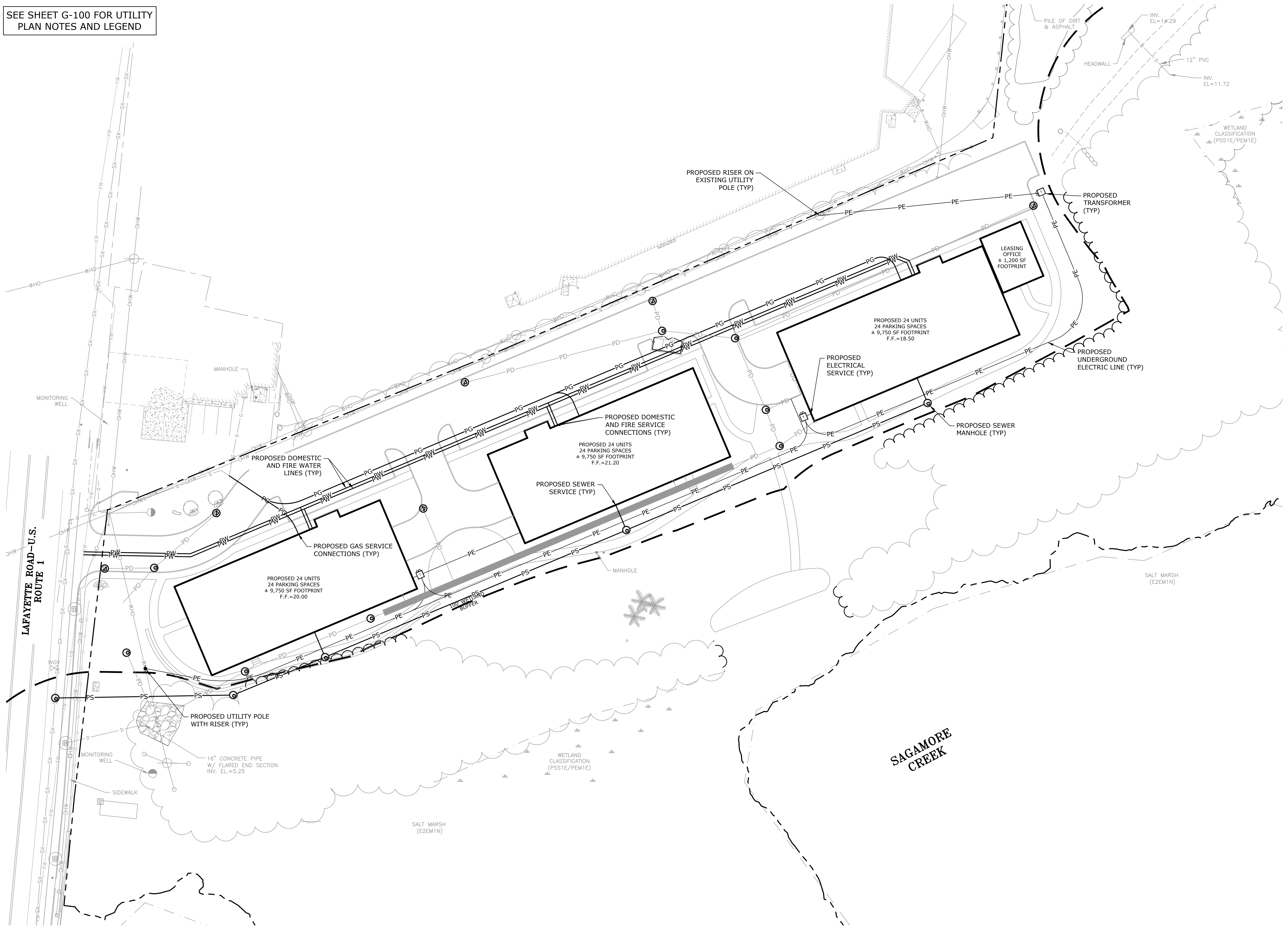
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SEE SHEET G-100 FOR UTILITY
PLAN NOTES AND LEGEND

Tighe & Bond



PROGRESS PRINT



PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD
PORTSMOUTH,
NEW HAMPSHIRE

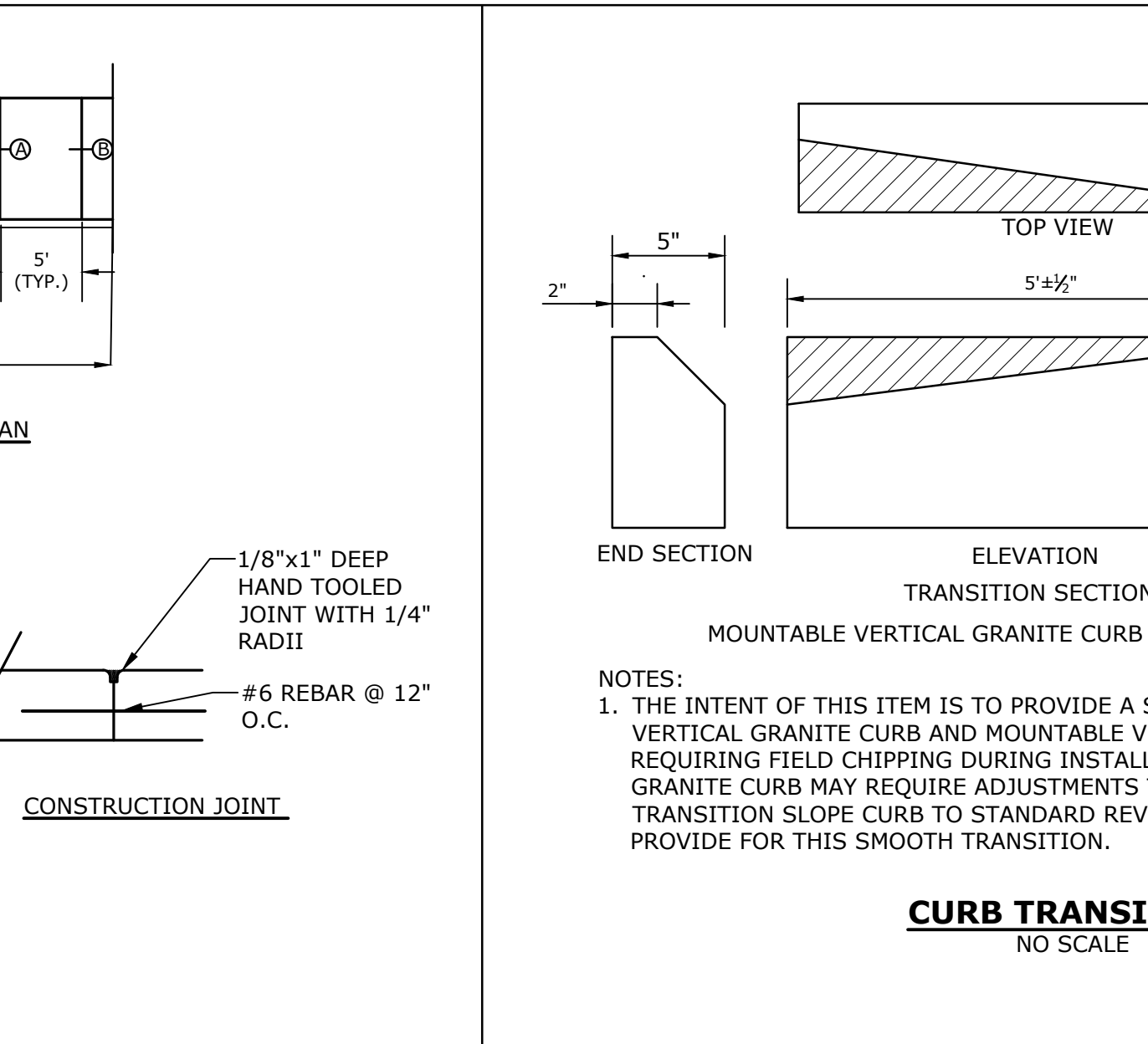
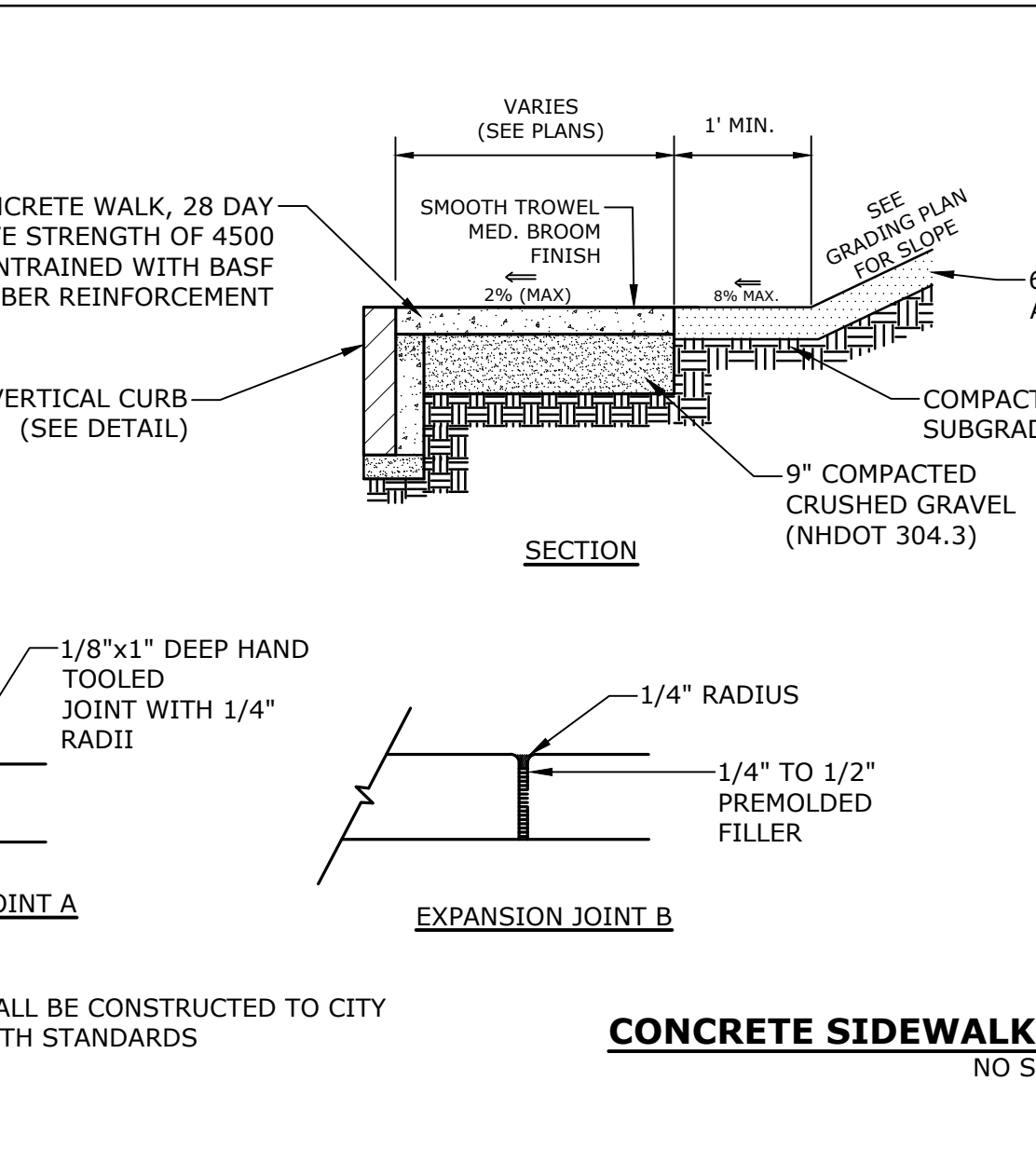
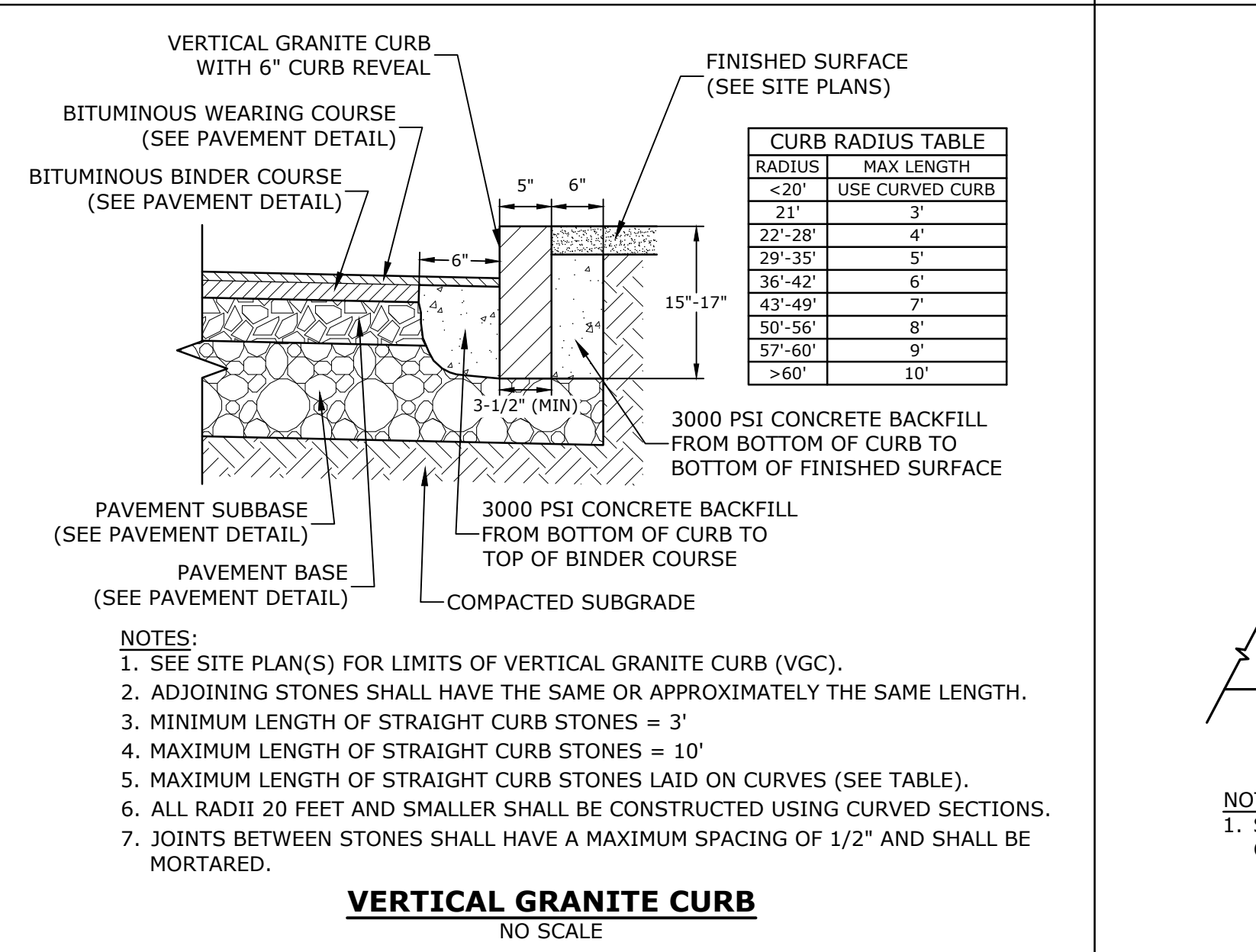
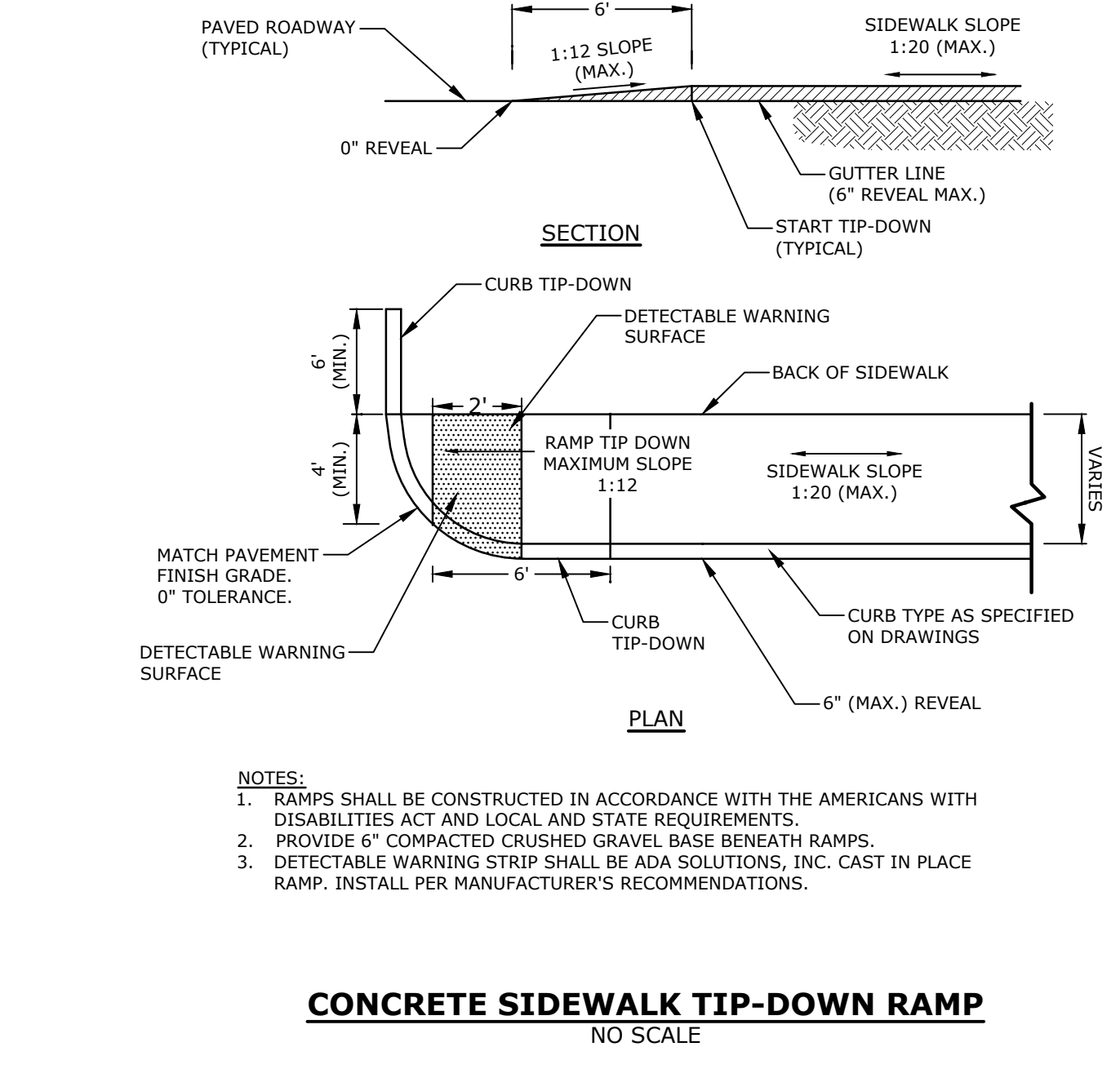
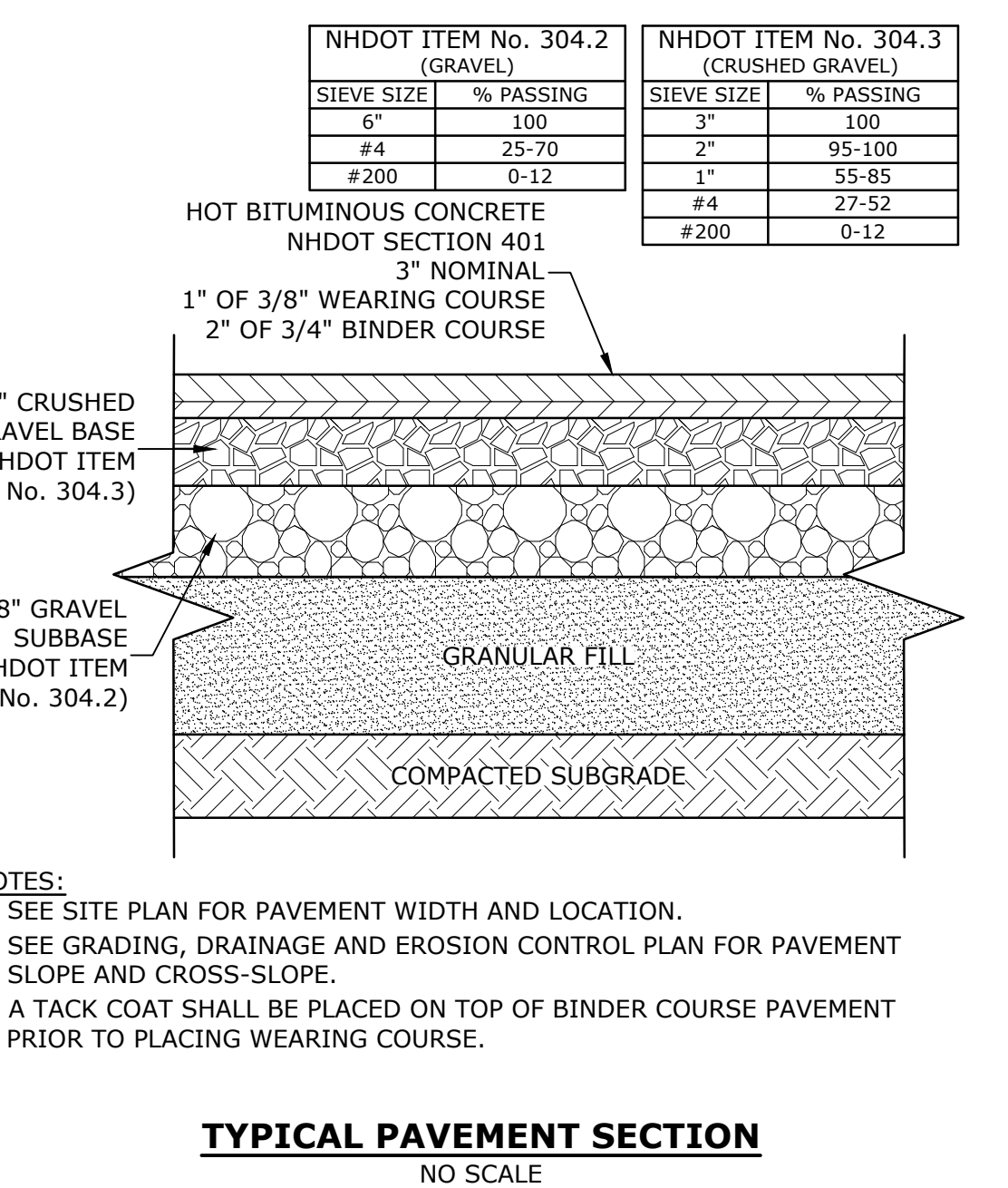
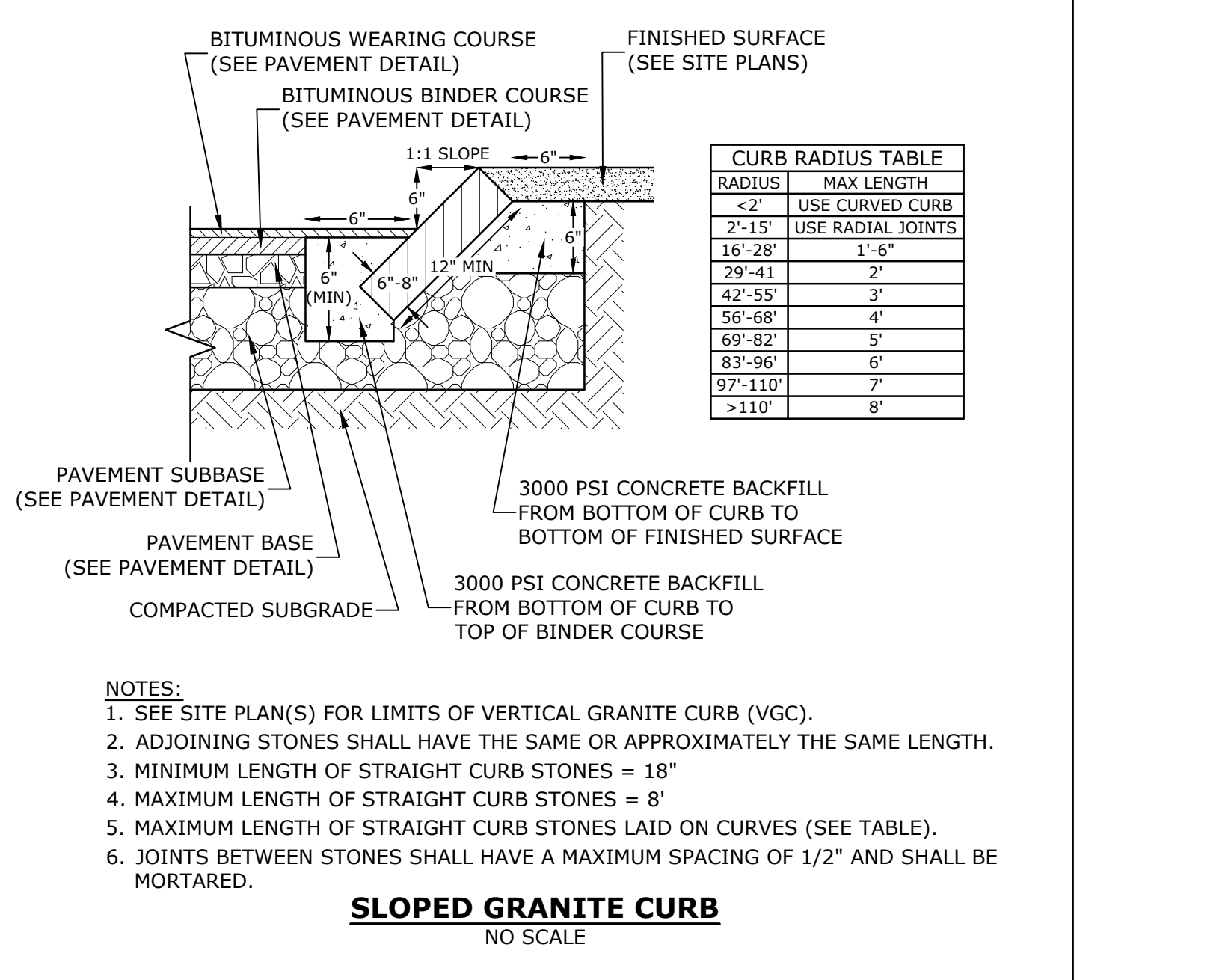
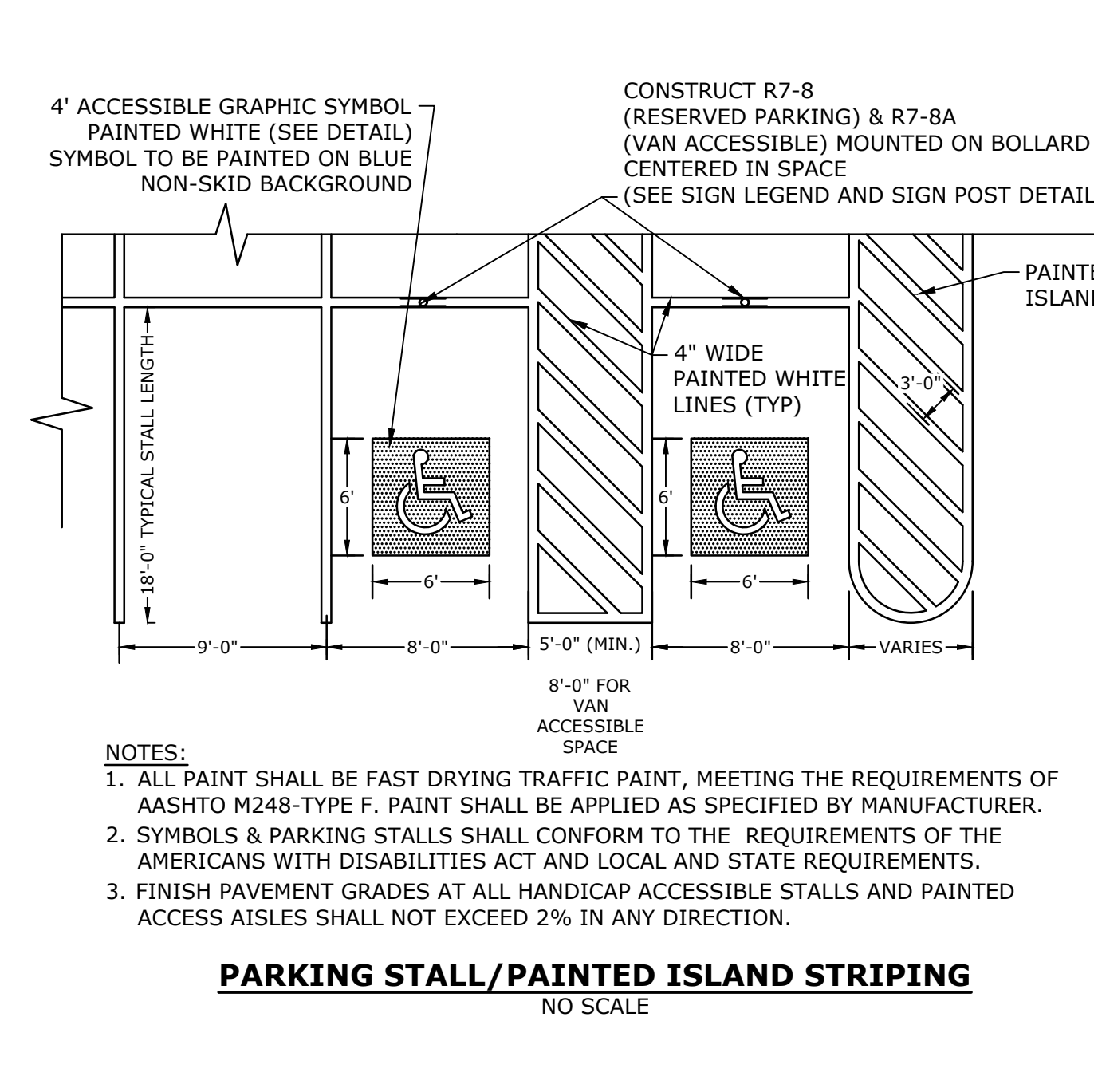
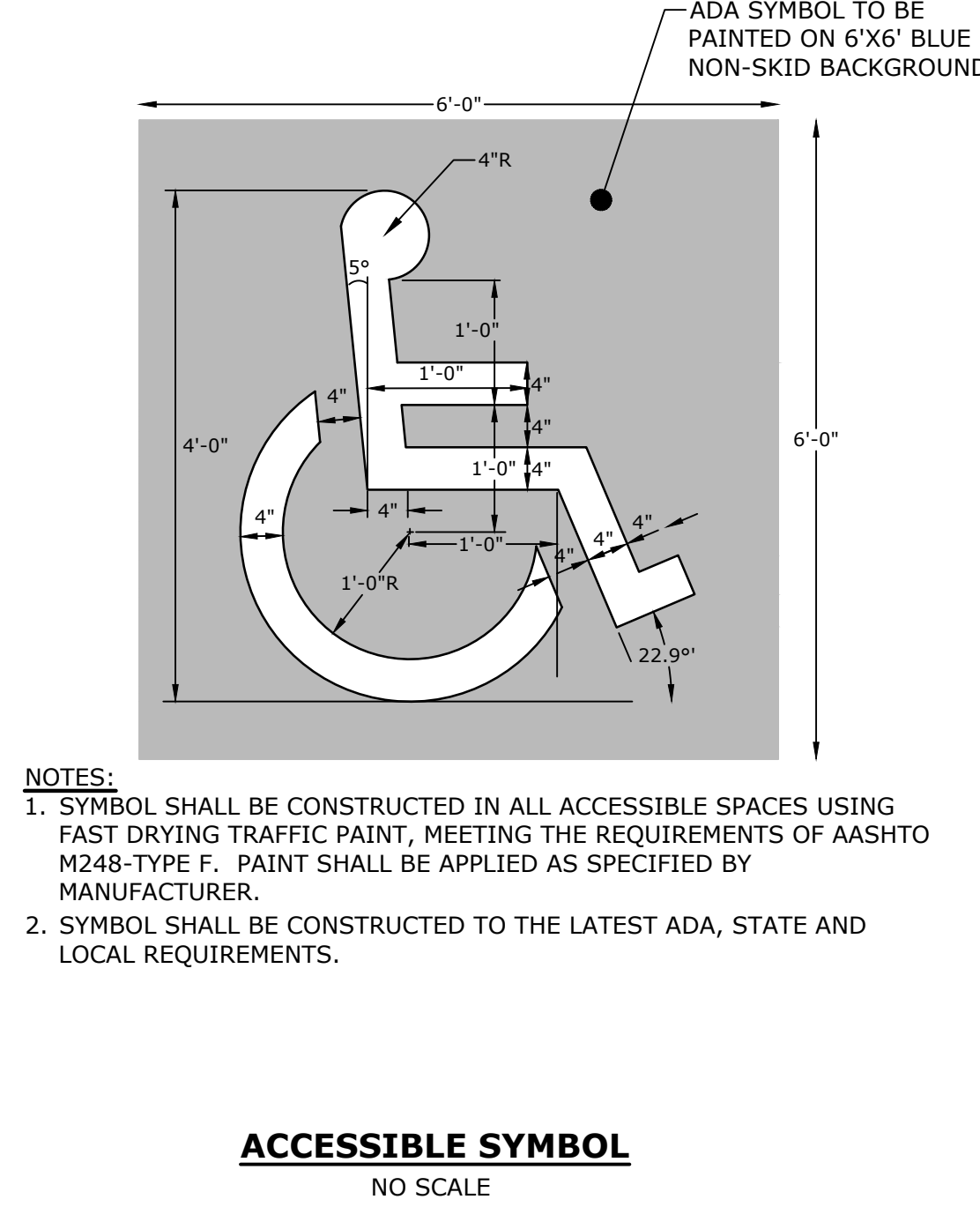
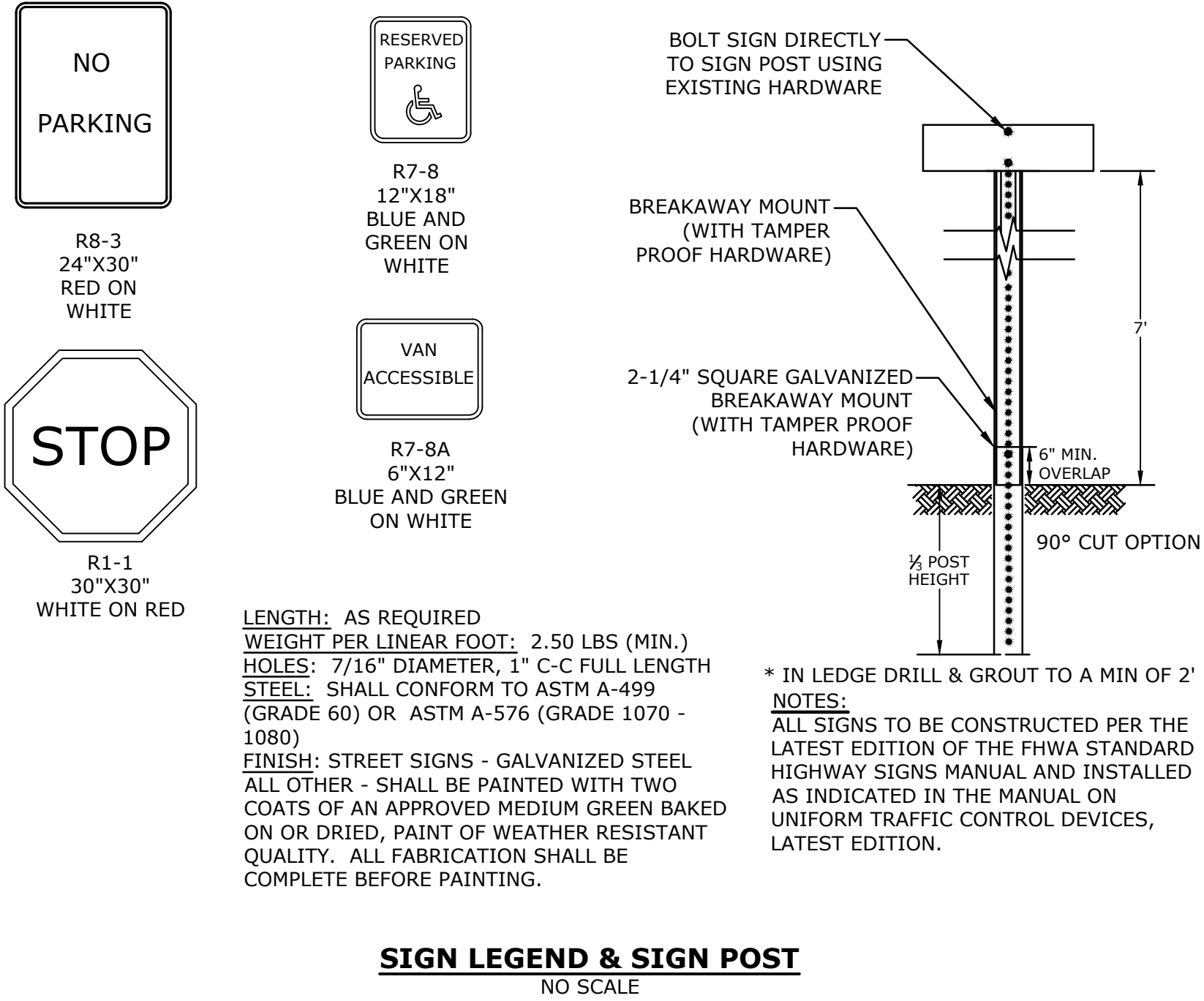
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UTILITY PLAN

SCALE: AS SHOWN

C-104

Last Saved: 9/5/2023 11:15am By: Chriscull
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 Tighe & Bond 3/15/2023 11:15am
 815 Lafayette Road Drawings\AutoCAD\M5131_001_DSGN.dwg



PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

815 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE

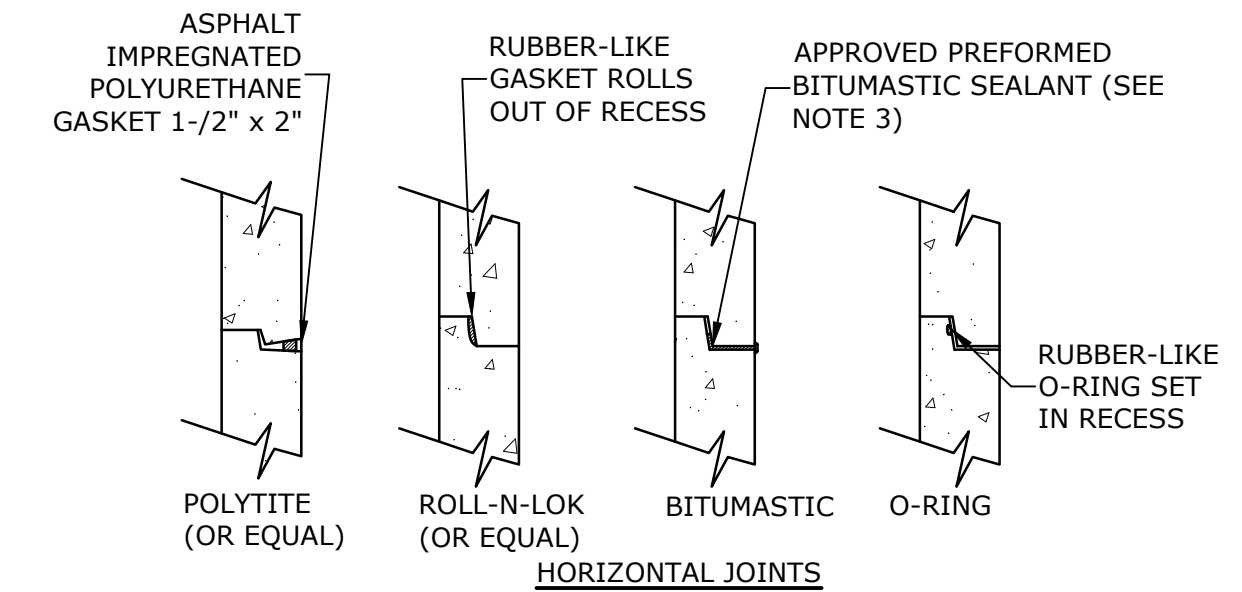
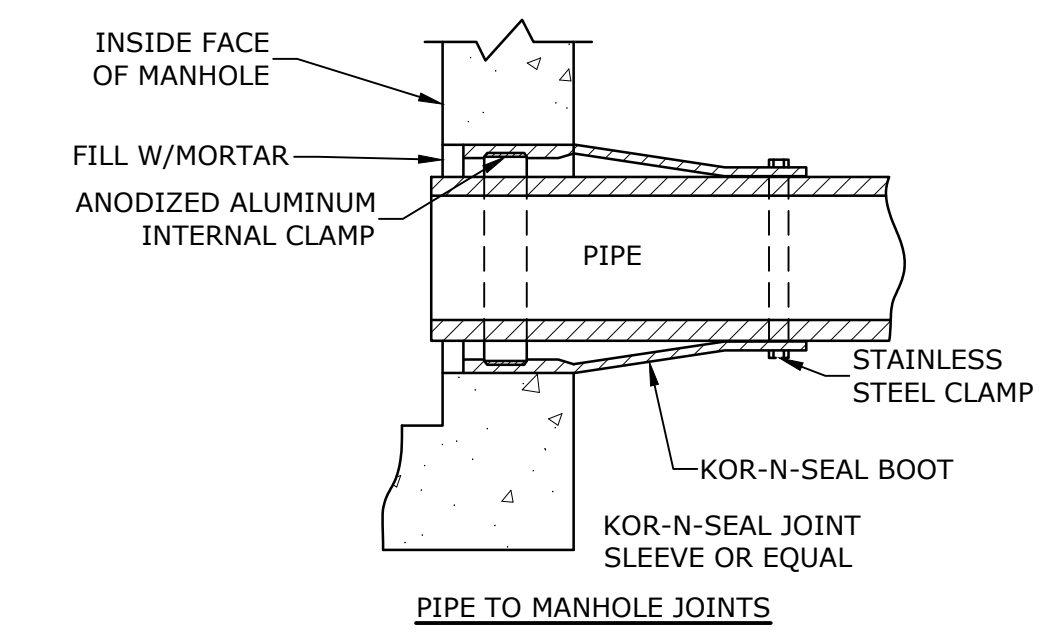
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| PROJECT NO: | M5131-001 | |
| DATE: | 9/5/2023 | |
| FILE: | M5131-001-DTLS.dwg | |
| DRAWN BY: | NHW/CJK | |
| DESIGNED/CHECKED BY: | NAH | |
| APPROVED BY: | PMC | |

DETAILS

SCALE: AS SHOWN

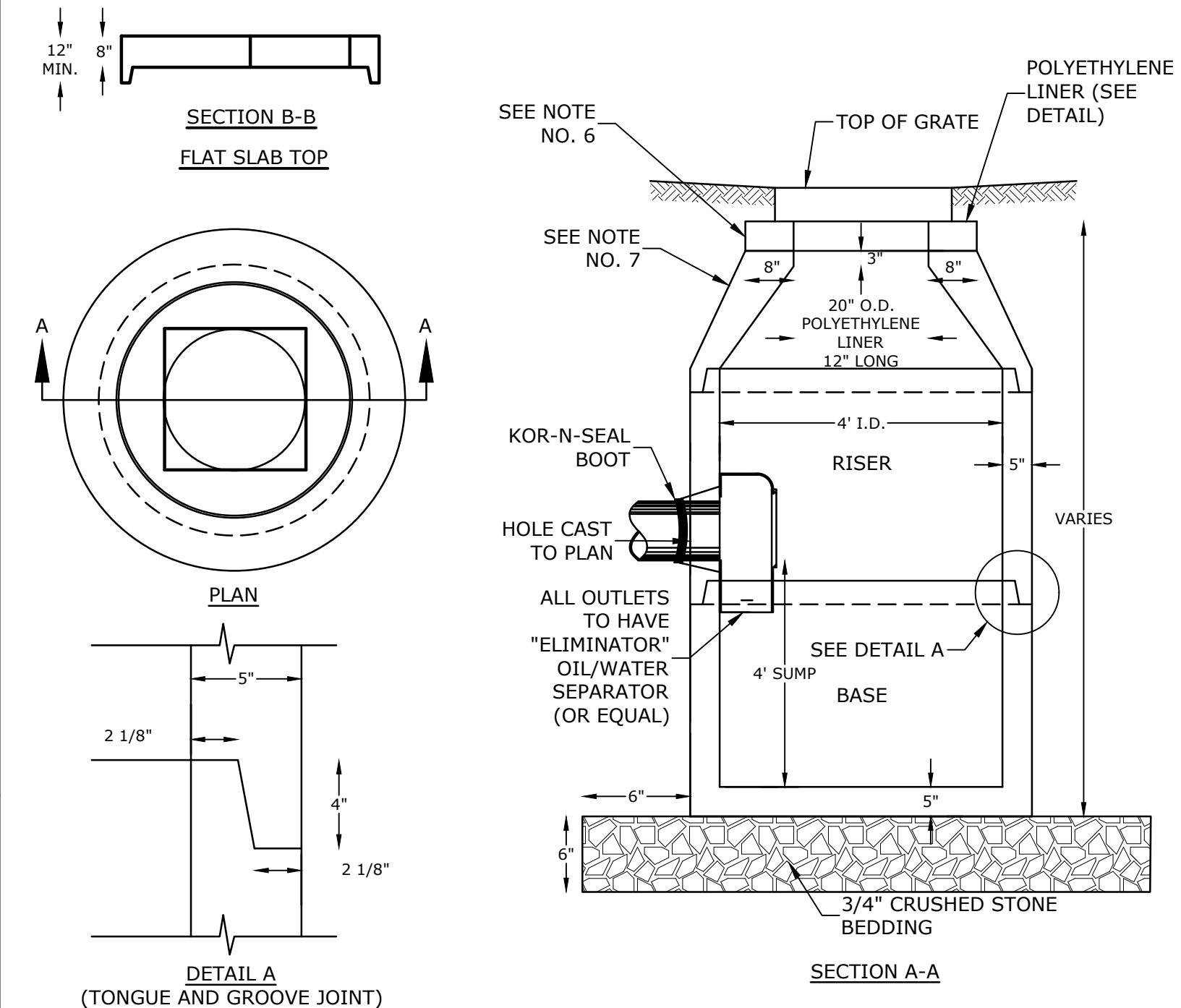
C-502

| MARK | DATE | DESCRIPTION |
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| DESIGNED/CHECKED BY: | NAH | |
| APPROVED BY: | PMC | |



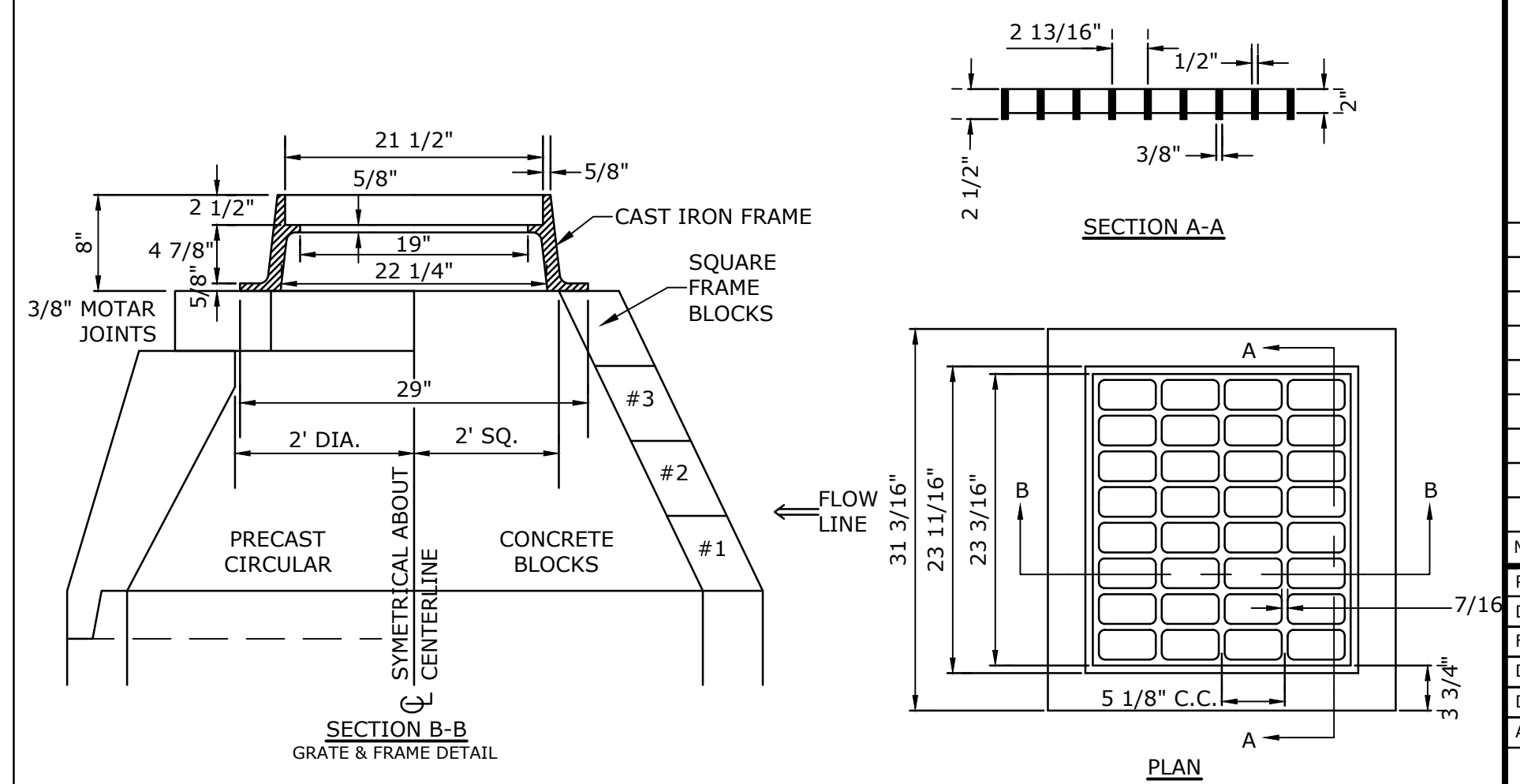
- NOTES:
- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF DOVER COMMUNITY DEVELOPMENT DEPARTMENT STANDARDS AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF DOVER STANDARDS.
 - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

MANHOLE JOINTS
NO SCALE



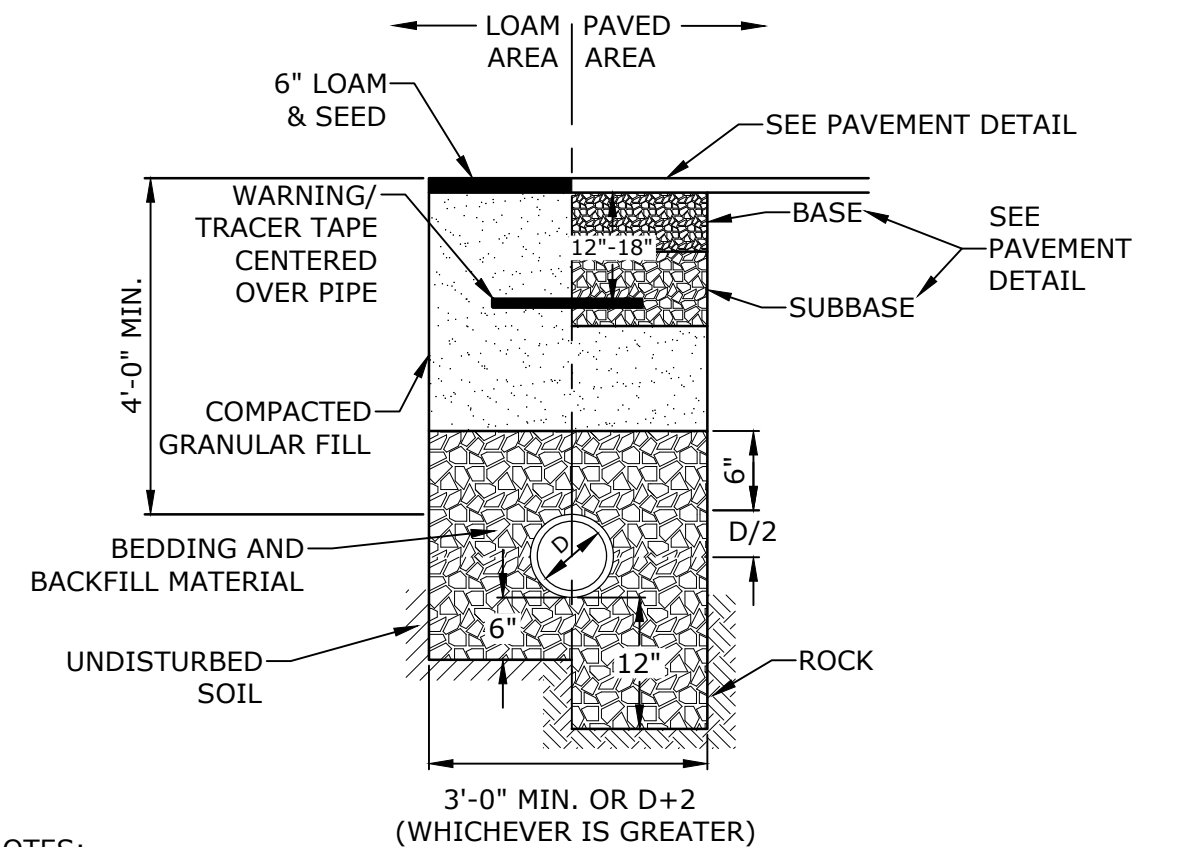
- NOTES:
- ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi).
 - CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 - THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 - RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
 - THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
 - FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.).
 - CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC. OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.
 - PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 - OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 - PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 - THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 - "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

4' DIAMETER CATCHBASIN
NO SCALE



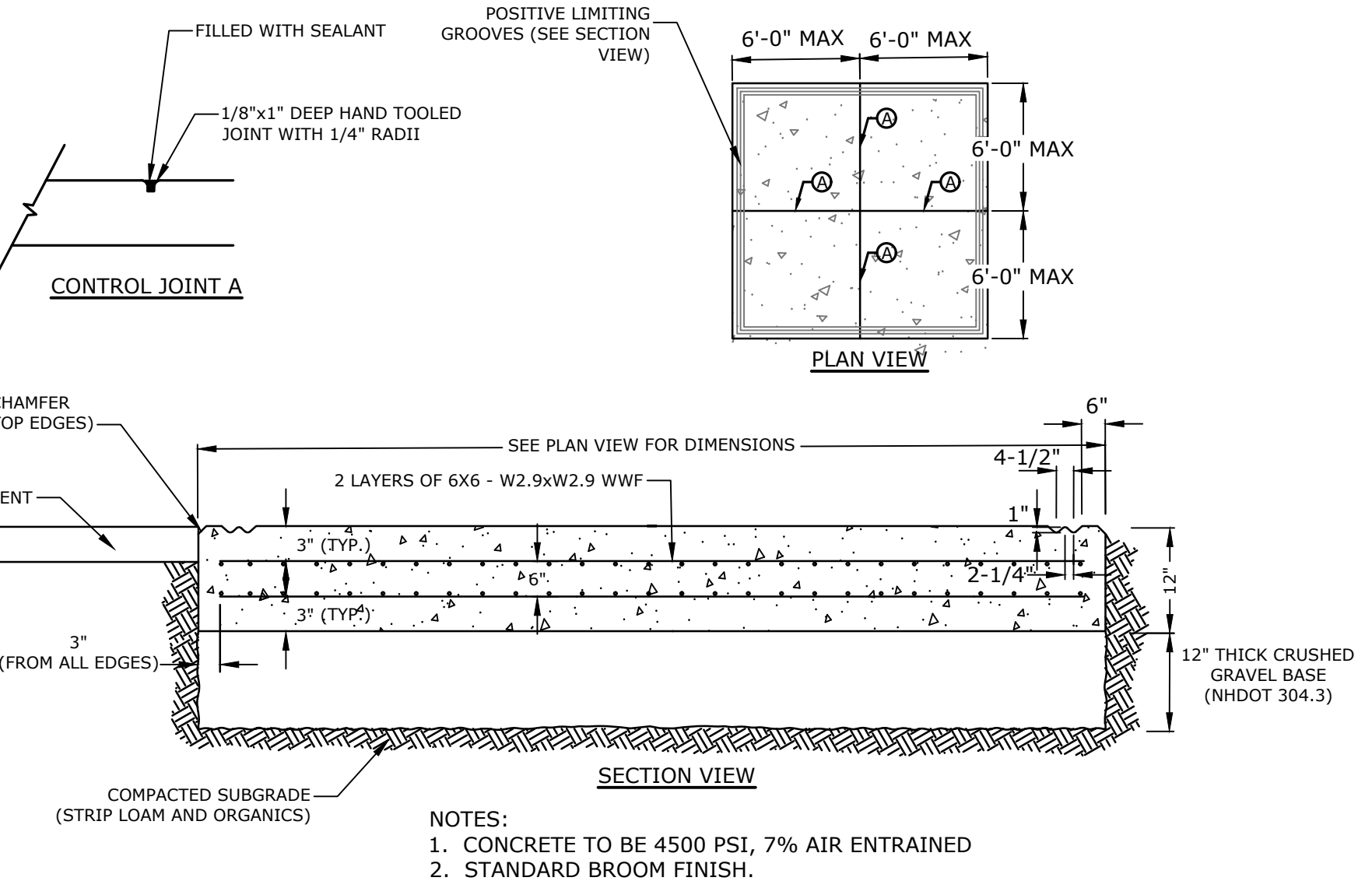
- NOTES:
- GRATE TO BE CAST IRON (NHDOT TYPE B ALTERNATE 1)
 - FRAME AND GRATE TO BE MANUFACTURED IN THE USA

CATCH BASIN FRAME & GRATE
NO SCALE

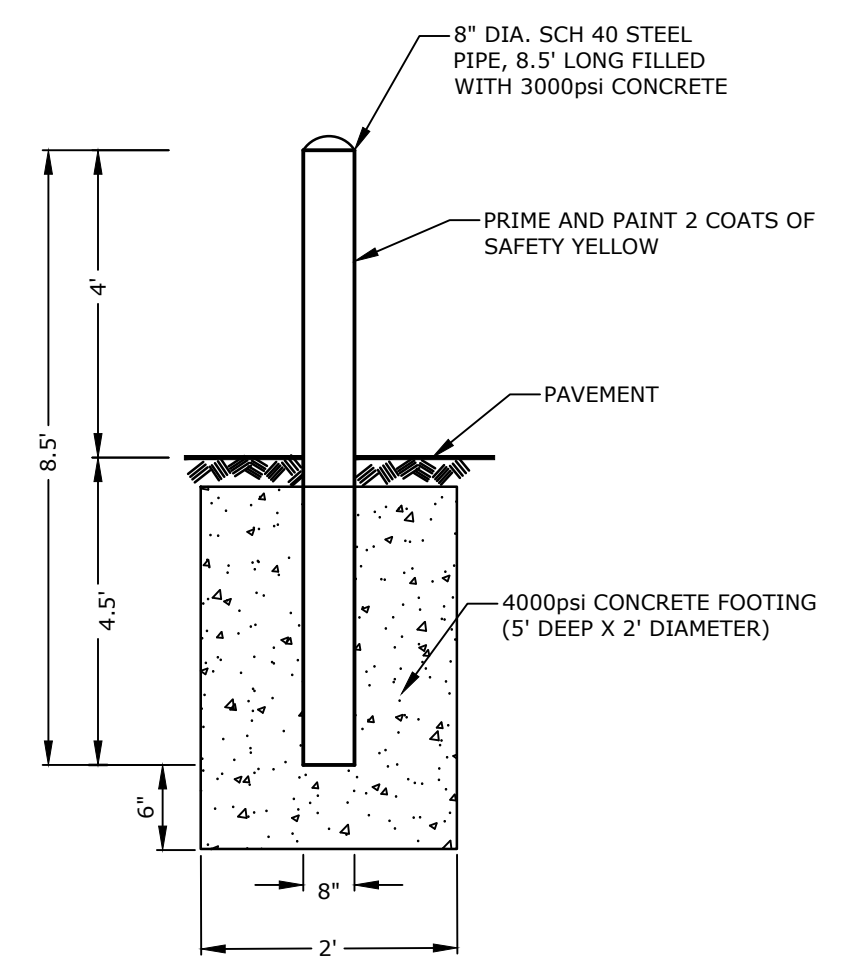


- NOTES:
- CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
 - ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.
 - DRAIN LINE SHALL BE INSULATED WHERE THERE IS LESS THAN 6' OF COVER IN PAVED AREAS AND LESS THAN 4' OF COVER IN NON-PAVED AREAS.

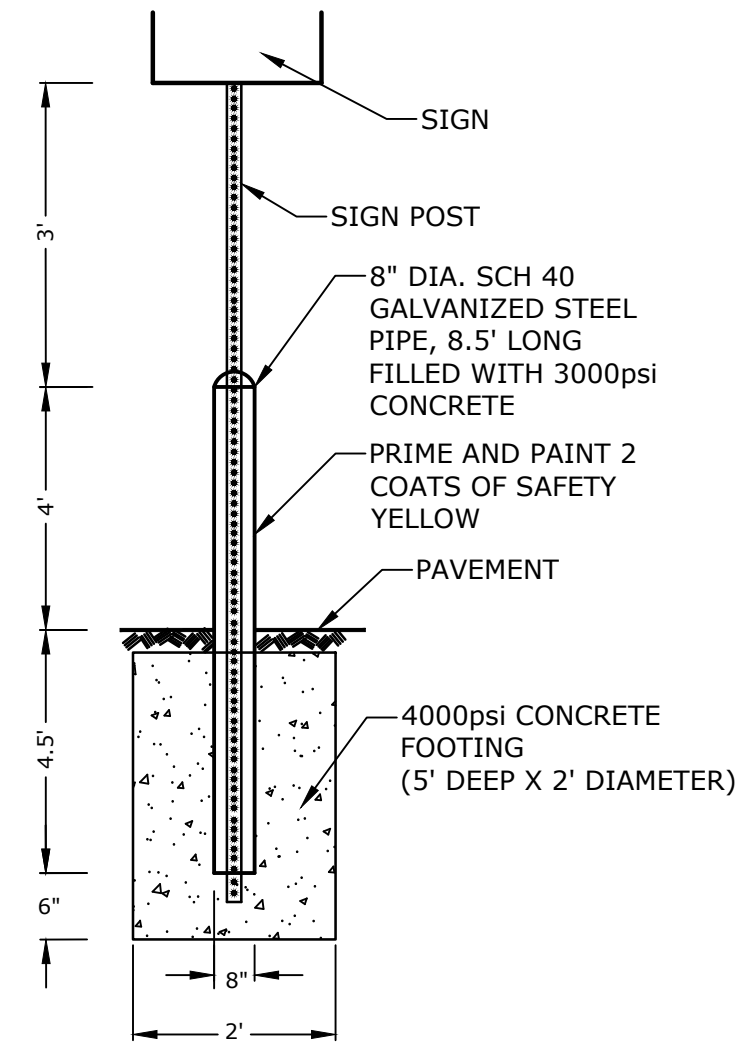
STORM DRAIN TRENCH
NO SCALE



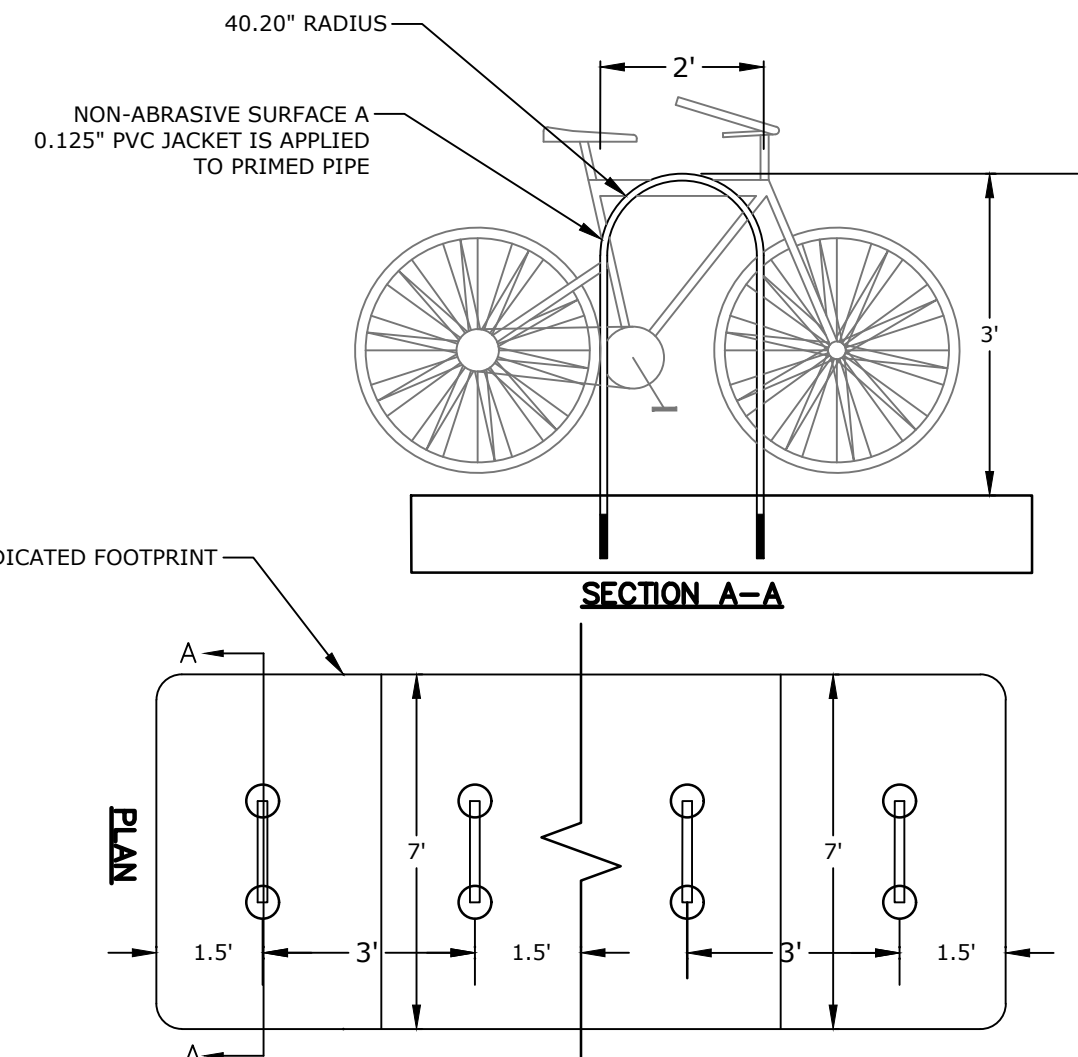
DUMPSTER PAD
NO SCALE



BOLLARD DETAIL
NO SCALE



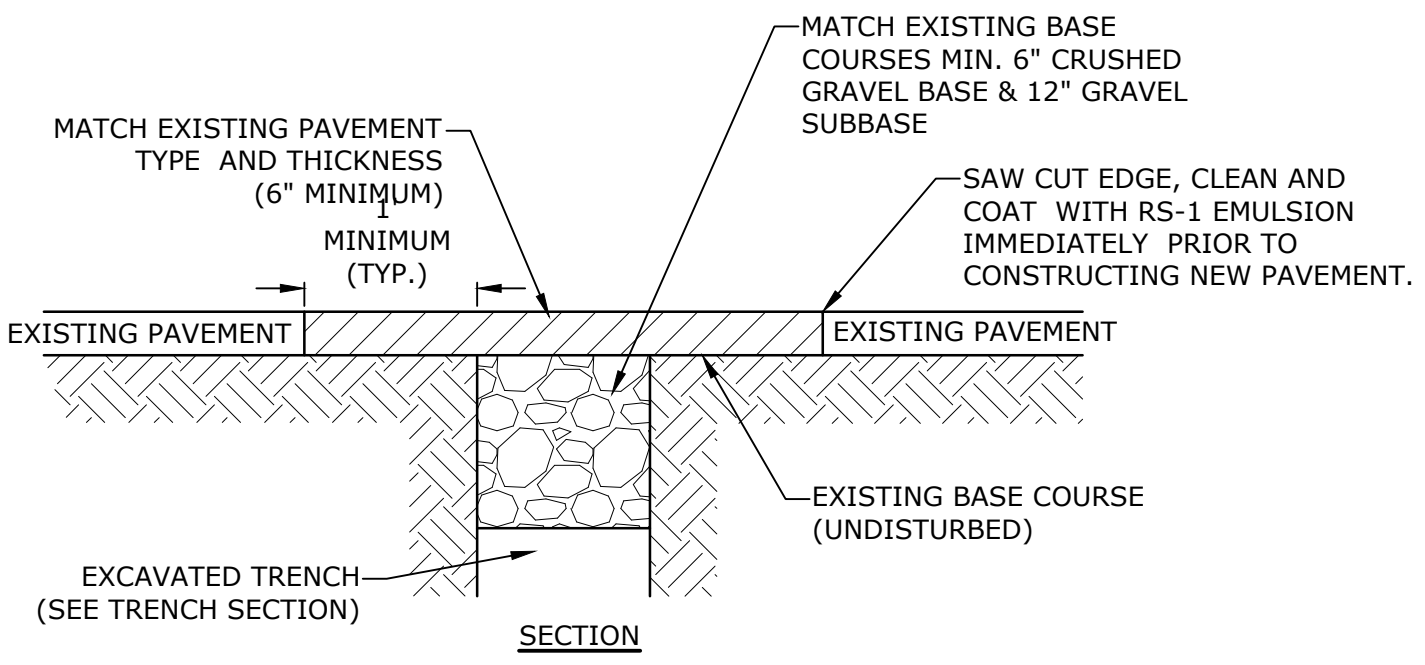
BOLLARD MOUNTED SIGN DETAIL
NO SCALE



BIKE RACK
NO SCALE

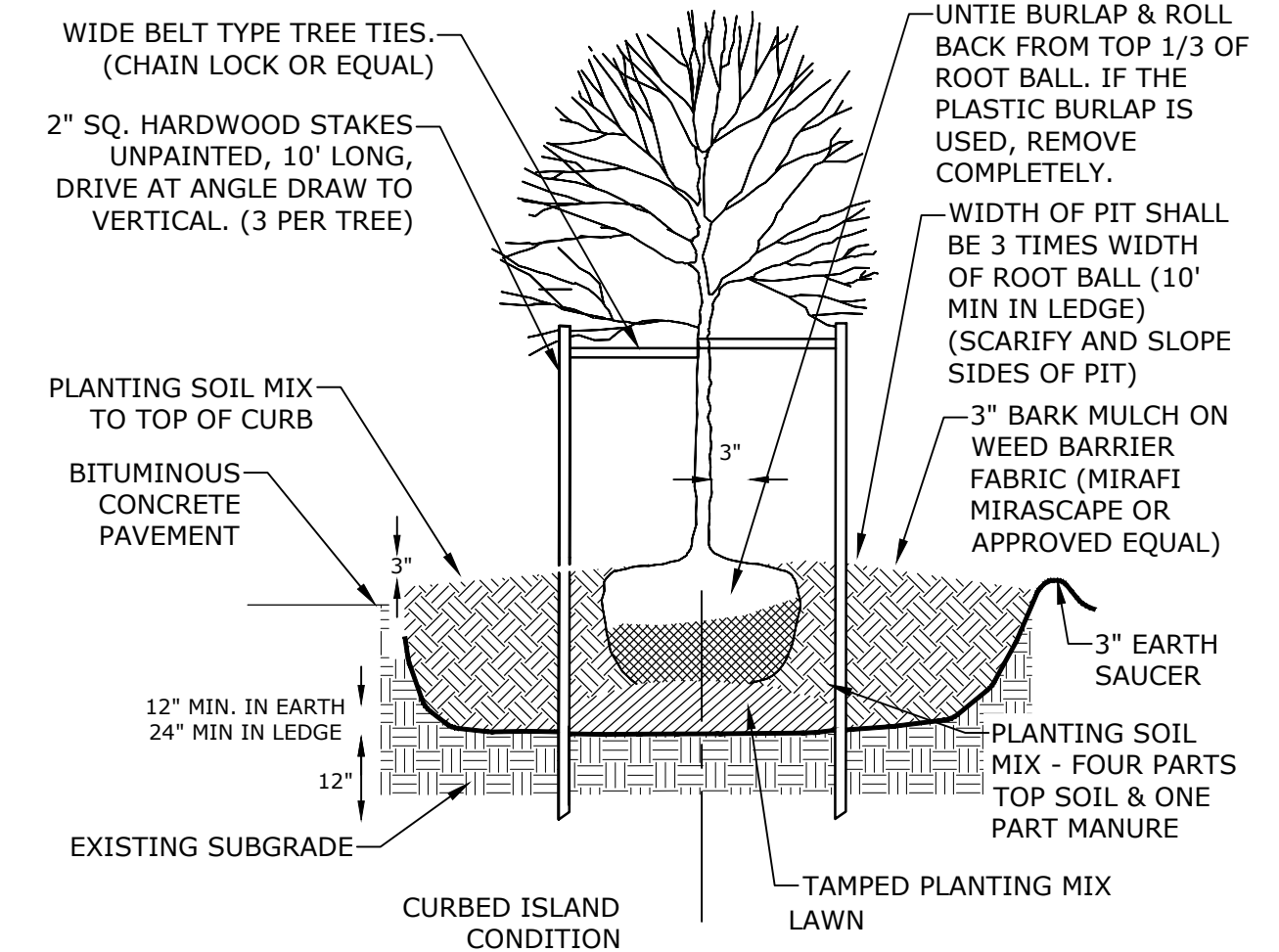
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| MARK | DATE | DESCRIPTION |
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| DRAWN BY: | NHW/CJK | |
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| APPROVED BY: | PMC | |



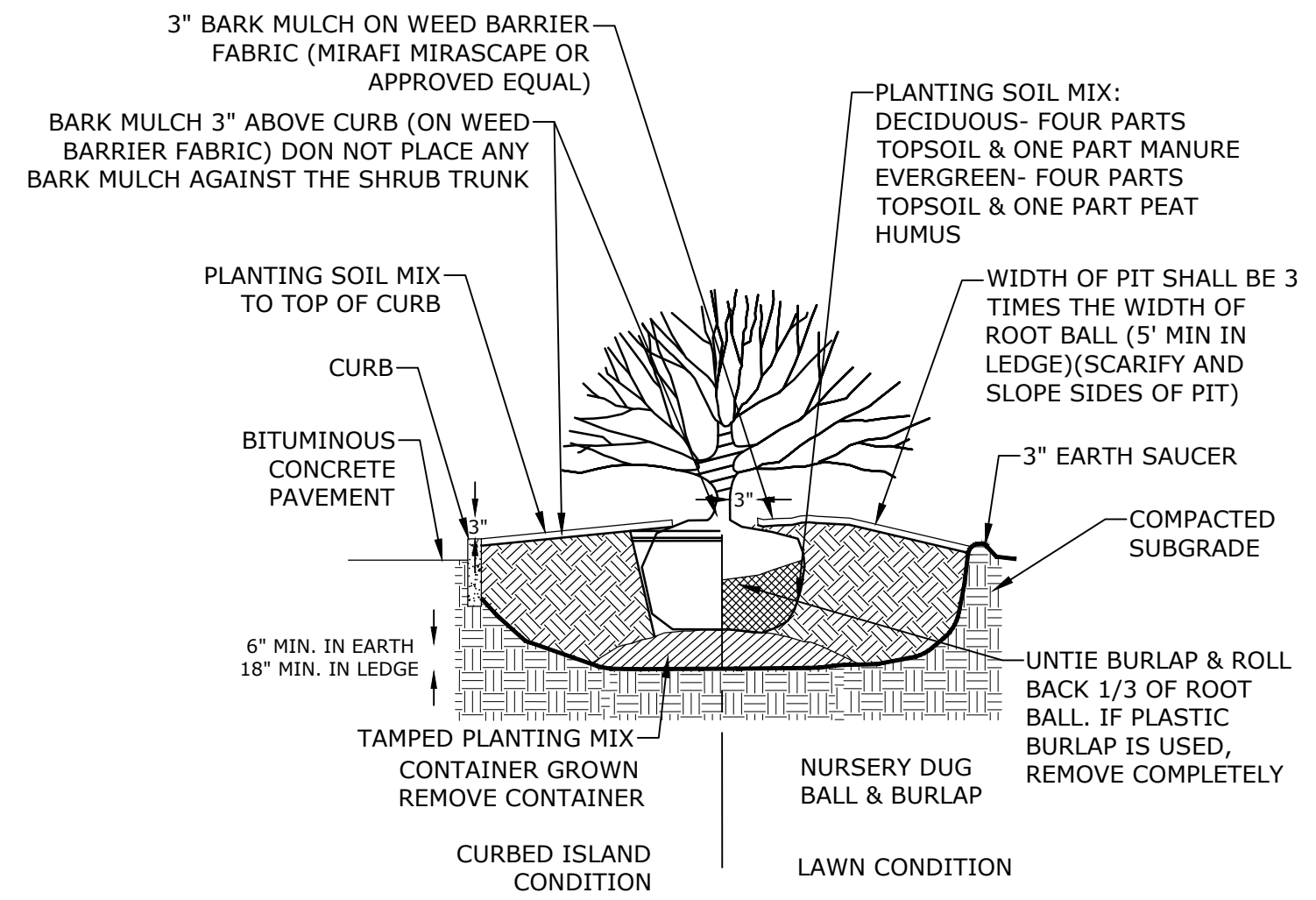
NOTE:
1. COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

ROADWAY TRENCH PATCH
NO SCALE



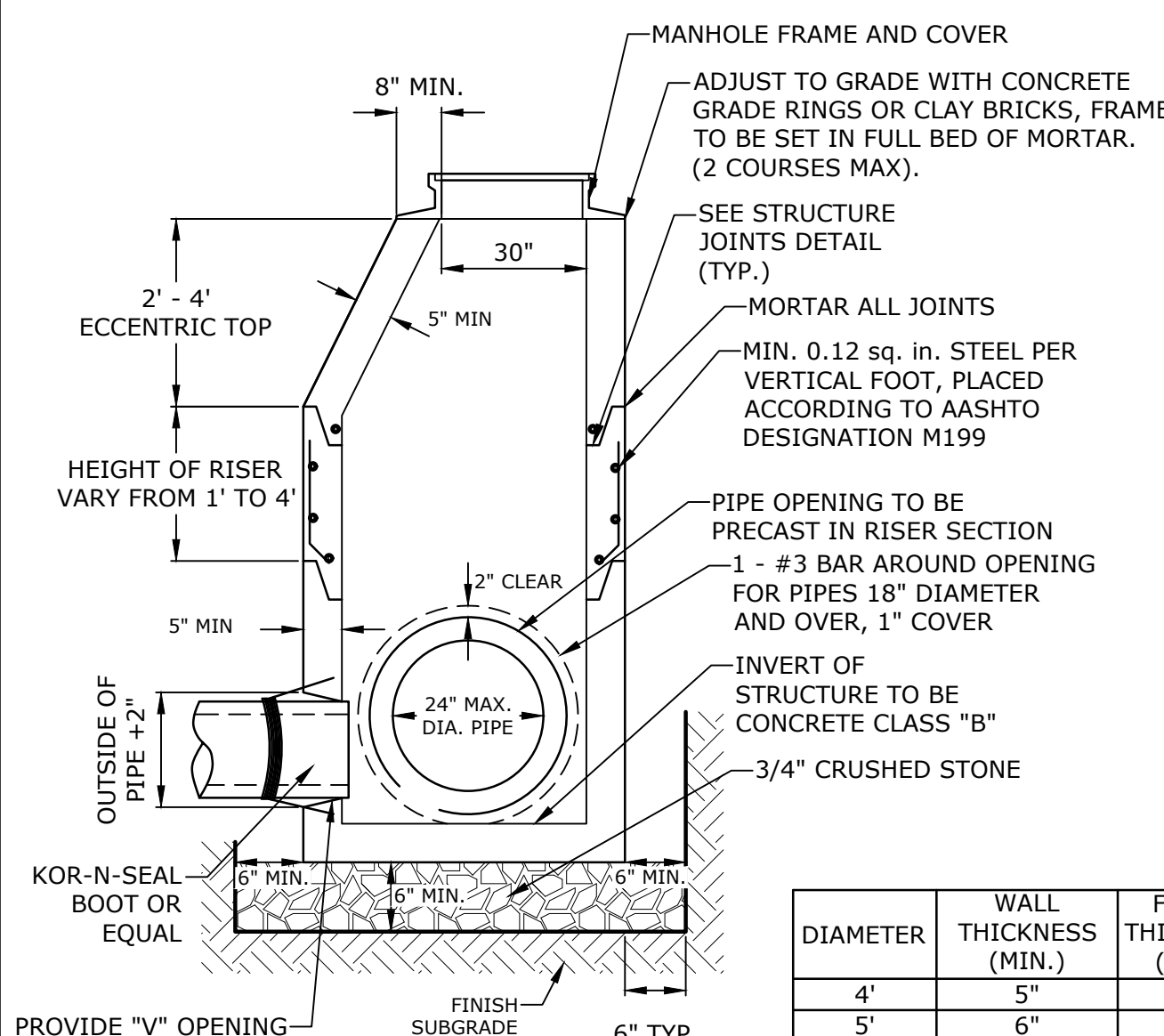
NOTES:
1. PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED OR WITHIN 2" ABOVE.
2. NEW TREE ROOT FLARES SHALL BE PLANTED AT FINISH GRADE.

DECIDUOUS TREE PLANTING
NO SCALE



NOTE:
1. PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED, OR WITHIN 2" ABOVE.

SHRUB PLANTING
NO SCALE

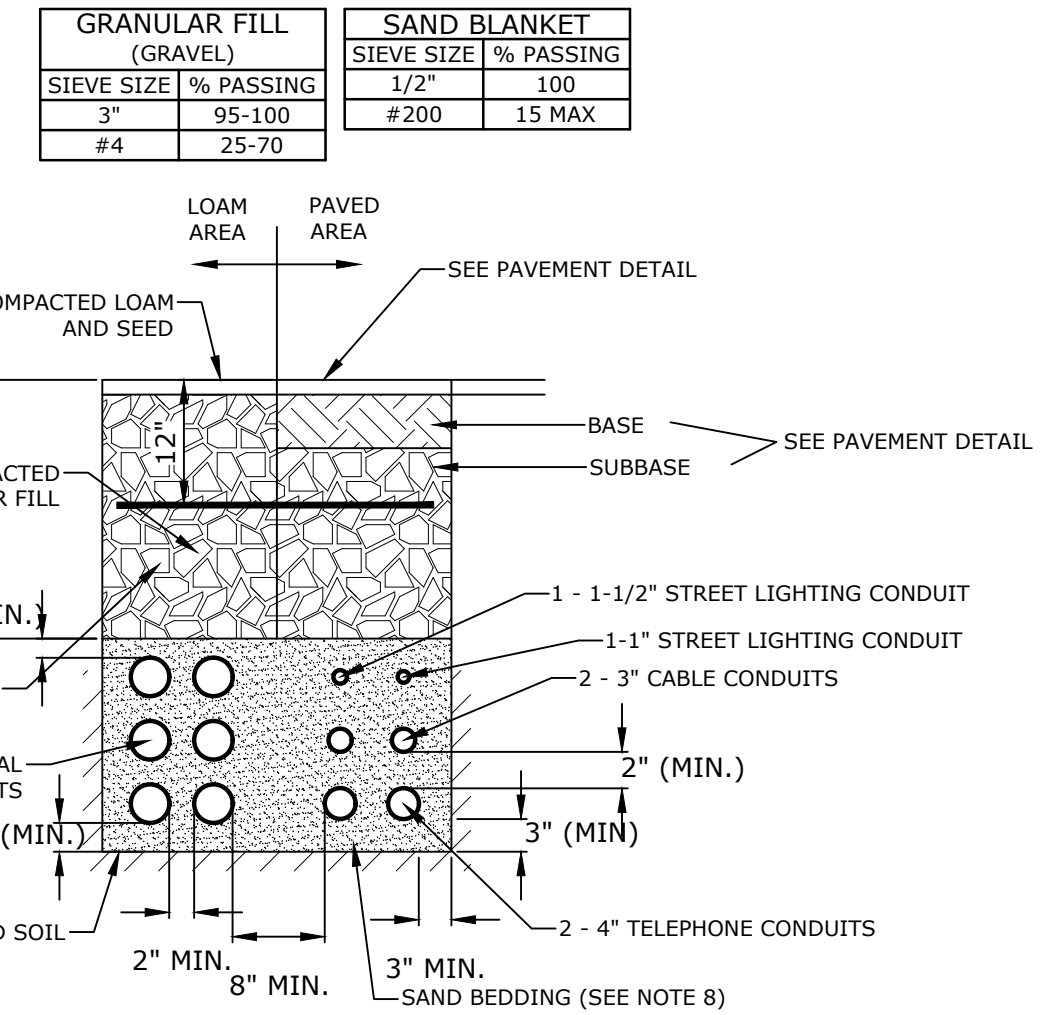


NOTES:
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
3. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

| PIPE SIZE | CORE HOLE SIZE | |
|-----------|--------------------|------------------------|
| | RCP CORE HOLE DIA. | PLASTIC CORE HOLE DIA. |
| 6 | 7 | 0.6 |
| 12 | 18 | 1.5 |
| 15 | 22 | 1.8 |
| 18 | 26 | 2.2 |
| 24 | 34 | 2.8 |
| 30 | 42 | 3.5 |

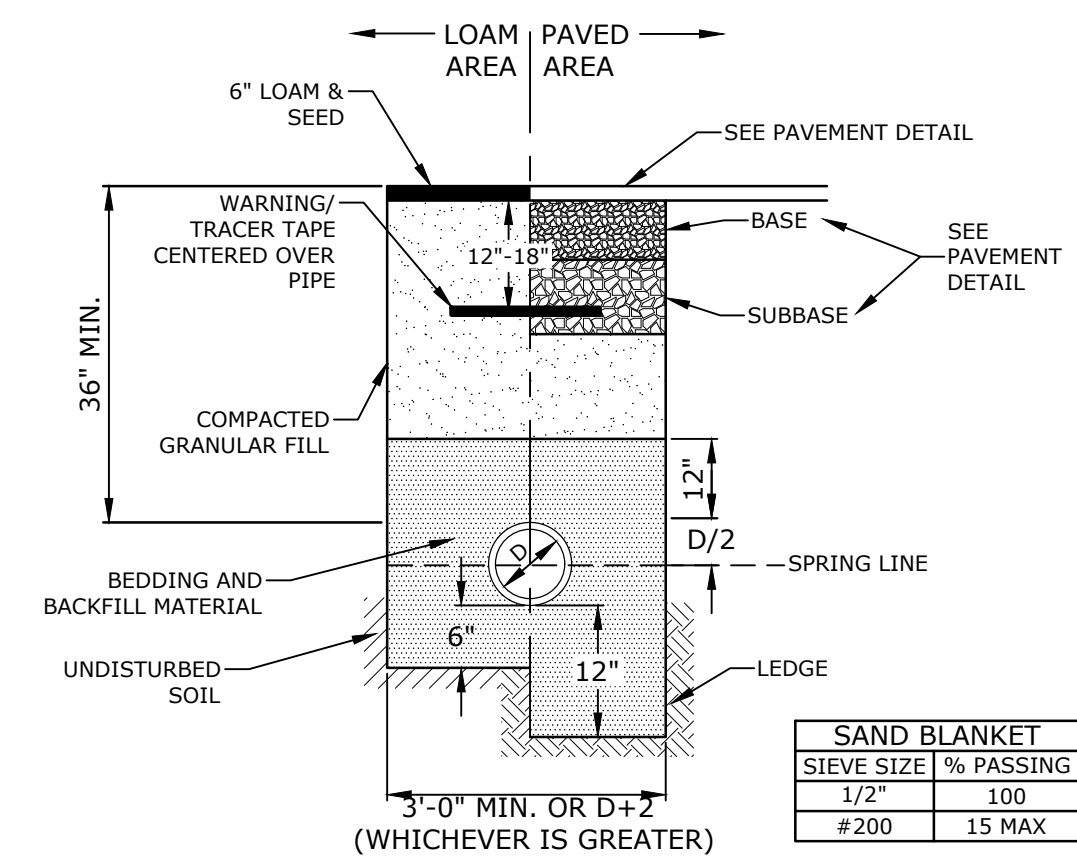
| DIAMETER | WALL THICKNESS (MIN.) | FLOOR THICKNESS (MIN.) |
|----------|-----------------------|------------------------|
| 4' | 5" | 6" |
| 5' | 6" | 8" |

4' DIAMETER DRAIN MANHOLE
NO SCALE



NOTE:
1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL SWEEPS WITH A 36 TO 48 INCH RADIUS.
8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
NO SCALE



NOTE:
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
2. GAS LINE SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY/TOWN OF ????.

GAS TRENCH
NO SCALE

PROGRESS PRINT

PROPOSED DEVELOPMENT

PROSPECT NORTH 815, LLC

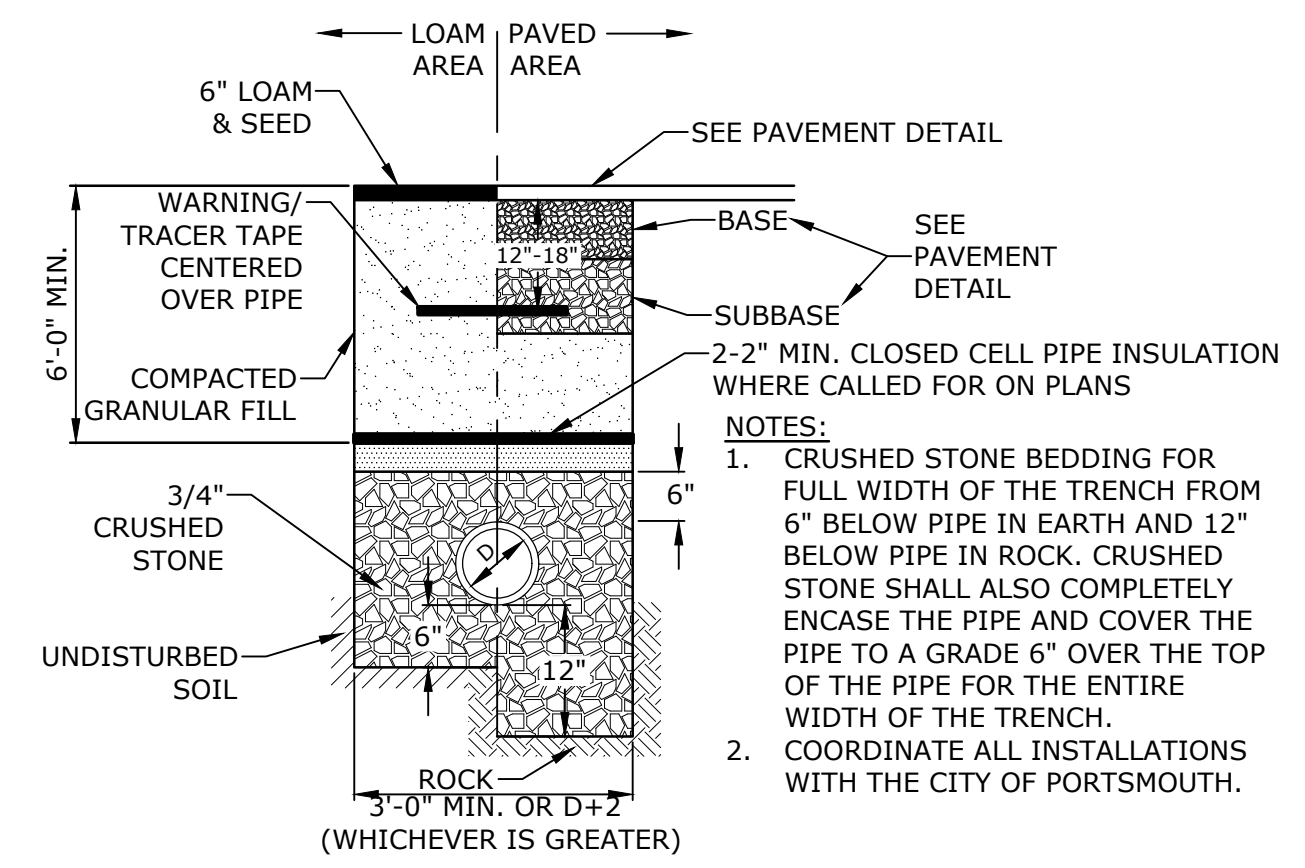
815 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

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| DESIGNED/CHECKED BY: | NAH | |
| APPROVED BY: | PMC | |

DETAILS

SCALE: AS SHOWN

C-505



SEWER SERVICE TRENCH
NO SCALE

JELLYFISH DESIGN NOTES

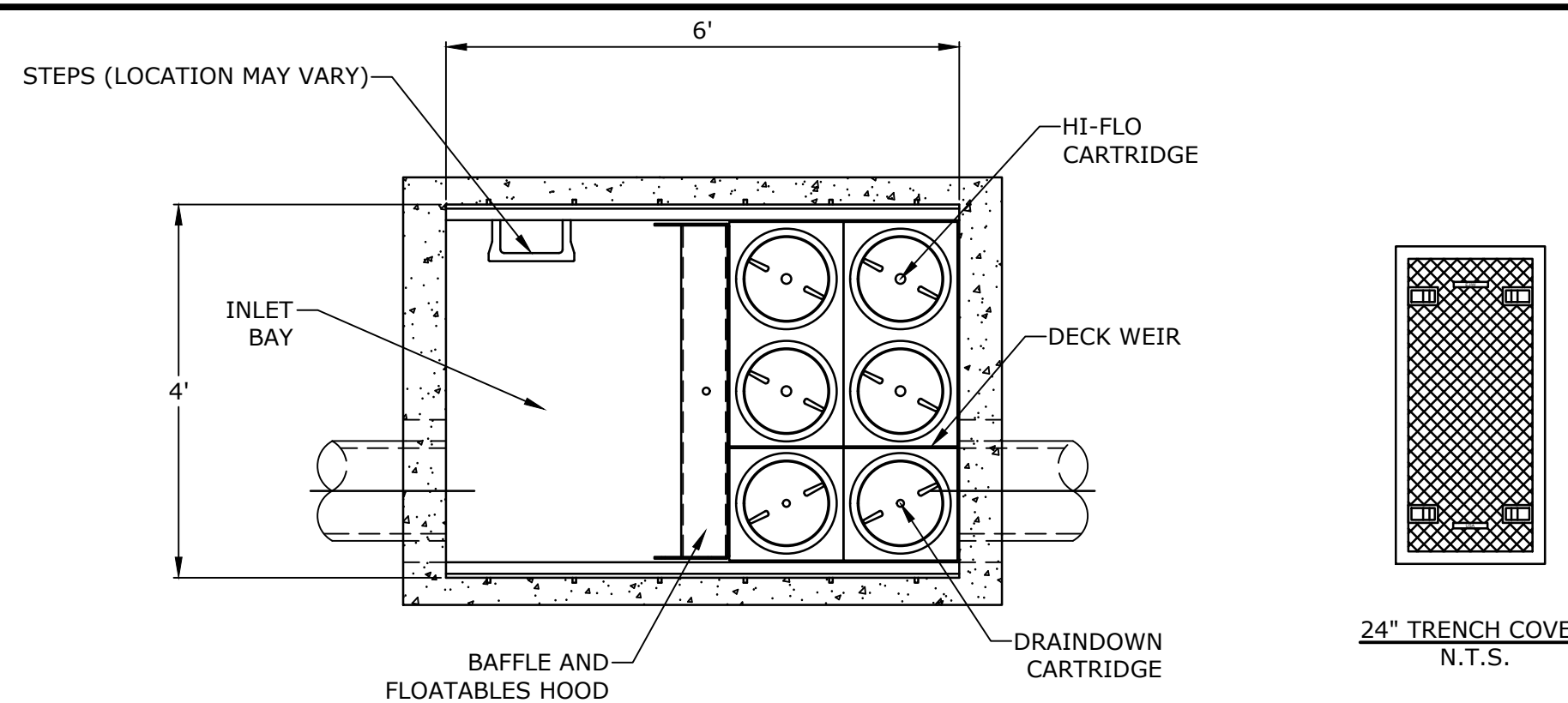
JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE LENGTH AND THE NUMBER OF CARTRIDGES. THE STANDARD SURFACE INLET STYLE WITH TRENCH GRATE AND COVER IS SHOWN. ALTERNATE CURB INLET OR PIPE INLET OPTIONS ARE AVAILABLE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.

| CARTRIDGE SELECTION | 54" | 40" | 27" | 15" |
|---|---------------|---------------|---------------|---------------|
| CARTRIDGE LENGTH | 54" | 40" | 27" | 15" |
| OUTLET INVERT TO STRUCTURE INVERT (A) | 6'-6" | 5'-4" | 4'-3" | 3'-3" |
| FLOW RATE HIGH-FLO / DRAINDOWN (CFS) (PER CART) | 0.178 / 0.089 | 0.133 / 0.067 | 0.089 / 0.045 | 0.049 / 0.025 |
| MAX TREATMENT (CFS) | 0.89 | 0.67 | 0.45 | 0.25 |
| OUTLET INVERT TO RIM (MIN) (B) | 3'-4" | 3'-4" | 3'-4" | 3'-4" |

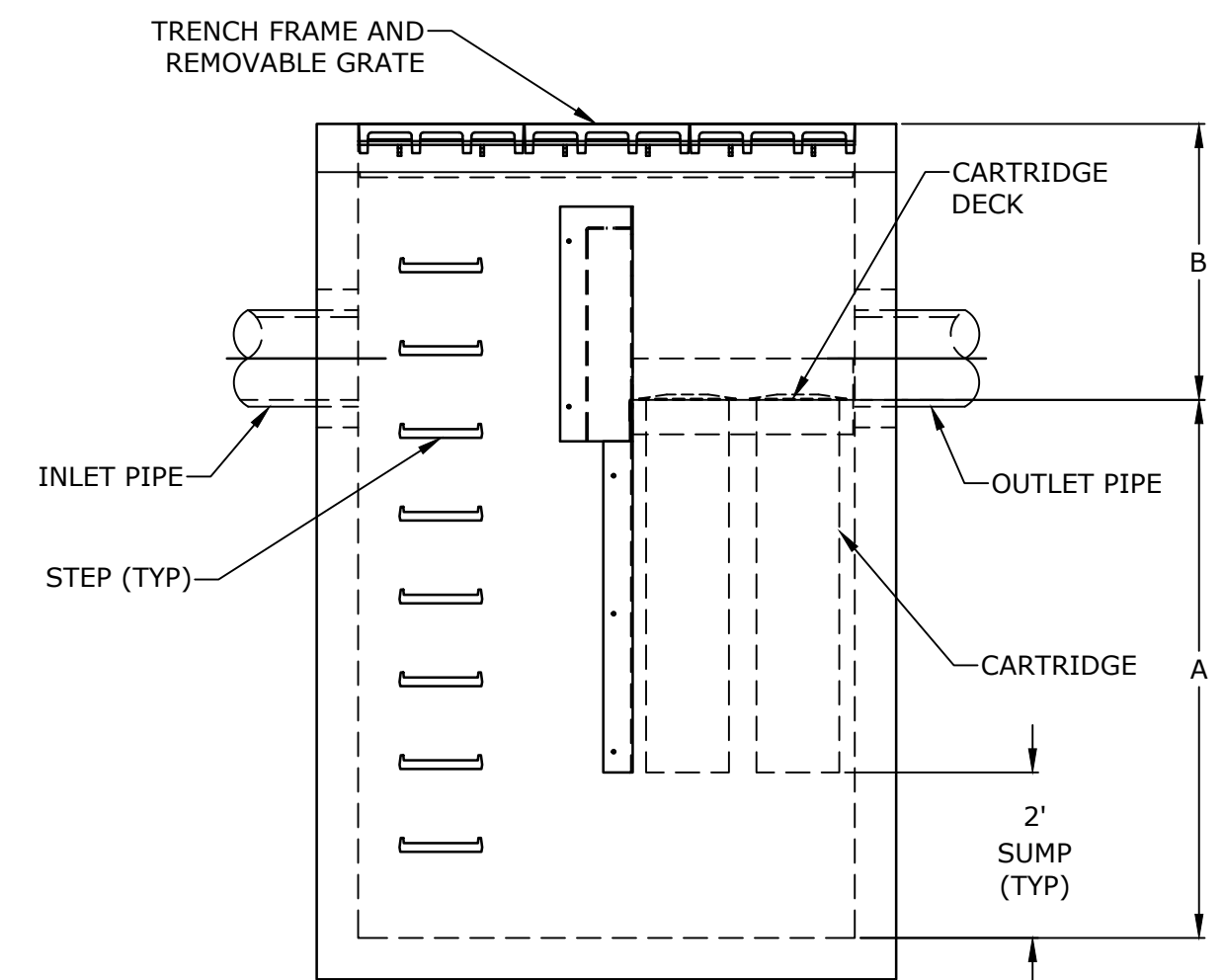
| | |
|------------------------------------|------|
| STRUCTURE ID | 01 |
| WATER QUALITY FLOW RATE (cfs) | 0.44 |
| PEAK FLOW RATE (cfs) | 3.57 |
| RETURN PERIOD OF PEAK FLOW (yrs) | 25 |
| # OF CARTRIDGES REQUIRED (HF / DD) | 2-1 |
| CARTRIDGE LENGTH | 54" |

- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.ContechES.com
 - JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 7' AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
 - STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918, AND AASHTO LOAD FACTOR DESIGN METHOD.
 - OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
 - THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS RECOMMENDED TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE (WHERE APPLICABLE) AT EQUAL OR GREATER SLOPE.
 - NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

- INSTALLATION NOTES:**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE.
 - CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
 - CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION.

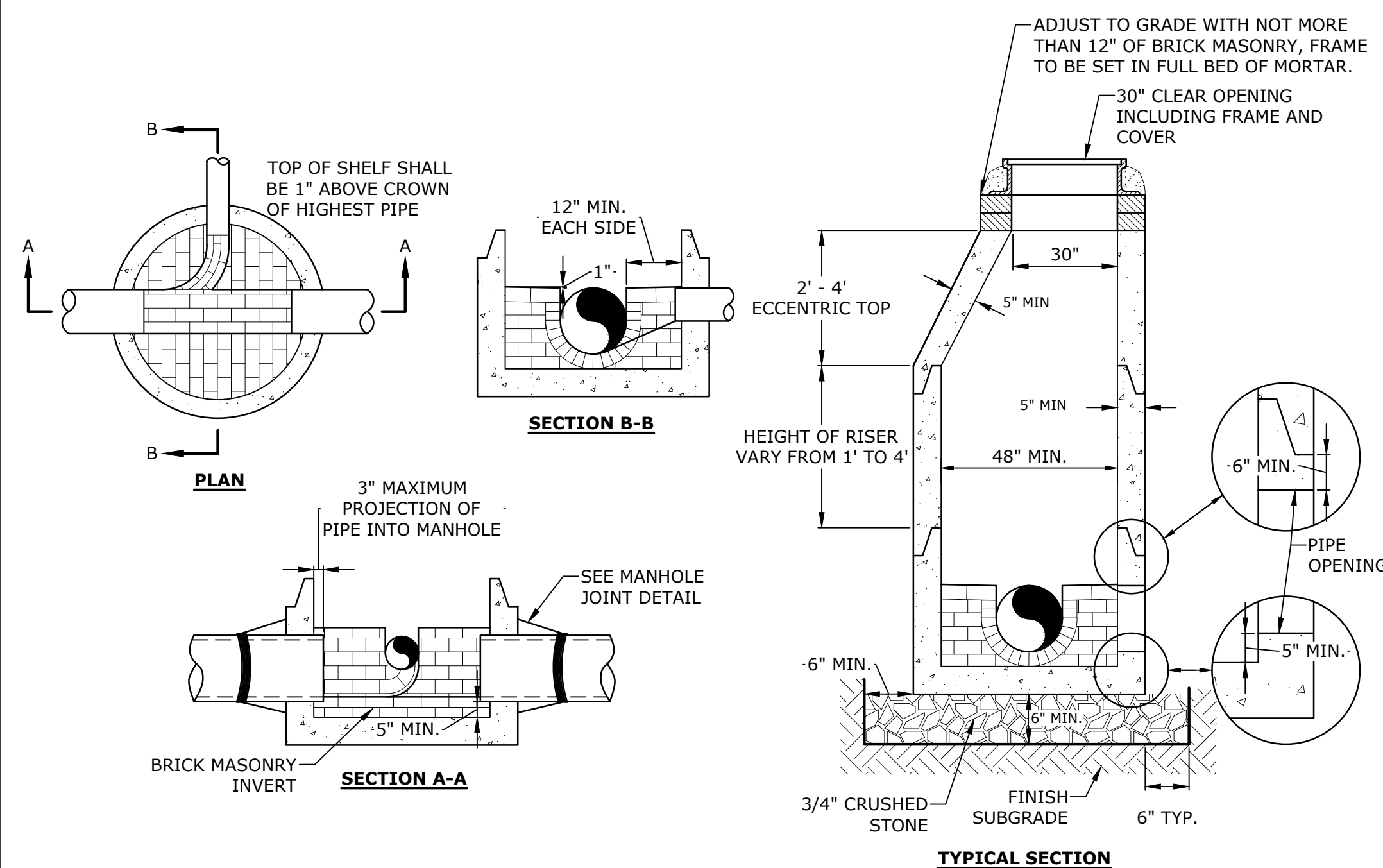


PLAN VIEW
(TOP SLAB SHOW FOR CLARITY)



ELEVATION VIEW

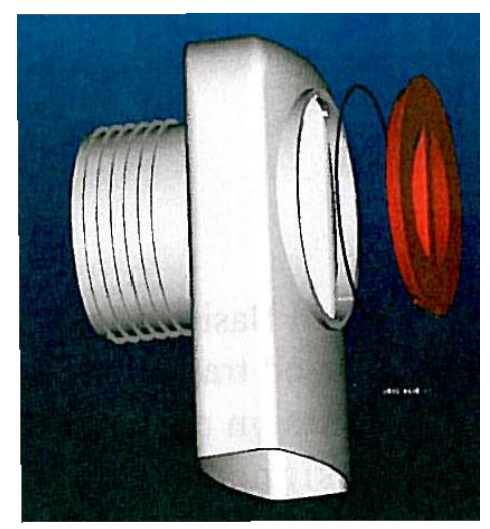
JF0406 DETAIL
NO SCALE



TYPICAL SECTION

- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
 - CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
 - INVERT BRICKS SHALL BE LAID ON EDGE.
 - TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
 - FRAMES AND COVERS:** MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
 - BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

SEWER MANHOLE
NO SCALE



"ELIMINATOR" OIL FLOATING DEBRIS TRAP
NO SCALE

- NOTES:**
- ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL).
 - INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 - 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

Last Saved: 9/1/2023 9:04am By: Ckrzcuik
Plotted On: Sep 05, 2023 5:04pm By: Ckrzcuik
Tighe & Bond\3\10193131\1023\Development\815 Lafayette Road\Drawings\AutoCAD\M5131_001-DTLS.dwg



SOUTH ELEVATION
SCALE: 1" = 10'-0"



WEST ELEVATION
SCALE: 1" = 10'-0"



NORTH ELEVATION
SCALE: 1" = 10'-0"



EAST ELEVATION
SCALE: 1" = 10'-0"



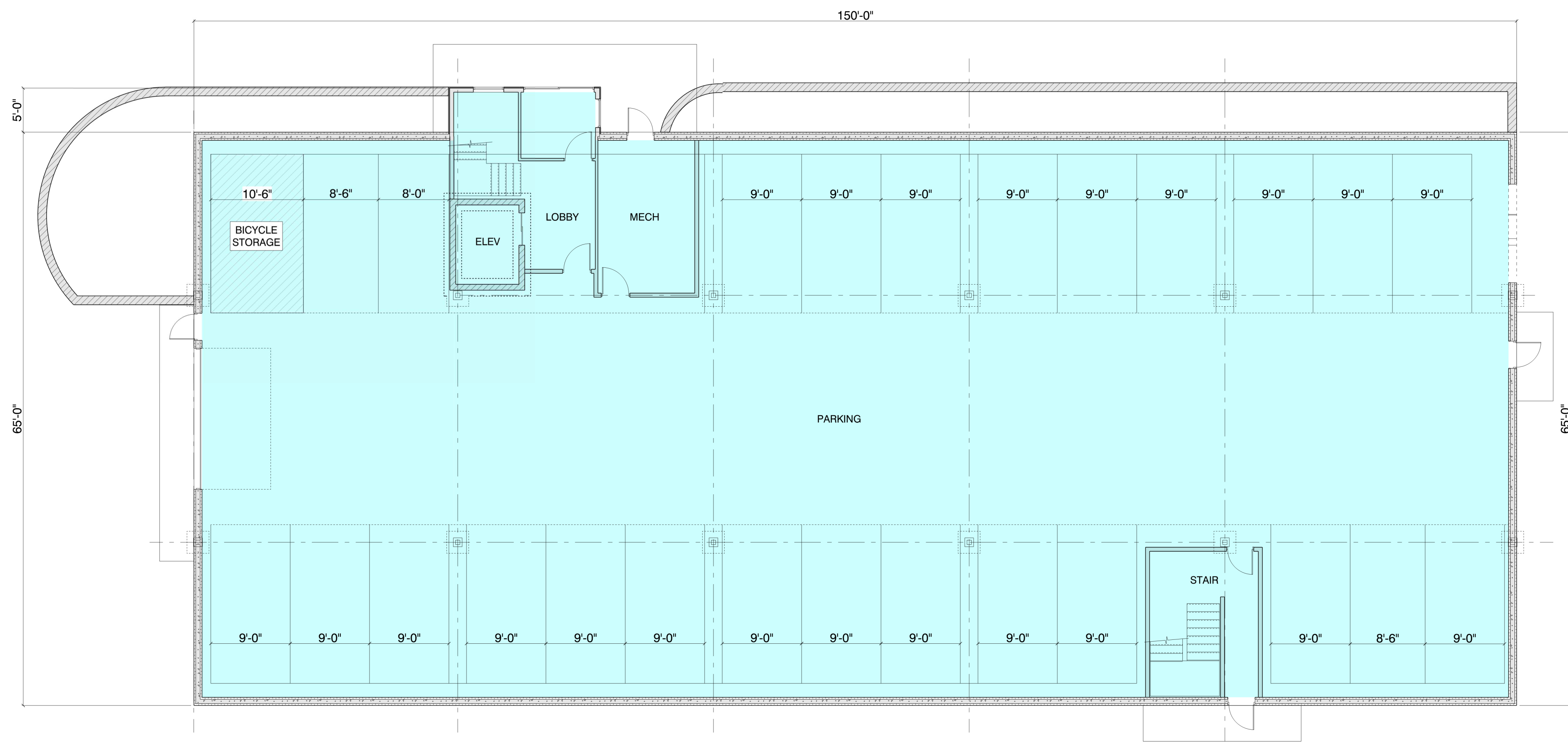
PROPOSED APARTMENT BUILDING - 815 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

BOA SUBMISSION

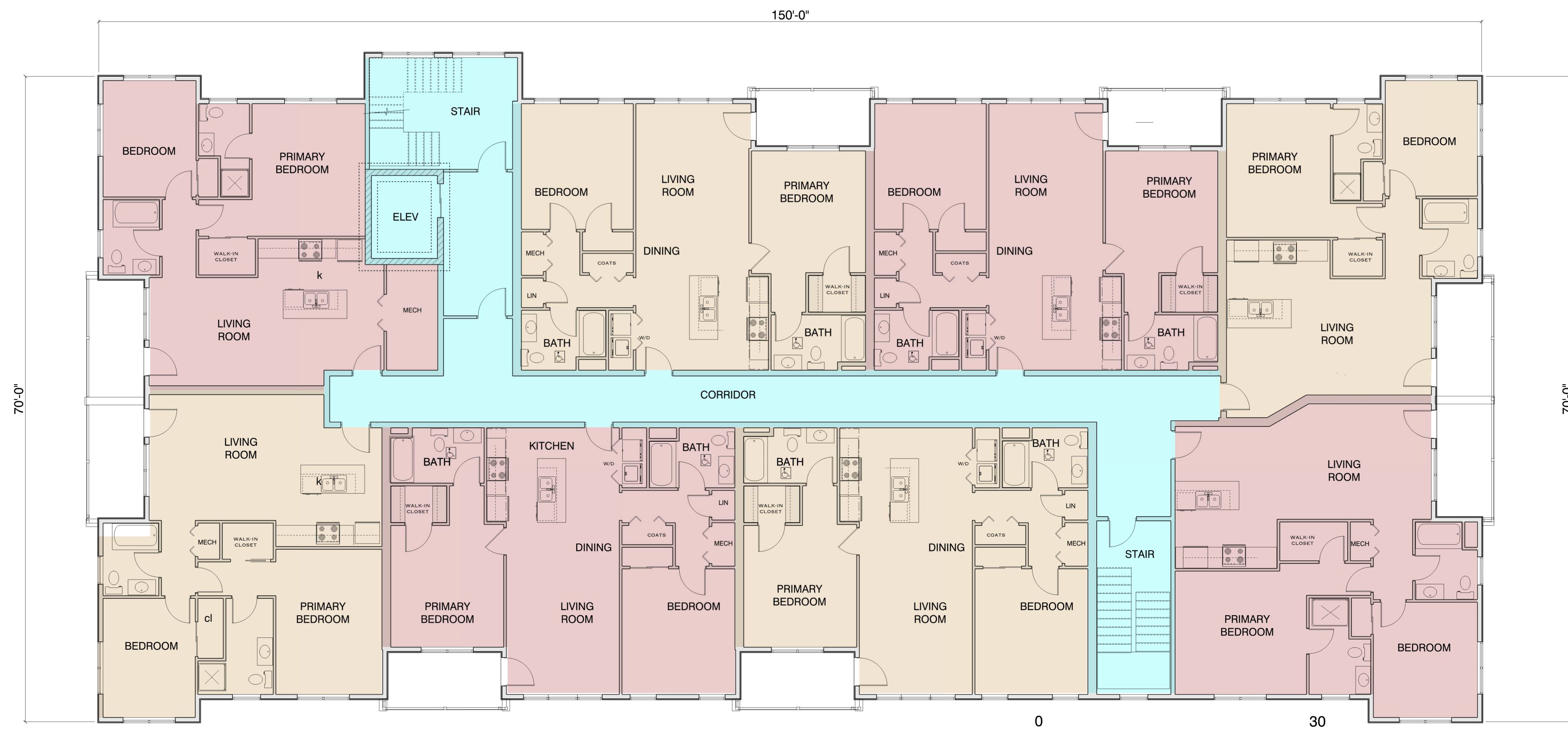
8/29/2023

mjk MICHAEL J. KEANE
ARCHITECTS, PLLC

101 KENT PLACE NEWMARKET, NH 03857 603.292.1400



GARAGE LEVEL PLAN
SCALE: 1/8" = 1'-0"



TYPICAL FLOOR PLAN 2-4
SCALE: 1/8" = 1'-0"

PROPOSED APARTMENT BUILDING - 815 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

BOA SUBMISSION

8/29/2023

mjk MICHAEL J. KEANE
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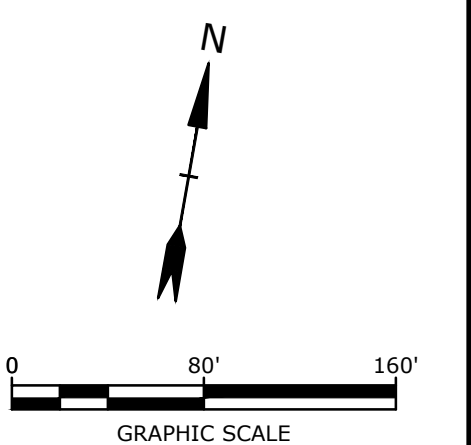
PROPOSED MULTI-FAMILY DEVELOPMENT
815 LAFAYETTE RD
PORTSMOUTH, NEW HAMPSHIRE

COMMUNITY SPACE EXHIBIT



PROPOSED COMMUNITY SPACE:

| | REQUIRED | PROVIDED |
|-----------------------------------|------------------|-------------------|
| GREENWAY COMMUNITY SPACE | | 16,113 SF |
| POCKET PARK COMMUNITY SPACE | | 2,523 SF |
| PARK COMMUNITY SPACE | | 349,164 SF |
| TOTAL DEVELOPMENT LOT | 85,556 SF (10%) | |
| | | 855,562 SF |
| TOTAL COMMUNITY SPACE AREA | 85,556 SF | 367,800 SF |



Owner/Agent Letter of Authorization

This letter is to authorize Tighe & Bond, Inc. (Civil Engineer), to represent and submit on behalf of Prospect North 815, LLC (Owner/Applicant), applications and materials in all site design and permitting matters for the proposed development project located at 815 Lafayette Road in Portsmouth, New Hampshire on parcel of land identified as Map 245 Lot 3. This project includes the construction of multifamily buildings, an office building, and associated on-site improvements. This authorization shall relate to those activities that are required for local, state and federal permitting for the above project and include any required signatures for those applications.



Signature

Michael Brown

Print Name

6-1-23

Date



Witness

Jeffrey A. Philbrick

Print Name

6/1/23

Date