



111 MAPLEWOOD AVE.

PORTSMOUTH, NH

- A.** FLOOR PLANS (LEVEL 1+ 2 + ROOF)
- B.** ZONING SETBACK STUDY
- C.** BUILDING ELEVATIONS (MAPLEWOOD + VAUGHAN + RAYNES)
- D.** DETAIL ELEVATIONS (TYPICAL BAY + FACADE)
- E.** PERSPECTIVE VIEWS (VIEWS FROM MAPLEWOOD)
- F.** PERSPECTIVE VIEWS (EXTERIOR RENDERINGS)
- G.** REFERENCE ELEVATIONS
- H.** DOOR + WINDOW TYPOLOGY
- I.** LANDSCAPE SITE PLAN
- J.** SITE SURVEY



NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION



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NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION

SITE PLAN - PARKING LEVEL
 111 MAPLEWOOD AVE PORTSMOUTH, NH
 04.12.19

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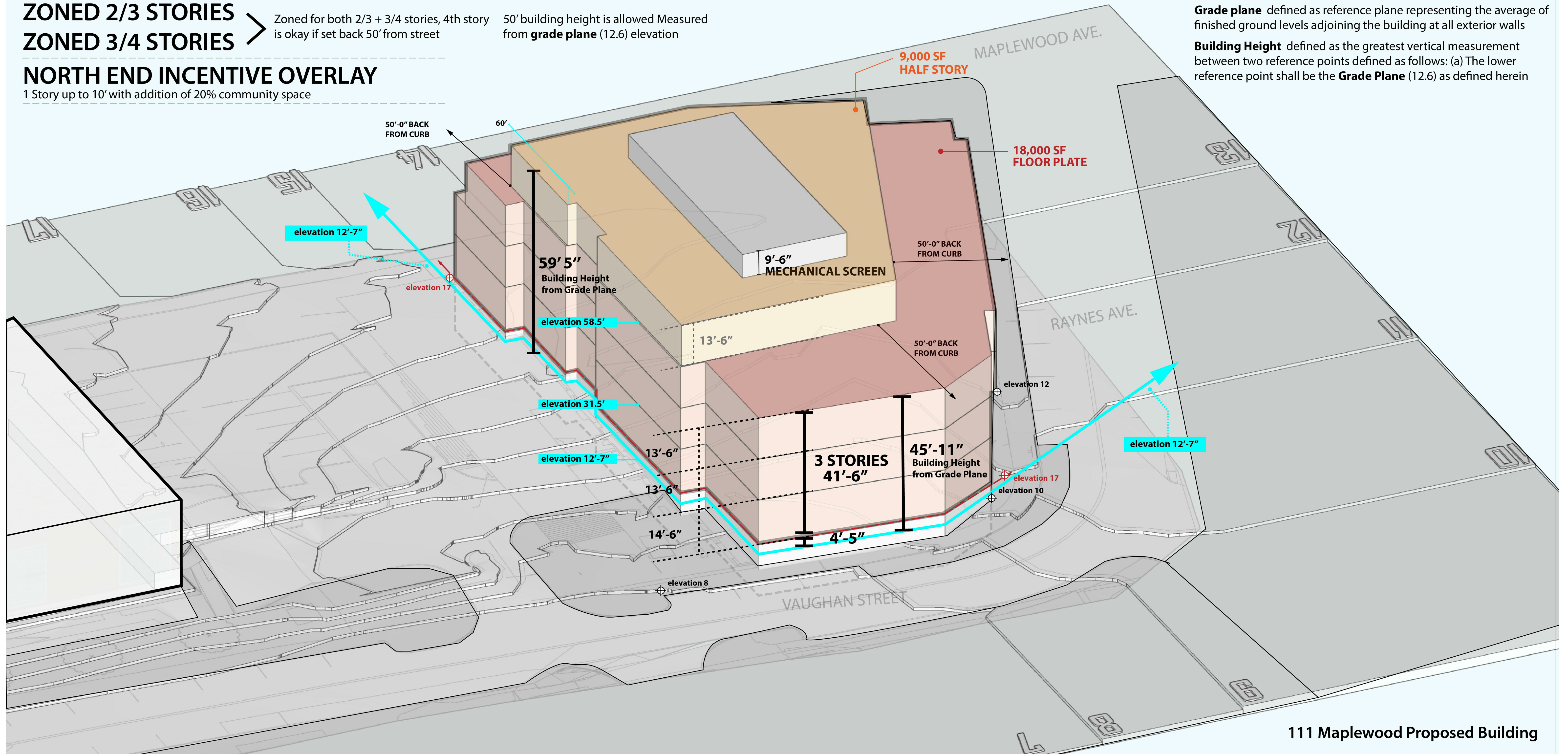
ZONED 2/3 STORIES
ZONED 3/4 STORIES

Zoned for both 2/3 + 3/4 stories, 4th story is okay if set back 50' from street
 50' building height is allowed Measured from **grade plane** (12.6) elevation

NORTH END INCENTIVE OVERLAY

1 Story up to 10' with addition of 20% community space

Grade plane defined as reference plane representing the average of finished ground levels adjoining the building at all exterior walls
Building Height defined as the greatest vertical measurement between two reference points defined as follows: (a) The lower reference point shall be the **Grade Plane** (12.6) as defined herein



111 Maplewood Proposed Building





Entry Passage Elevation: NTS



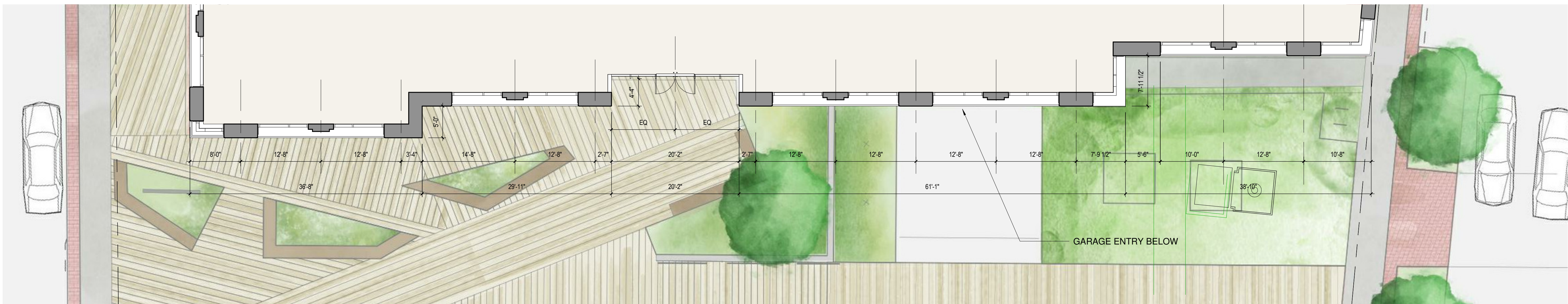
Maplewood Avenue Elevation: NTS



Raynes Avenue Elevation: NTS



1 Building Elevation - Entry Passage Elevation
1/8" = 1'-0"

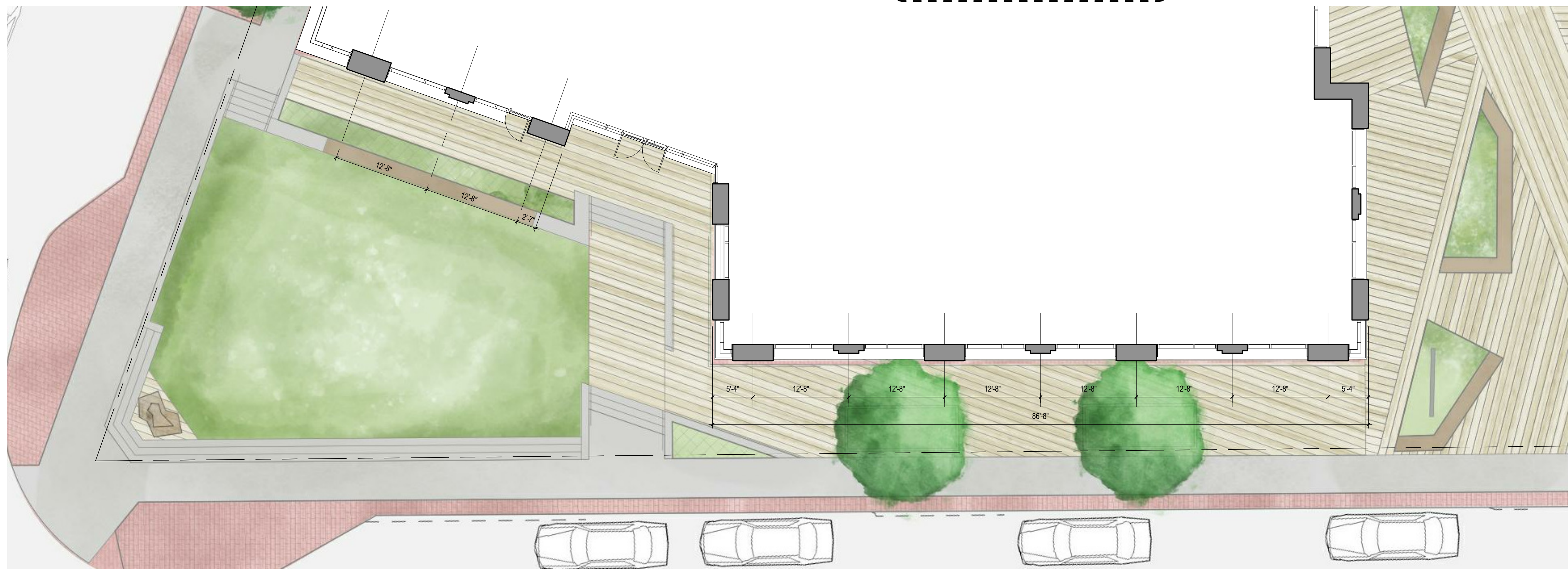


2 Enlarged Ground Floor Plan - Entry Passage
1/8" = 1'-0"

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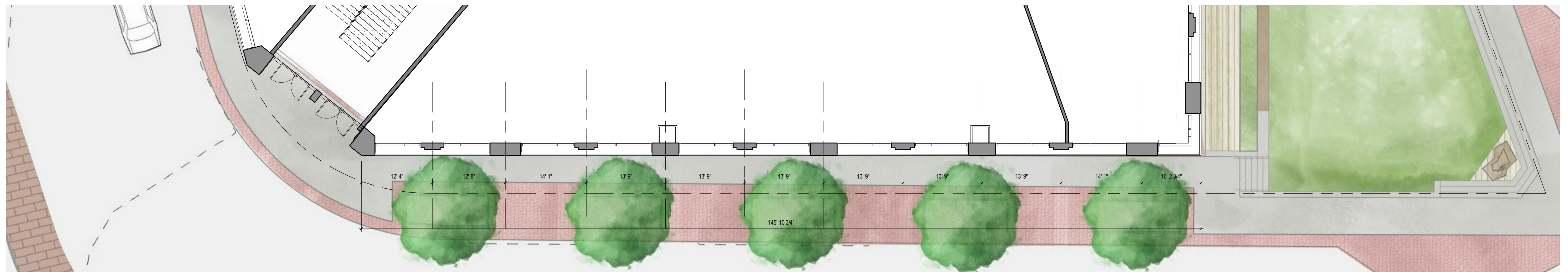
2 Building Elevation - Maplewood Avenue
1/8" = 1'-0"



BUILDING ELEVATION - MAPLEWOOD AVE
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19



2 Building Elevation - Raynes Avenue
1/8" = 1'-0"



1 Enlarged Ground Floor Plan - Raynes Avenue
1/8" = 1'-0"

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Roof
55' - 2"

Level 4
41' - 6"

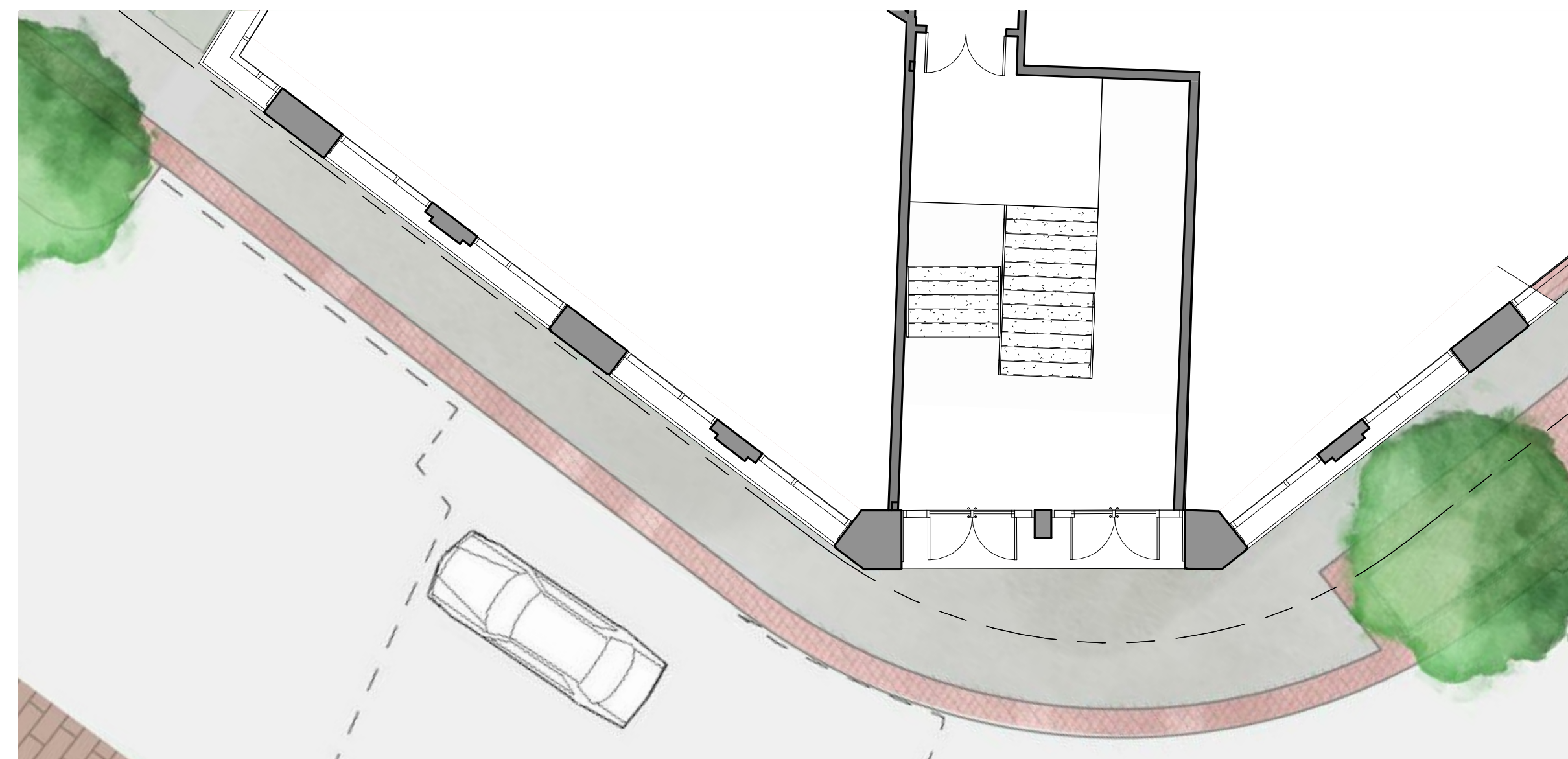
Level 3
28' - 0"

Level 2
14' - 6"

Level 1
0' - 0"

Parking
-10' - 0"

2 Building Elevation - Vaughan Street
1/8" = 1'-0"

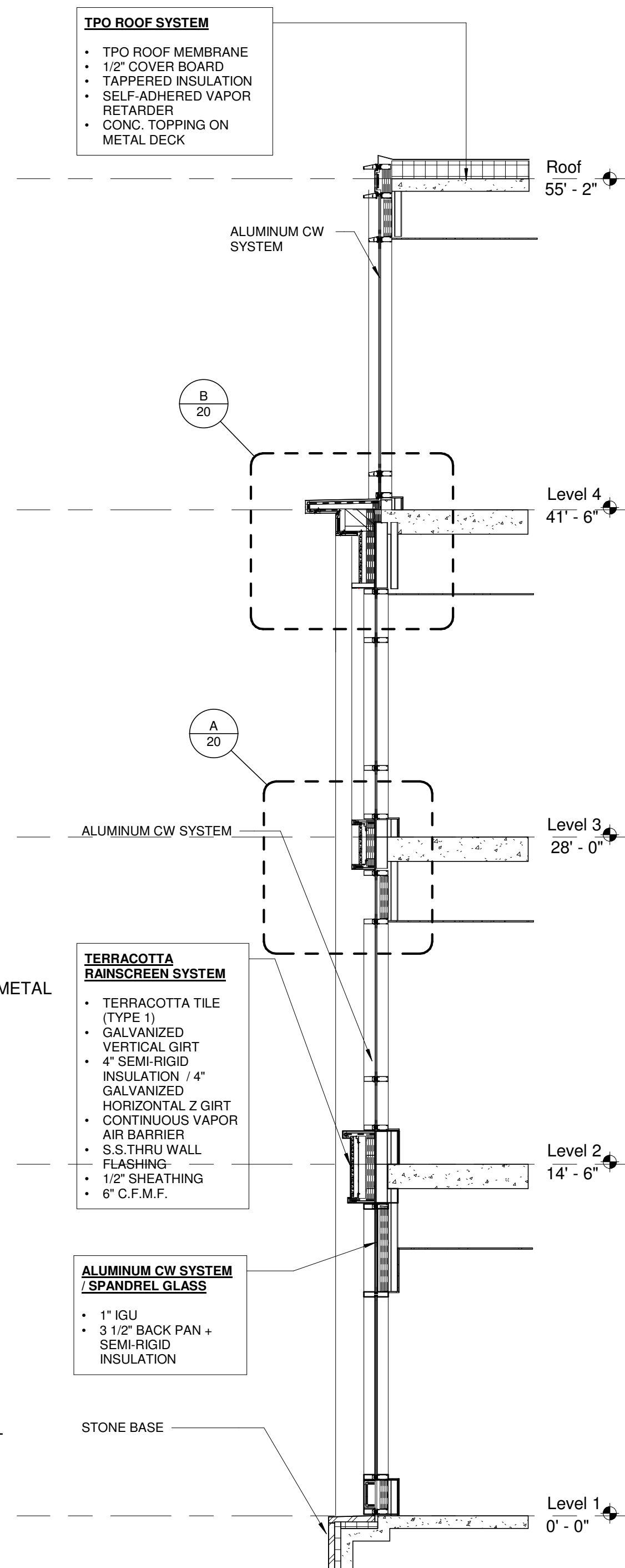


1 Enlarged Ground Floor Plan - Vaughan Street
1/8" = 1'-0"

BUILDING ELEVATION - VAUGHAN ST
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19



02 Enlarged Elevation - Typical Bay
1/4" = 1'-0"



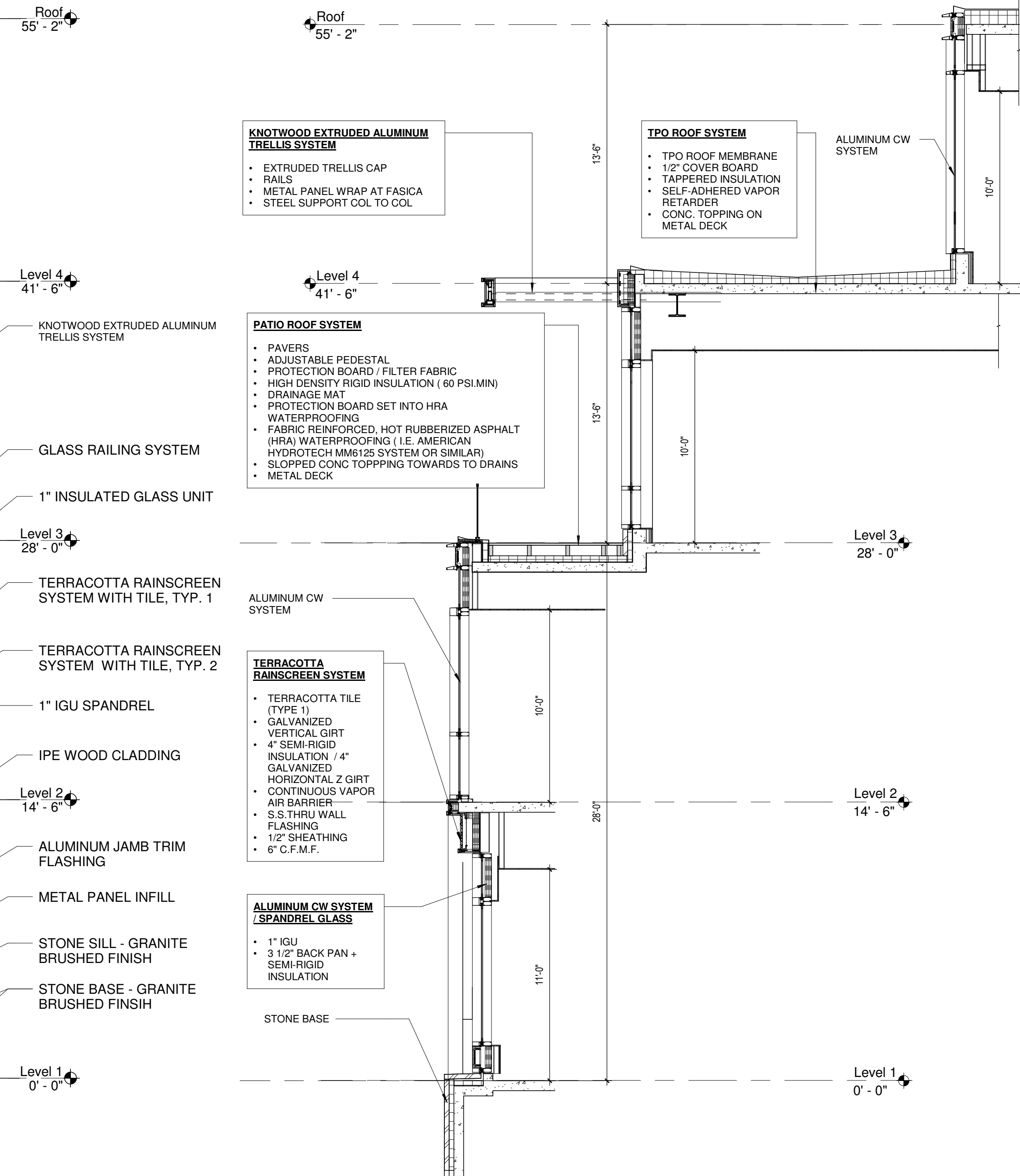
01 Section at Typical Bay
1/4" = 1'-0"



DETAIL ELEVATION - TYPICAL BAY
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19



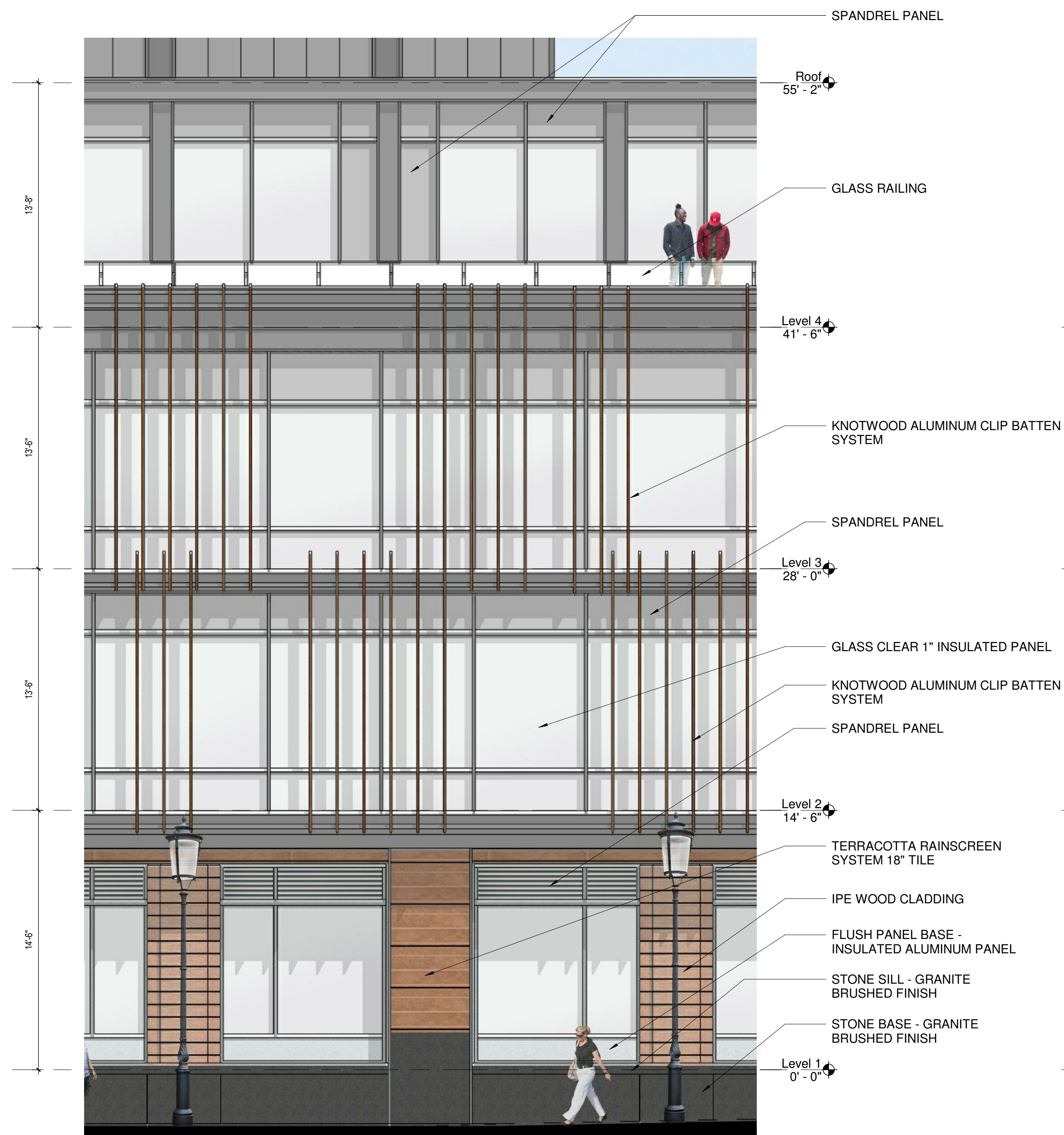
02 Enlarged Elevation - Maplewood Street
1/4" = 1'-0"



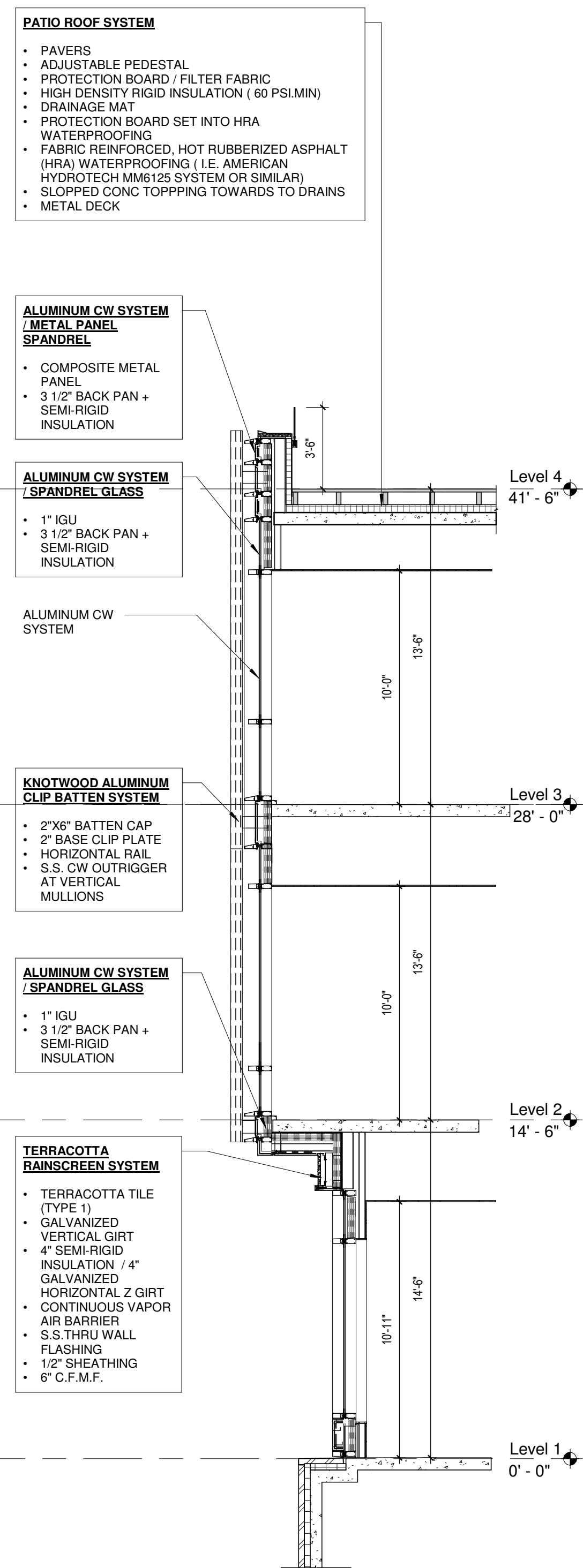
01 Section at Maplewood Street
1/4" = 1'-0"



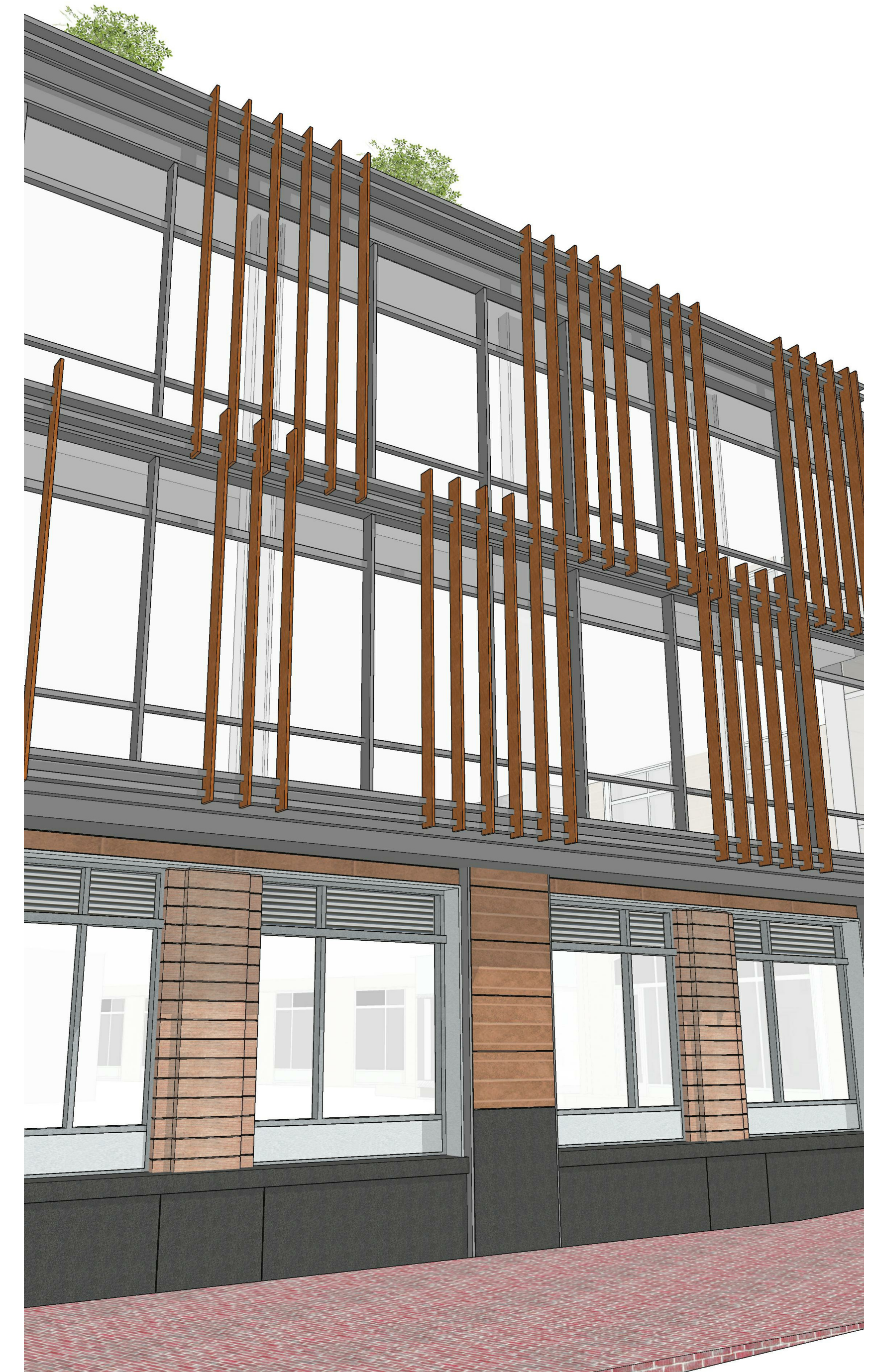
DETAIL ELEVATION - MAPLEWOOD FACADE
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19



02 Enlarged Elevation - Raynes Ave
1/4" = 1'-0"



01 Section at Raynes Ave
1/4" = 1'-0"



DETAIL ELEVATION - RAYNES FACADE
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19



View from Across the Bridge



Corner View of Maplewood & Raynes Ave



View from Downtown Portsmouth



Approach View from Downtown Portsmouth

4/12/2019 8:46:03 AM



NOTE: TREES REMOVED AROUND PROJECT FOR BUILDING CLARITY.
REFER TO LANDSCAPE PLANS FOR PLANTING & SITE LIGHTING LAYOUT



NOTE: TREES REMOVED AROUND PROJECT FOR BUILDING CLARITY.
REFER TO LANDSCAPE PLANS FOR PLANTING & SITE LIGHTING LAYOUT



PERSPECTIVE - VIEW OF GATEWAY PARK
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19

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NOTE: TREES REMOVED AROUND PROJECT FOR BUILDING CLARITY.
REFER TO LANDSCAPE PLANS FOR PLANTING & SITE LIGHTING LAYOUT



PERSPECTIVE - VIEW FROM MAPLEWOOD AVE
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19

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NOTE: TREES REMOVED AROUND PROJECT FOR BUILDING CLARITY.
REFER TO LANDSCAPE PLANS FOR PLANTING & SITE LIGHTING LAYOUT

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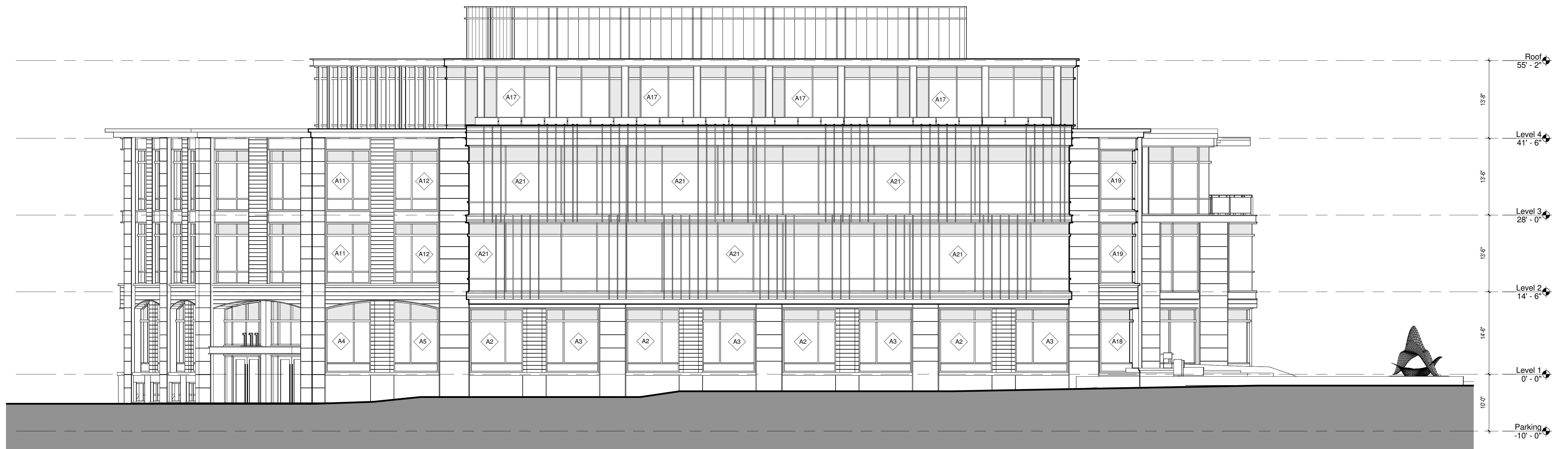


PERSPECTIVE - VIEW FROM RAYNES AVE
111 MAPLEWOOD AVE PORTSMOUTH, NH
04.12.19

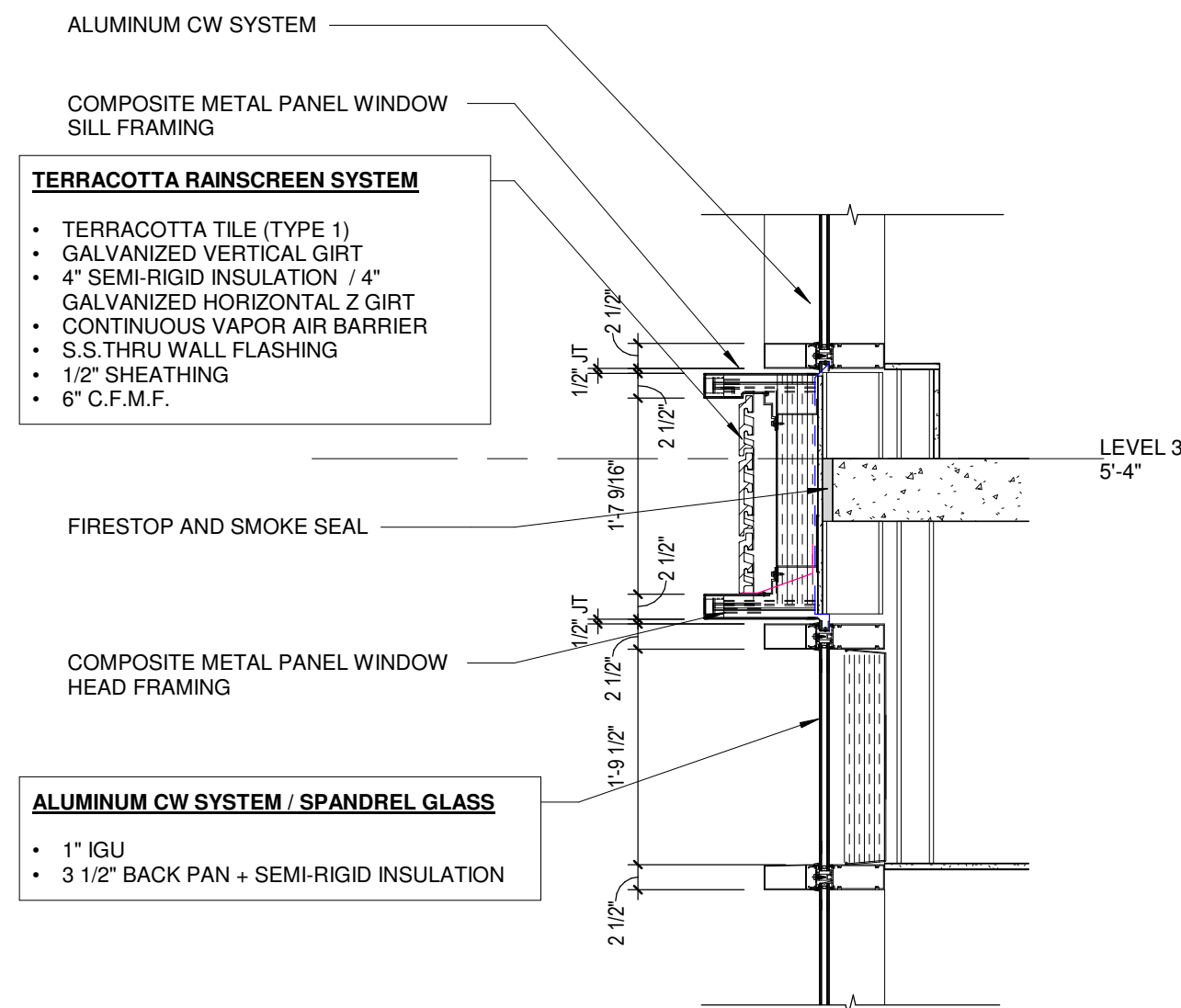
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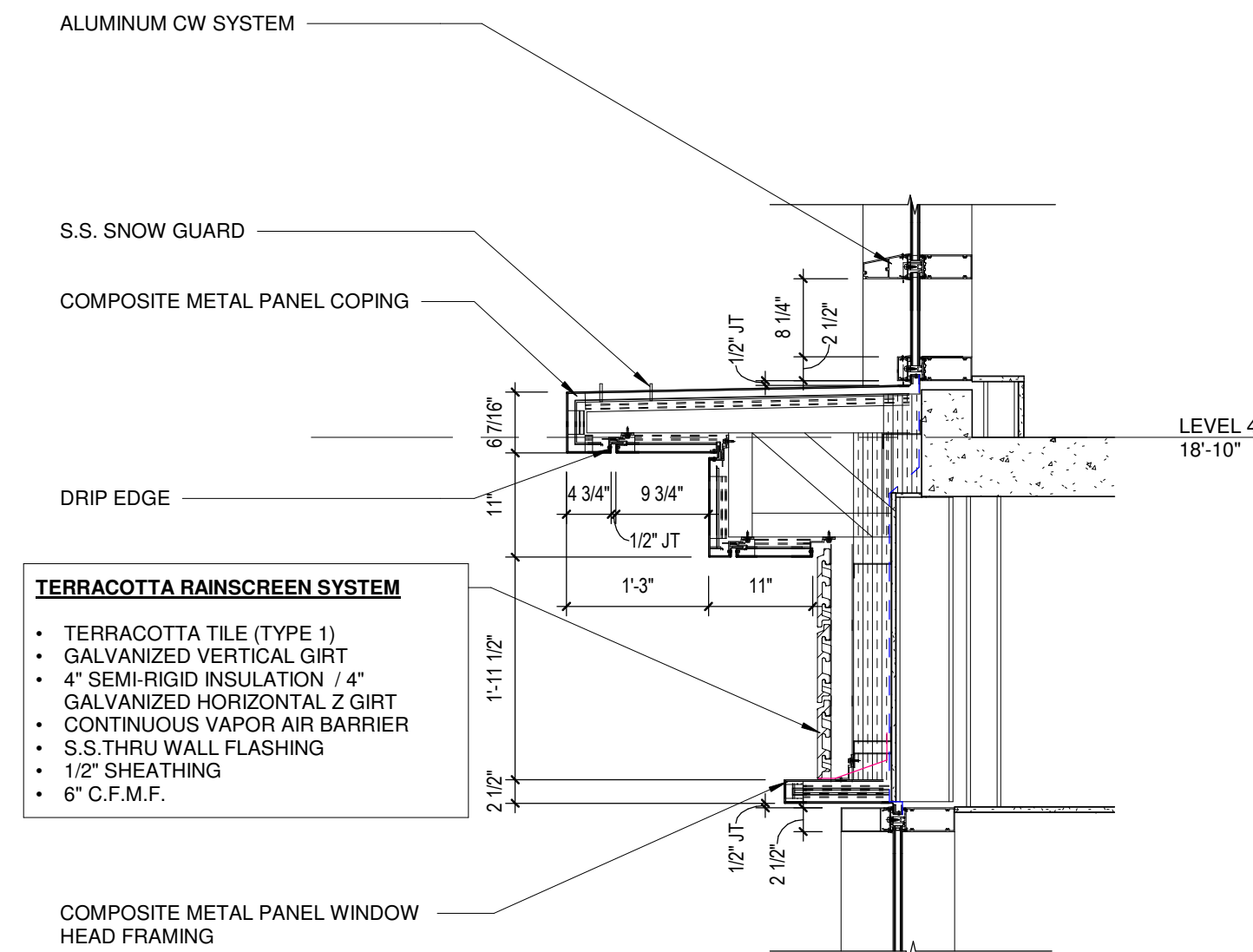
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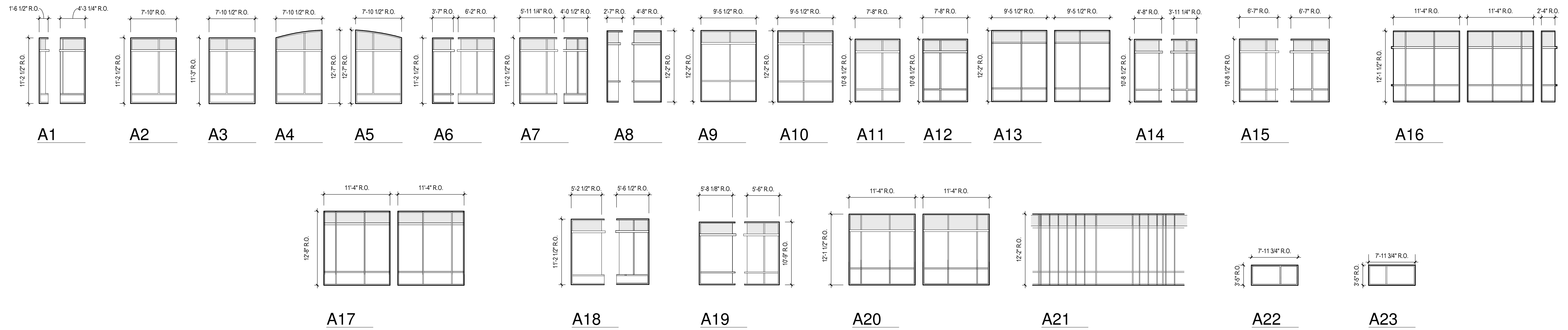
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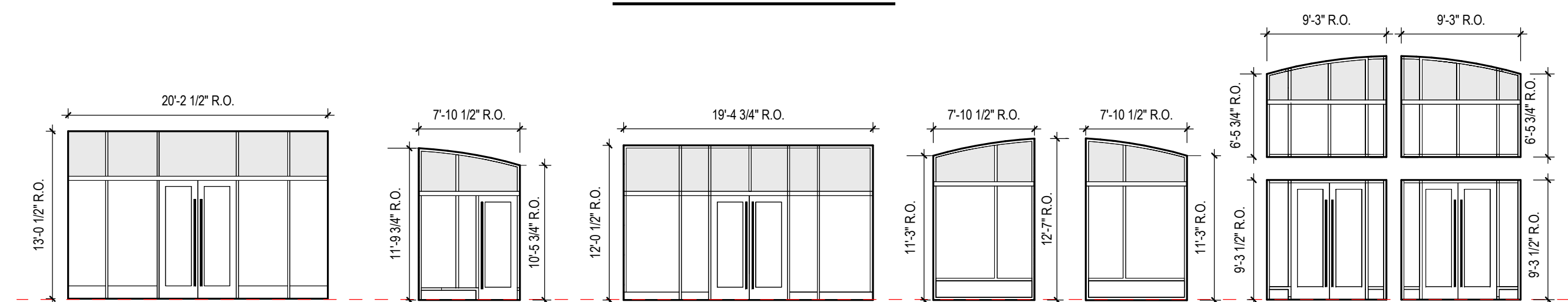
A SECTION 1 - TYPICAL BAY @ LEVEL 3
3/4" = 1'-0"



B SECTION 1 - TYPICAL BAY @ LEVEL 4
3/4" = 1'-0"



WINDOW TYPES



EX-1

Smaller ground windows

EX-2

Smaller ground windows

EX-3

Door Type

EX-4

Door Type

EX-5

Door Type

DOORS TYPES

WINDOW / DOOR TYPES & DETAILS

111 MAPLEWOOD AVE PORTSMOUTH, NH

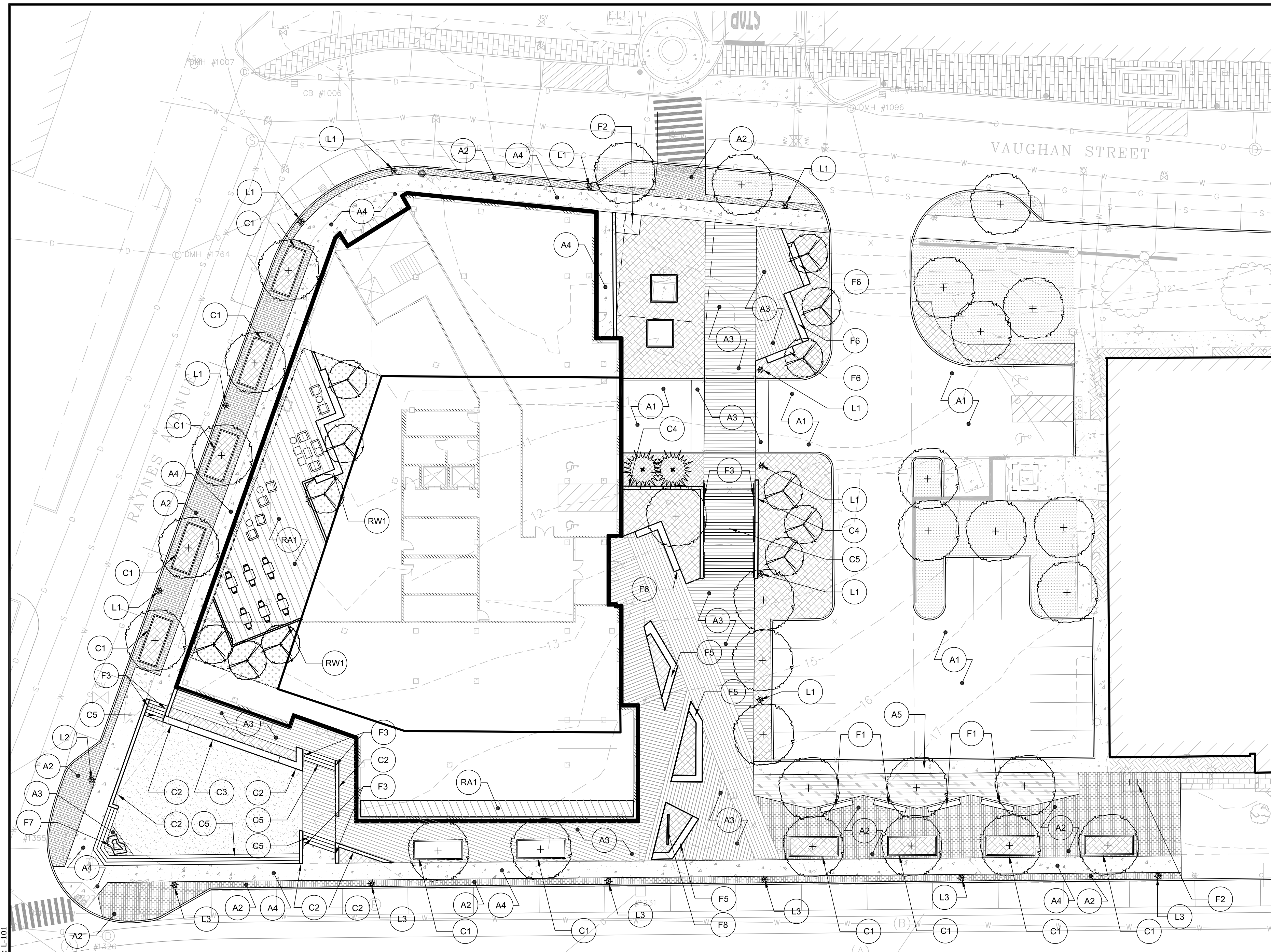
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GENERAL NOTES

1. THE PROPERTY OWNER AND FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF SCREENING AND LANDSCAPE MATERIALS.
2. REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
3. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

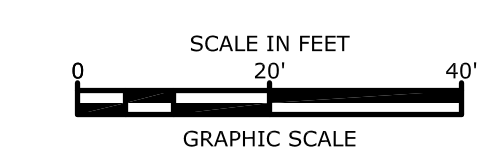
GENERAL MATERIALS NOTES

1. CONTRACTOR SHALL PROVIDE SUBMITTALS FOR MATERIALS RELATED IN THE CONTRACT DOCUMENTS PRIOR TO PROCUREMENT.
2. SHOP DRAWINGS FOR CURBING, STAIRS, WALLS, AND PAVEMENT SHALL BE BASED ON FIELD MEASUREMENT AND LAYOUT VERIFICATION BY THE CONTRACTOR.
3. EXPANSION JOINT FILLER AND SEALANT SHALL BE PLACED WHERE PAVEMENT MEETS CURBING, WALLS, OR OTHER VERTICAL ELEMENTS, INCLUDING LIGHT BASES, HYDRANTS, BUILDINGS AND BUILDING COLUMNS, WALLS, AND OTHER CONDITIONS AS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL REQUEST THE PRESENCE OF THE ARCHITECT TO REVIEW THE LAYOUT OF EXPANSION JOINTS PRIOR TO PLACING FINISHED WORK.



PLANTING LEGEND

- DECIDUOUS STREET TREE
- DECIDUOUS FLOWERING TREE
- EVERGREEN TREE
- PLANTING BED - MIXED COMPOSITION OF SHRUBS, GROUND COVERS, PERENNIALS AND GRASSES
- SCREEN PLANTING OF 48" HEIGHT MIX OF EVERGREEN AND DECIDUOUS SHRUBS
- LAWN
- ROOF DECK PLANTING BED - MIXED COMPOSITION OF SHRUBS, GROUND COVERS, PERENNIALS AND GRASSES



MATERIALS LEGEND

TAG	DESCRIPTION	DETAIL	TAG	DESCRIPTION	DETAIL	TAG	DESCRIPTION	DETAIL
A1	BITUMINOUS CONCRETE PAVING		F1	WOOD AND METAL BENCH		RA1	ROOF DECK - PRECAST CONCRETE PAVER ON PEDESTAL - 2 3/4" THICKNESS	
A2	BRICK PAVING - CITY OF PORTSMOUTH STANDARD - OVER SETTING BED ON COMPACTED CRUSHED STONE BASE IN PEDESTRAIN AREAS AND CONCRETE BASE IN VEHICULAR AREAS		F2	BICYCLE RACK, TYP. OF 4		RW1	PLANTER WITH BUILT-IN SEAT - WITH 30" SOIL DEPTH	
A3	PRECAST CONCRETE UNIT PAVERS OVER SETTING BED ON BITUMINOUS CONCRETE BASE IN PEDESTRAIN AREAS AND CONCRETE BASE IN VEHICULAR AREAS		F3	STAIR HANDRAIL				
A4	CONCRETE PAVING - CITY OF PORTSMOUTH STANDARD		F5	LANDSCAPE PLANTER WITH INTEGRATED SEAT				
C1	ORNAMENTAL GRANITE CURB W/ PLANTER RAIL		F6	SEAT WALL				
C2	LANDSCAPE PLANTER WALL - HEIGHT AND WIDTH VARIES		F7	GATEWAY SCULPTURE				
C3	LANDSCAPE PLANTER WALL WITH SEAT		F8	BUILDING & ADDRESS SIGNAGE				
C4	LANDSCAPE TERRACE RETAINING WALL		L1	STREET LIGHT - CITY OF PORTSMOUTH DISTRICT STANDARD PEDESTRIAN LIGHT, SEE LIGHTING PLAN				
C5	GRANITE LANDSCAPE STAIRS		L2	STREET LIGHT TYPE 2 (MODIFIED POLE HEIGHT) - CITY OF PORTSMOUTH DISTRICT STANDARD PEDESTRIAN LIGHT, SEE LIGHTING PLAN				
			L3	STREET LIGHT TYPE 3 - CITY OF PORTSMOUTH STANDARD LANTERN FOR MAPLEWOOD AVENUE, SEE LIGHTING PLAN				

Proposed Office Building

RW Norfolk Holdings, LLC

Portsmouth, New Hampshire

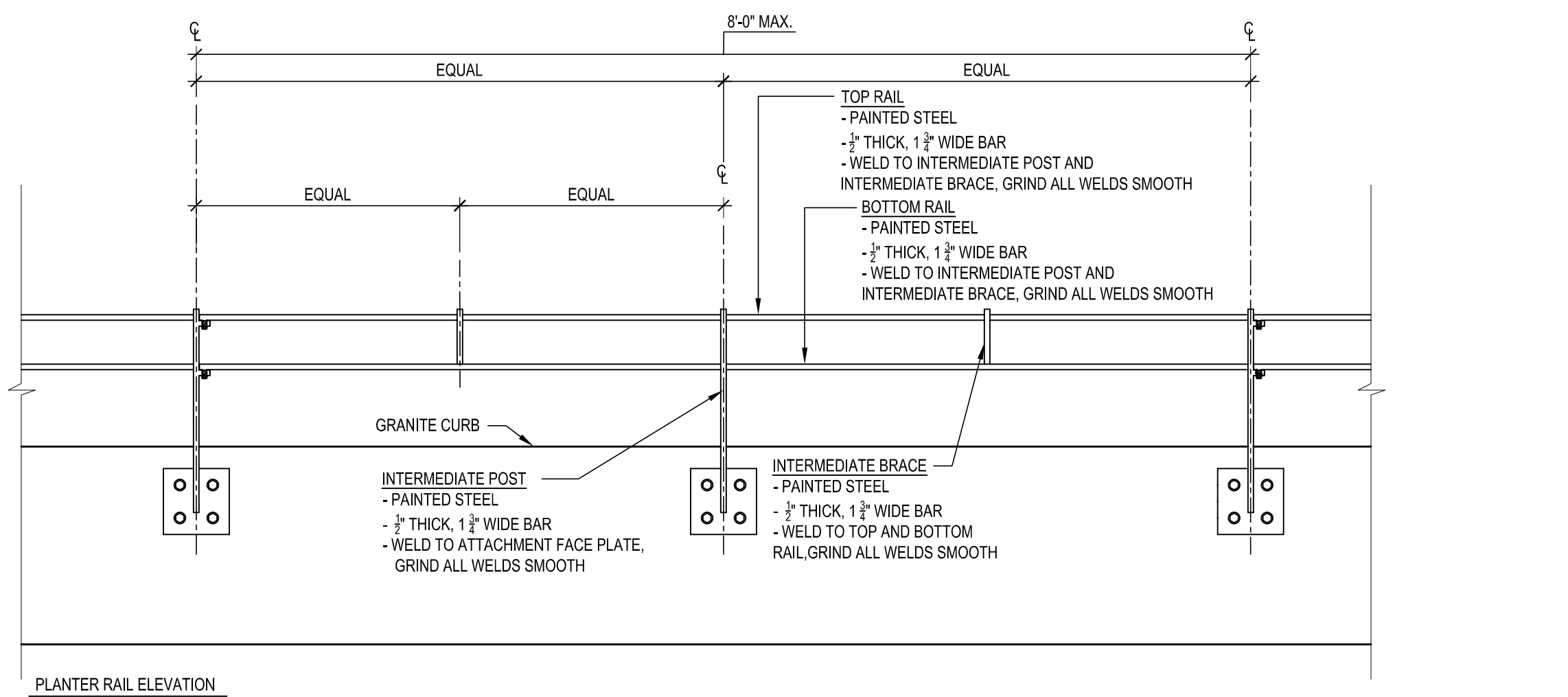
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PROJECT NO:		K-0076-019
DATE:		04/12/2019
FILE: L101 Material Plan.dwg		
DRAWN BY:		
CHECKED:		
APPROVED:		

LANDSCAPE PLAN

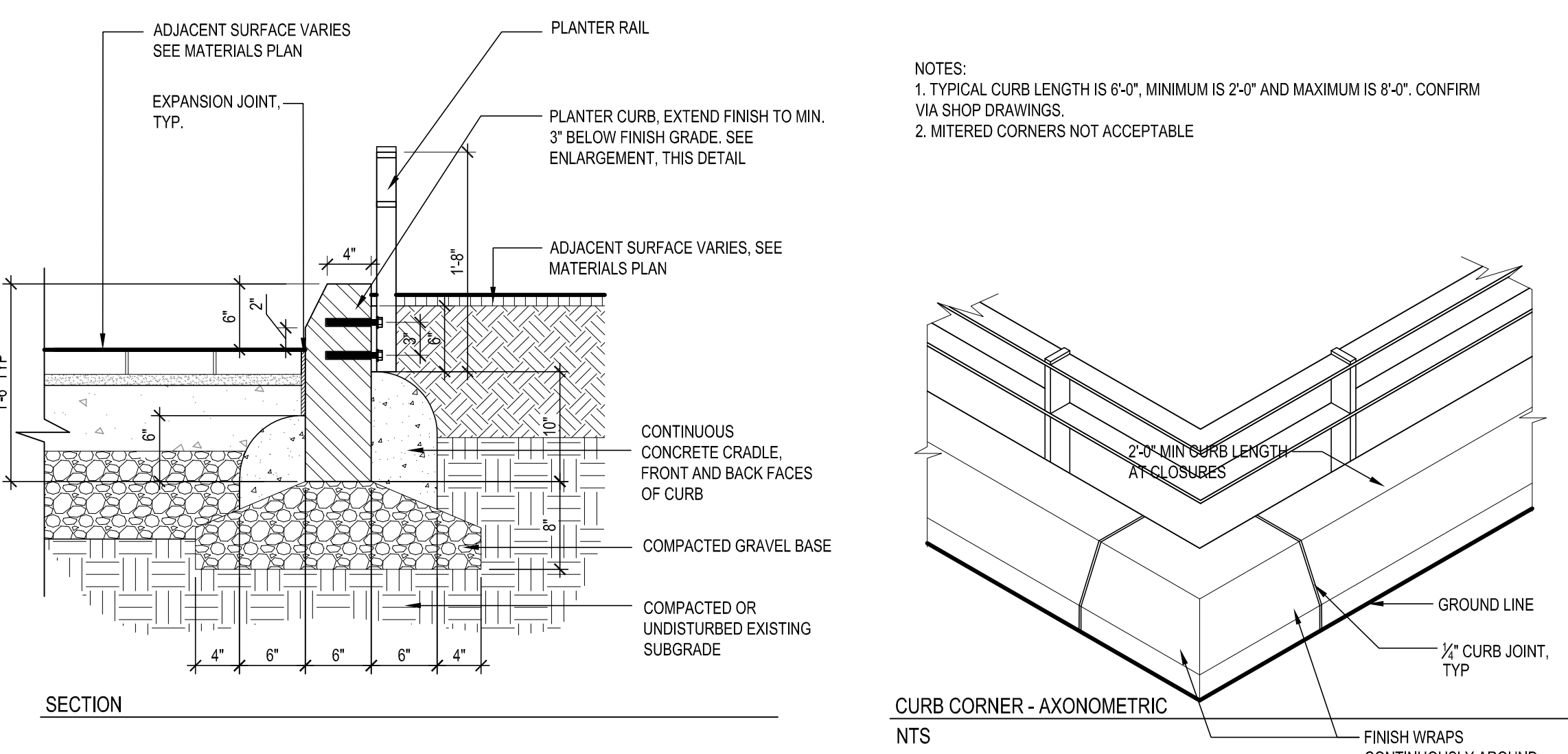
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L-101

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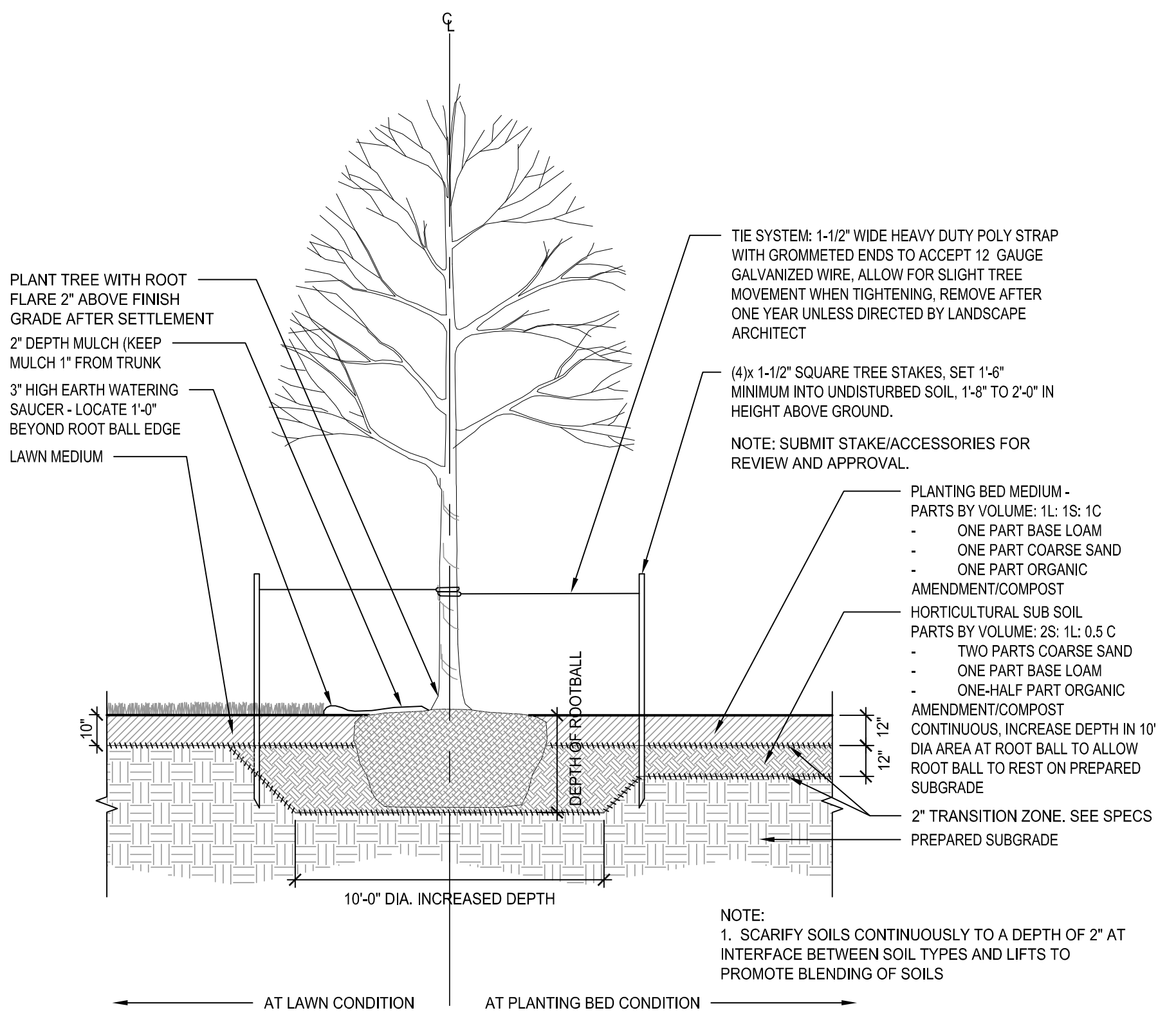


PLANTER RAIL ELEVATION



1 GRANITE PLANTER CURB W/ PLANTER RAIL

Scale: 1"=1'-0"



3 TREE PLANTING - IN LAWN OR PLANT BED AT GRADE

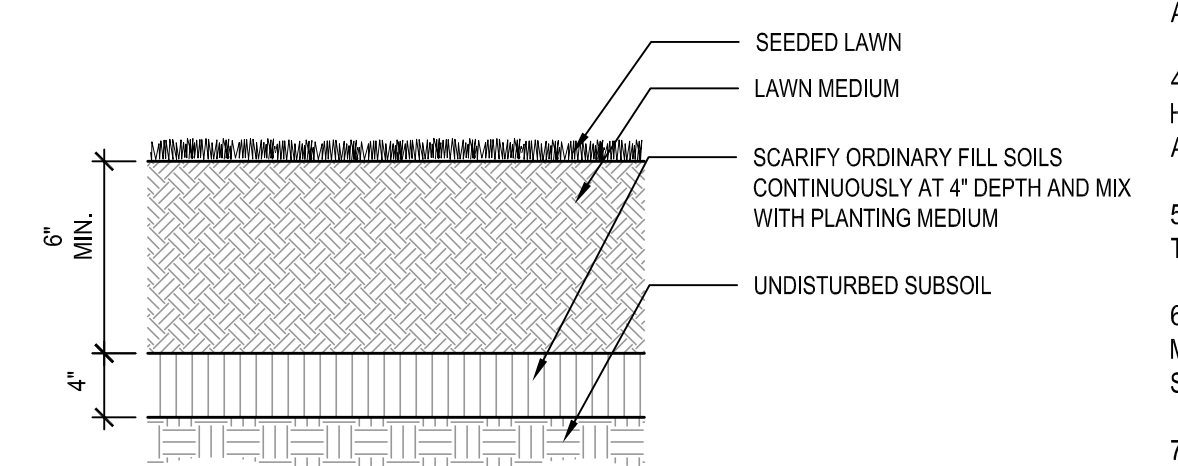
Scale: 1/4"=1'-0"

PLANTING NOTES

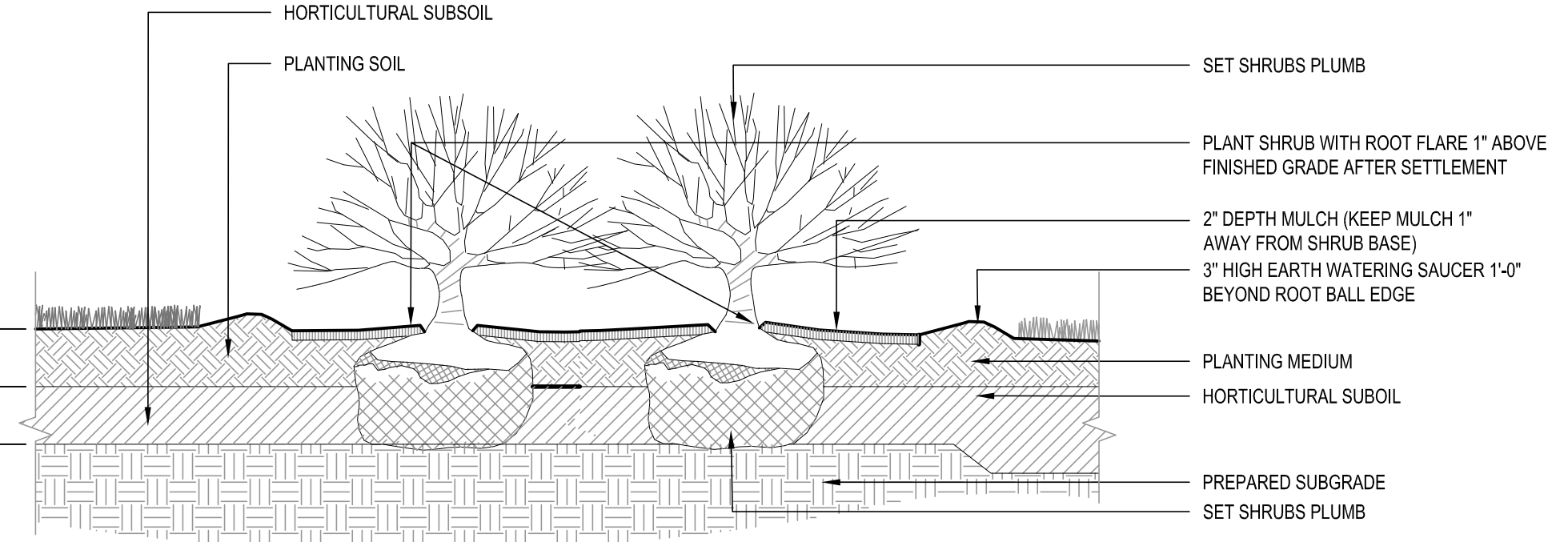
- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE.
- PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED BY LANDSCAPE ARCHITECT.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICTS TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
- REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK
- SOAK PERENNIALS FOR 24 HOURS PRIOR TO INSTALLATION

4 SOD / SEEDED LAWN

Scale: NTS

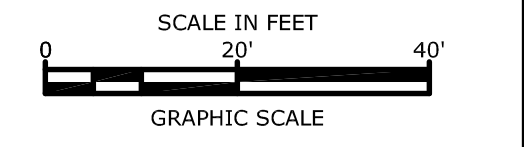


- PLANTING NOTES:**
- REMOVE UPPER THIRD OF BURLAP PRIOR TO BACKFILLING, IF CONTAINERIZED, REMOVE PLANTS FROM POTS PRIOR TO PLANTING AND SCARIFY ROOT BALL IN 4 PLACES TO 1/2" DEPTH
 - LOOSE OR CRACKED ROOT BALLS WILL NOT BE ACCEPTED FOR PLANTING
 - ROOT BALL SHALL SIT ON PREPARED SUBGRADE
 - DO NOT EXCAVATE BELOW ROOT BALL
 - PLANTING PIT TO BE 3 TIMES WIDTH OF ROOT BALL
 - FLOOD WATERING SAUCER TWICE DURING FIRST 24 HOURS AFTER PLANTING
 - RAISE AND REPLANT SHRUBS THAT SETTLE AFTER PLANTING AND WATERING
 - SCARIFY SOILS CONTINUOUSLY TO A DEPTH OF 2" AT INTERFACE BETWEEN SOIL TYPES AND LIFTS TO PROMOTE BLENDING OF SOILS



2 PLANTING BED - SHRUB & PERENNIAL AREA

SCALE: 3/8"=1'-0"



Proposed Office Building

RW Norfolk Holdings, LLC

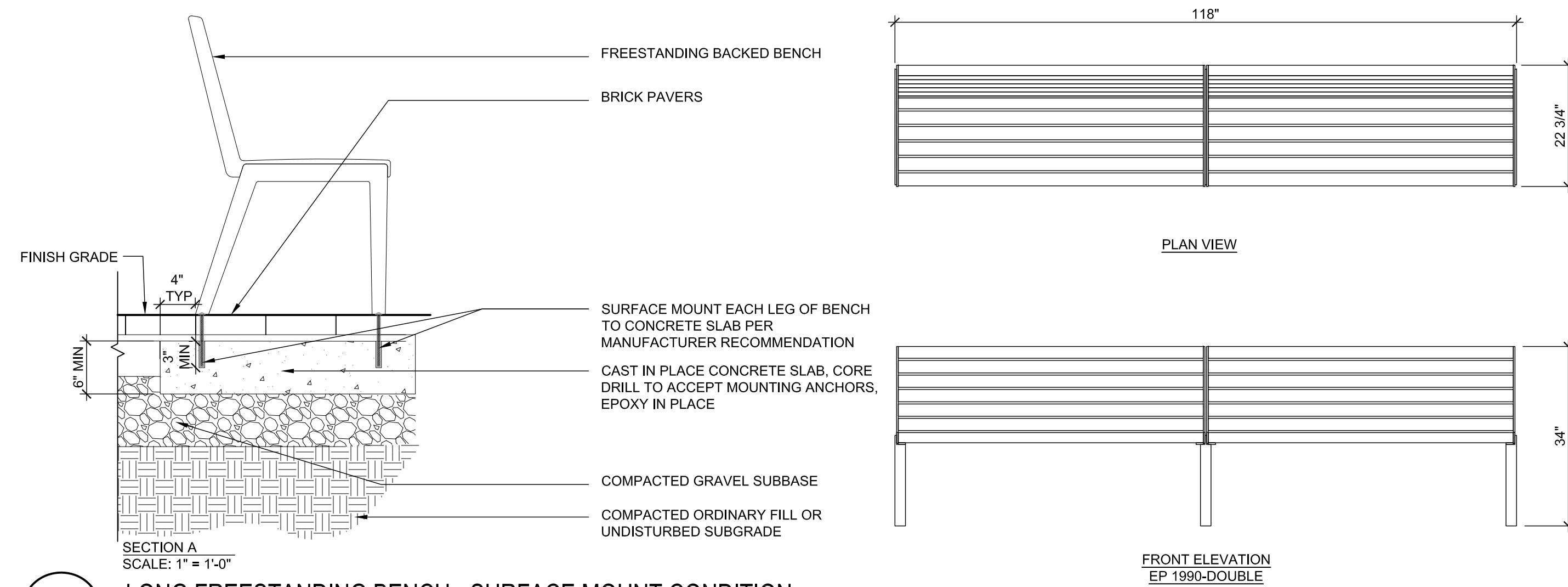
Portsmouth, New Hampshire

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APPROVED:		

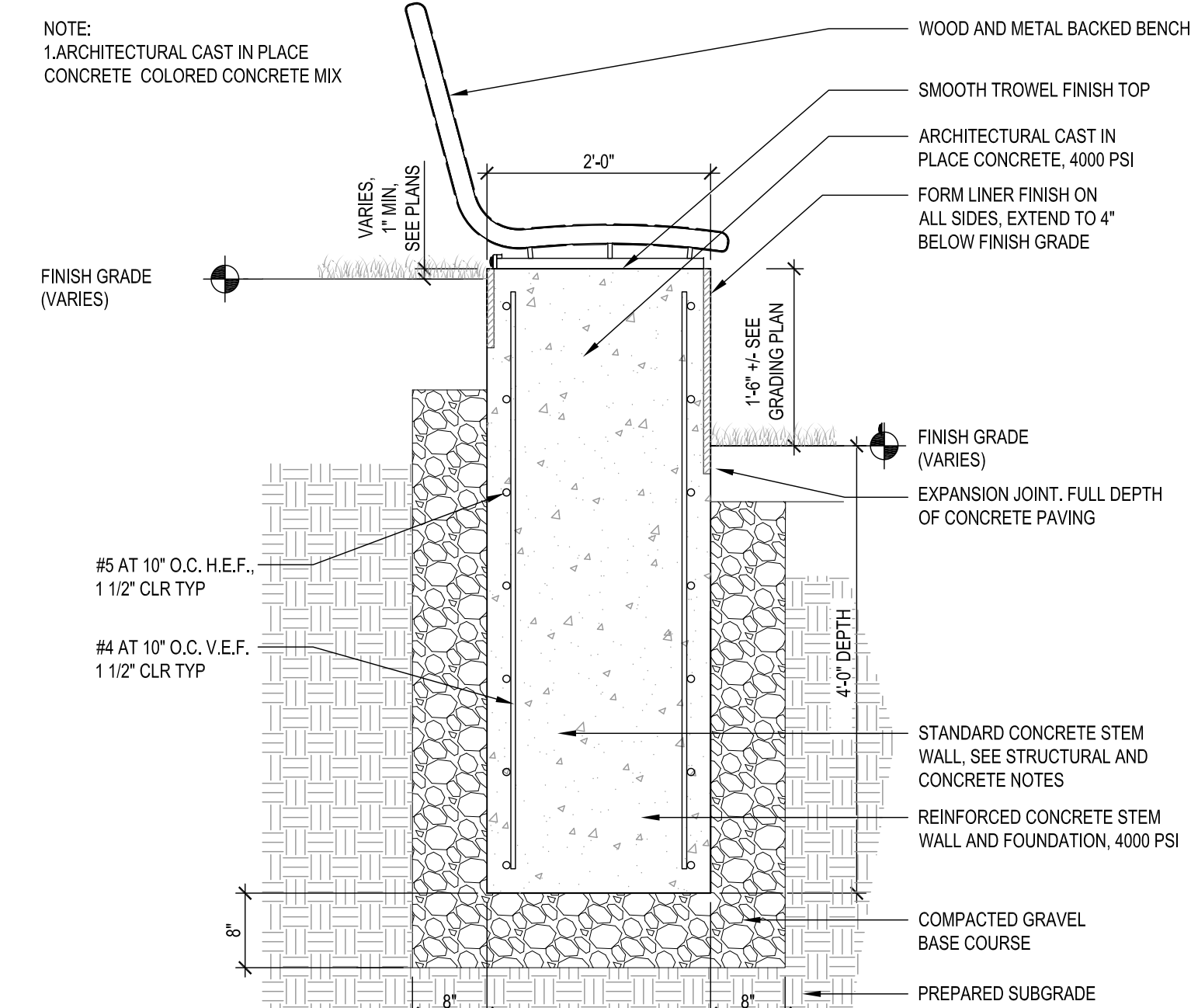
LANDSCAPE DETAILS

SCALE: AS SHOWN

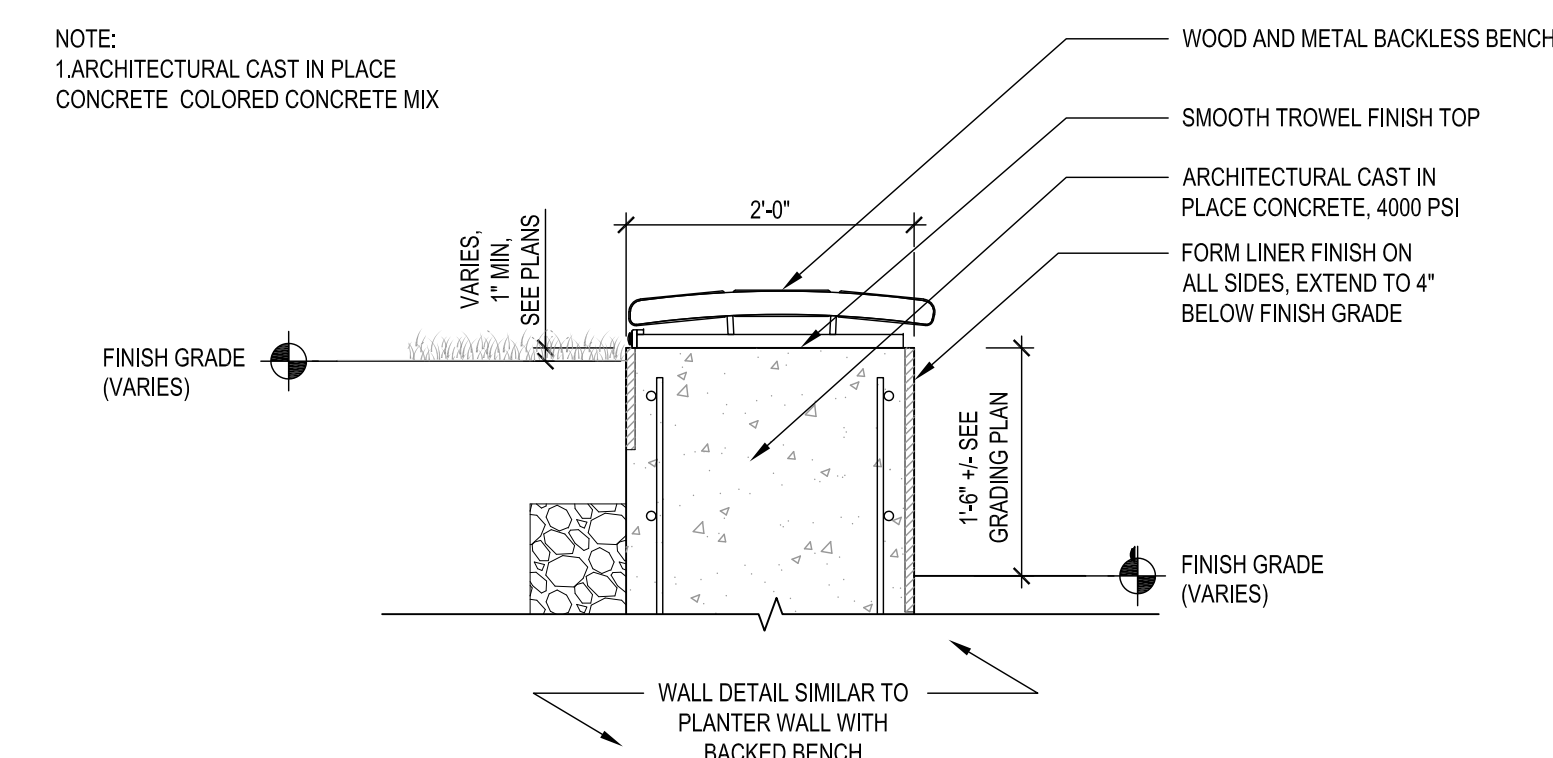
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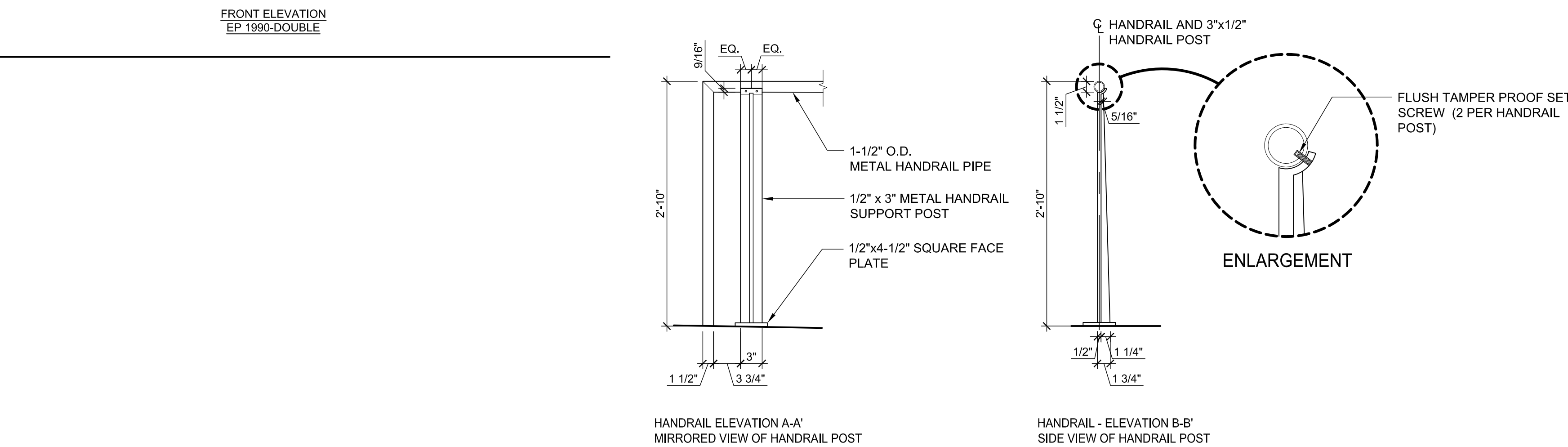
1 LONG FREESTANDING BENCH - SURFACE MOUNT CONDITION
Scale: AS NOTED



2 LANDSCAPE PLANTER WALL WITH BACKED BENCH
Scale: 3/4\" = 1'-0"

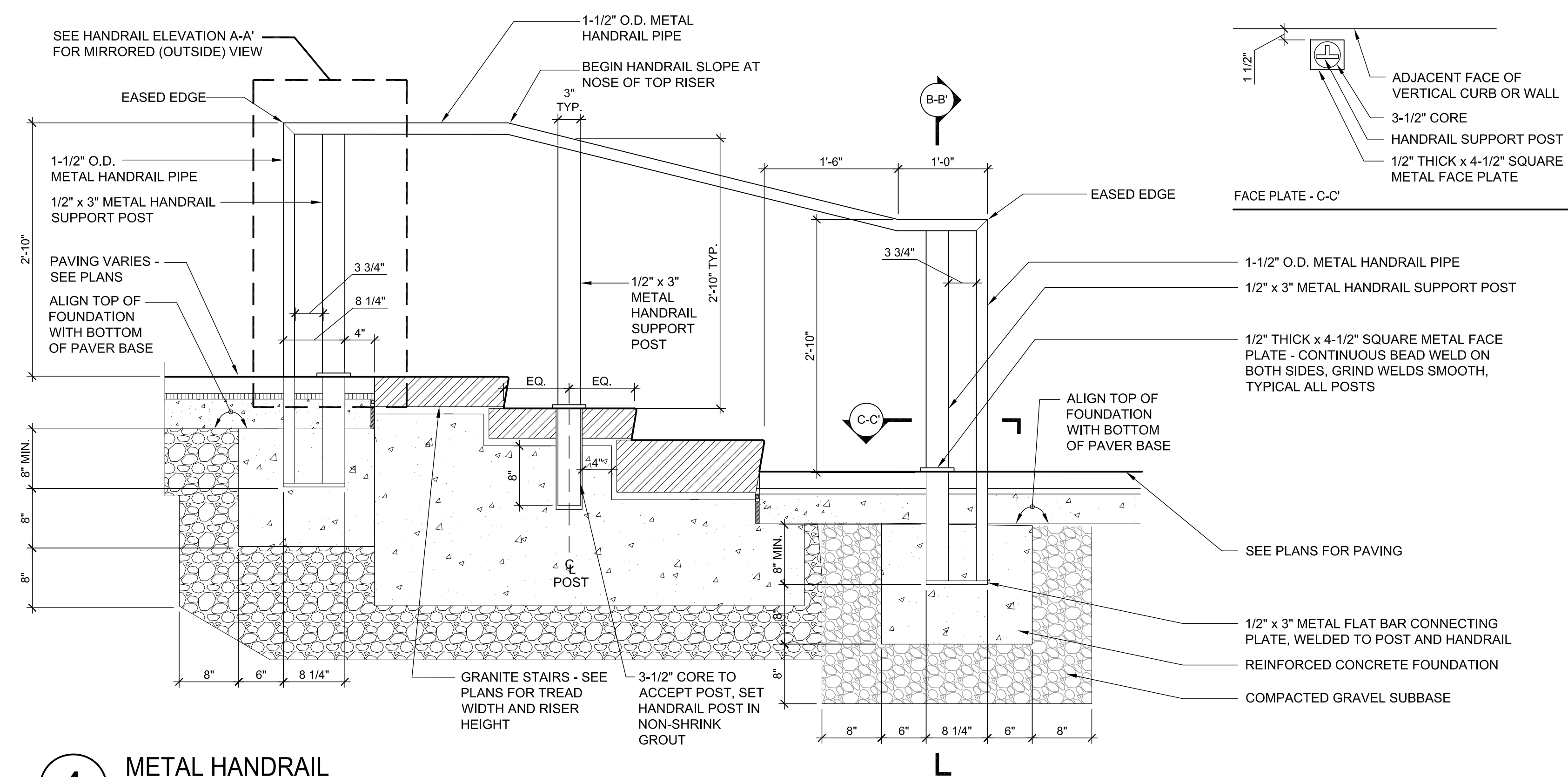
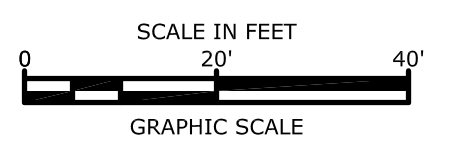


3 LANDSCAPE PLANTER WALL WITH BACKLESS BENCH
Scale: 3/4\" = 1'-0"



HANDRAIL ELEVATION A-A'
MIRRORED VIEW OF HANDRAIL POST

HANDRAIL - ELEVATION B-B'
SIDE VIEW OF HANDRAIL POST



4 METAL HANDRAIL
SCALE: 1\" = 1'-0"

Last Save Date: April 11, 2019 3:54 PM By: RICHARD
Plot Date: Thursday, April 11, 2019 Plotted By: Richard Houghton
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Proposed Office Building

RW Norfolk Holdings, LLC

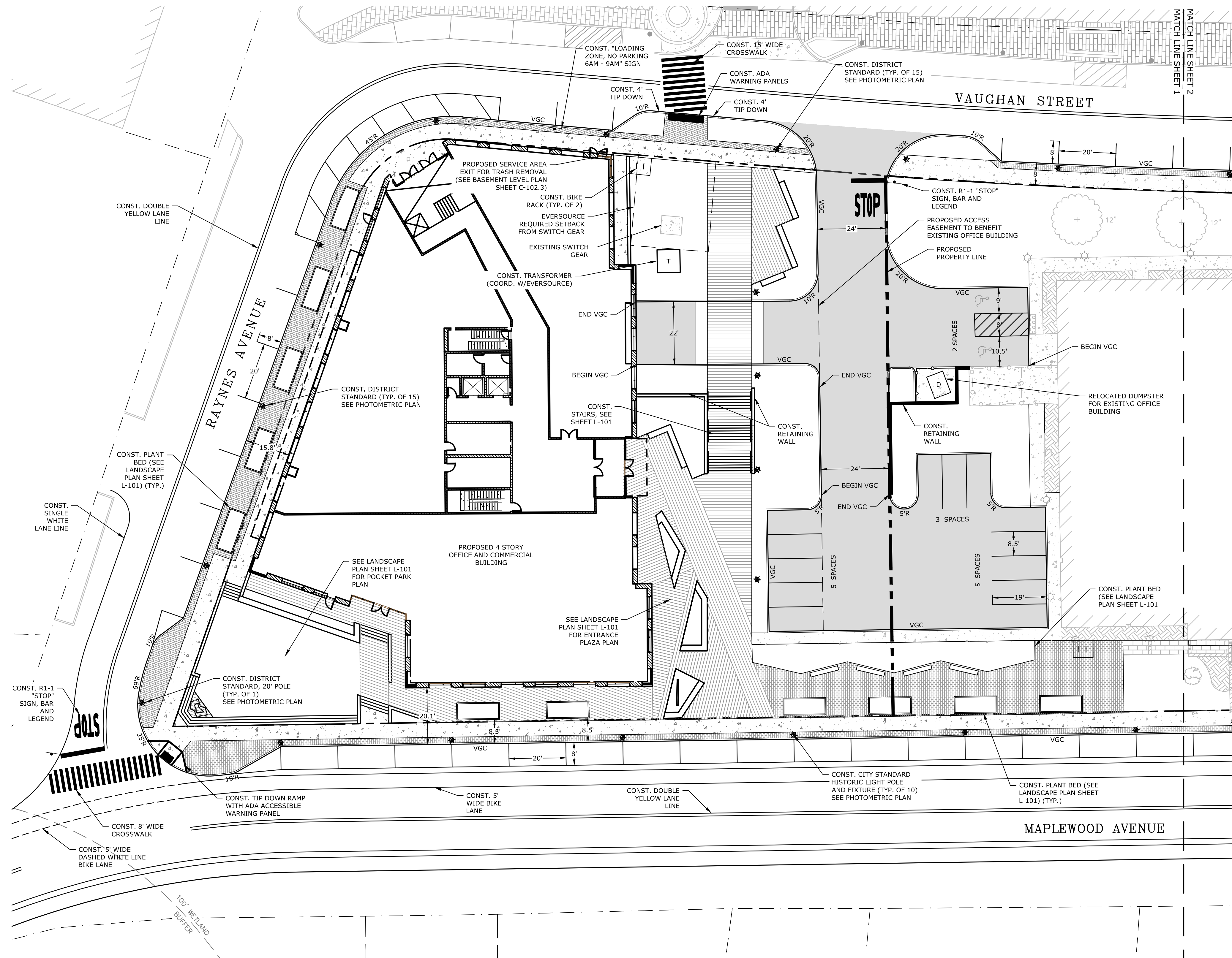
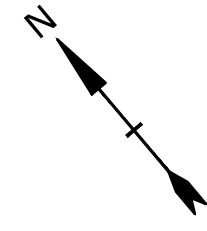
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DATE:	04/12/2019	
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LANDSCAPE DETAILS

SCALE: AS SHOWN

L-502

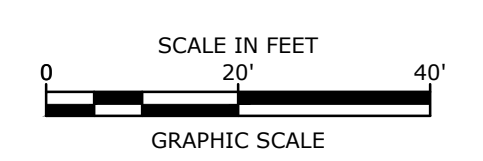


LEGEND

	PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED PAVEMENT SECTION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BRICK SIDEWALK
	PROPOSED BOLLARD
	BLDG TYPICAL
	COORD
	30'R
	VGC
	SGC

- SITE NOTES:**
- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO M249. (ALL MARKINGS EXCEPT CENTERLINE AND MEDIUM ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIUM ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
 - ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 - SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
 - CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
 - PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
 - THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
 - CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
 - COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
 - CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
 - SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 - ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
 - CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
 - ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
 - COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM STRUCTURAL ENGINEER AND/OR WALL MANUFACTURER. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTAL BLOCK WALL SYSTEM AS OUTLINED IN THE DETAILS.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
 - THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.

- SITE RECORDING NOTES:**
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 - THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.



Proposed Office Building

RW Norfolk Holdings, LLC

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	3/18/2019	NHDES Submissions
A	3/18/2019	TAC Submission

PROJECT NO: K-0076-019
DATE: 03/18/2019
FILE: K-0076-019_C-SITE.dwg
DRAWN BY: NAH
CHECKED: PMC
APPROVED: BLM

SITE PLAN
SCALE: AS SHOWN
C-102.1

Last Saved: 4/17/2019 9:43:58am By: N.M.H. Tighe & Bond, Inc. K:\0076-019 Map\Map\Drawings - General\Proposals\0076-019 Map\Map\Drawings - General\K-0076-019_C-SITE.dwg