

138 Maplewood Ave.
Map 124 Lot 6
Zoning: CD4-L1

To permit the following:

1. Lot Area of 7850sf for 3 Dwelling Units, where 3000sf per Unit is required
2. Vertical Expansion of a non-conforming Structure, for 2nd Floor Addition.
Existing Garage has +/- 1' right side Setback where 5' is required.
3. Right Side Setback of +/-1' for 2nd Floor Rear Addition (144sf) to Existing Garage.

The undersigned agrees that the following circumstances exist.....

1. A 2nd Floor is proposed over the Existing Garage which will add a 3rd Dwelling Unit to the Property. The Lot Area of 7850sf, is 1150sf under the required 9000sf. The 4 Properties on this section of Maplewood Ave start at the City Cemetery and end at the North Mill Pond Bridge..On the left side; 118 Maplewood Ave is a 10 Unit Office Condo in 2 Buildings (Lot 19,384sf) and 114 Maplewood has 3 Dwelling Units and 1 Office Rental (Lot size 5057sf). On the Right Side, 154 Maplewood has a 2 Unit Office Condo in the Front Building & a Dwelling Unit in the Back Building (Lot Size 18,384sf)..Across the street a large Multiuse Commercial & Residential Building is under Construction.
2. The Existing Garage is within the Right Side Setback and adding a 2nd Floor will continue that non-conformity.
3. The 6' x 24' 2nd Floor Addition (144sf) to the Rear of the Garage will match the existing width and will have a +/- 1' Right Side Setback.

Criteria for the Variance:

1. The Variances are not contrary to the public interest in that the existing Garage is set back from public view and can only be seen from a couple of narrow openings on Maplewood Ave and from the North Mill Pond Bridge. The Existing 1-Story Garage Structure is surrounded by 2-Story Structures and the Garage 1st floor level is 3.5' lower then Primary Buildings on Maplewood Ave.
2. The Variances are consistent with the spirit of the ordinance in that it will allow this expansion without adversely impacting the immediate abutters. Existing Parking on the Lot (6 spaces) exceeds the required 4 Spaces.
3. Substantial justice will be done, as the benefit to the Owners out-weighs any negative affects to abutting properties.
4. These Variances will not diminish the value of surrounding properties. The design has a more residential presence then the current 4 garage doors.
5. The special condition of this property is the Lot Size and the location of the Existing Garage Structure.

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832



ANNE WHITNEY ARCHITECT

138 MAPLEWOOD AVE.
EXISTING & PROPOSED LOT PLAN

SCALE 1" = 10'-0" 4/22/2020

NOTE: EXISTING AND PROPOSED ARE OVERLAYED
ON EXISTING SURVEY PLAN JULY 29, 1997
BY MILLETTE, SPRAGUE & COLWELL, INC.,
ANNE WHITNEY ARCHITECT, FIELD MEASURED
AND DRAFTED CURRENT EXISTING CONDITIONS.



N/F
GIDEON WALKER HOUSE TRUST
JAMES SOMES JR., TRUSTEE
361 HANOVER STREET
PORTSMOUTH, NH. 03801
RCRD BK.#3120 PG.#1900

MAP U24 LOT 6
7,850 S.F.
0.18 ACRES

EXISTING
BUILDING
FINISH FLOOR
ELEV.=15.94

MAP U24 LOT 5

N/F
CAPTAIN JOHN MOSES CONDOMINIUMS
118 MAPLEWOOD AVENUE
PORTSMOUTH, NH. 03801

10' WIDE ALL PURPOSE RIGHT OF WAY
FROM MAP U24/5 TO MAP U24/6 SEE
RCRD BK.#899 PG.#9 AND PROBATE #40689

100' TIDAL
BUFFER ZONE

EXISTING PARKING AREA

RAMP

CONCRETE
WALK

BITUMINOUS
CURB

WOOD STAIRS

RAISED PLANTING BED WITH RET-WALL

PAVING

WOOD DECK

18" PEAR

18" HARDWOOD

23' REMAINS AS GARAGE

2 PARKING SPACES IN GARAGE

EXISTING STRUCTURE
24' X 46'

23' PROPOSED LIVING SPACE
6' X 24' ADDED TO NEW 2ND FLOOR
24' X 32' PROPOSED 2ND FLOOR
4 POSTS AT GROUND LEVEL

FOUND IRON
ROD WITH CAP

PAVED DRIVEWAY

11'-1' EXIST.
& PROPOSED

EXIST.
11'-10'

EXIST. & PROPOSED
11'-5'

EXIST.
11'-0'

EXIST. 11'-63'
PROPOSED 11'-62'

11'-19.5'
EXIST. & PROPOSED

EXIST.
ROW

EX. CRUSHED STONE

EX. RETAINING WALL

EX. GARDEN

EXIST. PATIO

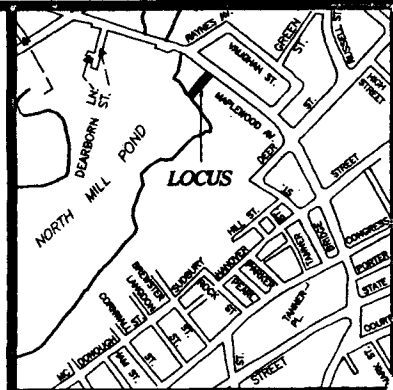
POST
(IMP.)

SHRUB
(TYPICAL)

FLOOD HAZARD ZONE
FLOOD HAZARD ZONE

LEGEND

AC.	ACRES
BK.2562/PG.2783	BOOK NO./PAGE NO.
EP	EDGE OF PAVEMENT
ELEC.	ELECTRIC
FKA	FORMERLY KNOWN AS
LS	LANDSCAPED
N/F	NOW OR FORMERLY
RCD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
SL	SEWER LATERAL
TBM	TEMPORARY BENCHMARK
TBR	TO BE REMOVED
USGS	UNITED STATES GEODETIC SURVEY
---	EXISTING GAS
---	EXISTING SEWER
---	PROPOSED CONTOUR
---	SEWER LATERAL
---	DRILL HOLE
MAP LOT	ASSESSORS MAP & PARCEL NUMBER
---	PROPERTY LINE
---	STONE WALL
---	EXISTING SPOT GRADE
---	UTILITY POLE
---	WATER SHUT OFF



LOCATION PLAN

NOTES

1. THE PARCEL IS LOCATED IN THE CENTRAL BUSINESS A (CBA) ZONE AND THE HISTORIC OVERLAY DISTRICT A (HDA).
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP U24 AS LOT 6.
3. THE PARCEL IS LOCATED IN A FLOOD HAZARD ZONE AS SHOWN.
4. OWNER OF RECORD: EDWARD ZOFFOLI REVOCABLE TRUST, JOSEPHINE ZOFFOLI REVOCABLE TRUST, 138 MAPLEWOOD AVENUE, PORTSMOUTH, NH. 03801, RCD. BK.3120 PG.1900.
5. ZONING REQUIREMENTS: MINIMUM LOT SIZE: 1,000 S.F., MINIMUM FRONTAGE: N/A, MINIMUM SETBACKS: 0', FRONT YARD: 0', SIDE YARD: 0', REAR YARD: 0', MINIMUM DEPTH: N/A, MAXIMUM COVERAGE: 95%, 6. TOTAL PARCEL AREA: 7,850 S.F., 0.18 ACRES.
7. THE PARCEL IS SUBJECT TO RESTRICTIONS RELATED TO THE 250' COMPREHENSIVE SHORELAND PROTECTION ACT (RSA 483-B).

PLAN REFERENCES

1. "PLAN OF LAND PREPARED FOR STEVEN MASSCOTTE & D. JOHN FOLEY, MAPLEWOOD AVENUE, PORTSMOUTH, N.H." DATED 10/31/88 BY KIMBALL CHASE COMPANY, INC. NOT RECORDED.
2. "SITE PLAN FOR D. JOHN FOLEY & STEVEN M. MASSCOTTE 118 MAPLEWOOD AVENUE, COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." DATED JANUARY 30, 1989 REVISED 3/2/89 BY RICHARD P. MILLETTE AND ASSOCIATES. NOT RECORDED.
3. "CAPTAIN JOHN MOSES CONDOMINIUM SITE PLAN DRAWN FOR DANIEL LOGGINS, 118 MAPLEWOOD AVE., PORTSMOUTH, N.H. OWNER OF UNIT B-1" DATED MARCH, 1995 BY EDWARD N. HERBERT, ASSOC. INC. RCD PLAN #0-23905.
4. "SITE PLAN GIDEON WALKER CARRIAGE HOUSE FOR GIDEON WALKER TRUST 154 MAPLEWOOD AVENUE, PORTSMOUTH, N.H. 03801" DATED JUNE 1995 REVISED 3-28-97 BY BARRY W. KIMBALL, P.E., L.L.S. RCD PLAN #0-25362.
5. "VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10 PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION MAP" DATED 11/5/70 BY ANDERSON-WIGGINS & CO., INC. RCD PLAN #0-2408.

REV.#3	11/13/97 REMOVE 2ND STORY APARTMENT AND NOTE #8
REV.#2	09/23/97 REVISE BUILDING
REV.#1	09/08/97 ADD PROPOSED GRADES



MILLETTE, SPRAGUE & COLWELL, INC.
CIVIL ENGINEERS LAND SURVEYORS

SITE PLAN FOR

**EDWARD ZOFFOLI REVOCABLE TRUST &
JOSEPHINE ZOFFOLI REVOCABLE TRUST
138 MAPLEWOOD AVENUE
COUNTY OF ROCKINGHAM
PORTSMOUTH, NH.**

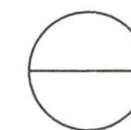


SCALE: 1" = 10' (IN FEET) DATE: JULY 23, 1997

501 ERLINGTON STREET, P.O. BOX 4006, PORTSMOUTH, N.H. 03841-2222
http://www.mscenginc.com



VIEW FROM DRIVEWAY ENTRY



SOUTH ELEVATION
SCALE : 3/16" = 1'-0"



EXISTING GARAGE SOUTH VIEW

SCHEMATIC DESIGN

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

GARAGE 2ND FLOOR ADDITION & RENOVATIONS

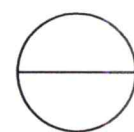
PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH

Project: # 2004

Date: 3 / 13 / 20

Revisions: 4 / 24 / 20

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WEST ELEVATION

SCALE : 3/16" = 1'-0"



VIEWS FROM WEST YARD

SCHEMATIC DESIGN

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PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH

Project: 2004

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Revisions: 4/24/20

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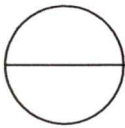


VIEW FROM MAPLEWOOD AVE SIDEWALK



VIEW FROM NORTH MILL POND BRIDGE




 NORTH ELEVATION
 SCALE : 3/16" = 1'-0"

Schematic Design

9 Sheafe Street
 Portsmouth
 NH 03801
 603-427-2832

ANNE WHITNEY ARCHITECT

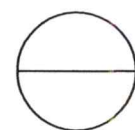
GARAGE 2ND FLOOR ADDITION & RENOVATIONS

PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH

Project: 2002
 Revisions: 4/24/20

Date: 3/13/20

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EAST ELEVATION

SCALE : 3/16" = 1'-0"

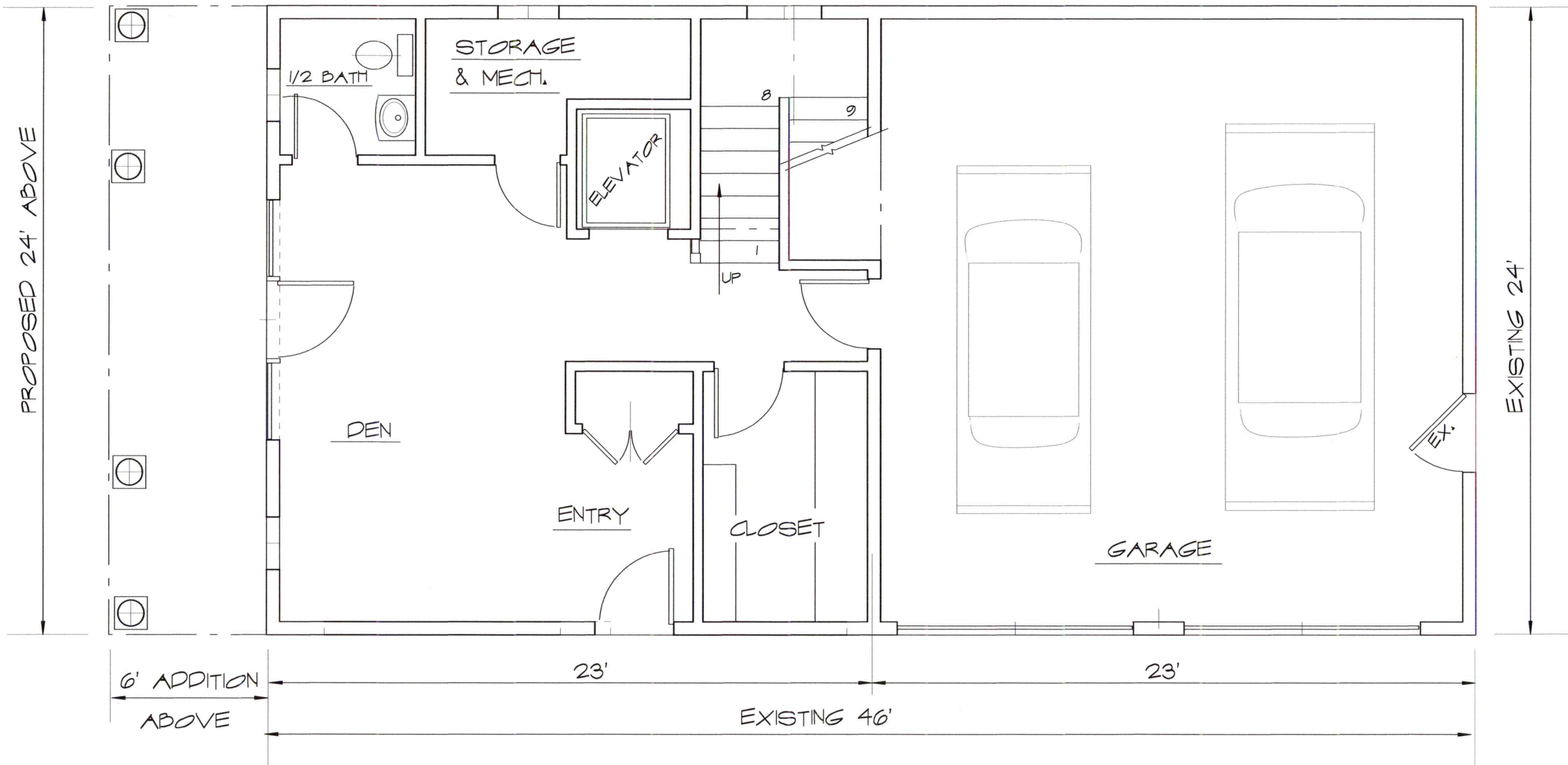


EXISTING CUPOLA



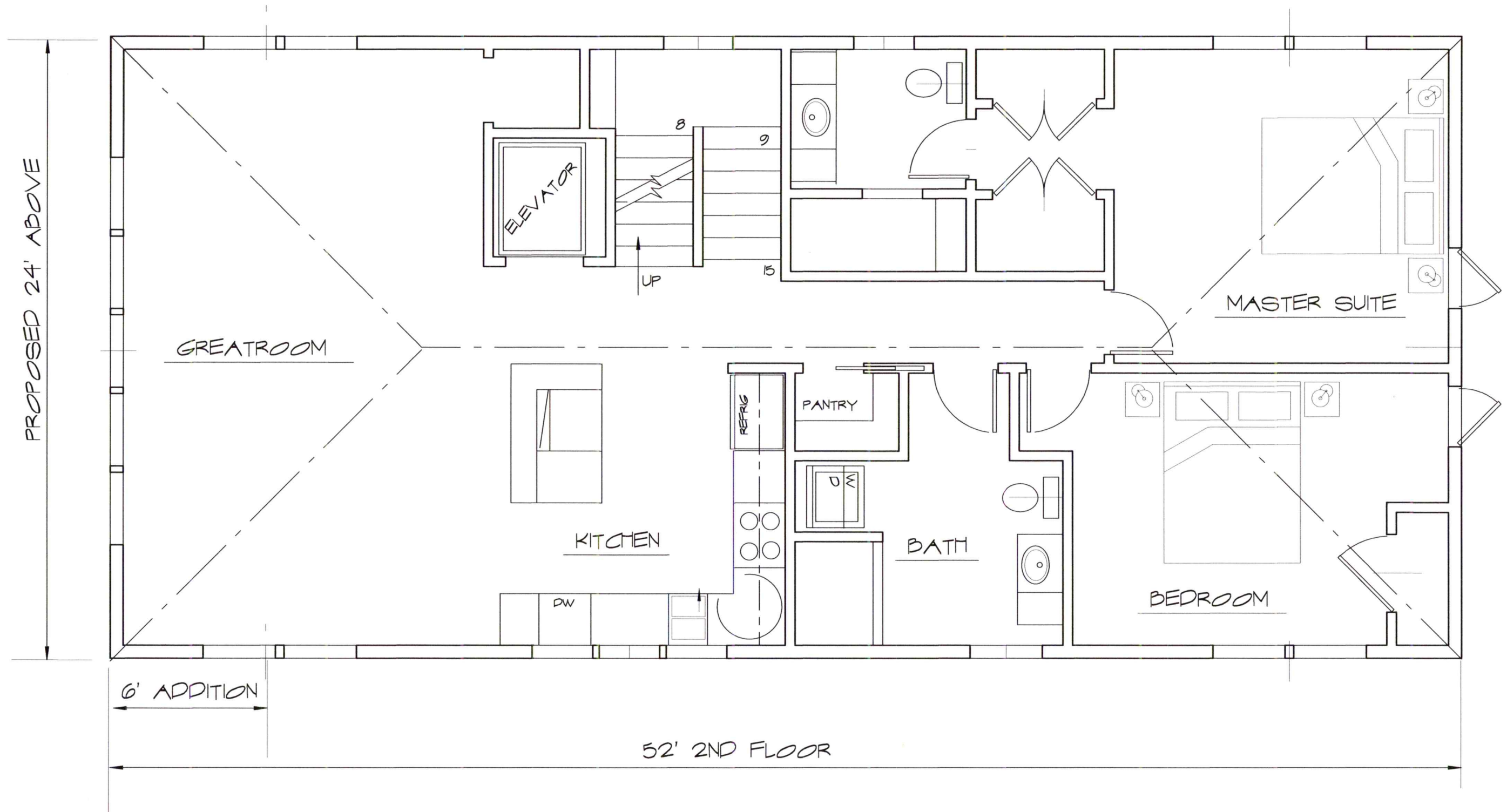
EXISTING EAST ELEVATION

<p>SCHEMATIC DESIGN</p>	<p>9 Sheafe Street Portsmouth NH 03801 603-427-2832</p> <p>ANNE WHITNEY ARCHITECT</p> <p>GARAGE 2ND FLOOR ADDITION & RENOVATIONS</p> <p>PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH</p>	<p>Project: 2002</p> <p>Revisions: 4 / 24 / 20</p>	<p>Date: 3 / 13 / 20</p> <p>4 OF 4</p>
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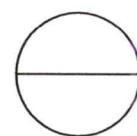
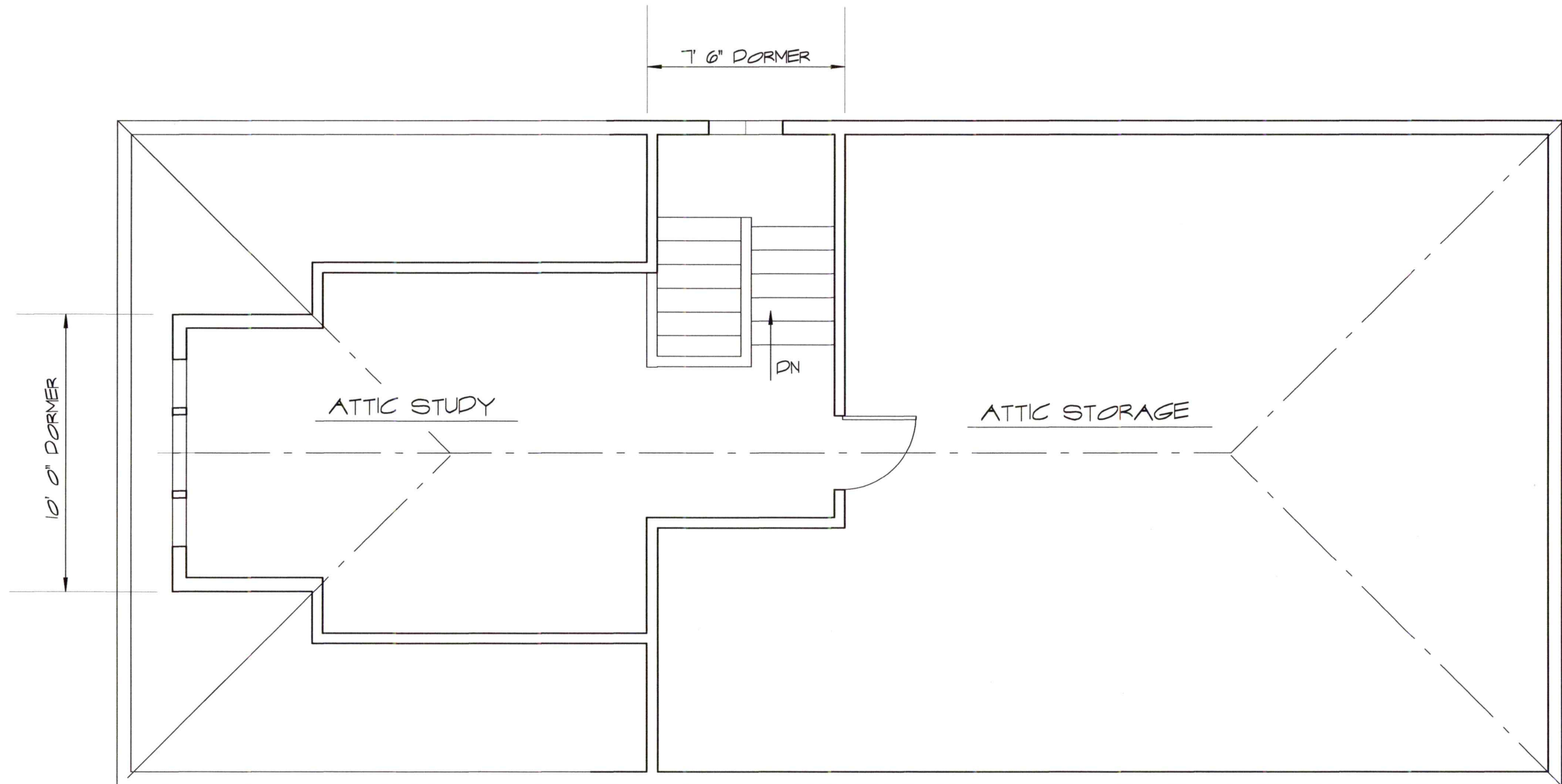

1ST FLOOR PLAN
 SCALE : 1/4" = 1'-0"

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2ND FLOOR PLAN
 SCALE : 1/4" = 1'-0"

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			Revisions:	2 OF 3



ATTIC PLAN
SCALE : 1/4" = 1'-0"

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	<p>Revisions:</p>	<p>3 OF 3</p>	
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