AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

18 April, 2022

Peter Stith, Chair City of Portsmouth Technical Advisory Committee 1 Junkins Avenue Portsmouth, NH 03801

RE: Portsmouth Maple Masjid, 686 Maplewood Avenue, Site Plan Approval Request for Additional One Year extension

Dear Mr. Stith and Technical Advisory Committee members:

On behalf of the Portsmouth Maple Masjid, we hereby submit a request for an additional one year extension of the Site Plan Approval granted April 18, 2019 for property located at 686 Maplewood Avenue. The Mosque has selected a contractor and is in the process of fund raising. The extension is necessary for the applicant to be able to begin the project.

The Plan Set submitted is unchanged from the plans approved in 2021.

We look forward to reviewing the project at the May 3, 2022 Technical Advisory Committee Meeting.

Sincerely,

John Chagnon

John Chagnon, PE Ambit Engineering, Inc.

CC: ISSA

PROPOSED SITE PLAN PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PERMIT PLAN

OWNER/APPLICANT: ISLAMIC SOCIETY OF

THE SEACOAST AREA 42N DOVER POINT ROAD DOVER, NH 03820

CIVIL ENGINEER & LAND SURVEYOR:

AMBIT ENGINEERING, INC.

200 GRIFFIN ROAD, UNIT 3 PORTSMOUTH, N.H. 03801 Tel. (603) 430-9282 Fax (603) 436-2315

BUILDING DESIGNER:

LIVING SPACES, INC. 1247 WASHINGTON ROAD RYE, NH, 03870

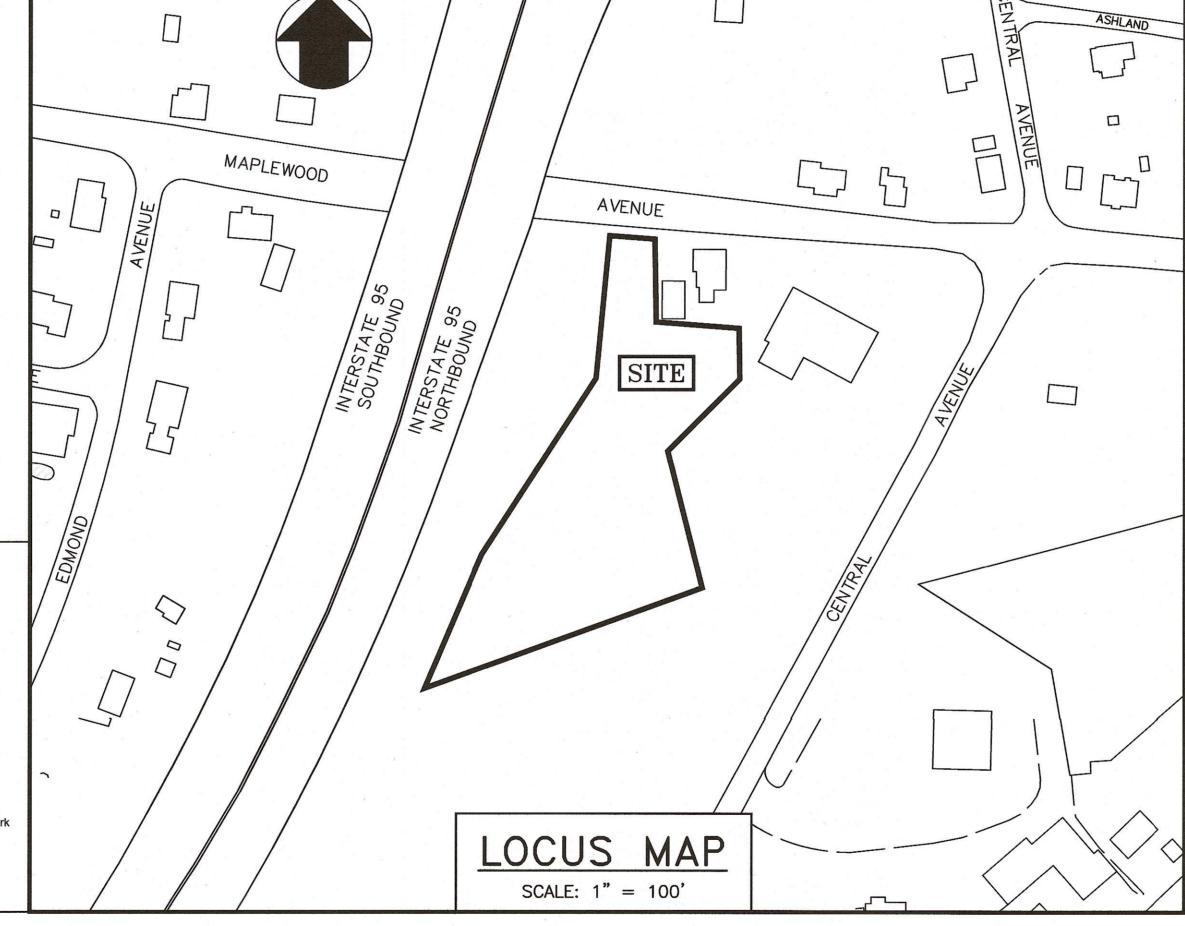
Tel. (603) 964-5180

LANDSCAPE DESIGNER:

KRIS ROMANIAK

20 BRADFORD STREET DERRY, NH, 03038 Tel. (617) 576-2129

Legend





Character Districts Character-Based Zoning Area (Refer to Zoning Map Sheet 2 of 2 Character Districts Regulating Plan) **Residential Districts** R Rural SRA Single Residence A SRB Single Residence B GRA General Residence A

GRB General Residence B GRC General Residence C GA/MH Garden Apartment/Mobile Home Park

Mixed Residential Districts MRO Mixed Residential Office MRB Mixed Residential Business

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10	
-	

EXISTING CONDITIONS AND TOPOGRAPHY PLAN SITE PLAN (RECORDING)

DEMOLITION PLAN SITE LAYOUT PLAN

> UTILITY PLAN GRADING, DRAINAGE & EROSION CONTROL PLAN

STORMWATER INSPECTION PLAN LIGHTING PLAN

LANDSCAPE PLAN

EROSION CONTROL NOTES AND DETAILS

D2-D7 **DETAILS**

ARCH. 1-7 ELEVATIONS AND FLOOR PLANS

UTILITY CONTACTS

ELECTRIC: EVERSOURCE

SEWER & WATER:

680 PEVERLY HILL ROAD

PORTSMOUTH, N.H. 03801

1700 LAFAYETTE ROAD PORTSMOUTH, N.H. 03801 Tel. (603) 436-7708, Ext. 555.5678 ATTN: MICHAEL BUSBY, P.E. (MANAGER)

Tel. (603) 766-1438 ATTN: JIM TOW

PORTSMOUTH DEPARTMENT OF PUBLIC WORKS

COMMUNICATIONS: FAIRPOINT COMMUNICATIONS JOE CONSIDINE 1575 GREENLAND ROAD GREENLAND, N.H. 03840 Tel. (603) 427-5525

PORTSMOUTH, N.H. 03801

Tel. (603) 294-5144

ATTN: DAVE BEAULIEU

NATURAL GAS:

325 WEST ROAD

CABLE:

COMCAST

155 COMMERCE WAY

ATTN: MIKE COLLINS

PORTSMOUTH, N.H. 03801

Tel. (603) 679-5695 (X1037)

PROPOSED SITE PLAN PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

CI

EP

FF

INV

TYP

LEGEND:

PROPERTY LINE

EDGE OF PAVEMENT (EP)

WALL MOUNTED EXTERIOR LIGHTS

TRANSFORMER ON CONCRETE PAD

CONTOUR

SPOT ELEVATION

ELECTRIC HANDHOLD

SHUT OFFS (WATER/GAS)

UTILITY POLE

GATE VALVE

CATCH BASIN

SEWER MANHOLE

DRAIN MANHOLE

PARKING METER

LANDSCAPED AREA

TO BE DETERMINED

DUCTILE IRON PIPE

POLYVINYL CHLORIDE PIPE

ASBESTOS CEMENT PIPE

TEMPORARY BENCH MARK

VITRIFIED CLAY PIPE

EDGE OF PAVEMENT

FINISHED FLOOR

SLOPE FT/FT

ELEVATION

INVERT

TYPICAL

REINFORCED CONCRETE PIPE

CAST IRON PIPE

COPPER PIPE

TELEPHONE MANHOLE

PARKING SPACE COUNT

HYDRANT

PROPOSED



LSA

TBD

COP

PVC

RCP

TBM

TYP

AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

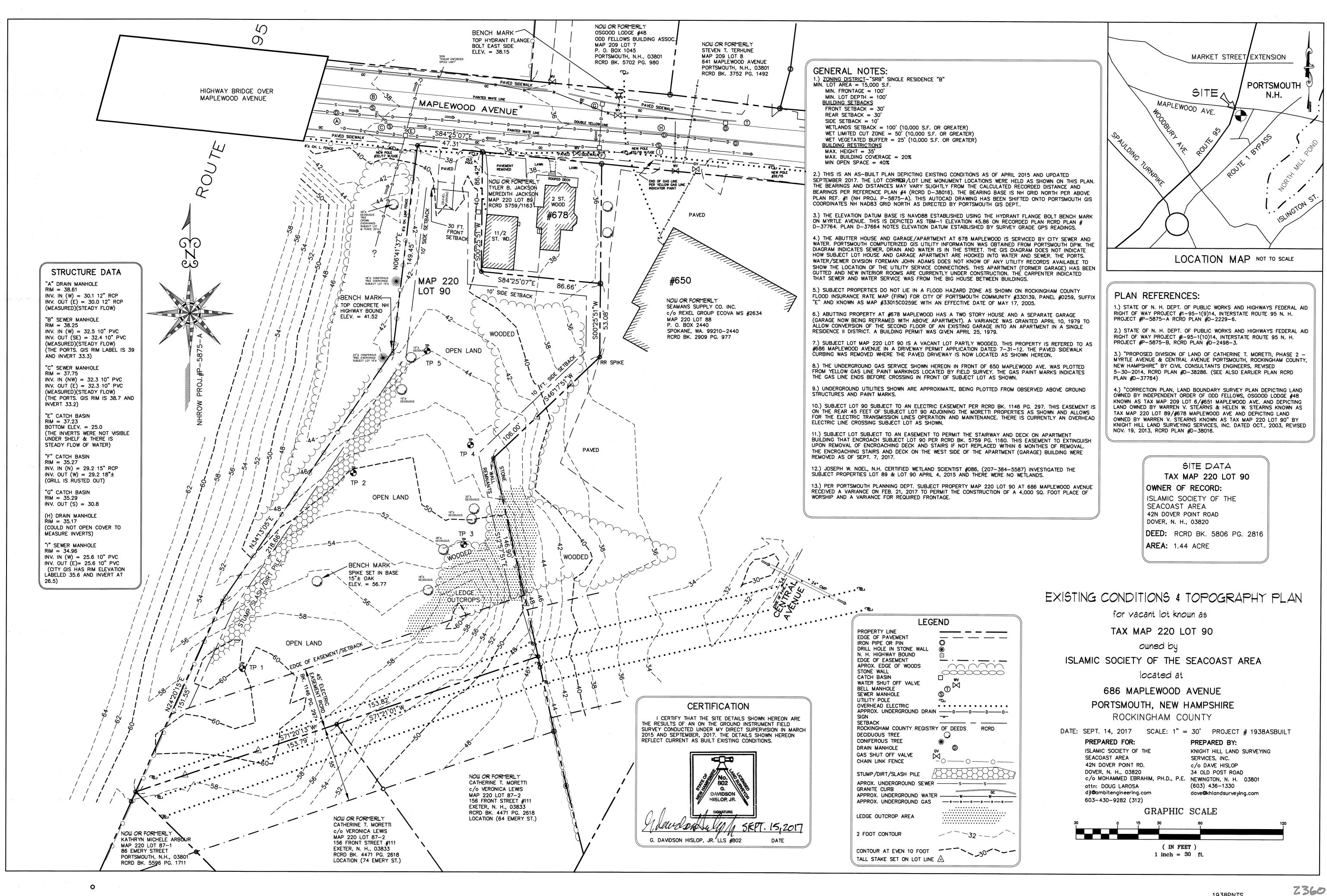
PLAN SET SUBMITTAL DATE: 22 MARCH 2021

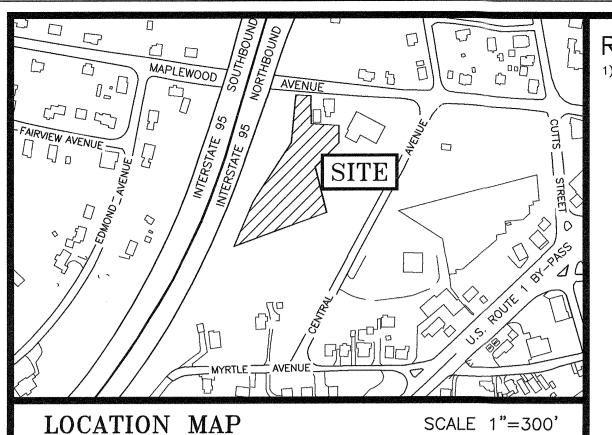
PORTSMOUTH APPROVAL CONDITIONS NOTE: ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE





LEGEND

MAP 124 / LOT 21 N/F NOW OR FORMERLY RP RECORD OF PROBATE ROCKINGHAM COUNTY RCRD REGISTRY OF DEEDS DRILL HOLE FOUND ☐ BND FND CONC BOUND FOUND IRON PIPE / IRON ROD FOUND O IP FND SEWER LINE GAS LINE STORM DRAIN POTABLE WATER LINE OVERHEAD WIRES ___100 ___ CONTOUR LINE EDGE OF PAVEMENT Ø Ø→ Ø→

UTILITY POLE (w/ GUY) (w/ LIGHT)

+⊖+ HYD. HYDRANT ⊞ CE CATCH BASIN SEWER MANHOLE

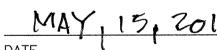
ELEVATION EDGE OF PAVEMENT FINISHED FLOOR INV. INVERT TBM TEMPORARY BENCHMARK TYP. TYPICAL LANDSCAPE AREA LSA VERTICAL/ SLOPED GRANITE CURB VGC/SGC

"I CERTIFY THAT THE BOUNDARY DETAILS WERE PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY PER REFERENCE PLAN AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000." MONUMENTS WHERE HELD.

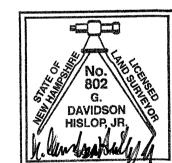
POLYVINYL CHLORIDE PIPE

SHUTOFF/CURB STOP (WATER, GAS, SEWER)

Jawa Ron Amala



PVC



APPROVAL NOTES:

1) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

2) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

3) THE OWNER OF RECORD AND SUBSEQUENTLY THE CONDOMINIUM UNIT ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.

4) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.

5) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED. JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

DATE

6) ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

REFERENCE PLAN:

"EXISTING CONDITIONS & TOPOGRAPHY PLAN FOR VACANT LOT KNOWN AS TAX MAP 220 LOT 90 OWNED BY ISLAMIC SOCIETY OF THE SEACOAST AREA LOCATED AT 686 MAPLEWOOD AVENUE PORTSMOUTH NH ROCKINGHAM COUNTY" DATE: SEPT. 14, 2017, SCALE: 1" = 30' PREPARED BY: KNIGHT HILL LAND SURVEYING SERVICES, INC. C/O DAVE HISLOP 34 OLD POST ROAD, NEWINGTON NH 03801 (603) 436-1330, dave@khlandsurveying.com

VARIANCES GRANTED (2/21/2017):

*CASE #2-4: "THE BOARD VOTED, IN SEPARATE MOTIONS, TO GRANT THE SPECIAL EXCEPTION AND VARIANCE AS PRESENTED AND

1) A SPECIAL EXCEPTION FOR SECTION 10.440 TO ALLOW A RELIGIOUS PLACE OF ASSEMBLY IN A DISTRICT WHERE THE USE IS ONLY ALLOWED BY SPECIAL EXCEPTION.

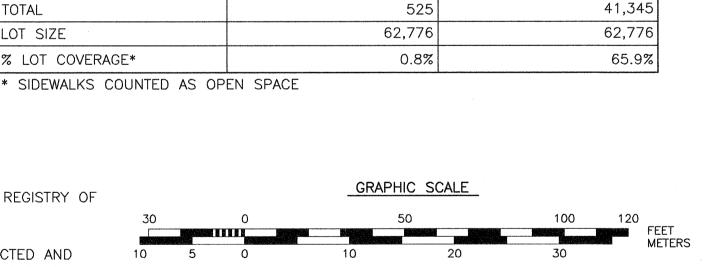
2) A VARIANCE FROM SECTION 10.521 TO ALLOW 47'± OF CONTINUOUS STREET FRONTAGE WHERE 100' IS REQUIRED.

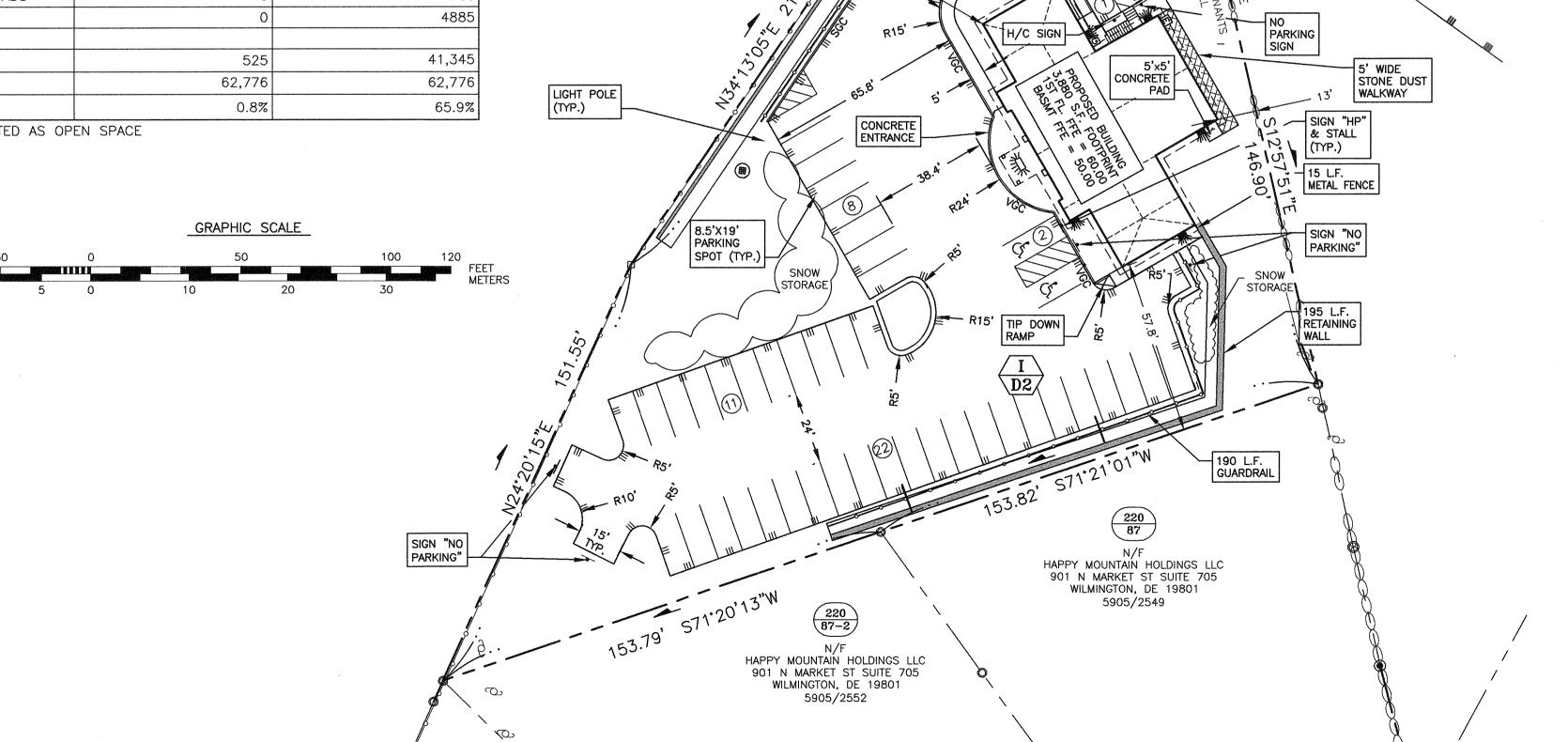
DIMENSIONAL REQUIREMENTS:

SRB: SINGLE RESIDENCE "B"

		E1 (10T1) 10	
	REQUIRED	<u>EXISTING</u>	<u>PROPOSED</u>
MIN. FRONT YARD:	30 FEET	NA	151.2 FEET
MIN. SIDE YARD:	10 FEET	NA	13.0 FEET
MIN. REAR YARD:	30 FEET	NA	57.8 FEET
CONTINUAL STREET FRONTAGE:	100 FEET	47.2 FEET	*47.2 FEET
DEPTH:	100 FEET	>100 FEET	>100 FEET
MAY CTRUCTURE HEIGHT	2 c c c c c c	0 5557	.75 FFFT
MAX. STRUCTURE HEIGHT:	35 FEET	O FEET	<35 FEET
ROOF APPURTENANCE:	8 FEET	O FEET	8 FEET
MAX. BUILDING COVERAGE:	20%	0%	6.2%
MIN. LOT AREA:	15,000 SF	62,776 SF	62,776 SF
MIN. OPEN SPACE COVERAGE:	40%	99.6%	40.3%*
		99.0%	40.5%
*SIDEWALKS COUNTED AS OPE	N SPACE.		

IMPERV	TOUS SURFACE (TO PROPERTY LINE)	AREAS
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (s.f.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	0	3,880
PAVEMENT	306	30,860
GRAVEL	219	0
RETAINING WALLS	0	820
STEPS AND LANDINGS	. 0	131
ENTRANCE PAD & PADS	0	769
5' WIDE SIDEWALK*	0	4885
TOTAL	525	41,345
LOT SIZE	62,776	62,776
% LOT COVERAGE*	0.8%	65.9%
+ OIDENALIZO OOLINITED 10 OD		





ROUTE 95 BRIDGE OVER

MAPLEWOOD AVENUE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors 200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

NOTES:

OSGOOD LODGE NO. 48 ODDFELLOWS BLDG ASSOC.

P.O. BOX 1045

PORTSMOUTH, NH 03802

TYLER B. JACKSON

MEREDITH JACKSON

281 SAGAMORE AVE

PORTSMOUTH, NH 03801

5759/1163

S84°25'07"E

STORAGE

POROUS

GRANITE

CONCRETE DUMPSTER CURB (SGC)

PAVEMENT

(HATCHED)

END OF GAS LINE

INDICATOR PAINT

RETAINING

LPER YELLOW GAS LINE

PAVED

SEAMANS SUPPLY CO INC

P.O. BOX 2440

SPOKANE, WA 99210

2909/0977

C/O REXEL GROUP ECOVA MS#263

SIGN: RADAR

BUS STOP

MAPLEWOOD AVENUE

STOP SIGN & LOCATION SIGN

' WIDE CONCRETE

DRIVEWAY -

220 L.F.

GUARDRAIL

TIP-DOWN

RETAINING WALL

5' CONCRETE

SIDEWALK

(TYP.)

VERTICAL GRANITE

CURB (VGC) (TYP)

SIDEWALK

, S84°25'07"E 🛫

ENFORCED / TRANSIT

RESET

GRANITE

CURB AS

REQ'D

VGC

"NO NOT

ENTER" SIGN

1) PARCEL LOCATED ON 686 MAPLEWOOD AVENUE IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 220 AS LOT 90.

2) OWNER OF RECORD: ISLAMIC SOCIETY OF SEACOAST AREA PO BOX 684 DOVER, NH 03821

3) SITE AREA IS 62,776 S.F. (1.44 ACRES)

5806/2816

4) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.

5) PARCEL ARE LOCATED IN THE SINGLE RESIDENCE "B" (SRB) ZONING

6) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LAYOUT OF SITE DEVELOPMENT ON TAX MAP 220 LOT 90. SEE COMPLETE SET OF PLANS ON FILE WITH THE CITY OF PORTSMOUTH.

7) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. SEE PLAN REFERENCE #1.

8) BUILDING NUMBERING TO BE COORDINATED WITH 911.

9) EXCESS SNOW SHALL BE TRUCKED FROM SITE

10) THE PLAN FOR SOLID WASTE REMOVAL IS TO PROVIDE DUMPSTERS FOR WEEKLY PICKUP.

11) STORMWATER MANAGEMENT INSTALLATIONS SHALL BE INSPECTED BY DPW DURING CONSTRUCTION AND AN ANNUAL REPORT SHALL BE SUBMITTED TO THE DPW DEPARTMENT REGARDING THE FUNCTION OF THE

PARKING ANALYSIS:

A PARKING DEMAND ANALYSIS WAS PERFORMED INDICATING THAT 71 SPACES ARE REQUIRED FOR THIS SITE.

A CONDITIONAL USE PERMIT TO ALLOW 60 PARKING SPACES WHERE 71 ARE REQUIRED BY A PARKING DEMAND ANALYSIS WAS GRANTED BY THE PLANNING BOARD ON JANUARY 17, 2019 WITH CONDITION THAT THE ACTUAL MAXIMUM PARKING BE REPORTED IN 6 MONTHS AND 1 YEAR FROM THE DATE OF OCCUPANCY.

PROPOSED PARKING:

REGULAR SPACES = 57 SPACES HANDICAP SPACES = 3 SPACES TOTAL SPACES = 60 TOTAL SPACES



PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	5/9/19
NO.	DESCRIPTION	DATE
	REVISIONS	

SITE PLAN TAX MAP 220 - LOT 90

OWNER:

ISLAMIC SOCIETY OF SEACOST AREA

686 MAPLEWOOD AVENUE CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE

SCALE: 1"=30"

MAY 2019

DEMOLITION NOTES

a) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.

b) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF—SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.

c) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

d) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.

e) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.

f) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.

g) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF—SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.

h) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE—USE. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.

i) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).

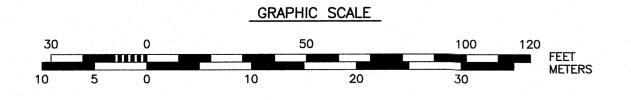
j) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.

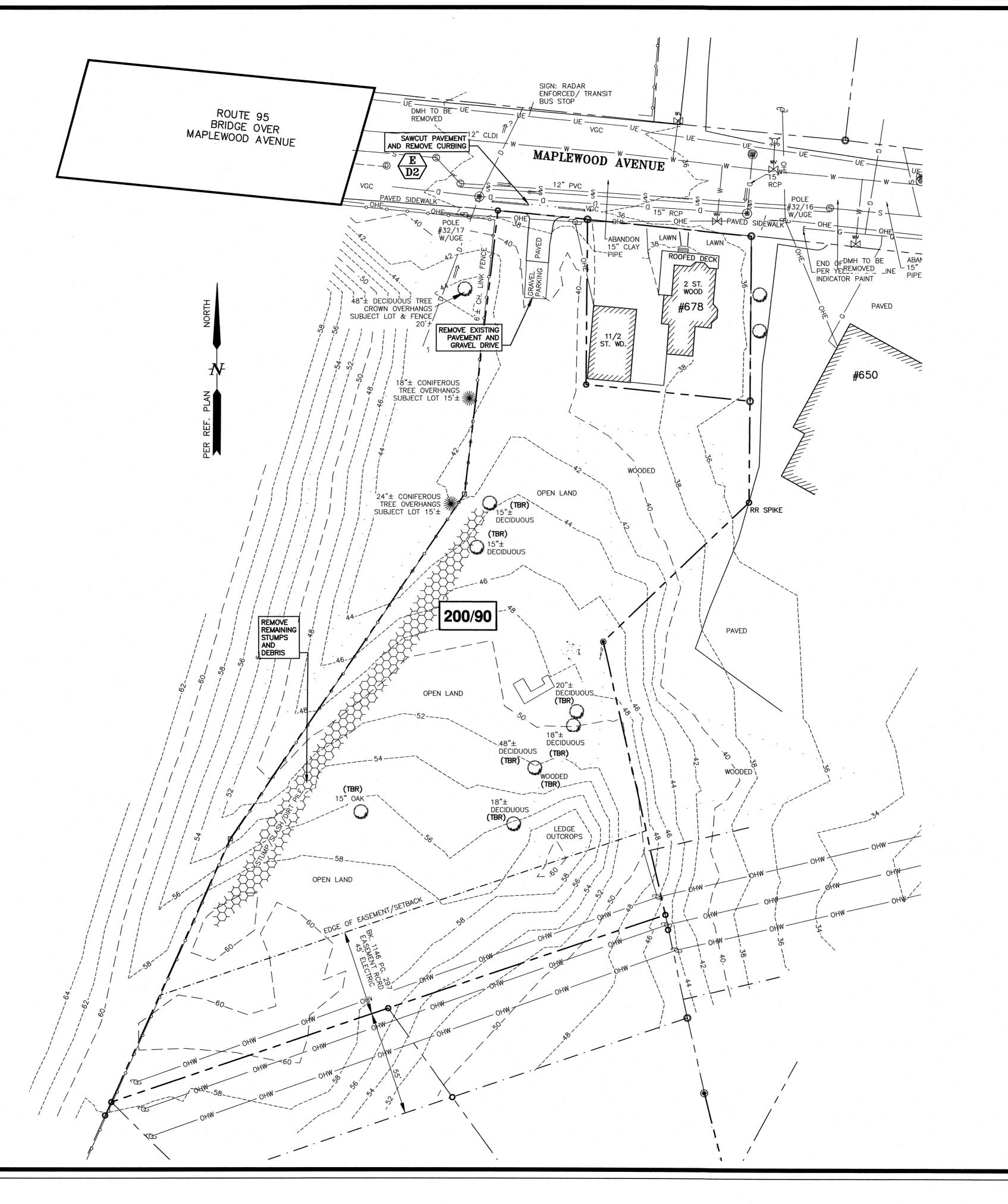
k) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.

I) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

m) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

n) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS







AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) ALL SEWER CONSTRUCTION SHALL COMPLY WITH THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWERAGE AND WASTEWATER TREATMENT FACILITIES, LATEST EDITION.
- 5) ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND THE N.H.D.O.T STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATIONS SHALL GOVERN.
- 6) CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF DEMOLITION DEBRIS.
- 7) CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH BITUMEN EMULSION RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 8) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 9) COORDINATE ANY DEMOLITION WORK WITHIN CITY RIGHT-OF-WAY WITH THE CITY OF PORTSMOUTH.
- 10) OWNER SHALL ARRANGE FOR LAND SURVEYOR TO SET ADDITIONAL BENCHMARKS PRIOR TO ANY SITE CONSTRUCTION.

PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

0 ISSUED FOR COMMENT 10/15/18
NO. DESCRIPTION DATE

REVISIONS

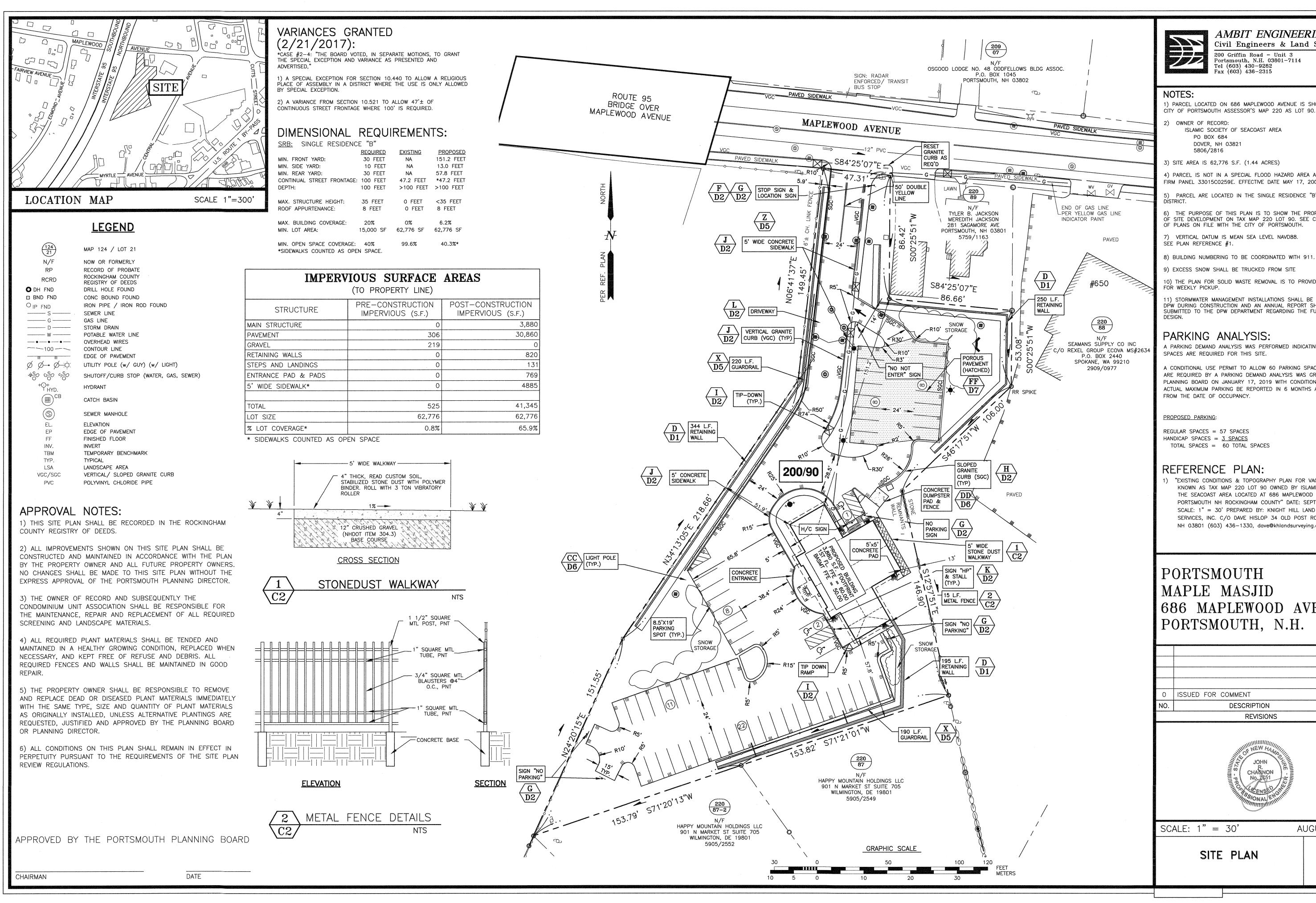


SCALE: 1" = 30'

MARCH 2018

DEMOLITION PLAN

C₁



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

1) PARCEL LOCATED ON 686 MAPLEWOOD AVENUE IS SHOWN ON THE

4) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.

5) PARCEL ARE LOCATED IN THE SINGLE RESIDENCE "B" (SRB) ZONING

6) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LAYOUT OF SITE DEVELOPMENT ON TAX MAP 220 LOT 90. SEE COMPLETE SET

8) BUILDING NUMBERING TO BE COORDINATED WITH 911.

10) THE PLAN FOR SOLID WASTE REMOVAL IS TO PROVIDE DUMPSTERS

11) STORMWATER MANAGEMENT INSTALLATIONS SHALL BE INSPECTED BY DPW DURING CONSTRUCTION AND AN ANNUAL REPORT SHALL BE SUBMITTED TO THE DPW DEPARTMENT REGARDING THE FUNCTION OF THE

A PARKING DEMAND ANALYSIS WAS PERFORMED INDICATING THAT 71

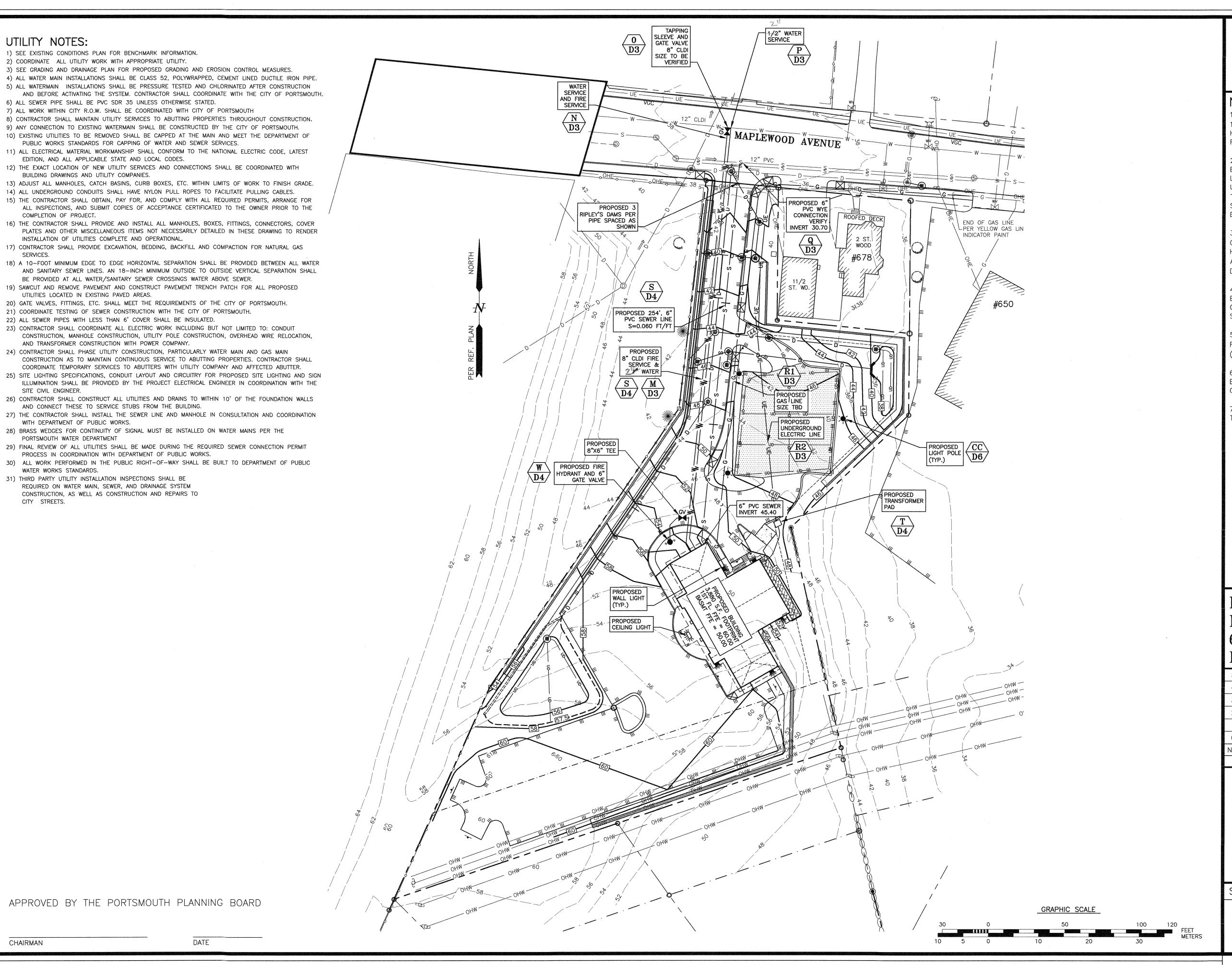
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"EXISTING CONDITIONS & TOPOGRAPHY PLAN FOR VACANT LOT KNOWN AS TAX MAP 220 LOT 90 OWNED BY ISLAMIC SOCIETY OF THE SEACOAST AREA LOCATED AT 686 MAPLEWOOD AVENUE PORTSMOUTH NH ROCKINGHAM COUNTY" DATE: SEPT. 14, 2017, SCALE: 1" = 30' PREPARED BY: KNIGHT HILL LAND SURVEYING SERVICES, INC. C/O DAVE HISLOP 34 OLD POST ROAD, NEWINGTON NH 03801 (603) 436-1330, dave@khlandsurveying.com

686 MAPLEWOOD AVENUE

5/9/19 DATE

AUGUST 2018





AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

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Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

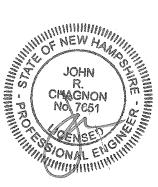
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) A JOINT USE AGREEMENT WITH EVERSOURCE REQUIRED FOR PARKING WITHIN THE 45'/55' ELECTRIC EASEMENT (R17715).
- 6) UTILITY CONNECTIONS IN MAPLEWOOD AVENUE SHALL BE MADE AT LEAST 3 MONTHS PRIOR TO FINAL OVERLAYS OR A MILL AND FILL WILL BE REQUIRED.
- 7.) ALL WATER MAIN SERVICE WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH STANDARDS.

PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

5	ADDED WALKWAY AND PAD IN BACK	4/11/19
4	REV DRAIN STRUCTURES	4/2/19
3	ADD DRAIN STRUCTURES	3/19/19
2	REV. 1" WATER, ADD DRAIN STUCTURES	1/22/19
1	ADDED HYDRANT, TAPPING, NOTE #7	11/19/18
0	ISSUED FOR COMMENT	10/15/18
NO.	DESCRIPTION	DATE
	REVISIONS	

REVISIONS

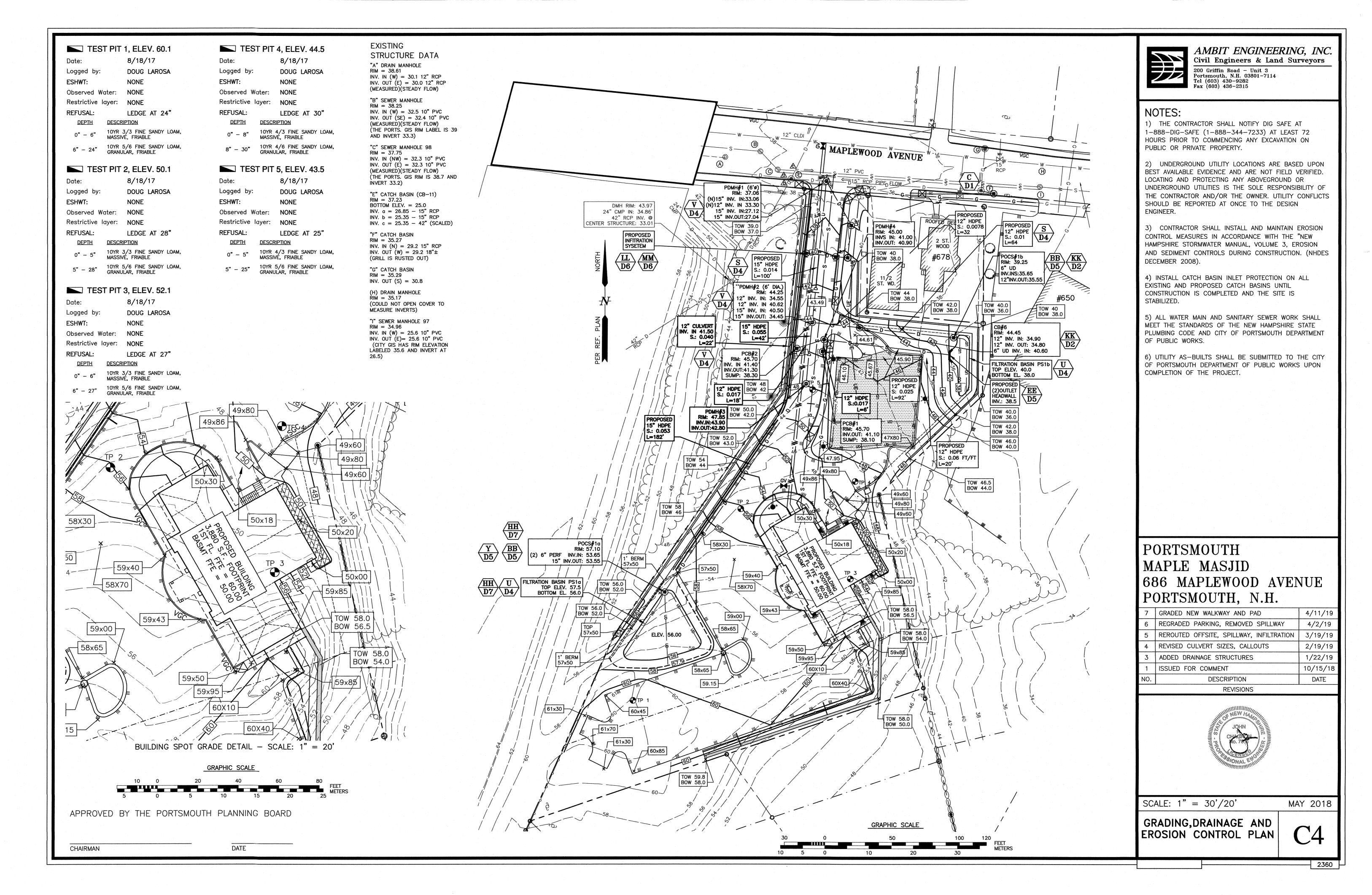


SCALE: 1" = 30'

MAY 2018

UTILITY PLAN

C3



INSPECTION & MAINTENANCE PLAN

The intent of this plan is to provide Portsmouth Maple Majid (herein referred to as "owner") with a list of procedures that document the inspection and maintenance requirements of the stormwater management system for this development. Specifically, the filtration system and associated structures on the project site (collectively referred to as the "Stormwater Management System").

The following inspection and maintenance program is necessary to keep the stormwater management system functioning properly. These measures will also help minimize potential environmental impacts. By following the enclosed procedures, the owner will be able to maintain the functional design of the stormwater management system and maximize its ability to remove sediment and other contaminants from site generated stormwater runoff.

The owner shall prepare an annual Inspection & Maintenance Report. The report shall include a summary of the system's maintenance and repair by transmission of the Inspection & Maintenance Log and other information as required. A copy of the report shall be delivered annually to the City of Portsmouth Code Enforcement

Inspection & Maintenance Checklist/Log

The following pages contain a Stormwater Management System Inspection & Maintenance Checklist and a blank copy of the Stormwater Management System Inspection & Maintenance Log. These forms are provided to the owner as a guideline for performing the inspection and maintenance of the Stormwater Management System. This is a guideline and should be periodically reviewed for conformance with current practice and standards.

STORMWATER MANAGEMENT SYSTEM COMPONENTS

The Stormwater Management System is designed to mitigate both the quantity and quality of site-generated stormwater runoff. As a result, the design includes the following elements:

Non-Structural BMP's

Non-Structural best management practices (BMP's) include temporary and permanent measures that typically require less labor and capital inputs and are intended to provide protection against erosion of soils. Examples of permanent mulching, temporary and permanent grass cover, trees, shrubs and ground covers, miscellaneous landscape plantings, dust control, tree protection, topsoiling, sediment barriers, and a stabilized construction entrance.

Structural BMP's

Structural BMP's are more labor and capital-intensive structures or installations that require more specialized personnel to install. Examples on this project include but are not limited to: storm drains, the micro detention ponds and associated outlet control structures, and the infiltration trench system.

Inspection and Maintenance Requirements

- The following summarizes the inspection and maintenance requirements for the various BMP's that may be found on this project.
- 1. Grassed areas: After each rain event of 0.5" or more during a 24-hour period, inspect grassed areas for signs of disturbance, such as erosion. If damaged areas are discovered, immediately repair the damage. Repairs may include adding new topsoil, lime, seed, fertilizer and mulch.
- 2. Plantings: Planting and landscaping (trees, shrubs) shall be monitored bi-monthly during the first year to insure viability and vigorous growth. Replace dead or dying vegetation with new stock and adjust the conditions that caused the dead or dying vegetation. During dryer times of the year, provide weekly watering or irrigation during the establishment period of the first year. Make the necessary adjustments to ensure long-term health of the vegetated covers, i.e. provide more permanent mulch or compost or other means of protection.
- 3. Storm Drain Outlets and Outlet Control Structures & Infiltration Trench: Monitor drain inlets and outlet aprons for excessive accumulation of sediments or missing stone/riprap. Remove sediments as required to maintain filtering capabilities of the stone. Replace missing riprap.
- 4. Filtration Basin: After acceptance of the Filtration Basin, perform the following inspections on a semi-annual basis or after significant rainfall events (10-year, 24-hour storms, or back to back 2-year, 24-hour storms): a. Monitor Filtration Basin for 72 hours following a rain storm. If the
- Filtration Basin fails to fully drain within this period time, the engineered soil may have become plugged. Inspect for other causes of blockage. If it's determined that the soil has become plugged and is no longer functioning as engineered, then replacement of soils shall be required.

- a. Monitor for excessive or concentrated accumulations of debris, or excessive erosion. Remove debris as required.
- b. Monitor the outfall structure for problems with clogged pipes. Repair or remove clogs as required and determine cause of clogging. Pipes should be inspected annually and after every major rainstorm. Broken or damaged pipes should be repaired or replaced as necessary.
- c. Monitor side slopes of ponds for damages or erosion-repair as necessary. d. Monitor turf health and keep protected from fire, grazing, traffic and dense weed growth. Lime and fertilizer should be applied as necessary to promote good growth as determined by soil tests. Mowing the vegetated areas of the basin should be carried out as necessary.
- e. Sediment accumulation should be continually checked in the basin. Sediment should be removed as it is discovered. Particularly if it has accumulated near the outlet of the basin.
- f. The outlet control structure should be inspected annually and after every major rainstorm. The outlet control structure has within it a weir structure with various size orifices for controlling flow out of the basin. These orifices should be kept clear and unclogged. Any sediment or debris that has built up inside the outlet control structure should be removed when discovered.
- g. The use of sand shall be prohibited, and the use of salt shall be limited. 2. Porous Pavement: After placement of the final surface of porous asphalt pavement, inspect the area for signs that rainfall is flowing through the surface and not running off of the surface. Sweep and / or vacuum 2X ANNUALLY AND ADDITIONALLY as needed.

Monitor Stormwater Management System for signs of invasive species growth. If caught earlier enough, their eradication is much easier. The most likely places where invasions start is in wetter, disturbed soils or detention ponds. Species such as phragmites and purple loose-strife are common invaders in these wetter areas. If they are found, then the owner

shall contact a wetlands scientist with experience in invasive species control to implement a plan of action to eradicate the invaders. Measures that do not require the application of chemical herbicides should be the first line of defense. Inspection & Maintenance Checklist for Post Construction Condition—for Postsmouth Maple Majid, 686 Maplewood Avenue, Postsmouth, NH

BMP/System Component	Minimum Inspection Frequency	Minimum Inspection Requirements	Maintenance/Cleanout Threshold
Closed Drainage System			
Drainage Pipes	Yearly	Check for sediment c logging, or soiled runoff.	Clean entire drainage system and remove all sediments if discovered in piping.
Altration Basin	2 X Annually	Check for sediment clogging excessive weed growth and standing water	Remove any weeds, trash, debris and accumulated sediment. If trench does not drain within 72 hours following a rain event, a qualified professional should assess the condition of the facility to determine restoration measures.
Porous Pavement	2 X Annually	Check that rainfall is flowing through the surface and not running off of the surface	Sweep and/or vacuum 2X Annually and additionally as needed.
Annual Report	Yearly	Prepare Annual Report, including all Inspection &	N/A

(2) 6" PERF INV.IN: 53.65 15" INV.OUT: 53.55

HH U FILTRATION BASIN PS1a TOP ELEV. 57.5 BOTTOM EL. 56.0

Inspection & Maintenance Log-for Portsmouth Maple Masjid, 686 Maplewood Avenue, Portsmouth, NH

BMP/System Component	Date	Inspector	Problems Noted, Required Maintenance	Date of Maintenance	Performed B
	Inspected		(List Items/Comments)		
eren eren eren eren eren eren eren eren					

Fax (603) 436-2315

AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282

NOTES:

S GAS LIŃE OW GAS LINE

D5/D2

D4 PAINT

PROPOSED

12" HDPE S.: 0.01

L=64

POCS#1b

∐RIM: 39.25

INV.INS:35.65

CB#6 RIM: 44.45

12" INV. IN: 34.90

TOP ELEV. 40.0

RR INV.: 38.5

- FILTRATION BASIN

PROPOSED 12" HDPE

L=20'

S.: 0.06 FT/FT

PAVED

GRAPHIC SCALE

BOTTOM EL. 38.0

PROPOSED EE

12" INV. OUT: 34.80 **46" UD INV. IN: 40.60**

FILTRATION BASIN PS1b / U

12"INV.OUT:35.55

SIGN: RADAR

BUS STOP

(N)15" INV. IN:33.06 V (N)12" INV. IN 33.30

15" INV. IN:27.12

15" INV.OUT:27.04

12" CULVERT INV. IN 41.50 S.: 0.040

L=22'

PDMH#3 RIM: 47.85 INV.IN:43.90

INV.OUT:42.80

15" HDPE S.: 0.053 L=182'

SILTSOXX

(TYPICAL)

FILTRATION BASIN

PROPOSED 15" HDPE S.: 0.014

L=100'

"PDMH#2 (6' DIA.)

12" INV. IN: 34.55

12" INV. IN 40.62

15" INV, IN: 40.50

15" INV.OUT: 34.45

15" HDPE S.: 0.055

PCB#2 RIM: 45.70

INV. IN 41.40

INV.OUT:41.30

SUMP: 38.30 -

12" HDPE S.: 0.017

L=18'

L=42'

(HATCHED)

200/90

PROPOSED

INFITRATION

SYSETEM

 $\begin{pmatrix}
LL \\
D6
\end{pmatrix}
\begin{pmatrix}
MM \\
D6
\end{pmatrix}$

ENFORCED / TRANSIT

MAPLEWOOD AVENUE W LINE

+ INFILTRATION

PRACTCE (UG

INVS IN: 41.00

INV.OUT: 40.90

12" HDPE S: 0.025

L=92'

12" HDPE S.:0.017

RIM: 45.70 INV.OUT: 41.10

SUMP: 38.10

PROPOSED

S.: 0.0078 L=32

ROOFED DE 12" HDPE

2 ST.

WOOD

1) PARCEL LOCATED ON 686 MAPLEWOOD AVENUE IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 220 AS LOT 90.

2) OWNER OF RECORD: ISLAMIC SOCIETY OF SEACOAST AREA

PO BOX 684 DOVER, NH 03821 5806/2816

3) SITE AREA IS 62,776 S.F. (1.44 ACRES)

4) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.

5) PARCEL ARE LOCATED IN THE SINGLE RESIDENCE "B" (SRB) ZONING

6) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LAYOUT OF SITE DEVELOPMENT ON TAX MAP 220 LOT 90.

7) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. SEE PLAN REFERENCE #1.

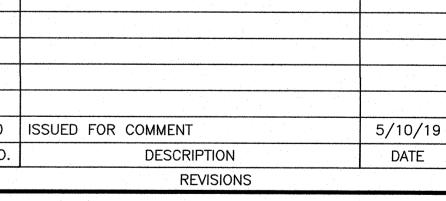
8) BUILDING NUMBERING TO BE COORDINATED WITH 911.

9) EXCESS SNOW SHALL BE TRUCKED FROM SITE

10) THE PLAN FOR SOLID WASTE REMOVAL IS TO PROVIDE DUMPSTERS FOR WEEKLY PICKUP.

11) STORMWATER MANAGEMENT INSTALLATIONS SHALL BE INSPECTED BY DPW DURING CONSTRUCTION AND AN ANNUAL REPORT SHALL BE SUBMITTED TO THE DPW DEPARTMENT REGARDING THE FUNCTION OF THE

PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.





SCALE: 1" = 30'

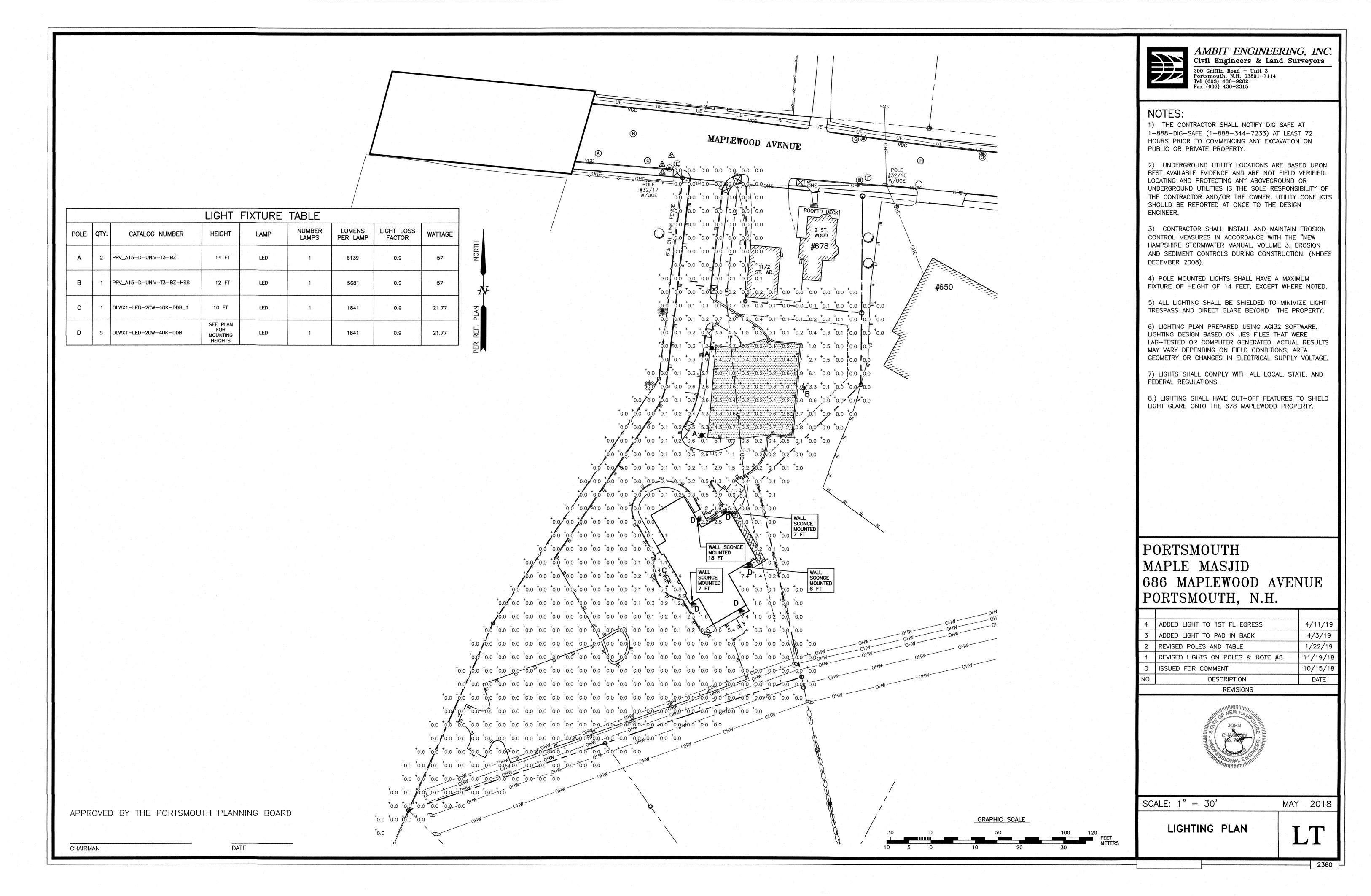
MAY 2019

STORMWATER INSPECTION PLAN

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE



LANDSCAPE SCHEDULE

Quantity	Botanical Name	Common Name	Size
1	Acer palmatum (Palmatum Group) 'Bloodgood'	BLOODGOOD JAPANESE MAPLE	7-8'
2	Acer rubrum 'Franksred (Red Sunset®)'	FRANKSRED (RED SUNSET®) RED MAPLE	2.5-3" cal
12	Betula nigra 'Cully (Heritage®)'	CULLY (HERITAGE®) RIVER BIRCH	10-12'
18	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	2gal
1	Cornus florida 'Cherokee Princess'	CHEROKEE PRINCESS FLOWERING DOGWOOD	2.5-3° cal
3	Echinacea purpurea 'Kim's Knee High'	KIM'S KNEE HIGH PURPLE CONEFLOWER	1gal
7	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1gal
6	Hosta 'Sum & Substance'	SUM & SUBSTANCE HOSTA	1gal
5	Hydrangea macrophylla 'Bailmer(Endless Summer®)'	BAILMER(ENDLESS SUMMER®) BIGLEAF HYDRANGEA	3gal
3	Hydrangea paniculata "LVOBO" pp#22,782, cbr#4910 (Proven Winners)	BOBO® HARDY HYDRANGEA (Proven Winners)	3gal
3	Hydrangea quercifolia 'Brother Edward' pp#25,413, cbraf (Proven Winners)	GATSBY MOON™ OAKLEAF HYDRANGEA (Proven Winners)	3gal
9	llex crenata 'Helleri'	HELLERI JAPANESE HOLLY	5gal
4	llex x meserveae 'Blue Princess®'	BLUE PRINCESS® MESERVE HOLLY	4-5'
3	Malus x 'Prairifire'	PRAIRIFIRE FLOWERING CRABAPPLE	2.5-3" cal
8	Microbiota decussata	SIBERIAN CYPRESS	2gal
11	Nepeta x faassenii "Walker's Low"	WALKER'S LOW CATMINT	1gal
10	Pennisetum alopecuroides 'Hamelin'	HAMELIN CHINESE FOUNTAIN GRASS	2gal
6	Picea abies	NORWAY SPRUCE	7-8'
2	Picea omorika	SERBIAN SPRUCE	7-8'
3	Picea pungens 'Fat Albert'	FAT ALBERT COLORADO SPRUCE	7-8
6	Pieris japonica 'Mt. Fire'	MT. FIRE JAPANESE PIERIS	5gal
9	Rhododendron (subgenus Rhododendron) PJM	PJM RHODODENDRON	5gal
3	Rhododendron degronianum ssp. yakushimanum 'Yaku Princess'	YAKU PRINCESS RHODODENDRON	5gal
6	Rosa 'Radrazz (Knock Out®)'	RADRAZZ (KNOCK OUT®) ROSE	3gal
5	Salvia nemorosa 'Mainacht (May Night)'	MAINACHT (MAY NIGHT) MEADOW SAGE	1gal
9	Syringa reticulata 'Ivory Silk'	IVORY SILK JAPANESE TREE LILAC	2.5-3" cal
9	Thuja occidentalis 'Nigra'	NIGRA AMERICAN ARBORVITAE	7-8'
3	Viburnum plicatum f. tomentosum 'Mariesii'	MARIESII DOUBLEFILE VIBURNUM	3-4"

APPROVAL NOTES:

I) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

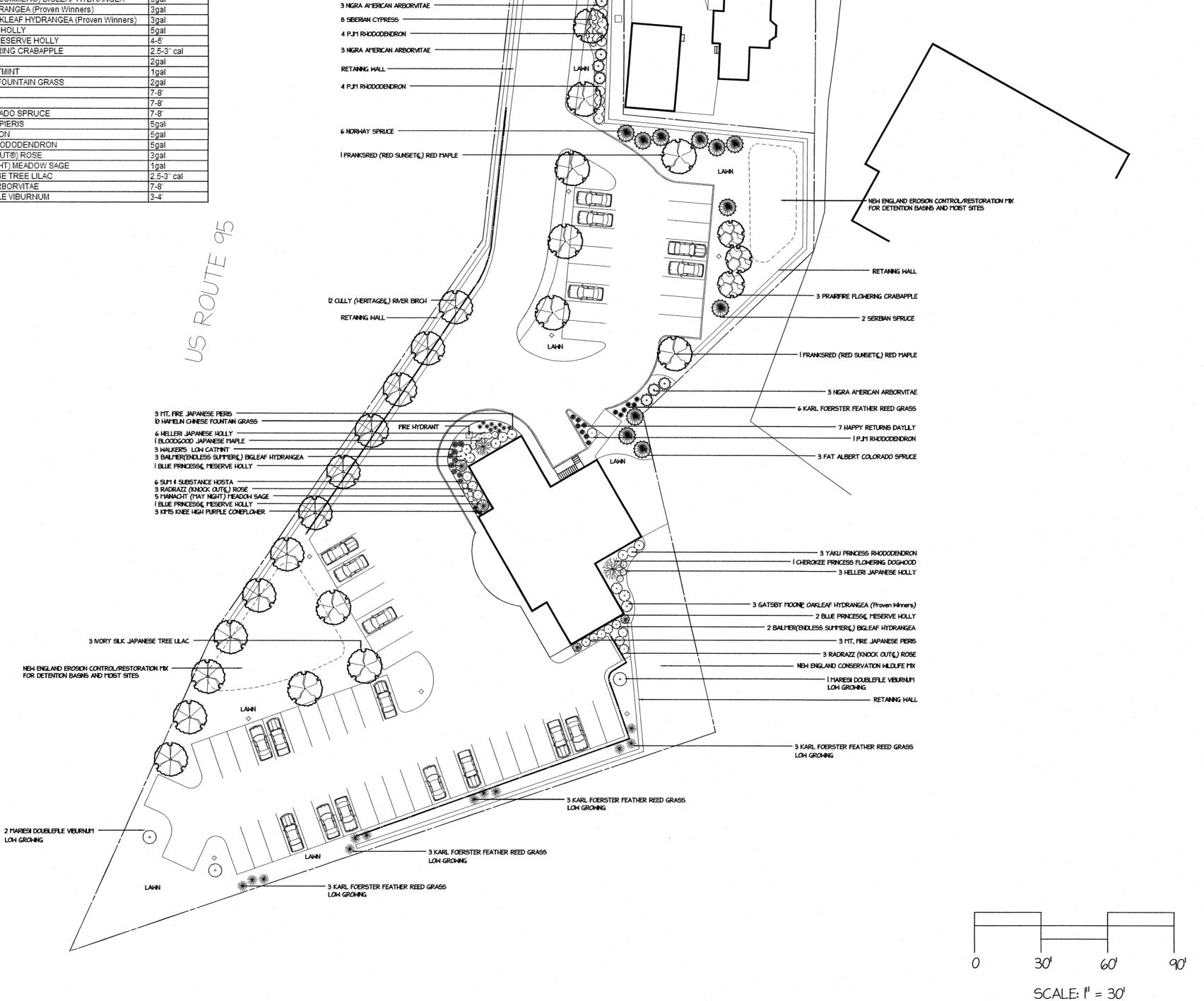
2) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

3) THE OWNER OF RECORD AND SUBSEQUENTLY THE CONDOMINIUM UNIT ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.

4) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.

5) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

LOW GROWING



MAPLEWOOD AVENUE

5 WALKER'S LOW CATMINT -

3 BOBOL HARDY HYDRANGEA (Proven Winners) 6 NORY SLK JAPANESE TREE LLAC -

NOTES

BASE PLANS PROVIDED ELECTRONICALLY BY ENGINEER OF RECORD:

AMBIT ENGINEERING SHEET C4 DATED: 9/17/18

		10/10/18
		REV 11/20/18
No. REVISION	Date S	Description

MAPLE MASJID 686 MAPLEWOOD AVE PORTSMOUTH, NH

LANDSCAPE PLAN

KRIS ROMANIAK LANDSCAPE DESIGN 20 BRADFORD ST DERRY, NH 03038 617-756-2129

SCALE =30	PROJECT NO.
DRAWN BY KRIS ROMANIAK	
CHECKED BY KR	SHEET NO.
DATE 8-9-18	
DATE OF PRINT 8-9-18	

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

THE CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL ACHIEVING FINISHED GRADE. BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, i.e., SILT FENCING OR SILTSOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

PERFORM DEMOLITION.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.

BULLDOZE TOPSOIL INTO STOCKPILES, AND CIRCLE WITH SILT FENCING OR SILTSOXX. IF EROSION IS EXCESSIVE, THEN COVER WITH MULCH.

CONSTRUCT FILTRATION BASINS AND OUTLET. BUT DO NOT ALLOW INFLOW UNTIL ALL CONTRIBUTING AREAS ARE STABILIZED AND EROSION-FREE. ROUGH GRADE SITE. REMOVE AND CRUSH LEDGE, THEN BACKFILL WITH ONSITE SOILS OR GRAVEL IN 12" LIFTS, TYP. ROUGH GRADE SITE. IN LANDSCAPED AREAS OUT OF THE WAY OF SUBSEQUENT CONSTRUCTION ACTIVITY, INSTALL TOPSOIL, MULCH, SEED AND FERTILIZER. STABILIZE STEEPER SLOPES PER DETAILS.

CONSTRUCT FOUNDATIONS.

CONSTRUCT WALLS.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES TO THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING FRAMES.

FINISH GRADE SITE, BACKFILL DRIVEWAY & PARKING SUBBASE GRAVEL IN TWO, COMPACTED LIFTS. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES IN THE FORM OF MULCHING, JUTE MESH OR DITCH DAMS.

BUILDING EXTERIOR WORK: LIGHT FIXTURES

INSTALL EXTERIOR LIGHT POLE BASES, AND MAKE FINAL CONNECTIONS TO CONDUIT.

ALL PERMANENT FILTRATION BASINS, DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.

PLACE BINDER LAYER OF PAVEMENT, THEN RAISE CATCH BASIN FRAMES TO FINAL GRADE. REINSTALL BASIN INLET PROTECTION.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT ASPHALT WEARING COURSE.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE

LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING. DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILTSOXX SHALL BE REPAIRED. WINTER NOTES SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS -- CONSTRUCT SILT FENCE OR SILTSOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF

- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED

- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AN THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

48 LBS/ACRE

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER PROPORTION SEEDING RATE CREEPING RED FESCUE 50% 100 LBS/ACRE

SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)

50%

CREEPING RED FESCUE TALL FESCUE

KENTUCKY BLUEGRASS

42% 42%

BIRDSFOOT TREFOIL IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT, ALL SEED SHALL

COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS: MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

PERENNIAL RYE: 0.7 LBS/1,000 S.F. 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED

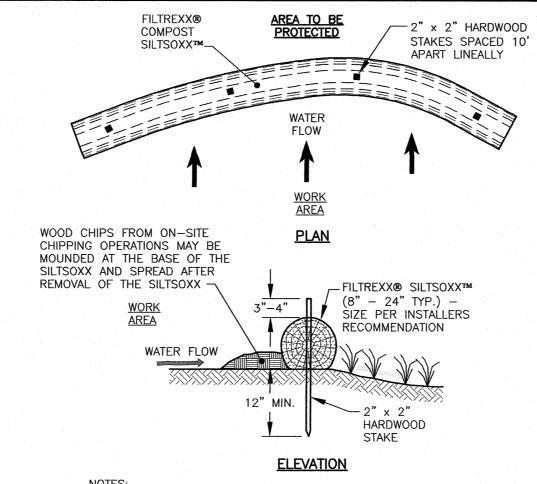
THE SILT FENCE OR SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT FENCING AND SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILTSOXX REMOVAL SHALL BE PERMANENTLY

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

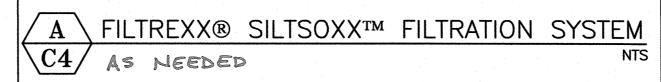
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



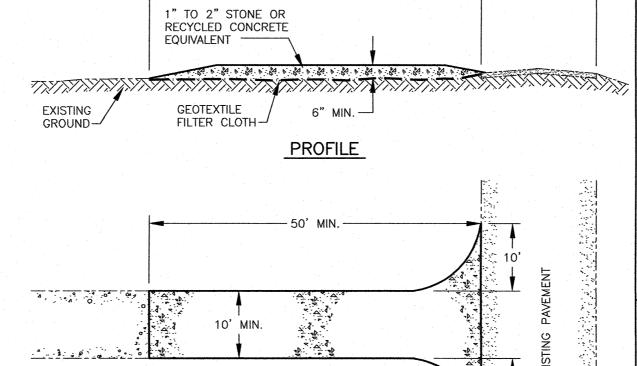
ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS. FILLTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED

- FILTREXX INSTALLER 3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE
- ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
- THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE



EXISTING

PAVEMEN



MAINTENANCE

1) MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.

<u>PLAN</u>

RADIUS PER PLAN

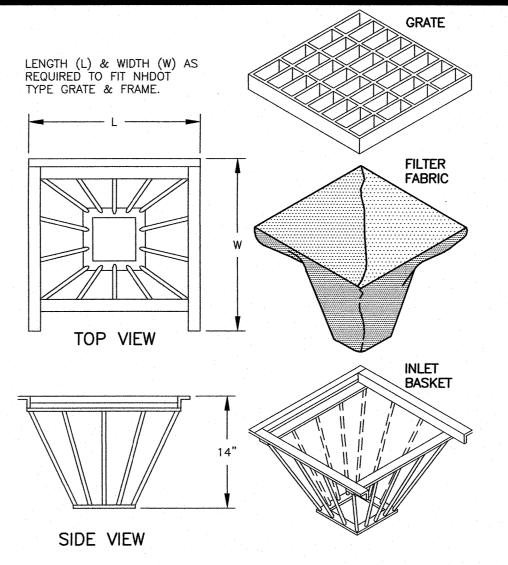
(10' MINIMUM)—

2) IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS

- 1) STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- 2) THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- 3) THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- 4) THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- 5) GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- 6) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- 7) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- 8) WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

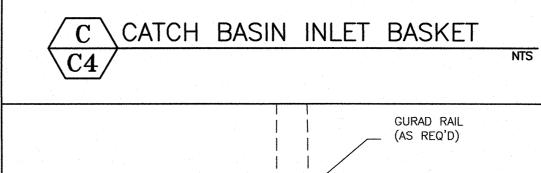


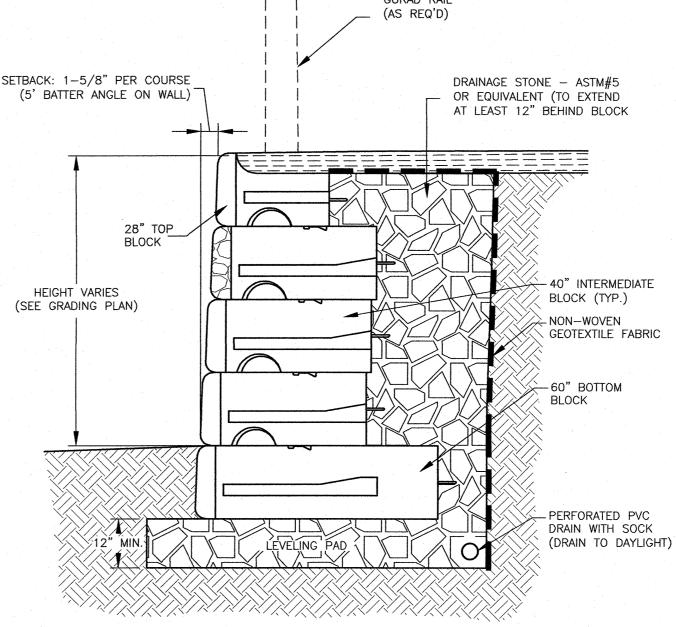


- INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- 3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
 - -RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682) -MULLEN BURST STRENGTH: MIN. 60

4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITTIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)

- 5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- 6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED





FINAL STAMPED WALL DESIGN PLANS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL BEFORE CONSTRUCTION. THE DESIGN SHALL ACCOUNT FOR HYDROSTATIC WALL PRESSURE.

BLOCK GRAVITY WALL DETAIL

REDI ROCK WALL (OR APPROVED EQUAL)

AMBIT ENGINEERING, INC. Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

NOTES:

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PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

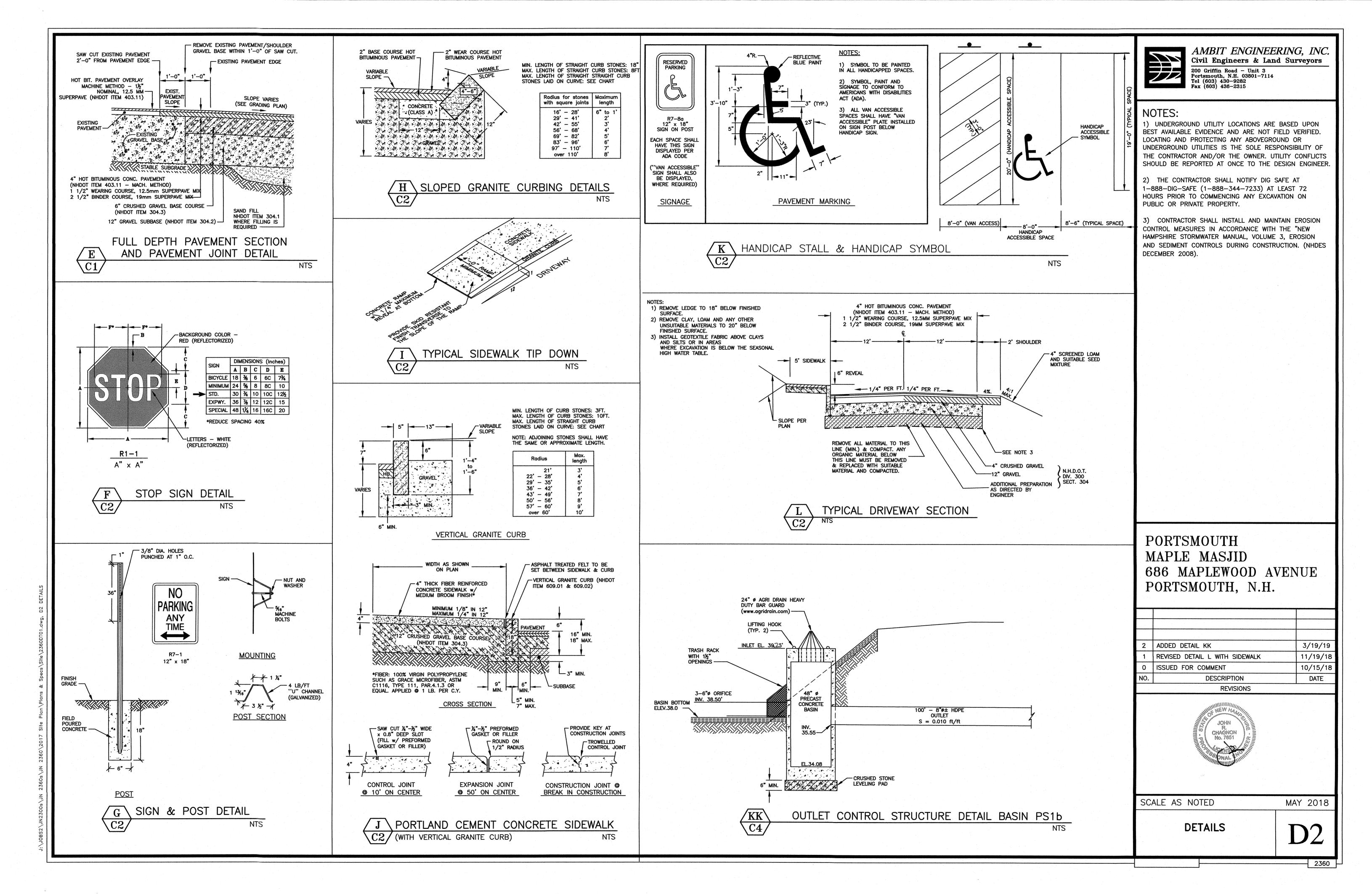
11/19/18 DETAIL D 10/15/18 ISSUED FOR COMMENT DESCRIPTION DATE **REVISIONS**

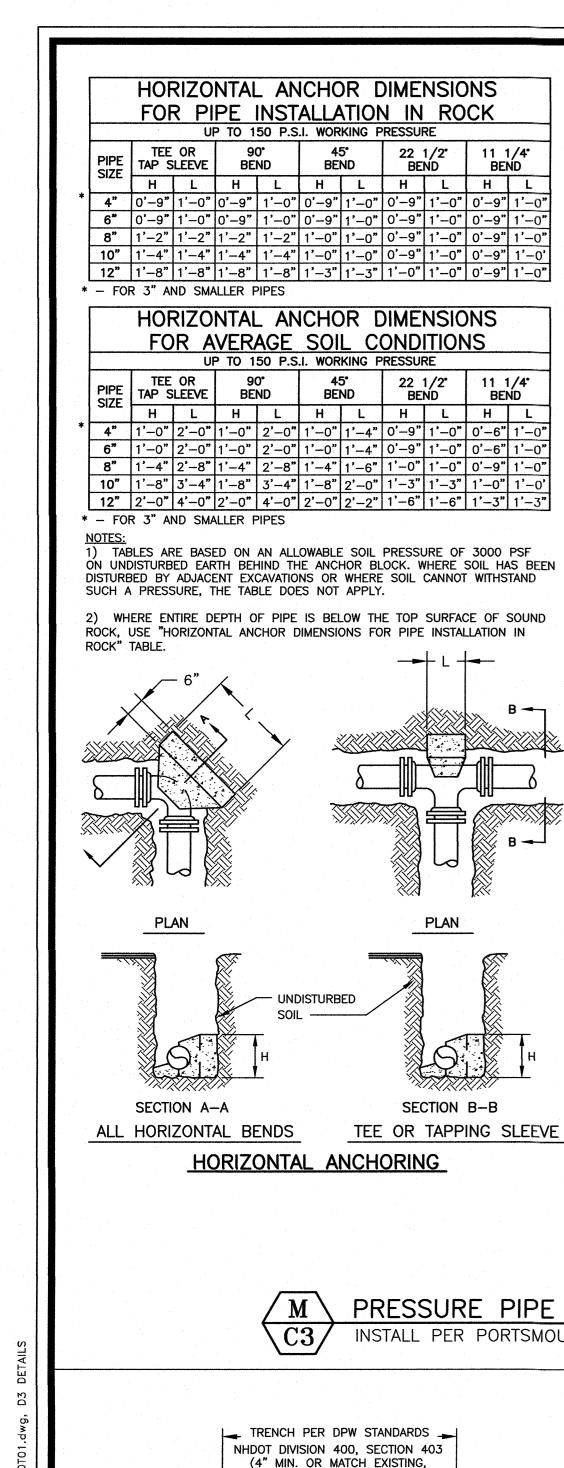


SCALE AS NOTED

MAY 2018

EROSION CONTROL NOTES & DETAILS





IF GREATER)

USE SPECIAL PAVEMENT MIX

TRENCH WIDTH

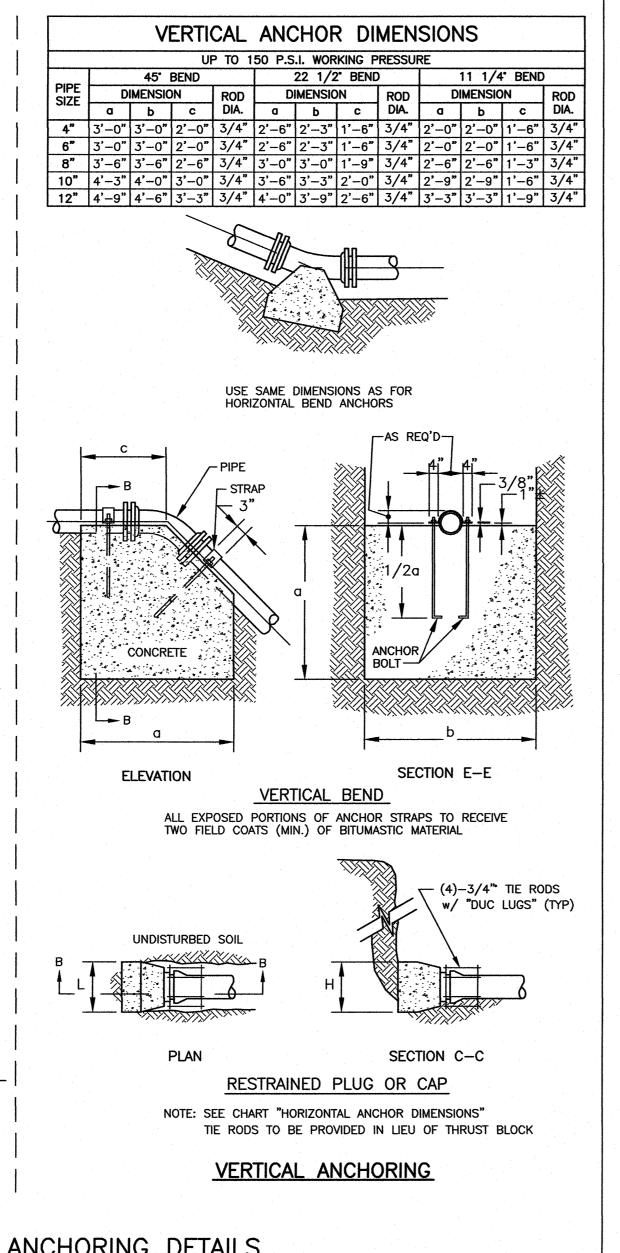
(wt)

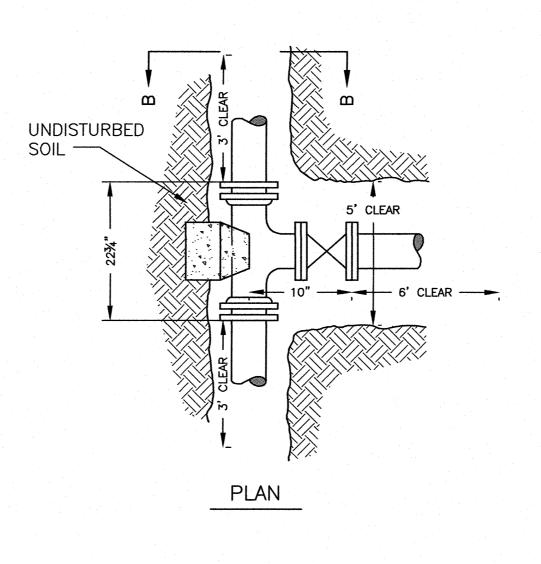
SUITABLE

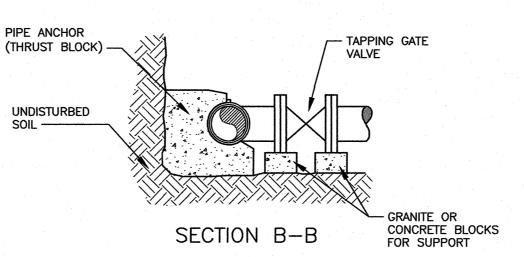
 $\sqrt{C3}$

MIN.

TRENCH - PAVEMENT REPLACEMENT

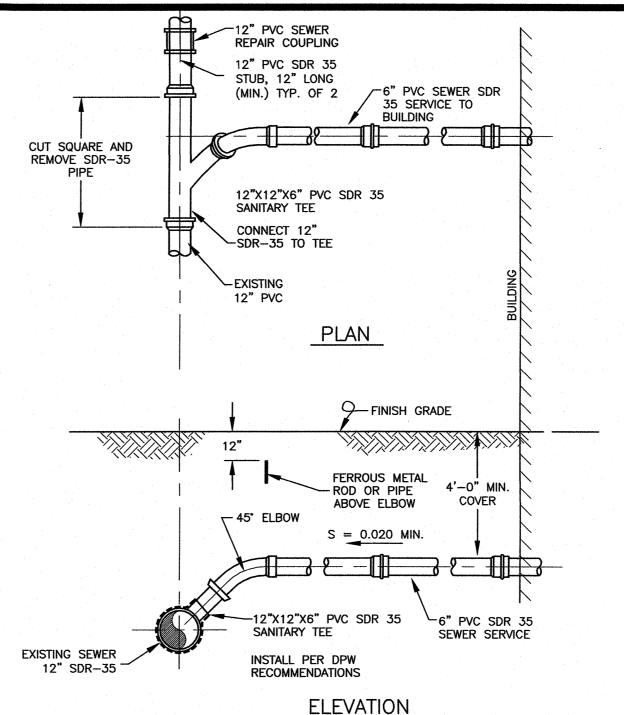






1) ALL MATERIALS SHALL BE APPROVED BY THE PORTSMOUTH WATER DEPARTMENT PRIOR TO INSTALLATION AND USE. 2) ALL JOINTS SHALL BE MECHANICAL. 3) "CLEAR" DIMENSIONS SHOWN ATE REQUIRED FOR WORKSPACE. NO JOINTS ON PIPE BEING TAPPED WITHIN "CLEAR" AREA. 4) FORD TYPE STAINLESS STEEL TAPPING SADDLES OR APPROVED EQUAL

TAPPING SLEEVE AND GATE INSTALL PER PORTSMOUTH REQUIREMENTS NTS



TYPE "A" SEWER SERVICE CONNECTION

6" LOAM, SEED AND - FINISH GRADE MULCH OR PAVEMENT -WARNING TAPE 12" ---BACKFILL WITH EXCAVATED MATERIAL OR SELECT BACKFILL AS REQUIRED - METALLIC TRACER PER GAS COMPANY REGULATIONS IF REQUIRED SAND BEDDING AND BACKFILL GAS SERVICE TRENCH

FINISH GRADE - SEE PLANS /TAPE (TYP.) SUITABLE BACKFILL PER UTILITY COMPANY SPECIFICATIONS DRAIN, SEWER, OR WATER LINES UNDISTURBED *SEPARATION DIMENSIONS -2"ø PVC FOR PHONE & MATERIAL ---TO BE VERIFIED w/ CABLE TV (SEE NOTE 1) UTILITY PROVIDER PVC ELECTRIC (SEE NOTE 2)-18" MIN. ALL DIRECTIONS

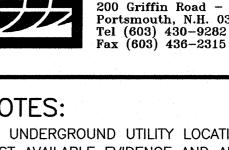
1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCH. 40 FOR THE REMAINDER.

2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR

3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)

4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION.





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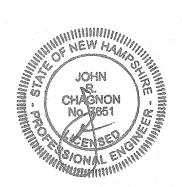
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4) ALL WATER LINE INSTALLATION WORK SHALL BE TO CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS. DETAILS MAY OR MAY NOT BE UP-TO-DATE.

PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

 	<u></u>	
1	REVISED DETAIL Q (NO FERNCO FITTINGS)	11/19/18
0	ISSUED FOR COMMENT	10/15/18
NO.	DESCRIPTION	DATE
	REVISIONS	

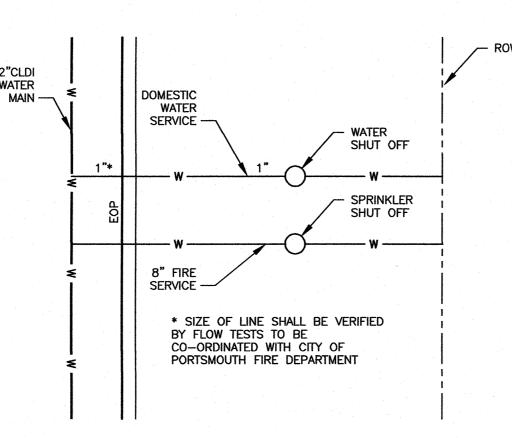


MAY 2018 SCALE AS NOTED

DETAILS

PRESSURE PIPE ANCHORING DETAILS INSTALL PER PORTSMOUTH REQUIREMENTS

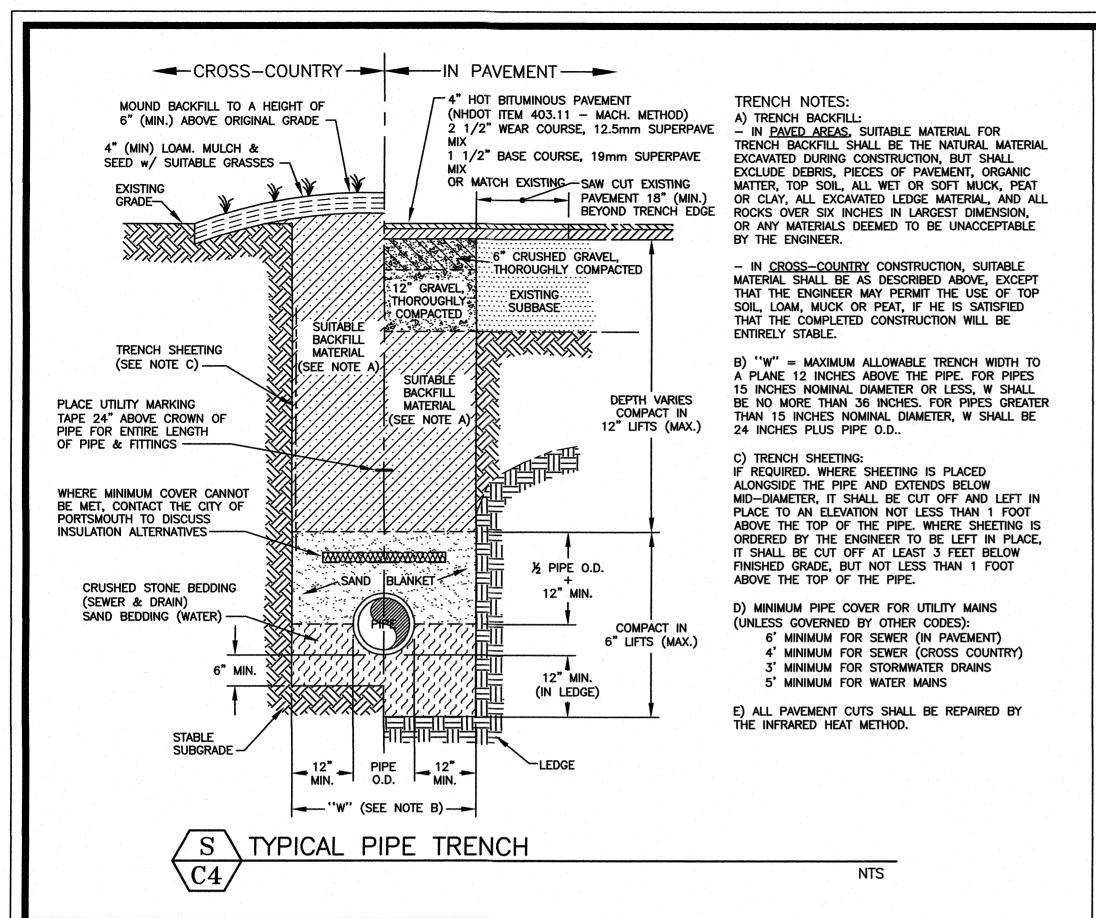
> SAW CUT & REMOVE EXISTING PAVEMENT. THERMAL TREAT FACE PER NHDOT AFTER PLACEMENT OF NEW 12"CLDI PAVEMENT. WATER - EXISTING PAVEMENT MAIN -CRUSHED GRAVEL BASE, MATCH EXISTING (12" MIN.) - NHDOT SECTION 304.3 COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT-OF-WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

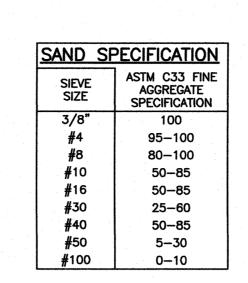


PROVIDE AS-BUILT LOCATIONS TO THE FINISHED GRADE - CAST IRON IMPROVED EXTENSION TYPE WITH ARCH PATTERN BASE SERVICE - ASTM B88 AND LID WITH PLUG COPPER TUBING - GOOSE NECK WATER - CURB STOP COPPER TO COPPER - CORPORATION (COPPER) - ASTM B88 COPPER TUBING ON CUSTOMER'S PROPERTY TAPPED, DIRECTED INTO (BY OTHERS) PIPE BARREL - CUT EXISTING SERVICE LINE AND CONNECT TO NEW SERVICE LINE WITH APPROVED CONNECTING DEVICE (FOR PLACEMENTS)

TYPICAL WATER SERVICE CONNECTION

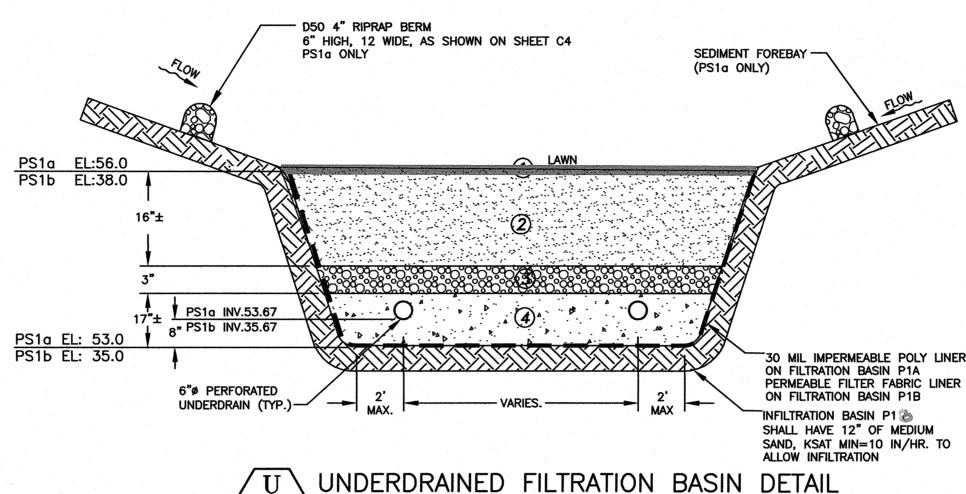
NTS





(1) WET MEADOW SEED MIX 20% - 30% MULCH BY VOLUME, MIXED THOROUGHLY WITH LOAMY, COARSE SAND (70% - 80% BY VOLUME) MEETING THE FOLLOWING GRADATION; SIEVE | % BY WEIGHT. PASSING 85 - 100 10 70 -100 15 - 408 - 15 (3) 3/8" PEA STONE (4) 0.75" - 1.5" CRUSHED STONE, WASHED.

FILTRATION BASIN MEDIA



COMPACTED

NTS

FILL BELOW FILTERATION BASIN SOILS: SOILS PLACED BELOW FILTER BASIN SHALL BE BANK RUN GRAVEL, MANUFACTURED SAND OR MODIFIED 304.1 BEDDING THE MATERIAL SHALL BE TESTED FOR HYDRAULIC CONDUCTIVITY IN TWO PLACES BY A EITHER BOREHOLE TESTING, DOUBLE RING INFILTROMETER TEST, OR AN AMMOZEMETER IN ACCORDANCE WITH NHDES REGULATIONS ENV-WQ 1500. TO ENSURE THE MIN. KSAT = 10 IN/HR).

FILTRATION CONSTRUCTION SOILS: DO NOT COMPACT SOIL. EXCAVATE BASIN, HAND RAKE STONE, PEA STONE AND MULCH LAYERS.

FILTRATION CONSTRUCTION INSPECTION INSPECT EACH LAYER OF CONSTRUCTION: CONTACT THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS FOR INSPECTIONS DURING THE CONSTRUCTION PROCESS. CALL FOR INSPECTION BEFORE FILLING EXCAVATION WITH STONE, PEA STONE AND MULCH.

FILTRATION MAINTENANCE SOILS: VISUALLY INSPECT AND REPAIR EROSION MONTHLY. USE SMALL STONES TO STABILIZE EROSION ALONG DRAINAGE PATHS. CHECK THE pH ONCE OR TWICE A YEAR. APPLY AN ALKALINE PRODUCT, SUCH AS LIMESTONE. IF NEEDED.

IF FILTRATION BASIN FAILS TO EMPTY 72 AFTER A RAINFALL, THE BASIN SHALL BE INSPECTED. IF AFTER INSPECTION IT IS DETERMINED THAT THE ENGINEERED SOIL HAS CLOGGED, THE ENGINEERED SOIL SHALL BE REPLACED. IN THE EVENT OF SOIL REPLACEMENT IN THE FILTRATION BASIN. AN AIRSPADE SHALL BE USED, TO CAREFULLY REMOVE THE SOILS SURROUNDING THE TREE ROOTS. TREE ROOTS ARE TO BE PROTECTED FROM DRYING OUT DURING THE PLACEMENT OF NEW SOILS AND NEW SOILS ARE TO BE REPLACED IMMEDIATELY UPON EXPOSING THE ROOT SYSTEMS.



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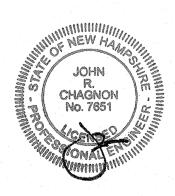
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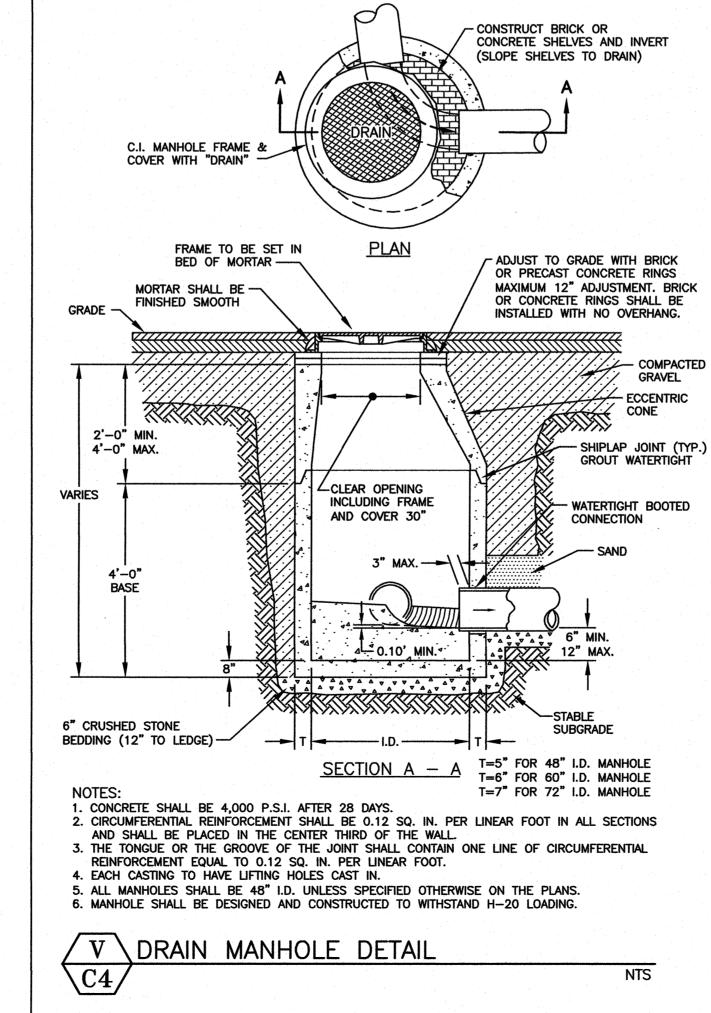
.3	ADDED KSAT TEST DETAIL U	3/19/19
2	ADDED FIRE HYDRANT DETAIL W	11/19/18
1	ISSUED FOR APPROVAL	10/15/18
0	ISSUED FOR COMMENT	5/8/18
NO.	DESCRIPTION	DATE
	REVISIONS	

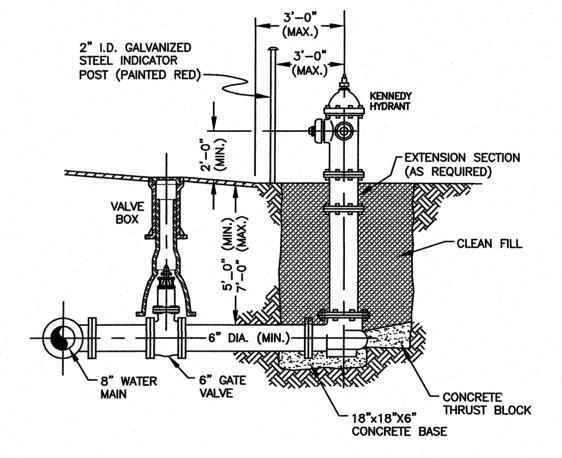


AS NOTED

MAY 2018

DETAILS





1. HYDRANTS SHALL BE INSTALLED A MAXIMUM DISTANCE OF 3 FEET CURB

LINE TO OPERATING NUT.
THE PUMPER OUTLET NOZZLE SHALL FACE THE STREET.

3. CENTERLINE OF NOZZLES SHALL BE A MINIMUM OF 2 FEET ABOVE

FINISHED GRADE OF STREET. 4. AREA AROUND HYDRANT SHALL BE GRADED TO ALLOW ANY SURFACE

WATER TO DRAIN AWAY FROM HYDRANT. 5. HYDRANT SHALL BE FIRMLY SUPPORTED ALL AROUND THE STANDPIPE. 6. EARTH FILL SHALL BE TAMPED TO GIVE FIRM SUPPORT TO THE HYDRANT

7. A GATE VALVE SHALL BE INSTALLED BETWEEN THE HYDRANT AND THE MAIN

8. HYDRANT LATERALS SHALL BE 6" INSIDE DIAMETER (MINIMUM). 9. HYDRANT LATERALS SHALL BE CONNECTED TO WATER MAINS 8 INCHES IN

DIAMETER OR LARGER. 10. ALL JOINTS AT HYDRANT CONNECTION SHALL BE RESTRAINED MECHANICAL

11. INSTALLATION OF HYDRANTS IN AREAS OF HEAVY VEGETATIVE GROWTH SHALL HAVE A 10 FOOT RADIUS CLEAR AREA ALL AROUND THE OPERATING

NUT OF THE HYDRANT. 12. THERE SHALL ALSO BE AN INDICATOR POST FABRICATED FROM 2 INCH INSIDE DIAMETER GALVANIZED STEEL PIPE, 7 FEET ABOVE FINISHED GRADE,

AND SET 2 FEET BELOW GRADE IN CLASS "A" CONCRETE CONCRETE 6 INCHES ALL AROUND POST. THIS POST SHALL BE COATED WITH ZINC CHROMATE PRIMER AND PAINTED WITH HIGH VISIBILITY RED. THE INDICATOR POST SHALL BE NO CLOSER THAN 3 FEET FROM THE OPERATING NUT, AND SET ON THE SIDE OF THE HYDRANT FACING ONCOMING TRAFFIC. TOP

OF POST SHALL BE THREADED AND CAPPED. 13. INSTALLATION OF HYDRANTS IN HEAVY GROWTH AREAS SHALL HAVE GATE BOXES RAISED 6 INCHES ABOVE GRADE AND SHALL BE PAINTED ORANGE FOR HIGH VISIBILITY.

ON THE LATERAL.

NTS

FIRE HYDRANT INSTALLATION DETAIL

CITY OF PORTSMOUTH STANDARDS AS SPECIFIED BY DPW

3. 1" PVC CONDUIT SLEEVE FOR GROUND GRID LEADS. 4. ALL REBAR TO BE #6. 5. CONDUITS CUT 4" ABOVE SLAB BASE. TRANSFORMER FOUNDATION SINGLE PHASE **EVERSOURCE**

2. SEE DTR 56.223 FOR GROUNDING GRID.

PRIMARY CONDUIT

44 INCHES 25 TO 75 KVA

50 INCHES 100 TO 250 KVA

VOLTAGE

- SEE NOTE 3.

ALL CONDUIT BUST BE

CUT 4" ABOVE FLOOR

OF SLAP

1. SEE SHEET "REQUIREMENTS FOR PAD MOUNTED TRANSFORMER SLAB DETAILS", EVERSOURCE

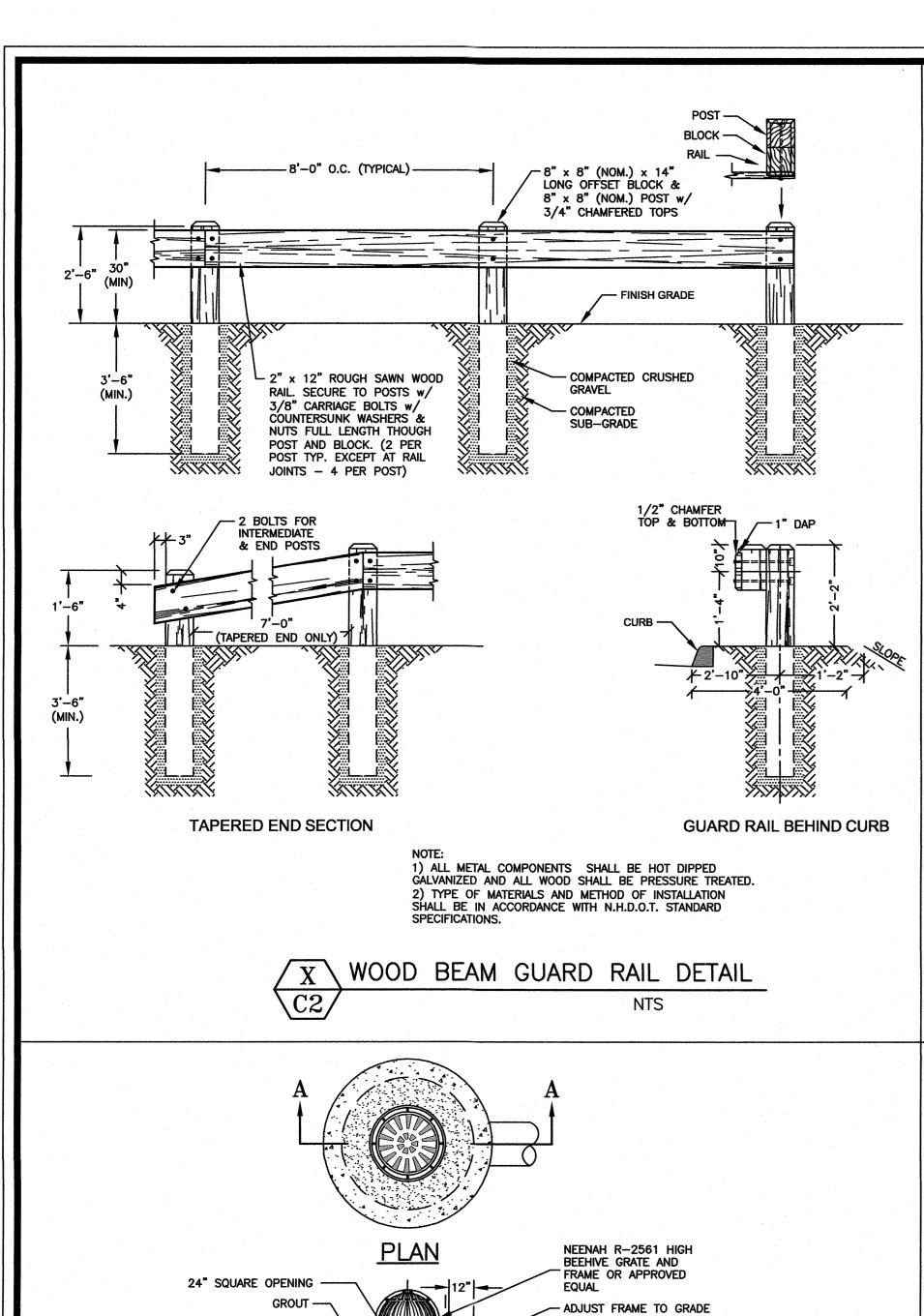
FINISHED GRADE

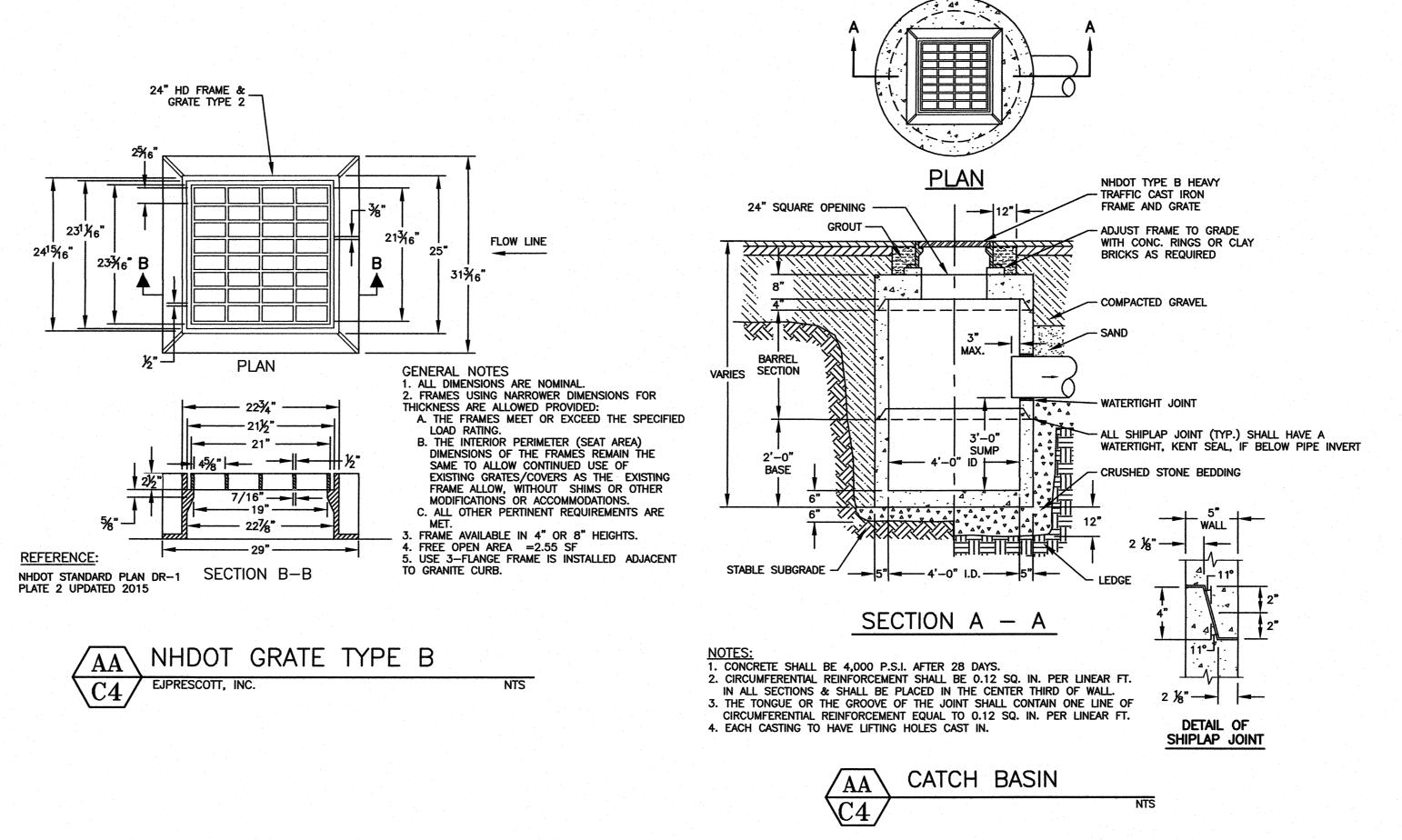
NTS

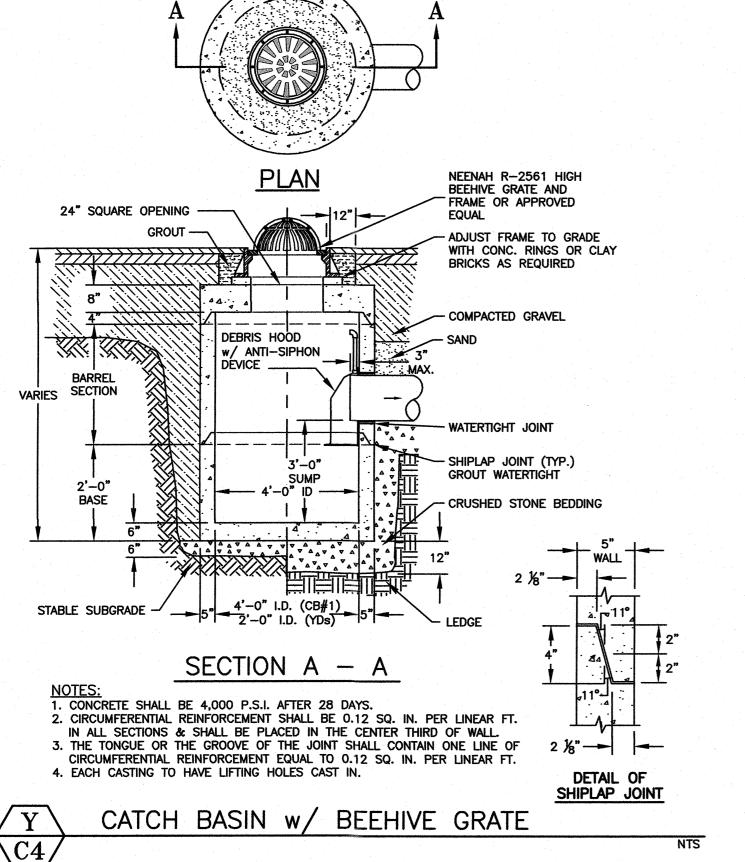
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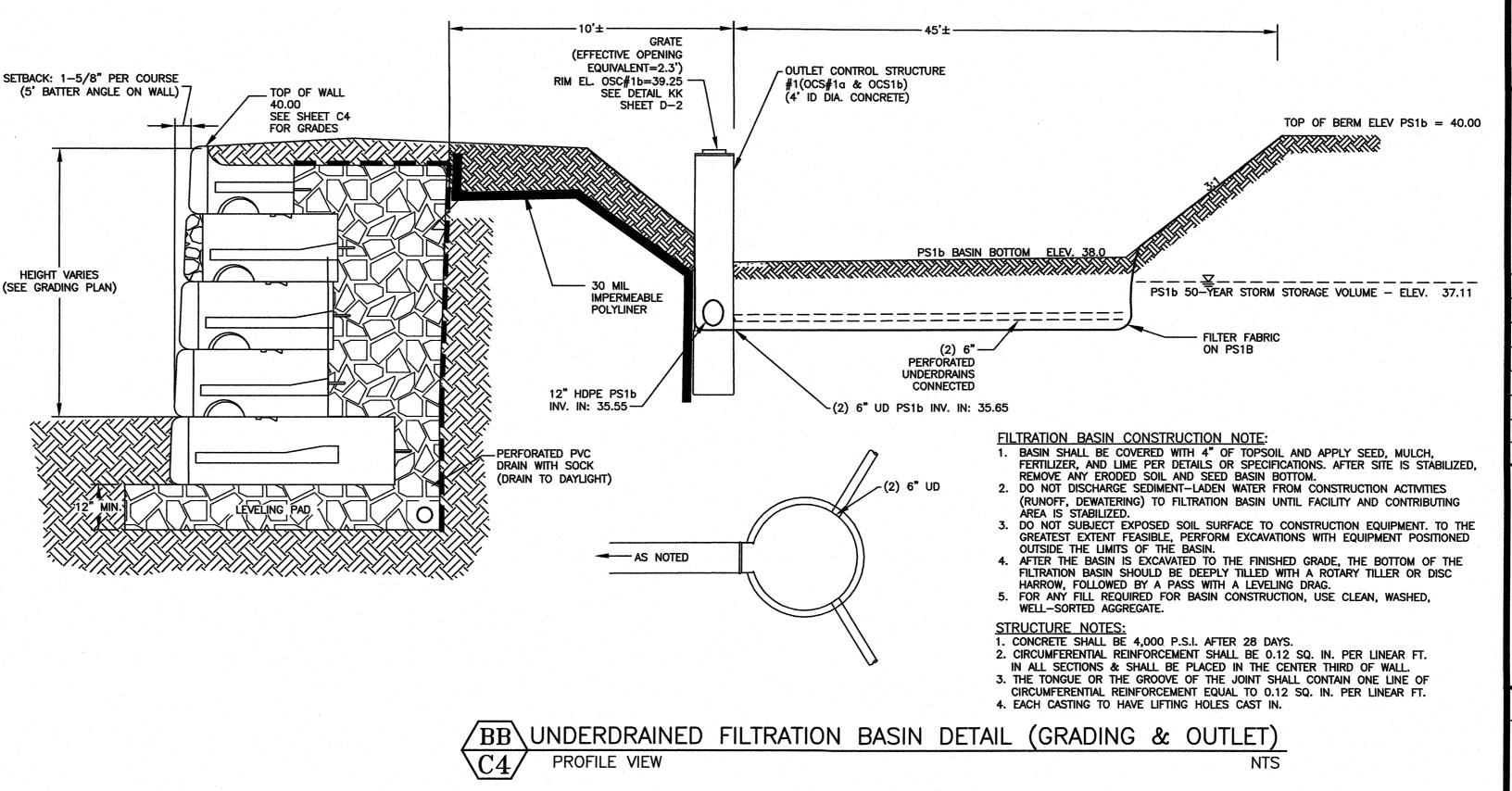
1" CHAMFER -

SPECIFICATIONS.











AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

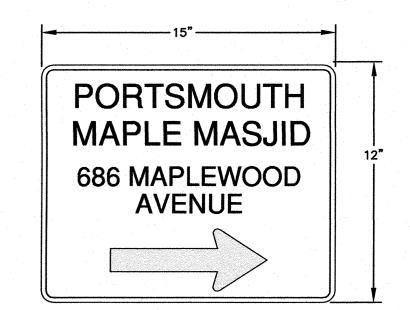
200 Griffin Road - Unit 3 Portsmouth, N.H. 03801-7114 Tel (603) 430-9282 Fax (603) 436-2315

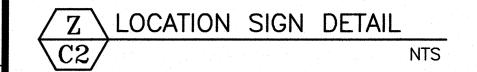
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2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

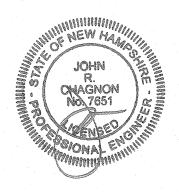
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PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

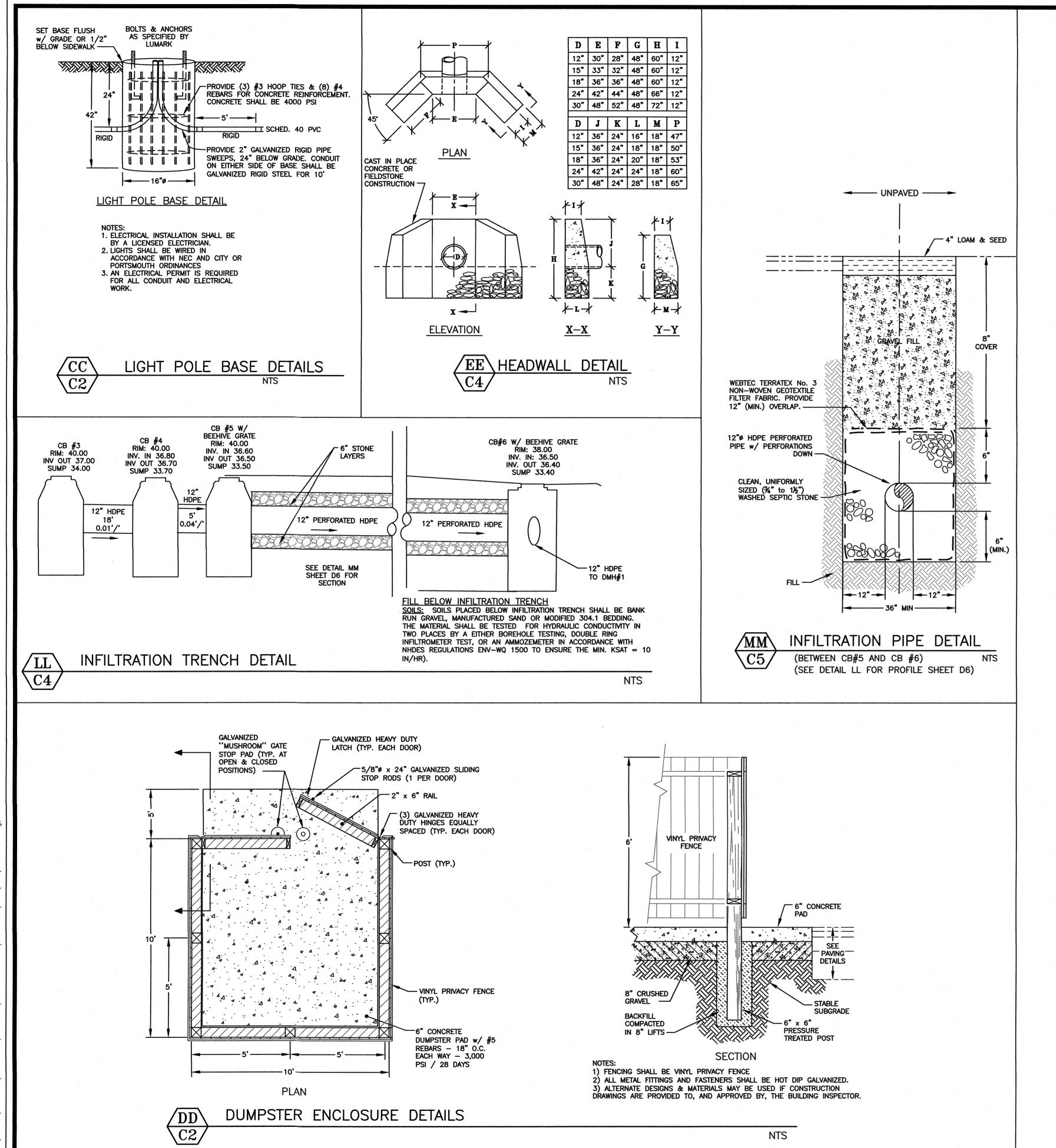
4	DETAIL BB	4/2/19
.3	DETAIL BB	3/19/19
2	DETAIL BB	2/19/19
1	DETAIL Z	11/19/18
0	ISSUED FOR COMMENTS	10/15/18
NO.	DESCRIPTION	DATE
	REVISIONS	



AS NOTED MAY 2018

DETAILS

D5



INSPECTION AND MAINTENANCE PLAN

MAPLE MAJID SITE REDEVELOPMENT

686 MAPLEWOOD AVENUE, PORTSMOUTH NH

INTRODUCTION

THE INTENT OF THIS IS TO PROVIDE MAPLE MAJID AND THE ISLAMIC SOCIETY OF THE SEACOAST AREA WITH A LIST OF PROCEDURES THAT DOCUMENT THE INSPECTION AND MAINTENANCE REQUIREMENTS OF THE STORMWATER MANAGEMENT SYSTEM FOR THIS DEVELOPMENT. SPECIFICALLY, THE FILTRATION BASINS AND ASSOCIATED STRUCTURES ON THE PROJECT SITE (COLLECTIVELY REFERRED TO THE "STORMWATER MANAGEMENT SYSTEM")

THE FOLLOWING INSPECTION AND MAINTENANCE PROGRAM IS NECESSARY TO KEEP THE STORMWATER MANAGEMENT SYSTEM FUNCTIONING PROPERLY. THESE MEASURES WILL ALSO HELP MINIMIZE POTENTIAL ENVIRONMENTAL IMPACTS. BY FOLLOWING THE ENCLOSED PROCEDURES, THE OWNER WILL BE ABLE TO MAINTAIN THE FUNCTIONAL DESIGN OF THE STORMWATER MANAGEMENT SYSTEM AND MAXIMIZED ITS ABILITY TO REMOVE SEDIMENT AND OTHER CONTAMINANTS FROM THE SITE GENERATED STORMWATER RUNOFF.

ANNUAL REPORT

THE OWNER SHALL PREPARE AN ANNUAL INSPECTION & MAINTENANCE REPORT. THE REPORT SHALL INCLUDE A SUMMER OF THE SYSTEMS MAINTENANCE AND REPAIR BY TRANSMISSION OF THE INSPECTION & MAINTENANCE LOG AND OTHER INFORMATION AS REQUIRED. A COPY OF THE REPORT SHALL BE DELIVERED ANNUALLY TO THE CITY OF PORTSMOUTH BUILDING INSPECTOR.

STORMWATER MANAGEMENT SYSTEM COMPONENTS

THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO MITIGATE BOTH THE QUANTITY AND QUALITY OF SITE-GENERATED RUNOFF. AS THE RESULT, THE DESIGN INCLUDES THE FOLLOWING ELEMENTS:

NON-STRUCTUAL BMP'S

NON-STRUCTURAL BEST MANAGEMENT PRACTICES (BMP'S) INCLUDE TEMPORARY AND PERMANENT MEASURES THAT TYPICALLY REQUIRE LESS LABOR AND CAPITAL INPUTS AND ARE INTENDED TO PROVIDE PROTECTION AGAINST EROSION OF SOILS. EXAMPLES OF NON-STRUCTURAL BMP'S ON THIS PROJECT INCLUDE BUT ARE NOT LIMITED TO: TEMPORARY AND PERMANENT MULCHING, TEMPORARY AND PERMANENT GRASS COVER, TREES, SHRUBS AND GROUND OVERS, MISCELLANEOUS LANDSCAPE PLANTINGS, DUST CONTROL, TREE PROTECTION, TOPSOILING, SEDIMENT BARRIERS, AND DURING CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE.

STRUCTURAL BMP'S

STRUCTURAL BMP'S REQUIRE MORE SPECIALIZED PERSONNEL TO INSTALL. EXAMPLES ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO: STORM DRAINS, THE DETENTION POND, AND ASSOCIATED OUTLET CONTROL STRUCTURES, AND INFILTRATION TRENCH DETAIL.

INSPECTION AND MAINTENANCE REQUIREMENTS

THE FOLLOWING SUMMARIZES THE INSPECTION AND MAINTENANCE REQUIREMENTS FOR THE VARIOUS BMP'S THAT MAY BE FOUND ON THIS PROJECT:

- 1. GRASSED AREAS: AFTER EACH RAIN EVEN OF 0.5" OR MORE DURING A 24 HOUR PERIOD, INSPECT GRASSED AREAS FOR SIGNS OF DISTURBANCE, SUCH AS EROSION. IF DAMAGED AREAS ARE DISCOVERED, IMMEDIATELY REPAIR THE DAMAGE. REPAIRS MAY INCLUDE ADDING NEW TOPSOIL, LIME, SEED, FERTILIZER AND MULCH.
- 2. PLANTINGS: PLANTING AND LANDSCAPING (TREES, SHRUBS) SHALL BE MONITORED BI-MONTHLY DURING THE FIRST YEAR TO INSURE VIABILITY AND VIGOROUS GROWTH. REPLACE DEAD OR DYING VEGETATION WITH NEW STOCK AND MAKE ADJUSTMENTS TO THE CONDITIONS THAT CAUSED THE DEAD OR DYING VEGETATION. DURING DRYER TIMES OF THE YEAR, PROVIDED WEEKLY WATERING OR IRRIGATION DURING THE ESTABLISHMENT PERIOD OF THE FIRST YEAR. MAKE NECESSARY ADJUSTMENTS TO ENSURE LONG-TERM HEALTH OF VEGETATED COVER. I.E. PROVIDE MORE PERMANENT MULCH OR COMPOST OR OTHER MEANS OF PROTECTION.
- 3. STORM DRAIN OUTLETS AND OUTLET CONTROL STRUCTURES: MONITOR DRAIN INLETS AND OUTLET APRONS FOR EXCESSIVE ACCUMULATION OF SEDIMENTS OR MISSING STONE/RIPRAP. REMOVE SEDIMENTS AS REQUIRED TO MAINTAIN FILTERING CAPABILITIES OF THE STONE. REPLACE MISSING RIPRAP
- 4. FILTRATION BASIN: AFTER ACCEPTANCE OF THE FILTRATION BASIN, PERFORM THE FOLLOWING INSPECTIONS ON A SEMI-ANNUAL BASIS OR AFTER SIGNIFICANT RAINFALL EVENTS (10 YEAR, 24 HR STORMS, OR BACK TO BACK 2 YEAR, 24 HOUR STORMS);
- a. MONITOR FOR EXCESSIVE OR CONCENTRATED ACCUMULATIONS OF DEBRIS, OR EXCESSIVE EROSION. REMOVE DEBRIS AS REQUIRED. b. MONITOR THE OUTFALL STRUCTURE FOR PROBLEMS WITH CLOGGED PIPES. REPAIR OR
- REMOVE CLOGS AS REQUIRED, AND DETERMINE CAUSE OF CLOGGING. PIPES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR RAINSTORM. BROKEN OR DAMAGE PIPES SHOULD BE REPAIRED OR REPLACED AS NECESSARY.
- c. MONITOR SIDE SLOPES OF POND FOR DAMAGES OR EROSION REPAIR AS NECESSARY. d. MONITOR TURF HEALTH AND KEEP PROTECTED FROM FIRE, GRAZING, TRAFFIC AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY TO PROMOTE GOOD GROWTH AS DETERMINED BY SOIL TESTS. MOWING THE VEGETATED AREAS OF THE BASIN SHOULD BE CARRIED OUT AS NECESSARY.
- e. SEDIMENT ACCUMULATION SHOULD BE CONTINUALLY CHECKED IN THE BASIN. SEDIMENT SHOULD BE REMOVED AS IT IS DISCOVERED PARTICULARLY IF IT HAS ACCUMULATED NEAR THE OUTLET OF THE BASIN
- f. THE OUTLET CONTROL STRUCTURE SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR RAINSTORM.
- THE OUTLET CONTROL STRUCTURE HAS WITHIN IT A WIER STRUCTURE WITH VARIOUS SIZE ORIFICES FOR CONTROLLING FLOW OUT OF BASIN. THESE ORIFICES SHOULD BE KEPT CLEAR AND UNCLOGGED. ANY SEDIMENT OR DEBRIS THAT HS BUILT UP INSIDE THE OUTLET CONTROL STRUCTURE SHOULD BE REMOVED WHEN DISCOVERED.

5. POROUS PAVEMENT:

POROUS PAVEMENT: AFTER PLACEMENT OF THE FINAL SURFACE OF POROUS ASPHALT PAVEMENT, INSPECT THE AREA FOR SIGNS THAT RAINFALL IS FLOWING THROUGH THE SURFACE AND NOT RUNNING OFF OF THE SURFACE. SWEEP AND / OR VACUUM AS NEEDED.

6. INVASIVE SPECIES

MONITOR STORMWATER MANAGEMENT SYSTEM FOR SIGNS OF INVASIVE SPECIES GROWTH. IF CAUGHT EARLIER ENOUGH, THEIR ERADICATION IS MUCH EASIER. THE MOST LIKELY PLACES WHERE INVASIONS START ARE IN WETTER, DISTURBED SOILS OR DETENTION PONDS. SPECIES SUCH AS PHRAGMITES AND PURPLE LOOSE-STRIFE ARE COMMON INVADERS IN THESE WETTER AREAS. IF THEY ARE FOUND THEN THE OWNER SHALL CONTACT A WETLAND SCIENTIST WITH EXPERIENCE IN INVASIVE SPEIES CONTROL TO IMPLEMENT A PLAN OF ACTION TO ERADICATE THE INVADERS. MEASURES THAT DO NOT REQUIRE THE APPLICATION OF CHEMICAL HERBICIDES SHOULD BE THE FIRST LINE OF DEFENSE.



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Fax (603) 436-2315

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PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

4	REV. DETAIL EE	4/2/19
3	ADDED DETAIL LL & MM	3/19/19
2	REVISED DETAIL EE, I & M PLAN	2/19/19
1	REVISED DETAIL CC	11/19/18
0	ISSUED FOR COMMENT	10/15/18
NO.	DESCRIPTION	DATE
	REVISIONS	

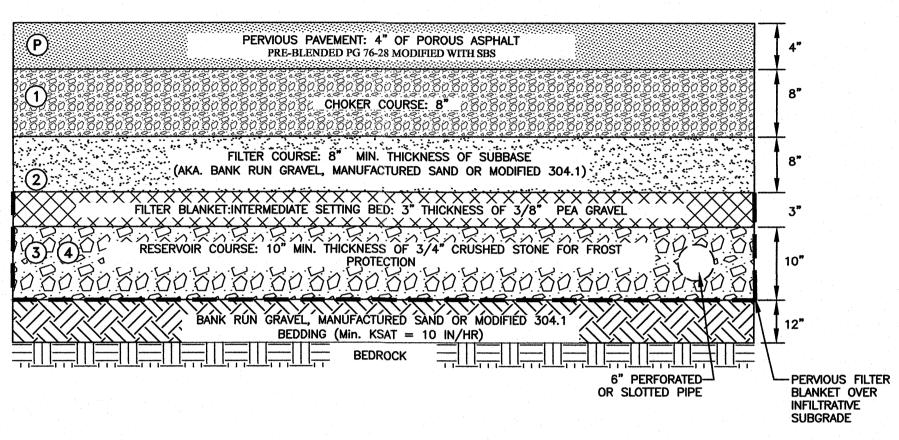


AS NOTED

MAY 2018

DETAILS

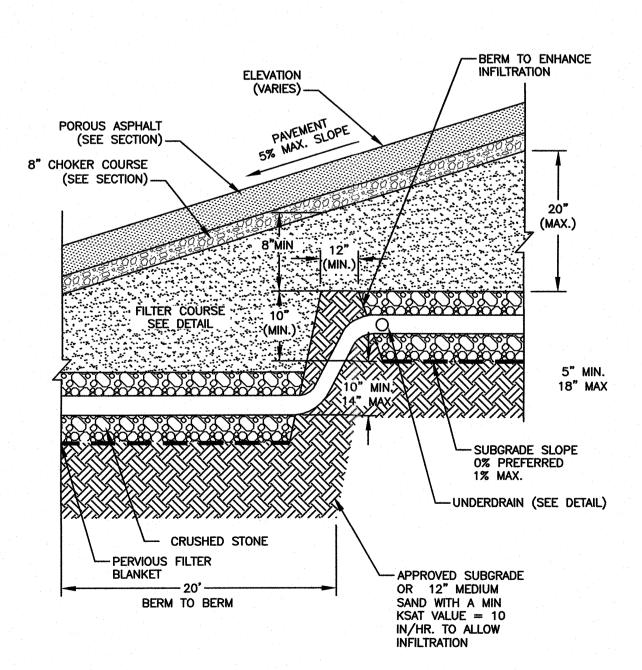
* ALTERNATE GRADATIONS (E.G. AASHTO No. 37) MAY BE ACCEPTED UPON ENGINEER'S APPROVAL ** ALTERNATE GRADATIONS (E.G. AASHTO No. 6) MAY BE ACCEPTED UPON ENGINEER'S APPROVAL *** PREFERABLE LESS THAN 4% FINES



MATERIAL FOR THE CHOKER COURSE AND RESERVOIR COURSE SHALL HAVE THE AASHTO NO.57 AND AASHTO NO.3 GRADATIONS, RESPECTIVELY, AS SPECIFIED IN TABLE. IF THE AASHTO NO.3 GRADATION CANNOT BE MET, AASHTO NO. 5 IS ACCEPTABLE WITH APPROVAL OF THE ENGINEER. AASHTO NO 3 IS ALSO SUITABLE FOR THE CHOKER COURSE.

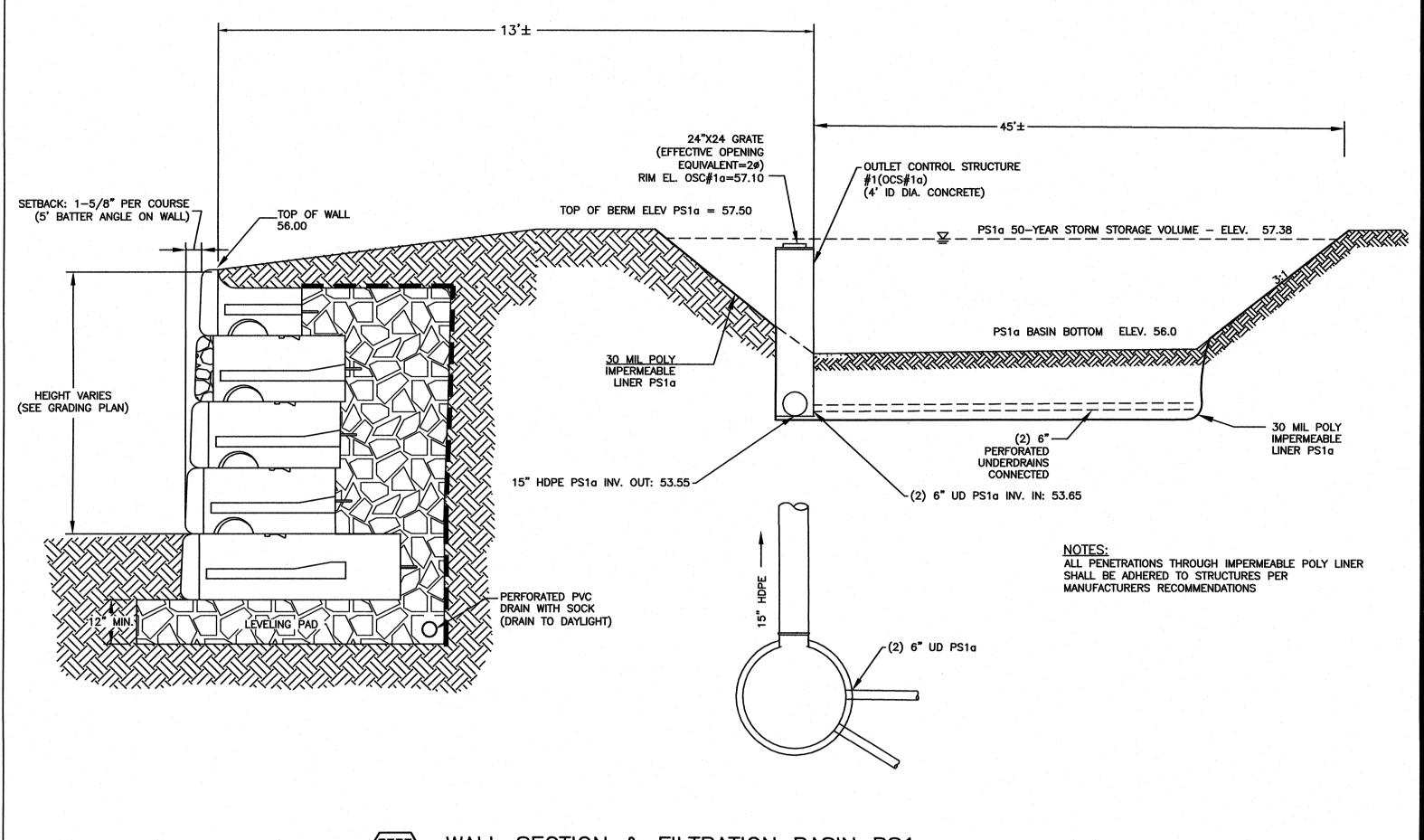
POROUS PAVEMENT SYSTEM DETAILS WITH IMPERVIOUS LINER NTS

FILL BELOW POROUS PAVEMENT SOILS: SOILS PLACED BELOW POROUS PAVEMENT SHALL BE BANK RUN GRAVEL, MANUFACTURED SAND OR MODIFIED 304.1 BEDDING. THE MATERIAL SHALL BE TESTED FOR HYDRAULIC CONDUCTIVITY IN INFILTROMETER TEST. OR AN AMMOZEMETER IN ACCORDANCE WITH NHDES REGULATIONS ENV-WQ 1500 TO ENSURE THE MIN. KSAT = 10



FF\SLOPED POROUS PAVEMENT PROFILE

SLOPED SECTIONS WITH PERVIOUS LINER



WALL SECTION & FILTRATION BASIN PS1a NOTE: PROVIDE STAMPED WALL DRAWINGS TO BUILDING INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

- DECIDUOUS

(2 PER TREE)

SET ROOTBALL ON 9"

TAMPED MOUND OF

SIDES OF PLANT PIT

PLANTING MIX. SCARIFY

NTS

---- 2X ROOT BALL -----

(TREE PLANTING DETAIL APPLIES TO

EVERGREEN AND DECIDUOUS

SHRUBS)

TREE PLANTING DETAIL

- GUYING APPARATUS: GALVANIZED

WIRE OR CABLE AND 1/2" I.D. REINFORCED RUBBER HOSE

2" SQ. HARDWOOD STAKES

FOR ALL TREES THE TRUNK FLARE AND TOP

4" LAYER OF PINE BARK MULCH (MAINTAIN

6" AIR SPACE AROUND TRUNK) NOT TO

(SEE PLANS FOR MATERIALS)
TOPSOIL BLANKET FOR LAWN

- ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE

20% ORGANIC COMPOST.

SITE AND AMENDED NO MORE THAN

EXCEPTIONS:

CREATED.

1. NEW CONSTRUCTION

WHERE ENGINEERED

2. WHERE NEW PLANTING

BEDS ARE BEING

SOIL IS BEING USED

WITH SILVA CELLS OR

OF ROOTBALL SHALL BE 2"-3" ABOVE ESTABLISHED FINISH GRADE OF PLANTING

BED OR INDIVIDUAL PLANTING HOLE.

PLACE WITHIN 2" OF TRUNK.

2" DEEP AND DIA. OF

FINISH GRADE

- 3" EARTH SAUCER

EVERGREEN

RUNE OUT DEAD/DAMAGED

NORMAL PLANT SHAPE AND FORM WITH PRUNING

BRANCHES. PRESERVE

GALVANIZED

ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE-

ROOT BALL AND PLANTING HOLE

DRIVE ANCHOR

(3 MINIMUM) —



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NOTES:

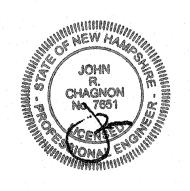
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PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE PORTSMOUTH, N.H.

		the second second
4	REVISED PLANTING DETAILS II, JJ, FF, HH	3/19/19
3	ADDED PLANTING DETAILS II, JJ	2/28/19
2	REVISED DETAIL HH, EE, FF	2/19/19
1	ISSUED FOR COMMENT	1/22/19
NO.	DESCRIPTION	DATE
	REVISIONS	

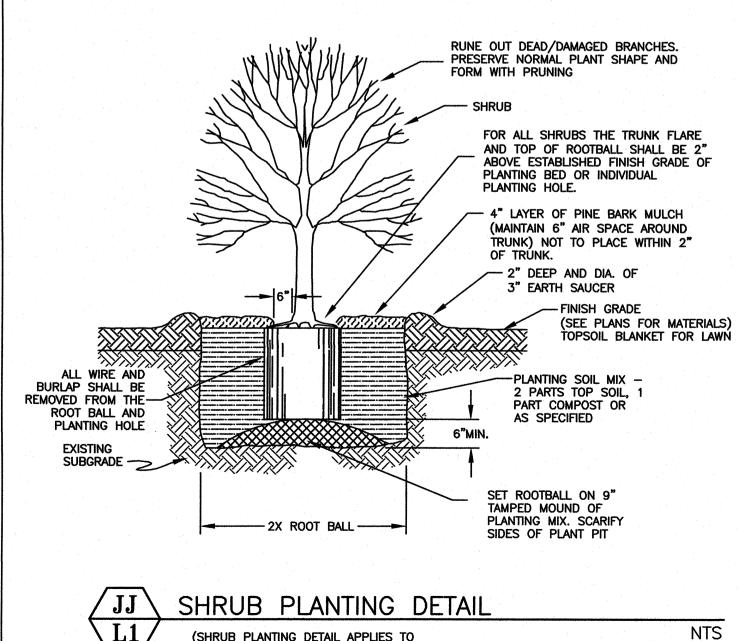


AS NOTED

MAY 2018

DETAILS

2360



(SHRUB PLANTING DETAIL APPLIES TO **EVERGREEN AND DECIDUOUS**

SHRUBS)



EXTERIOR TRIM NOTES:

SIDING DETAIL 1" STUCCO

ROOFING SLATELINE GAF SHINGLE W/ GRACE TRI-FLEX UNDERLAYMENT. METAL ROOF @ SIDE TOWER & LOWER REAR DOOR ROOF (SEE ELEVATIONS)

SOFFIT DETAILS 1x12, OR (2) 1x12 NON-VENTED

FRIEZE DETAIL: 5/4x8 w/ ix8 sub frieze & 3% " Crown (NO CROWN @ DORMER)

RAKE DETAIL IXIO, IX2 RAKE (MAIN ROOF)

1x8, 1x2 RAKE (DORMER ROOF) RAKE SOFFIT DETAILS

(FRONT MAIN ROOF ONLY)

(2) 1x12 (FRONT MAIN ROOF) NONE (REAR MAIN ROOF & DOARMER) RAKE FRIEZE DETAIL: 5/4x10 w/ ix10 sub frieze & corbel blocks

WINDOW TRIM 5/4x5 CASING W/ IX4 SUB BOARD TYP. 35/8" CROWN W/ CAP & DENTIL BOARDS BELOW (SEE ELEVATION FOR LOCATIONS)

5/4x5 CASING W/ 1x4 SUB BOARD

CORNER BOARDS 5/4x8 w/ 1x6 SUB BOARD TYP. BROWNSTONE PRECAST VENEER QUOINS W/ IX SUB BOARDS AS REQUIRED (SEE ELEVATIONS FOR LOCATIONS)

SKIRT BOARD 5/4x8 w/ ix8 SUB BOARD STONE VENEER

RAILINGS COMPOSITE

NOTE: AZEK TRIM

.oc.	SIZE / UNIT *	ROUGH OPNG.	COMMENTS
RST F	LOOR		
(A)	C-2646	2'-61/2" × 4'-63/4"	CASEMENT
(B)	P-266Ø***	2'-61/2" × 6'-03/4"	PICTURE WINDOW MULLED
	P-2676***	2'-61/2" × 7'-63/4"	CUSTOM PICTURE WINDOW
ECON	D FLOOR		
(c) T	COSTUM***	8'-01/2" × 10'-13/8"	CUSTOM PICTURE WINDOW
(P)	COSTUM***	8'-01/2" x 13'-136"	CUSTOM PICTURE WINDOW
(E)	A-2620-2W	5'-012" × 2'-034"	DBL AUNING
(F)	COSTUM	8'-61/2" × 3'-3"	CUSTOM PICTURE WINDOW
(G)	COSTUM	8'-612" × 3'-1112"	CUSTOM PICTURE WINDOW
(H)	COSTUM	8'-612" × 3'-1112"	CUSTOM PICTURE WINDOW
$\overline{(1)}$	COSTUM***	8'-6 ¹ / ₂ " × 3'-3"	CUSTOM PICTURE WINDOW
(1)	A-2020	2'-01/2" × 2'-03/4"	DBL AWNING
(K)	COSTUM***	2'-61/2" x 5'-81/2"	CUSTOM PICTURE WINDOW
ASEM	ENT	A	
	C-264Ø-2W	2'-61/2" × 4'-034"	DBL CASEMENT

.oc.	UNIT . / SIZE	ROUGH OPNG.	MANUFACTURER
PRST FLO	OOR		Encertainment and appeals and an instrument and an action and the state of the stat
Λ	1 / 8080	8'-0" x 8'-0"	
2	1 / 8080	8'-0" x 8'-0"	(NONOPERATING)
3	1 / 3068	3'-21/2" × 6'-101/2"	
4	1/3068	3'-21/2" x 6'-101/2"	

NOTES:

1. REFER TO FLOOR PLANS & ELEV. FOR DOOR OPERATION
2. REFER TO ELEVATIONS FOR GRILLE PATTERNS 3. VERIFY ALL DOOR SIZES AND RO!S WITH MANUFACTURE BEFORE ORDERING. BRING ANY DOOR DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

Reduced Size Not to Scale

12-11-19

GENERAL NOTES: 1. THESE CONSTRUCTION DOCUMENTS ARE BUILT TO FOLLOW THE 2015 IBC BUILDING CODE AS ADMINISTRATED BY THE CITY OF PORTSMOUTH, NH.

2. ALL DIMENSIONS ARE FRAMING DIMENSIONS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO EXCAVATION.

3. DO NOT SCALE DRAWING, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

PROJE
686

7	ATTAR ENGINEERING, INC.
	CIVIL ◆ STRUCTURAL ◆ MARINE 1284 STATE ROAD — ELIOT, MAINE 03903 PHONE: (207)439—6023 FAX: (207)439—2128
PO IECT	PHONE: (207)439-6023 FAX: (207)439-2128

Maple Masjid of Portsmouth

B6 Maplewood Ave., Portsmouth, NH

Phone: 603-964-5180 Fax: 603-964-2008

1247 Washington Road

Rye NH 03870

NOTES:

1. REFER TO FLOOR PLANS & ELEY, FOR CASEMENT WINDOW OPERATION

2. REFER TO ELEVATIONS FOR GRILLE PATTERNS

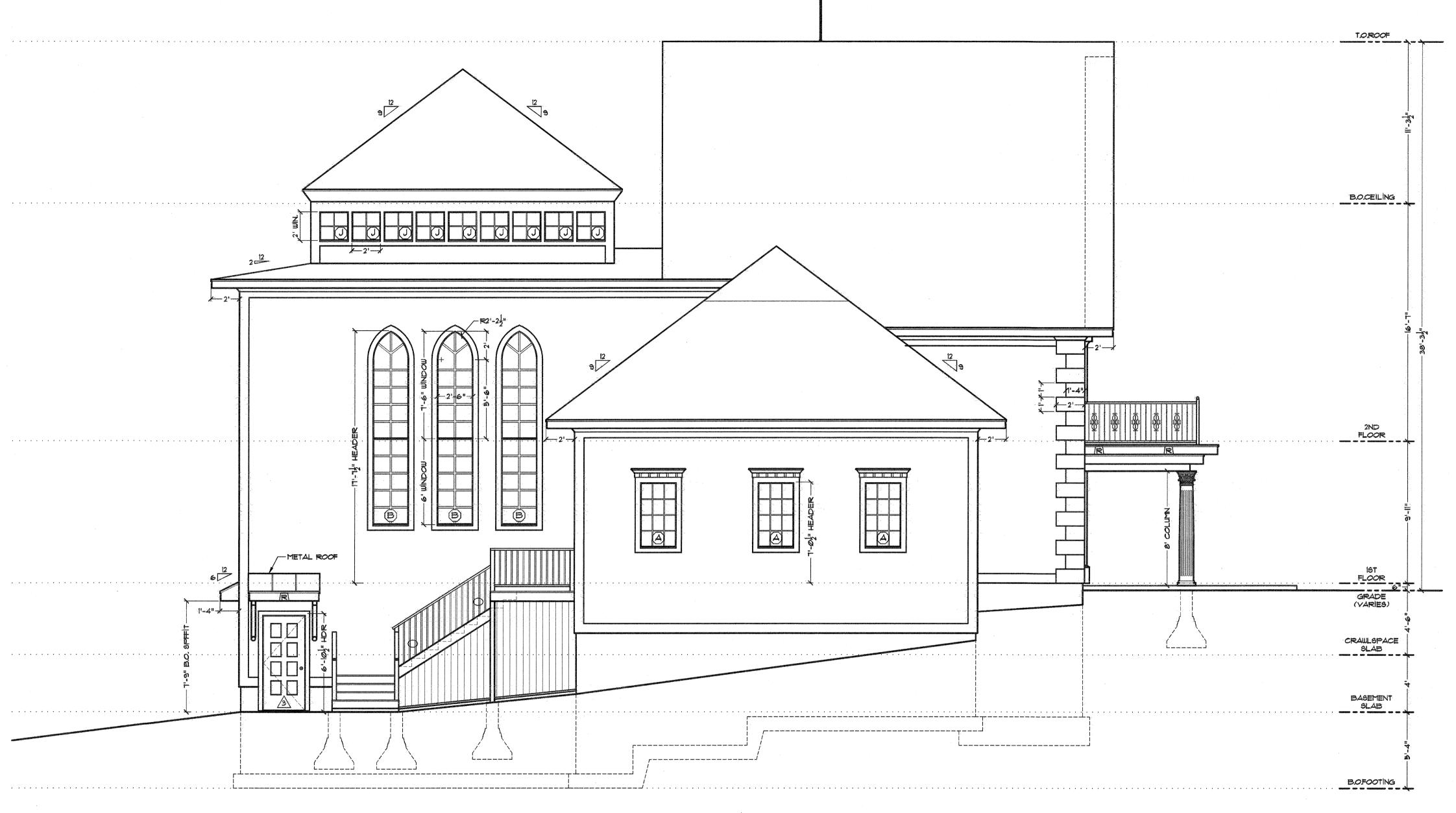
* REFER TO FLOOR PLANS & ELEY, FOR MULLED WINDOW LOCATIONS

** NON OPERATIONAL WINDOW

*** SEE ELEVATIONS FOR CUSTOM WINDOWS SHAPE AND DIMENSIONS

3. VERIFY ALL WINDOWS SIZES AND RO,'S WITH MANUFACTURE BEFORE ORDERING.

BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION



EXTERIOR TRIM NOTES:

SIDING DETAIL

ROOFING SLATELINE GAF SHINGLE W/ GRACE TRI-FLEX UNDERLAYMENT. METAL ROOF . SIDE TOWER & LOWER REAR DOOR ROOF (SEE ELEVATIONS)

SOFFIT DETAILS IXI2, OR (2) IXI2 NON-VENTED

FRIEZE DETAIL: 5/4x8 w/ ix8 SUB FRIEZE & 35/8" CROWN (NO CROWN @ DORMER)

RAKE DETAIL IXIO, IX2 RAKE (MAIN ROOF)

1x8, 1x2 RAKE (DORMER ROOF) RAKE SOFFIT DETAILS
(2) IXI2 (FRONT MAIN ROOF)

NONE (REAR MAIN ROOF & DOARMER) RAKE FRIEZE DETAIL: 5/4x10 w/ 1x10 sub frieze & corbel blocks

(FRONT MAIN ROOF ONLY) WINDOW TRIM 5/4x5 casing w/1x4 sub board typ.

35%" CROWN W/ CAP & DENTIL BOARDS BELOW (SEE ELEVATION FOR LOCATIONS)

DOOR TRIM 5/4x5 CASING W/ IX4 SUB BOARD

CORNER BOARDS 5/4x8 w/ ix6 sub board typ. BROWNSTONE PRECAST VENEER QUOINS w/ 1x SUB BOARDS AS REQUIRED (SEE ELEVATIONS FOR LOCATIONS)

SKIRT BOARD 5/4x8 w/ 1x8 SUB BOARD STONE YENEER

AZEK TRIM

LEFT ELEVATION

WINDOW SCHEDULE						
LOC.	SIZE / UNIT .	ROUGH OPNG.	COMMENTS			
FIRST F	FIRST FLOOR					
(A)	C-2646	2'-61/2" × 4'-63/4"	CASEMENT			
(B)	P-2660***	2'-61/2" × 6'-034"	PICTURE WINDOW MULLED			
	P-2676***	2'-61/2" × 7'-63/4"	CUSTOM PICTURE WINDOW			
SECON	D FLOOR					
0	COSTUM	8'-01/2" × 10'-13/8"	CUSTOM PICTURE WINDOW			
(D)	COSTUM***	8'-01/2" x 13'-13's"	CUSTOM PICTURE WINDOW			
(E)	A-262Ø-2W	5'-01/2" x 2'-03/4"	DBL AWNING			
(F)	COSTUM***	8'-61/2" × 3'-3"	CUSTOM PICTURE WINDOW			
(G)	COSTUM***	8'-612" × 3'-111/2"	CUSTOM PICTURE WINDOW			
(H)	COSTUM	8'-612" x 3'-111/2"	CUSTOM PICTURE WINDOW			
	COSTUM***	8'-61/2" × 3'-3"	CUSTOM PICTURE WINDOW			
(1)	A-2020	2'-0 ¹ / ₂ " × 2'-0 ³ / ₄ "	DBL AWNING			
(K)	COSTUM***	2'-61/2" × 5'-81/2"	CUSTOM PICTURE WINDOW			
BASEM	BASEMENT					
(L)	C-2640-2W	2'-6 ¹ / ₂ " × 4'-0 ³ / ₄ "	DBL CASEMENT			

I REFER TO FLOOR PLANS & ELEV. FOR CASEMENT WINDOW OPERATION

2. REFER TO ELEVATIONS FOR GRILLE PATTERNS * REFER TO FLOOR PLANS & ELEY, FOR MULLED WINDOW LOCATIONS

" NON OPERATIONAL WINDOW

*** SEE ELEVATIONS FOR CUSTOM WINDOWS SHAPE AND DIMENSIONS

3. VERIFY ALL WINDOWS SIZES AND RO!S WITH MANUFACTURE BEFORE ORDERING.
BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION
IMMEDIATELY.

EXTERIOR DOOR SCHEDULE				
LOC.	UNIT # / SIZE	ROUGH OPNG.	MANUFACTURER	
FIRST F	LOOR		Andrews announces announces more recommendate principal announce absorber announce and announce and announce a	
	2 / 8080	8'-0" × 8'-0"		
2	1" / 8080	8'-0" x 8'-0"	(NONOPERATING)	
3	1/3068	3'-21/2" × 6'-101/2"		
4	1/3068	3'-21/2" × 6'-101/2"		
		and or Executable to according to the control of th		

I. REFER TO FLOOR PLANS & ELEY, FOR DOOR OPERATION

2. REFER TO ELEVATIONS FOR GRILLE PATTERNS

3. VERIFY ALL DOOR SIZES AND RO.'S WITH MANUFACTURE BEFORE ORDERING.
BRING ANY DOOR DISCREPANCIES TO LIVING SPACES, INC. ATTENTION
IMMEDIATELY.



Reduced Size Not to Scale

GENERAL NOTES:

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	ATTAR ENGINEERING, INC.
	CIVIL → STRUCTURAL → MARINE
	1284 STATE ROAD - ELIOT, MAINE 03903
-	PHONE: (207)439-6023 FAX: (207)439-2128

Maple Masjid of Portsmouth
686 Maplewood Ave., Portsmouth, NH

Rue NH 03870

Phone: 603-964-5180 Fax: 603-964-2008 12-11-19



RIGHT ELEVATION

.oc.	SIZE / UNIT .	ROUGH OPNG.	COMMENTS
IRST F	LOOR		And the second s
(A)	C-2646	2'-612" × 4'-634"	CASEMENT
(B)	P-2660***	2'-612" × 6'-034"	PICTURE WINDOW MULLED
	P-2676***	2'-61/2" × 7'-63/4"	CUSTOM PICTURE WINDOW
ECON	D FLOOR		
(c) T	COSTUM	3'-01/2" × 10'-13/8"	CUSTOM PICTURE WINDOW
(D)	COSTUM***	8'-01/2" × 13'-13'8"	CUSTOM PICTURE WINDOW
(E)	A-262Ø-2W	5'-01/2" x 2'-03/4"	DBL AWNING
(F)	COSTUM	8'-612" × 3'-3"	CUSTOM PICTURE WINDOW
(G)	COSTUM	8'-61/2" × 3'-111/2"	CUSTOM PICTURE WINDOW
(H)	COSTUM	8'-612" × 3'-1112"	CUSTOM PICTURE WINDOW
	COSTUM	8'-612" x 3'-3"	CUSTOM PICTURE WINDOW
(1)	A-2020	2'-0 ¹ / ₂ " × 2'-0 ³ / ₄ "	DBL AUNING
(K)	COSTUM···	2'-61/2" × 5'-81/2"	CUSTOM PICTURE WINDOW
SASEM	ENT		
	C-2640-2W	2'-61/2" × 4'-03/4"	DBL CASEMENT

NOTES: I REFER TO FLOOR PLANS & ELEV. FOR CASEMENT WINDOW OPERATION

2. REFER TO ELEVATIONS FOR GRILLE PATTERNS · REFER TO FLOOR PLANS & ELEY, FOR MULLED WINDOW LOCATIONS

** NON OPERATIONAL WINDOW

*** SEE ELEVATIONS FOR CUSTOM WINDOWS SHAPE AND DIMENSIONS

3. VERIFY ALL WINDOWS SIZES AND RO'S WITH MANUFACTURE BEFORE ORDERING. BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

EXTERIOR DOOR SCHEDULE				
LOC.	UNIT # / SIZE	ROUGH OPNG.	MANUFACTURER	
FIRST	LOOR	es antidos de como esta esta esta esta esta esta esta esta	**************************************	
	2 / 8080	8'-0" × 8'-0"		
2	1 / 8080	8'-0" x 8'-0"	(NONOPERATING)	
3	7 / 3068	3'-21/2" × 6'-101/2"		
4	1/3068	3'-212" × 6'-1012"		

NOTES: I. REFER TO FLOOR PLANS & ELEY, FOR DOOR OPERATION
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EXTERIOR TRIM NOTES:

SOFFIT DETAILS 1x12, OR (2) 1x12 NON-VENTED

RAKE DETAIL 1x10, 1x2 RAKE (MAIN ROOF) 1x8, 1x2 RAKE (DORMER ROOF)

RAKE SOFFIT DETAILS
(2) IXI2 (FRONT MAIN ROOF)

FRIEZE DETAIL: 5/4x8 w/ ix8 sub frieze 4 35%" Crown

NONE (REAR MAIN ROOF & DOARMER)

WINDOW TRIM 5/4x5 CASING W/ 1x4 SUB BOARD TYP.

DOOR TRIM 5/4x5 CASING W/ 1x4 SUB BOARD

CORNER BOARDS 5/4x8 w/ ix6 sub board typ.

SKIRT BOARD 5/4x8 W/ 1x8 SUB BOARD

STONE VENEER

DECKING COMPOSITE

RAILINGS COMPOSITE

NOTE:

AZEK TRIM

RAKE FRIEZE DETAIL: 5/4x10 w/ 1x10 sub frieze (Corbel Blocks (Front Main Roof Only)

35% CROWN W/ CAP & DENTIL BOARDS BELOW (SEE ELEVATION FOR LOCATIONS)

BROWNSTONE PRECAST VENEER QUOINS w/ 1x SUB BOARDS AS REQUIRED (SEE ELEVATIONS FOR LOCATIONS)

ROOFING SLATELINE GAF SHINGLE W/ GRACE TRI-FLEX UNDERLAYMENT. METAL ROOF @ SIDE TOWER & LOWER

REAR DOOR ROOF (SEE ELEVATIONS)

SIDING DETAIL

FASCIA DETAIL Ix8, Ix2

(NO CROWN @ DORMER)

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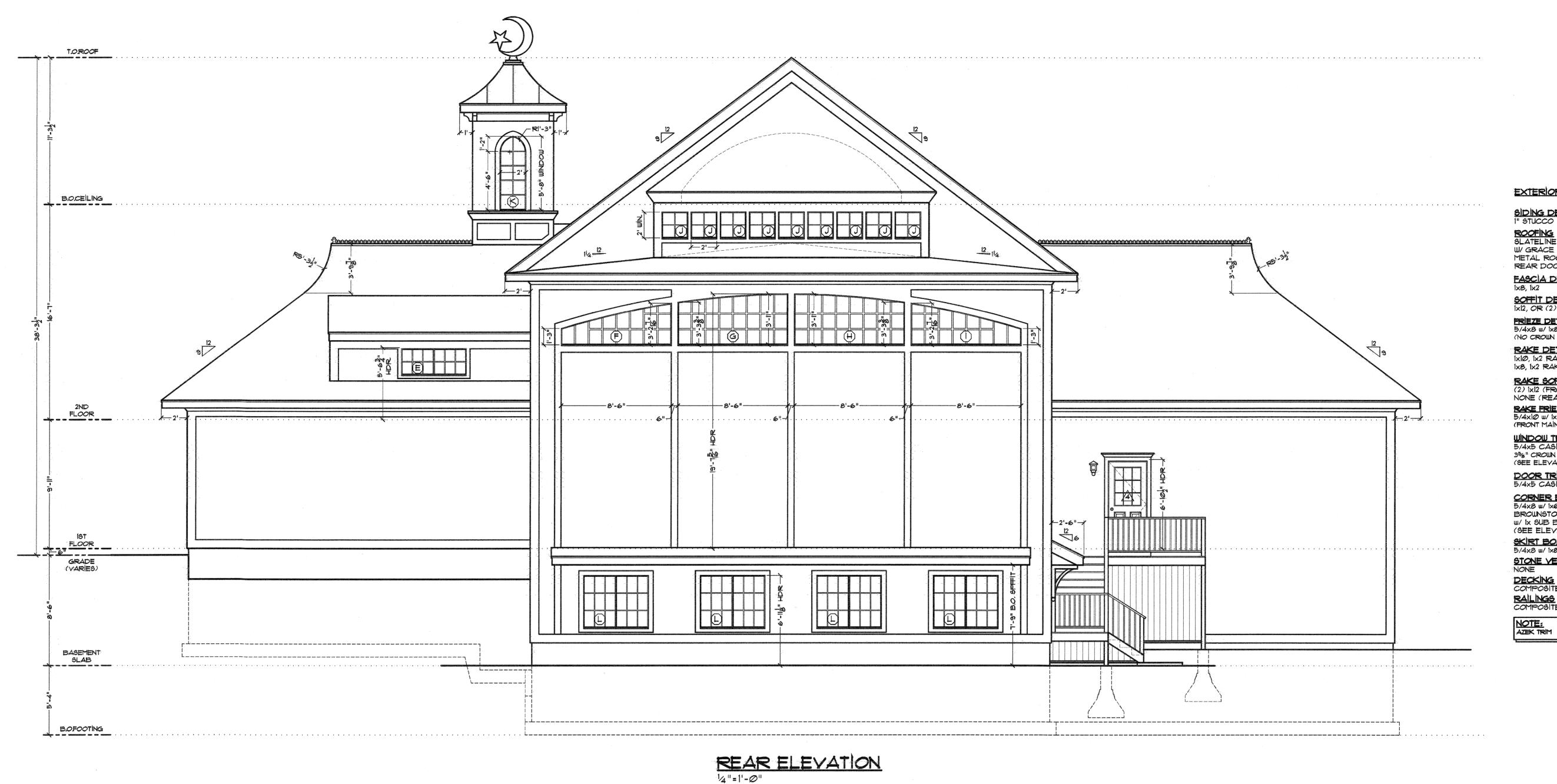
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EXTERIOR TRIM NOTES:

SIDING DETAIL

ROOFING SLATELINE GAF SHINGLE W/ GRACE TRI-FLEX UNDERLAYMENT. METAL ROOF @ SIDE TOWER & LOWER REAR DOOR ROOF (SEE ELEVATIONS)

SOFFIT DETAILS 1x12, OR (2) 1x12 NON-VENTED

FRIEZE DETAIL: 5/4x8 w/ 1x8 SUB FRIEZE & 35%" CROWN (NO CROWN # DORMER)

RAKE DETAIL IXIO, 1x2 RAKE (MAIN ROOF) 1x8, 1x2 RAKE (DORMER ROOF)

RAKE SOFFIT DETAILS (2) IXI2 (FRONT MAIN ROOF)

NONE (REAR MAIN ROOF & DOARMER) RAKE FRIEZE DETAILE 5/4x10 w/ 1x10 sub frieze & Corbel Blocks (Front Main Roof Only)

<u>WINDOW TRIM</u> 5/4x5 CASING W/ 1x4 SUB BOARD TYP.

35%" CROWN W/ CAP & DENTIL BOARDS BELOW (SEE ELEVATION FOR LOCATIONS)

DOOR TRIM 5/4x5 CASING W/ 1x4 SUB BOARD

CORNER BOARDS 5/4x8 w/ 1x6 sub board Typ. BROWNSTONE PRECAST VENEER QUOINS w/ ix SUB BOARDS AS REQUIRED (SEE ELEVATIONS FOR LOCATIONS)

SKIRT BOARD 5/4x8 w/ 1x8 SUB BOARD STONE VENEER

WIND	OW SCHEDUL!		
LOC.	SIZE / UNIT *	ROUGH OPNG.	COMMENTS
FIRST F	LOOR		
(A)	C-2646	2'-61/2" × 4'-63/4"	CASEMENT
(B)	P-2660***	2'-61/2" × 6'-034"	PICTURE WINDOW MULLED
	P-2676***	2'-61/2" x 7'-63/4"	CUSTOM PICTURE WINDOW
SECONI	D FLOOR		
0	COSTUM***	8'-01/2" × 10'-13/3"	CUSTOM PICTURE WINDOW
(D)	COSTUM***	8'-01/2" × 13'-136"	CUSTOM PICTURE WINDOW
(E)	A-262Ø-2W	5'-01/2" × 2'-03/4"	DBL AUNING
(F)	COSTUM***	8'-6½" × 3'-3"	CUSTOM PICTURE WINDOW
(G)	COSTUM***	8'-61/2" × 3'-111/2"	CUSTOM PICTURE WINDOW
(H)	COSTUM	8'-61/2" × 3'-111/2"	CUSTOM PICTURE WINDOW
	COSTUM	8'-612" x 3'-3"	CUSTOM PICTURE WINDOW
(1)	A-2020	2'-0 ¹ / ₂ " × 2'-0 ³ / ₄ "	DBL AWNING
(K)	COSTUM***	2'-61/2" × 5'-81/2"	CUSTOM PICTURE WINDOW
BASEM	ENT		
(L)	C-2640-2W	2'-61/2" × 4'-03/4"	DBL CASEMENT

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BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION

IMMEDIATELY.

EXTERIOR DOOR SCHEDULE				
LOC.	UNIT # / SIZE	ROUGH OPNG.	MANUFACTURER	de marcinio de la companio de la com
FIRST F	LOOR			
	3 / 8Ø8Ø	8'-0" x 8'-0"		
2	1 / 8080	8'-0" x 8'-0"	(NONOPERATING)	
3	7 / 3068	3'-21/2" × 6'-101/2"		
4	2 / 3068	3'-21/2" x 6'-101/2"		
		ASCENIE DE LA CONTRACTOR DE LA CONTRACTO		

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