

**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

February 3, 2026

Peter Britz, Planning and Sustainability Director  
City of Portsmouth Municipal Complex  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Request for TAC Work Session  
Assessor's Map 103, Lot 48  
280 Marcy Street  
Altus Project No. 5691**

Dear Peter,

On behalf of Portsmouth Music and Arts Center (PMAC) and The Schleyer Foundation, applicants, Altus Engineering submits a request to present an application for renovations to The South Meeting House at 280 Marcy Street. The parcel is owned by the City of Portsmouth and lies within the Municipal Zoning District which makes it exempt from all dimensional and intensity regulations.

The Schleyer Foundation has an agreement with the City. They are the lessee. PMAC has a sublease with The Schleyer Foundation and will occupy the premises.

PMAC proposes to expand their visual arts use by relocating from their Islington Street facility to The South Meeting House. Their initial plans include:

- A. **Classroom and Studio Spaces:** Our design includes 2 flexible, state-of-the-art visual arts classrooms that can accommodate 10-15 students each, a digital visual arts classroom that can accommodate 8-10 students, and 2 small studio spaces designed for 1:1 instruction. These spaces will cater to students of all ages and skill levels, with a focus on fostering creativity and skill development in children and teenagers residing in Portsmouth and the surrounding communities. Visual arts educational offerings in this building will be focused on drawing, painting, photography, digital arts (including photography, film making, and animation), and more.
- B. **Teaching Gallery Space:** A dedicated teaching gallery on the second floor will be open to the public on a regular schedule. The gallery will showcase rotating exhibitions that feature artwork by PMAC students, teaching artists, visiting educators, and occasional community shows. Students will be able to learn the theories and practices of gallery management, exhibition development and artist relations. We envision a versatile layout that can accommodate a variety of art forms, from paintings and sculptures to multimedia installations, enriching and encouraging cultural dialogue amongst our students and within the greater Portsmouth community.

C. **Administrative Office:** An administrative office for staff and teaching artists

D. **Restrooms:** Two first floor restrooms and one second floor restroom.

Most of the improvements will be in the interior of the structure. Minor exterior improvements include:

- Restriping the parking stalls
- Relocating the handicap accessible access to the building
- Adding a parking stall on the south side of the property
- Adding bicycle racks for patrons
- Constructing a new retaining wall
- Landscape improvements
- Replacing deteriorated curb with City owned used curb

Enclosed please find the following plans for discussion at the February 10<sup>th</sup> TAC Work Session:

- Preliminary Existing Conditions Plan
- Preliminary Site Plan
- Preliminary Grading Plan
- Landscape Plan (2 sheets)
- Architectural first floor plan and Elevations (2 sheets)

Please feel free to call or email me directly should you have any questions or need any additional information.

Respectfully submitted,

**ALTUS ENGINEERING, LLC**



Enclosure

eCopy: Russ Grazier, PMAC  
David Schleyer, The Schleyer Foundation  
Terrence Parker, TFLA  
Tracy Kozak, Arcove  
Meghan Boland, Chinburg Builders

wde/5691.00 ws cvr ltr.docx

# *Schleyer Foundation*

P.O. Box 222  
Rye Beach, New Hampshire 03871  
603-502-4987  
dschleyer@chinburg.com

**Date:** 02/03/2026

**Re:** Authorization to Perform Engineering and Design Services

**Property:** South Meeting House, 280 Marcy Street, Portsmouth, NH

To Whom It May Concern,

At its November 16 City Council meeting, the City of Portsmouth authorized the Schleyer Foundation to proceed with planning and design efforts related to the proposed reuse of the South Meeting House, located at 280 Marcy Street, Portsmouth, New Hampshire.

Accordingly, this letter authorizes the following consultants, acting on behalf of the Schleyer Foundation, to access the property for the purpose of performing planning, engineering, and design-related services in support of the project:

- **Petersen Engineering**
- **Altus Engineering**
- **Terrance Parker, Landscape Architect**

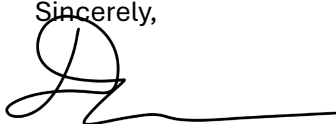
Authorized activities may include site visits, existing conditions assessments, field measurements, engineering evaluations, and preparation of preliminary planning and design documents. All work shall be non-invasive unless otherwise approved by the City and shall be conducted in a manner that minimizes disruption to the property.

This authorization is issued solely for planning and design purposes. The City of Portsmouth retains full ownership of the property, and this letter does not convey any leasehold interest, right of possession, or ownership interest.

This authorization shall remain in effect until May 31, 2026, or until execution of a lease between the City of Portsmouth and the Schleyer Foundation, whichever occurs first.

Please feel free to contact me if you have any questions.

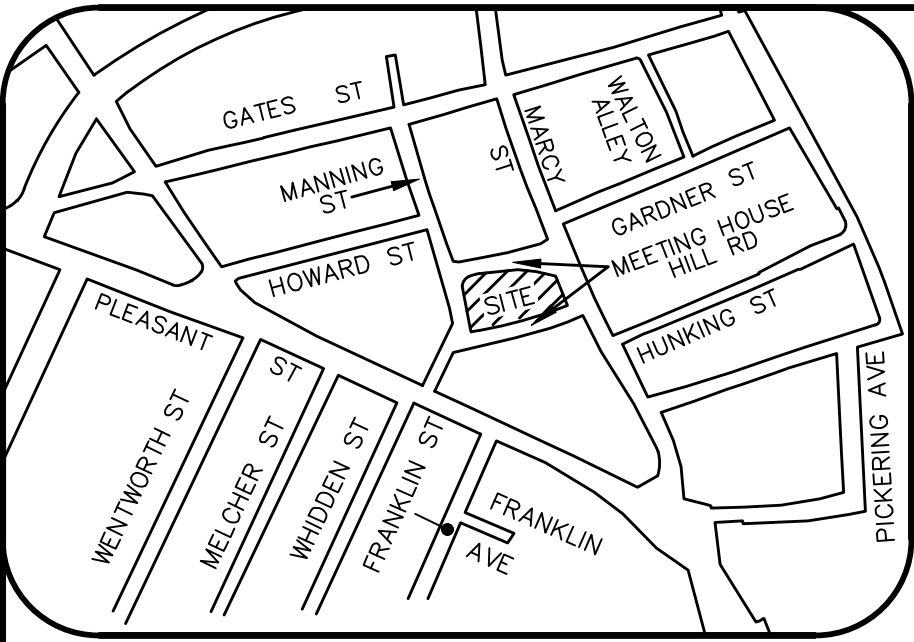
Sincerely,

A handwritten signature in black ink, appearing to be 'Dave Schleyer', with a long horizontal line extending to the right.

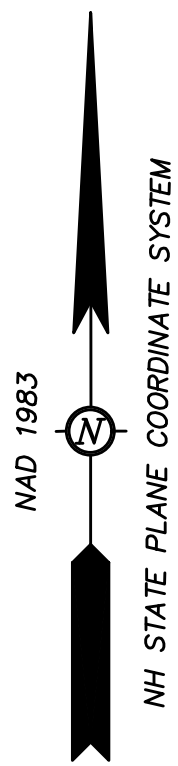
Dave Schleyer  
Trustee  
Schleyer Foundation



J:\2025 PROJECTS\25-2065 THE SOUTH MEETINGHOUSE 280 MARCY ST\DWG\25-2065-EXCON.dwg 2025-11-20



LOCUS  
(N.T.S.)



LEGEND

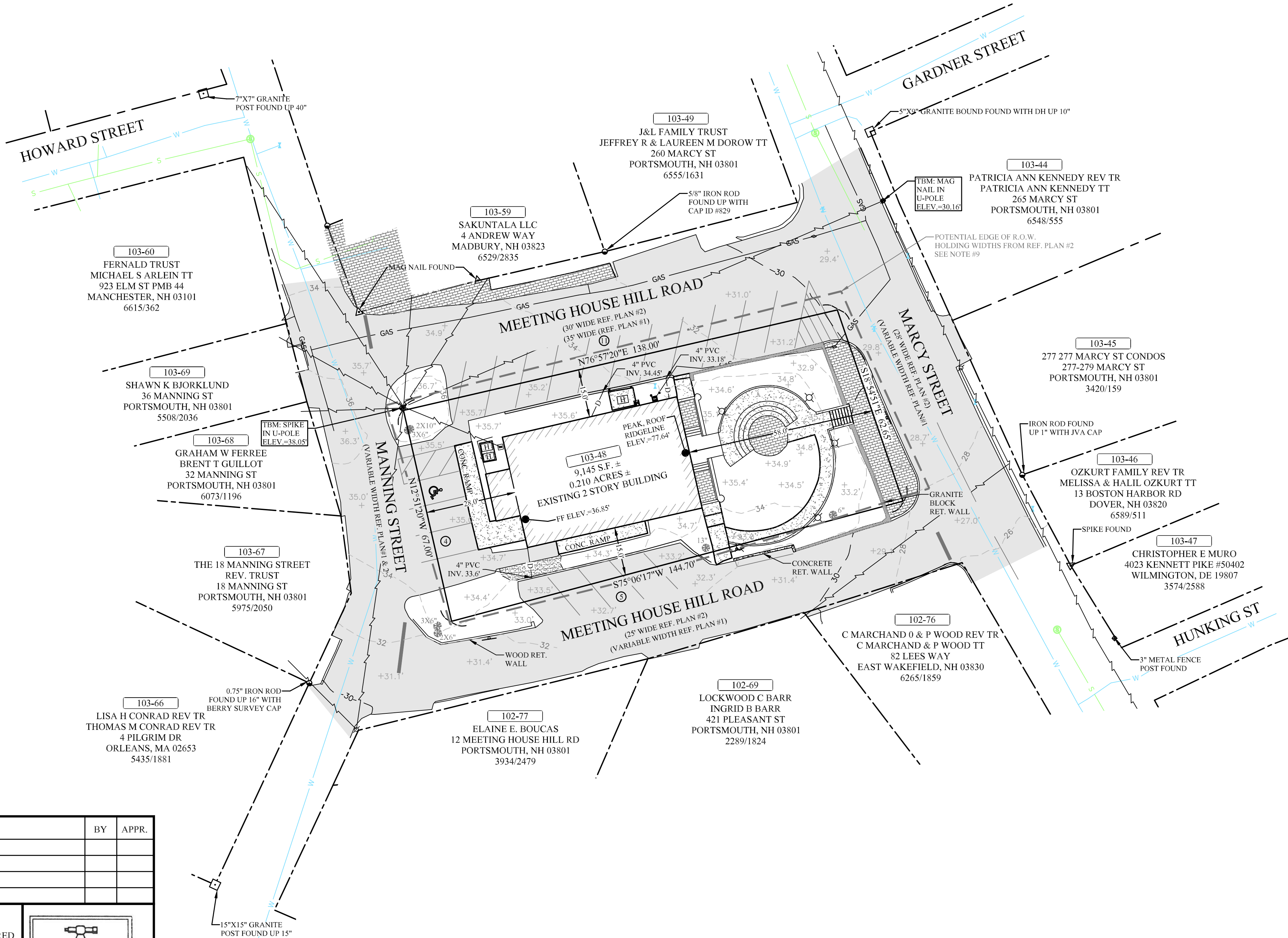
- |       |                        |   |                     |
|-------|------------------------|---|---------------------|
| —     | BOUNDARY LINE          | — | SIGN                |
| - - - | MINOR CONTOUR          | — | DRAIN INVERT        |
| —     | MAJOR CONTOUR          | — | LIGHT POLE          |
| —     | BOUNDARY ABUTTER       | — | SEWER MANHOLE       |
| — D   | DRAIN LINE             | — | TREE                |
| — W   | WATER LINE             | — | ELECTRIC METER      |
| — S   | SEWER LINE             | — | GAS METER           |
| — G   | GAS LINE               | — | ELECTRIC BOX        |
| —     | GRANITE BOUND FOUND    | — | BOLLARD             |
| —     | MAG NAIL / SPIKE FOUND | — | HANDICAPPED PARKING |
| —     | IRON ROD FOUND         | — | HVAC                |
| —     | METAL FENCE POST FOUND | — | GRAVEL              |
| —     | TEMPORARY BENCHMARK    | — | CONCRETE            |
| —     | UTILITY POLE           | — | BRICK               |
| —     | WATER VALVE            | — | PAVEMENT            |
| —     | GAS VALVE              |   |                     |

PLAN REFERENCES:

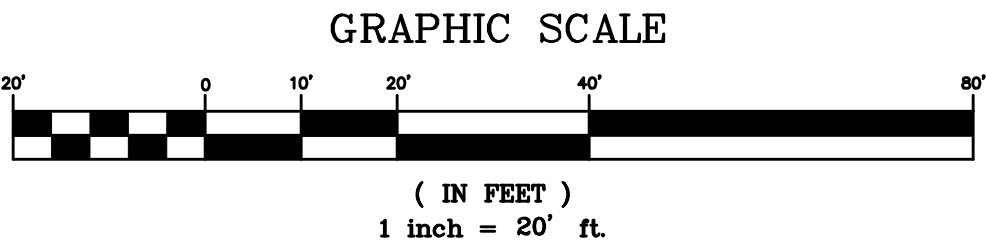
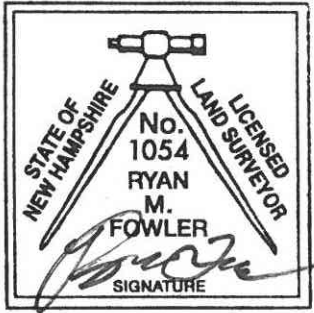
- "PLAN OF MEETING HOUSE HILL IN PORTSMOUTH N.H." PREPARED BY A.M. HOYT, SURVEYOR. DATED 1866. ON FILE WITH THE CITY OF PORTSMOUTH.
- "CITY OF PORTSMOUTH, LOCATION PLAN AND FOUNDATION FOR AN ELEVATED WATER TOWER 1,000,000 GALS. CAP." PREPARED BY L.E. SCRUTON, C.E., W.L. HASKELL, C. SPAULDING, COPYIST, DATED 1935. ON FILE WITH THE CITY OF PORTSMOUTH.
- "BOUNDARY PLAN 11 MEETING HOUSE HILL ROAD PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 59 FOR SAKUNTALA, LLC." PREPARED BY THIS OFFICE. DATED 8/10/2024. RECORDED AT R.C.R.D AS PLAN D-44650.
- "CONDOMINIUM SITE PLAN 353 & 355 PLEASANT STREET PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 64, FOR 355 PLEASANT STREET LLC. PREPARED BY THIS OFFICE DATED 5/29/2024. RECORDED AT R.C.R.D AS PLAN D-44527.
- "BOUNDARY PLAN SAKUNTALA, LLC. 235 MARCY STREET PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 12 FOR SHIVA NANDA." PREPARED BY THIS OFFICE. DATED 7/5/2024. RECORDED AT R.C.R.D AS PLAN D-44601.

NOTES:

- OWNER OF RECORD: CITY OF PORTSMOUTH  
ADDRESS: 280 MARCY STREET, 03801  
DEED REFERENCE: BK: 397 PG: 397  
TAX SHEET / LOT: 103 / 48
- ZONED: MUNICIPAL (M)  
  
LOTS AND BUILDINGS IN THE MUNICIPAL DISTRICT ARE EXEMPT FROM ALL DIMENSIONAL AND INTENSITY REGULATIONS.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SUBJECT PARCELS, BOUNDARY INFORMATION AND THE IMPROVEMENTS THEREON.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD83, VERTICAL DATUM: NAVD88. ESTABLISHED BY SURVEY GRADE GPS OBSERVATIONS. UNITS: US SURVEY FOOT.
- THE PLAN IS BASED UPON A FIELD SURVEY COMPLETED IN SEPTEMBER / OCTOBER 2025 WITH TRIMBLE S5 ROBOTIC TOTAL STATION, CARLSON BRX7 RTK GPS UNITS, PANASONIC FZ-M1/TRIMBLE TSC7 DATA COLLECTORS.
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.
- THE BOUNDARY SHOWN IS BASED ON REFERENCE PLAN #1, HOLDING THE TIE DIMENSIONS OFF OF THE BUILDING LINES. THE DASHED GRAY LINE IS A POTENTIAL R.O.W. (RIGHT-OF-WAY) LINE BASED ON REFERENCE PLAN #2 AND HOLDING THE ESTABLISHED R.O.W. ACROSS THE STREET. THE CITY OF PORTSMOUTH COULD RELAY OUT THE EXISTING R.O.W. TO REESTABLISH THE WIDTH TO DEFINE THE LIMITS OF THE MEETINGHOUSE LOT FOR FUTURE USE.



No.	DATE:	REVISION DESCRIPTION	BY	APPR.
SURVEYOR'S CERTIFICATION				
"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."				
11/20/2025				DATE
LICENSED LAND SURVEYOR				

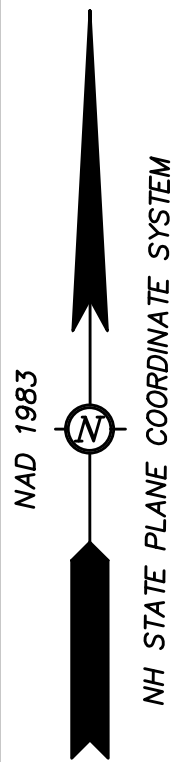


EXISTING CONDITIONS PLAN  
THE SOUTH MEETINGHOUSE  
280 MARCY ST  
PORTSMOUTH, NEW HAMPSHIRE  
TAX MAP 103 LOT 48  
PREPARED FOR: THE SCHLEYER FOUNDATION  
LAND OF: CITY OF PORTSMOUTH



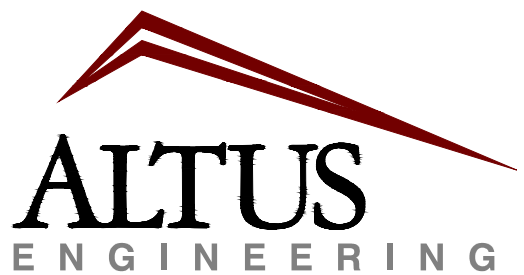
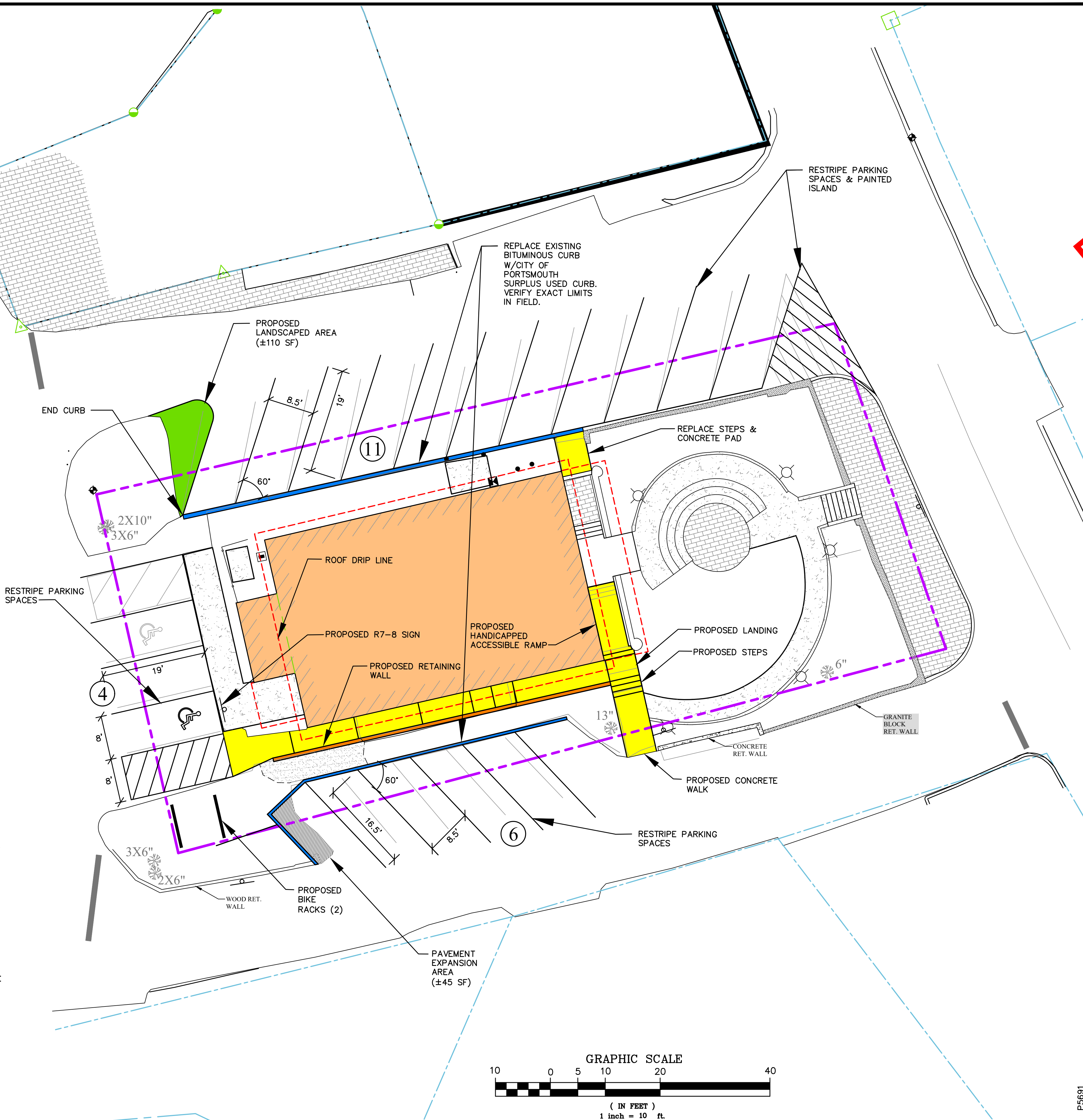
DATE: 11/14/2025	JOB NO. 25-2065
DRWN BY: BJM	CHK'D BY: RMF
DWG NAME: 25-2065-EXCON.DWG	SCALE: 1" = 20'
SHEET: V1	





## SITE NOTES

- DESIGN INTENT – THIS PLAN SET IS INTENDED TO DEPICT THE REDEVELOPMENT OF THE SOUTHY MEETING HOUSE INTO A VISUAL ARTS CENTER FOR PORTSMOUTH MUSIC AND ARTS CENTER.
- THERE ARE NO WETLANDS OR WETLAND BUFFERS ON THIS SITE.
- LOT AREA: ±9,145 (±0.210 ACRES)
- ZONE: M (MUNICIPAL)
- PARKING REQUIREMENTS:  
SCHOOL PARKING DEMAND ANALYSIS – TO BE PROVIDED  
20 SPACES EXISTING  
SPACES REQUIRED  
21 SPACES PROVIDED
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN HEREON, AND/OR TRUCKED OFF SITE AS APPROPRIATE.
- NO SAND SHALL BE USED FOR WINTER PARKING AREA MAINTENANCE. WINTER MAINTENANCE CONTRACTOR SHALL BE NHDES GREEN SNOWPRO CERTIFIED.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- ALL PARKING LOT LIGHTS SHALL BE BUILDING MOUNTED & "DARK SKY COMPLIANT". WALKWAYS WILL BE ILLUMINATED WITH BOLLARD LIGHTS. SEE LANDSCAPE & ARCHITECTURAL PLANS.
- VERIFY LATEST ARCHITECTURAL DRAWINGS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- TRASH & RECYCLING TOTES SHALL BE STORED INSIDE THE BUILDING.
- PARCEL IS NOT IN A FLOOD HAZARD ZONE.
- EXTERIOR SALT STORAGE IS PROHIBITED.
- THE CONTRACTOR SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATION CARRIER APPROVED BY THE FIRE DEPARTMENT. THE RADIO COMMUNICATION CARRIER MUST BE FAMILIAR WITH THE POLICE & FIRE DEPARTMENT'S RADIO CONFIGURATION. IF SURVEY DETERMINES SIGNAL REPEATERS ARE NECESSARY, THE CONTRACTOR SHALL INSTALL REPEATERS AS NEEDED.



133 Court Street  
(603) 433-2335

Portsmouth, NH 03801  
www.altus-eng.com

ISSUED FOR:

TAC WORK SESSION

ISSUE DATE:

JANUARY 29, 2026

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION	EDW	-

DRAWN BY:

RLH/EDW

APPROVED BY:

EDW

DRAWING FILE:

5691.DWG

SCALE:

22" x 34" - 1" = 10'

11" x 17" - 1" = 20'

OWNER:

CITY OF PORTSMOUTH  
1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801

APPLICANT:

PORTSMOUTH  
MUSIC AND ARTS  
CENTER  
VISUAL ARTS  
280 MARCY STREET  
PORTSMOUTH, NH 03801

PROJECT:

THE SOUTH  
MEETING HOUSE  
VISUAL ARTS

280 MARCY STREET  
PORTSMOUTH, NH

TAX MAP 103, LOT 48

TITLE:

PRELIMINARY  
SITE PLAN

SHEET NUMBER:

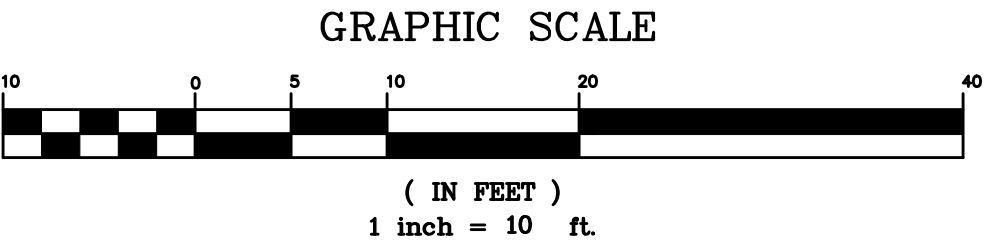
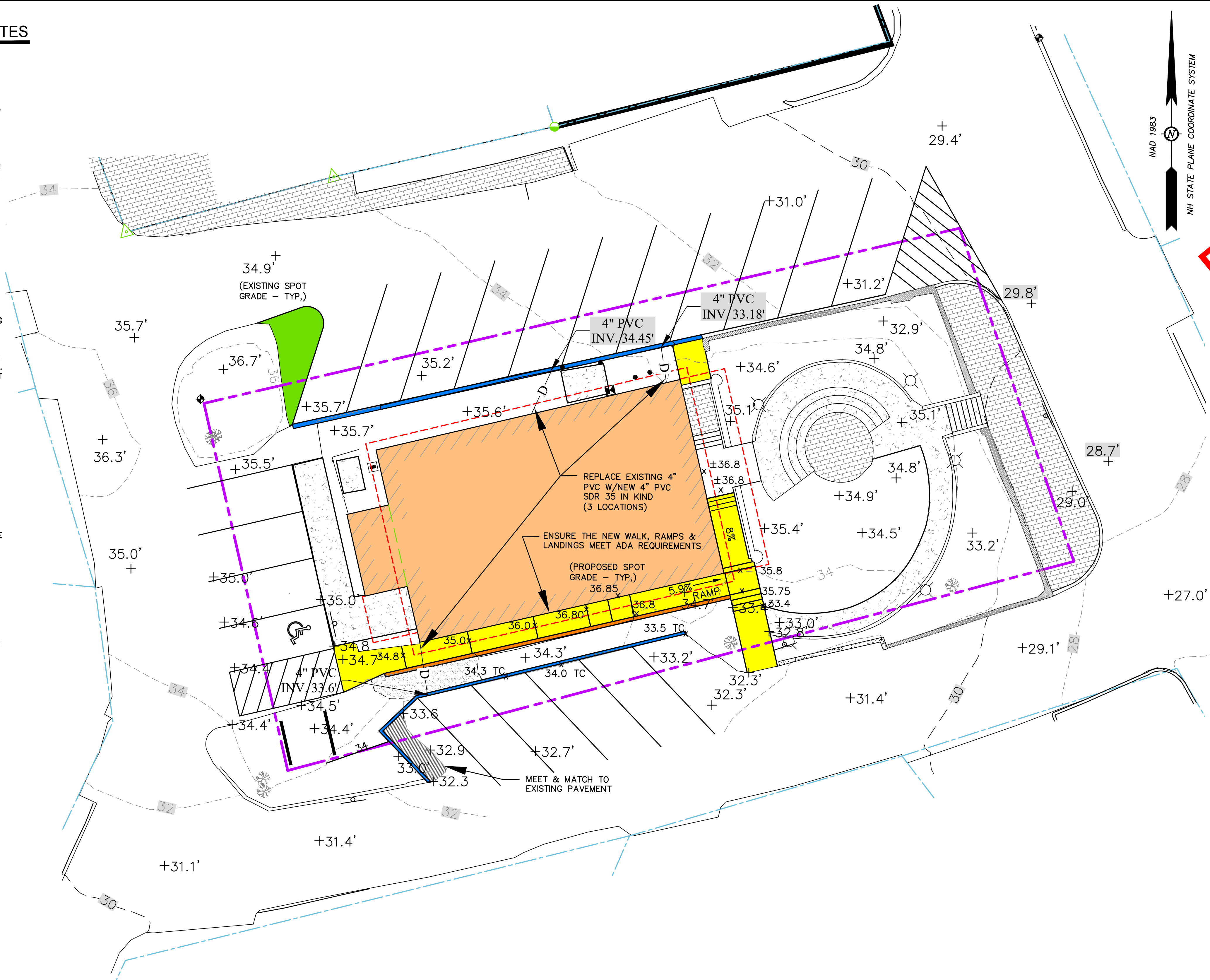
C-1

PS691



GRADING, EROSION AND SEDIMENT CONTROL NOTES

1. DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
2. CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
3. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
4. ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
5. UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBM) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
6. PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
7. TEMPORARY INLET PROTECTION MEASURES SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS WITHIN 100' OF THE PROJECT SITE WHEN SITE WORK WITHIN CONTRIBUTING AREAS IS ACTIVE OR SAID AREAS HAVE NOT BEEN STABILIZED.
8. PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
9. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
10. ALL CPP PIPE SHALL BE ADS N-12 OR APPROVED EQUAL.
11. NO EARTHWORK, STUMPING OR GRUBBING SHALL COMMENCE UNTIL ALL APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND THE SITE IS STABILIZED.
12. SEE DETAIL SHEETS FOR PERTINENT SEDIMENT AND EROSION CONTROL DETAILS AND ADDITIONAL NOTES.
13. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH IN THE NHDES NH STORMWATER MANUAL, DATED FEBRUARY 2025 AND AS AMENDED.
14. CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES, PROVIDING TEMPORARY VEGETATION, AND/OR MULCHING EXPOSED AREAS AND STOCKPILES.
15. THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT EROSION, PREVENT SEDIMENT FROM LEAVING THE SITE AND/OR ENSURE PERMANENT SOIL STABILIZATION.
16. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF COMPACTED LOAM, LIMESTONE, ORGANIC FERTILIZER, SEED, AND MULCH USING APPROPRIATE SOIL STABILIZATION TECHNIQUES.



**ALTUS**  
ENGINEERING

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(603) 433-2335

Portsmouth, NH 03801  
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**DRAFT**

ISSUED FOR:  
**TAC WORK SESSION**

ISSUE DATE:  
**JANUARY 29, 2026**

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMISSION		EDW	-

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DRAWING FILE: \_\_\_\_\_ 5691.DWG

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PROJECT:  
**THE SOUTH  
MEETING HOUSE  
VISUAL ARTS  
280 MARCY STREET  
PORTSMOUTH, NH**

**TAX MAP 103, LOT 48**

TITLE:  
**PRELIMINARY  
GRADING,  
DRAINAGE &  
EROSION  
CONTROL PLAN**

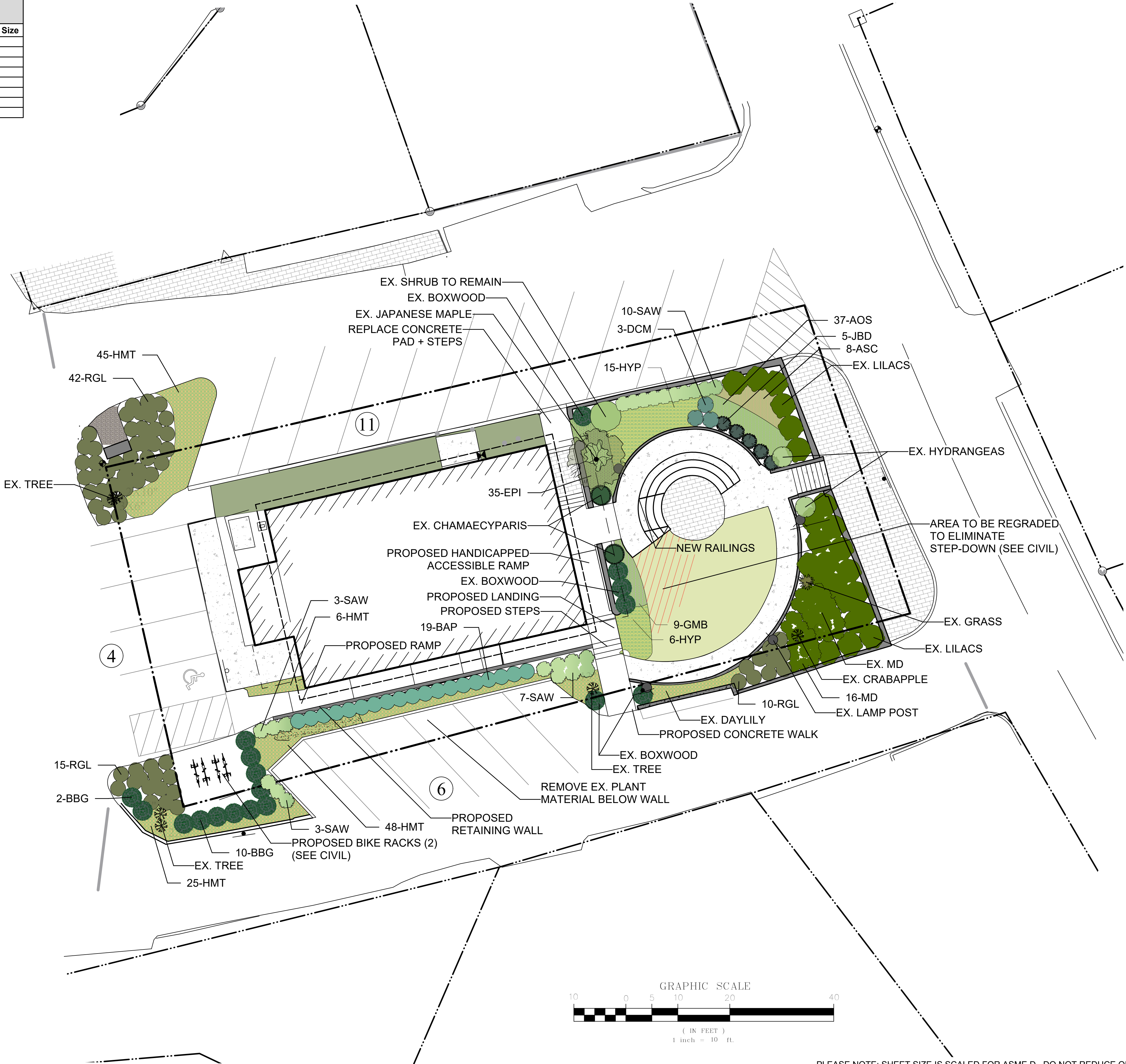
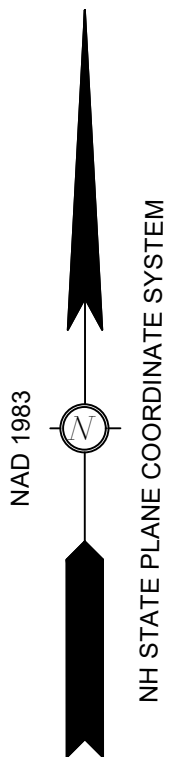
SHEET NUMBER:  
**C-2**

PS691



Plant List - Trees and Shrubs				
ID	Qty	Botanical Name	Common Name	Scheduled Size
BBG	12	Buxus 'Baby Gem'	Baby Gem™ Buxus	3 Gal.
DCM	3	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne	3 Gal.
HAnn	2	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3-4'
HYP	21	Hypericum x 'Hidcote'	Hidcote St. John's Wort	2 Gal.
JBD	5	Juniperus communis depressa 'Blueberry Delight'	Blueberry Delight Juniper	2 Gal.
MD	16	Microbiota decussata	Siberian Cypress	2 QT
RGL	67	Rhus aromatica 'Grow Low'	Grow Low Sumac	18"+ Ht.
SAW	23	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3-4'

Plant List - Perennials				
ID	Qty	Botanical Name	Common Name	Scheduled Size
AOS	37	Aster oblongifolius 'October Skies'	Aromatic Aster	1 Gal.
ASC	8	Asclepias incarnata	Swamp Milkweed	1 Gal.
BAP	19	Baptisia australis	Blue False Indigo	1 Gal.
EPI	35	Epimedium rubrum	Barrenwort	1 Gal.
GMB	9	Geranium macrorrhizum 'Bevan's Variety'	Bevan's Variety Geranium	1 Gal.
HMT	124	Hemerocallis 'Mary Todd'	Daylily	1 Gal.



terra firma  
landscape architecture



1633 Court Street Portsmouth, NH 03801  
603.551.9109 | terrence@terrafirmalandarch.com

Portsmouth Music  
Arts Center  
973 Islington St  
Portsmouth, NH 03801



Landscape Architect

Scale  
(SEE DETAILS)

REV. DATE DESCRIPTION

NO. DATE ISSUE NOTE

Project Manager

Drawn By

Date

Reviewed By

Project ID

Portsmouth Music Arts Center

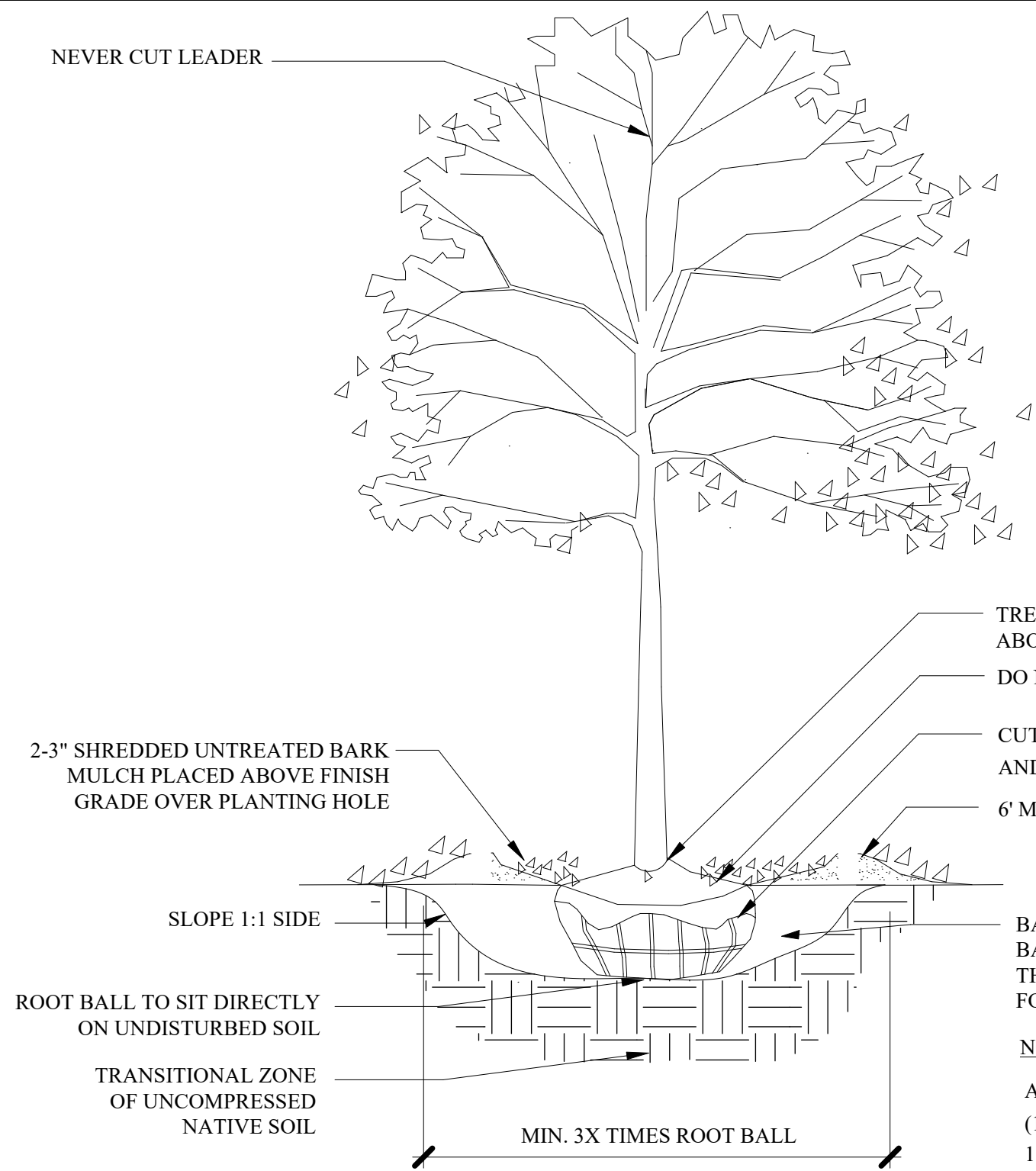
Sheet Title

Landscape Plan

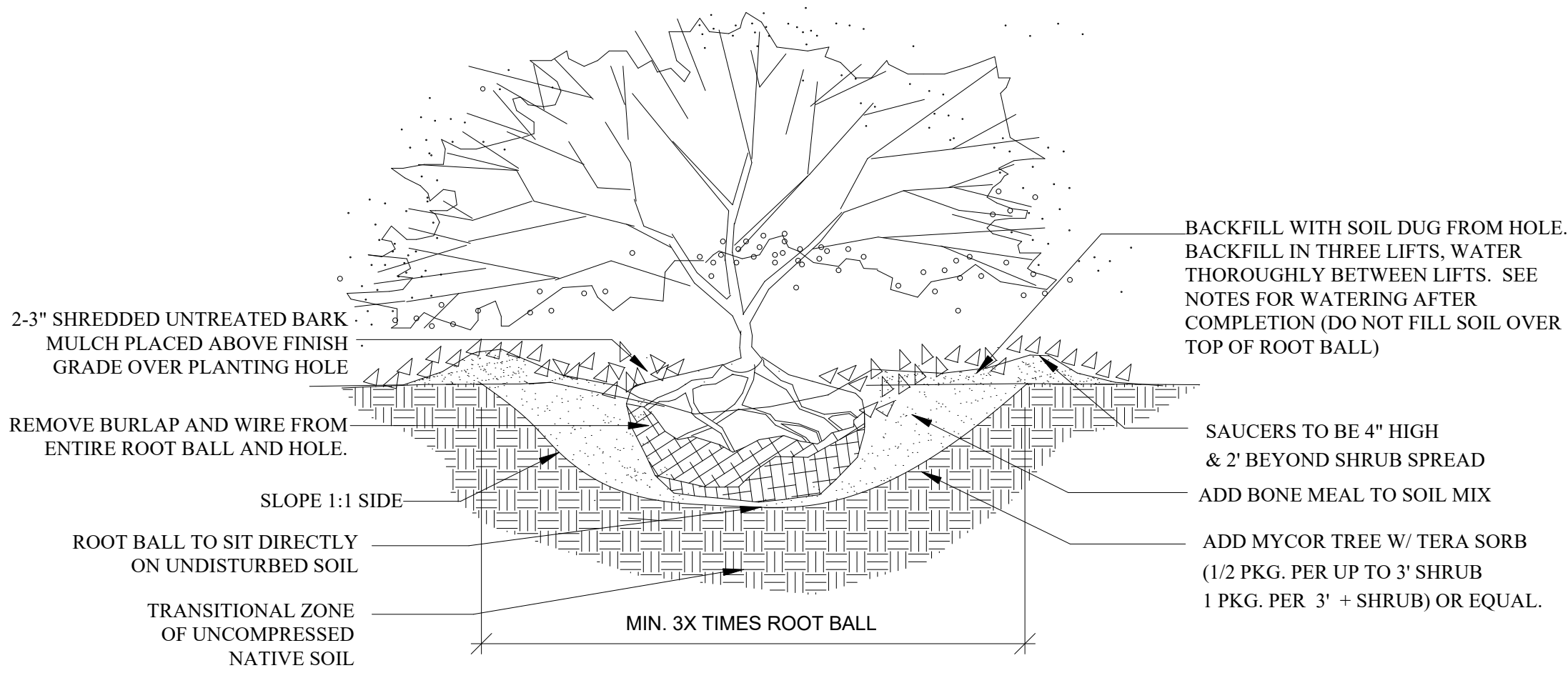
Sheet No.

L-1





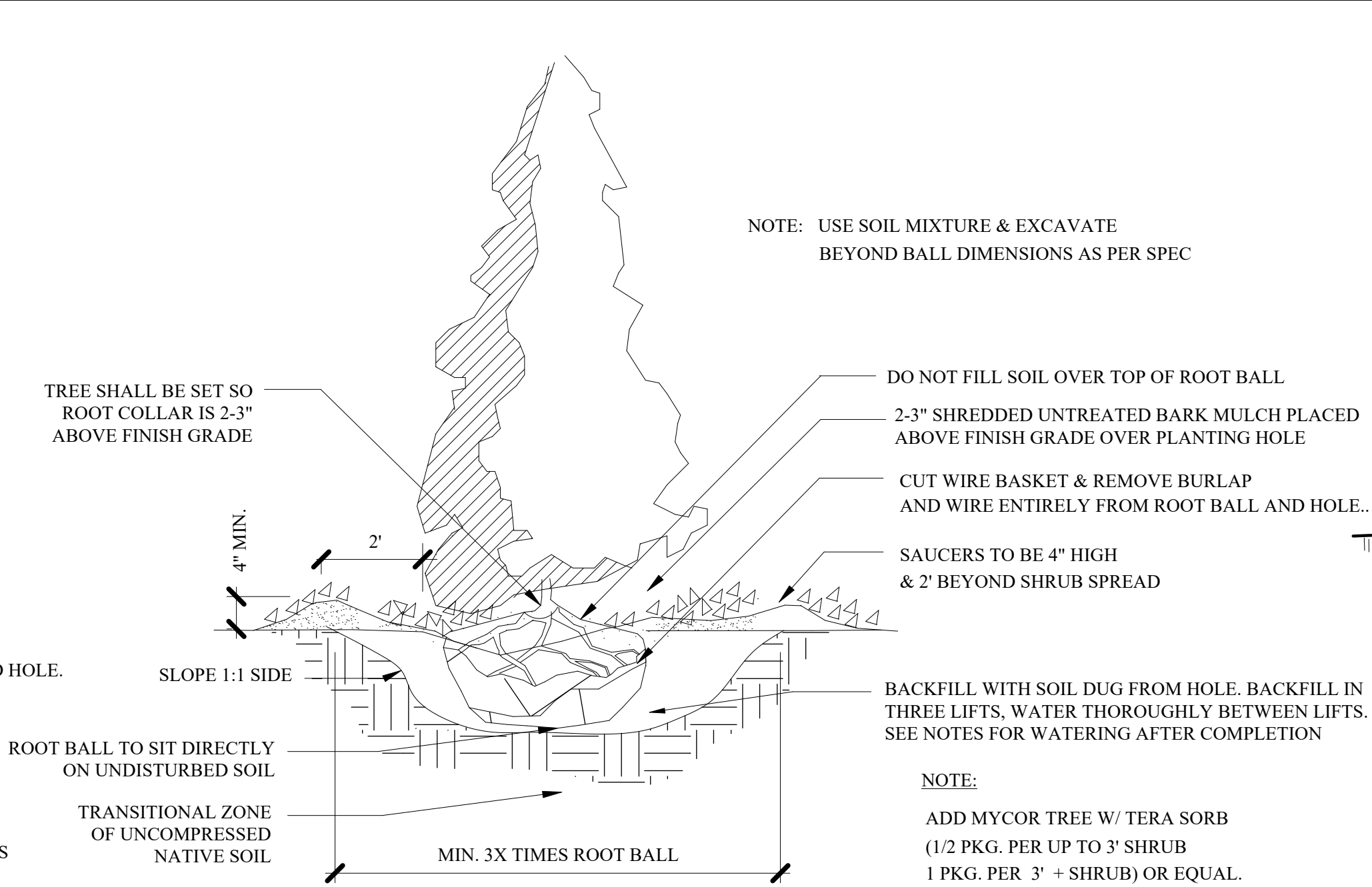
1  
L-2  
TREE PLANTING - 2"+ CAL.  
SCALE: NTS



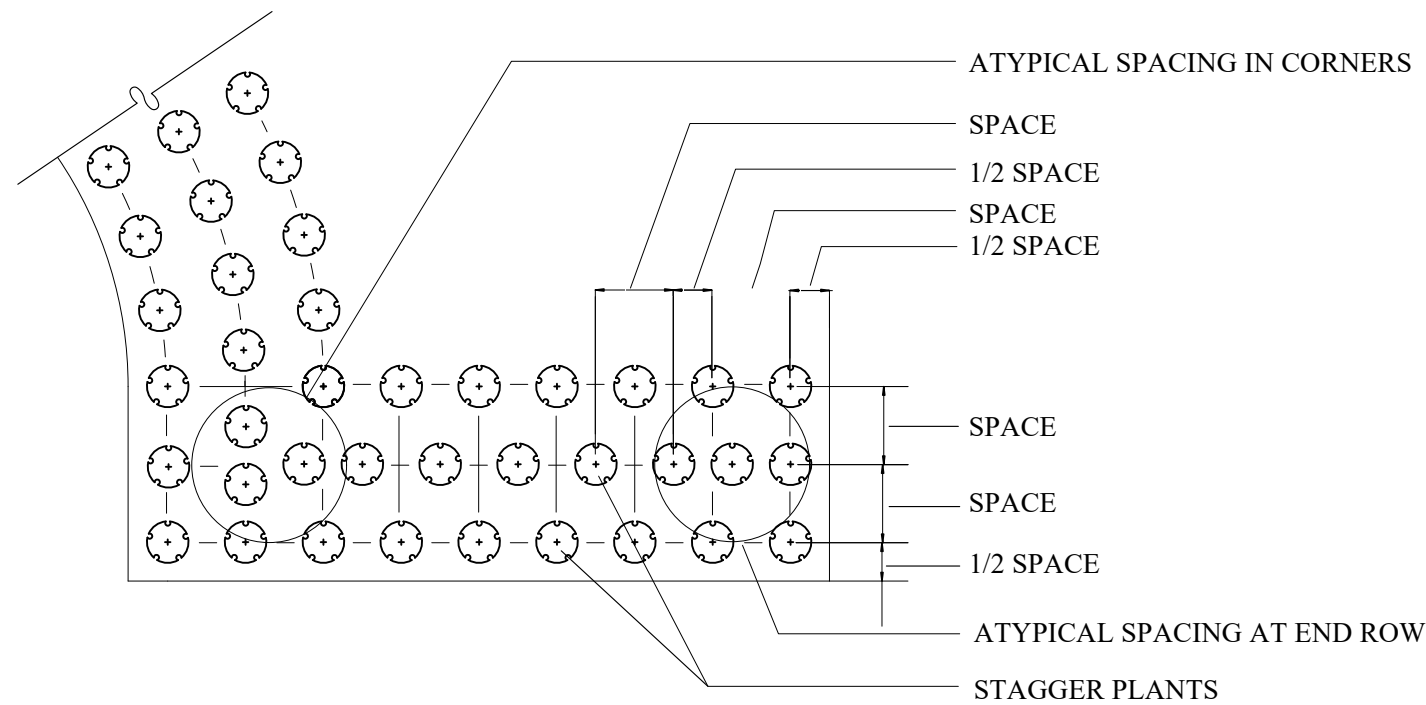
4  
L-2  
B&B SHRUB PLANTING  
SCALE: NTS

CITY OF PORTSMOUTH PLANTING REQUIREMENTS

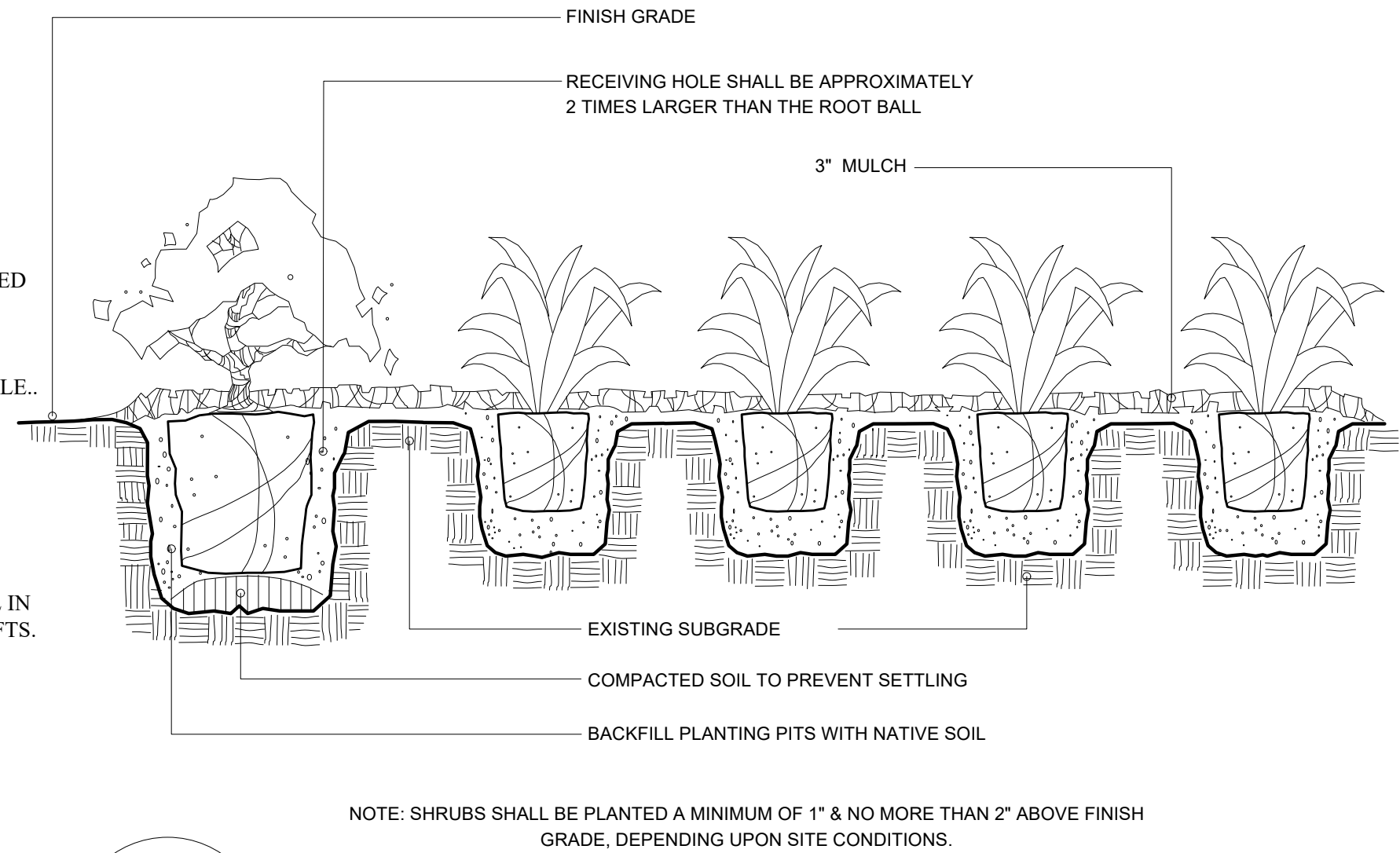
1. All planting holes shall be dug by hand- NO MACHINES. The only exceptions are new construction where new planting pits, planting beds with granite curbing, and planting sites with Silva Cells are being created. If a machine is used to dig in any of these situations and planting depth needs to be raised the material in the bottom of the planting hole MUST be firmed with machine to prevent sinking of the root ball.
2. ALL Wire and Burlap shall be removed from the root ball AND planting hole.
3. The root ball of the tree shall be worked so that the root collar of the tree is visible and no girdling roots are present.
4. The root collar of the tree shall be 2"-3" above grade of planting hole for finished depth.
5. All plantings shall be backfilled with soil from the site and amended no more than 20% with Organic Compost. The only exceptions are new construction where engineered soil is being used in conjunction with Silva Cells and where new planting beds are being created.
6. All plantings shall be backfilled in three lifts and ALL lifts shall be watered so the planting will be set and free of air pockets- NO EXCEPTIONS.
7. An earth berm shall be placed around the perimeter of the planting hole except where curbed planting beds or pits are being used.
8. 2"-3" of mulch shall be placed over the planting area.
9. At the time the planting is complete the planting shall receive additional water to ensure complete hydration of the roots, backfill material and mulch layer.
10. Stakes and guys shall be used where appropriate and/or necessary. Guy material shall be nondamaging to the tree.
11. All planting stock shall be specimen quality, free of defects, and disease or injury. The City of Portsmouth, NH reserves the right to refuse/reject any plant material or planting action that fails to meet the standards set forth in the ANSI A300 Part 6 Standard Practices for Planting and Transplanting and/or The City of Portsmouth, NH Planting Requirements.



2  
L-2  
PYRAMIDAL EVERGREEN TREE PLANTING  
SCALE: NTS



5  
L-2  
GROUND COVER SPACING DETAIL  
SCALE: NTS



3  
L-2  
SHRUB/GROUND COVER PLANTING DETAIL  
SCALE: NTS

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
12. FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
13. LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
14. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
15. ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
16. FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
17. LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
18. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
19. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH.
20. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.

NOTE: 6 INCHES OF TOPSOIL WITH 25% COMPOST  
TO BE ADDED TO ALL PLANTING AREAS

PLEASE NOTE: SHEET SIZE IS SCALED FOR ASME D . DO NOT REDUCE OR ENLARGE.

terra firma  
landscape architecture



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603.551.9109 | terence@terrafirmalandarch.com

Portsmouth Music  
Arts Center  
973 Islington St  
Portsmouth, NH 03801

Project Title



Landscape Architect

Scale

(SEE DETAILS)

REV DATE DESCRIPTION

NO. DATE ISSUE NOTE

Project Manager Drawn By

Date 2/3/2026 Reviewed By

Project ID Portsmouth Music Arts Center

Sheet Title

Landscape Details

Sheet No.

L-2





280 MARCY STREET  
PORTSMOUTH, NEW HAMPSHIRE, 03801

PROJECT NO: 1039

CLIENT

SCHLEYER FOUNDATION  
PO BOX 222  
RYE BEACH, NH 03871  
603-531-3075

PORTSMOUTH MUSIC & ARTS CENTER (PMAC)  
973 ISLINGTON STREET  
PORTSMOUTH, NH 03801  
603.431.4278

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ALTUS ENGINEERING  
133 COURT ST  
PORTSMOUTH NH 0380  
(603) 433-2335

MEP ENGINEERING  
PETERSEN ENGINEERING  
127 PARROTT AVE  
PORTSMOUTH, NH 03801  
(603) 436-4233

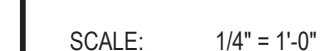
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## PLANNING BOARD

## REVISIONS

[illegible]

## FLOOR PLANS



DATE: 02/03/2026

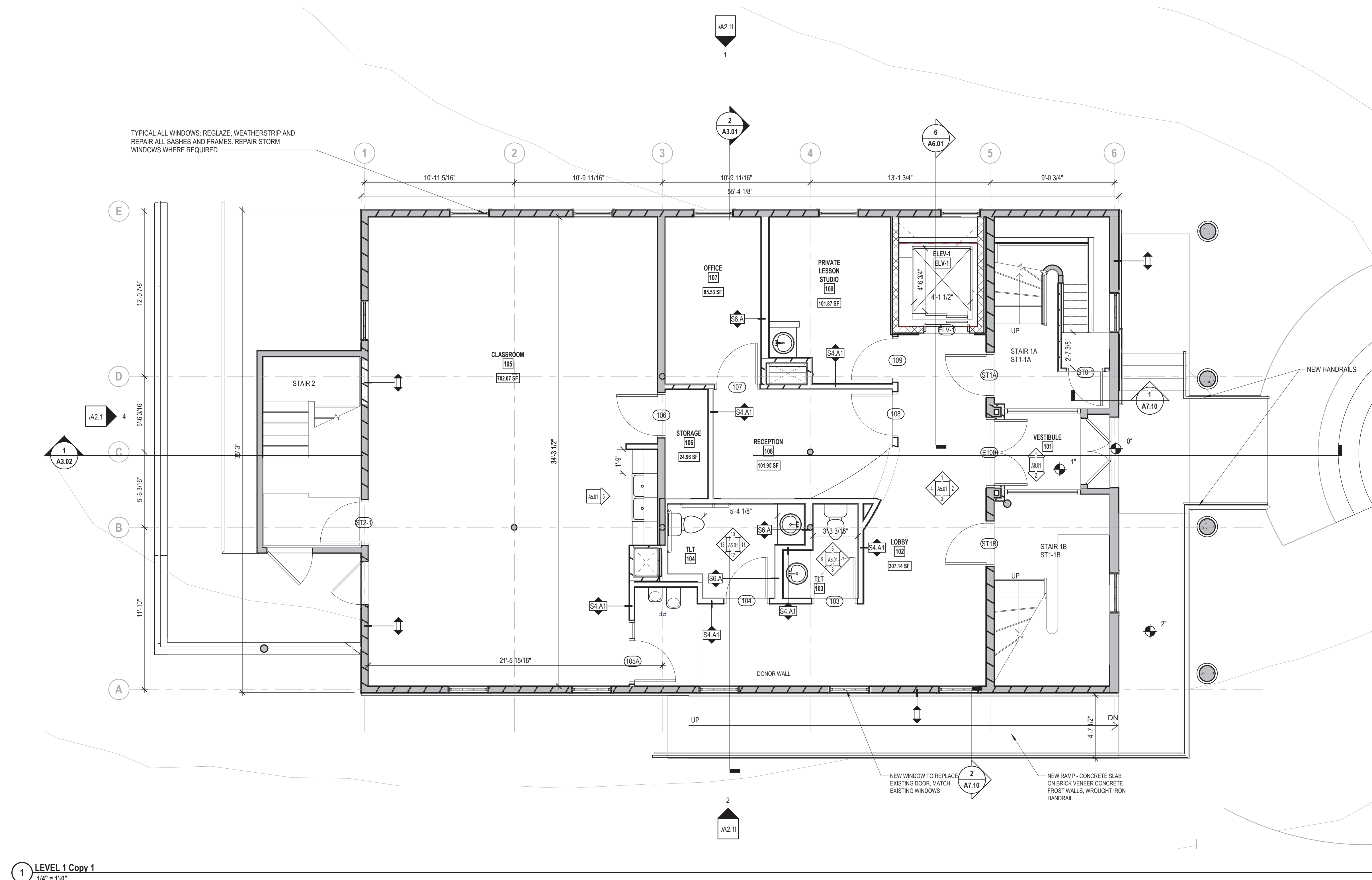
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CHECKED: Checker

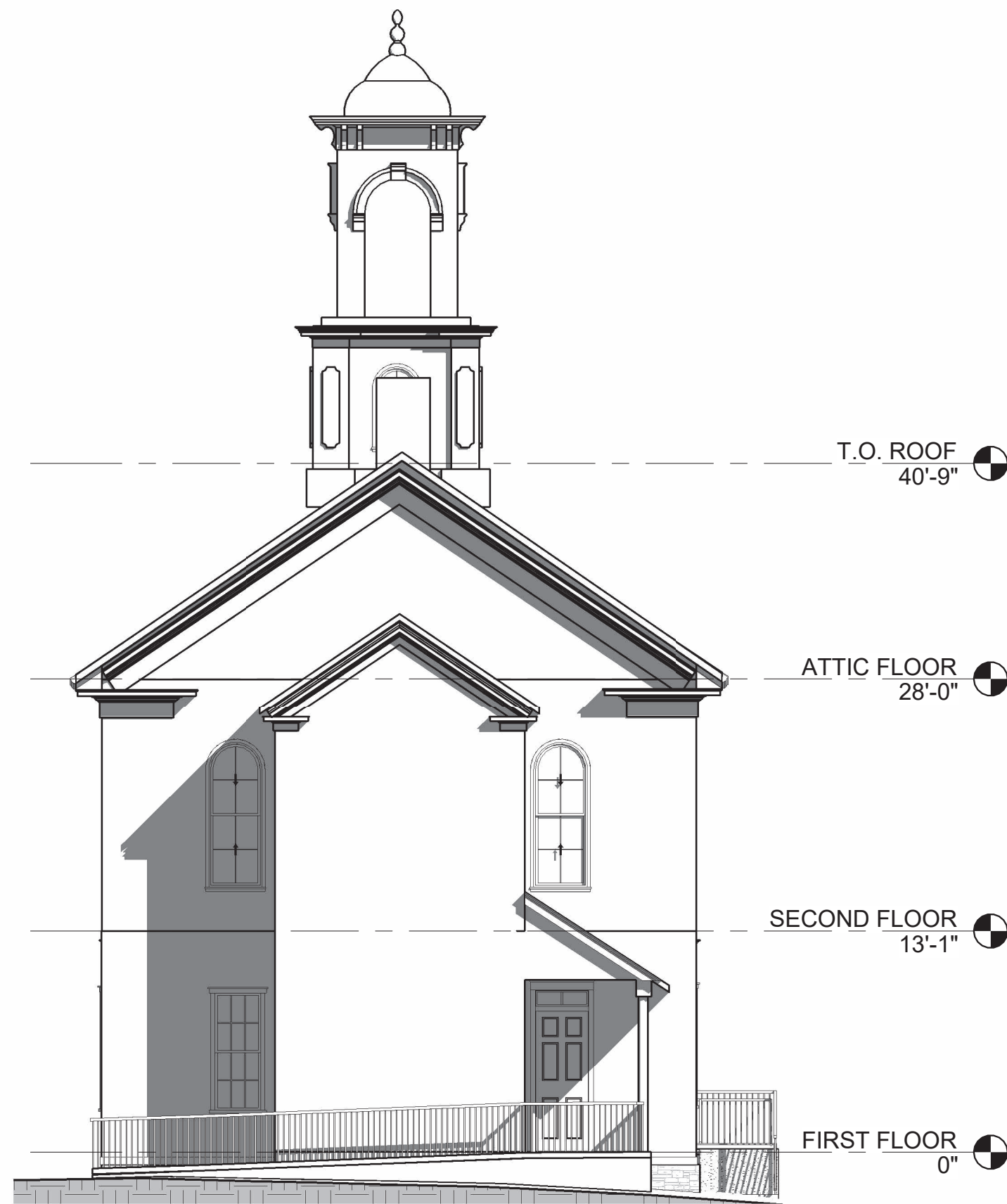
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## A1.2

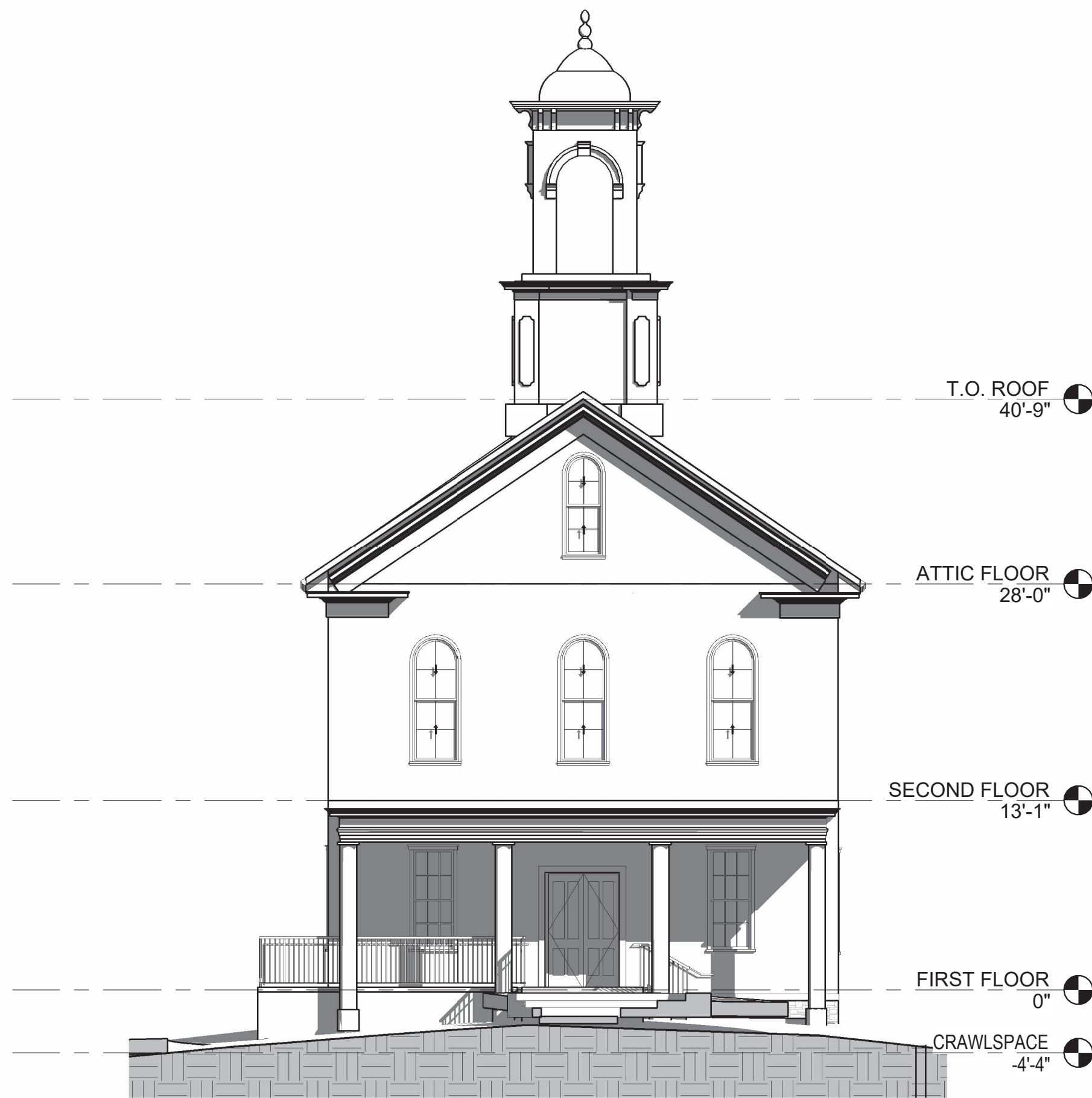
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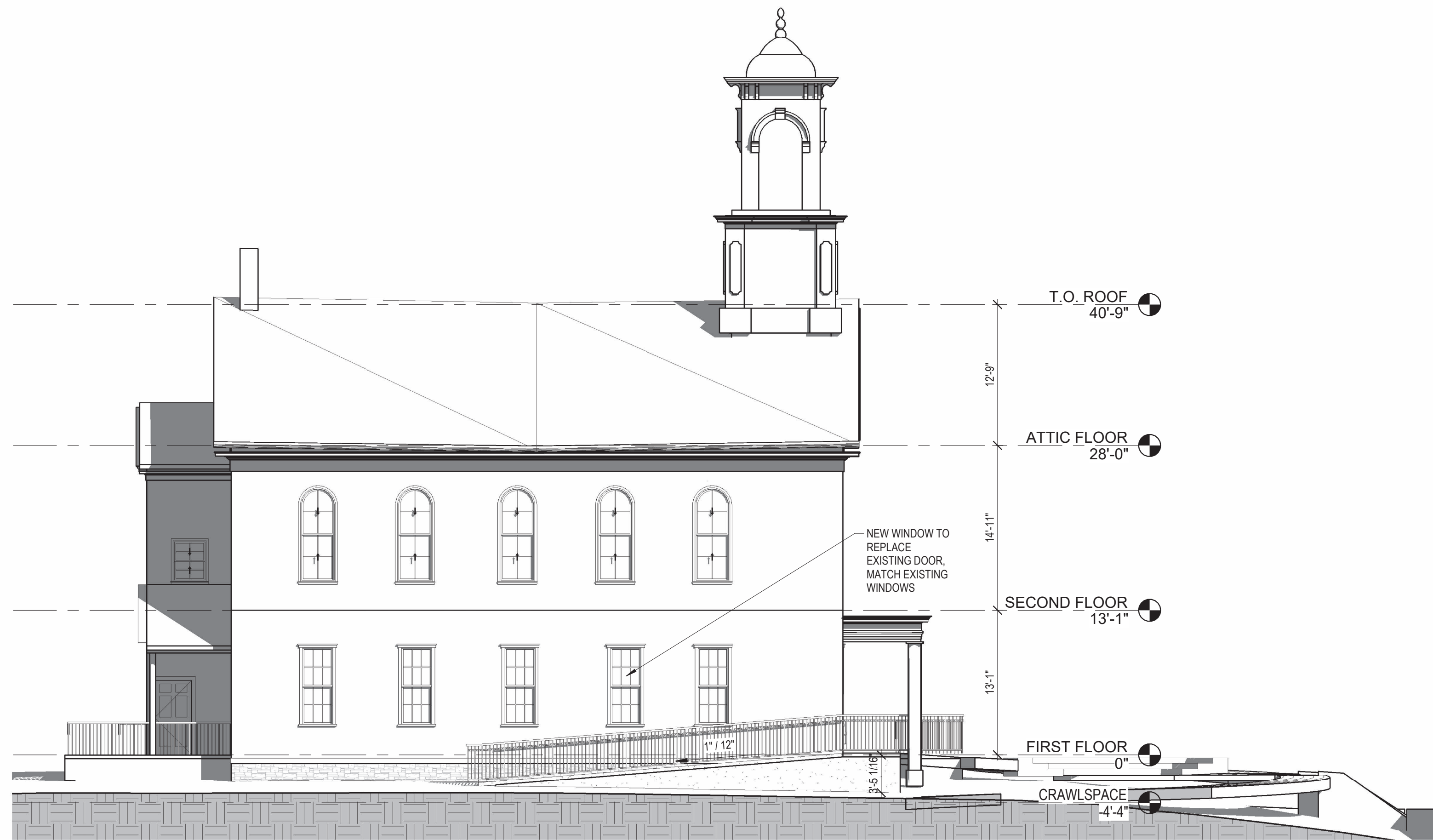




4 WEST ELEVATION PB  
1/8" = 1'-0"



3 EAST ELEVATION PB  
1/8" = 1'-0"



2 SOUTH ELEVATION PB  
1/8" = 1'-0"



1 NORTH ELEVATION PB  
1/8" = 1'-0"



3 CONGRESS ST., SUITE 1  
PORTSMOUTH, NH 03801  
603.988.0042  
www.ARCove.com

## SOUTH MEETING HOUSE, PMAC VISUAL ARTS SCHOOL

280 MARCY STREET  
PORTSMOUTH, NEW HAMPSHIRE, 03801

PROJECT NO: 1039

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### STAMP

### PLANNING BOARD

#### REVISIONS

NO.	DATE	DESCRIPTION

## ELEVATIONS



SCALE: 1/8" = 1'-0"

DATE: 02/03/2026

DRAWN: Author

CHECKED: Checker

# A2.1