

**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

February 3, 2026

Peter Britz, Planning and Sustainability Director
City of Portsmouth Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Request for TAC Work Session
Assessor's Map 103, Lot 48
280 Marcy Street
Altus Project No. 5691**

Dear Peter,

On behalf of Portsmouth Music and Arts Center (PMAC) and The Schleyer Foundation, applicants, Altus Engineering submits a request to present an application for renovations to The South Meeting House at 280 Marcy Street. The parcel is owned by the City of Portsmouth and lies within the Municipal Zoning District which makes it exempt from all dimensional and intensity regulations.

The Schleyer Foundation has an agreement with the City. They are the lessee. PMAC has a sublease with The Schleyer Foundation and will occupy the premises.

PMAC proposes to expand their visual arts use by relocating from their Islington Street facility to The South Meeting House. Their initial plans include:

- A. **Classroom and Studio Spaces:** Our design includes 2 flexible, state-of-the-art visual arts classrooms that can accommodate 10-15 students each, a digital visual arts classroom that can accommodate 8-10 students, and 2 small studio spaces designed for 1:1 instruction. These spaces will cater to students of all ages and skill levels, with a focus on fostering creativity and skill development in children and teenagers residing in Portsmouth and the surrounding communities. Visual arts educational offerings in this building will be focused on drawing, painting, photography, digital arts (including photography, film making, and animation), and more.
- B. **Teaching Gallery Space:** A dedicated teaching gallery on the second floor will be open to the public on a regular schedule. The gallery will showcase rotating exhibitions that feature artwork by PMAC students, teaching artists, visiting educators, and occasional community shows. Students will be able to learn the theories and practices of gallery management, exhibition development and artist relations. We envision a versatile layout that can accommodate a variety of art forms, from paintings and sculptures to multimedia installations, enriching and encouraging cultural dialogue amongst our students and within the greater Portsmouth community.

C. **Administrative Office:** An administrative office for staff and teaching artists

D. **Restrooms:** Two first floor restrooms and one second floor restroom.

Most of the improvements will be in the interior of the structure. Minor exterior improvements include:

- Restriping the parking stalls
- Relocating the handicap accessible access to the building
- Adding a parking stall on the south side of the property
- Adding bicycle racks for patrons
- Constructing a new retaining wall
- Landscape improvements
- Replacing deteriorated curb with City owned used curb

Enclosed please find the following plans for discussion at the February 10th TAC Work Session:

- Preliminary Existing Conditions Plan
- Preliminary Site Plan
- Preliminary Grading Plan
- Landscape Plan (2 sheets)
- Architectural first floor plan and Elevations (2 sheets)

Please feel free to call or email me directly should you have any questions or need any additional information.

Respectfully submitted,

ALTUS ENGINEERING, LLC



Enclosure

eCopy: Russ Grazier, PMAC
David Schleyer, The Schleyer Foundation
Terrence Parker, TFLA
Tracy Kozak, Arcove
Meghan Boland, Chinburg Builders

wde/5691.00 ws cvr ltr.docx

Schleyer Foundation

P.O. Box 222
Rye Beach, New Hampshire 03871
603-502-4987
dschleyer@chinburg.com

Date: 02/03/2026

Re: Authorization to Perform Engineering and Design Services
Property: South Meeting House, 280 Marcy Street, Portsmouth, NH

To Whom It May Concern,

At its November 16 City Council meeting, the City of Portsmouth authorized the Schleyer Foundation to proceed with planning and design efforts related to the proposed reuse of the South Meeting House, located at 280 Marcy Street, Portsmouth, New Hampshire.

Accordingly, this letter authorizes the following consultants, acting on behalf of the Schleyer Foundation, to access the property for the purpose of performing planning, engineering, and design-related services in support of the project:

- **Petersen Engineering**
- **Altus Engineering**
- **Terrance Parker, Landscape Architect**

Authorized activities may include site visits, existing conditions assessments, field measurements, engineering evaluations, and preparation of preliminary planning and design documents. All work shall be non-invasive unless otherwise approved by the City and shall be conducted in a manner that minimizes disruption to the property.

This authorization is issued solely for planning and design purposes. The City of Portsmouth retains full ownership of the property, and this letter does not convey any leasehold interest, right of possession, or ownership interest.

This authorization shall remain in effect until May 31, 2026, or until execution of a lease between the City of Portsmouth and the Schleyer Foundation, whichever occurs first.

Please feel free to contact me if you have any questions.

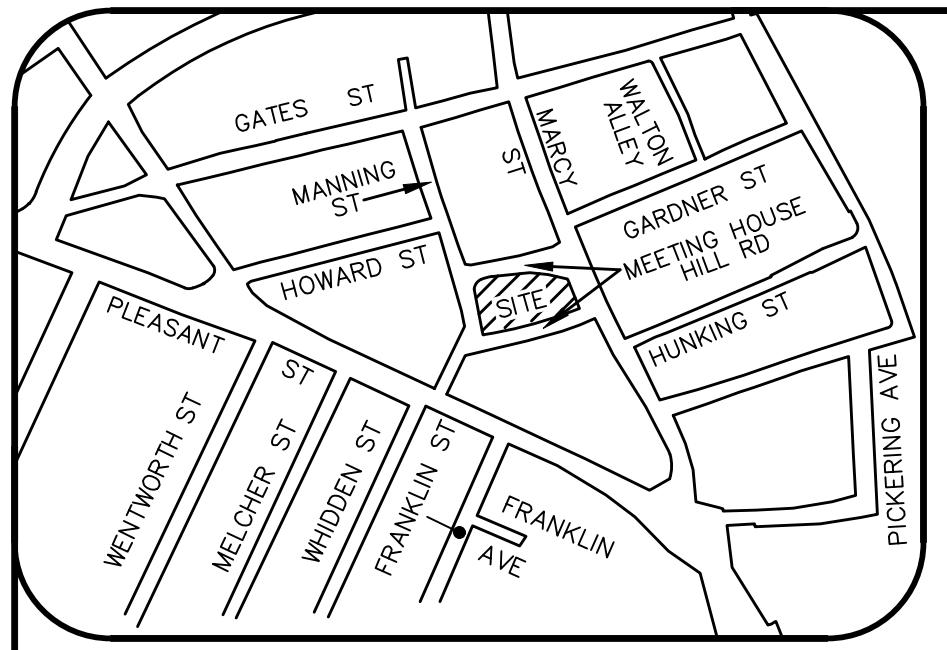
Sincerely,



Dave Schleyer

Trustee

Schleyer Foundation



LOCUS
(N.T.S.)

LEGEND

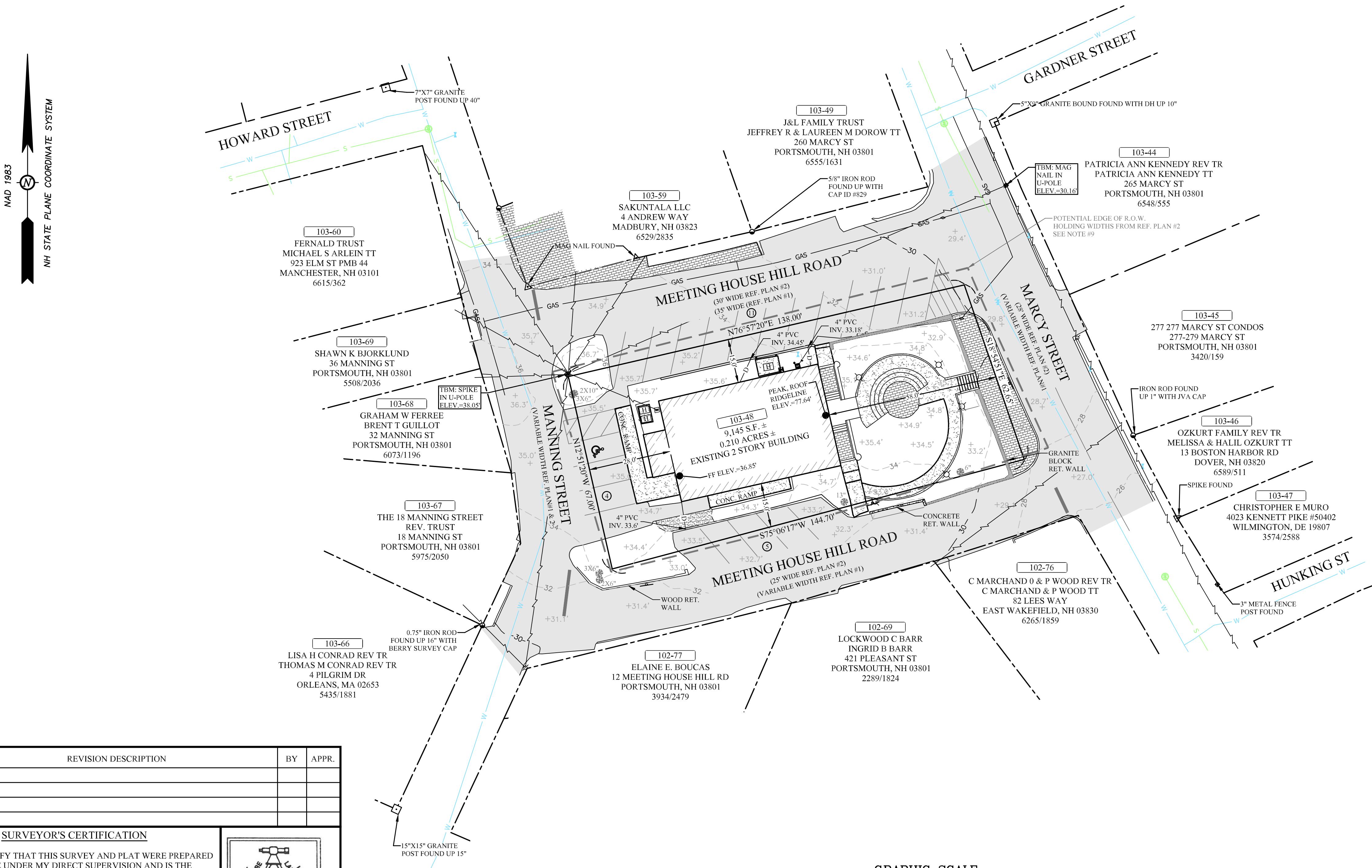
—	BOUNDARY LINE
- - -	MINOR CONTOUR
- - -	MAJOR CONTOUR
—	BOUNDARY ABUTTER
—	DRAIN LINE
—	WATER LINE
—	SEWER LINE
—	GAS LINE
□	GRANITE BOUND FOUND
△	MAG NAIL / SPIKE FOUND
○	IRON ROD FOUND
◊	METAL FENCE POST FOUND
◆	TEMPORARY BENCHMARK
■	UTILITY POLE
■	WATER VALVE
■	GAS VALVE
—	SIGN
—	DRAIN INVERT
—	LIGHT POLE
—	SEWER MANHOLE
—	TREE
—	ELECTRIC METER
—	GAS METER
—	ELECTRIC BOX
—	BOLLARD
—	HANDICAPPED PARKING
—	HVAC
—	GRAVEL
—	CONCRETE
—	BRICK
—	PAVEMENT

PLAN REFERENCES:

- "PLAN OF MEETING HOUSE HILL IN PORTSMOUTH N.H." PREPARED BY A.M. HOYT, SURVEYOR. DATED 1866. ON FILE WITH THE CITY OF PORTSMOUTH.
- "CITY OF PORTSMOUTH, LOCATION PLAN AND FOUNDATION FOR AN ELEVATED WATER TOWER 1,000,000 GALS. CAP." PREPARED BY L.E. SCRUTON, C.E., W.L. HASKELL, C. SPAULDING, COPYIST, DATED 1935. ON FILE WITH THE CITY OF PORTSMOUTH.
- "BOUNDARY PLAN 11 MEETING HOUSE HILL ROAD PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 59 FOR SAKUNTALA, LLC." PREPARED BY THIS OFFICE. DATED 8/10/2024. RECORDED AT R.C.R.D AS PLAN D-44650.
- "CONDOMINIUM SITE PLAN 353 & 355 PLEASANT STREET PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 64. FOR 355 PLEASANT STREET LLC. PREPARED BY THIS OFFICE DATED 5/29/2024. RECORDED AT R.C.R.D AS PLAN D-44527.
- "BOUNDARY PLAN SAKUNTALA, LLC, 235 MARCY STREET PORTSMOUTH, NEW HAMPSHIRE TAX MAP 103 LOT 12 FOR SHIVA NANDA." PREPARED BY THIS OFFICE. DATED 7/5/2024. RECORDED AT R.C.R.D AS PLAN D-44601.

NOTES:

- OWNER OF RECORD: CITY OF PORTSMOUTH ADDRESS: 280 MARCY STREET, 03801 DEED REFERENCE: BK: 397 PG: 397 TAX SHEET / LOT: 103 / 48
- ZONED: MUNICIPAL (M)
LOTS AND BUILDINGS IN THE MUNICIPAL DISTRICT ARE EXEMPT FROM ALL DIMENSIONAL AND INTENSITY REGULATIONS.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SUBJECT PARCELS, BOUNDARY INFORMATION AND THE IMPROVEMENTS THEREON.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD83, VERTICAL DATUM: NAVD88. ESTABLISHED BY SURVEY GRADE GPS OBSERVATIONS. UNITS: US SURVEY FOOT.
- THE PLAN IS BASED UPON A FIELD SURVEY COMPLETED IN SEPTEMBER / OCTOBER 2025 WITH TRIMBLE S5 ROBOTIC TOTAL STATION, CARLSON BRX7 RTK GPS UNITS, PANASONIC FZ-M1/TRIMBLE TSC7 DATA COLLECTORS.
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.
- THE BOUNDARY SHOWN IS BASED ON REFERENCE PLAN #1, HOLDING THE TIE DIMENSIONS OFF OF THE BUILDING LINES. THE DASHED GRAY LINE IS A POTENTIAL R.O.W. (RIGHT-OF-WAY) LINE BASED ON REFERENCE PLAN #2 AND HOLDING THE ESTABLISHED R.O.W. ACROSS THE STREET. THE CITY OF PORTSMOUTH COULD RELAY OUT THE EXISTING R.O.W. TO REESTABLISH THE WIDTH TO DEFINE THE LIMITS OF THE MEETINGHOUSE LOT FOR FUTURE USE.



EXISTING CONDITIONS PLAN
THE SOUTH MEETINGHOUSE

280 MARCY ST

PORTSMOUTH, NEW HAMPSHIRE

TAX MAP 103 LOT 48

PREPARED FOR: THE SCHLEYER FOUNDATION
LAND OF: CITY OF PORTSMOUTH

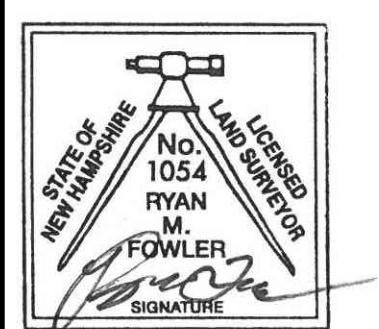
No.	DATE:	REVISION DESCRIPTION	BY	APPR.

SURVEYOR'S CERTIFICATION

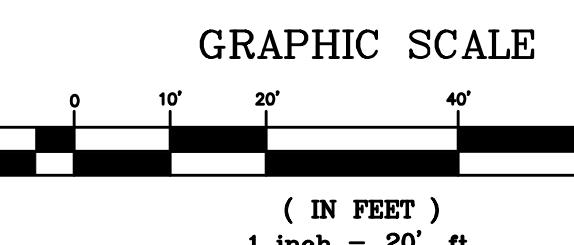
"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."

Ryan Verra

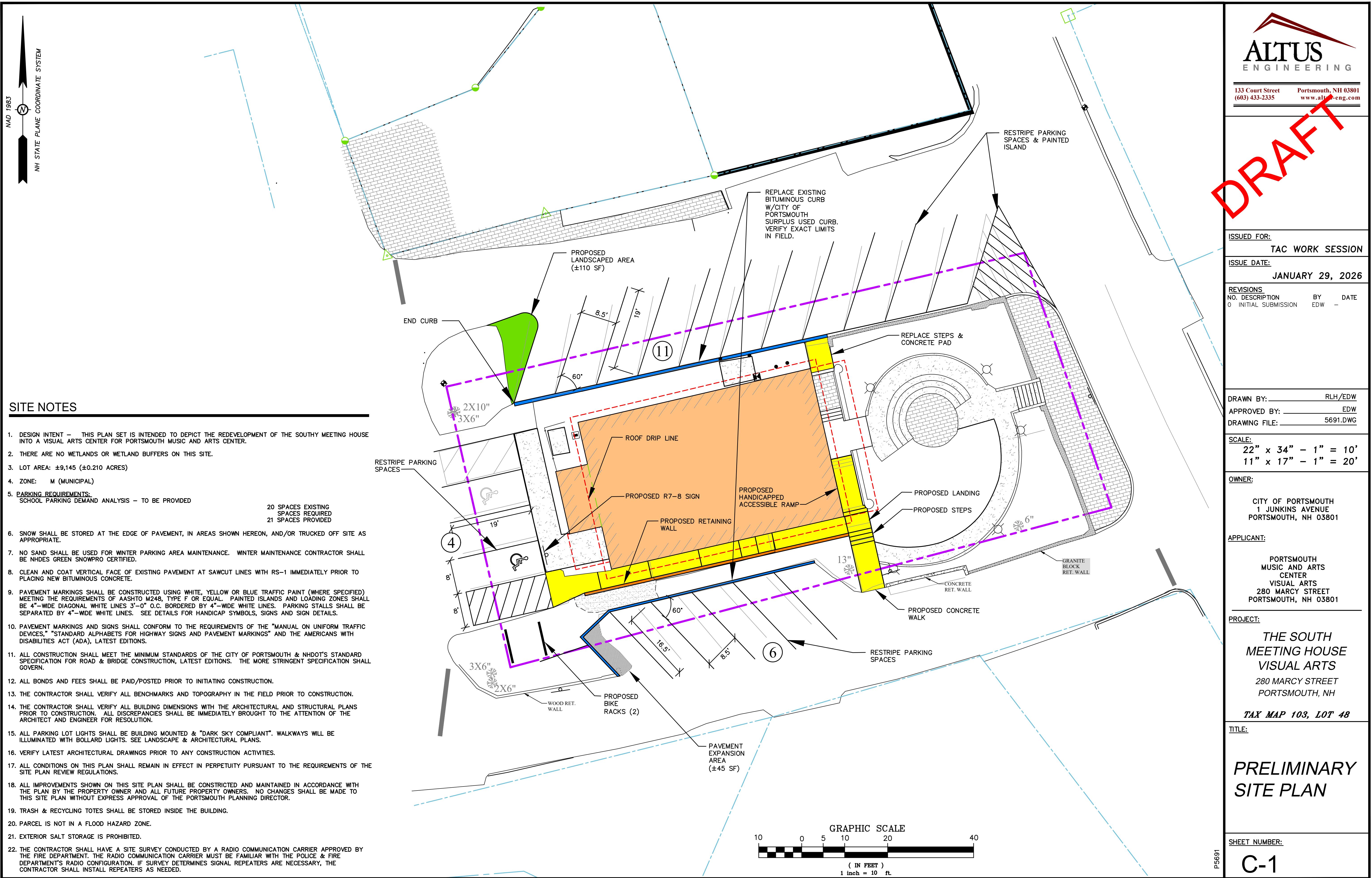
11/20/2025



LICENSED LAND SURVEYOR

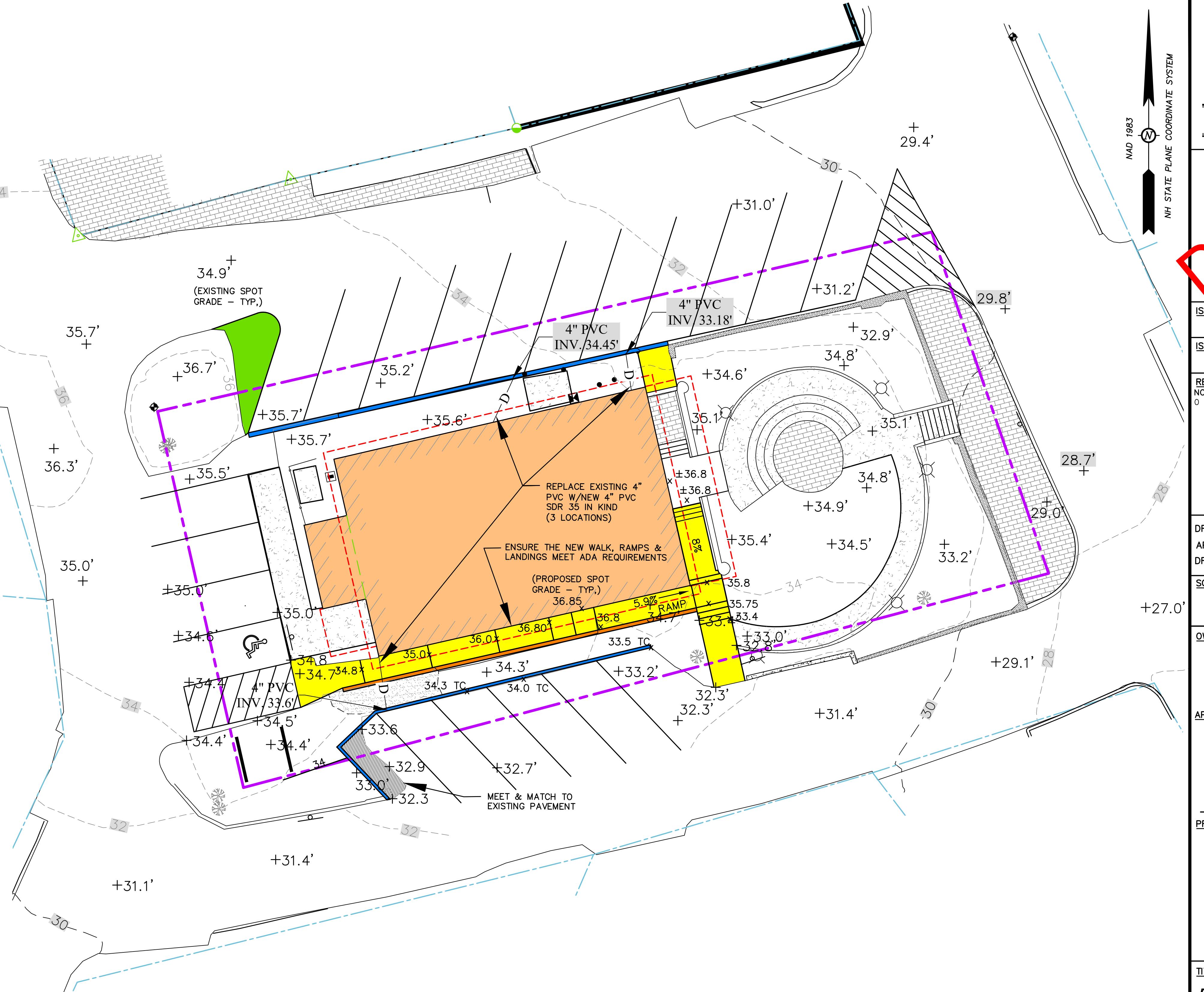


DATE: 11/14/2025	JOB NO. 25-2065
DRWN BY: BJM	CHK'D BY: RMF
DWG NAME: 25-2065-EXCON.DWG	SCALE: 1" = 20'
SHEET: VI	
100 GRIFFIN WAY, UNIT C PORTSMOUTH, N.H., 03801 603-436-3557 - ©2025 www.jvassurveyors.com	



GRADING, EROSION AND SEDIMENT CONTROL NOTES

- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NH DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
- UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBM) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
- PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
- TEMPORARY INLET PROTECTION MEASURES SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS WITHIN 100' OF THE PROJECT SITE WHEN SITE WORK WITHIN CONTRIBUTING AREAS IS ACTIVE OR SAID AREAS HAVE NOT BEEN STABILIZED.
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE Dewatering PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL CPP PIPE SHALL BE ADS N-12 OR APPROVED EQUAL.
- NO EARTHWORK, STUMPING OR GRUBBING SHALL COMMENCE UNTIL ALL APPROPRIATE SEDIMENT AND EROSION CONTROL MEASURES HAVE BEEN INSTALLED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER FOR THE DURATION OF CONSTRUCTION AND THE SITE IS STABILIZED.
- SEE DETAIL SHEETS FOR PERTINENT SEDIMENT AND EROSION CONTROL DETAILS AND ADDITIONAL NOTES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN STANDARDS AND SPECIFICATIONS SET FORTH IN THE NHDES NH STORMWATER MANUAL DATED FEBRUARY 2025 AND AS AMENDED.
- CONTRACTOR SHALL CONTROL DUST BY SPRAYING WATER, SWEEPING PAVED SURFACES, PROVIDING TEMPORARY VEGETATION, AND/OR MULCHING EXPOSED AREAS AND STOCKPILES.
- THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT EROSION, PREVENT SEDIMENT FROM LEAVING THE SITE AND/OR ENSURE PERMANENT SOIL STABILIZATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE SIX (6") INCHES OF COMPAKED LOAM, LIMESTONE, ORGANIC FERTILIZER, SEED, AND MULCH USING APPROPRIATE SOIL STABILIZATION TECHNIQUES.



ALTUS
ENGINEERING

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

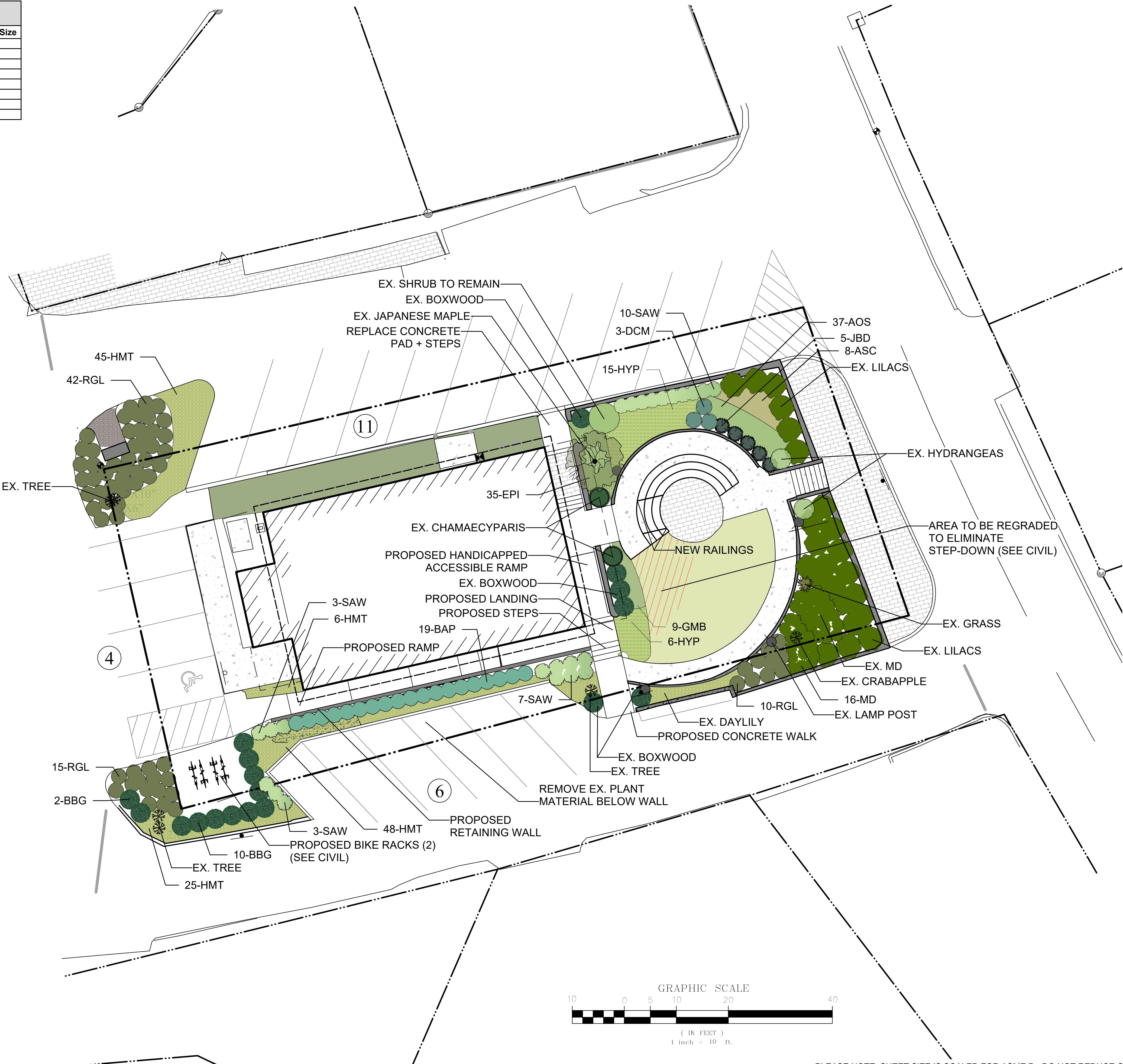
ISSUED FOR:	TAC WORK SESSION		
ISSUE DATE:	JANUARY 29, 2026		
REVISIONS	NO. DESCRIPTION	BY	DATE
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DRAWN BY: RLH/EDW			
APPROVED BY: EDW			
DRAWING FILE: 5691.DWG			
SCALE: 22" x 34" - 1" = 10' 11" x 17" - 1" = 20'			
OWNER: CITY OF PORTSMOUTH 1 JUNKINS AVENUE PORTSMOUTH, NH 03801			
APPLICANT: PORTSMOUTH MUSIC AND ARTS CENTER VISUAL ARTS 280 MARCY STREET PORTSMOUTH, NH 03801			
PROJECT: THE SOUTH MEETING HOUSE VISUAL ARTS 280 MARCY STREET PORTSMOUTH, NH			
TAX MAP 103, LOT 48			
TITLE: PRELIMINARY GRADING, DRAINAGE & EROSION CONTROL PLAN			
SHEET NUMBER: C-2			

Plant List - Trees and Shrubs

ID	Qty	Botanical Name	Common Name	Scheduled Size
BBG	12	Buxus 'Baby Gem'	Baby Gem™ Buxus	3 Gal.
DCM	3	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne	3 Gal.
HAnn	2	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3-4'
HYP	21	Hypericum x 'Hidcote'	Hidcote St. John's Wort	2 Gal.
JBD	5	Juniperus communis depressa 'Blueberry Delight'	Blueberry Delight Juniper	2 Gal.
MD	16	Microbiota decussata	Siberian Cypress	2 QT
RGL	67	Rhus aromatica 'Grow Low'	Grow Low Sumac	18"+ Ht.
SAW	23	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3-4'

Plant List - Perennials

ID	Qty	Botanical Name	Common Name	Scheduled Size
AOS	37	<i>Aster oblongifolius</i> 'October Skies'	Aromatic Aster	1 Gal.
ASC	8	<i>Asclepias incarnata</i>	Swamp Milkweed	1 Gal.
BAP	19	<i>Baptisia australis</i>	Blue False Indigo	1 Gal.
EPI	35	<i>Epimedium rubrum</i>	Barrenwort	1 Gal.
GMB	9	<i>Geranium macrorrhizum</i> 'Bevan's Variety'	Bevan's Variety Geranium	1 Gal.
HMT	124	<i>Hemerocallis</i> 'Mary Todd'	Daylily	1 Gal.

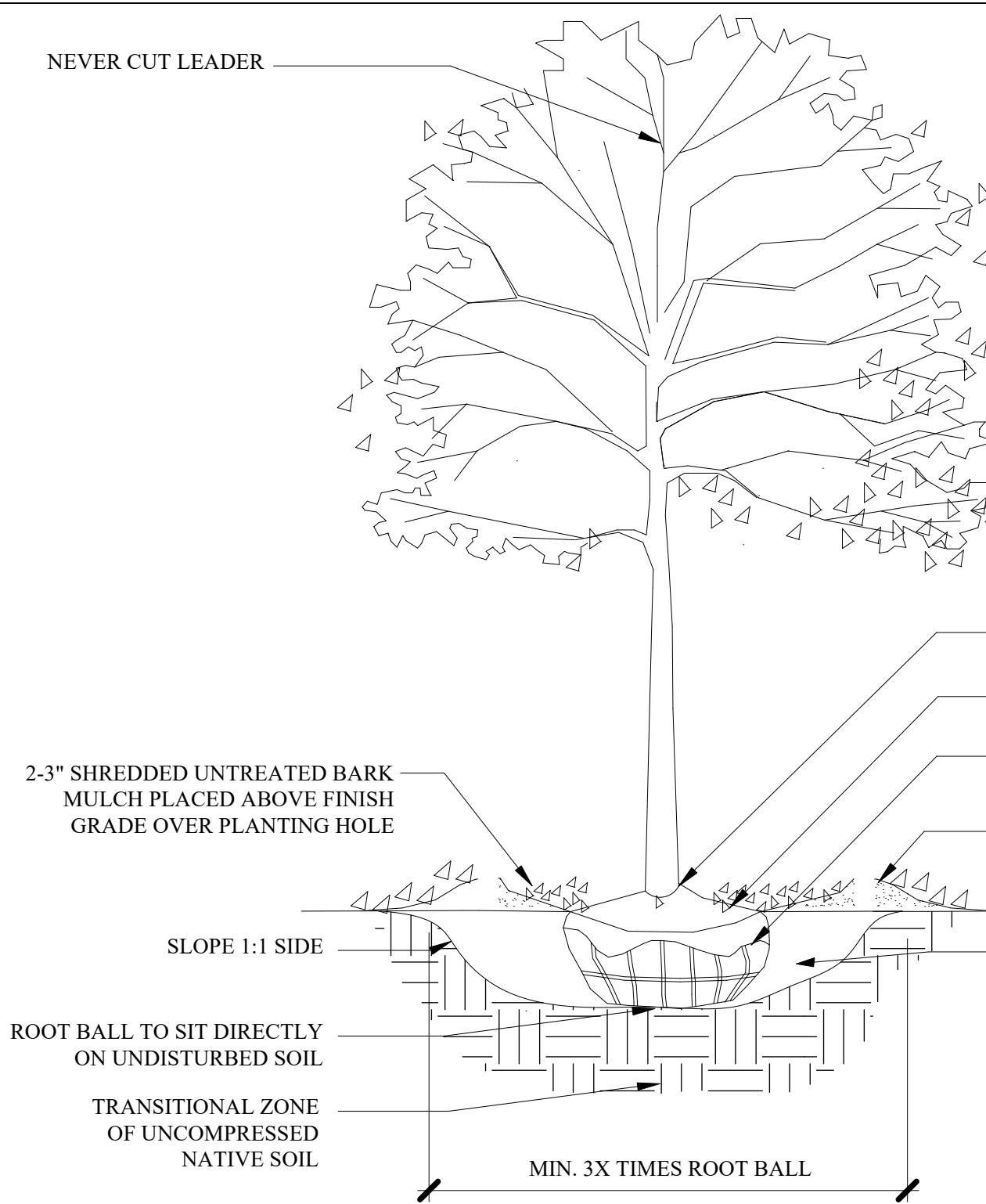


<divPortsmouth Music Arts Center 973 Islington St Portsmouth, NH 03801

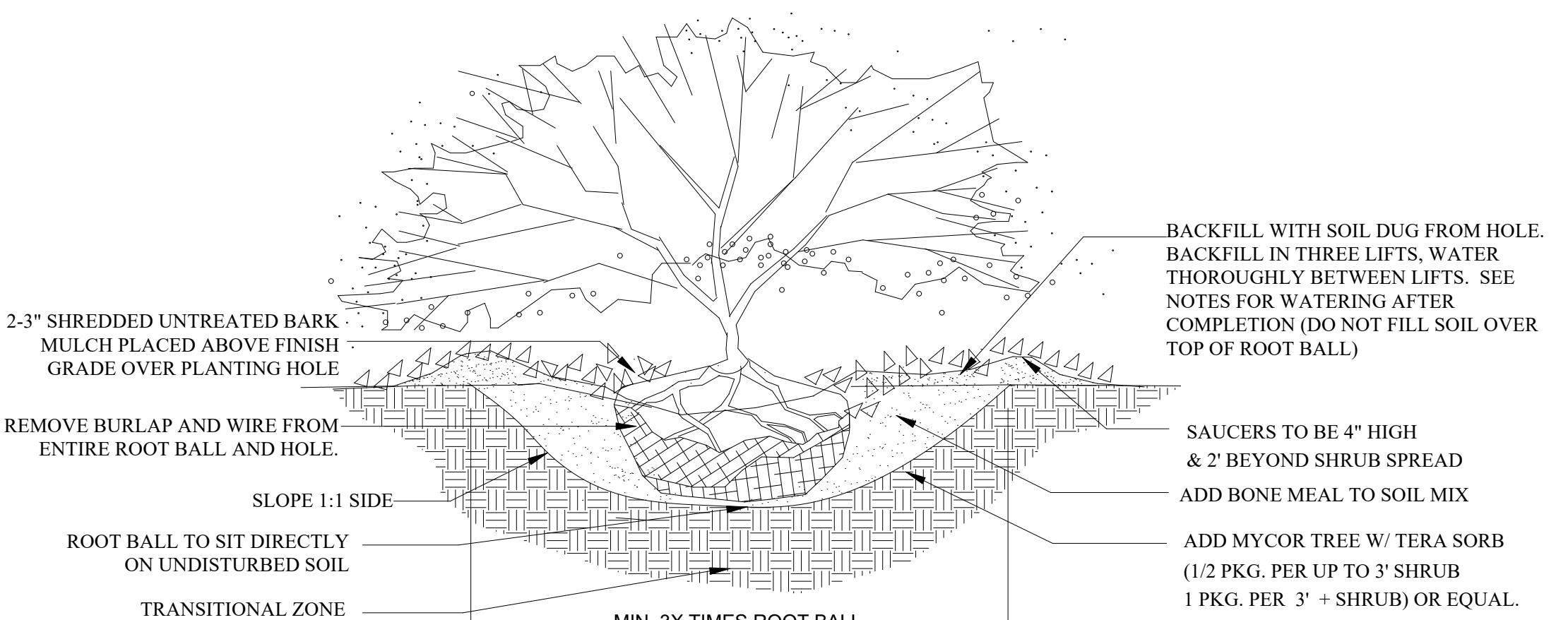
terra firma

163.a Court Street Portsmouth, NH 03801
603.531.9109 | terrence@terrafirmalandarch.com

Project Title PC		
		
Landscape Architect		
Scale (SEE DETAILS)		
REV.	DATE	DESCRIPTION
NO.	DATE	ISSUE NOTE
Project Manager		Drawn By
Date 2/3/2026		Reviewed By
Project ID Portsmouth Music Arts Center		
Sheet Title Landscape Plan		
Sheet No. L-1		



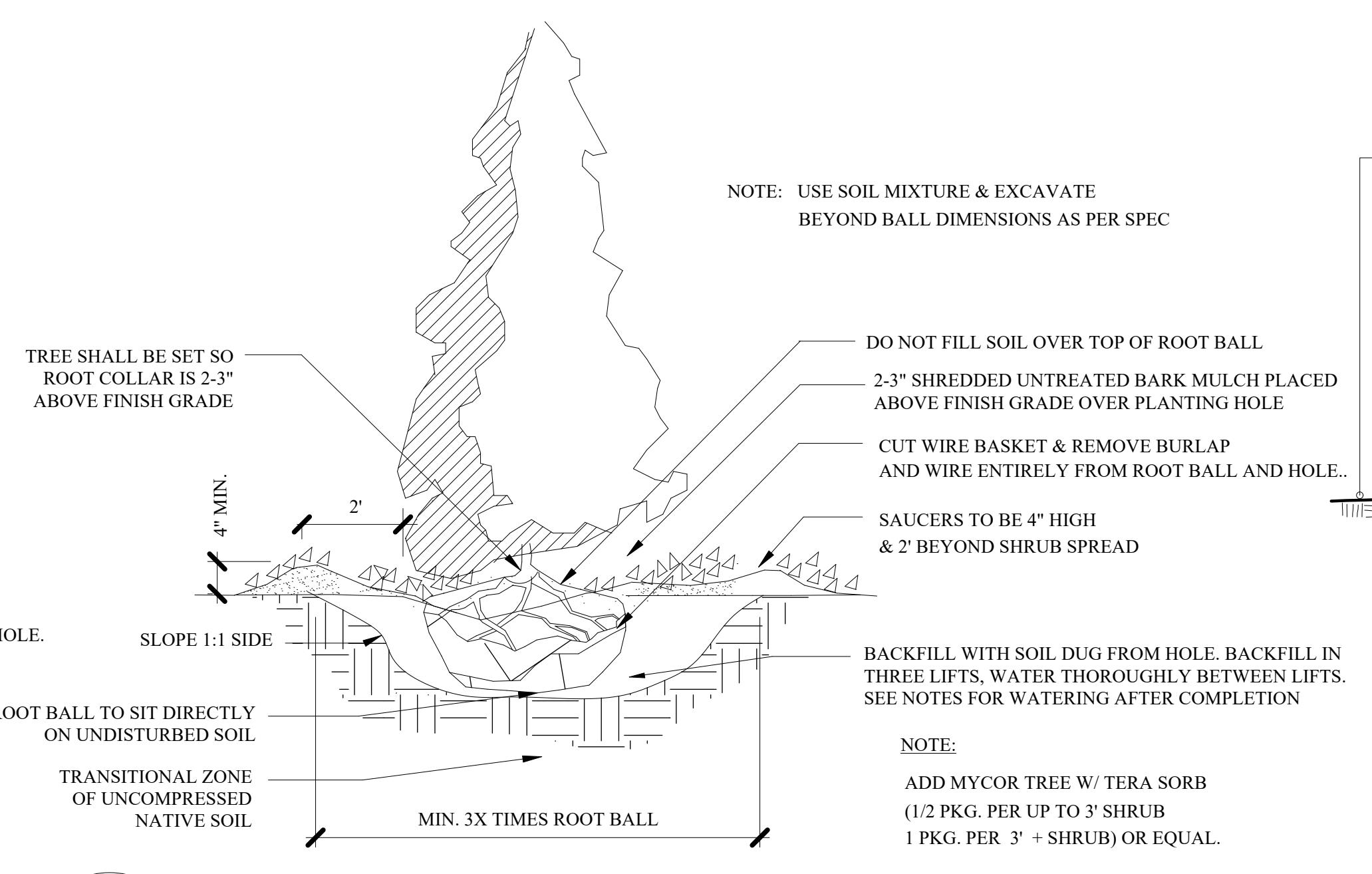
1
L-2
TREE PLANTING - 2"+ CAL.
SCALE: NTS



4
L-2
B&B SHRUB PLANTING
SCALE: NTS

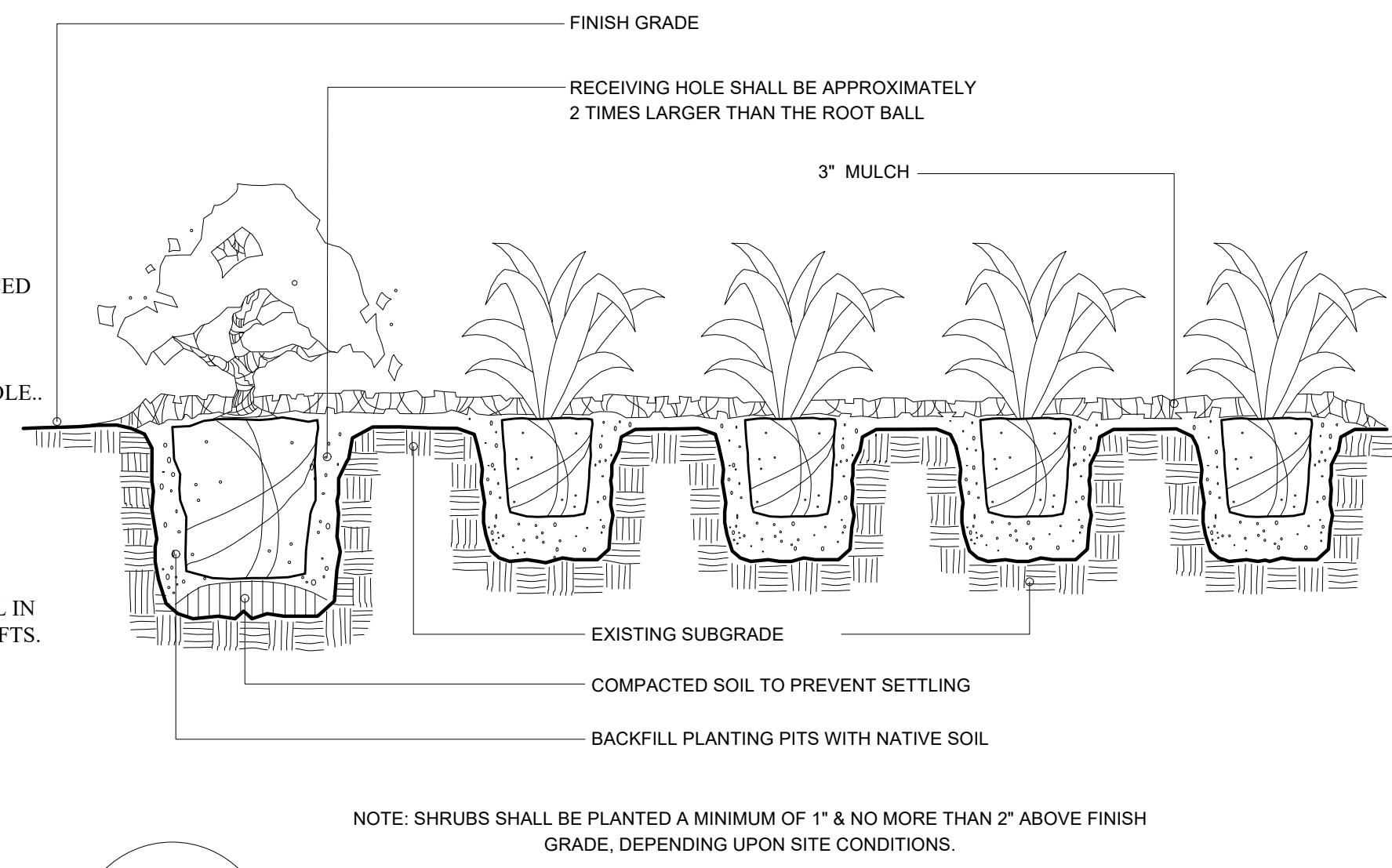
CITY OF PORTSMOUTH PLANTING REQUIREMENTS

- All planting holes shall be dug by hand- NO MACHINES. The only exceptions are new construction where new planting pits, planting beds with granite curbing, and planting sites with Silva Cells are being created. If a machine is used to dig in any of these situations and planting depth needs to be raised the material in the bottom of the planting hole MUST be firmed with machine to prevent sinking of the root ball.
- ALL Wire and Burlap shall be removed from the root ball AND planting hole.
- The root ball of the tree shall be worked so that the root collar of the tree is visible and no girdling roots are present.
- The root collar of the tree shall be 2"-3" above grade of planting hole for finished depth.
- All plantings shall be backfilled with soil from the site and amended no more than 20% with Organic Compost. The only exceptions are new construction where engineered soil is being used in conjunction with Silva Cells and where new planting beds are being created.
- All plantings shall be backfilled in three lifts and ALL lifts shall be watered so the planting will be set and free of air pockets- NO EXCEPTIONS.
- An earth berm shall be placed around the perimeter of the planting hole except where curbed planting beds or pits are being used.
- 2"-3" of mulch shall be placed over the planting area.
- At the time the planting is complete the planting shall receive additional water to ensure complete hydration of the roots, backfill material and mulch layer.
- Stakes and guys shall be used where appropriate and/or necessary. Guy material shall be nondamaging to the tree.
- All planting stock shall be specimen quality, free of defects, and disease or injury. The City of Portsmouth, NH reserves the right to refuse/reject any plant material or planting action that fails to meet the standards set forth in the ANSI A300 Part 6 Standard Practices for Planting and Transplanting and/or The City of Portsmouth, NH Planting Requirements.



2
L-2
PYRAMIDAL EVERGREEN TREE PLANTING
SCALE: NTS

NOTE: USE SOIL MIXTURE & EXCAVATE BEYOND BALL DIMENSIONS AS PER SPEC



3
L-2
SHRUB/GROUND COVER PLANTING DETAIL
SCALE: NTS

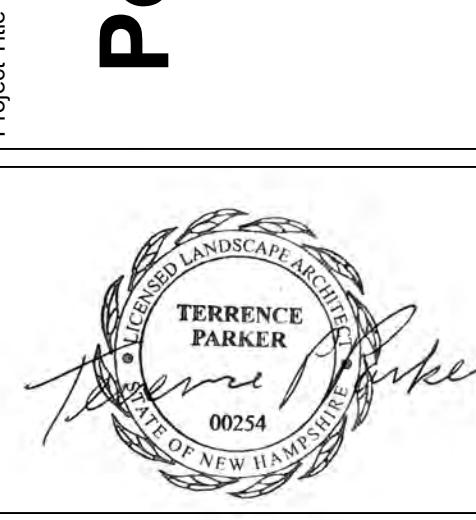
LANDSCAPE NOTES:

- THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED BY THE LANDSCAPE ARCHITECT. IF PLANT SPECIES CULTIVARS ARE FOUND TO VARY FROM THAT SPECIFIED AT ANY TIME DURING THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO HAVE THE CONTRACTOR REPLACE THAT PLANT MATERIAL. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT DELIVERED TO THE SITE FOR AESTHETIC REASONS BEFORE PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE QUALITY FOR ALL THE PLANTS.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING TO CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
- PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
- NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE INSTALLED AND DETAILED PER PROJECT SPECIFICATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
- ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR NOT LESS THAN ONE FULL YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. DURING THIS TIME, THE OWNER SHALL MAINTAIN ALL PLANT MATERIALS IN THE ABOVE MANNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE PLANTS TO ENSURE PROPER CARE. IF THE CONTRACTOR IS DISSATISFIED WITH THE CARE GIVEN, HE SHALL IMMEDIATELY, AND IN SUFFICIENT TIME TO PERMIT THE CONDITION TO BE RECTIFIED, NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OR OTHERWISE FORFEIT HIS CLAIM. LANDSCAPE CONTRACTOR SHALL PRUNE PLANTINGS OF DEAD LIMBS OR TWIGS DURING THE FIRST YEAR OF GROWTH.
- FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT WILL BE MADE UPON THE CONTRACTOR'S REQUEST AFTER ALL CORRECTIVE WORK HAS BEEN COMPLETED.
- LANDSCAPE CONTRACTOR SHOULD REPLACE DEAD PLANTINGS IMMEDIATELY UPON OWNER DIRECTION WITHIN THE WARRANTY PERIOD AND AGAIN AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAVE DIED, THAT HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT ARE, IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN UNHEALTHY OR UNSIGHTLY CONDITION.
- ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS CALLED FOR.
- ALL TREES AND SHRUBS TO BE PLANTED IN MULCH BEDS WITH DEFINED AND CUT EDGES TO SEPARATE TURF GRASS AREAS.
- FOR ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE, REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., THEN APPLY GRASS SEED OR PINE BARK MULCH AS DEPICTED ON PLANS.
- LANDSCAPE CONTRACTOR SHALL FEED AND PRUNE EX. TREES, ON OR JUST OFF SITE, THAT HAVE EXPERIENCED ROOT BASE INTRUSION OR DAMAGE DURING CONSTRUCTION IMMEDIATELY AND FOR THE DURATION OF THE WARRANTY PERIOD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE EDGE OF THE EX. TREE CANOPY THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.

NOTE: 6 INCHES OF TOPSOIL WITH 25% COMPOST
TO BE ADDED TO ALL PLANTING AREAS

PLEASE NOTE: SHEET SIZE IS SCALED FOR ASME D . DO NOT REDUCE OR ENLARGE.

Project Title: Portsmouth Music Arts Center
973 Islington St
Portsmouth, NH 03801



Scale: (SEE DETAILS)

REV. DATE DESCRIPTION

NO. DATE ISSUE NOTE

Project Manager Drawn By

Date: 2/3/2026 Reviewed By

Project ID: Portsmouth Music Arts Center

Sheet Title: Landscape Details

Sheet No. L-2



3 CONGRESS ST., SUITE1
PORTSMOUTH NH 03801
603.988.0042
www.ARcove.com

3 CONGRESS ST., SUITE 1
PORTSMOUTH NH 03801

SOUTH MEETING HOUSE, PMAC VISUAL ARTS SCHOOL

280 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE, 03801

PROJECT NO: 1039

SCHLEYER FOUNDATION
PO BOX 222
RYE BEACH, NH 03871
603-531-3075

PORTRUSH MUSIC & ARTS CENTER (PMAC)
973 ISLINGTON STREET
PORTRUSH, NH 03801
603.431.4278

CONSULTANT

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ALTUS ENGINEERING
133 COURT ST
PORTSMOUTH NH 03801
(603) 432-2005

MEP ENGINEERING
PETERSEN ENGINEERING
127 PARROTT AVE
PORTSMOUTH NH 03801

STAMP

PLANNING BOARD

REVISIONS

FLOOR PLANS

SCALE: 1/4" = 1'-0" 
DATE: 02/03/2026
DRAWN: Author
CHECKED: Checker

A1.2

**SOUTH MEETING
HOUSE, PMAC
VISUAL ARTS
SCHOOL**

280 MARCY STREET
PORTSMOUTH, NEW HAMPSHIRE, 03801

PROJECT NO: 1039

CLIENT

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STAMP

PLANNING BOARD

REVISIONS

NO.	DATE	DESCRIPTION

ELEVATIONS



SCALE: 1/8" = 1'-0"
DATE: 02/03/2026
DRAWN: Author
CHECKED: Checker

A2.1

