



19 August 2025

Peter Stith, Principal Planner, Chair  
City of Portsmouth  
Technical Advisory Committee  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for Conditional Use Permit for Change of Use from Office to Co-Living at 14 Market Square**

Dear Mr. Stith and Technical Advisory Committee Members:

On behalf of John Galt LLC, we are pleased to submit the attached application for a **Conditional Use Permit** and request that we be placed on the **September 2, 2025** TAC Meeting agenda. The property is located at 14 Market Square, with frontage on Daniel Street and Pleasant Street, and is within the Character District 5 (CD5), Historic District and Downtown Overlay Zoning District as shown on the City of Portsmouth Assessors Map 0107 as Lot 0029. The existing building is built on the lot lines and the site has no open space. This project was previously approved by HDC, and Building Permit BLDG-23-1155 was issued on December 12, 2024 for renovating the second and third floor office space, adding a penthouse and roof deck, and a mechanical platform at the rear roof.

**Project Overview:**

This proposal requests a change of use for the second and third floors from office space to co-living on the third floor and four apartments on the second floor. No changes are proposed at the first floor restaurant or basement support space.

The proposed third floor co-living was designed in accordance with Section 10.815 of the Zoning Ordinances and will have 8 sleeping units each having a private bathroom, clustered around shared common area. Maximum occupants with double occupancy is 16 people. The co-living suite also has exclusive access to the roof deck. The proposed co-living suite does not provide the minimum common area square footage required for co-living thereby requesting the following waiver.

- Common Area required by zoning: 1,200 sf + 20 sf per sleeping unit.
- Required: (1 suite \* 1,200 sf) + (20\*8) = 1,360 sf minimum
- Proposed: 610 sf (does not comply, ***a waiver is requested***)



Sleeping units range in size from 166 sf to 353 sf, which includes private bathrooms in every sleeping unit. Although the common area is less than the minimum required in the ordinance, every sleeping unit is oversized, some substantially, and all bedrooms have private bathrooms. Additionally, there is a shared open-air common space at the roof deck.

### **Vehicular Circulation:**

A parking needs analysis is attached, demonstrating the proposed change in use going from office space to residential results in a negligible increase of 0.3 parking spaces (1 parking space when rounded up), requiring a waiver. The parking demand for office space requires 15.4 parking spaces and our application requires 4.3 parking spaces resulting in a decrease of 11.1 parking spaces and a requirement to provide 0.3 parking spaces after deducting the 4 parking space credit for being located in the Downtown Overlay District.

The building is located approximately 330 feet from the High Hanover Parking Garage which satisfies the requirement to be within 600 feet of a municipal parking garage thereby requiring no parking, as shown on attached locus map.

We look forward to Planning Board review of this submission and look forward to an in-person presentation at your meeting.

Sincerely,

A handwritten signature in black ink that reads "Tracy Kozak".

Tracy Kozak, AIA  
Principal  
ARCOVE Architects



**14 Market Square**  
**Area Program Parking Analysis**  
 8/19/2025

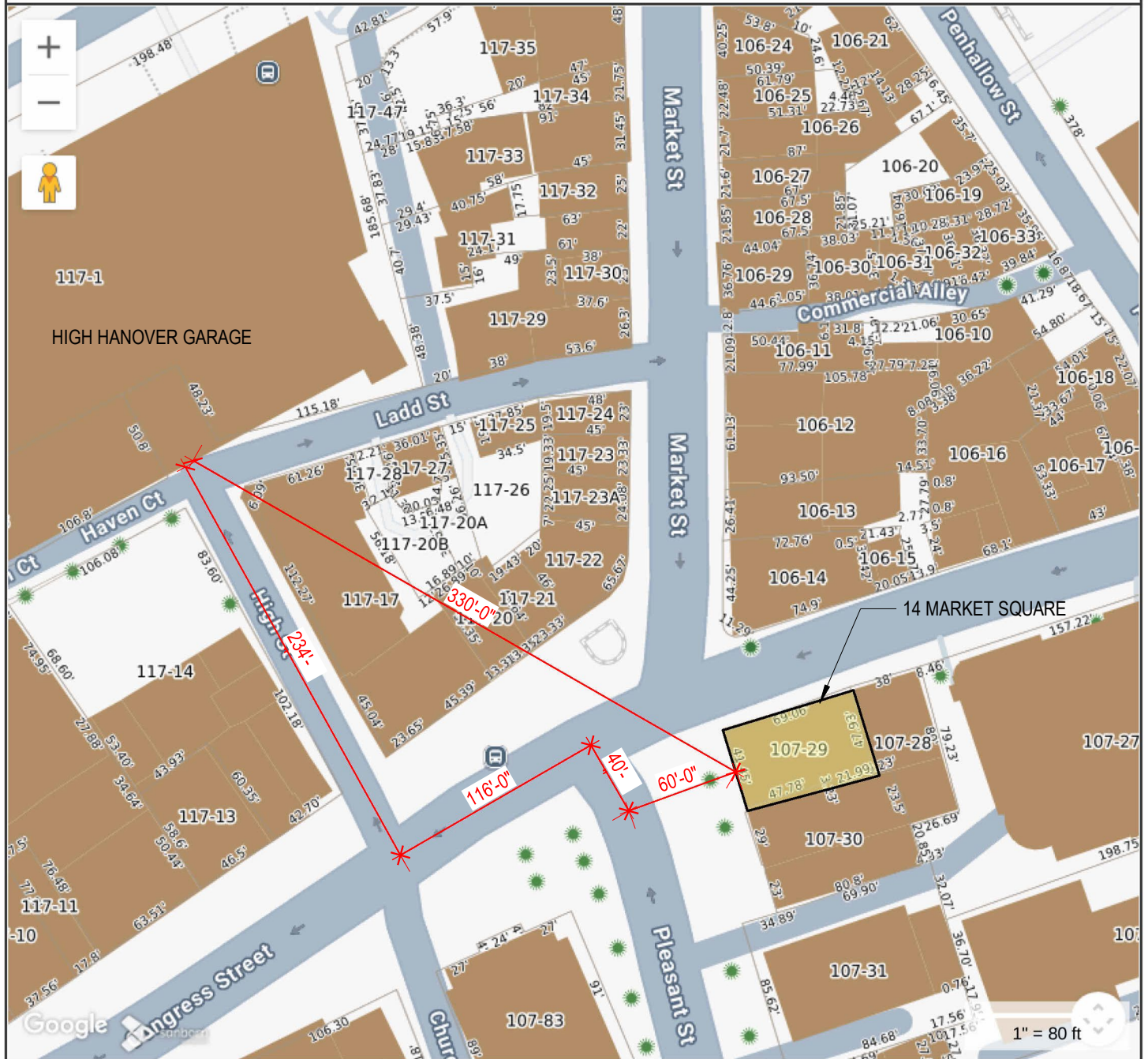
Character District CD-5  
 Downtown Overlay District  
 Historic Overlay District

Existing Layout						Parking spaces required		
Level	Occupancy	Occupied Floor Area (sf)	Qty Residential Units	Unit size	Gross floor area per parking space	Office parking spaces	Apartment parking spaces	TOTAL
3	Office	2,699.0	-	-	350.0	7.7	-	7.7
2	Office	2,688.0	-	-	350.0	7.7	-	7.7
<b>Subtotal Required (existing)</b>		9,212.0				15.4	-	15.4
DOD Apartments Visitor: 1 space per 5 dwelling units						-	-	-
DOD deduct						(15.4)	-	(15.4)
<b>Total DOD Required (existing) rounded up</b>						0	-	0

Proposed Layout						Parking spaces required		
Level	Occupancy	Occupied Floor Area (sf)	Qty Residential Units	Unit size	Parking spaces per area or unit	Office parking spaces	Apartment parking spaces	TOTAL
3	Coliving 301	2,699.0	8.0	varies	0.0	-	0.0	0.0
2	Apartment 203	552.0	1.0	552.0	1.0	-	1.0	1.0
2	Apartment 202	899.0	1.0	899.0	1.3	-	1.3	1.3
2	Apartment 201	602.0	1.0	602.0	1.0	-	1.0	1.0
2	Apartment 200	749.0	1.0	749.0	1.0	-	1.0	1.0
<b>Subtotal Required (proposed)</b>		5,501.0	5.0			0.0	4.3	4.3
DOD Apartments Visitor: 1 space per 5 dwelling units						-	0.0	-
DOD deduct						0.0	(4.0)	(4.0)
<b>Total DOD Required (Proposed)</b>						0	1	0.30
<b>Total DOD Required (Proposed) rounded up</b>								1
<b>Net Change (reduction)</b>								(11)
<b>Net Change , adjusted for DOD</b>								0.3

Bicycle Parking Required		
use	spaces required per use	total required
apartments	1 bicycle for every 5 dwelling units	-
<b>TOTAL bicycles storage required - rounded up</b>		0
Total bicycles storage provided on site		0
Total bicycles storage provided adjacent to site (city rack)		12

## tax map 14ms to hhg



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 09/26/2024

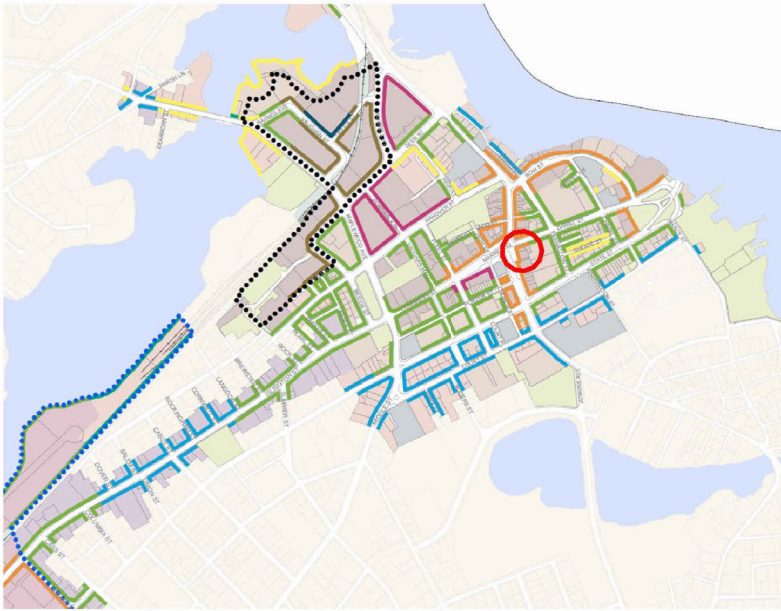
Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

1

**hh garage locus map**

1" = 80'-0"





ZONING SUMMARY Legend

CHARACTER DISTRICT CD-5

DOWNTOWN OVERLAY DISTRICT HEIGHT -

PLEASANT STREET: 2-3 STORIES (SHORT 4TH), 45' DANIEL STREET: 2-3 STORIES (SHORT 4TH), 45'

CURRENT USE: FIRST FLOOR - RESTAURANT SECOND & THIRD FLOOR - OFFICE ATTIC - STORAGE

PROPOSED USE: FIRST FLOOR - RESTAURANT SECOND, THIRD, & ATTIC - RESIDENTIAL

Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'

\*Penthouse Levels may exceed the building height by 2 feet.

1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below, or 2) a story within a mansard roof with a pitch no greater than 30:12.

2. When a lot is assigned to more than one height requirements standard refer to the requirements listed in Section 10.5A21.22.

3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.



DRAWING LIST

- 0.1 - COVER SHEET
- 1.1 - FLOOR PLAN
- 1.2 - FLOOR PLANS
- 2.1 - ELEVATIONS
- 3.1 - PERSPECTIVE VIEWS

14 MARKET SQUARE  
PORTSMOUTH, NEW HAMPSHIRE, 03801

TECHNICAL ADVISORY COMMITTEE  
AUGUST 18, 2025

PROJECT NO: 1014



300' RADIUS GIS MAP



3 CONGRESS ST., SUITE 1  
PORTSMOUTH NH 03801  
603.988.0042  
www.ARCove.com

14 MARKET SQUARE

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PORTSMOUTH, NH 03801

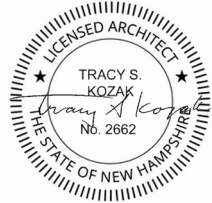
PROJECT NO: 1014

CLIENT

John Galt, LLC  
McNabb Properties Ltd

JSN ASSOCIATES, INC  
STRUCTURAL ENGINEERING  
11 AUTUMN ST  
PORTSMOUTH NH 03801  
603.436.8639

DESIGN DAY S MECHANICAL, INC  
MEP/FP ENGINEERING  
65 OL DCENTER RD  
DEERFIELD NH 03037  
603.436.1086



CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION

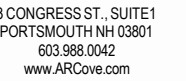
COVER SHEET

SCALE:

DATE: 08/12/2025  
DRAWN: TK  
CHECKED: TK

0.1





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PORTMOUTH, NH 03801

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## REVISIONS

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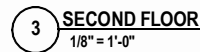
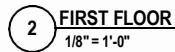
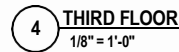
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DATE: 08/18/2025

DRAWN: Author

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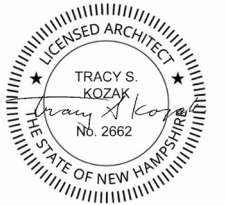
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FLOOR PLANS

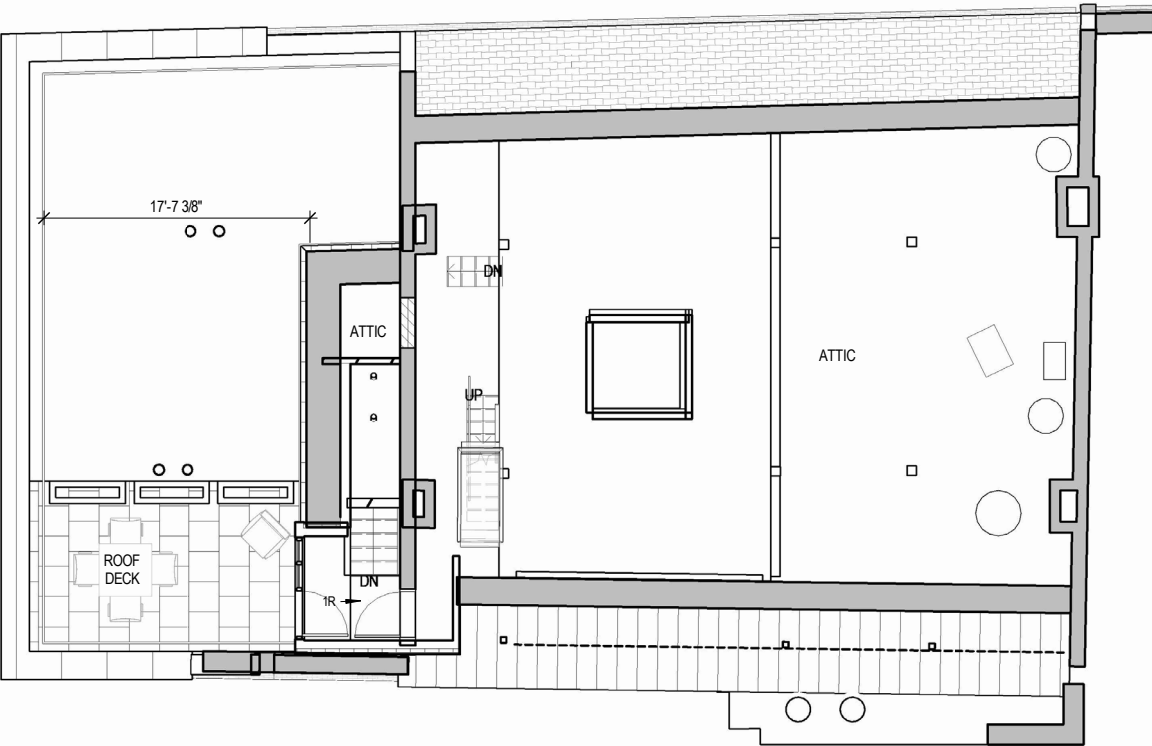


SCALE: 1/8" = 1'-0"

DATE: 08/18/2025  
DRAWN: Author  
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2 ROOF  
1/8" = 1'-0"



1 ATTIC  
1/8" = 1'-0"





3 NORTH ELEVATION - DANIEL STREET  
3/16" = 1'-0"



2 SOUTH ELEVATION  
3/16" = 1'-0"



1 WEST ELEVATION - PLEASANT STREET  
3/16" = 1'-0"

## 14 MARKET SQUARE

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PORTSMOUTH, NH 03801

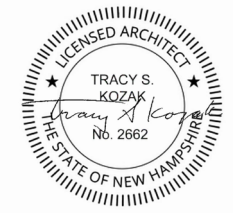
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DATE: 08/18/2025

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CHECKED: Checker





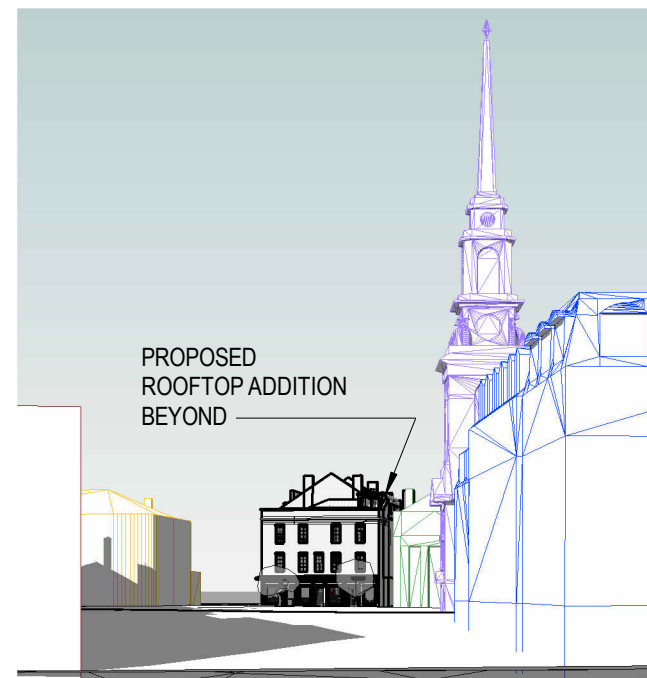
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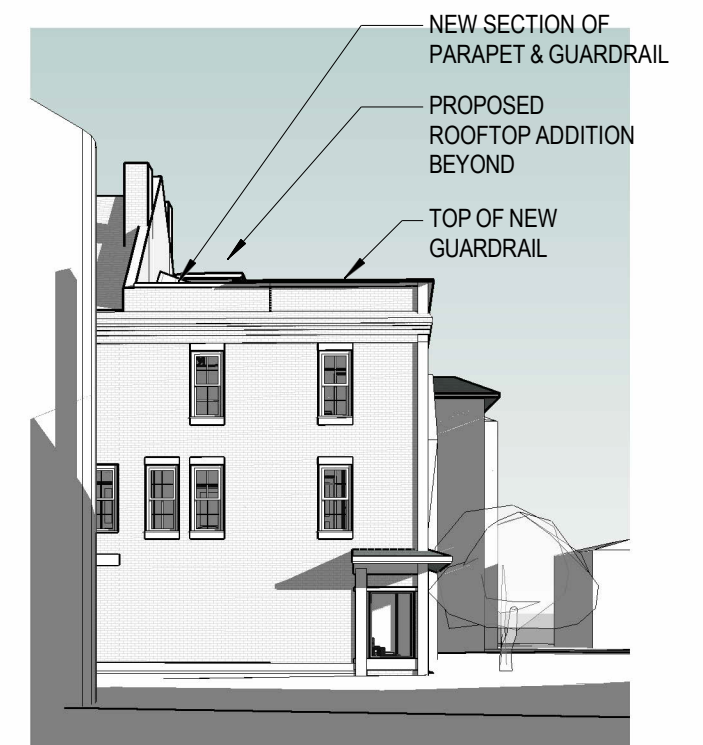
2 FROM CONGRESS STREET AT BUS STOP



3 FROM CONGRESS ST IN FRONT OF POPOVERS



4 FROM CONGRESS ST AT FLEET STREET



5 FROM DANIEL STREET LOOKING SOUTH



3D VIEWS

14 MARKET SQUARE

H3.1

02/12/2025  
PROJECT NO:1014