

## **Narrative:**

The Delisle family is requesting approval to add a partial second story addition on their ranch home in Elwyn Park. Our family has owned the home a little over 10 years and has outgrown the space. A second story addition will afford our growing children more personal space and the family an additional bathroom. They are requesting setback variances in line with existing conditions, with no new encroachment from the current building envelope. As part of this project, they plan to remove a three-season porch and deck from the rear of the home and replace with smaller egresses. The design of the overall addition is intentionally modest to fit the character of the surrounding homes, maintaining similar roof gables, appearances, and features. As part of the plan an existing bow window which extrudes out of the front of the home will be replaced with double-hung windows, marginally increasing the front setback distance. The home is currently situated nearly on the west lot line, with basement window-well egresses leaving the distance between the home and lot line effectively 0 ft. As part of the project, a cement pad for an A/C condenser will be added no further than the extruding window wells.

Thank you for your time to review our request, and we appreciate your support of our project.

The Delisle Family

**10.233.21 The variance will not be contrary to the public interest;** The addition is a modest second story that maintains a similar roof/gable and appearance of the current façade. The design is intended to fit the character of surrounding homes and will not extend beyond current setbacks to neighbors or roadway.

**10.233.22 The spirit of the Ordinance will be observed;** This project maintains current setbacks. Efforts have been made to increase square footage of the home only to what is necessary to afford the family more living space, without significantly altering the appearance or creating wasteful space. No additional encroachment is planned beyond the current presented scope. The planned A/C condenser on the west side of the home will be no closer than the current extruding basement window wells.

**10.233.23 Substantial justice will be done;** The family has lifelong ties to Portsmouth and the neighborhood, and desires to remain in the home they've started a family in. The addition allows the family's growing children more personal space, and additional bathroom, and enables the current owners to age in place. The family has already extended living space into the lower level of the home in attempts to maximize the usage of their home. The plan as presented is the most economical for the family, fits within their long-term plans as Portsmouth residents, and does not further disrupt existing non-conformance.

**10.233.24 The values of surrounding properties will not be diminished;** Efforts have been made to increase square footage of the home only to what is necessary to afford the family more living space, without significantly altering the appearance and character of the home and thus surrounding neighbors. The addition is expected to increase property value, as all new exterior finish and fixtures are planned and are in line with surrounding properties that have been improved.

**10.233.25 Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship.** The home is currently non-conforming, as with many other homes in the neighborhood, including direct neighbors. Alterations to bring the house into conformance would be cost-prohibitive and require extensive foundation work and construction within the wetland buffer.

East/West (side) setbacks: ~22ft, and **Effectively 0Ft, given basement window well egresses**

North (front) setback: ~23ft

South (rear) setback: ~41ft

Wetland distance ~50ft:



**Property Information**

Property ID 0250-0117-0000  
 Location 250 MCKINLEY RD  
 Owner DELISLE CHRISTOPHER J



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 09/26/2024

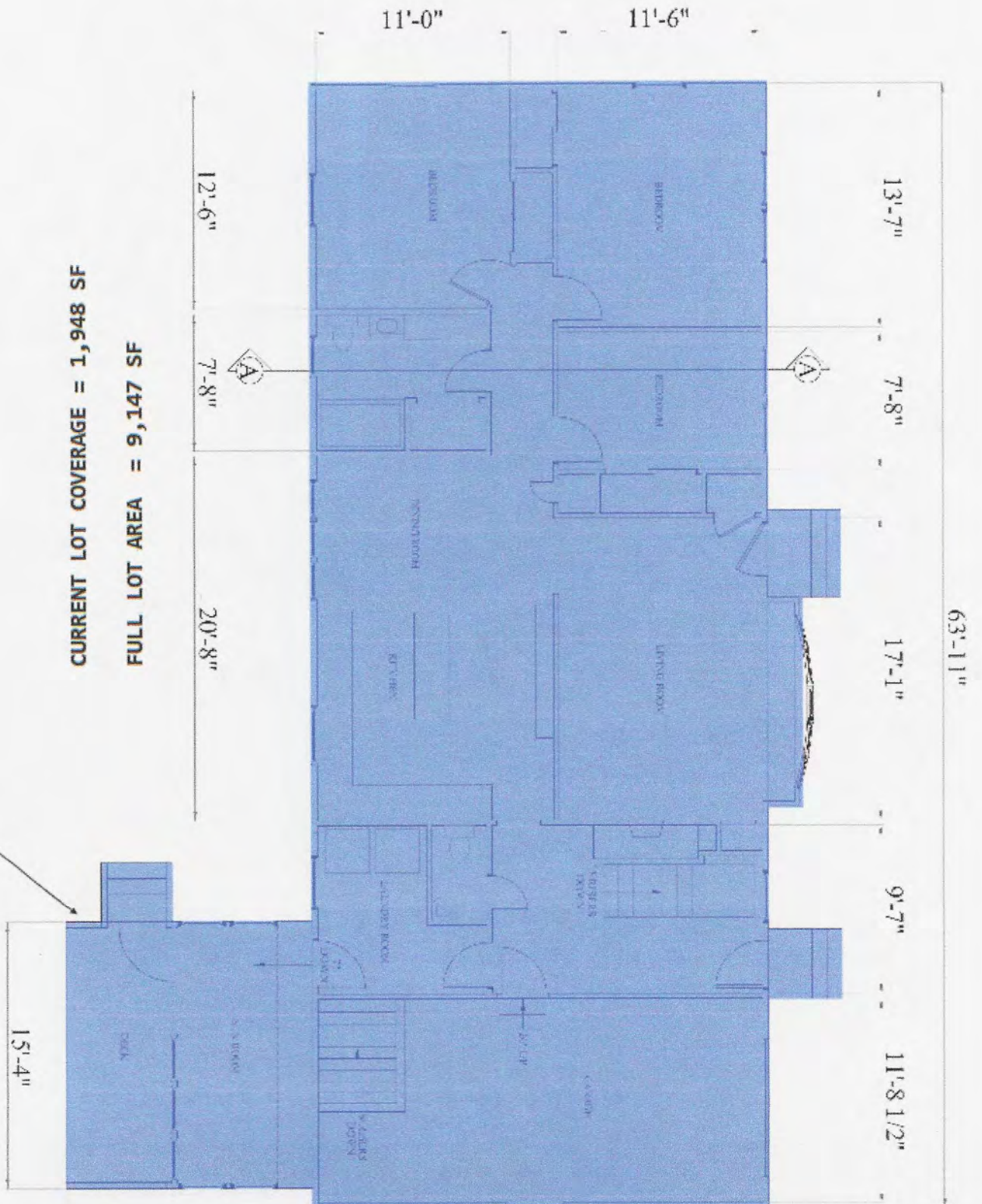
Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



228 SF (removal)

**CURRENT LOT COVERAGE = 1,948 SF**

FULL LOT AREA = 9,147 SF

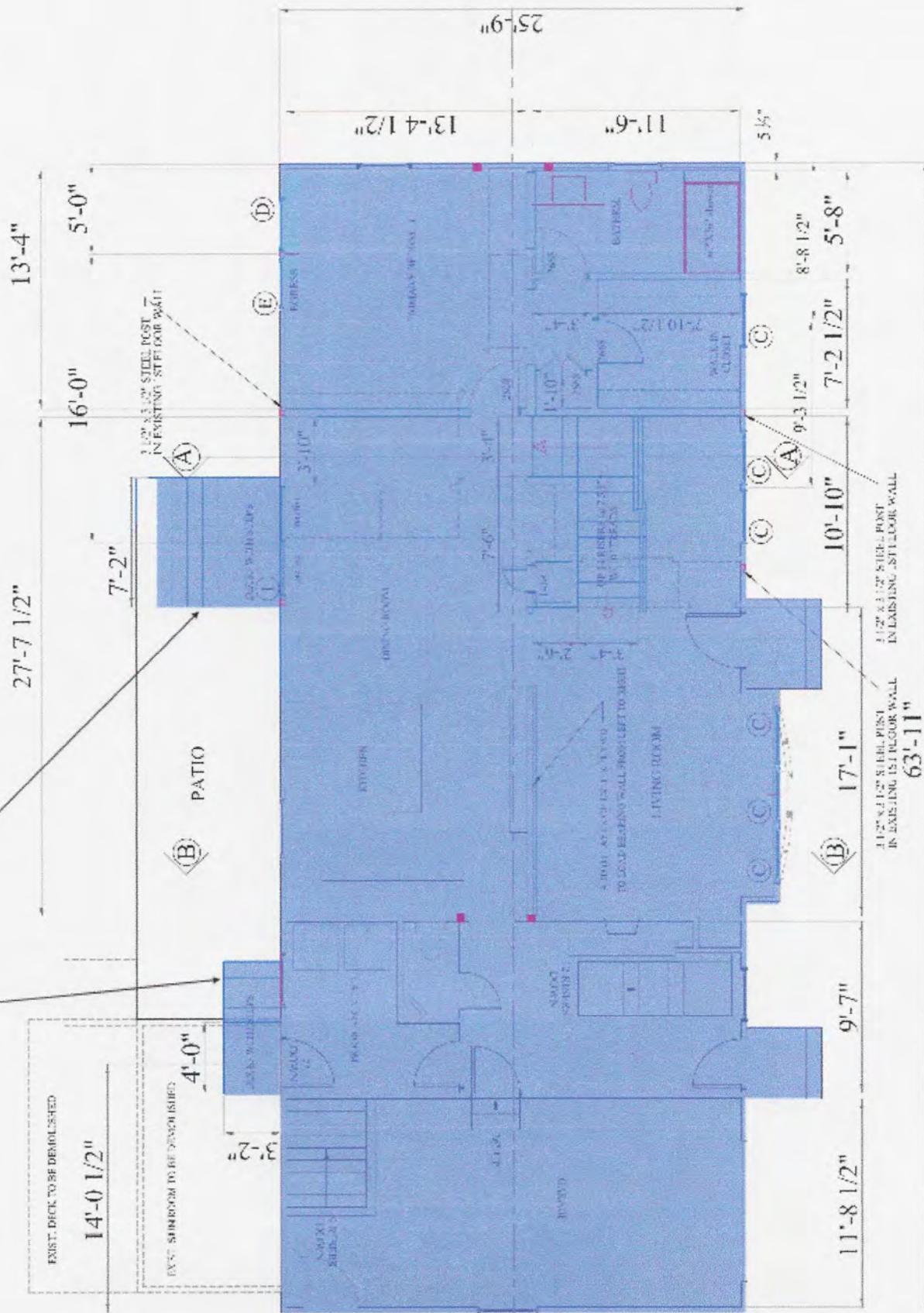




49 sqft  
24 sqft  
= 73 sqft

PROPOSED LOT COVERAGE = 1,777 SF

TOTAL LOT AREA = 9,147 SF



PROPOSED 1ST. FLOOR PLAN



State Use 1010  
Print Date 11/15/2024 12:51:16

| CURRENT OWNER         |                     |                 |          | CURRENT ASSESSMENT |       |           |          |
|-----------------------|---------------------|-----------------|----------|--------------------|-------|-----------|----------|
| TOPO                  | UTILITIES           | STRT//ROAD      | LOCATION | Description        | Code  | Appraised | Assessed |
| DELISLE CHRISTOPHER J | 0 All Public        | 1 Paved         |          | RESIDENTL          | 1010  | 377,800   | 377,800  |
| DELISLE RACHELA       |                     | 7 12 Off-St PKG |          | RES LAND           | 1010  | 284,300   | 284,300  |
| 250 MCKINLEY RD       |                     |                 |          | RESIDENTL          | 1010  | 800       | 800      |
| SUPPLEMENTAL DATA     |                     |                 |          |                    |       |           |          |
| Alt Pctd ID           | 0250-0117-0000-0000 | CONDO C         |          |                    |       |           |          |
| OLDACTN               | 20620               | INLAW Y/        |          |                    |       |           |          |
| PHOTO                 |                     | LOT SPLIT       |          |                    |       |           |          |
| WARD                  |                     | 2015 Reva       | JM       |                    |       |           |          |
| PREC.                 |                     | ExCr Appl       |          |                    |       |           |          |
| 1/2 HSE               |                     |                 |          |                    |       |           |          |
| GIS ID                | 31045               | Assoc Pld#      |          |                    | Total | 662,900   | 662,900  |
|                       |                     |                 |          | VISION             |       |           |          |
|                       |                     |                 |          | PORTSMOUTH, NH     |       |           |          |
|                       |                     |                 |          | 2229               |       |           |          |

| RECORD OF OWNERSHIP                                                                                               |             |           |            |     | PREVIOUS ASSESSMENTS (HISTORY) |    |       |  |       |          |      |       |            |      |       |          |
|-------------------------------------------------------------------------------------------------------------------|-------------|-----------|------------|-----|--------------------------------|----|-------|--|-------|----------|------|-------|------------|------|-------|----------|
|                                                                                                                   | BK-VOL/PAGE | SALE DATE | Q/U        | V/I | SALE PRICE                     | VC | Year  |  | Code  | Assessed | Year | Code  | Assessed V | Year | Code  | Assessed |
| DELISLE CHRISTOPHER J<br>POMERANZ JOHN E<br>VARDAKIS FAMILY REVOC TRUST<br>VARDAKIS ANDREW P<br>OFFENBERG GAYLE L | 5622        | 2670      | 06-02-2015 | Q   | 384,000                        | 00 | Year  |  | 1010  | 377,800  | 2023 | 1010  | 245,700    | 2022 | 1010  | 228,100  |
|                                                                                                                   | 5541        | 0769      | 06-30-2014 | Q   | 356,000                        | 00 | 2024  |  | 1010  | 377,800  |      | 1010  | 173,800    |      | 1010  | 173,800  |
|                                                                                                                   | 5512        | 1575      | 02-11-2014 | Q   | 0                              | 00 |       |  | 1010  | 284,300  |      | 1010  |            |      |       |          |
|                                                                                                                   | 5436        | 2053      | 05-08-2013 | U   | 0                              |    |       |  | 1010  | 800      |      | 1010  | 1,100      |      |       |          |
|                                                                                                                   | 5066        | 0598      | 11-13-2009 | Q   | 310,000                        | 00 |       |  |       |          |      |       |            |      |       |          |
|                                                                                                                   |             |           |            |     |                                |    | Total |  | Total | 662,900  |      | Total | 420,600    |      | Total | 401,900  |

| EXEMPTIONS                   |      |             | OTHER ASSESSMENTS |      |             |        |         |           |
|------------------------------|------|-------------|-------------------|------|-------------|--------|---------|-----------|
| Year                         | Code | Description | Amount            | Code | Description | Number | Amount  | Comm Int. |
|                              |      |             |                   |      |             |        |         |           |
|                              |      |             |                   |      |             |        |         |           |
|                              |      | Total       | 0.00              |      |             |        |         |           |
| APPROAISED VALUE SUMMARY     |      |             |                   |      |             |        |         |           |
| Appraised Bldg. Value (Card) |      |             |                   |      |             |        | 343,300 |           |

| ASSESSING NEIGHBORHOOD |           |   |         | Appraised Xf (B) Value (Bldg) |
|------------------------|-----------|---|---------|-------------------------------|
| Nbhd                   | Nbhd Name | B | Tracing | Batch                         |
| 114                    |           |   |         |                               |
| NOTES                  |           |   |         |                               |
|                        |           |   |         | Appraised Ob (B) Value (Bldg) |
|                        |           |   |         | Appraised Land Value (Bldg)   |
|                        |           |   |         | 34,500                        |
|                        |           |   |         | 800                           |
|                        |           |   |         | 284,300                       |

|                                                                                                                                                                                                               |                                                          |                                                                        |              |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|------------------------------------------------------------------------|--------------|
| 09-MLS-INT=GD COND.<br>10-EXT=MOSTLY AVG, MODEST REPL WINDOWS.<br>11/17-CONSTRUCT RAIN GARDEN, BERM, ADJ GRADING FOR WETLANDS & DRIVEWAY, WILL FIN IN SPRING; NCIV<br>12/20-CONV UBM TO FBLA 822 SF PER PLANS | 634 SF PLAYRM & 188 SF MUSIC RM<br>16 x 13 patio off FEP | Special Land Value<br>Total Appraised Parcel Value<br>Valuation Method | 662,900<br>C |
| Total Appraised Parcel Value                                                                                                                                                                                  |                                                          |                                                                        | 662,900      |

| BUILDING PERMIT RECORD |            |      |             |        |            |        |            |                                   |            | VISIT / CHANGE HISTORY |      |    |    |                          |
|------------------------|------------|------|-------------|--------|------------|--------|------------|-----------------------------------|------------|------------------------|------|----|----|--------------------------|
| Permit Id              | Issue Date | Type | Description | Amount | Ins Date   | % Comp | Date Comp  | Comments                          | Date       | Id                     | Type | Is | Cd | Purpose/Result           |
| ER-20-134              | 05-12-2020 | EL   |             | 1,000  | 12-08-2020 | 100    |            | Install 15a TFR receptacles in fl | 01-19-2021 | BH                     |      |    | QC | Value Reviewed           |
| BIDG-20-1              | 05-05-2020 | RE   |             | 16,000 | 12-08-2020 | 100    |            | Residential Alter@ Finish base    | 12-08-2020 | BH                     | 03   |    | 50 | Building Permit          |
| PMGR-20-2              | 05-01-2020 | HA   |             | 4,000  | 12-08-2020 | 100    |            | RELOCATE BOILER & HOT W           | 04-10-2020 | BH                     | 03   |    | 50 | Building Permit          |
| PMGR-20-2              | 03-27-2020 | HA   |             | 5,000  | 04-10-2020 | 100    |            | na relocation of gas fired boiler | 12-04-2018 | BH                     | 02   | 1  | 50 | Building Permit          |
| 1783                   | 06-26-2017 | BP   |             | 4,500  | 12-04-2018 | 100    | 09-14-2017 | RESIDENTIAL ALTER -ADJU           | 11-21-2017 | BH                     | 02   | 1  | FR | Field Review Stat Update |
|                        |            |      |             |        |            |        |            |                                   | 06-27-2017 | JP                     |      |    | SR | Sales Review             |

| LAND LINE VALUATION SECTION |          |              |      |          |       |            |            |                        |      |       |           |            |                  |                 |            |            |
|-----------------------------|----------|--------------|------|----------|-------|------------|------------|------------------------|------|-------|-----------|------------|------------------|-----------------|------------|------------|
| B                           | Use Code | Description  | Zone | Frontage | Depth | Land Units | Unit Price | Size Ad                | Site | Cond. | ST<br>Idx | S.<br>Adj. | Notes- Adj       | Special Pricing | Adj Unit P | Land Value |
| 1                           | 1010     | SINGLE FAM M | SRB  |          |       | 9,000 SF   | 26.33      | 1.0000                 | 1    | 1.00  | 114       | 1.200      |                  | 0               | 1,0000     | 31.59      |
| Total Card Land Units       |          |              |      |          |       | 0          | AC         | Parcel Total Land Area |      |       |           | 0          | Total Land Value |                 |            |            |
|                             |          |              |      |          |       |            |            |                        |      |       |           |            | 284,300          |                 |            |            |



Property Location 250 MCKINLEY RD  
Vision ID 31045 Account # 31045

Map ID 0250/0117/0000/1

Bldg Name  
Sec # 1 of 1 Card # 1 of 1

State Use 1010  
Print Date

CONSTRUCTION DETAIL

CONSTRUCTION DETAIL (CONTINUED)

| Element              | Cd             | Description | Element | Cd | Description |
|----------------------|----------------|-------------|---------|----|-------------|
| Style: 01            | Ranch          |             |         |    |             |
| Model: 01            | Residential    |             |         |    |             |
| Grade: C+            |                |             |         |    |             |
| Stories: 1           |                |             |         |    |             |
| Occupancy: 1         | Wood Shingle   |             |         |    |             |
| Exterior Wall 1: 14  |                |             |         |    |             |
| Exterior Wall 2: 03  | Gable/Hip      |             |         |    |             |
| Roof Structure: 03   | Asph/F Gls/Cmp |             |         |    |             |
| Roof Cover: 05       | Drywall/Sheet  |             |         |    |             |
| Interior Wall 1: 12  | Hardwood       |             |         |    |             |
| Interior Wall 2: 11  | Ceram Clay Tl  |             |         |    |             |
| Interior Flr 1: 03   | Gas            |             |         |    |             |
| Heat Fuel: 04        | Hot Water      |             |         |    |             |
| Heat Type: 01        | None           |             |         |    |             |
| AC Type: 03          | 3 Bedrooms     |             |         |    |             |
| Total Bedrooms: 1    |                |             |         |    |             |
| Total Bathrms: 1     |                |             |         |    |             |
| Total Half Baths: 0  |                |             |         |    |             |
| Total Xtra Fixtrs: 7 |                |             |         |    |             |
| Total Rooms: 1       |                |             |         |    |             |
| Bath Style: 2        | Avg Quality    |             |         |    |             |
| Kitchen Style: 2     | Above Avg Qual |             |         |    |             |
| Kitchen Gr: 1        |                |             |         |    |             |
| WB Fireplaces: 0     |                |             |         |    |             |
| Extra Openings: 0    |                |             |         |    |             |
| Metal Fireplace: 0   |                |             |         |    |             |
| Extra Openings: 0    |                |             |         |    |             |
| Bsm Garage: 0        |                |             |         |    |             |

| MIXED USE |                   |            |
|-----------|-------------------|------------|
| Code      | Description       | Percentage |
| 1010      | SINGLE FAM MDL-01 | 100        |
|           |                   | 0          |
|           |                   | 0          |

COST / MARKET VALUATION

|                          |         |
|--------------------------|---------|
| Adj. Base Rate           | 219.87  |
| Building Value New       | 408,747 |
| Year Built               | 1958    |
| Effective Year Built     | 2008    |
| Depreciation Code        | VG      |
| Remodel Rating           |         |
| Year Remodeled           | 16      |
| Depreciation %           |         |
| Functional Obsol         |         |
| External Obsol           |         |
| Trend Factor             | 1       |
| Condition                |         |
| Condition %              |         |
| Percent Good             | 84      |
| RCNLD                    | 343,300 |
| Dep % Ovr                |         |
| Dep Ovr Comment          |         |
| Misc Imp Ovr             |         |
| Misc Imp Ovr Comment     |         |
| Cost to Cure Ovr         |         |
| Cost to Cure Ovr Comment |         |

OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)

| Code | Description | L/B | Units | Unit Price | Yr Bld | Cond. Cd | % Gd | Grade | Grade Adj. | Appr. Value |
|------|-------------|-----|-------|------------|--------|----------|------|-------|------------|-------------|
| FEUA | FINISHED BS | B   | 822   | 40.00      | 2020   | 00       | 84   | B     | 1.25       | 34,500      |
| PAT1 | PATIO-AVG   | L   | 208   | 8.00       | 2023   | A        | 50   | C     | 1.00       | 800         |

BUILDING SUB-AREA SUMMARY SECTION

| Code | Description          | Living Area | Floor Area | Eff Area | Unit Cost | Undeprc Value |
|------|----------------------|-------------|------------|----------|-----------|---------------|
| BAS  | F1st Floor           | 1,364       | 1,364      | 1,364    | 219.87    | 299,909       |
| FEF  | Porch, Enclosed      | 0           | 128        | 90       | 154.60    | 19,789        |
| FCR  | Garage, Attached     | 0           | 312        | 125      | 88.09     | 27,484        |
| UBM  | Basement, Unfinished | 0           | 1,352      | 270      | 43.91     | 59,366        |
| WDK  | Deck, Wood           | 0           | 96         | 10       | 22.90     | 2,199         |

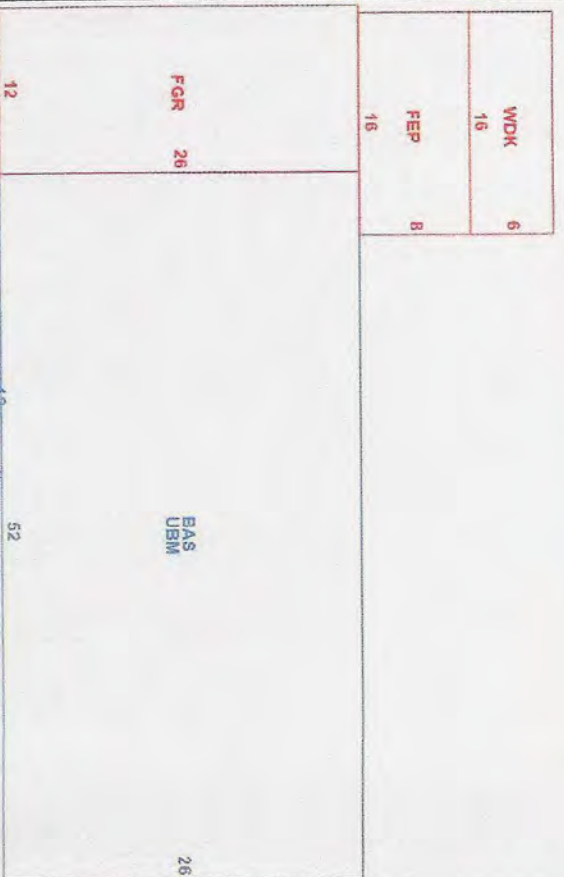
Ttl Gross Liv / Lease Area

1,364

3,252

1,859

408,747



4/25/23, 2:22:22 PM

31045





McKinley Rd

Transparency

Wetlands  
100ft Wetlands Buffer

Attribution  
City of Portsmouth

NOAA Navigational Chart

Transparency

Attribution  
NOAA Office of Coast Survey  
navigation

Trash/Recycling Routes

School Districts

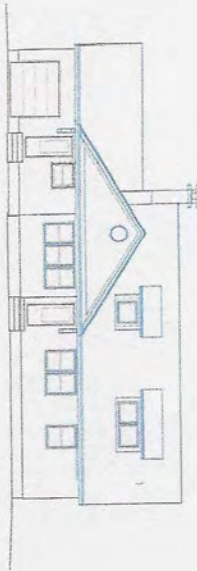
Wards and Polling Locatio

Zoning

Zoning

Transparency





## WINDOW SCHEDULE

WINDOW SCHEDULE AND FINISH AND A SERIES OF APPROXIMATE SIZES TO BE USED FOR THE PROJECT BUILDINGS

| TAG | DESCRIPTION     | ROUGH OPENING       | UNIT S.A. | NOTES         |
|-----|-----------------|---------------------|-----------|---------------|
| A   | ANNUAL          | 9'0 1/2" x 2'8"     | ASX1      |               |
| B   | CERAMIC         | 2'4 1/2" x 2'4 1/2" | QK21      |               |
| C   | CONCRETE        | 3'0 1/2" x 4'4 1/2" | PC2104    |               |
| D   | CERAMIC - LEFT  | 3'0 1/2" x 4'4 1/2" | CN2145    | LAB. - BIRCH  |
| E   | CERAMIC - RIGHT | 3'0 1/2" x 4'4 1/2" | CN2145    | RIGHT - BIRCH |
| F   | CERAMIC         | 2'4 1/2" x 3'0 1/2" | PC2104    |               |

## DOOR SCHEDULE

DOOR SCHEDULE AND FINISH AND A SERIES OF APPROXIMATE SIZES TO BE USED FOR THE PROJECT BUILDINGS

| TAG | DESCRIPTION | ROUGH OPENING | UNIT S.A. | NOTES                           |
|-----|-------------|---------------|-----------|---------------------------------|
| I   | GLASS DOOR  | 6'0" x 6'0"   | PD2104    | 400 SERIES GLASS DOOR WITH DOOR |

### GENERAL WINDOW / DOOR NOTES:

1. ALL WINDOWS AND DOORS SHALL BE FINISHED WITH AN ANNUAL FINISH.

## GENERAL SPECIFICATIONS

- Provide a 120 VAC Interconnected smoke/carbon mon. detectors per IRC R314 and R315.
- Separate electrical, plumbing and mechanical permits required.
- Minimum window sill heights shall conform to IRC Section R312.2 (24" minimum) or window shall have a window opening limiting device comply with ASTM F2090.
- Roofing shall comply with Section R905 of the IRC.
- Contractor to contact Dig Safe by calling 811 or visit [www.digsafe.com](http://www.digsafe.com) prior to start of construction.
- Frost protection of a min. of 48" below grade is required for all footings of structures including decks that serve the required access.
- Vent terminations: Deck additions cannot cover or alter existing vent locations. If required, venting shall be located to meet min. code clearances.
- Per Section R109.1.4 Frame and Masonry Inspection. Inspection of the framing and masonry construction shall be made after the roof, masonry, all framing, first-flooring, draftstopping and bracing are in place and prior to exterior wall coverings and trim is installed, and after the electrical, plumbing and mechanical rough inspections are approved. Contractor is responsible for notifying the Building Department at least 48 hours in advance for all inspections.
- Glazing located in Hazardous locations as outlined in section R308, R308.4.1 through 7, shall meet specifications outlined for that installation.

## INDEX

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| A3  | EXISTING AND PROPOSED FRONT ELEVATION   |
| A4  | EXISTING AND PROPOSED REAR ELEVATION    |
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| A10 | SECTIONS                                |
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| E3  | EXIST. RIGHT AND LEFT ELVS. AND SECTION |

### BUILDING PERMIT SET

**CHARLES HOYT DESIGNS**  
Single Style Architecture  
P.O. BOX 306  
Rye Beach, NH 03871  
(603) 475-4506  
[charles@hoyt-designs.com](mailto:charles@hoyt-designs.com)

DATE: **5-20-25**  
DRAWING: **A0**  
SHEET: **1 of 16**

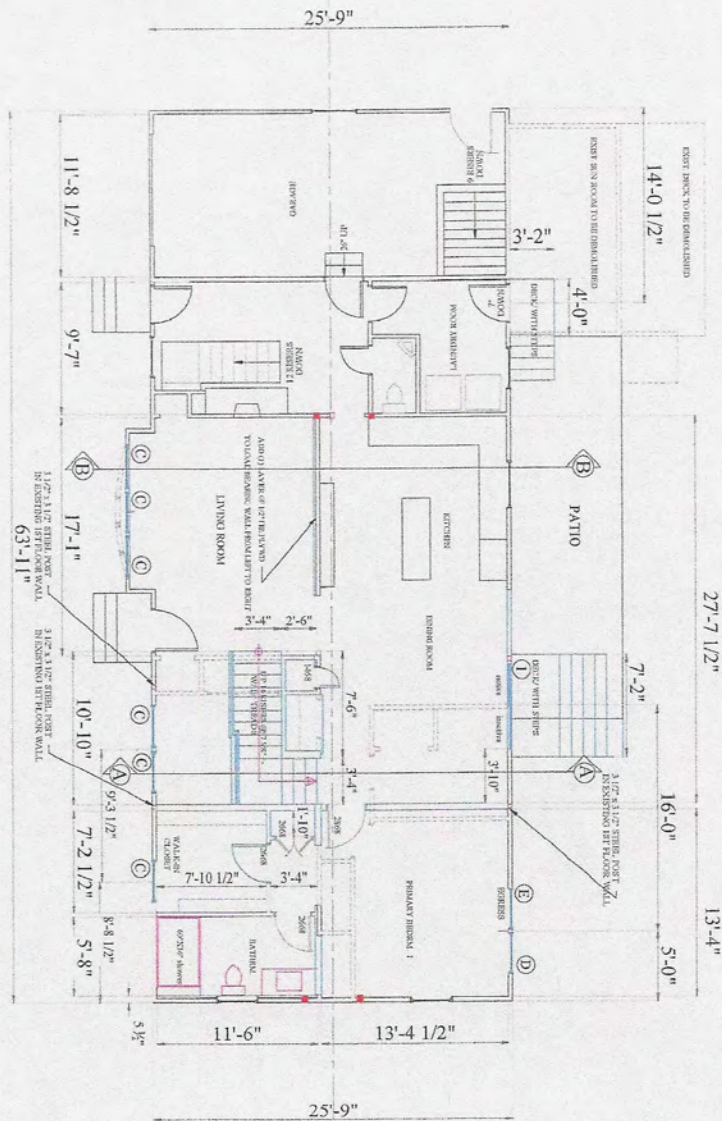
250 MCKINLEY ROAD  
PORTSMOUTH, NH

COVER SHEET  
SCALE: 1/4"=1'-0" on 24" x 36"  
SCALE: 1/8"=1'-0" on 11" x 17"

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV.       | DATE    | DISCUSSION                      |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |



# PROPOSED 1ST. FLOOR PLAN



## BUILDING PERMIT SET

**CHARLES HOYT DESIGNS**  
 250 MCKINLEY ROAD  
 PORTSMOUTH, NH  
 TEL: 603.882.8266  
 FAX: 603.882.8267  
 www.charleshoytdesigns.com

DATE: 5-20-25  
 SHEET: A1  
 2 of 16

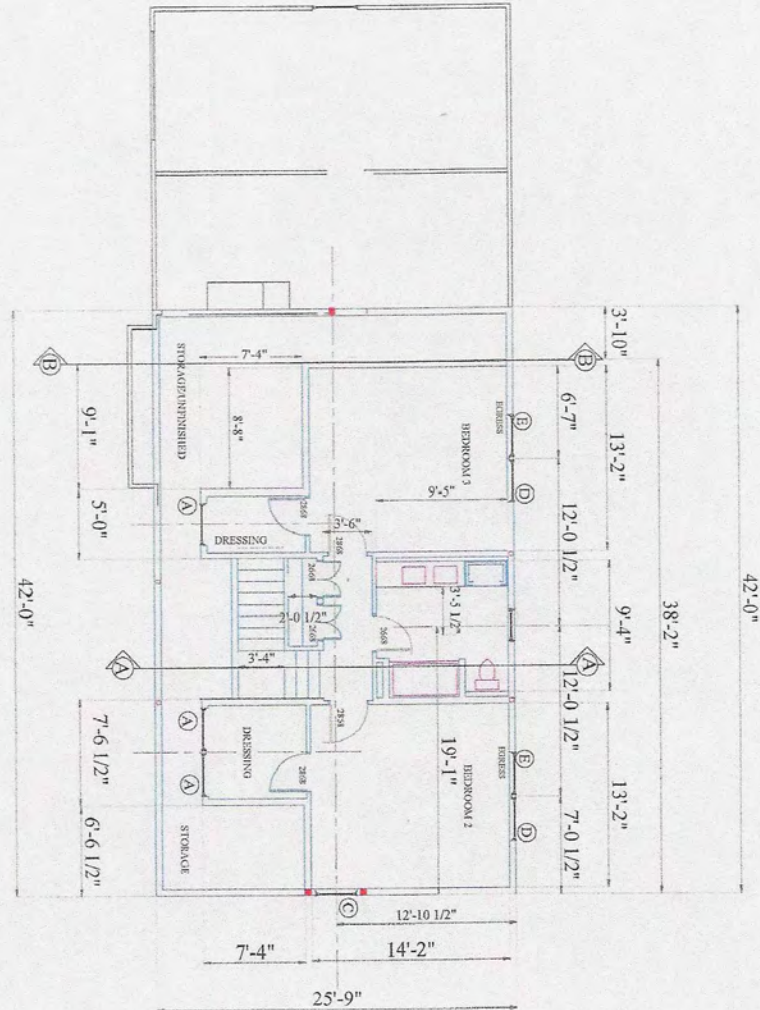
250 MCKINLEY ROAD  
 PORTSMOUTH, NH

PROPOSED FIRST FLOOR PLAN  
 SCALE: 1/4"=1'-0" on 24" x 36"  
 SCALE: 1/8"=1'-0" on 11" x 17"

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV.       | DATE    | DISCUSSION                      |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |



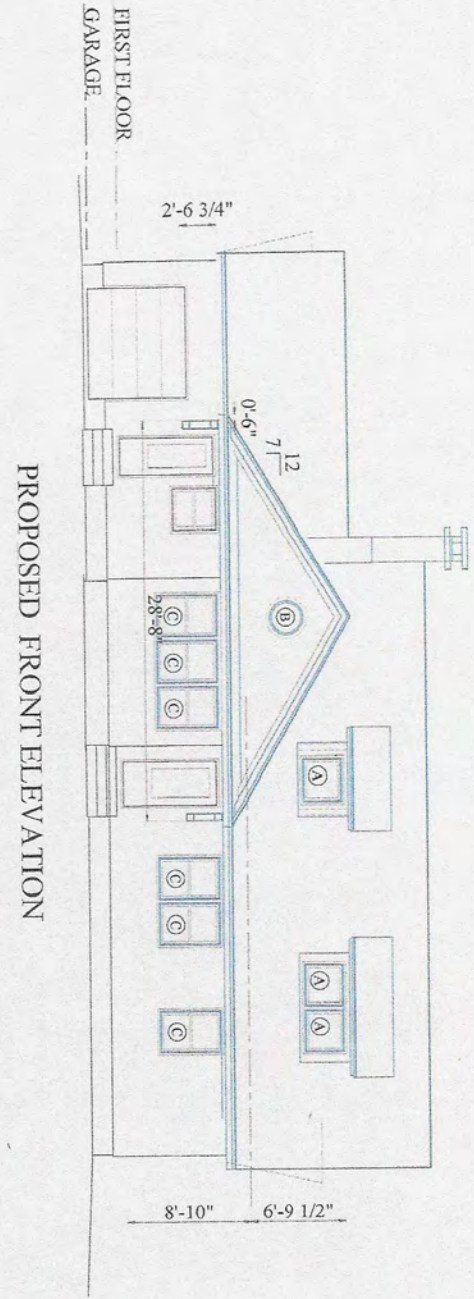
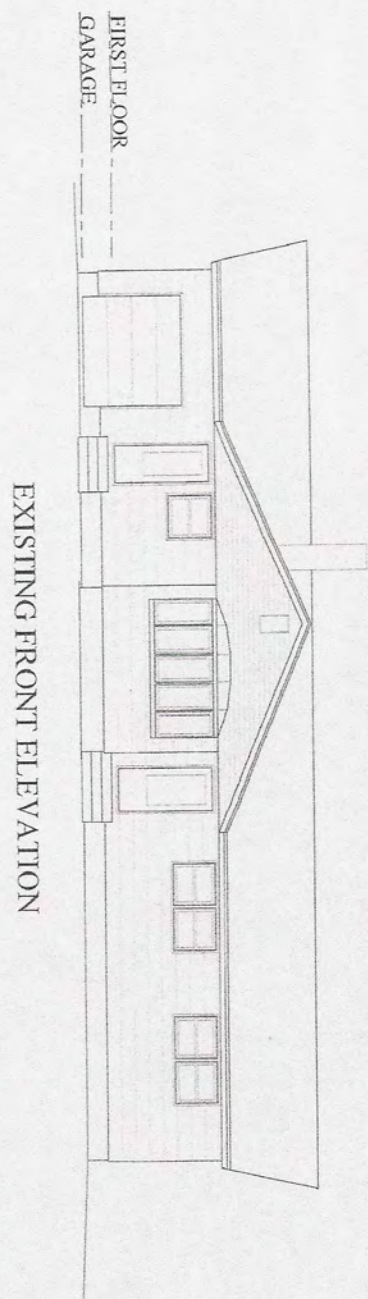
# PROPOSED 2ND. FLOOR PLAN



BUILDING PERMIT SET

|                                                                                                                                                                                                                                               |                                                                                                |  |            |                                         |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|--|------------|-----------------------------------------|
|  <b>CHARLES HOYT DESIGNS</b><br>Architectural & Interior Design<br>7 P.O. BOX 426<br>Rye Beach, MI 49781<br>(601) 812-8016<br>charleshoymdesigns@gmail.com | 250 MCKINLEY ROAD<br>PORTSMOUTH, NH                                                            |  | REVISIONS: |                                         |
|                                                                                                                                                                                                                                               | PROPOSED SECOND FLOOR PLAN<br>SCALE: 1/4"=1'-0" on 24" x 36"<br>SCALE: 1/8"=1'-0" on 11" x 17" |  | REV.       | DATE DESCRIPTION:                       |
| DATE: 5-20-25                                                                                                                                                                                                                                 | DRAWING: A2                                                                                    |  | 1.         | 1/16/24 Revised Rear Deck & Front Porch |
| SHEET: 3 of 16                                                                                                                                                                                                                                |                                                                                                |  |            |                                         |

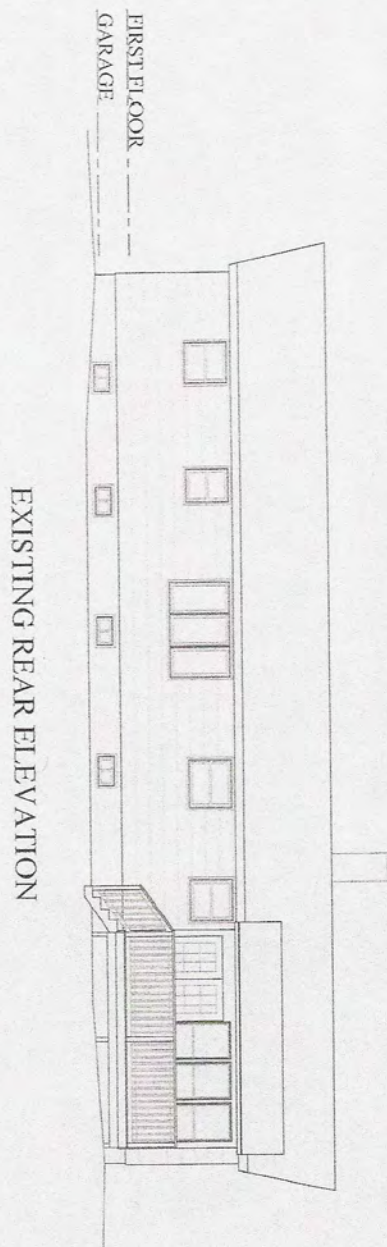




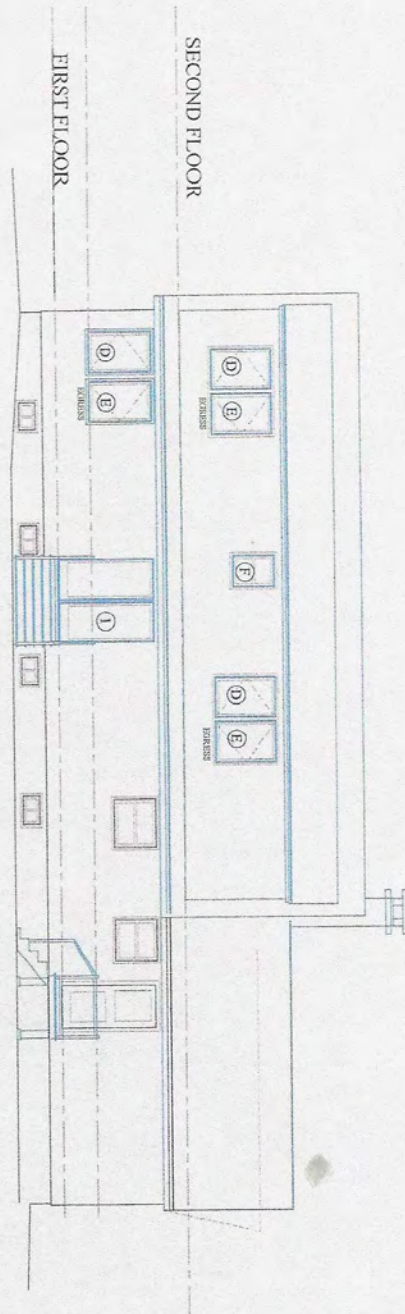
BUILDING PERMIT SET

|  <p><b>CHARLES HOYT DESIGNS</b><br/>Shingle Style Architecture<br/>P.O. BOX 526<br/>Rye Beach, WI 54981<br/>(608) 312-8016<br/>charleshoymdesigns@hotmail.com</p> | 250 MCKINLEY ROAD<br>PORTSMOUTH, NH |         | <table><tr><th colspan="3">REVISIONS:</th></tr><tr><th>REV.</th><th>DATE</th><th>DISCRIPTION:</th></tr><tr><td>1.</td><td>1/16/24</td><td>Revised Rear Deck &amp; Front Porch</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table> |  |  | REVISIONS: |  |  | REV. | DATE | DISCRIPTION: | 1. | 1/16/24 | Revised Rear Deck & Front Porch |  |  |  |  |  |  |  |  |  |  |  |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|---------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|------------|--|--|------|------|--------------|----|---------|---------------------------------|--|--|--|--|--|--|--|--|--|--|--|--|
|                                                                                                                                                                                                                                                      | REVISIONS:                          |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      | REV.                                | DATE    | DISCRIPTION:                                                                                                                                                                                                                                                                                                                                                |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      | 1.                                  | 1/16/24 | Revised Rear Deck & Front Porch                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
| EXISTING AND PROPOSED FRONT ELEVATION                                                                                                                                                                                                                |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
| SCALE: 1/4"=1'-0" on 24" x 36"                                                                                                                                                                                                                       |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
| SCALE: 1/8"=1'-0" on 11" x 17"                                                                                                                                                                                                                       |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      |                                     |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
| DATE: 5-20-25                                                                                                                                                                                                                                        | DRAWING: A3                         |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                      | SHEET: 4 of 16                      |         |                                                                                                                                                                                                                                                                                                                                                             |  |  |            |  |  |      |      |              |    |         |                                 |  |  |  |  |  |  |  |  |  |  |  |  |





EXISTING REAR ELEVATION



PROPOSED REAR ELEVATION

BUILDING PERMIT SET

**CHARLES HOYT DESIGNS**  
 Triangle Style Architecture  
 P.O. BOX 326  
 Ryebrook, NH 03171  
 (603) 932-4016  
 charles@hoyt-designs@hotmail.com

DATE: **5-20-25**  
 DRAWING: **A4**  
 SHEET: **5 of 16**

250 MCKINLEY ROAD  
 PORTSMOUTH, NH

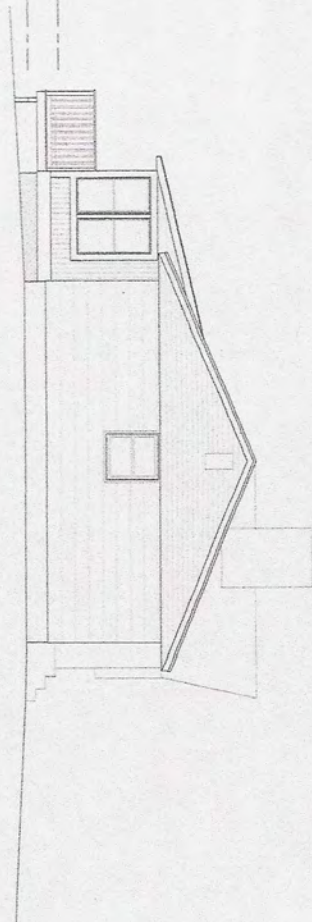
EXISTING AND PROPOSED REAR ELEVATION  
 SCALE: 1/4"=1'-0" on 24" x 36"  
 SCALE: 1/8"=1'-0" on 11" x 17"

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV.       | DATE    | DISCRIPTION:                    |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |



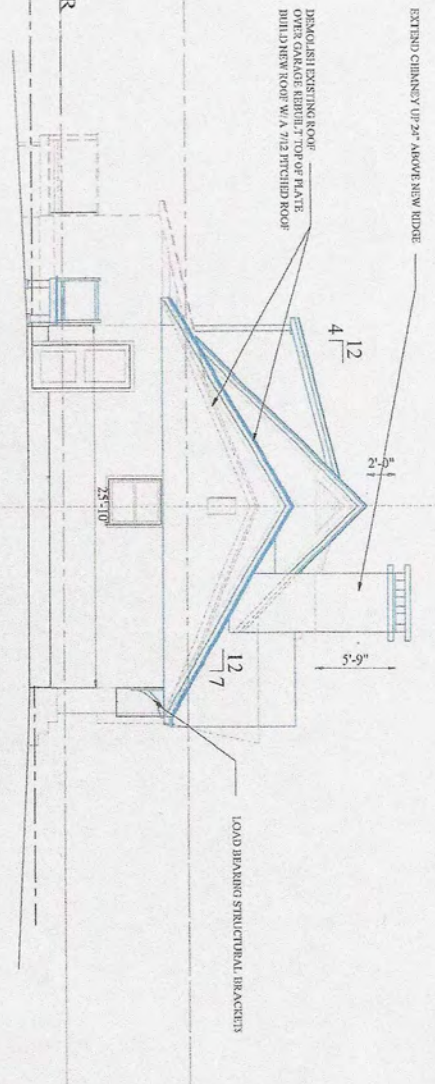
FIRST FLOOR  
GARAGE

EXISTING LEFT ELEVATION



FIRST FLOOR  
GARAGE

PROPOSED LEFT ELEVATION



BUILDING PERMIT SET



250 MCKINLEY ROAD  
PORTSMOUTH, NH

EXISTING AND PROPOSED LEFT ELEVATION  
SCALE: 1/4"=1'-0" on 24" x 36"  
SCALE: 1/8"=1'-0" on 11" x 17"

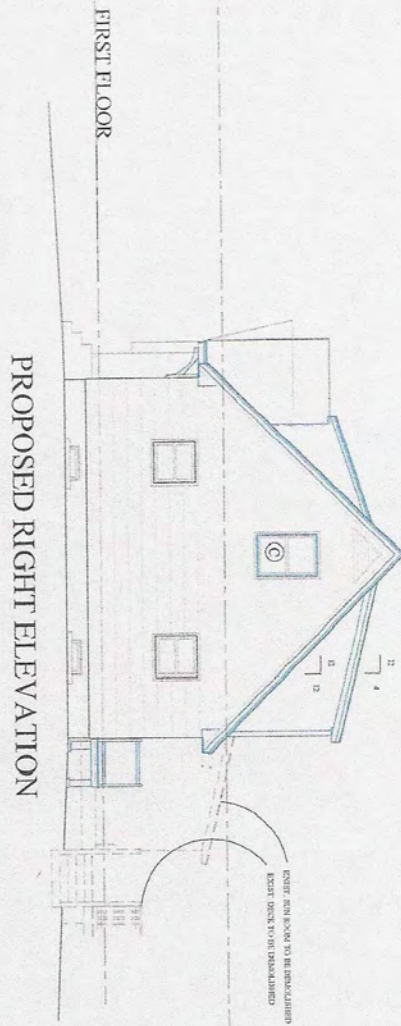
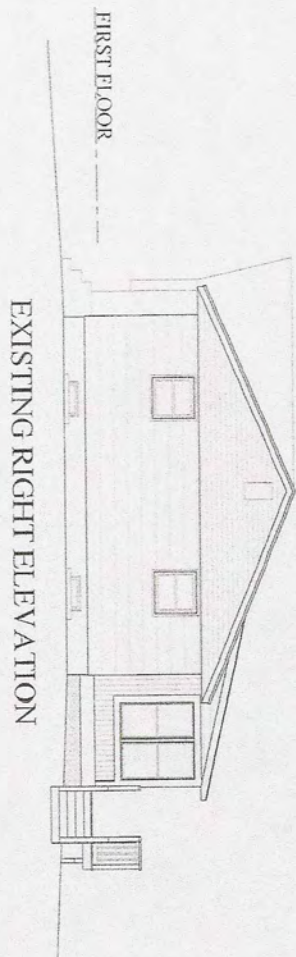
REVISIONS:

| REV. | DATE    | DESCRIPTION                     |
|------|---------|---------------------------------|
| 1.   | 1/16/24 | Revised Rear Deck & Front Porch |

DATE  
5-20-25

DRAWING  
A5  
SHEET  
6 of 16





BUILDING PERMIT SET



250 MCKINLEY ROAD  
PORTSMOUTH, NH

EXISTING AND PROPOSED RIGHT ELEVATION  
SCALE: 1/4"=1'-0" on 24" x 36"  
SCALE: 1/8"=1'-0" on 11" x 17"

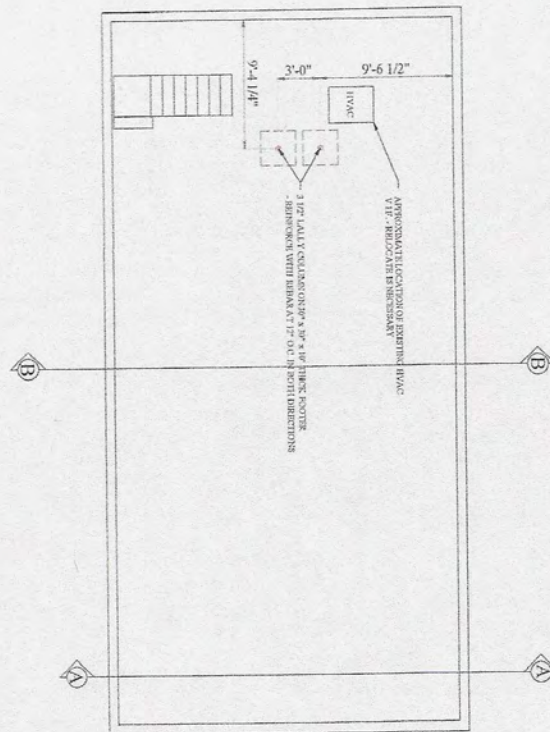
REVISIONS:

| REV. | DATE    | DISCRIPTION                     |
|------|---------|---------------------------------|
| 1.   | 1/16/24 | Revised Rear Deck & Front Porch |
|      |         |                                 |
|      |         |                                 |
|      |         |                                 |
|      |         |                                 |

DATE: 5-20-25  
DRAWING: A6  
SHEET: 7 of 16



# PARTIAL BASEMENT PLAN



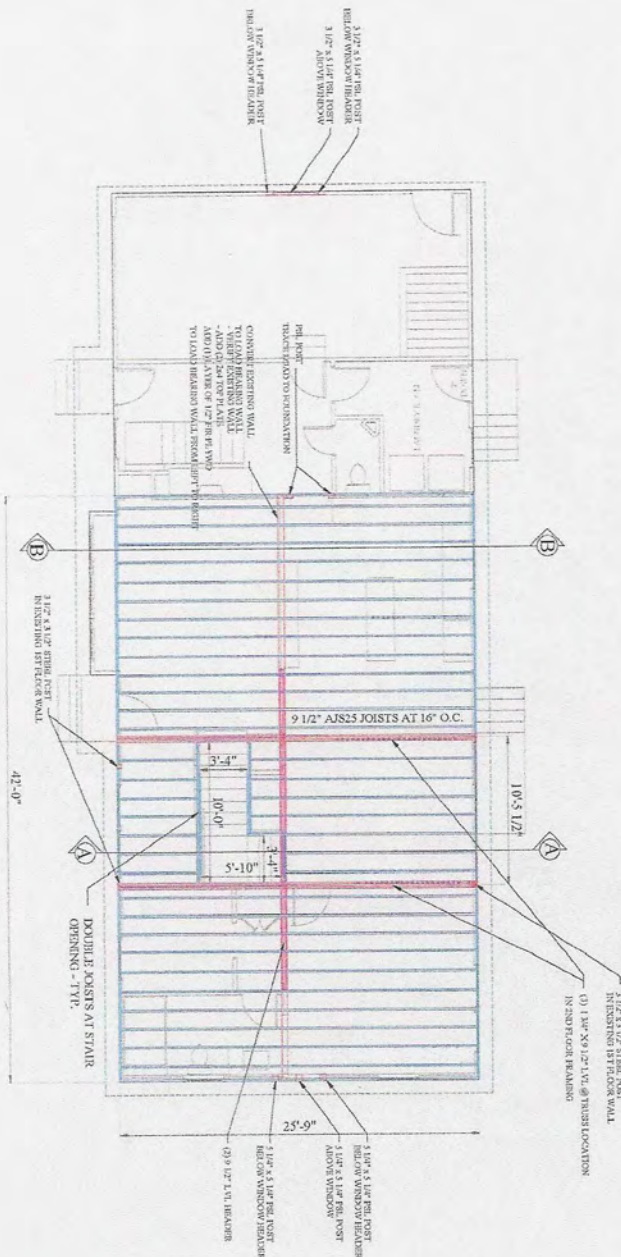
## BUILDING PERMIT SET

|                                                                                                                                                                                                                                           |                                                                                                                                      |         |                                 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------|---------|---------------------------------|
|  <b>CHARLES HOYT DESIGNS</b><br>Shingle Style Architecture<br>P.O. BOX 526<br>Rte 26 South, NH 05871<br>603.812-8016<br>charleshoymdesigns@hotmail.com | REVISIONS:                                                                                                                           |         |                                 |
|                                                                                                                                                                                                                                           | REV.                                                                                                                                 | DATE    | DISCRIPTION:                    |
|                                                                                                                                                                                                                                           | 1.                                                                                                                                   | 1/16/24 | Revised Rear Deck & Front Porch |
|                                                                                                                                                                                                                                           |                                                                                                                                      |         |                                 |
|                                                                                                                                                                                                                                           |                                                                                                                                      |         |                                 |
| DATE: <b>5-20-25</b><br>DRAWING: <b>A7</b><br>SHEET: <b>8 of 16</b>                                                                                                                                                                       | 250 MCKINLEY ROAD<br>PORTSMOUTH, NH<br><br>PARTIAL BASEMENT PLAN<br>SCALE: 1/4"=1'-0" on 24" x 36"<br>SCALE: 1/8"=1'-0" on 11" x 17" |         |                                 |



# NOTES:

1. Roof Shingle: Landmark (color: Country Grey) by certified triple Laminar HD Profile (or approved equal) 45 year Asphalt Shingle
2. Roof Sheathing: 5/8" ZIP system with ZIP tape at all joints
3. All Structural Beam to Beam, Beam, to Post, fastened with an approved Connector
4. Grace Ice and Water Shield at eaves and valleys
5. Rafters: 2x12 at 16" o.c. - typ.
6. Hurricane Clips: Simpson H2.5A (or approved equal) at wall, at every joist
7. Walls: 2x6 wood stud Exterior Walls - typ. 2x4 wood stud Interior Walls - typ.
8. Insulation: Exterior walls: R-20 Batt Insulation Roof Insulation: R-49 Closed Cell Polyurethane Spray Insul. Floor: R-30 Batt Insulation
9. Floors: 9 1/2" AIS25 at 16" O.C. - typ.
10. Fasten Rafters to Ridge with Simpson Hangers: LRU2102Z (or approved equal)
11. All Structural Beam to Beam, Beam, to Post, fastened with an approved Connector
12. Exterior Finish: Siding (T.B. Det.) over 1/2" ZIP system with ZIP tape at all joints



## SECOND FLOOR FRAMING

BUILDING PERMIT SET



250 MCKINLEY ROAD  
PORTSMOUTH, NH

SECOND FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0" on 24" x 36"  
SCALE: 1/8"=1'-0" on 11" x 17"

DATE: 5-20-25  
DRAWN: A8  
SHEET: 9 of 16

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV.       | DATE    | DISCUSSION:                     |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |



1. Roof Shingle: Landmark (color: Country Grey) by certified triple Laminare HD Profile (or approved equal) 45 year Asphalt Shingle
2. Roof Sheathing: 5/8" ZIP system with ZIP tape at all joints
3. All Structural Beam to Beam, Beam, to Post, fastened with an approved Connector
4. Grace Ice and Water Shield at eaves and valleys
5. Rafters: 2x12 @ 2X8S at 16" o.s. - typ.  
Rafter Extensions: 2x6 at 16" O.C.
6. Hurricane Clips: Simpson H2.5A (or approved equal) at wall, at every joist
7. Walls: 2x6 wood stud Exterior Walls - typ.  
2x4 wood stud Interior Walls - typ.
8. Insulation: Exterior walls: R-20 Batt Insulation  
Roof Insulation: R-49 Closed Cell Polyurethane Spray Insul
9. Floor: R-30 Batt Insulation  
Floor: R-30 Batt Insulation
9. Floors: 9 1/2" AIS25 at 16" O.C. - typ.
10. Fasten Rafters to Ridge with Simpson Hangers: LRU210Z (or approved equal)
11. All Structural Beam to Beam, Beam, to Post, fastened with an approved Connector
12. Exterior Finish: Siding (T.B. Det.)  
over 1/2" ZIP system with ZIP tape at all joints

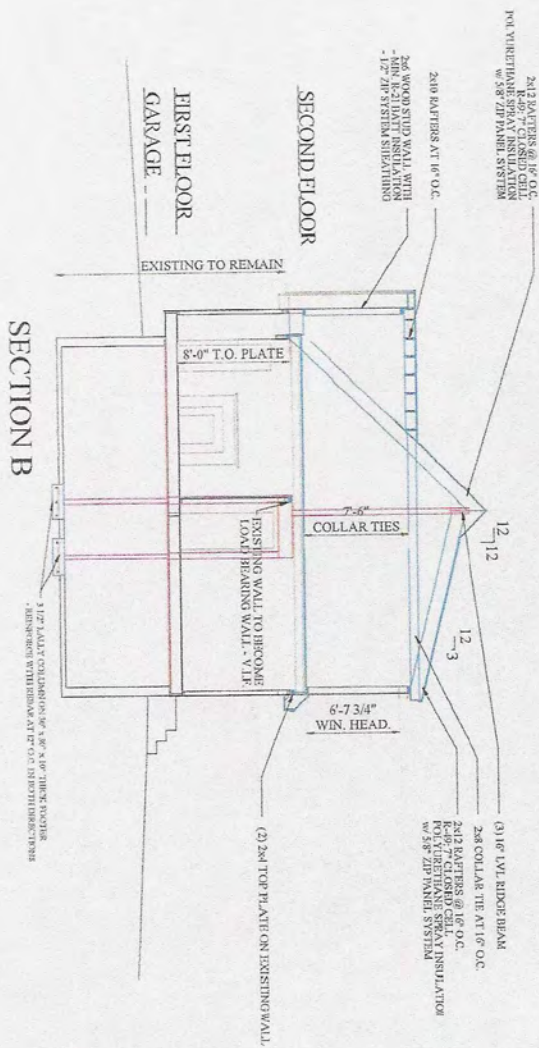
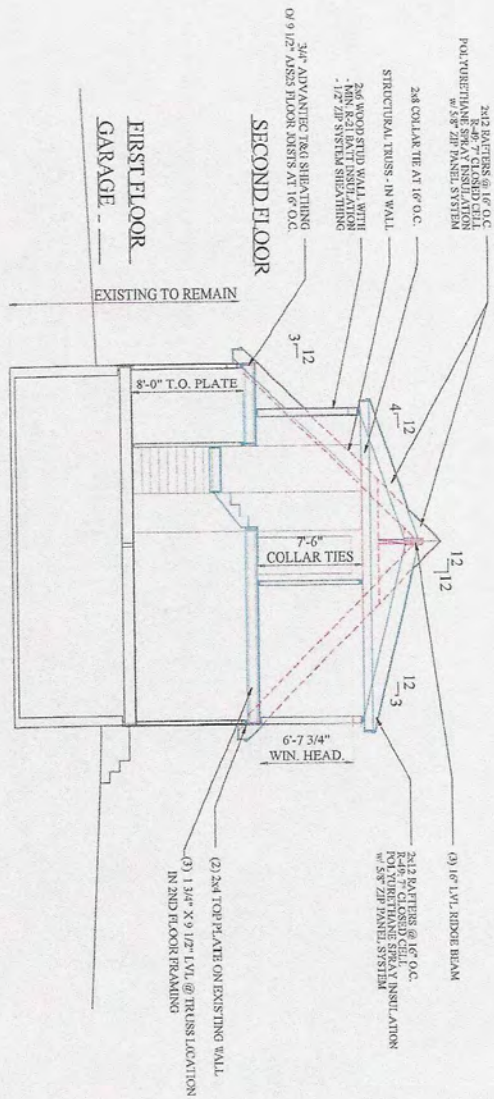


**CHARLES  
HOYT  
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Shingle Style Architecture  
7  
PO BOX 526  
Rye Beach, WI 03871  
(603) 812-8016  
charleshoymdesigns@hotmail.com

ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0" on 24" x 36"  
SCALE: 1/8"=1'-0" on 11" x 17"

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV.       | DATE    | DISCRIPTION:                    |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
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# BUILDING PERMIT SET



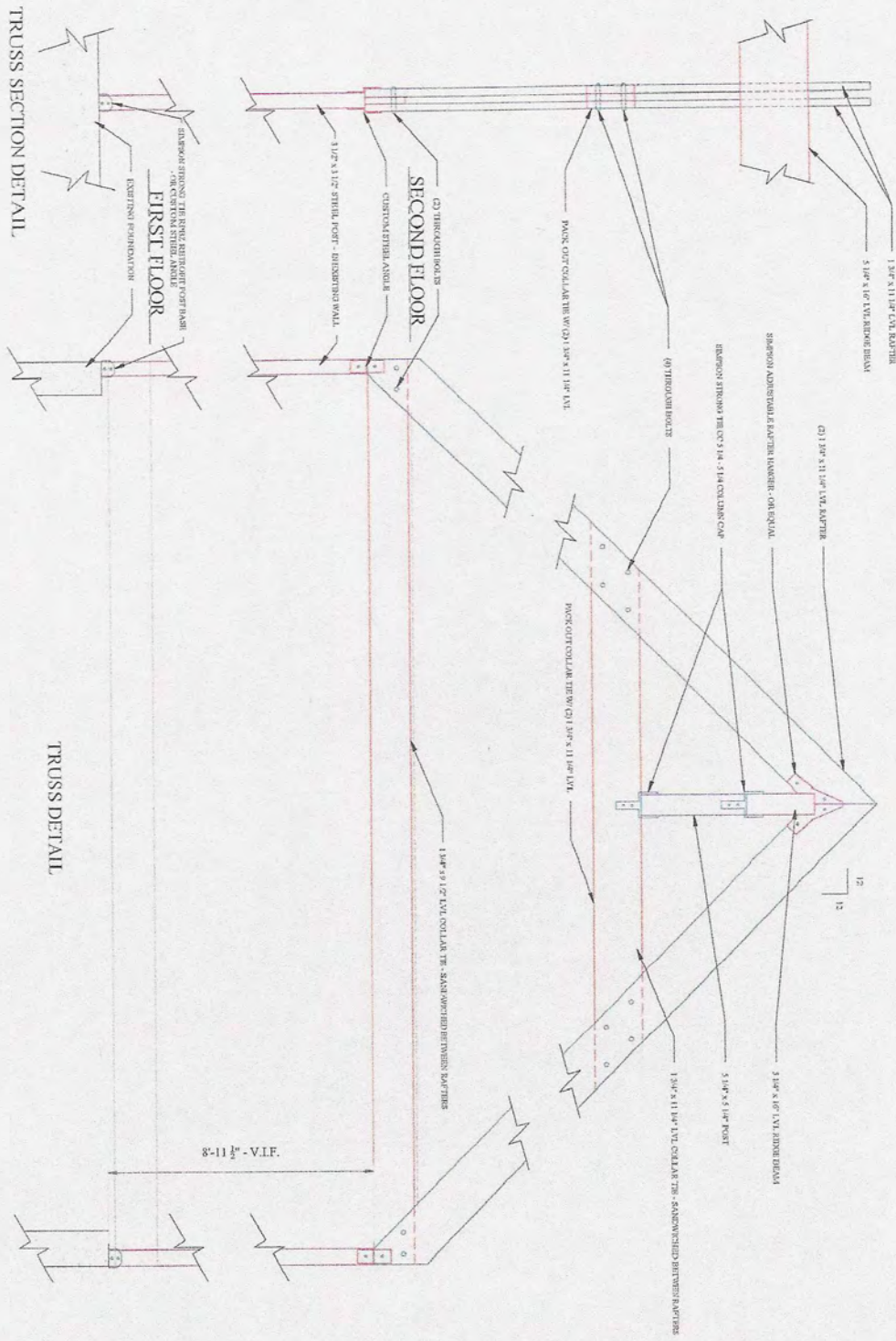
250 MCKINLEY ROAD  
PORTSMOUTH, NH

SECTIONS  
SCALE: 1/4"=1'-0" on 24" x 36"  
SCALE: 1/8"=1'-0" on 11" x 17"

| REV. | DATE    | DISCUSSION                      |
|------|---------|---------------------------------|
| 1.   | 1/16/24 | Revised Rear Deck & Front Porch |

DATE: 5-20-25  
DRAWN BY: A 10  
11 of 16





BUILDING PERMIT SET

**CHARLES HOYT DESIGNS**  
 Shingle Style Architecture  
 P.O. BOX 326  
 Rye Beach, NH 03871  
 (603) 873-4016  
 charleshoymdesigns@hotmail.com

DATE: **5-20-25**  
 SHEET: **A11**  
 12 of 16

250 MCKINLEY ROAD  
 PORTSMOUTH, NH

STRUCTURAL TRUSS DETAIL  
 SCALE: 1"=1'-0" on 24" x 36"  
 SCALE: 1/2"=1'-0" on 11" x 17"

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV.       | DATE    | DISCUSSION:                     |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |





Turning to Conceptual, All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal (Hr.).

| Design Results        | Actual vs. Location          | Absence                     | Score         | LOS  | Level of Conformance (Percent) |
|-----------------------|------------------------------|-----------------------------|---------------|------|--------------------------------|
| Design Reaction (hrs) | 2070 @ 1.1 hr <sup>a</sup>   | 2662 @ 1.25 hr <sup>a</sup> | Passed (100%) | --   | 1.0 B + 1.0 A (All Spans)      |
| Shore (kN)            | 2070 @ 1.9 hr <sup>a</sup>   | 19150                       | Passed (15%)  | 1.25 | 1.0 B + 1.0 A (All Spans)      |
| Moorage (kN-m)        | 15403 @ 11.1 hr <sup>a</sup> | 5019                        | Passed (24%)  | 1.25 | 1.0 B + 1.0 A (All Spans)      |
| Live load (kN)        | 0.114 @ 11.1 hr <sup>a</sup> | 0.843                       | Passed (979%) | --   | 1.0 B + 1.0 A (All Spans)      |
| Total load (kN)       | 0.212 @ 11.1 hr <sup>a</sup> | 1.135                       | Passed (932%) | --   | 1.0 B + 1.0 A (All Spans)      |

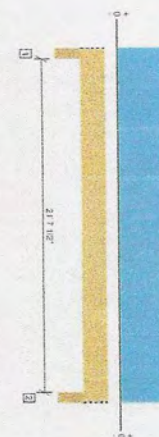
| Supports        | Beating Length  |          | Leads to Support (in) |           |         |             |
|-----------------|-----------------|----------|-----------------------|-----------|---------|-------------|
|                 | Total Available | Required | Steel                 | Lead Cast | Precast | Accessories |
| 1. Carbon-Steel | 5.25"           | 1.07"    | 1279                  | 1946      | 2055    | Nothing     |
| 2. Carbon-Steel | 5.25"           | 5.50"    | 1397                  | 1964      | 1955    | Nothing     |
| 3. Carbon-Steel | 5.25"           | 1.30"    | 1279                  | 1964      | 1955    | Nothing     |

| Lateral Direction | Bearing Intersects | Comments |
|-------------------|--------------------|----------|
| 100 (deg) (u)     | 17 11' 00"         |          |
| 100 (deg) (u)     | 17 11' 00"         |          |

| Vertical Loads       | Location (Side)       | Triaxial Widespread | Dead Load (k.g.) | Dead Load (t.i.s) | Comments     |
|----------------------|-----------------------|---------------------|------------------|-------------------|--------------|
| 0.56t Weight (t.i.s) | 0.0 27 20.127         | N/A                 | 26.5             | —                 |              |
| 1.1 column (t.i.s)   | 0.0 17 10.127 (front) | 17                  | 15.5             | 20.0              | Defined Load |

[illegible]

## ROOF RIDGE BEAM



Drawing is Catechoidal. All heights are measured from the outside face of belt support (or belt centerline end). All dimensions are horizontal (Top).

| Design Results        | Actual vs. Location | Min/Max       | Peak          | CF   | Load Combination (actions) |
|-----------------------|---------------------|---------------|---------------|------|----------------------------|
| Member Rotation (deg) | -4900 to 3.34°      | 26072 (1.25°) | Peak (2.04°)  | 1.0  | 1.0 D + 1.0 L (45 panel)   |
| Shear (kN)            | 41.20 to 11.9°      | 19920         | Peak (2.14°)  | 1.25 | 1.0 D + 1.0 L (45 panel)   |
| Moment (kN-m)         | 26050 to 11.5°      | 50.319        | Peak (2.14°)  | 1.25 | 1.0 D + 1.0 L (45 panel)   |
| Use Load Only (kN)    | 8.234 to 11.5°      | 1.004         | Peak (2.785°) | 1.0  | 1.0 D + 1.0 L (45 panel)   |
| Peak Load Only (kN)   | 0.642 to 11.5°      | 1.458         | Peak (2.787°) | 1.0  | 1.0 D + 1.0 L (45 panel)   |

| Supports          | Seating (Long) |        | Leads to Subject (Day) |           | Access works |
|-------------------|----------------|--------|------------------------|-----------|--------------|
|                   | Total          | Seated | Read Live              | Perfected |              |
| 1. Classroom Pkg. | 3,267          | 5,317  | 2,153                  | 4,900     | Building     |
| 2. Classroom Pkg. | 2,530          | 5,277  | 1,597                  | 4,100     | Building     |
| 3. Classroom Pkg. | 2,530          | 5,277  | 2,175                  | 4,100     | Building     |

| Labeling         | Binding Interval | Comments |
|------------------|------------------|----------|
| Top Edge (in)    | 14' 0"           |          |
| Bottom Edge (in) | 22' 0" 0"        |          |

| Vertical loads     | Section (kN)     | Trailing<br>Winch | Deck<br>(0.40) | Reel Lin<br>(1.25) | Cementite |
|--------------------|------------------|-------------------|----------------|--------------------|-----------|
| 0-568 single (1-1) | 910 22-6         | N/A               | 24.5           | —                  |           |
| 1-1 (1000 ft)      | 0 to 22 6° (max) | 11°               | 174            | 20.0               | Deck Load |

[illegible]

## GARAGE RIDGE BEAM

## BUILDING PERMIT SET



**CHARLES  
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DESIGNS**  
Chicago Style Architecture

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Rye Beach, WI 03471  
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charleshoytdesigns@hotmail.com

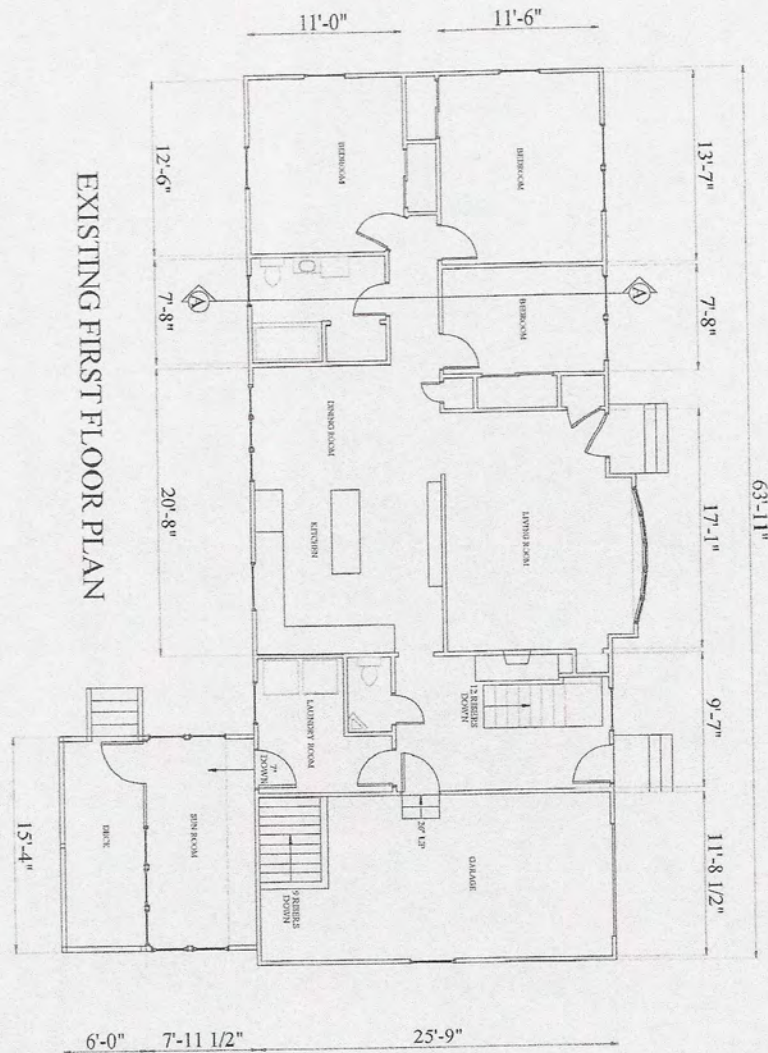
|         |          |
|---------|----------|
| DATE    | DRAWING  |
| 5-20-25 | A12      |
| SHEET   | 13 of 16 |

250 MCKINLEY ROAD  
PORTSMOUTH, NH

SCALE:  $1/8"=1'-0"$  on  $11" \times 17"$

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV        | DATE    | DISCRPTION:                     |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |

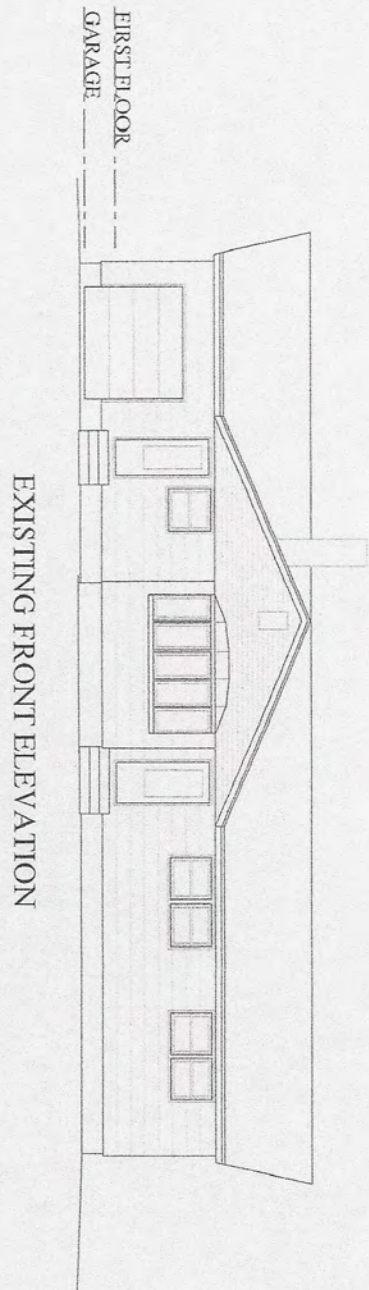
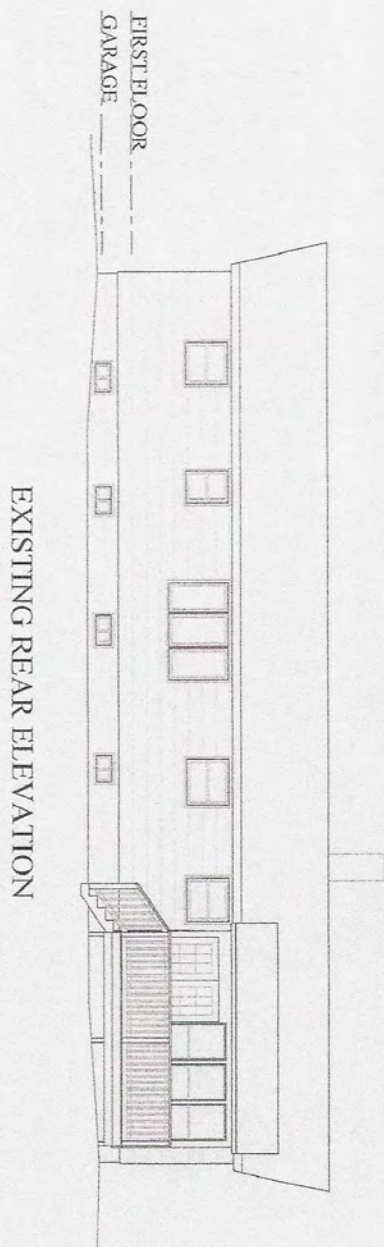




# BUILDING PERMIT SET

|  <div><p><b>CHARLES HOYT DESIGNS</b><br/>Shingle Style Architecture</p><p>P.O. BOX 326<br/>Rye Beach, WI 53071<br/>(608) 812-8016<br/>charles@hoytdesigns.com</p></div> <div><p>DATE: <b>5-20-25</b></p><p>DRAWING: <b>E1</b></p><p>SHEET: <b>14 of 16</b></p></div> | <p>250 MCKINLEY ROAD<br/>PORTSMOUTH, NH</p> |         | <p>EXISTING FIRST FLOOR PLAN<br/>SCALE: 1/4"=1'-0" on 24" x 36"<br/>SCALE: 1/8"=1'-0" on 11" x 17"</p> |  | <table><tr><th colspan="3">REVISIONS:</th></tr><tr><th>REV.</th><th>DATE</th><th>DISCUSSION:</th></tr><tr><td>1.</td><td>1/16/24</td><td>Revised Rear Deck &amp; Front Porch</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table> |  |  | REVISIONS: |  |  | REV. | DATE | DISCUSSION: | 1. | 1/16/24 | Revised Rear Deck & Front Porch |  |  |  |  |  |  |  |  |  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------|---------|--------------------------------------------------------------------------------------------------------|--|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|------------|--|--|------|------|-------------|----|---------|---------------------------------|--|--|--|--|--|--|--|--|--|
|                                                                                                                                                                                                                                                                                                                                                         | REVISIONS:                                  |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         | REV.                                        | DATE    | DISCUSSION:                                                                                            |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         | 1.                                          | 1/16/24 | Revised Rear Deck & Front Porch                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         |                                             |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         |                                             |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         |                                             |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         |                                             |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         |                                             |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         |                                             |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |
|                                                                                                                                                                                                                                                                                                                                                         |                                             |         |                                                                                                        |  |                                                                                                                                                                                                                                                                                                                     |  |  |            |  |  |      |      |             |    |         |                                 |  |  |  |  |  |  |  |  |  |

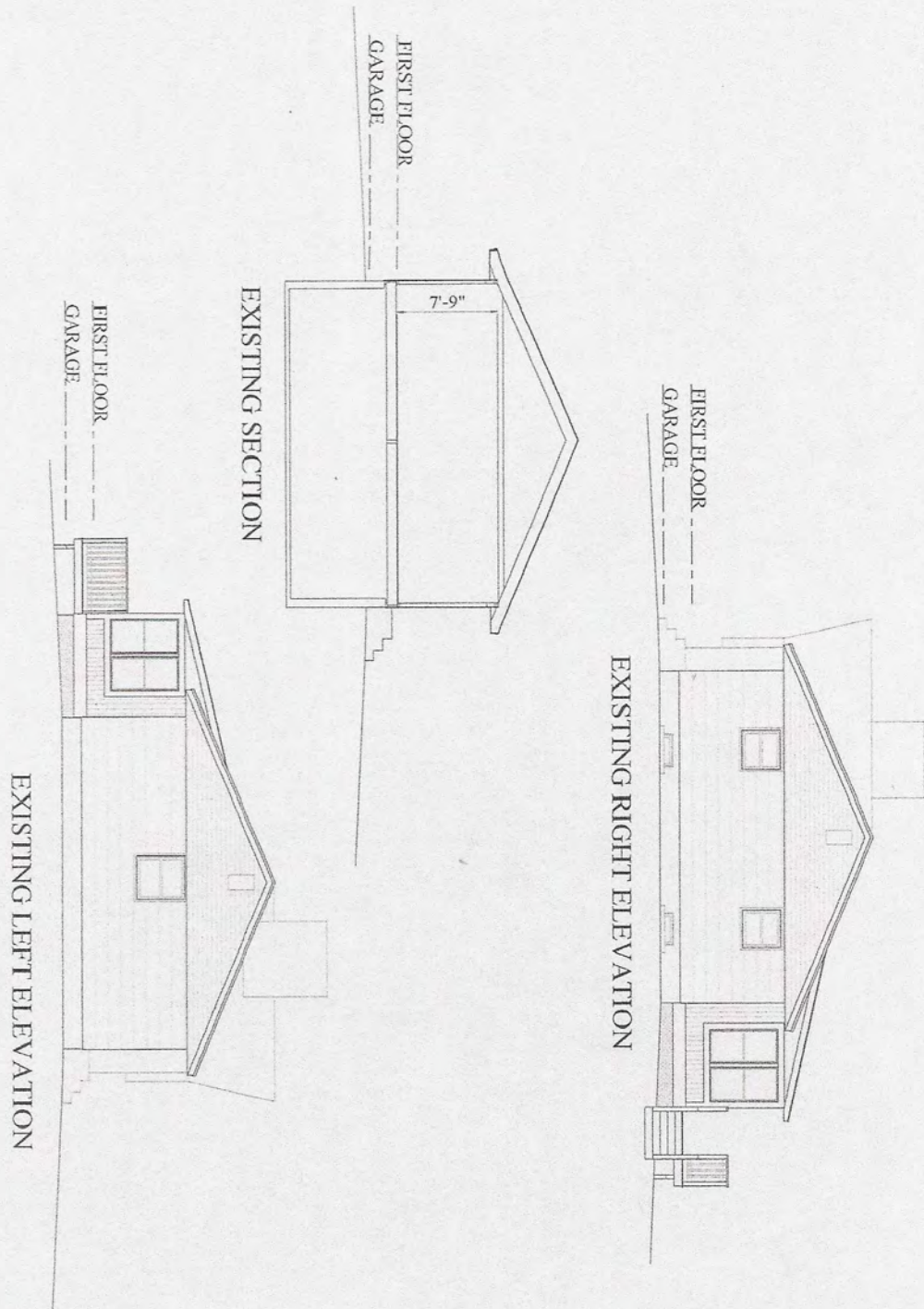




BUILDING PERMIT SET

|                                                                                                                                                                                                                                   |                                                                                                        |  |            |                                         |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|--|------------|-----------------------------------------|
|  <b>CHARLES HOYT DESIGNS</b><br>Shingle Style Architecture<br>P.O. BOX 326<br>Rye Beach, WI 54981<br>(608) 812-4016<br>charles@hoytdesigns.com | 250 MCKINLEY ROAD<br>PORTSMOUTH, NH                                                                    |  | REVISIONS: |                                         |
|                                                                                                                                                                                                                                   | EXISTING FRONT AND REAR ELEVATIONS<br>SCALE: 1/4"=1'-0" on 24" x 36"<br>SCALE: 1/8"=1'-0" on 11" x 17" |  | REV.       | DATE DESCRIPTION                        |
| DATE<br><b>3-20-23</b>                                                                                                                                                                                                            | DRAWN BY<br><b>E2</b>                                                                                  |  | 1.         | 1/16/24 Revised Rear Deck & Front Porch |
| SHEET<br>15 of 16                                                                                                                                                                                                                 |                                                                                                        |  |            |                                         |





BUILDING PERMIT SET

**CHARLES HOYT DESIGNS**  
 Single Style Architecture  
 250 MCKINLEY ROAD  
 PORTSMOUTH, NH 03801  
 (603) 812-8016  
 charles@hoymdesigns.com

**E3**  
 16 of 16

**3-20-23**

250 MCKINLEY ROAD  
 PORTSMOUTH, NH

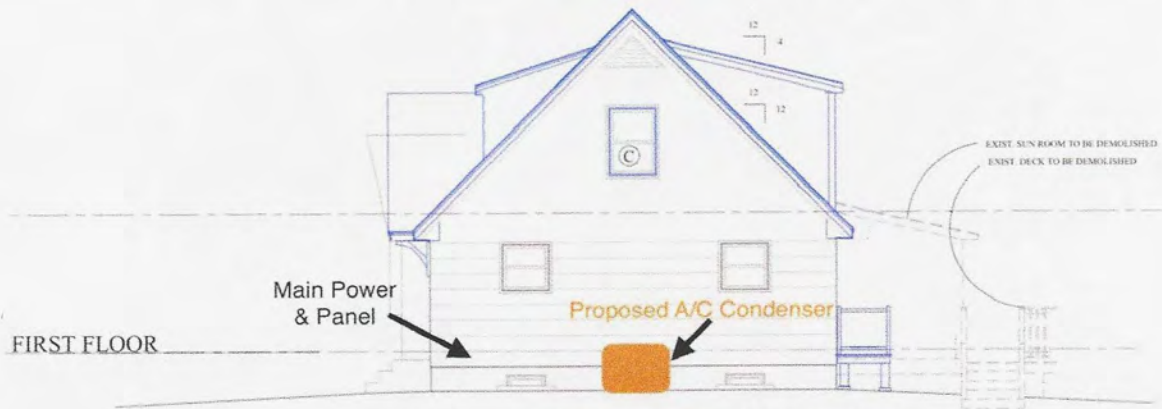
EXISTING SECTION AND RIGHT AND LEFT ELEVATIONS  
 SCALE: 1/4"=1'-0" on 24" x 36"  
 SCALE: 1/8"=1'-0" on 11" x 17"

| REVISIONS: |         |                                 |
|------------|---------|---------------------------------|
| REV.       | DATE    | DISCRIPTION                     |
| 1.         | 1/16/24 | Revised Rear Deck & Front Porch |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |
|            |         |                                 |





PROPOSED FRONT ELEVATION



PROPOSED RIGHT ELEVATION







