



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists



October 6, 2022

Beverly Mesa-Zendt, Planning Director  
City of Portsmouth Planning Department  
1 Junkins Avenue, 3<sup>rd</sup> Floor  
Portsmouth, NH 03801

via email: View Point

**RE: LU-22-61 – Response to TAC Comments  
77 Meredith Way – Randi & Jeff Collins – Tax Map 162 Lot 16  
TFM Project #47442-00**

Dear Ms. Mesa-Zendt:

On behalf of our clients, Randi & Jeff Collins, TFMoran, Inc. (TFM) respectfully submits the following letter in response to the comments made by the City of Portsmouth Technical Advisory Committee (TAC), via a letter dated October 5, 2022. The following materials are included in this revised submission:

- **Updated Drainage Summary**
- **Site Development Plan set entitled “Proposed 2 Lot Subdivision Plan, 77 Meredith Way, Portsmouth, New Hampshire”, prepared by TFMoran, Inc., dated July 1, 2022, last revised October 6, 2022 (1 copy at 22”x34).**

To facilitate your review, we have provided your comments along with our responses, which are shown in ***bold italics***.

**TAC REVIEW COMMENTS:**

**October 5, 2022 Comments**

1. POI-3 of Sheet C-04 will be corrected and amended to DPW satisfaction.

***After discussing this with DPW, it was determined that the pipe from POI-2 was the pipe that needed to be removed. The pipe from POI-2 has been removed. Updated calculations are included.***

2. A note will be added to sheet C-07 detailing easement turnaround area will be constructed with Heavy Duty Pavement.

***Revised Note 10 on Sheet C-07, also added Note 8 to Sheet C-03, Note 15 to Sheet S-02 & Note 14 to Sheet S-03.***



3. Applicant will add an Easement Plan to the plan set (indicated as S3).

***An Easement Plan has been added to the plan set, see Sheet S-03.***

4. Prior to recordation the proposed easements in which the City is a party will be approved by the City Council.

***Draft deeds will be provided for legal review prior to recording.***

5. A note to sheet C-03 will be added to the plans stating that the proposed principal structures will be located in substantial compliance with siting depicted in the plan set.

***Added Note 9 to Sheet C-03.***

6. Raingarden detail shall reflect direction provided by Public Works at the 10-4-2022 Technical Advisory Committee meeting and be updated and resubmitted for approval by Public Works prior to consideration by the Planning Board.

***Rain garden detail on Sheet C-08 has been revised removing the outlet pipe, it was confirmed that the stone for both raingardens had enough storage volume to hold a 1” storm event. Outlet structure was changed to a riser.***

7. All runoff from the structures is to be directed towards the appropriate rain gardens.

***Revised Note 10 on Sheet C-04.***

8. A letter detailing plan changes and updates will be submitted with the plan resubmission.

***Provided.***

**Additional Revisions since 9/20/2022 TAC submittal:**

1. Sheet S-02 Subdivision Plan:
  - a. Added Turnaround Easement and Note 15.
  - b. Added Sewer Easement and Note 14
  - c. Added Plan Reference 4 (S-03 Easement Plan).

We trust that the above responses satisfy the concerns expressed in the City of Portsmouth’s TAC comments. Should you wish to further discuss any of the above please contact us so that we may meet and resolve any outstanding concerns.



**LU-22-61 – Response to TAC Comments**  
**77 Meredith Way – Randi & Jeff Collins – Tax Map 162 Lot 16**  
**TFM Project #47442-00**

**October 6, 2022**

Respectfully,  
**TFMoran, Inc.**

A handwritten signature in blue ink that reads 'Brenda Kolbow'. The signature is written in a cursive, flowing style.

**Brenda Kolbow, LLS**  
*Survey Department Manager*

BMK/bmk

cc: Randi & Jeff Collins  
Christopher Mulligan, Esquire

## GENERAL INFORMATION

### OWNER

MAP 162 LOT 16  
RANDI & JEFF COLLINS  
77 MEREDITH WAY  
PORTSMOUTH, NH 03801  
774-278-8676

### APPLICANT

RANDI & JEFF COLLINS  
77 MEREDITH WAY  
PORTSMOUTH, NH 03801  
774-278-8676

### RESOURCE LIST

PLANNING/ZONING DEPARTMENT  
1 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
603-610-7216  
NICK CRACKNELL, PRINCIPAL PLANNER

### PUBLIC WORKS

600 PEVERLY HILL ROAD  
PORTSMOUTH, STATE 03801  
603-472-1530  
DAVE DEFOSESSE, CONSTRUCTION TECHNICAL SUPERVISOR

### POLICE DEPARTMENT

3 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
603-427-1510

### FIRE DEPARTMENT

170 COURT STREET  
PORTSMOUTH, NH 03801  
603-427-1515

### ASSOCIATED PROFESSIONALS

ATTORNEY  
BOSEN & ASSOCIATES  
266 MIDDLE STREET  
PORTSMOUTH, NH 03801  
603-427-5500  
CHRISTOPHER P. MULLIGAN, ESQUIRE

# PROPOSED 2 LOT SUBDIVISION

77 MEREDITH WAY  
PORTSMOUTH, NEW HAMPSHIRE

JULY 1, 2022  
LAST REVISED OCTOBER 6, 2022

## INDEX OF SHEETS

SHEET	SHEET TITLE
C-00	COVER
C-01	NOTES & LEGEND
S-01	EXISTING CONDITIONS PLAN
S-02	SUBDIVISION PLAN
S-03	EASEMENT PLAN
C-02	SITE PREPARATION & DEMOLITION PLAN
C-03	SITE LAYOUT PLAN
C-04	GRADING & DRAINAGE PLAN
C-05	UTILITY PLAN
C-06	ROAD PLAN AND PROFILE
C-07 THRU C-09	DETAILS

## PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
CITY PLANNING BOARD SUBDIVISION APPROVAL	-	-	-
CITY ZONING BOARD VARIANCE REQUEST (ARTICLE 5 - SECTION 10.521 )	LU-22-61	2022/06/22	2024/06/22

## VARIANCE GRANTED

ON JUNE 22, 2022 THE CITY OF PORTSMOUTH ZONING BOARD OF ADJUSTMENT GRANTED RELIEF FROM THE FOLLOWING SECTION OF THE CITY OF PORTSMOUTH ZONING ORDINANCE:

ARTICLE 5 SECTION 10.521 - MINIMUM CONTINUOUS LOT FRONTAGE:  
TO ALLOW THE CONTINUOUS STREET FRONTAGE TO BE 73.99' FOR PROPOSED LOT A (MAP 162 LOT 16) & 31.61' FOR PROPOSED LOT B (MAP 162 LOT 16-1), WHERE 100' IS REQUIRED AND 31.7' EXISTS.

### OWNER'S SIGNATURE

THE PROPERTY WILL BE DEVELOPED IN ACCORDANCE WITH THIS PLAN AND THE ORDINANCES OF THE CITY OF PORTSMOUTH, NEW HAMPSHIRE.

OWNER OR AUTHORIZED AGENT \_\_\_\_\_

DATE \_\_\_\_\_

### APPROVED BY THE CITY OF PORTSMOUTH PLANNING BOARD

ON \_\_\_\_\_  
BOARD MEMBER \_\_\_\_\_ AND  
BOARD MEMBER \_\_\_\_\_

## VICINITY PLAN



HORIZONTAL SCALE 1"=500'  
500 250 0 500

## SITE DEVELOPMENT PLANS

TAX MAP 162 LOT 16

COVER

PROPOSED 2 LOT SUBDIVISION

77 MEREDITH WAY

OWNED BY

RANDI & JEFF COLLINS

PREPARED FOR

RANDI & JEFF COLLINS

SCALE: AS SHOWN

JULY 1, 2022

Seacoast Division

**TFM**  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

REV	DATE	DESCRIPTION	DR	CK
6	10/6/2022	REVISED PER TAC COMMENTS	BMK	JCC
5	9/27/2022	REVISED LOT #'S	BMK	JCC
4	9/20/2022	REVISED PER TAC COMMENTS	JKC	JCC
3	8/31/2022	REVISED PER TAC COMMENTS	JKC	JCC
2	8/23/2022	REVISED PER TAC COMMENTS	JKC	JCC
1	7/21/2022	REVISED PER TAC COMMENTS	JKC	JCC

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

FILE	47442-00	DR	BMK	FB	-	47442-00_COVER	C-00
CK		CK	CRR	CADFILE			







**LEGEND:**

<b>MAP 137 LOT 11</b>	ASSESSORS MAP AND LOT NUMBER
BK. PG.	BOOK / PAGE
CU	COPPER
EL	ELEVATION
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
N/F	NOW OR FORMERLY
PEP	PROPOSED EDGE OF PAVEMENT
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
W/	WITH
○	STOCKADE FENCE
---	BOUNDARY LINE
- - -	SETBACK LINE
- · - · -	PROPOSED BOUNDARY LINE
▨	TURNAROUND EASEMENT
▨	PAVEMENT

**PLAN REFERENCES:**

- "PLAN OF ELM PLACE, SITUATED IN PORTSMOUTH, N.H." DATED 1856. RCRD PLAN #008.
- "LOT LINE REVISION, PINE STREET, PORTSMOUTH, NEW HAMPSHIRE, FOR JOYCE M. MAYO & CITY OF PORTSMOUTH" PREPARED BY DURGIN, VERRA AND ASSOCIATES, INC., DATED 6/9/93 WITH REVISION 1 DATED 10/4/93. RCRD PLAN #D-22643.
- "SITE DEVELOPMENT PLANS, TAX MAP LOT 16, TWO LOT SUBDIVISION, 77 MEREDITH WAY, OWNED BY RANDI & JEFF COLLINS, PREPARED FOR RANDI & JEFF COLLINS" BY TFMORAN, INC. DATED JULY 1, 2022 WITH REVISION 5 DATED 9/27/22. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT.
- "EASEMENT PLAN, TAX MAP LOT 16, TWO LOT SUBDIVISION, 77 MEREDITH WAY, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM, OWNED BY RANDI & JEFF COLLINS" BY TFMORAN, INC. DATED SEPTEMBER 27, 2022 WITH REVISION 1 DATED 10/6/2022. TO BE RECORDED AT THE RCRD.

**VARIANCE GRANTED:**

ON JUNE 22, 2022 THE CITY OF PORTSMOUTH ZONING BOARD OF ADJUSTMENT GRANTED RELIEF FROM THE FOLLOWING SECTION OF THE CITY OF PORTSMOUTH ZONING ORDINANCE:

ARTICLE 5 SECTION 10.521 - MINIMUM CONTINUOUS LOT FRONTAGE: TO ALLOW THE CONTINUOUS STREET FRONTAGE TO BE 73.99' FOR PROPOSED LOT A & 31.61' FOR PROPOSED LOT B, WHERE 100' IS REQUIRED AND 31.7' EXISTS.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	15.00'	5.73'	5.69'	S57°00'20"E	21°52'30"
C2	14.66'	5.51'	5.48'	N35°32'32"W	21°32'35"

LINE	BEARING	DISTANCE
L1	N43°40'16"E	16.00'
L2	S46°10'19"E	19.94'
L3	N46°08'44"W	20.15'

**MAP 162 LOT 15**  
N/F  
DAVID J. & JENNIFER M. CHAPNICK  
97 MEREDITH WAY  
PORTSMOUTH, NH 03801  
RCRD BK.#5267 PG.413

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JUNE 2021. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



LICENSED LAND SURVEYOR  
DATE: 2022-10-06

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

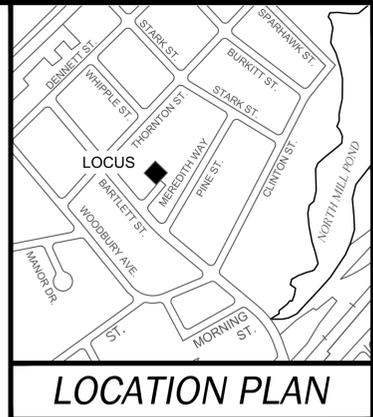
**MEREDITH WAY**  
REPORTED AS CLASS IV IN THE CITY OF PORTSMOUTH STREET INVENTORY

PROPOSED SEWER EASEMENT FROM THE CITY OF PORTSMOUTH FOR THE BENEFIT OF MAP 162 LOTS 16 & 16-1  
SEE NOTE 14

PROPOSED TURNAROUND EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH (412 S.F.)  
SEE NOTE 15

PROPOSED MAP 162 LOT 16  
11,198 S.F.  
(0.2571 ACRES)

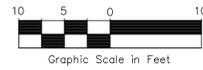
PROPOSED MAP 162 LOT 16-1  
11,265 S.F.  
(0.2586 ACRES)



**NOTES:**

- THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 162 AS LOT 16.
- THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 33015C0259F, MAP REVISED JANUARY 29, 2021.
- MINIMUM LOT DIMENSIONS:
 

	REQUIRED:	PROPOSED:
LOT AREA:	7,500 S.F.	11,198 S.F./11,265 S.F.
LOT AREA PER DWELLING UNIT:	7,500 S.F.	11,198 S.F./11,265 S.F.
CONTINUOUS STREET FRONTAGE:	100'	73.99'/46.12'
DEPTH:	70'	151.4'/152.1'
MINIMUM YARD DIMENSIONS:		
FRONT:	15'	22.0'/23.1'
SIDE:	10'	10.2'/16.7'
REAR:	20'	69.0'/69.4'
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE HEIGHT:		<35'/<35'
SLOPED ROOF:	35'	
FLAT ROOF:	30'	
ROOF APPURTENANCE HEIGHT:	8'	
BUILDING COVERAGE:	25%	21.4%/18.0%
MINIMUM OPEN SPACE:	30%	70.4%/67.8%
- OWNER OF RECORD:  
MAP 162 LOT 16:  
RANDI & JEFF COLLINS  
77 MEREDITH WAY  
PORTSMOUTH, NH 03801  
RCRD BK.#6274 PG.#1666
- PARCEL AREA:  
EXISTING: 22,463 S.F. (0.5157 ACRES)  
PROPOSED MAP 162 LOT 16: 11,198 S.F. (0.2571 ACRES)  
PROPOSED MAP 162 LOT 16-1: 11,265 S.F. (0.2586 ACRES)
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS SUBDIVIDE MAP 162 LOT 16 INTO 2 LOTS.
- FIELD SURVEY COMPLETED BY TCE JUNE 2021 & JUNE 2022 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
- HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- THE PROPOSED USE OF THESE PARCELS ARE SINGLE-FAMILY RESIDENTIAL.
- A SEWER EASEMENT FROM THE SEWER MAIN LOCATED IN PINE STREET THROUGH THE PINE STREET PARK & PLAYGROUND (TAX MAP 162 LOT 19) SHALL BE GRANTED BY THE CITY OF PORTSMOUTH FOR THE BENEFIT OF MAP 162 LOTS 16 & 16-1. THE SEWER EASEMENT SHALL BE 10 FEET WIDE CENTERED ON THE AS-BUILT LOCATION OF THE SEWER LINES. SEE PLAN REFERENCE 4 TO BE RECORDED AT THE RCRD.
- THE PORTION OF THE DRIVEWAY WITHIN THE TURNAROUND EASEMENT AREA IS TO BE CONSTRUCTED WITH HEAVY-DUTY PAVEMENT, SEE PLAN REFERENCE 3, SHEET C-07 FOR DETAIL.



REV.	DATE	DESCRIPTION	DR	CK
6	10/6/2022	ADDED NOTES 14 & 15	BMK	JCC
5	9/27/2022	ADDED EASEMENTS & LOT #'S	BMK	JCC
4	9/20/2022	REVISED ROAD EXTENSION & NOTE 4	BMK	JCC
3	8/31/2022	NO REVISIONS THIS SHEET	BMK	JCC
2	8/23/2022	NO REVISIONS THIS SHEET	BMK	JCC
1	7/21/2022	NO REVISIONS THIS SHEET	BMK	JCC

TAX MAP 162 LOT 16  
**SUBDIVISION PLAN**  
**2 LOT SUBDIVISION**  
**77 MEREDITH WAY**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
OWNED BY  
**RANDI & JEFF COLLINS**

SCALE: 1" = 10' (22x34)  
1" = 20' (11x17)

**JULY 1, 2022**

Seacoast Division

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

47442-00 DR BMK FB  
CK JCC CADFILE

S-02

MAP 162 LOT 19  
N/F  
CITY OF PORTSMOUTH  
PO BOX 628  
PORTSMOUTH, NH 03802

"PINE STREET PARK & PLAYGROUND"

C:\05\_2022-3\06pm\F:\MSC Projects\47442-00\_Collins - 77 Meredith Way\Collins Survey\Drawings\47442-00 Survey.dwg

**ABUTTERS ALONG NORTHWEST BOUNDARY:**

MAP 162 LOT 4	MAP 162 LOT 3	MAP 162 LOT 2
N/F GIULLIANO & LISA RODRIGUEZ 295 THORNTON STREET PORTSMOUTH, NH 03801 RCRD BK.#6286 PG.1195	N/F SARAH B. CORNELL & SUSAN A. CURRY 275 THORNTON STREET PORTSMOUTH, NH 03801 RCRD BK.#5720 PG.204	N/F JEFFREY P. BARTOLINI & ABIGAIL R. ROEMER 55 PINE STREET PORTSMOUTH, NH 03801 RCRD BK.#6274 PG.1684

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	15.00'	5.73'	5.69'	S57°00'20"E	21°52'30"
C2	14.66'	5.51'	5.48'	N35°32'32"W	21°32'35"

LINE	BEARING	DISTANCE
L1	N43°40'16"E	16.00'
L2	S46°10'19"E	19.94'
L3	N46°08'44"W	20.15'

**MAP 162 LOT 15**  
N/F  
DAVID J. & JENNIFER M. CHAPNICK  
97 MEREDITH WAY  
PORTSMOUTH, NH 03801  
RCRD BK.#5267 PG.413

**PROPOSED  
MAP 162 LOT 16**  
11,198 S.F.  
(0.2571 ACRES)

**PROPOSED  
MAP 162 LOT 16-1**  
11,265 S.F.  
(0.2586 ACRES)

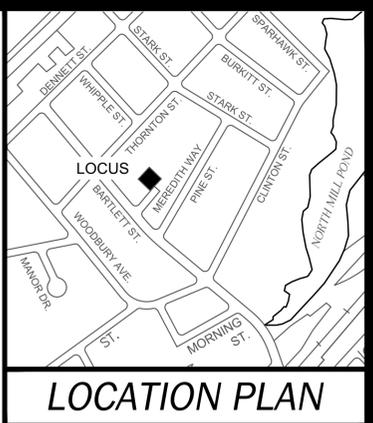
**MAP 162 LOT 17**  
N/F  
JEFFREY P. BARTOLINI  
& ABIGAIL R. ROEMER  
55 PINE STREET  
PORTSMOUTH, NH 03801  
RCRD BK.#6274 PG.1684

**LEGEND:**

MAP 137 LOT 11	ASSESSORS MAP AND LOT NUMBER
BK, PG.	BOOK / PAGE
EP	EDGE OF PAVEMENT
N/F	NOW OR FORMERLY
PEP	PROPOSED EDGE OF PAVEMENT
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
W/	WITH
EASEMENT LINE	EASEMENT LINE
BOUNDARY LINE	BOUNDARY LINE
S	PROPOSED SEWER LINE
APPROX.	APPROX. ABUTTERS LINE
WOOD GUARDRAIL	WOOD GUARDRAIL
TURN AROUND EASEMENT	TURN AROUND EASEMENT
SEWER EASEMENT	SEWER EASEMENT
PAVEMENT	PAVEMENT

**PLAN REFERENCES:**

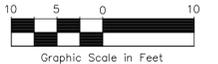
- "PLAN OF ELM PLACE, SITUATED IN PORTSMOUTH, N.H." DATED 1856. RCRD PLAN #008.
- "LOT LINE REVISION, PINE STREET, PORTSMOUTH, NEW HAMPSHIRE, FOR JOYCE M. MAYO & CITY OF PORTSMOUTH" PREPARED BY DURGIN, VERRA AND ASSOCIATES, INC., DATED 6/9/93 WITH REVISION 1 DATED 10/4/93. RCRD PLAN #0-22643.
- "SITE DEVELOPMENT PLANS, TAX MAP LOT 16, TWO LOT SUBDIVISION, 77 MEREDITH WAY, OWNED BY RANDI & JEFF COLLINS, PREPARED FOR RANDI & JEFF COLLINS" BY TFMORAN, INC. DATED JULY 1, 2022 WITH REVISION 5 DATED 9/27/22. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT.
- "TAX MAP 162 LOT 16, SUBDIVISION PLAN, 2 LOT SUBDIVISION, 77 MEREDITH WAY, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM, OWNED BY RANDI & JEFF COLLINS", PREPARED BY TFMORAN, INC. DATED JULY 1, 2022 WITH REVISION 6 DATED 10/6/2022. TO BE RECORDED AT THE RCRD.



**NOTES:**

- THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 162 AS LOT 16.
- THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 33015C0259F, MAP REVISED JANUARY 29, 2021.
- MINIMUM LOT DIMENSIONS:**

REQUIRED:	REQUIRED:
LOT AREA:	7,500 S.F.
LOT AREA PER DWELLING UNIT:	7,500 S.F.
CONTINUOUS STREET FRONTAGE:	100'
DEPTH:	70'
<b>MINIMUM YARD DIMENSIONS:</b>	
FRONT:	15'
SIDE:	10'
REAR:	20'
<b>MAXIMUM STRUCTURE DIMENSIONS:</b>	
STRUCTURE HEIGHT:	
SLOPED ROOF:	35'
FLAT ROOF:	30'
ROOF APPURTENANCE HEIGHT:	8'
BUILDING COVERAGE:	25%
MINIMUM OPEN SPACE:	30%
- OWNER OF RECORD:  
MAP 162 LOT 16:  
RANDI & JEFF COLLINS  
77 MEREDITH WAY  
PORTSMOUTH, NH 03801  
RCRD BK.#6274 PG.#1666
- PARCEL AREA:  
EXISTING MAP 162 LOT 16:  
22,463 S.F.  
(0.5157 ACRES)  
PROPOSED MAP 162 LOT 16:  
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(0.2571 ACRES)  
PROPOSED MAP 162 LOT 16-1:  
11,265 S.F.  
(0.2586 ACRES)
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- FIELD SURVEY COMPLETED BY TCE JUNE 2021 & JUNE 2022 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
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- THE PORTION OF THE DRIVEWAY WITHIN THE TURNAROUND EASEMENT AREA IS TO BE CONSTRUCTED WITH HEAVY-DUTY PAVEMENT, SEE PLAN REFERENCE 4, SHEET C-07 FOR DETAIL.



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I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JUNE 2021. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



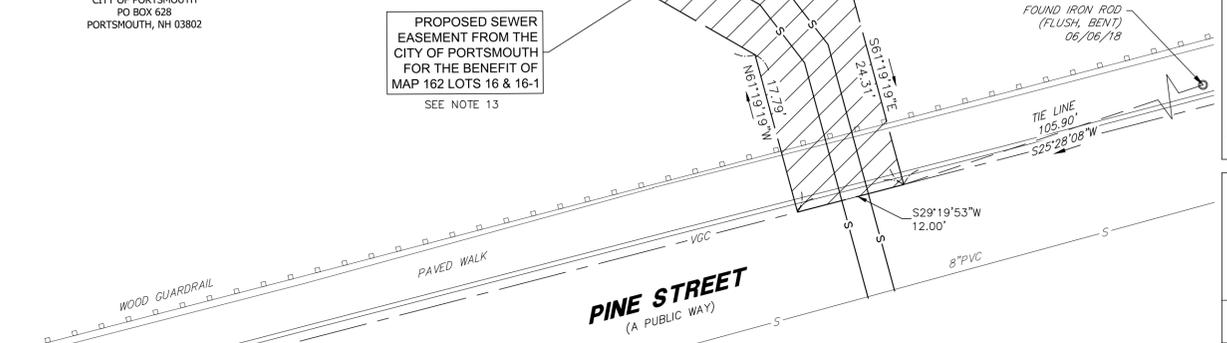
LICENSED LAND SURVEYOR  
DATE: 2022-10-06

REV.	DATE	DESCRIPTION	DR	CK
1	10/6/2022	ADDED NOTE 14	BMK	JJM

**"PINE STREET PARK & PLAYGROUND"**

**MAP 162 LOT 19**  
N/F  
CITY OF PORTSMOUTH  
PO BOX 628  
PORTSMOUTH, NH 03802

**PROPOSED SEWER EASEMENT FROM THE CITY OF PORTSMOUTH FOR THE BENEFIT OF MAP 162 LOTS 16 & 16-1**  
SEE NOTE 13



**TAX MAP 162 LOT 16  
EASEMENT PLAN  
2 LOT SUBDIVISION  
77 MEREDITH WAY  
PORTSMOUTH, NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM**

OWNED BY  
**RANDI & JEFF COLLINS**

SCALE: 1" = 10' (22x34)  
1" = 20' (11x17)

SEPTEMBER 27, 2022

Seacoast Division

**TFM**

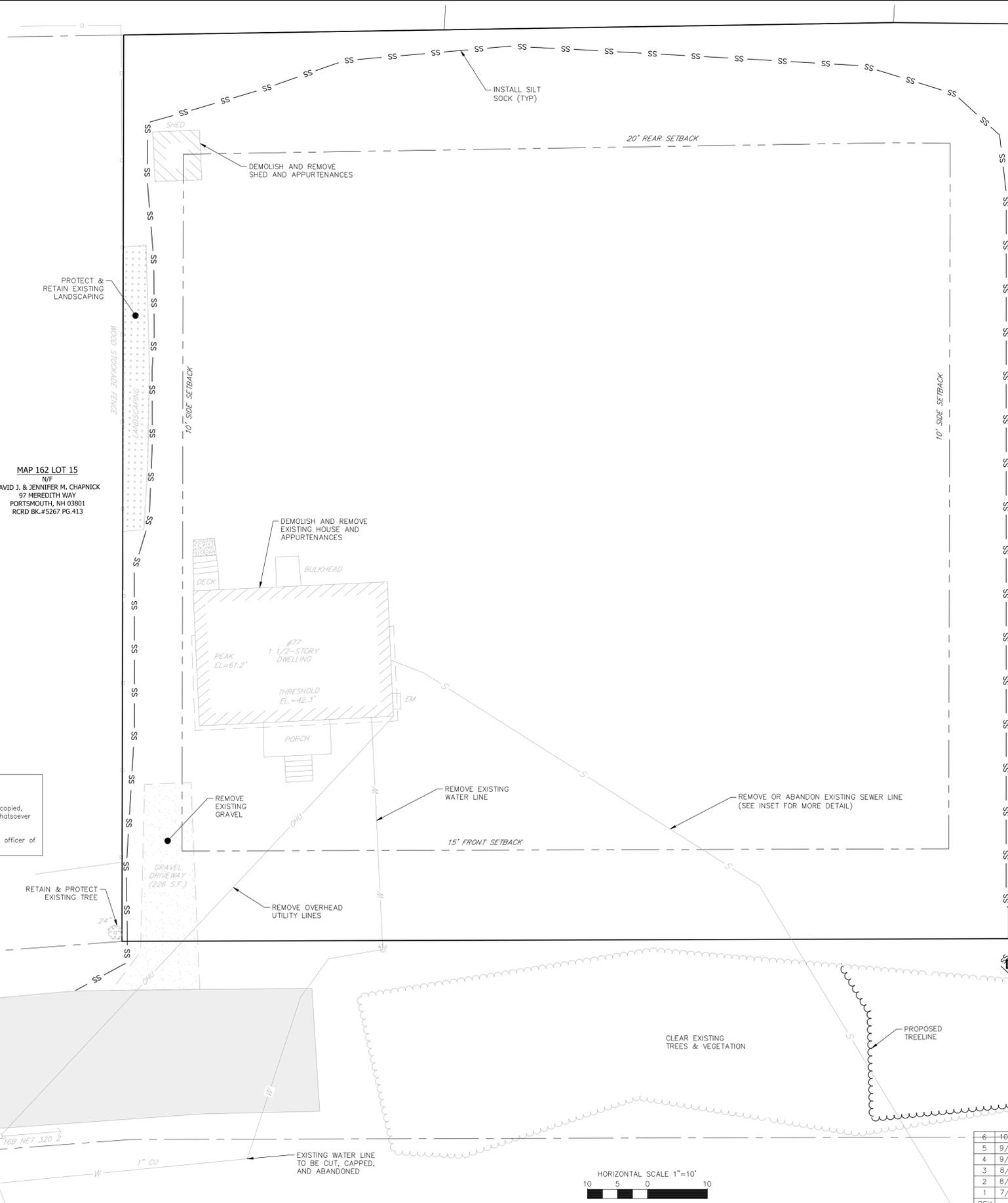
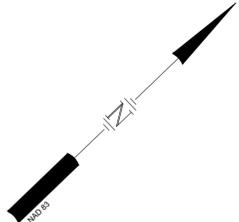
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
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47442-00 DR BMK FB  
CK JCC CADFILE

S-03

C:\05\_2022\_305pm\F:\MSC Projects\47442-77 Meredith Way - Portsmouth\Survey\Drawings\47442-00 Easement Plan.dwg



MAP 162 LOT 15  
N/F  
DAVID J. & JENNIFER M. CHAPNICK  
97 MEREDITH WAY  
PORTSMOUTH, NH 03801  
RCRD BK.#5267 PG.413

MAP 162 LOT 17  
N/F  
JEFFREY P. BARTOLINI  
& ABIGAIL R. ROEMER  
55 PINE STREET  
PORTSMOUTH, NH 03801  
RCRD BK.#6274 PG.1684

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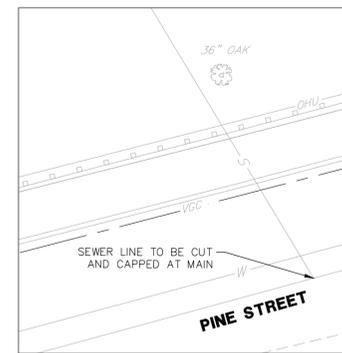
**NOTES**

- SEE NOTES ON SHEET C-01.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
- THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
- EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
- CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
- CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

**CONSTRUCTION SEQUENCE NOTES**

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.  
MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.  
THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.  
THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.  
DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.  
DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO STORMWATER BMP'S. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.  
DO NOT PLACE STORMWATER BMP'S INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

- NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
- INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- STORMWATER TREATMENT PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
- DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
- CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
- CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
- BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
- PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
- CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
- COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
- COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED, OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
- DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
- SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.



**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16  
**SITE PREPARATION & DEMOLITION PLAN**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**  
OWNED BY  
**RANDI & JEFF COLLINS**  
PREPARED FOR  
**RANDI & JEFF COLLINS**  
**1"=20' (11'X17')**  
**SCALE: 1"=10' (22'X34')** **JULY 1, 2022**

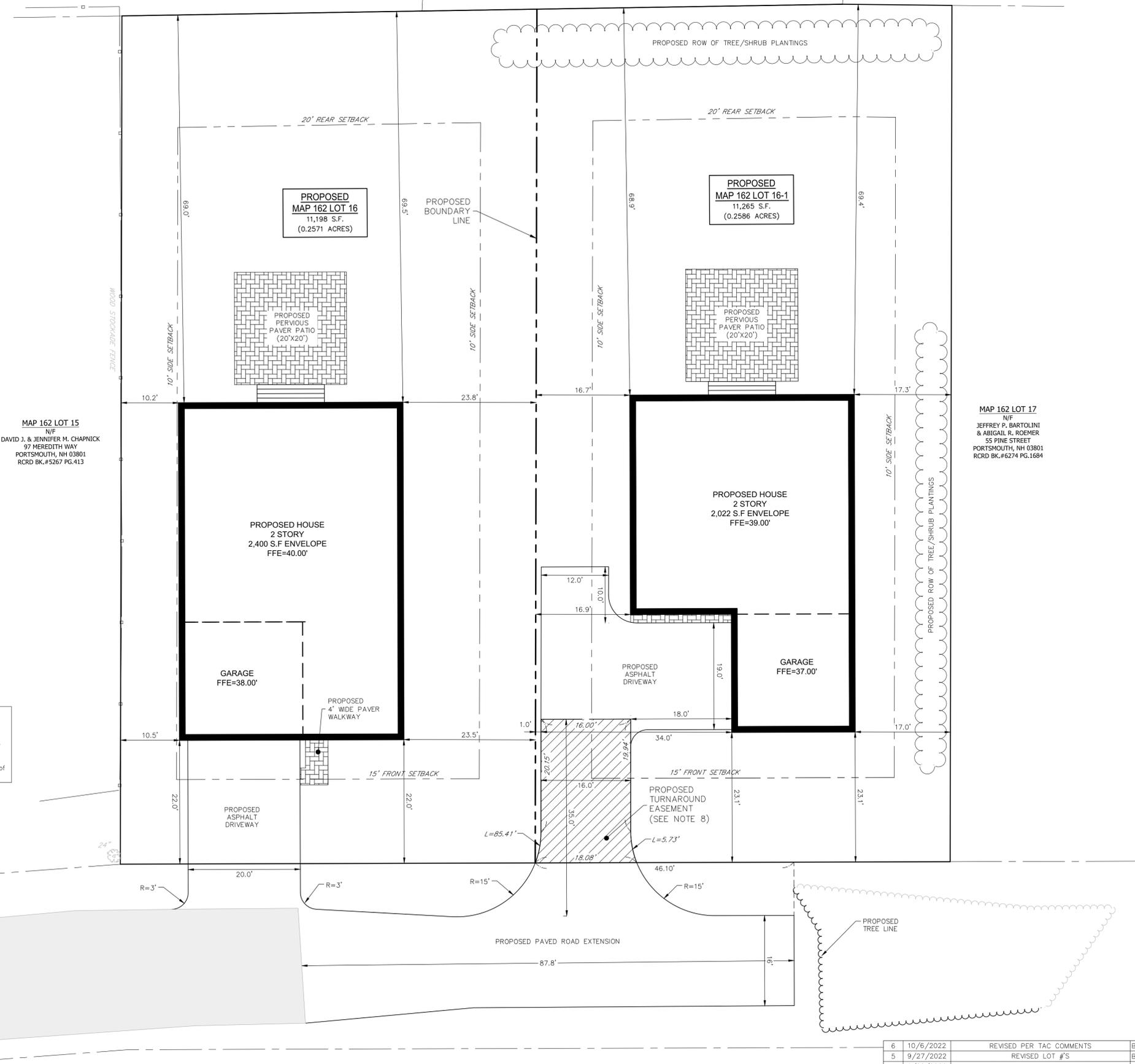
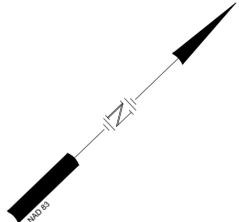
Seacoast Division  
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www.tfmoran.com

REV	DATE	DESCRIPTION	DR	CK
6	10/6/2022	REVISED PER TAC COMMENTS	BMK	JCC
5	9/27/2022	REVISED LOT #'S	BMK	JCC
4	9/20/2022	REVISED PER TAC COMMENTS	JKC	JCC
3	8/31/2022	REVISED PER TAC COMMENTS	JKC	JCC
2	8/23/2022	REVISED PER TAC COMMENTS	JKC	JCC
1	7/21/2022	REVISED PER TAC COMMENTS	JKC	JCC



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FILE	47442-00	DR	BMK	FB	-
CK	CK	CK	CK	CADFILE	47442-00_SITE PREP
					C-02



MAP 162 LOT 15  
N/F  
DAVID J. & JENNIFER M. CHAPNICK  
97 MEREDITH WAY  
PORTSMOUTH, NH 03801  
RCRD BK.#5267 PG.413

MAP 162 LOT 17  
N/F  
JEFFREY P. BARTOLINI  
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55 PINE STREET  
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**SITE DATA**

OWNER OF RECORD OF MAP 162 LOT 16:  
RANDI & JEFF COLLINS  
77 MEREDITH WAY, PORTSMOUTH, NH 03801  
DEED REFERENCE TO PARCEL IS BK 6274 PG 1666  
AREA OF PARCEL = 22,463± SF OR 0.5157± ACRES  
ZONED: GENERAL RESIDENCE A (GRA)  
EXISTING USE: 1 LOT, SINGLE FAMILY DWELLING UNIT  
PROPOSED USE: 2 LOTS, 2 SINGLE FAMILY DWELLING UNITS  
THE PURPOSE OF THIS PLAN IS TO DEPICT TWO PROPOSED SINGLE FAMILY DWELLING UNITS WITH ACCESS ALONG MEREDITH WAY. ASSOCIATED IMPROVEMENTS INCLUDE AND ARE NOT LIMITED TO ACCESS, GRADING, STORMWATER MANAGEMENT SYSTEMS, UTILITIES.

**DIMENSIONAL REQUIREMENTS (CURRENT ZONING)**

	REQUIRED:	PROVIDED: LOT 16:	LOT 16-1:
MINIMUM LOT DIMENSIONS:			
LOT AREA	7,500 SF	11,198 SF	11,265 SF
LOT FRONTAGE	100 FT	73.99 FT	31.61 FT
DEPTH	70 FT	151.4 FT	152.1 FT
MINIMUM YARD DIMENSIONS:			
FRONT	15 FT	22.0 FT	23.1 FT
SIDE	10 FT	10.2 FT	16.7 FT
REAR	20 FT	69.0 FT	68.9 FT
MAXIMUM STRUCTURE DIMENSIONS:			
SLOPED ROOF	35 FT	<35 FT	<35 FT
FLAT ROOF	30 FT	NA	NA
ROOF APPURTENANCE HEIGHT	8 FT	>8 FT	>8 FT
BUILDING LOT COVERAGE	25% (MAX)	21.4%	18.0%
MINIMUM SETBACKS/BUFFER:			
BUILDING FRONT	15 FT	15 FT	15 FT
BUILDING SIDE	10 FT	10 FT	10 FT
BUILDING REAR	20 FT	20 FT	20 FT
MINIMUM OPEN SPACE	30%	70.4%	67.8%
<b>PARKING REQUIREMENTS</b>			
PARKING SPACES 1.3 SPACES/UNIT	2 SPACES	2 SPACES	2 SPACES

**NOTES**

- SEE NOTES ON SHEET C-01.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE PORTSMOUTH ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- SNOW SHALL NOT BE STOCKPILED IN STORMWATER BMP'S, WETLAND BUFFERS, OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THE PORTION OF THE DRIVEWAY WITHIN THE TURNAROUND EASEMENT AREA IS TO BE CONSTRUCTED WITH HEAVY-DUTY PAVEMENT, SEE SHEET C-07 FOR DETAIL.
- THE PROPOSED PRINCIPAL STRUCTURES SHALL BE LOCATED IN SUBSTANTIAL COMPLIANCE WITH THE SITING AS SHOWN HEREON AND REQUIRED BY THE CITY OF PORTSMOUTH TECHNICAL ADVISORY COMMITTEE.

**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16  
**SITE LAYOUT PLAN**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**  
OWNED BY  
**RANDI & JEFF COLLINS**  
PREPARED FOR  
**RANDI & JEFF COLLINS**  
**1"=20' (11'X17')**  
**SCALE: 1"=10' (22'X34')** **JULY 1, 2022**



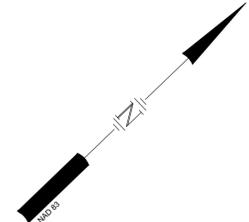
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FILE #	47442-00	DR	BMK	FB	-
CK	CK	CK	CK	CADFILE	47442-00_SITE LAYOUT
					C-03

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**NOTES**

- SEE NOTES ON SHEET C-01.
- ALL DOORS AND GARAGE ENTRANCES SHALL BE AT FINISHED FLOOR ELEVATION UNLESS OTHERWISE NOTED.
- PROPOSED SPOT GRADES ARE PROVIDED TO THE NEAREST 0.05. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE FINISHED GRADES MEET ADA STANDARDS FOR WHEEL CHAIR RAMP, HANDICAP SPACES AND ACCESS AISLES, CROSSWALKS, SIDEWALKS, ETC.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED DRAINAGE PIPES SHALL BE 12" AND HDPE, UNLESS OTHERWISE NOTED ON THE PLAN.
- DRAINAGE PIPES WITH LESS THAN 3' COVER SHALL BE INSULATED (SEE UTILITY TRENCH DETAIL) AND DRAINAGE CATCH BASINS WITH LESS THAN 3.5' OF COVER OVER INVERTS SHALL USE SLAB TOP CATCH BASIN (SEE DETAILS).
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS FOR SUBDRAINAGE SYSTEMS FOR THE BUILDING FOUNDATION. SUBDRAINAGE MUST DAYLIGHT OR TIE INTO THE STORMWATER MANAGEMENT SYSTEM. COORDINATE SUBDRAINAGE SYSTEM DESIGN WITH THE ENGINEER OF RECORD.
- EACH PROPOSED HOUSE TO HAVE GUTTERS OR FRENCH DRAINS THAT DIVERT THE RAIN WATER INTO THE ASSOCIATED RAIN GARDENS. ALL RUNOFF FROM THE STRUCTURES IS TO BE DIRECTED TOWARDS THE APPROPRIATE RAIN GARDENS.

TEST PIT					
BMP	TEST PIT #	APPROX GROUND ELEV	BOTTOM OF POND ELEV	TEST PIT DEPTH (MIN)	
RAIN GARDEN #1	4	35.75	35.25	35	6.5'
RAIN GARDEN #2	1	35.00	34.25	33.50	4'

- NOTE:
- ALL TEST PITS ARE TO BE TESTED FOR INFILTRATION RATES AT THE GIVEN INFILTRATION ELEVATIONS.
  - TEST PITS ARE TO BE EXCAVATED UNTIL SEASONAL HIGH WATER TABLE OR THE LOCATION OF LEDGE IS ENCOUNTERED. TEST PIT DEPTHS LISTED ARE MINIMUM DEPTHS. IF SEASONAL HIGH WATER OR LEDGE ARE ENCOUNTERED, THE TEST PIT CAN BE STOPPED.
  - INFILTRATION TESTS ARE FOR INFILTRATION ONLY. THEY CAN BE DISCONTINUED IF SEASONAL HIGH WATER OR LEDGE IS ENCOUNTERED WITHIN THE TESTING RANGE FOR THE INFILTRATION.
  - INFILTRATION TESTS SHALL BE PERFORMED ACCORDING TO ENV-WQ 1504.14 (e) (Aot STANDARDS).

MAP 162 LOT 17  
N/F  
JEFFREY P. BARTOLINI  
& ABIGAIL R. ROEMER  
55 PINE STREET  
PORTSMOUTH, NH 03801  
RCRD BK.#6274 PG.1684

TEST PIT #4 LOGS	
SECTION DEPTH (IN)	SOIL DESCRIPTION
0-12"	10YR 2 DARK YELLOWISH BROWN, LOAM, MASSIVE, FIRM, FEW STONES, HOMOGENOUS, FILL
12-25"	10YR 8 YELLOWISH BROWN, SANDY LOAM, MASSIVE, MANYU ANGULAR GRAVELS, SLIGHTLY FIRM, HOMOGENOUS, FILL
12-38"	10YR 8 PALE BROWN, LOAM, MANY FINE SAND INTRUSIONS, MASSIVE, VERY FIRM, HETEROGENOUS, MANY ANGULAR STONES
38-58"	10YR 8 LIGHT YELLOWISH BROWN, MEDIUM SAND, SINGLE GRAINED, LOOSE, REDOXIMORPHIC FEATURES (2.5YR 8 RED), MANY ROUNDED STONES
58-68"	10YR 8 BROWNISH YELLOW, FINE SAND, SINGLE GRAINED, LOOSE, MANY COBBLES
68-78"	10YR 8 DARK YELLOWISH BROWN, LOAMY SAND, WEAK BLOCKY, FRIABLE, MANY REDOXIMORPHIC FEATURES (2.5YR 8 RED)

ESHW: 3.85 FT

TEST PIT #1 LOGS	
SECTION DEPTH (IN)	SOIL DESCRIPTION
0 to 6	A5YR 2.5/2 - DRY, LOOSE, F-M SAND, LITTLE TO SOME SILT, LITTLE F. GRAVEL, LITTLE TO TRACE ORGANICS (TOPSOIL/FILL)
6 to 18	A7.5YR7/1 TO A7.5YR8/1 - DRY TO DAMP, LOOSE, F-M SAND, LITTLE F-C GRAVEL, LITTLE TO SOME SILT -DESICCATED CLUMPS IN STRATA INDICATED LIKELY REUSED MATERIAL. (FILL)
15 to 48	A5YR6/1 DAMP, FIRM, CLAYEY SILT/SILTY CLAY, LITTLE TO TRACE F. SAND B.O.E. @ 5 FT (GLACIOLACUSTRINE DEPOSITS)

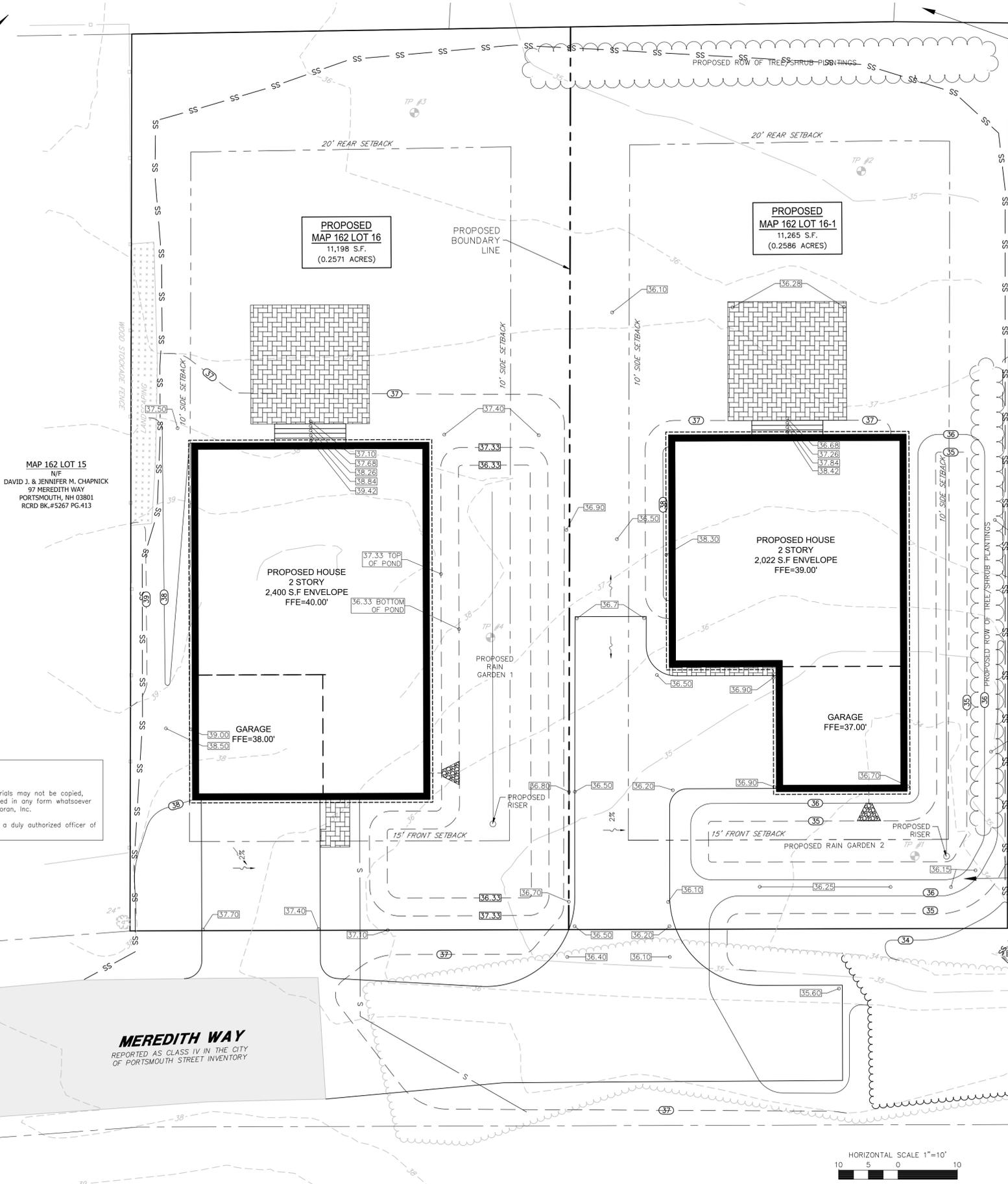
ESHW: 4 FT 2 IN

TEST PIT #2 LOGS	
SECTION DEPTH (IN)	SOIL DESCRIPTION
0 to 8	A5YR 2.5/2 - DRY, LOOSE, F-M SAND, LITTLE TO SOME SILT, LITTLE F. GRAVEL, LITTLE TO TRACE ORGANICS (TOPSOIL/FILL)
8 to 24	A7.5YR4/6 TO A7.5YR3/2 - DRY TO DAMP, LOOSE, F-M SAND, LITTLE F-C GRAVEL, LITTLE TO SOME SILT, CLUMPS OF BURIED TOPSOIL AND ROOTS (FILL)
24 to 40	A5YR5/8 DAMP, FIRM, CLAYEY SILT/SILTY CLAY, LITTLE TO TRACE F. SAND B.O.E. @ 5 FT (GLACIOLACUSTRINE DEPOSITS)
40 to 60	A5YR5/8 DAMP, FIRM, CLAYEY SILT/SILTY CLAY, LITTLE TO TRACE F. SAND B.O.E. @ 5 FT (GLACIOLACUSTRINE DEPOSITS)

ESHW: 4 FT

TEST PIT #3 LOGS	
SECTION DEPTH (IN)	SOIL DESCRIPTION
0 to 8	A5YR 2.5/2 - DRY, LOOSE, F-M SAND, LITTLE TO SOME SILT, LITTLE F. GRAVEL, LITTLE TO TRACE ORGANICS (TOPSOIL/FILL)
8 to 18	A7.5YR4/6 - DRY TO DAMP, LOOSE, F-M SAND, LITTLE F-C GRAVEL, LITTLE TO SOME SILT, CLUMPS OF BURIED TOPSOIL AND ROOTS (FILL)
18 TO 60	A5YR5/8 DAMP, FIRM, CLAYEY SILT/SILTY CLAY, LITTLE TO TRACE F. SAND B.O.E. @ 5 FT (GLACIOLACUSTRINE DEPOSITS)

ESHW: 4.5 FT



PROPOSED  
MAP 162 LOT 16  
11,198 S.F.  
(0.2571 ACRES)

PROPOSED  
MAP 162 LOT 16-1  
11,265 S.F.  
(0.2586 ACRES)

MAP 162 LOT 15  
N/F  
DAVID J. & JENNIFER M. CHAPNICK  
97 MEREDITH WAY  
PORTSMOUTH, NH 03801  
RCRD BK.#5267 PG.413

PROPOSED HOUSE  
2 STORY  
2,400 S.F ENVELOPE  
FFE=40.00'

PROPOSED HOUSE  
2 STORY  
2,022 S.F ENVELOPE  
FFE=39.00'

GARAGE  
FFE=38.00'

GARAGE  
FFE=37.00'

**MEREDITH WAY**  
REPORTED AS CLASS IV IN THE CITY  
OF PORTSMOUTH STREET INVENTORY



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3	8/31/2022	REVISED PER TAC COMMENTS	JKC	JCC
2	8/23/2022	REVISED PER TAC COMMENTS	JKC	JCC
1	7/21/2022	REVISED PER TAC COMMENTS	JKC	JCC
REV	DATE	DESCRIPTION	DR	CK

**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16  
**GRADING & DRAINAGE PLAN**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**

OWNED BY  
**RANDI & JEFF COLLINS**  
PREPARED FOR  
**RANDI & JEFF COLLINS**

**1"=20' (11"X17")**  
**SCALE: 1"=10' (22"X34")** **JULY 1, 2022**

Seacoast Division  
**TFM**  
Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
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FILE: 47442-00 DR: BMK FB: -  
CK: CRR CADFILE: 47442-00\_GRADING & DRAINAGE C-04

Oct 06, 2022 - 10:23am F:\MISC Projects\47442 - 77 Meredith Way - Portsmouth\47442-00\_Collins - 77 Meredith Way\Design\PRODUCTION DRAWINGS\47442-00\_Grading & Drainage.dwg

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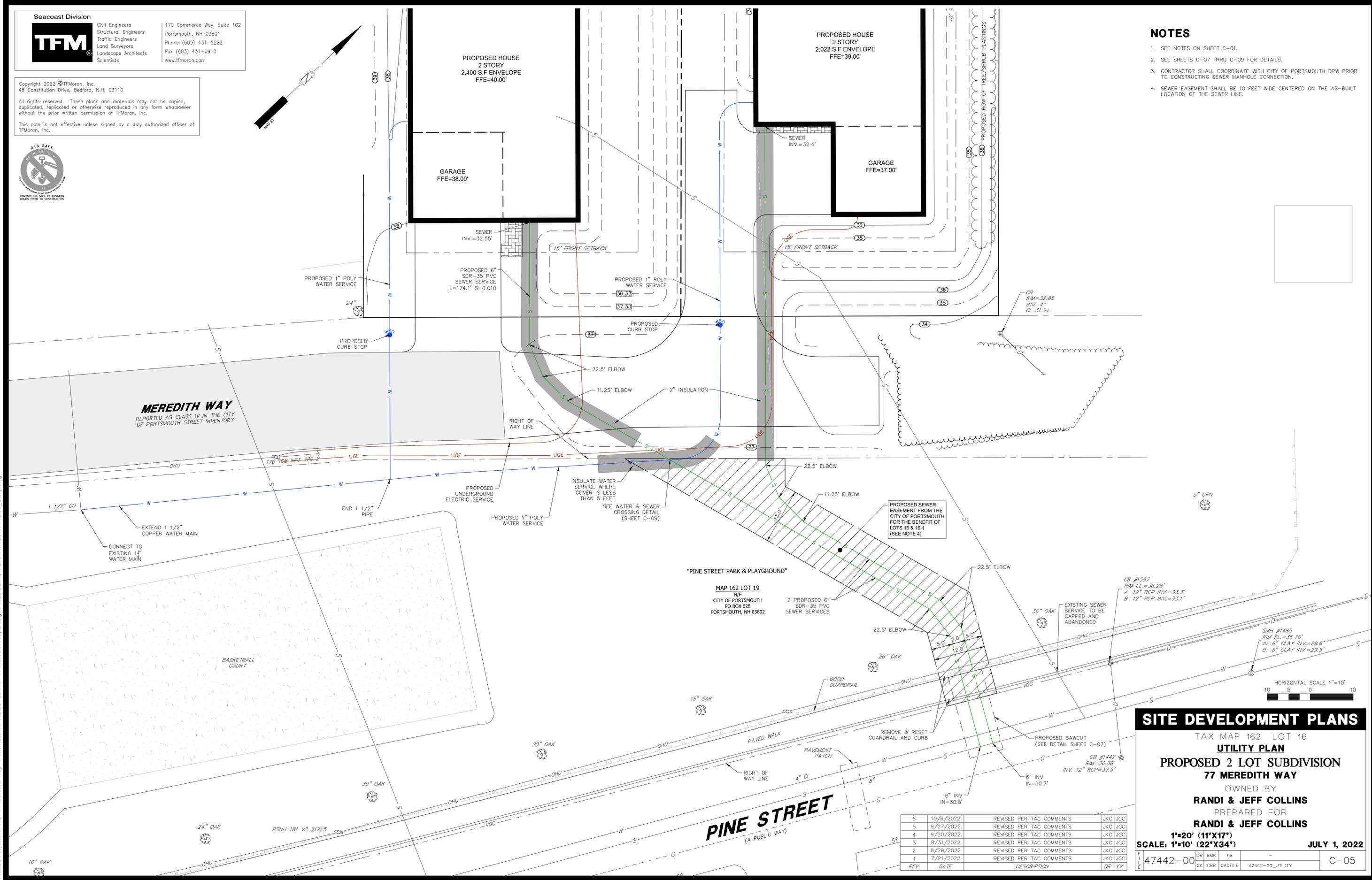
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**NOTES**

- SEE NOTES ON SHEET C-01.
- SEE SHEETS C-07 THRU C-09 FOR DETAILS.
- CONTRACTOR SHALL COORDINATE WITH CITY OF PORTSMOUTH DPW PRIOR TO CONSTRUCTING SEWER MANHOLE CONNECTION.
- SEWER EASEMENT SHALL BE 10 FEET WIDE CENTERED ON THE AS-BUILT LOCATION OF THE SEWER LINE.



Oct 06, 2022 - 10:24am  
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HORIZONTAL SCALE 1"=10'  
 10 5 0

**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16  
**UTILITY PLAN**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**  
 OWNED BY  
**RANDI & JEFF COLLINS**  
 PREPARED FOR  
**RANDI & JEFF COLLINS**

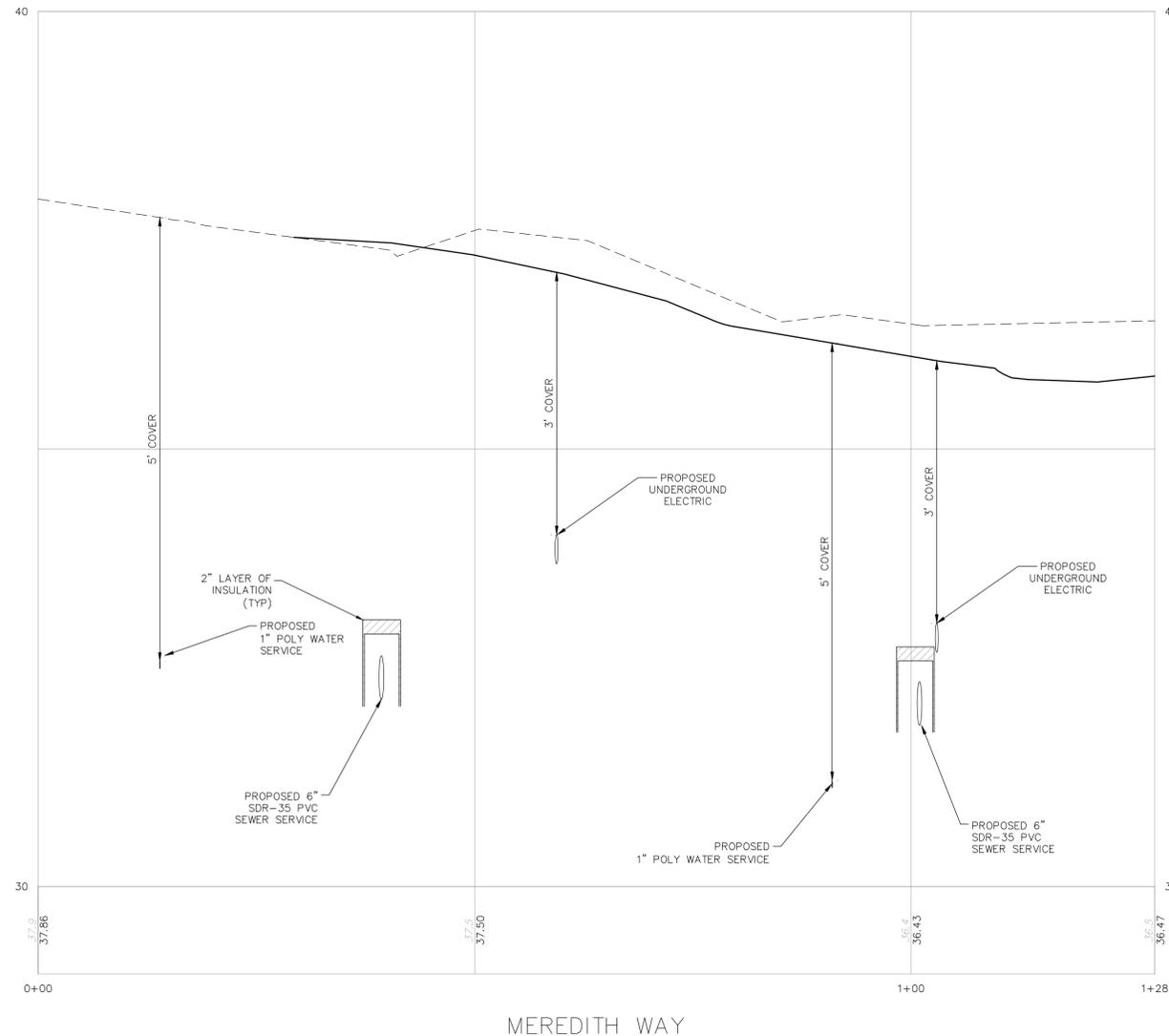
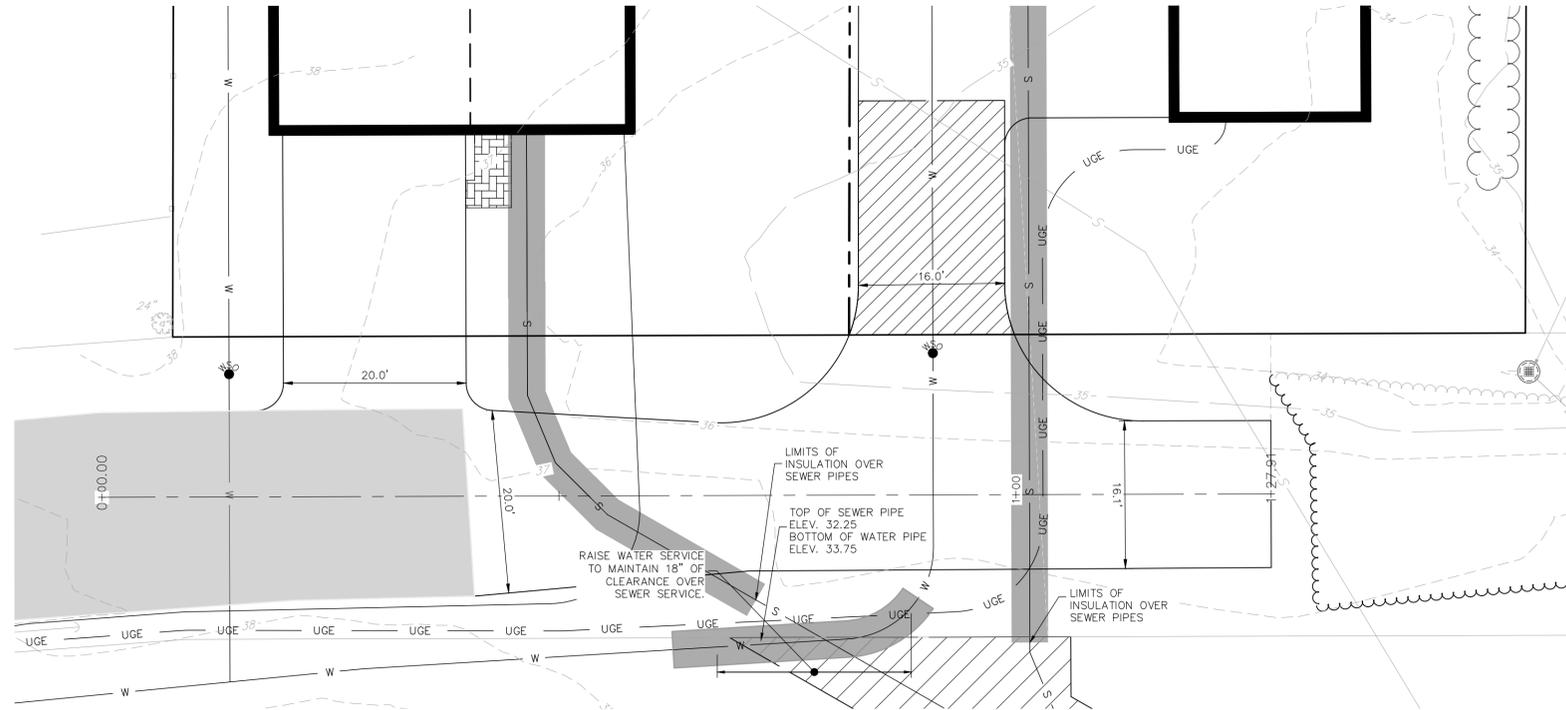
1"=20' (11"X17")  
 SCALE: 1"=10' (22"X34")  
**JULY 1, 2022**

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1	7/21/2022	REVISED PER TAC COMMENTS	JKC	JCC

47442-00  
 DR: BMK  
 CK: CRK  
 FB: FB  
 CADFILE: 47442-00\_UTILITY  
 C-05

**NOTES**

1. SEE NOTES ON SHEET C-01.
2. SEE UTILITY PLAN ON SHEET C-05 FOR MORE INFORMATION.



**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16  
**ROAD PLAN PROFILE**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**  
 OWNED BY  
**RANDI & JEFF COLLINS**  
 PREPARED FOR  
**RANDI & JEFF COLLINS**  
**1"=20' (11'X17')**  
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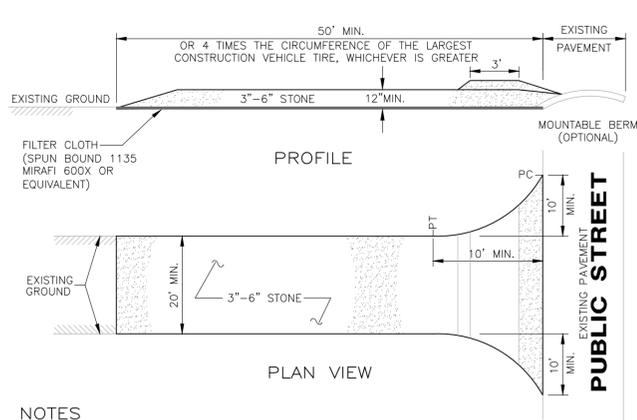
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1	7/21/2022	REVISED PER TAC COMMENTS	JKC	JCC

FILE	47442-00	DR	BMK	FB	-	PROJECT	47442-00_ROAD PROFILE	SHEET	C-06
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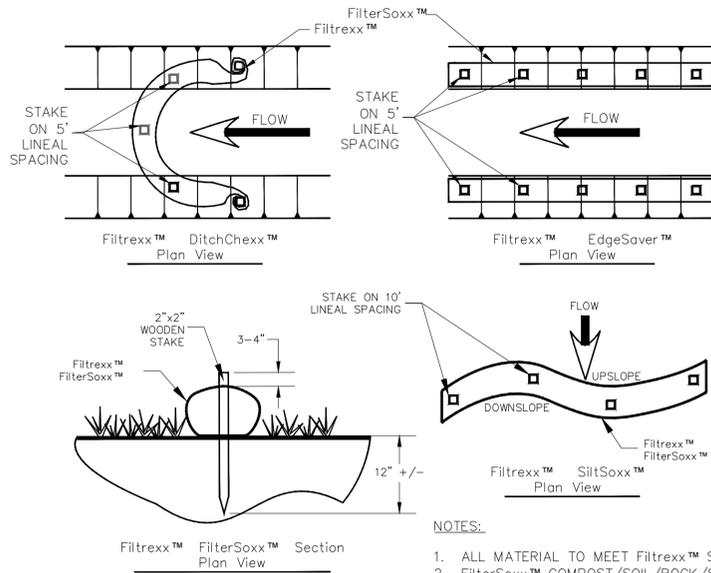




**NOTES**

1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

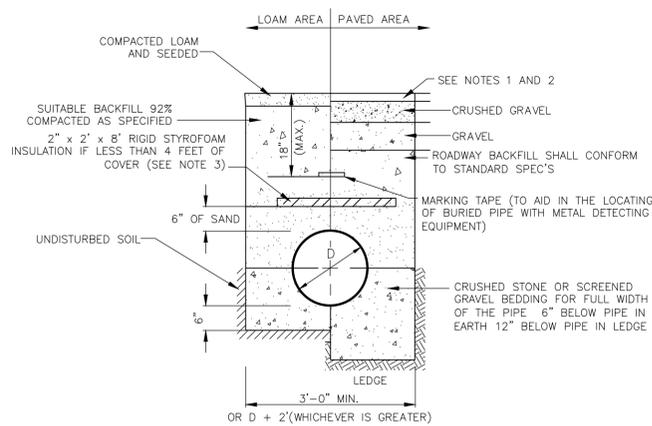
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**NOTES:**

1. ALL MATERIAL TO MEET FilterSoxx™ SPECIFICATIONS
2. FilterSoxx™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SIZE OF SOCK TO BE PER MANUFACTURER'S SPECIFICATIONS

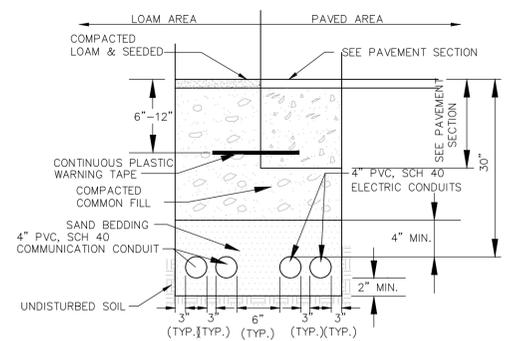
**FILTREXX™ FILTERSOXX™ STAKING**  
NOT TO SCALE



**NOTES**

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.
3. GAPS BETWEEN SECTIONS OF INSULATION TO BE COVERED WITH 2' x 2' x 2' PIECE OF INSULATION CENTERED OVER GAP.

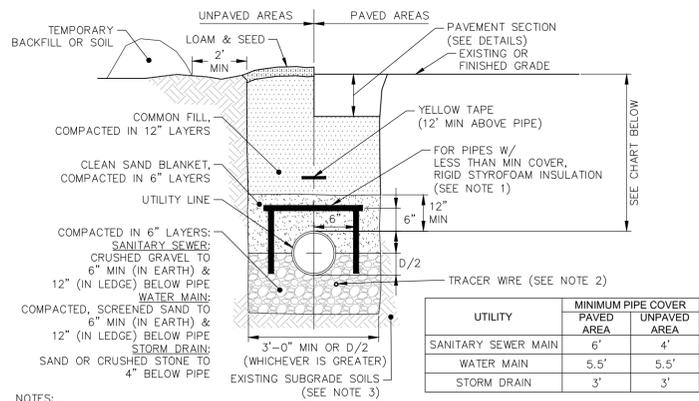
**SEWER TRENCH WITH INSULATION**  
NOT TO SCALE



**NOTES**

1. ELECTRIC SERVICE INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
2. COMMUNICATION SERVICE INSTALLATION SHALL MEET ALL CONSTRUCTION REQUIREMENTS.
3. ACTUAL NUMBER OF CONDUITS TO BE DETERMINED BY RESPECTIVE COMPANIES.
4. VERIFY INSTALLATION REQUIREMENTS WITH RESPECTIVE COMPANIES.

**ELECTRIC/COMMUNICATIONS CONDUIT**  
NOT TO SCALE

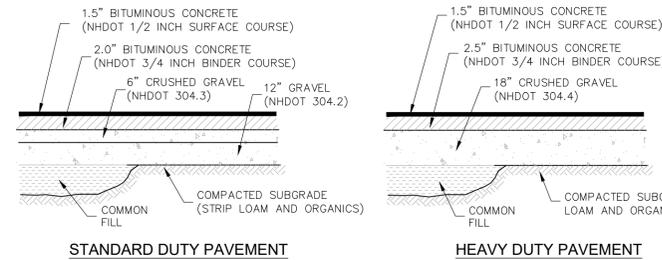


**NOTES:**

1. FOR TOP INSULATION, USE 2" THICK OF 2"x2"x8" RIGID STYROFOAM INSULATION (1 LAYER IF LESS THAN 5' COVER, 2 LAYERS IF GREATER THAN 5' COVER BUT LESS THAN 6' COVER). FOR SIDE INSULATION, USE 2" THICK OF 2"x2"x8" RIGID STYROFOAM INSULATION EXTENDING TO A MINIMUM DEPTH OF 5'.
2. TRACER WIRE SPECIFIED FOR NON-METALLIC WATER LINES SHALL BE INSTALLED BELOW AND TO THE SIDE OF THE PIPE AND PER THE MANUFACTURER REQUIREMENTS. TRACER WIRE PRODUCT SHALL BE SELECTED FOR OPEN CUT INSTALLATION TECHNIQUE.
3. IN LOCATIONS WITH EXISTING FILL SOILS, THE EXISTING SUBGRADE SOILS AT THE BOTTOM OF THE TRENCH SHALL BE OVER-EXCAVATED 2' DEEP AND RECOMPACTED IN 12" LIFTS TO 95% MAXIMUM DENSITY.

**UTILITY TRENCH**

FOR SEWER, WATER, AND STORM DRAIN LINES NOT TO SCALE

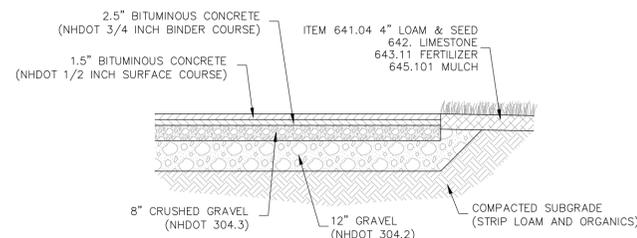


**NOTES**

1. SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
2. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
4. BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
5. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
6. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
7. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
8. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
9. ALL PARKING SPACES SHALL BE STANDARD DUTY. ALL OTHER LOCATIONS SHALL BE HEAVY DUTY.
10. HEAVY DUTY PAVEMENT TO BE USED FOR EXTENSION OF MEREDITH WAY AND THE PORTION OF THE DRIVEWAY WITHIN THE TURNAROUND EASEMENT AREA.

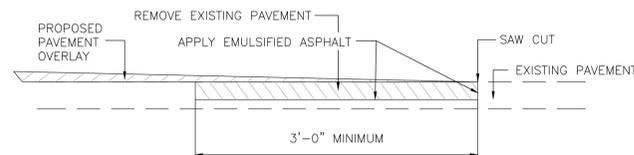
**PAVEMENT SECTIONS**

NOT TO SCALE



**PAVEMENT SECTION/LOAM & SEED DETAIL**

NOT TO SCALE



**PAVEMENT SAWCUT**

NOT TO SCALE

REV	DATE	DESCRIPTION	DR	CK
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**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16

**DETAILS**

**PROPOSED 2 LOT SUBDIVISION  
77 MEREDITH WAY**

OWNED BY

**RANDI & JEFF COLLINS**

PREPARED FOR

**RANDI & JEFF COLLINS**

1"=20' (11'X17')

SCALE: **MTB'** (22'X34')

**JULY 1, 2022**

Seacoast Division



Civil Engineers  
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FILE	47442-00	DR	BMK	FB	-		
		CK	CK	CADFILE	47442-00-DETAILS		

C-07

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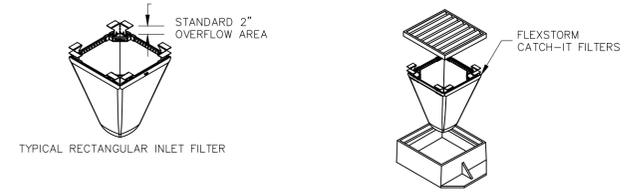
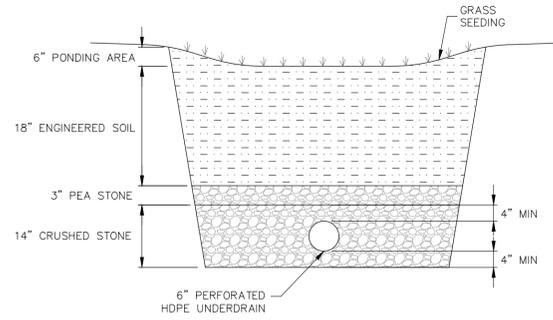
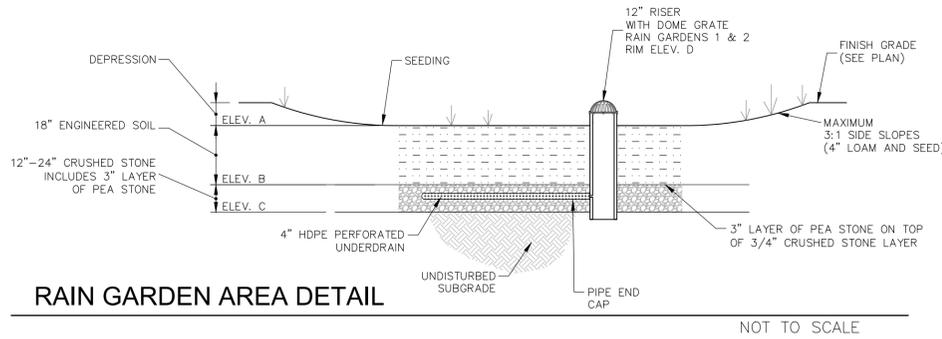
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CONTACT US 24 HOURS A DAY, 7 DAYS A WEEK FOR EMERGENCY SERVICE



- NOTES:
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT  $> \frac{1}{2}$ ".
  3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
  4. REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
  5. REPLACE BAG IF TORN OR PUNCTURED TO  $> \frac{1}{2}$ " DIAMETER ON LOWER HALF OF BAG.

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 INFO@INLETFILTERS.COM

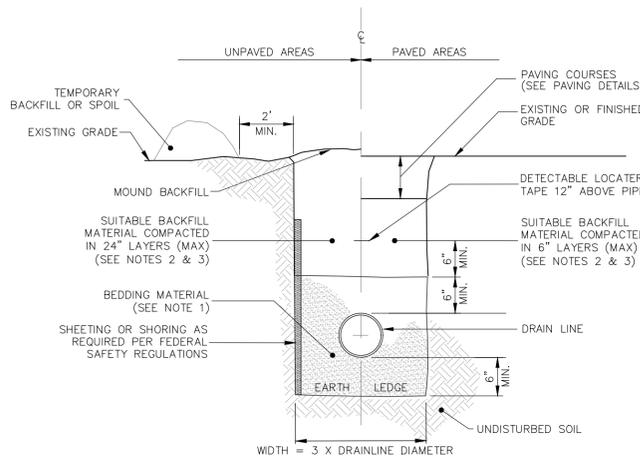
**SEEDING**

1. USE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR MOIST SITES BY NEW ENGLAND WETLAND PLANTS, INC. OR EQUIVALENT.
2. SEED AT A RATE OF 1LB/1250SF. APPLY TO BARE SOIL. LIGHTLY MULCH WITH CLEAN WEED FREE STRAW.

ELEV.	ELEV.	
	RG #1	RG #2
A	36.33	35.00
B	35.33	33.50
C	34.33	31.50
D	37.25	35.92

\*TEST PIT USED FOR ELEV. 33.33 ELEV. 29.85 ESHWT  
 \*NOTE:  $>1.0'$  SEPARATION FROM BOTTOM OF FILTER LAYER TO ESHWT. RAIN GARDEN #2 IS NOT BEING ANALYZED FOR INFILTRATION.

**RAIN GARDEN TYPICAL SECTION**

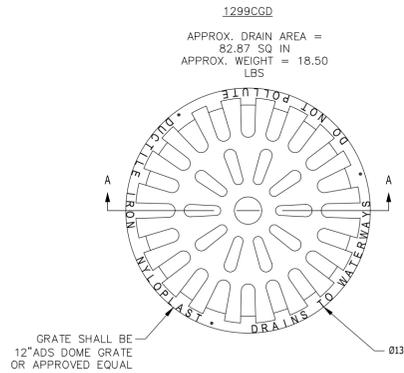


**NOTES:**

1. BEDDING - BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT A UNIFORM SLOPE AND ALIGNMENT. CRUSHED STONE SHALL BE USED TO BED THE PIPE TO THE ELEVATION SHOWN ON THE DRAWINGS. NORMAL PIPE BEDDING IS CRUSHED STONE TO THE HAUNCH OF THE PIPE AND SAND BEDDING 6" ABOVE THE CROWN. IF THE TOP OF THE PIPE IS LESS THAN 30" FROM FINISH GRADE, BED PIPE COMPLETELY IN STONE UP TO 6" ABOVE PIPE CROWN. UNDERDRAIN TO HAVE 4" MINIMUM OF STONE OVER PIPE OR AS NECESSARY TO BE IN CONTACT WITH GRAVEL LAYER OF SELECTS ABOVE.
2. COMPACTION - ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T99, METHOD C.
3. SUITABLE MATERIAL - IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6" IN LARGEST DIMENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
4. BASE COURSE AND PAVEMENT - SHALL MEET THE REQUIREMENT OF THE NHDOT LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES DIVISION 300 AND 400 RESPECTIVELY.

**TRENCH FOR DRAIN LINE**

NOT TO SCALE



**12" DOME GRATE**

NOT TO SCALE

DIMENSIONS ARE FOR REFERENCE ONLY  
 ACTUAL DIMENSIONS MAY VARY  
 DIMENSIONS ARE IN INCHES  
 QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05  
 PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT  
 LOCKING DEVICE AVAILABLE UPON REQUEST

**RAIN GARDEN CONSTRUCTION**

1. CLEAR AND GRUB THE AREA WHERE THE RAIN GARDEN AREAS ARE TO BE LOCATED. STOCKPILE LOAM FOR REUSE ON SLOPES.
2. GRADE RAIN GARDEN AREAS ACCORDING TO PLAN AND DETAILS. SIDE SLOPES SHALL HAVE 4" LOAM AND SEED AND A SLOPE NOT TO EXCEED 3:1. BOTTOM OF RAIN GARDEN AREAS TO BE CONSTRUCTED WITH MANUFACTURED SOIL (SEE RAIN GARDEN CONSTRUCTION DETAIL). SPECIFIC PLANTINGS SHALL BE PLACED IN THE FACILITY ACCORDING TO THE LANDSCAPE PLAN PLANTING DETAIL.
3. RAIN GARDEN SOIL MIXTURE SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES EXCLUDING MULCH. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE RAIN GARDEN AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATION.
4. THE USDA TEXTURAL CLASSIFICATION OF THE SANDY SOIL SHALL BE LOAMY SAND OR SANDY LOAM.
5. THE ENGINEERED SOIL - SEE ENGINEERED SOIL MIX NOTES.  
 A. SOILS TO BE TESTED AND APPROVED BY THE ENGINEER OF RECORD. ENGINEER SHALL SUBMIT LETTER OF VERIFICATION TO THE CITY.
6. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT EQUIPMENT & VEHICLE TRAFFIC FROM DRIVING IN THE AREA OF THE PROPOSED RAIN GARDEN AREA DURING CONSTRUCTION.
7. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES. THE BASIN BOTTOM SHOULD BE LEVELED PRIOR TO BACKFILLING WITH CRUSHED STONE AND RAIN GARDEN SOIL MIXTURE.
8. AASHTO #57 STONE CAN BE USED IN PLACE OF 3/4" CRUSHED STONE.

**ENGINEERED SOIL MIX**

1. THE ENGINEERED SOIL IS MADE OF IS 10% WOOD CHIPS, 35% LOAM, AND 55% SAND.
2. LOAM SHALL MEET THE USDA TEXTURAL CLASSIFICATION OF LOAMY FINE SAND.
3. SAND SHALL BE CONCRETE SAND MEETING ASTM C-33 SPECIFICATION.
4. WOOD CHIPS SHALL BE SHREDDED WOOD, WOOD CHIPS, GROUND BARK, OR WOOD WASTE; OF UNIFORM TEXTURE AND FREE OF STONES, STICKS, SOIL, OR TOXIC MATERIALS
5. SOIL REACTION: PH OF 6 TO 7.
6. CEC OF TOTAL SOIL: MINIMUM 10 MEQ/100 ML AT PH OF 7.0.
7. BASIS-OF-DESIGN PRODUCT: SUBJECT TO COMPLIANCE WITH REQUIREMENTS INDICATED ON DRAWINGS
8. BASIC PROPERTIES: MANUFACTURED SOIL SHALL NOT CONTAIN THE FOLLOWING:
  - A. UNACCEPTABLE MATERIALS: CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, ASPHALT, BRICKS, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, ACID, SOLID WASTE, AND OTHER EXTRANEOUS MATERIALS THAT ARE HARMFUL TO PLANT GROWTH.
  - B. UNSUITABLE MATERIALS: STONES, ROOTS, PLANTS, SOD, CLAY LUMPS, AND POCKETS OF COARSE SAND THAT EXCEED A COMBINED MAXIMUM OF 5 PERCENT BY DRY WEIGHT OF THE MANUFACTURED SOIL.
  - C. LARGE MATERIALS: STONES, CLOGS, ROOTS, CLAY LUMPS, AND POCKETS OF COARSE SAND EXCEEDING 0.187 INCHES (4.76 MM) IN ANY DIMENSION.

ENGINEERED SOIL MIX PARTICLE SIZE DISTRIBUTION (PSD)			
PSD UPPER LIMIT		PSD LOWER LIMIT	
SIEVE #	% Passing	SIEVE #	% PASSING
4	100	4	100
10	95	10	95
40	40	40	15
200	20	200	15
<200	5	<200	5

**RAIN GARDEN INSPECTION SCHEDULE**

1. RAIN GARDEN TO BE INSPECTED BY THE DESIGN ENGINEER FOR EACH STAGE OF CONSTRUCTION.
2. PHASES OF CONSTRUCTION BEING:
  - A. EXCAVATION OF THE RAIN GARDEN BASIN, INCLUDING ROTOTILLING.
  - B. INSTALLATION OF THE CRUSHED STONE
  - C. INSTALLATION OF THE ENGINEERED SOIL
  - D. INSTALLATION OF THE OUTLET STRUCTURE AND UNDERDRAIN IN THE OUTLET STONE TRENCHES
3. SAMPLE OF THE INDIVIDUAL COMPONENTS OF THE ENGINEERED SOIL TO BE PROVIDED AND APPROVED PRIOR BEING COMBINED AND INSTALLED. SAMPLE CRUSHED STONE TO BE PROVIDED AND APPROVED PRIOR TO INSTALLATION.
4. ENGINEER TO VERIFY MIX RATIO OF ENGINEERED SOIL MIX.

**RAIN GARDEN MAINTENANCE**

MAINTENANCE SCHEDULE TO BEGIN AFTER CONSTRUCTION IS FINISHED AND BASIN STABILIZATION IS COMPLETE.

1. CONTRACTOR AND LAND OWNERS TO PERFORM SCHEDULED MAINTENANCE ON THE RAIN GARDENS.
2. REGULAR WATERING DURING THE FIRST FEW WEEKS AFTER PLANTING AND DURING HOT, DRY SPELLS, ESPECIALLY IN THE FIRST TWO YEARS AFTER PLANTING. AFTER THE FIRST TWO YEARS AND ONCE PLANTS ARE ESTABLISHED, WATERING SHOULD ONLY BE NECESSARY DURING DROUGHT CONDITIONS.
3. FOR THE FIRST YEAR, FREQUENT AND AGGRESSIVE WEEDING MONTHLY DURING GROWING SEASON. REMOVE ONLY INVASIVE SPECIES.
4. TWICE PER YEAR, INSPECT SPILLWAYS AND REMOVE ANY ACCUMULATED DEBRIS OR SEDIMENT TO ENSURE PROPER FUNCTIONALITY.
5. ONCE A YEAR TRIM AND PRUNE EXCESS VEGETATION. DEAD, DYING, DISEASED, OR HAZARDOUS BRANCHES SHOULD BE TRIMMED AND REMOVED AS THEY OCCUR.
6. ONCE A YEAR INSPECT RAIN GARDEN FOR DEAD OR DYING VEGETATION. REPLACE VEGETATION AS NEEDED. NEW PLANTS SHOULD BE PLACED IN THE SAME LOCATION AS THE OLD PLANT, OR AS NEAR AS POSSIBLE TO THE OLD LOCATION. NEW PLANTS SHOULD BE THE NATIVE AND SAME OR EQUIVALENT VARIETY.
7. DO NOT MOW GARDEN.
8. ONCE A YEAR, INSPECT BOTTOM OF RAIN GARDEN. MAINTAIN A 2-3" LAYER OF MULCH. REPLACE AS REQUIRED.
9. DURING INSPECTIONS, REMOVE ANY TRASH, ACCUMULATED DEBRIS OR SEDIMENT.
10. ONCE A YEAR INSPECT BERM FOR SETTLING. ADD COMPACTED SOIL AND REPLANT AS NEEDED.
11. ONCE A YEAR IN THE FALL THE SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME AFTER A RAINFALL EVENT THAT EXCEEDS 1.0 INCHES IN A 24-HOUR PERIOD. THE SYSTEM SHOULD BE CHECKED TO CONFIRM THAT IT COMPLETELY DRAINS IN 72-HOUR AFTER THE RAINFALL EVENT. IF THE GARDEN DOES NOT DRAIN, A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION OR INFILTRATION FUNCTIONS, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS.
12. ONCE A YEAR TEST PLANTING BED FOR PH. IF THE PH IS BELOW 5.2, LIMESTONE SHOULD BE APPLIED. IF THE PH IS ABOVE 8.0, IRON SULFATE AND SULFUR SHOULD BE APPLIED.

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**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16

**DETAILS**

**PROPOSED 2 LOT SUBDIVISION**

**77 MEREDITH WAY**

OWNED BY

**RANDI & JEFF COLLINS**

PREPARED FOR

**RANDI & JEFF COLLINS**

**1"=20' (11"X17")**

**SCALE: 11/8"=1' (22"X34")**

**JULY 1, 2022**

Seacoast Division



Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
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2	8/23/2022	REVISED PER TAC COMMENTS	JKC	JCC
1	7/21/2022	REVISED PER TAC COMMENTS	JKC	JCC

FILE	47442-00	DR	BMK	FB	-
		CK	CKR	CADFILE	47442-00-DETAILS

C-08

# SEWER SERVICE NOTES

- MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE FOUR INCHES.
  - PIPE AND JOINT MATERIALS:
    - PLASTIC SEWER PIPE
      - PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:
 

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 TO T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
D2680	*ABS (COMPOSITES WALL)	8" THROUGH 15"

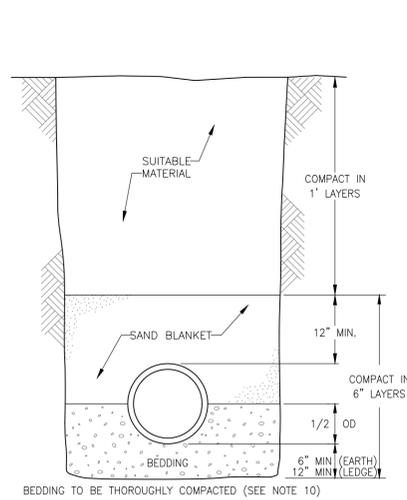
\*PVC: POLY VINYL CHLORIDE  
\*ABS: ACRYLONITRILE-BUTADIENE-STYRENE
      - JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
      - ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).
      - JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.
    - DUCTILE-IRON PIPE, FITTINGS AND JOINTS.
      - DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
        - A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
        - A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
      - JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
        - A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS
  - DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
  - JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
  - TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CLAMPED OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER.
  - SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.
 

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.
  - TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A THIRD PARTY LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
    - AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
    - THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER, TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
    - DRY FLUORESCENCE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE FIRST DOWN-STREAM MANHOLE.

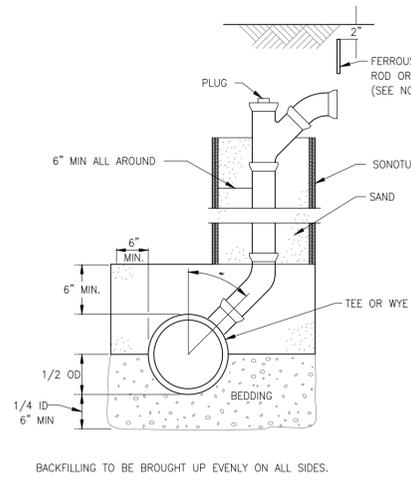
LEAKAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TIGHTNESS.
- ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.
- WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
- BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
 

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%-55% PASSING	3/8 INCH SCREEN
0%-10% PASSING	#4 SIEVE
0%-5% PASSING	#8 SIEVE

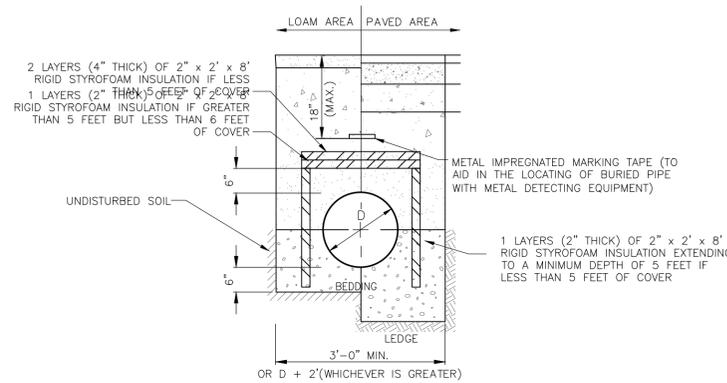
WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.
- LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



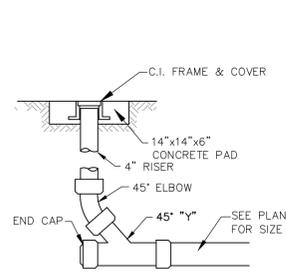
**TRENCH CROSS-SECTION**  
NOT TO SCALE



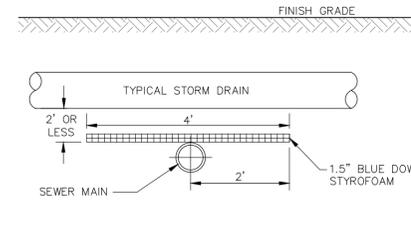
**CHIMNEY** (SEE NOTE 12)  
NOT TO SCALE



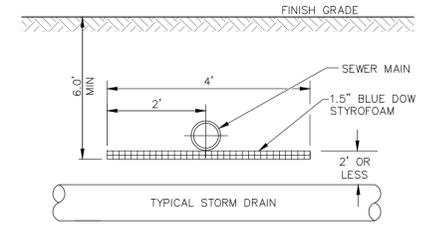
**SEWER TRENCH WITH INSULATION**  
NOT TO SCALE



**SEWER CLEAN OUT**  
NOT TO SCALE



CONDITION I



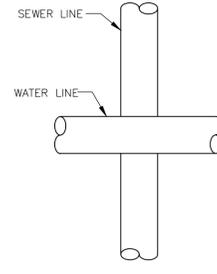
CONDITION II

**NOTES:**

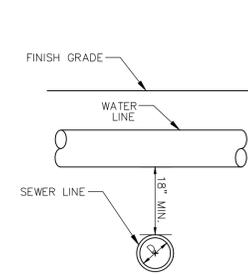
- THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
- ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1' PIECE OF INSULATION CENTERED OVER SEAM.
- 18" VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN WATER MAIN/SERVICES AND SEWER MAIN/SERVICES, WATER OVER SEWER.

**INSULATION AT STORM DRAIN & SEWER MAIN CROSSINGS**

NOT TO SCALE



PLAN VIEW



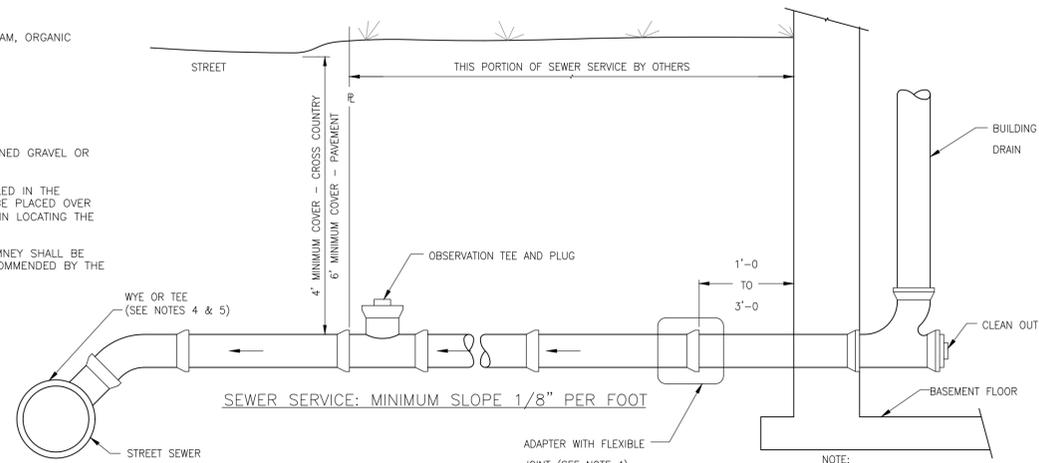
PROFILE VIEW

**NOTES:**

- A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18" MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER AND SANITARY SEWER CROSSINGS.
- PROTECTION OF WATER SUPPLIES:
  - THERE SHALL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
  - NO SEWER SHALL BE LOCATED WITHIN THE WELL PROTECTED RADII ESTABLISHED IN ENV-WS 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL.
  - SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN.
  - A DEVIATION FROM THE SEPARATION REQUIREMENTS OF (B) OR (C) ABOVE SHALL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.06.
  - WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
    - VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER AND
    - SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.

**WATER & SEWER CROSSING**

NOT TO SCALE



**SEWER SERVICE DETAILS**  
NOT TO SCALE

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**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16  
**DETAILS**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**  
OWNED BY  
**RANDI & JEFF COLLINS**  
PREPARED FOR  
**RANDI & JEFF COLLINS**  
**1"=20' (11'X17')**  
**SCALE: NTFD' (22'X34')** **JULY 1, 2022**

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# ***DRAINAGE ANALYSIS SUMMARY***

**F O R**

## **Proposed 2-Lot Subdivision**

**77 Meredith Way  
Portsmouth, New Hampshire  
Rockingham County**

**Tax Map 162, Lot 16**

**Owned by Randi & Jeff Collins  
Prepared for Randi & Jeff Collins**

**September 20, 2022  
Last Revised October 06, 2022**

**Prepared By:**



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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## **1.0 - SUMMARY & PROJECT DESCRIPTION**

The project includes a subdivision and development of two single family residences on 77 Meredith Way in Portsmouth, NH. The existing Tax Map 162 Lot 16 is approximately .5157 acres and currently contains a single family residence. The site is within the General Residence A Zone and is adjacent to Pine Street Playground.

The proposed project is to construct two 2-story dwellings. Associated improvements include and are not limited to access, grading, utilities, stormwater management system, and landscaping. The project proposes a 2,400 SF and 2,022 SF building footprint and total 6,079 SF of impervious area within the property lines and approximately 26,535 SF of disturbance to facilitate the development.

This analysis has been completed to verify the project will not pose adverse stormwater effects on-site and off-site. Compared to the pre-development conditions, the post-development stormwater management system has been designed to reduce runoff volume, reduces the risk of erosion and sedimentation, and improves stormwater runoff quality. In addition, Best Management Practices are employed to formulate a plan that assures stormwater quality both during and after construction. The following summarizes the findings from the study.

## **2.0 - CALCULATION METHODS**

The design storms analyzed in this study are the 2-year, 10-year, 25-year and 50-year 24-hour storm events. The software program, HydroCAD version 10.00<sup>1</sup> was utilized to calculate the peak runoff rates from these storm events. The program estimates the peak rates using the TR-20 method. A Type III storm pattern was used in the model. Rainfall frequencies for the analyzed region were also incorporated into the model. Rainfall frequencies from the higher of the Extreme Precipitation Rates from Cornell University's Northeast Regional Climate Center and Portsmouth Site Plan Review Regulations were used to determine the storm-event intensities, see Table 1. Due to the project's location within the Coastal/Great Bay Region community, the design rainfall increases the Cornell rates by 15% to address projected storm surge, sea level rise, and precipitation events per Env-Wq 1503.08(I). Design standards were taken from the New Hampshire Stormwater Manual, December 2008<sup>2</sup>.

	<b>24-HOUR RAINFALL RATES</b>	
<b>Storm-Event (year)</b>	<b>Northeast Regional Climate Center Extreme Precipitation (in)</b>	<b>Design Rainfall (in)</b>
2	3.21	3.70
10	4.87	5.60
25	6.17	7.10
50	7.39	8.50

**Table 1 – 24-Hour Rainfall Rates**

Time of Concentration is the time it takes for water to flow from the hydraulically most remote point in the watershed (with the longest travel time) to the watershed outlet. This time is

<sup>1</sup> HydroCAD version 10.00, HydroCAD Software Solutions LLC, Chocorua, NH, 2013.

<sup>2</sup> New Hampshire Stormwater Manual: Volume One - Stormwater and Antidegradation, December 2008; Volume Two - Post-Construction Best Management Practices Selection and Design, December 2008; Volume Three Erosion and Sediment Controls During Construction, December 2008.

determined by calculating the time it takes runoff to travel this route under one of three hydrologic conditions: sheet flow, shallow concentrated flow, or channel flow. Because the Intensity-Duration-Frequency (IDF) curve is steep with short TC's, estimating the actual intensity is subject to error and overestimates actual runoff. Due to this, the TC's are adjusted to a minimum of 6 minutes.

### **3.0 – EXISTING SITE CONDITIONS**

Per NRCS, soils on-site are Group A soils. Based on City comments, as well as test pits & infiltration testing the soils more closely resemble a Group C soil, which is what the drainage analysis is based on.

Four test pits and infiltration tests were conducted. In nearly all test pit locations, fill material was discovered. Infiltration tests were determined per Ksat testing using a Compact Constant Head Permeameter (Amoozemeter) per Env-Wq 1504.14(d). The highest Estimated Seasonal High-Water Table (ESWT) observed were: elevation 32.15' at Proposed Rain Garden #1, and elevation 29.85 at Proposed Rain Garden #2.

### **4.0 - PRE-DEVELOPMENT CONDITIONS**

The pre-development condition is characterized by two subcatchments composing one watershed, which flows towards an existing catch basin, which ultimately discharges to the Piscataqua River. Pre-development subcatchment areas are depicted on the attached plan entitled "Pre-Development Drainage Map," Sheet HSG-01 in Appendix A.

Stormwater runoff from the site primarily infiltrates into the well-drained soils on-site. The remaining stormwater runoff discharges towards a localized pond area to the north of the site (POI-1), and the existing municipal stormwater drainage system (POI-3).

In the pre-development condition, the total impervious area is 20,504 SF over a total drainage analysis area of 91,950 SF.

### **5.0 - POST-DEVELOPMENT CONDITIONS**

The post-development condition is characterized by one watershed divided into three subcatchment areas. Post-development subcatchment areas are depicted on the attached plan entitled "Post-Development Drainage Map," sheet HSG-02 in Appendix B.

In the post-development condition, the total impervious area is 28,118 SF over a total drainage analysis area of 91,950 SF. Impervious area from the project consists of a 7,613 SF footprint across two residences and associated improvements. Two rain gardens are proposed to treat and mitigate the stormwater runoff from the impact of the new impervious area from the proposed development.

Four test pits and infiltration tests, at least one in each basin area, were conducted. In nearly all test pit locations, fill material was discovered. Infiltration tests were determined per default published Ksat values for the design infiltration rates per Env-Wq 1504.14(c) and/or Ksat testing using a Compact Constant Head Permeameter (Amoozemeter) per Env-Wq 1504.14(d).

Table 2 summarizes the pre- and post-development peak runoff rates for the 2-year, 10-year, 25-year and 50-year 24-hour Type III storm events for all discharge.  
Table 3 summarizes the pre- and post-development peak runoff volumes for the 2-year, 10-year, 25-year, and 50-year 24-hour Type III storm events for all discharge.

TABLE 2 – SURFACE WATER PEAK RUNOFF RATE COMPARISON (CF)					
POINT OF INTEREST		DESIGN STORM			
		2-year	10-year	25-year	50-year
POI-1	Pre	1.7	3.5	4.9	6.3
	Post	1.2	2.5	3.5	4.5
POI-2	Pre	0.3	0.7	1.0	1.3
	Post	0.0	0.0	0.0	0.1
POI-3	Pre	0.8	0.8	0.9	0.9
	Post	0.9	0.9	0.9	0.9

**Table 2 - Pre and Post- Development Peak Runoff Rate Comparison**

TABLE 3 – SURFACE WATER PEAK RUNOFF VOLUME COMPARISON (CF)					
POINT OF INTEREST		DESIGN STORM			
		2-year	10-year	25-year	50-year
POI-1	Pre	4,680	9,319	13,257	17,062
	Post	4,479	8,918	12,686	16,328
POI-2	Pre	1,234	2,527	3,637	4,716
	Post	0	0	343	947
POI-3	Pre	8,849	16,309	20,353	23,359
	Post	7,730	11,698	14,998	18,168

**Table 3 - Pre and Post- Development Peak Runoff Volume Comparison**

The proposed project reduces peak rates of runoff compared to existing conditions for all storm events resulting from on-site runoff (POI-1 & POI-2) and Portsmouth stormwater regulations. Additionally, per NHDES, the 2-year 24-hour storm does not result in an increased peak flow rate and reduces or increases volume within the limits of Env-Wq 1507.05(b)(1) from the pre-development to post-development condition. There will be no adverse effects on the abutting properties from the proposed stormwater management system.

## **6.0 – CONCLUSION**

There are three analysis points modeled in the drainage analysis for this project - POI (point on interest) 1 thru 3:

- POI 1 represents the northern portion of the property which discharges to the north. Comparing pre-development to post-development conditions shows that there is a decrease in the peak rate of runoff and volume for all storm events (2 through 50-year storms).

- POI 2 represents the southern portion of the property and the associated to discharge off-site (to Meredith Way). Comparing pre-development to post-development conditions shows that there is a decrease in the peak rate of runoff and volume for all storm events (2 through 50-year storms) from the site to Meredith Way.
  
- POI 3 represents the small impoundment/low lying depression area located at the north end of Meredith Way. The outlet from this area is an existing 4" diameter pipe, which DPW has noted may be disconnected. Comparing pre-development to post-development conditions shows that the peak rate of runoff matches for the 25 and 50-year storm event, with a minor increase (0.1 cfs) in the 2, and 10-year storm events. The peak elevation of the pond area increases by 0.83 feet in the 2-year storm event down to 0.10 feet in the 50-year storm event. The drain-down time for this impoundment is approximately 15 hours, and the runoff volume is reduced during all storm events (2 through 50-year storms). The increase in peak elevation is due to the extension of the roadway into a portion of the existing impoundment storage. To replace this storage would require removal of the existing mature wooded buffer east of Meredith Way. Since the water elevation increase is minor, of short duration, and there is less runoff volume in the post-development condition, preserving the wooded buffer appears to be the better solution.

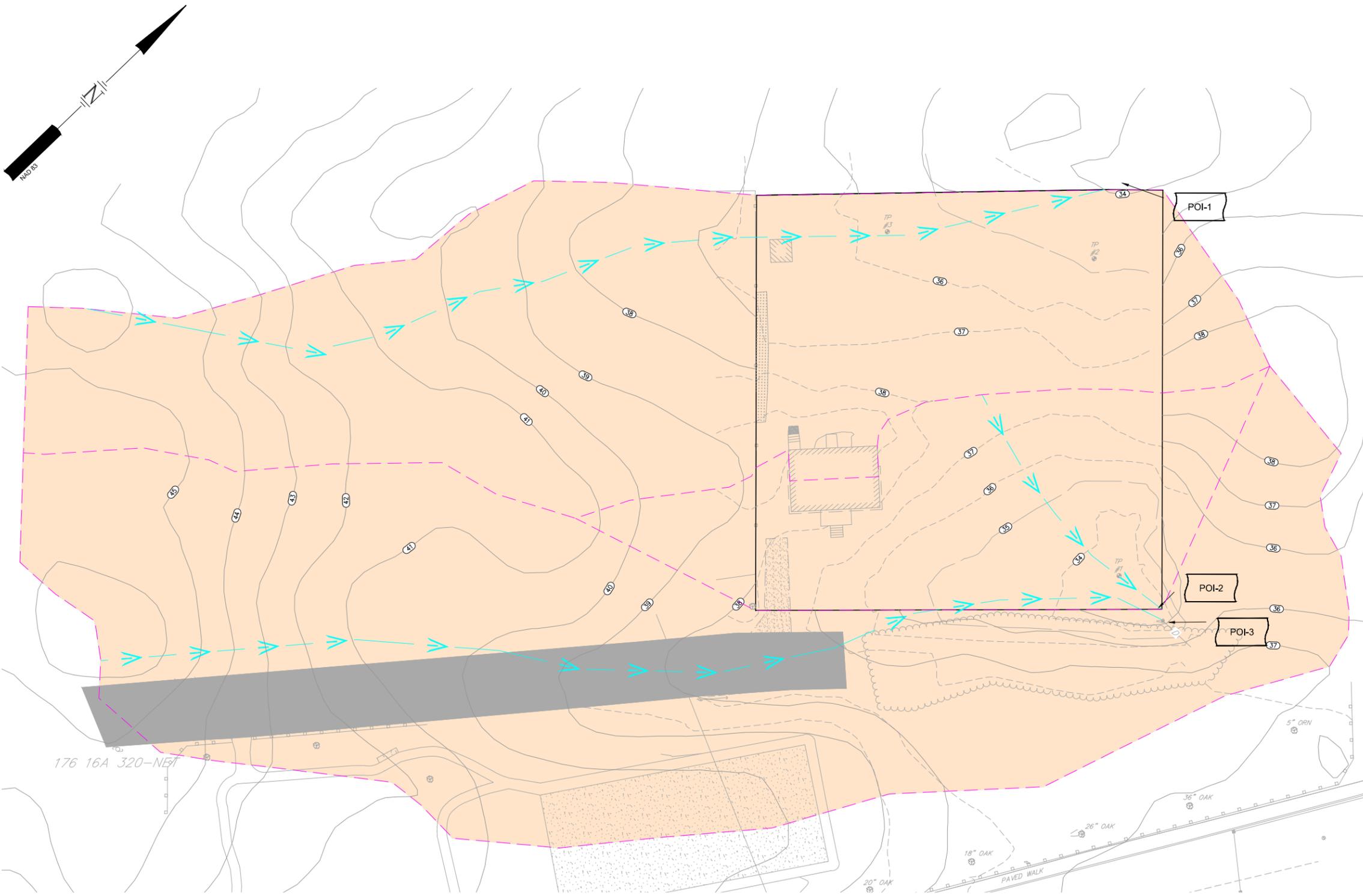
Respectfully,  
**TFMoran, Inc. Seacoast Division**

**Jack McTigue, PE**  
*Project Manager*

JJM/crr

**APPENDIX A – PRE-DEVELOPMENT DRAINAGE  
MAP**

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LEGEND	
	PROPERTY LINE
	LIMITS OF DRAINAGE SUBCATCHMENT
	SOIL GROUP BREAKLINE
	FLOW PATH (To LINE)
	REACH
	POINT OF INTEREST
	SUBCATCHMENT AREA
	POND, CULVERT, OR CATCH BASIN
	REACH

LEGEND	
	HYDROLOGIC SOIL GROUP A
	HYDROLOGIC SOIL GROUP B
	HYDROLOGIC SOIL GROUP C
	HYDROLOGIC SOIL GROUP D
	IMPERVIOUS COVER
	OPEN WATER FEATURE

SOIL PHASE LEGEND (PERCENT)					
A	B	C	D	E	F
0-3	3-8	8-15	15-25	25-50	50+

SOIL LEGEND (PER USDA NRCS WEB SOIL SURVEY)			
SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP	DRAINAGE CLASS
799	URBAN LAND-CANTON COMPLEX, 3 TO 15% SLOPES	A	WELL DRAINED

**SITE DEVELOPMENT PLANS**

TAX MAP 162 LOT 16  
**PRE-DEVELOPMENT HYDROLOGIC SOIL GROUP PLAN**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**  
 OWNED BY  
**RANDI & JEFF COLLINS**  
 PREPARED FOR  
**RANDI & JEFF COLLINS**  
**1"=40' (11"X17")**  
**SCALE: 1"=20' (22"X34')** **JULY 1, 2022**

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REV	DATE	DESCRIPTION	DR	CK

Seacoast Division  
**TFM**  
 Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
 www.tfmoran.com

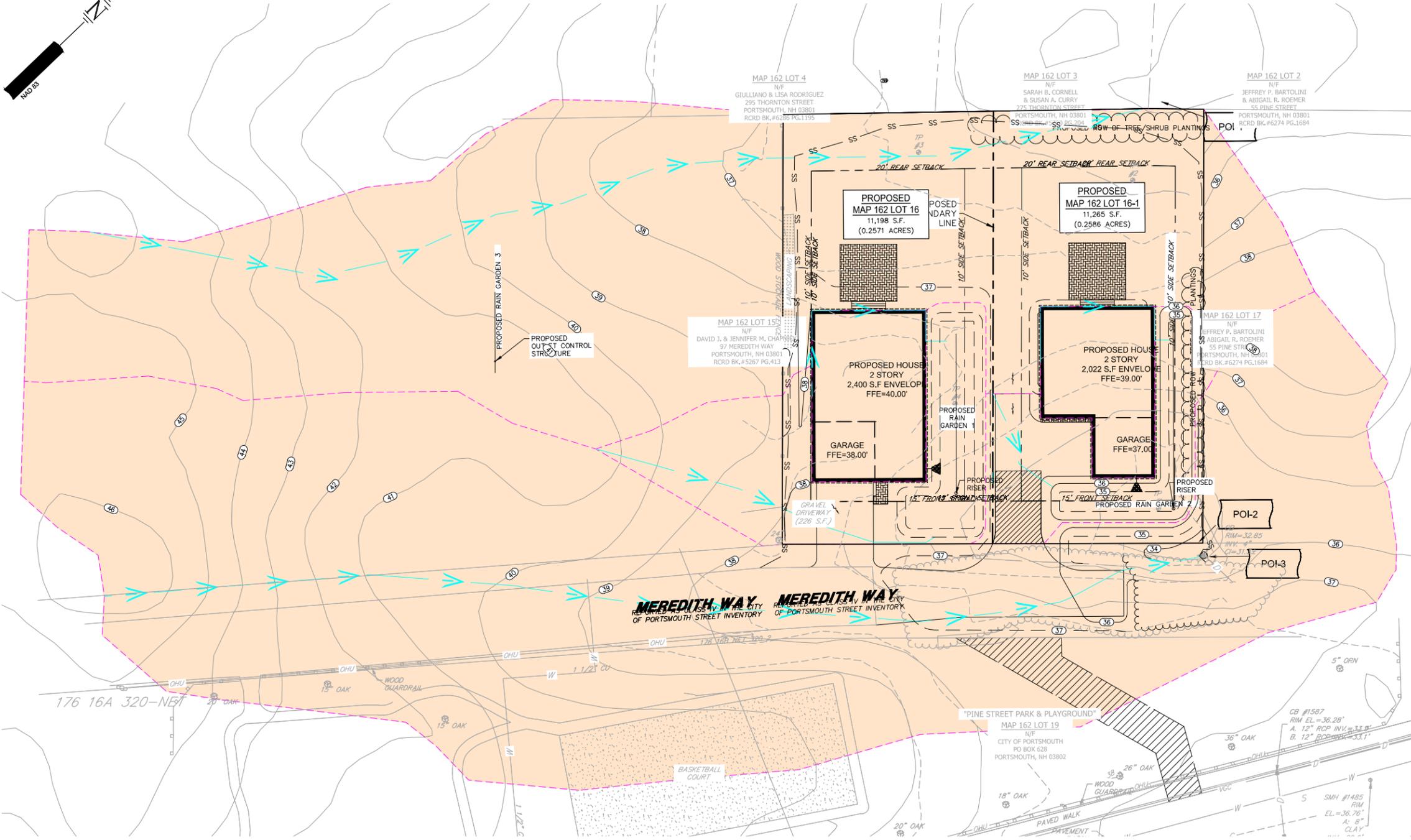
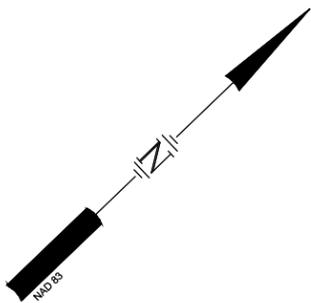
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					HSG-01

Sep 19, 2022 - 4:54pm  
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**APPENDIX B – POST DEVELOPMENT DRAINAGE**  
**MAP**

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### LEGEND

- PROPERTY LINE
- LIMITS OF DRAINAGE SUBCATCHMENT
- SOIL GROUP BREAKLINE
- FLOW PATH (To LINE)
- REACH
- POINT OF INTEREST
- SUBCATCHMENT AREA
- POND, CULVERT, OR CATCH BASIN
- REACH

### LEGEND

- HYDROLOGIC SOIL GROUP A
- HYDROLOGIC SOIL GROUP B
- HYDROLOGIC SOIL GROUP C
- HYDROLOGIC SOIL GROUP D
- IMPERVIOUS COVER
- OPEN WATER FEATURE

### SOIL PHASE LEGEND (PERCENT)

A	B	C	D	E	F
0-3	3-8	8-15	15-25	25-50	50+

### SOIL LEGEND (PER USDA NRCS WEB SOIL SURVEY)

SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP	DRAINAGE CLASS
799	URBAN LAND-CANTON COMPLEX, 3 TO 15% SLOPES	A	WELL DRAINED

## SITE DEVELOPMENT PLANS

TAX MAP 162 LOT 16  
**POST-DEVELOPMENT HYDROLOGIC SOIL GROUP PLAN**  
**PROPOSED 2 LOT SUBDIVISION**  
**77 MEREDITH WAY**

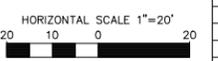
OWNED BY  
**RANDI & JEFF COLLINS**  
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**1"=40' (11"X17")**  
**SCALE: 1"=20' (22"X34')** **JULY 1, 2022**

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REV	DATE	DESCRIPTION	DR	CK

Seacoast Division

Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
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170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
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 www.tfmoran.com

FILE 47442-00 DR: BMK FB: -  
 CK: BRR CADFILE 47442-00 POST DRAINAGE MAP HSG-02

Oct06, 2022 - 10:13am F:\MISC Projects\47442 - 77 Meredith Way - Portsmouth\47442-00 Post Drainage Map.dwg





# City of Portsmouth, New Hampshire

## *Subdivision Application Checklist*

This subdivision application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision review requirements. Please refer to the Subdivision review regulations for full details.

**Applicant Responsibilities (Section III.C):** Applicable fees are due upon application submittal along with required number of copies of the Preliminary or final plat and supporting documents and studies. Please consult with Planning staff for submittal requirements.

Owner: Randi and Jeffrey Collins Date Submitted: 8-16-2022

Applicant: Randi and Jeff Collins

Phone Number: 7742788676 E-mail: jeffreycollins@yahoo.com

Site Address 1: 77 Meredith Way Map: 162 Lot: 16

Site Address 2: \_\_\_\_\_ Map: 162 Lot: 16-1

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Completed Application form. <b>(III.C.2-3)</b>	Viewpoint Cloud	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive. <b>(III.C.4)</b>	Attached to submittal	N/A

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Name and address of record owner, any option holders, descriptive name of subdivision, engineer and/or surveyor or name of person who prepared the plat. <b>(Section IV.1/V.1)</b>	SUBDIVISION PLAN PAGE1	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	<p><b>Preliminary Plat</b> Names and addresses of all adjoining property owners. <b>(Section IV.2)</b></p> <p><b>Final Plat</b> Names and addresses of all abutting property owners, locations of buildings within one hundred (100) feet of the parcel, and any new house numbers within the subdivision. <b>(Section V.2)</b></p>	Subdivision plan page 2 existing conditions	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	North point, date, and bar scale. <b>(Section IV.3/V3)</b>	Required on all Plan Sheets	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Zoning classification and minimum yard dimensions required. <b>(Section IV.4/V.4)</b>	Subdivision plan page 2 existing conditions	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	<p><b>Preliminary Plat</b> Scale (not to be smaller than one hundred (100) feet = 1 inch) and location map (at a scale of 1" = 1000'). <b>(Section IV.5)</b></p> <p><b>Final Plat</b> Scale (not to be smaller than 1"=100'), Location map (at a scale of 1"=1,000') showing the property being subdivided and its relation to the surrounding area within a radius of 2,000 feet. Said location map shall delineate all streets and other major physical features that my either affect or be affected by the proposed development. <b>(Section V.5)</b></p>	Subdivision plan page 2 existing conditions	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Location and approximate dimensions of all existing and proposed property lines including the entire area proposed to be subdivided, the areas of proposed lots, and any adjacent parcels in the same ownership. <b>(Section IV.6)</b>	Subdivision plan page 3	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Dimensions and areas of all lots and any and all property to be dedicated or reserved for schools, parks, playgrounds, or other public purpose. Dimensions shall include radii and length of all arcs and calculated bearing for all straight lines. <b>(Section V.6/ IV.7)</b>	Subdivision plan page 3	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	N/A
<input checked="" type="checkbox"/>	Location, names, and present widths of all adjacent streets, with a designation as to whether public or private and approximate location of existing utilities to be used. Curbs and sidewalks shall be shown. <b>(Section IV.8/V.7)</b>	Subdivision plan page 2 existing conditions	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Location of significant physical features, including bodies of water, watercourses, wetlands, railroads, important vegetation, stone walls and soils types that may influence the design of the subdivision. <b>(Section IV.9/V.8)</b>	Subdivision plan page 2 existing conditions	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	<b>Preliminary Plat</b> Proposed locations, widths and other dimensions of all new streets and utilities, including water mains, storm and sanitary sewer mains, catch basins and culverts, street lights, fire hydrants, sewerage pump stations, etc. <b>(Section IV.10)</b> <b>Final Plat</b> Proposed locations and profiles of all proposed streets and utilities, including water mains, storm and sanitary sewer mains, catchbasins and culverts, together with typical cross sections. Profiles shall be drawn to a horizontal scale of 1"=50' and a vertical scale of 1"=5', showing existing centerline grade, existing left and right sideline grades, and proposed centerline grade. <b>(Section V.9)</b>	Subdivision plan page 5 Site Layout plan and Page 8 Road plan profile	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	When required by the Board, the plat shall be accompanied by profiles of proposed street grades, including extensions for a reasonable distance beyond the subject land; also grades and sizes of proposed utilities. <b>(Section IV.10)</b>	Subdivision plan page 7 Utility plan and Page 8 Road plan profile	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Base flood elevation (BFE) for subdivisions involving greater than five (5) acres or fifty (50) lots. <b>(Section IV.11)</b>	N/A	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	For subdivisions of five (5) lots or more, or at the discretion of the Board otherwise, the preliminary plat shall show contours at intervals no greater than two (2) feet. Contours shall be shown in dotted lines for existing natural surface and in solid lines for proposed final grade, together with the final grade elevations shown in figures at all lot corners. If existing grades are not to be changed, then the contours in these areas shall be solid lines. <b>(Section IV.12/ V.12)</b>	N/A	<input checked="" type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	

Requirements for Preliminary/Final Plat				
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Required for Preliminary / Final Plat	Waiver Requested
<input checked="" type="checkbox"/>	Dates and permit numbers of all necessary permits from governmental agencies from which approval is required by Federal or State law. <b>(Section V.10)</b>	N/A	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	For subdivisions involving greater than five (5) acres or fifty (50) lots, the final plat shall show hazard zones and shall include elevation data for flood hazard zones. <b>(Section V.11)</b>	N/A	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	
<input checked="" type="checkbox"/>	Location of all permanent monuments. <b>(Section V.12)</b>	Subdivision plan page 3, Subdivision	<input type="checkbox"/> Preliminary Plat <input checked="" type="checkbox"/> Final Plat	



<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	<b>15. Easements (VI.15)</b>	Page 7	
<input checked="" type="checkbox"/>	a. Utilities		
<input checked="" type="checkbox"/>	b. Drainage		
<input type="checkbox"/>	<b>16. Monuments: (VI.16)</b>		
<input type="checkbox"/>	<b>17. Benchmarks: (VI.17)</b>		
<input checked="" type="checkbox"/>	<b>18. House Numbers (VI.18)</b>	tbd	

Design Standards			
	Required Items for Submittal	Indicate compliance and/or provide explanation as to alternative design	Waiver Requested
<input checked="" type="checkbox"/>	<b>1. Streets have been designed according to the design standards required under Section (VII.1).</b> a. Clearing b. Excavation c. Rough Grade and Preparation of Sub-Grade d. Base Course e. Street Paving f. Side Slopes g. Approval Specifications h. Curbing i. Sidewalks j. Inspection and Methods	Page 9	
<input checked="" type="checkbox"/>	<b>2. Storm water Sewers and Other Drainage Appurtenances have been designed according to the design standards required under Section (VII.2).</b> a. Design b. Standards of Construction	Page 9	
<input checked="" type="checkbox"/>	<b>3. Sanitary Sewers have been designed according to the design standards required under Section (VII.3).</b> a. Design b. Lift Stations c. Materials d. Construction Standards	Page 9	
<input checked="" type="checkbox"/>	<b>4. Water Mains and Fire Hydrants have been designed according to the design standards required under Section (VII.4).</b> a. Connections to Lots b. Design and Construction c. Materials d. Notification Prior to Construction	Page 9	

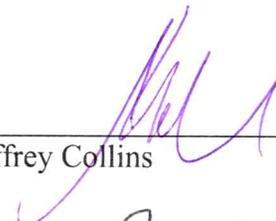
Applicant's/Representative's Signature: Jeffrey Collins Date: 8-16-2022

<sup>1</sup> See City of Portsmouth, NH Subdivision Rules and Regulations for details.  
Subdivision Application Checklist/January 2018

**AUTHORIZATION**  
**77 Meredith Way, Portsmouth**  
**Map 162, Lot 16**

The undersigned hereby authorize representatives of Bosen & Associates, PLLC, and TFMoran, Inc. to represent our interests before the Portsmouth land use boards and to submit any and all applications and materials related thereto on its behalf.

Date: 3-23-2022

  
\_\_\_\_\_  
Jeffrey Collins

  
\_\_\_\_\_  
Randi Collins

