

**CONTENTS, HDC WORK SESSION/PUBLIC HEARING APPLICATION FOR PROPOSED RENOVATION, REMODEL, AND CHANGES TO 15 MIDDLE ST., PORTSMOUTH, NH (SALVATION ARMY CHURCH).**

**\*2-Narrative**

**\*3-Tax Map, locating property.**

**\*4-Photographs, Existing Conditions, from Middle St..**

**\*5-Photographs, Existing Conditions, from Porter St. and “gap” to adjoining building.**

**\*6-Existing West Elevation,  $\frac{1}{4}''=1'0''$**

**\*7-Existing South Elevation,  $\frac{1}{4}''=1'0''$**

**\*8-Proposed West Elevation,  $\frac{1}{4}''=1'0''$**

**\*9-Proposed South Elevation,  $\frac{1}{4}''=1'0''$**

**\*10-Proposed East Elevation,  $\frac{1}{4}''=1'0''$**

**\*11-Proposed North Elevation,  $\frac{1}{4}''=1'0''$**

**\*12-Boral Slate product information**

**\*13-Wall lights to street information**

**\*14-Photos, roof intersection, northern side**

**PROPOSED RENOVATION, REMODEL AND CHANGES TO 15 MIDDLE ST.,  
PORTSMOUTH, NH, (THE SALVATION ARMY CHURCH).**

**NARRATIVE**

The existing, 2 ½ story structure, dates from 1860, when it was built to house the First Congregational Church of Portsmouth. It was later taken over by the Salvation Army. The church's congregation has depleted over time and they have moved to a more suitable location.

The building has (2) distinct components; the brick portion, with entrance on Middle St., which houses the actual church; and the rear, wooden structure with entrance on Porter St., which houses the Kitchen and Dining Hall.

At some point in time, One Middle St. structure was been built to within 8"-12" on the North and East sides of the original church structure. The windows on these walls look onto the masonry block of this structure.

In its current layout the building has 9,717sf of living space. 5,056sf at 1<sup>st</sup> Floor and 4,661sf at 2<sup>nd</sup> Floor.

The 1<sup>st</sup> Floor is divided into 2,408sf for Kitchen, Dining Area and Offices. The actual "church" gathering space is 1,560sf. There is 1,088sf of Storage and Accessory Areas.

The 4,661sf of the 2<sup>nd</sup> Floor is divided into Meeting Areas, Kitchen and Dining Space and Bedrooms/Offices.

The Attic spaces are used for Storage.

The proposed plan is to continue the use of the section of the building that is currently Offices and Soup Kitchen, as a Restaurant. The rest of the structure would be remodeled, to create a (15) room Inn. An elevator and sprinkler system would be added. The sprinkler system may require some exterior heads to protect from the adjacent building.

It is intended that at some future date, and after City approval, the Attic area would be developed in to (3) Residential Units.

In terms of the exterior, all existing components would be repaired and restored in kind with approval sought to add (10), gable dormers to the roof of the brick building, (5) per side and aligned to the windows below, but recessed back from the wall line by at 2' 4". These would have slate siding reclaimed from the changes to the existing roof of the wooden building. A new Faux Slate roof would be installed to the Brick building (replacing the existing (3) tab asphalt shingles. This would match the appearance of the existing slate of the wood building.

For access and egress we will need to add a shed dormer to the East, Music Hall side of the rear wooden structure, again set back from the wall line by 2'. This would have clapboard siding to match the rear building to the side cheeks, and panels to the window face. This is to have a standing seam, copper roof.

A blank shed dormer is needed on the North side of the intersection of the (2) roofs, to accommodate the new elevator. As part of this work it is proposed to extend lower portion of the main roof gable to correct a snow catchment problem. The main chimney will have to be removed and rebuilt as a faux version to match.

The new dormer windows would be all wood, Milestone Series, from Green Mountain Windows.

The East and North sides of the Wood building will need to have the clapboards removed, a fire rated layer applied, and replaced with non-combustible clapboards.

A new wood and glass door would replace the existing steel door to Porter St..

We would also add a 42", balustrade, to the 2nd Floor flat roof portion that faces Congress St. and One Middle St. roof. This would be typical steel, fire escape style, painted black.

It is intended to install wall mounted, "up and down" lights to the Middle and Porter St. sides.

It is intended to install exterior mechanical equipment (condensers, heat pumps and such) on the roof of One Middle St. (easement to be created). Other utility work is likely to be undertaken to "simplify" existing supply lines.

Further to this project, but entirely separate to it, it is intended to demolish 20' of the Porter St. section of One Middle St. (150 Congress St.) to provide an area for dumpster storage, with shared use to the (2) properties.

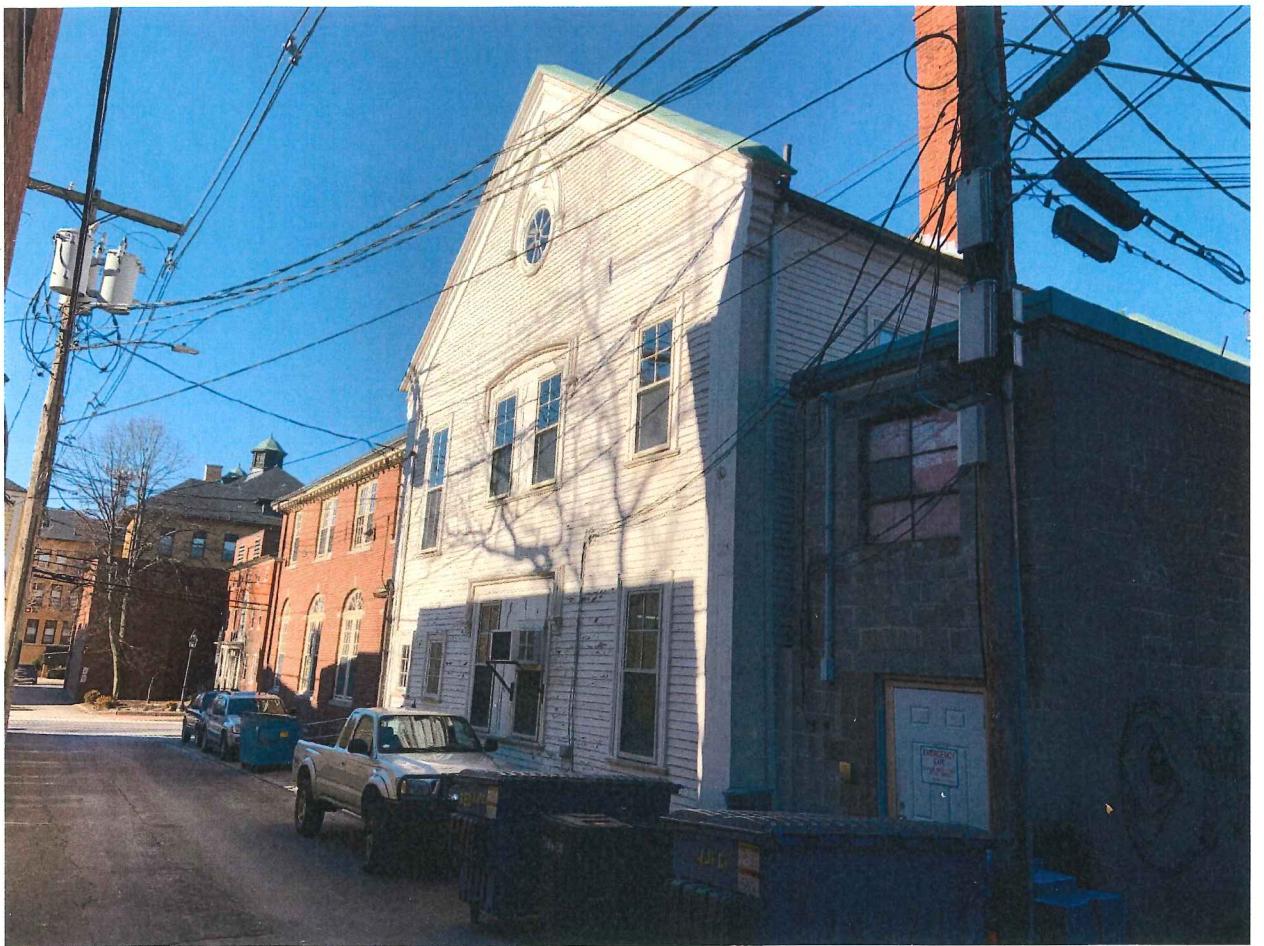




VIEW FROM MIDDLE ST., LOOKING SOUTH  
EAST FROM CLOSER TO ISLINGTON ST.



VIEW FROM MIDDLE, LOOKING NORTH  
EAST & DOWN PORTER ST.



VIEW FROM PORTER ST., LOOKING  
NORTH WEST. NOTE CONCRETE BLOCK  
BUILDING, PART OF ONE MIDDLE ST.



MIDDLE ST.,  
"GAP" TO 'ONE  
MIDDLE ST.'



"GAP" AT REAR OF WOOD  
STRUCTURE SEEN FROM  
PORTER ST.



EXISTING  
WEST ELEVATION  
(MIDDLE ST.)

REMODEL & RENOVATION  
at 15 MIDDLE STREET,  
PORTSMOUTH, NH.

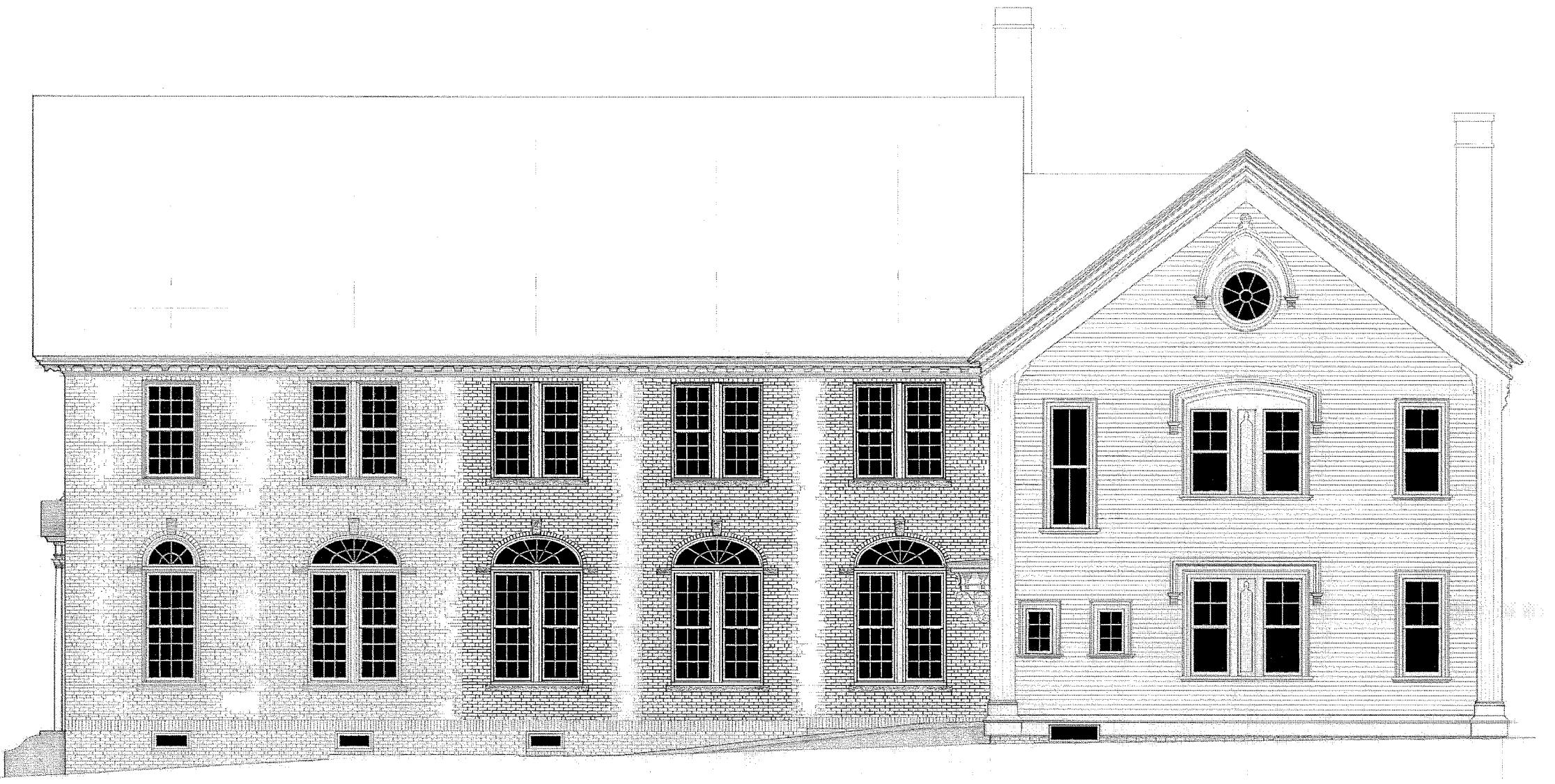
TITLE: WEST ELEVATION

SCALE: 1/4" = 1'

DATE : 1/14/2019

REVISONS:

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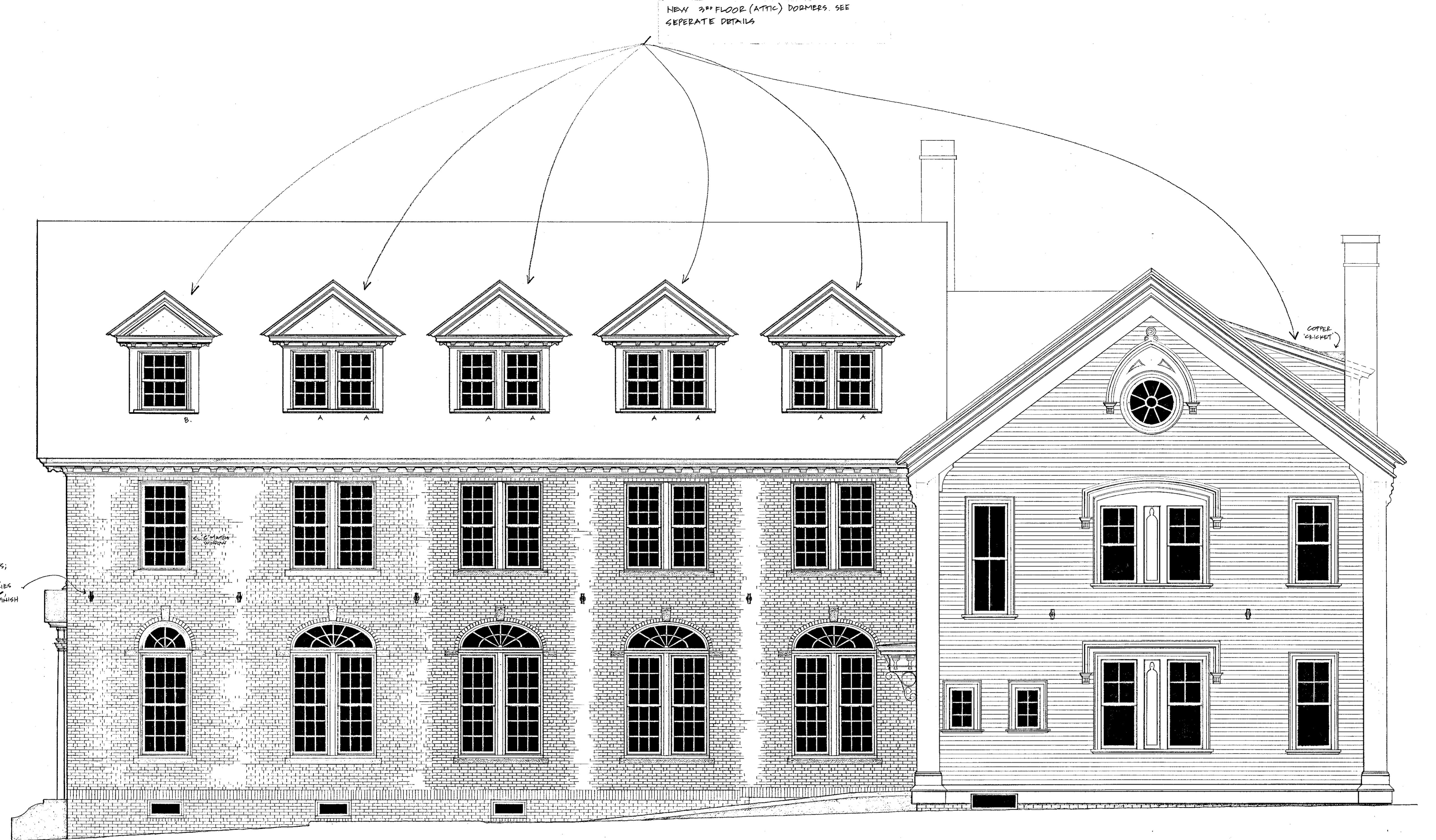
EXISTING  
SOUTH ELEVATION  
(PORTER ST.)

REMODEL & RENOVATION  
At 15 MIDDLE STREET,  
PORTSMOUTH, NH

TIME: SOUTH ELEVATION  
DATE: 11/4/2011  
SCALE: 1/4"

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EXISTING &  
PROPOSED  
SOUTH ELEVATION  
(PORTER ST.)

EXTERIOR DOOR & WINDOW SCHEDULE (GREEN MOUNTAIN WINDOWS)						
No.	R.O. (WxH)	HEADER HT. LT. PANTHR STYLING	GIM ZONE STYLING	NOTES	ITEM SIZE	QTY
A	2'8" x 4'5 1/2"	5/8" 1/2" 1/2"	MHD 2622	DOUBLE HUNG W/ BRICK MOULD & CONT. SILL WITH 3" HORNS. (R) W/ TEMP. GLASS	6 1/2" 16	
B	3'6" x 4'5 1/2"	" 1/2" 1/2"	MHD 2622 SP.	" "	" 2	
C	3'6" x 6'5 1/2"	1/2" 1/2" 1/2"	MHD 3624 SP.	DOUBLE HUNG TO REPLACE MISSING NORTH WINDOW. MATCH OPPOSITE AT SOUTH	" 1	
D	2'9" x 3'5 1/2"	6 1/4" 2x2	MCM 9240 E	CASEMENTS (2) L, (2) R. 1/2" X 8" MERL CASILLES, 5/8" X 7 1/2" DE, CONT. SILL W/ 14" HORNS	" 4	

- 5/8" S.D.L. WITH SPACER BARS. - EXTERIOR: AS PER ELEVATIONS & DETAILS, PAINTED WHITE.  
 - GLAZING: LOW-E KRYPTON - INTERIOR: PAINTED "WHITE"  
 - CASHINGS, BRICK MOULD & PLATE AS PER ELEVATIONS. - SILLS, 2" HISTORIC, CONTINUOUS WITH HORN EXTENSIONS  
 - INTERIOR SCREENS - WHITE HARDWARE

REMODEL & REHABILITATION  
at 15 MIDDLE STREET,  
PORTSMOUTH, NH

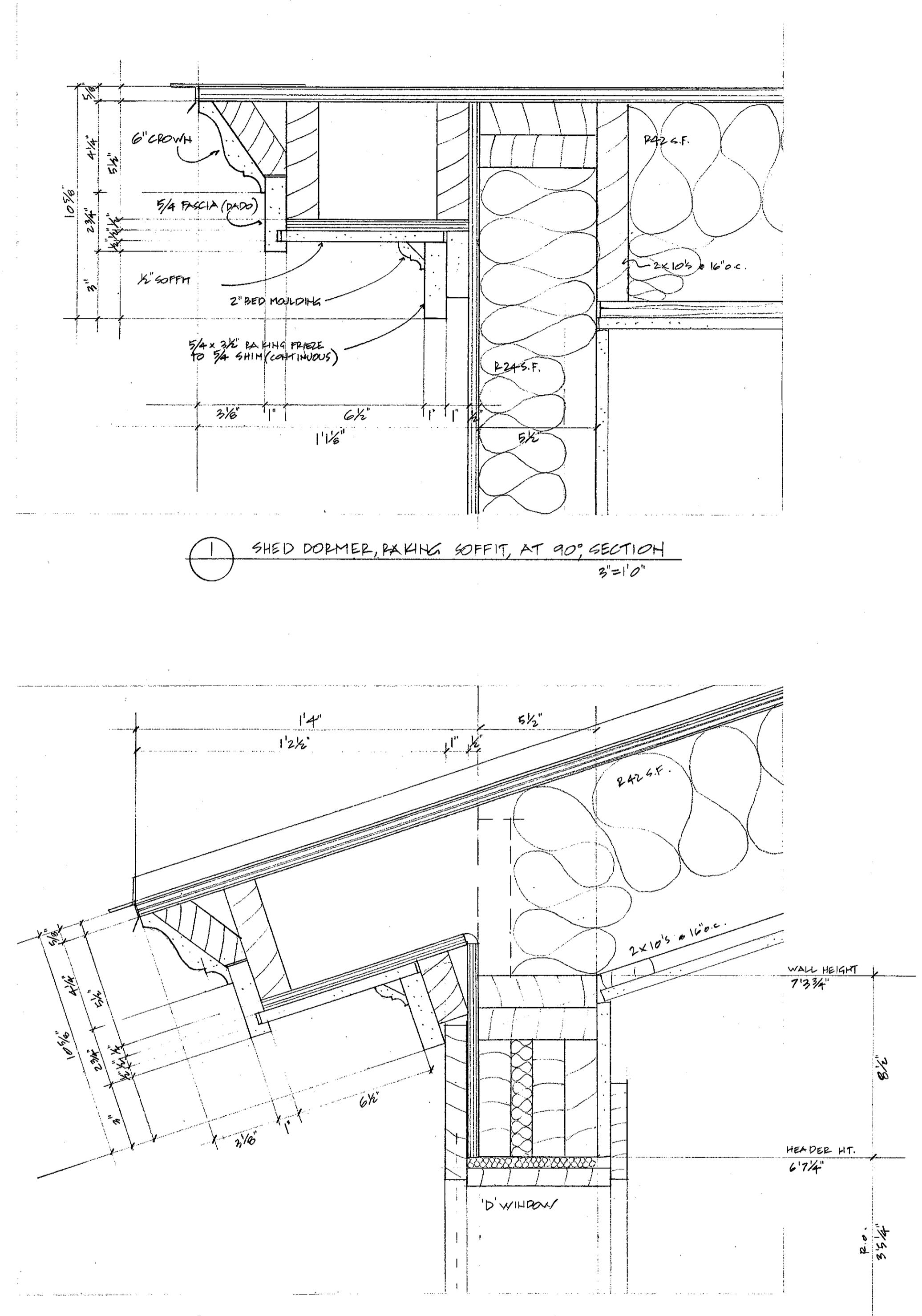
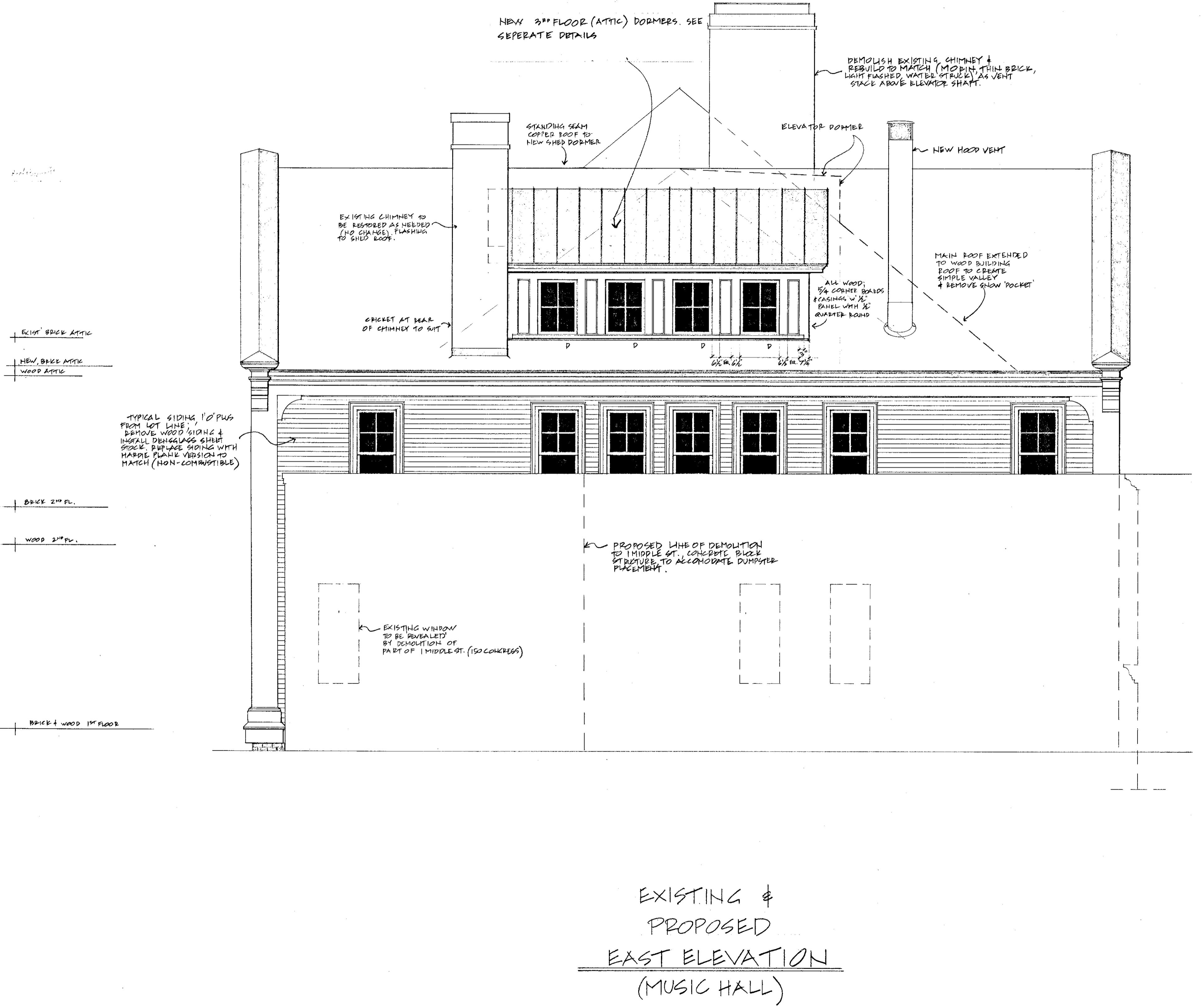
TITLE: SOUTH ELEVATION, EXISTING & PROPOSED #

WINDOW SCHEDULE

SCALE: 1/4" = 1'-0"

DATE: 1.14.2019

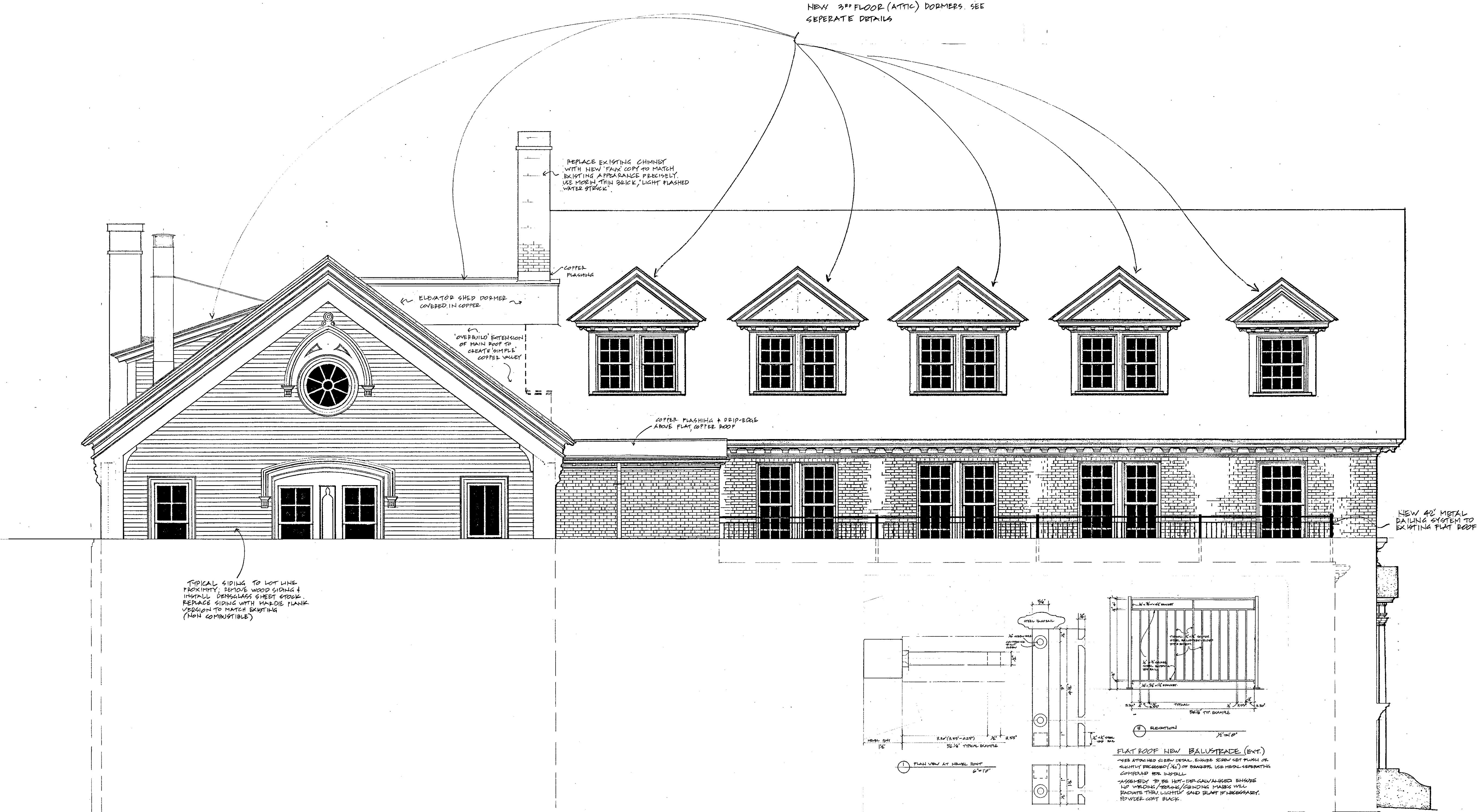
PURCHASE: 2/6/2020 6/10/2020



MODEL & INNOVATION  
at 15 MIDDLE STREET,  
PORTSMOUTH, NH.

TITLE: EAST ELEVATION, EXISTING & PROPOSED +  
SHED DOOR MEB DETAILS  
SCALE: 1/4" = 1' 0", & 3" = 1' 0"  
DATE: 14/7/09

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EXISTING &  
PROPOSED  
NORTH ELEVATION  
(\*1 MIDDLE ST, JUMPIH JAY'S FISH CAFE PROFILE)

REMODEL & REHABILITATION  
at 15 MIDDLE STREET,  
PORTSMOUTH, NH

TITLE: NORTH ELEVATION, EXISTING & PROPOSED

SCALE: 1"-10'

DATE: 1.14.2019

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# Classic Slate

## APPLICATION GUIDELINES

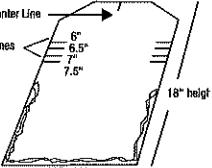
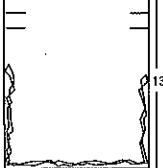
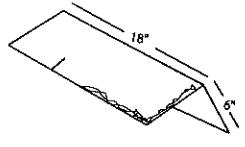
**INSPIRE**  
ROOFING PRODUCTS  
BORAL

### ONLY BASIC ROOFING TOOLS REQUIRED

- Hand fastened or fastened with a pneumatic nail gun
- Utility knife or a standard circular saw
- Tape measure, pry bar, tin snips
- Chalk line with blue chalk (do not use red chalk)

### PRODUCT SPECIFICATIONS

*STEEL GREY TO MATCH EXISTING*

Classic Slate	Starter Piece	Hip and Ridge
 <p>Center Line Exposure Lines 6" 6.5" 7" 7.5" 18" height 12" width</p> <p>Height: 18" Width: 12"</p>	 <p>13 1/2" 12"</p> <p>Height: 13 1/2" Width: 12"</p>	 <p>18" 6"</p> <p>Length: 18" Height: 6" Exposure: 6"- 7.5" Pre-formed Pitch: 3/12 - 18/12</p>

Product Ratings and Certifications					
Hail Rating – UL2218 Class IV					
Fire Rating – Class A or Class C					
TAS – 100 (110 mph wind driven rain)					
CCRR-0217					

Accessory Items	
Original Snow Guard	100 per box
1 1/2" Stainless Steel Ring Shank Coil Nails	7,200 pcs. per box
1 1/2" Stainless Steel Ring Shank Hand Nails	3,475 pcs. per 25 lb box
Roofing Underlayment	Boral® Ply 40 (2 square coverage roll)

Classic Hip & Ridge Class A / Class C	
Lbs. per piece	1.5
Lbs. per bundle	38
Pieces per bundle	25
Tiles per lineal foot	2
Lineal feet per bundle	12.5

Classic Starter	
Lbs. per piece	1
Lbs. per bundle	25
Pieces per bundle	25
Tiles per lineal foot	1
Lineal feet per bundle	25

Exposure Requirements	
Roof Slope	Classic Slate Exposure
5:12 and above	6", 6 1/2", 7, 7 1/2"
3:12-5:12	6"

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[MATERIAL](#)

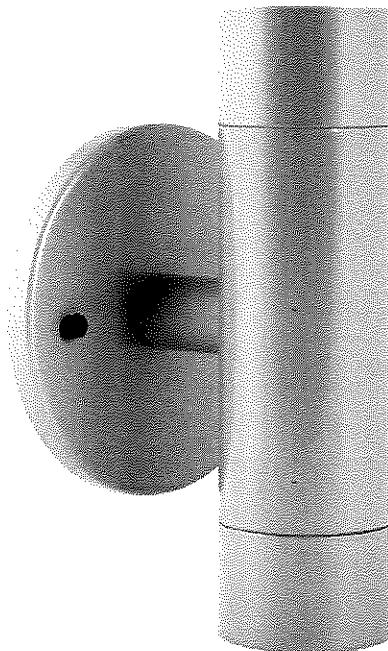
[SOURCE](#)

[STANDARD / CUSTOM](#)

- Aluminum
- Brass
- Stainless

El Dorado Series™ Halogen (MR16)

[Features](#)   [Documentation](#)   [Product Images](#)   [Project Images](#)   [Rep Tools](#)   [For Use With](#)



UP/DOWN WALL  
LIGHTS (

# El Dorado Series™

Shown in Satin Aluminum Finish (SAP)

BRONZE SATIN  
FINISH (9) TOTAL

Specifiers Also Viewed...



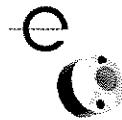
c1534-25



PM2DJ



Halogen AR-111 (G53)



Mini-Micro™ iLume™ Surface Mount Solid State (BKSSL®) Power of 'e'



Louvered Yacht Star™ Solid State (BKSSL®) Power of 'e'



Tenaya 2® Glare Shield



PAGE 13





