

## MEMORANDUM

**TO:** Portsmouth Zoning Board of Adjustment (“ZBA”)  
**FROM:** Monica F. Kieser, Esquire  
**DATE:** August 31, 2022  
**RE:** Natan Aviezri Revocable Trust, Natan Aviezri & Debra Klein, Trustees  
75 Monroe Street  
Tax Map 168/Lot 27  
Zoning District General Residence A (“GRA”)

Dear Chairman Parrott and Zoning Board Members:

On behalf of the Natan Aviezri Revocable Trust, Natan Aviezri & Debra Klein Trustees, (“Aviezri”), we are pleased to submit this supplemental memorandum and attached exhibits in support of the variance application submitted by Debra Klein to allow expansion of the nonconforming structure for consideration by the Portsmouth Zoning Board of Adjustment (“ZBA”) at its September 20, 2022 meeting.

### **I. EXHIBITS**

- A. 2016 Variance Plan issued by Millennium Engineering, Inc.
- B. Email & Proposed Conditions Sketch – issued by Millennium Engineering, Inc.
- C. Photographs.
  - Satellite view
  - Front/rear view
  - Sketch of expansion
- D. Tax Map 168.

### **II. PROPERTY/PROJECT**

75 Monroe Street is a 16,964 s.f. lot located at the corner of Monroe and Ward Place which contains an apartment building, paved parking lot, and another dwelling accessible from Ward Place (the “Property”). (**Exhibit A**). The Property derives from a larger lot of involuntarily merged parcels which were unmerged and consolidated pursuant plans approved by the City in 2016. Today’s application relates to the small (approximately 32 ft. by 20 ft.) 1 ¾ story dwelling accessed from Ward Place behind the apartment building. The dwelling dates back to 1920, is outdated and in need of renovations. Aviezri intends to renovate the home, expand the existing front and rear shed dormers by approximately 76” inches on either side to match the existing wall and roof lines (the “Project”). Because the existing dwelling is located within the existing side and rear yard setback, relief from the Portsmouth Zoning Ordinance (“PZO”) is required to expand the nonconforming structure within the applicable yard setbacks.

Orientation of the small dwelling is toward Ward Place so its right side is the rear lot line and its left side is a side lot line.

### III. RELIEF REQUIRED

1. **PZO §10.321, Expansion of a Nonconforming Structure** – to allow expansion of the existing front and rear second floor dormers within the side and rear yard setbacks.
2. **PZO §10.520, Dimensional Standards, §10.521, Table**
  - **Rear lot line** - to allow expansion of front and back shed dormers on right side of home to match existing roof/wall line at and 11.97 ft./13.22 ft. (front) and 11.87 ft./13.02 ft. (back) from the rear lot line where 20 ft. is required.
  - **Side lot line** – to allow expansion of front and back shed dormers on left side of home to match existing roof/wall line at 5.7 ft./7.00 where 10 ft. is required.

### IV. VARIANCE REQUIREMENTS

1. **The variances will not be contrary to the public interest.**
2. **The spirit of the ordinance is observed.**

The first step in the ZBA’s analysis is to determine whether granting the variances is not contrary to the public interest and is consistent with the spirit and intent of the ordinance, considered together pursuant to Malachy Glen Associates, Inc. v. Town of Chichester, 155 N.H. 102 (2007) and its progeny. Upon examination, it must be determined whether granting a variance “would unduly and to a marked degree conflict with the ordinance such that it violates the ordinance’s basic zoning objectives.” Id. “Mere conflict with the zoning ordinance is not enough.” Id.

The purpose of the Portsmouth Zoning Ordinance as set forth in PZO §10.121 is “to promote the health, safety and the general welfare of Portsmouth and its region in accordance with the City of Portsmouth Master Plan... [by] regulating”:

1. **The use of land, buildings and structures for business, industrial, residential and other purposes** – The Project renovates and slightly expands the second floor of an existing residence.
2. **The intensity of land use, including lot sizes, building coverage, building height and bulk, yards and open space** – Building footprint, coverage, height will remain unchanged by the slight expansion of the dormers on the second floor.
3. **The design of facilities for vehicular access, circulation, parking and loading** – No changes are proposed.
4. **The impacts on properties of outdoor lighting, noise, vibration, stormwater runoff and flooding** – The structure exists now. The slight second floor expansion will have no negative effect on abutters compared to existing conditions.

5. The preservation and enhancement of the visual environment – The Project will renovate the existing dwelling on the Property improving its appearance. The minimal expansion of dormers will not undermine these purposes of the Ordinance.
6. The preservation of historic districts, and buildings and structures of historic or architectural interest – The Property is outside the Historic District.
7. The protection of natural resources, including groundwater, surface water, wetlands, wildlife habitat and air quality – Renovating the existing dwelling in place and slightly expanding the second floor dormers has no impact compared to existing conditions.

The Project meets the intent of the GRA Zone by permitting the improvement of an existing residence and maintaining the existing density on the Property. Like many in the neighborhood, the Property is nonconforming with respect to the left side setback and rear yard setback. The Project on the second floor simply matches the existing dimensions below representing a very slight increase in the nonconformity. Given these factors, granting the requested variances will not conflict with the basic zoning objectives of the PZO.

In considering whether variances “in a marked degree conflict with the ordinance such that they violate the ordinance’s basic zoning objectives,” Malachy Glen, supra, also held:

One way to ascertain whether granting the variance would violate basic zoning objectives is to determine whether it would alter the essential character of the locality... . Another approach to [determine] whether granting the variance violates basic zoning objectives is to examine whether granting the variance would threaten the public health, safety or welfare. (emphasis added)

There will be no threat to the public health, safety, or welfare by granting the requested variances, which will merely permit additional livable space within an existing home. They will allow Aviezri to improve a small, dated residence with renovations bringing it up to code and slightly expanding the second floor. The requested dimensional relief is within the existing footprint and represents a *de minimus* effect. Clearly, the requested variances neither alter the essential character of the locality nor threaten the public health safety or welfare. Accordingly, none of the requested variances are contrary to the public interest and all observe the spirit of the ordinance.

**3. Granting the variance will not diminish surrounding property values.**

The proposal will renovate the exiting older structure while maintaining consistency with the surrounding area. If anything, the addition will improve the value of the Property, and thus,

the values of the surrounding properties. Given the overall improvements to the building and limited scope of the requests, the variances will not diminish surrounding property values.

**4. Denial of the variances results in an unnecessary hardship.**

- a. Special conditions distinguish the property from others in the area.

The Property is over twice the size of the required minimum lot size but oddly shaped with a long existing dwelling nestled in one corner close to rear and side lot lines. These circumstances combine to create special conditions such that no upward expansion is possible without relief.

- b. No fair and substantial relationship exists between the general public purposes of the ordinance and its specific application in this instance.

All of Aviezri's requested relief relates to the rear and side yard setbacks. Yard requirements promote adequate air, light, space between neighbors and separation for stormwater treatment. None of these purposes are impaired by granting the requested variances. The building exists and is already non-conforming with the rear and side lot line. Moreover, the neighborhood overall is similarly densely developed with multiple nearby parcels non-conforming for setbacks. See Walker v. City of Manchester, 107 N.H. 382, 386 (1966) (Hardship may be found where similar nonconforming uses exist within the neighborhood and the proposed use will have no adverse effect on the neighborhood). See also Belanger v. City of Nashua, 121 N.H. 389 (1981) (Variance proper where ordinance no longer reflects the current character of neighborhood). Accordingly, there is no fair and substantial relationship between the purposes of the ordinance and its application in this instance.

- c. The proposed use is reasonable.

If the use is permitted, it is deemed reasonable. Vigeant v. Hudson, 151 N.H. 747 (2005). Residential use is permitted in the GRA Zone; this Property includes an apartment building with this small residence. Aviezri proposes simply to renovate the long existing nonconforming residence on the Property and expanding the second floor dormers upstairs to create more livable space. Accordingly, the proposed use is reasonable and denial of the variances creates an unnecessary hardship.

**5. Substantial justice will be done by granting the variance.**

If "there is no benefit to the public that would outweigh the hardship to the applicant" this factor is satisfied. Harborside Associates, L.P. v. Parade Residence Hotel, LLC, 162 N.H. 508

(2011). That is, “any loss to the [applicant] that is not outweighed by a gain to the general public is an injustice.” Malachy Glen, supra at 109. “The right to use and enjoy one's property is a fundamental right protected by both the State and Federal Constitutions.” N.H. CONST. pt. I, arts. 2, 12; U.S. CONST. amends. V, XIV; Town of Chesterfield v. Brooks, 126 N.H. 64 (1985) at 68. Part I, Article 12 of the New Hampshire Constitution provides in part that “no part of a man's property shall be taken from him, or applied to public uses, without his own consent, or that of the representative body of the people.” Thus, our State Constitutional protections limit the police power of the State and its municipalities in their regulation of the use of property. L. Grossman & Sons, Inc. v. Town of Gilford, 118 N.H. 480, 482 (1978). “Property” in the constitutional sense has been interpreted to mean not the tangible property itself, but rather the right to possess, use, enjoy and dispose of it. Burrows v. City of Keene, 121 N.H. 590, 597 (1981). (emphasis added). The Supreme Court has held that zoning ordinances must be reasonable, not arbitrary and must rest upon some ground of difference having fair and substantial relation to the object of the regulation. Simplex Technologies, Inc. v. Town of Newington, 145 N.H. 727, 731 (2001); Chesterfield at 69.

Granting the requested variance allows for a slight expansion on the second floor of an existing residence on the Property in a manner consistent the purposes of the zoning district and surrounding area. Given that the only change to the Property is the slight upward expansion to accommodate expanded dormers, there is no benefit to the public from denial. Conversely, Aviezri will be greatly harmed by denial as they will lose the opportunity improve an aging structure and bring it to code. Accordingly, there is no benefit to the public that outweighs the harm to the owner from denial.

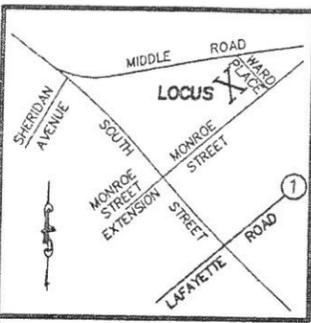
## VI. CONCLUSION

For all of the reasons stated, Aviezri respectfully requests that the Portsmouth Zoning Board of Adjustment grant the requested variances.

Respectfully submitted,  
NATAN AVIEZRI REVOCABLE TRUST/  
Natan Aviezri & Debra Klein, Trustees



By: Monica F. Kieser, Esq.



**NOTES:**  
 1) THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

**PLAN REFERENCES**  
 \*PLAN OF A LOT OF LAND OWNED BY J. ALBERT AND ARTHUR W. WALKER PORTSMOUTH, NH\*  
 SCALE: 1"=50' DATE: NOV. 14, 1898 BY: A.C. HOYT, SURVEYOR 00412  
 \*LOT PLAN, 75 MONROE ST. PORTSMOUTH, NH\*  
 SCALE: 1"=20' DATE: MAY 1936 BY: JOHN W. DURGIN FILE NO. 1885-1

**PLAN NOTE:**  
 THIS PLAN SHOWS THE VOLUNTARY MERGER OF LOTS 30, 32 & 33 INTO 1 LOT (LOT B) AND LOTS 34 & 35 INTO 1 LOT (LOT A). THE PLAN ALSO SHOWS THE ADJUSTMENT OF THE COMMON PROPERTY LINE BETWEEN LOT A AND LAND OF TOIVANEN.

LOCUS MAP NOT TO SCALE

158 15  
 N/F PATRICK B. LYONS  
 KAREN A. LYONS  
 185 MIDDLE ROAD  
 PORTSMOUTH, NH 03801  
 BK. 5391 PG. 0160

168 16  
 N/F SUSAN F. MCCANN  
 175 MIDDLE ROAD  
 PORTSMOUTH, NH 03801  
 BK. 2284 PG. 1839

168 17  
 N/F CRAIG S. HODGSON  
 CHRISTINE A. HODGSON  
 165 MIDDLE ROAD  
 PORTSMOUTH, NH 03801  
 BK. 5391 PG. 0162

168 20  
 N/F CITY OF PORTSMOUTH  
 P.O. BOX 628  
 PORTSMOUTH, NH 03801

**RECORD OWNERS**  
 168 27  
 NATAN AVEZRI REVOCABLE TRUST  
 DEBRA KLEIN & NATAN AVEZRI, TRUSTEES  
 697 SAGAMORE AVENUE  
 PORTSMOUTH, NH 03801  
 BK. 5486 PG. 0562  
**LOT A**      **LOT B**  
 REMAINING PORTION LOTS 30, 32 & 33      LOTS 34 & 35  
 6,022 S.F.      16,964 S.F.  
 0.14 ACRES      0.39 ACRES

**ZONING DISTRICT**  
**GRA**

MINIMUM LOT DIMENSIONS	
LOT AREA	7,500 S.F.
MIN. LOT AREA/DWELLING UNIT	7,500 S.F.
CONTINUOUS FRONTAGE	100'
DEPTH	70'
MINIMUM YARD DIMENSIONS	
FRONT	15'
SIDE	10'
REAR	20'
MAXIMUM STRUCTURE DIMENSIONS	
STRUCTURE HEIGHT	35'
ROOF APPURTENANCE HEIGHT	8'
BUILDING COVERAGE	25%
MINIMUM OPEN SPACE	
	30%

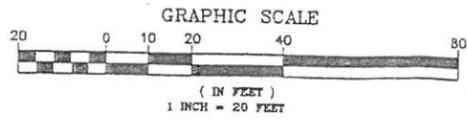
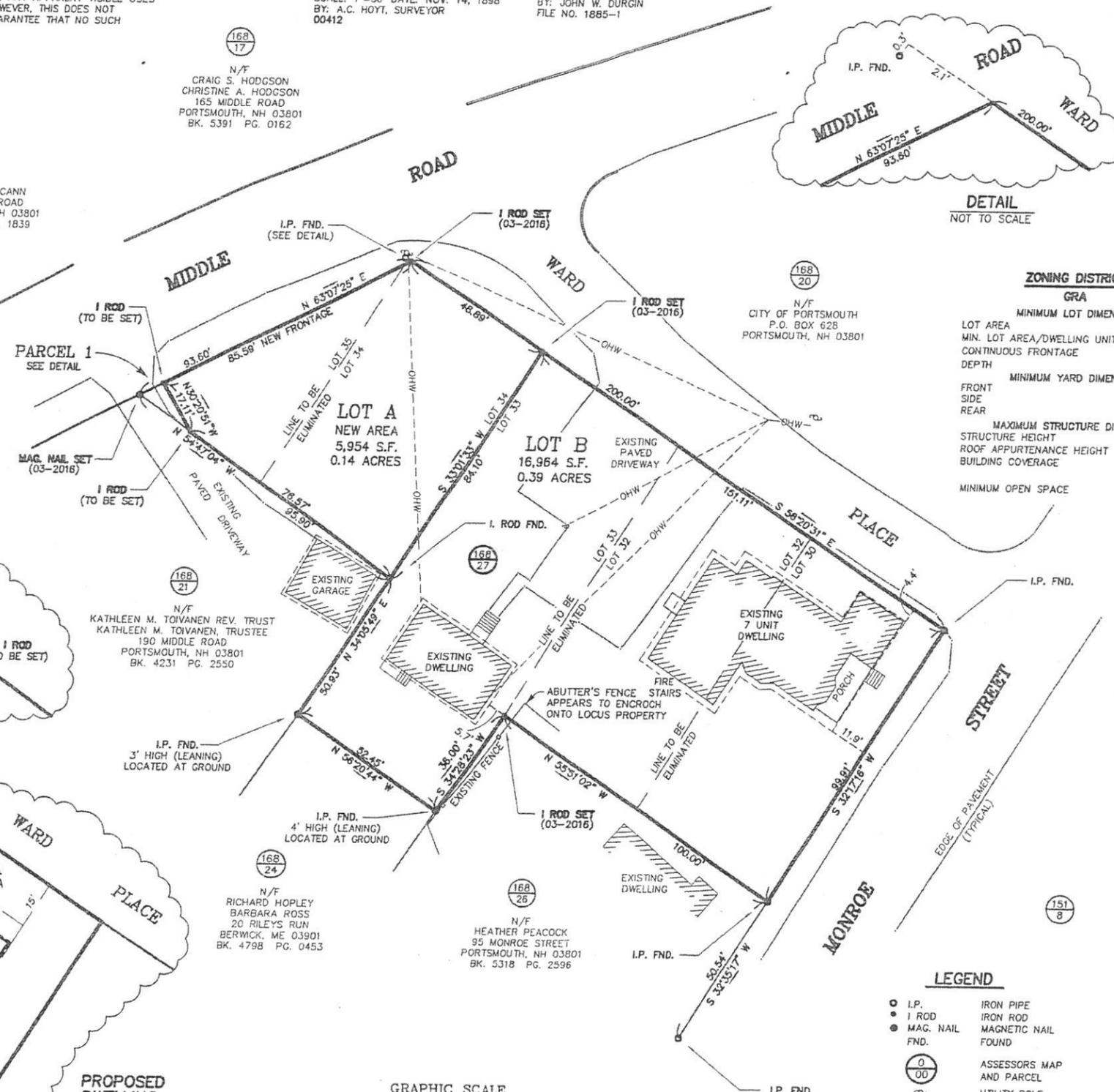
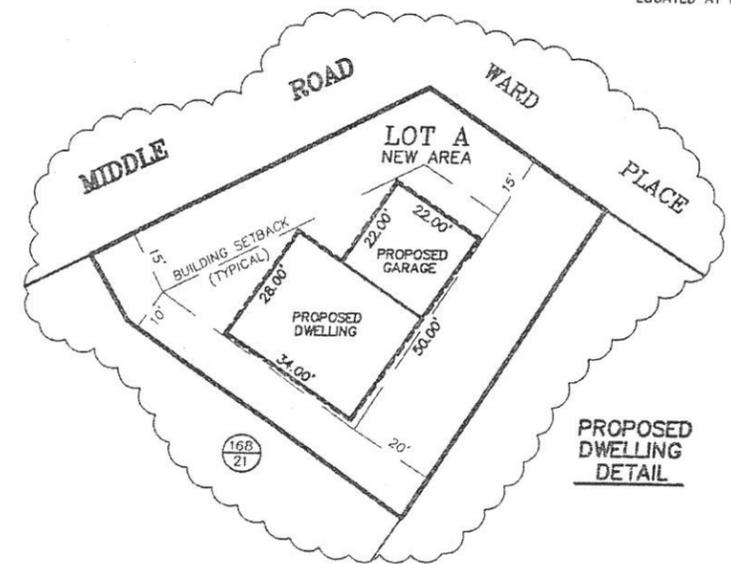
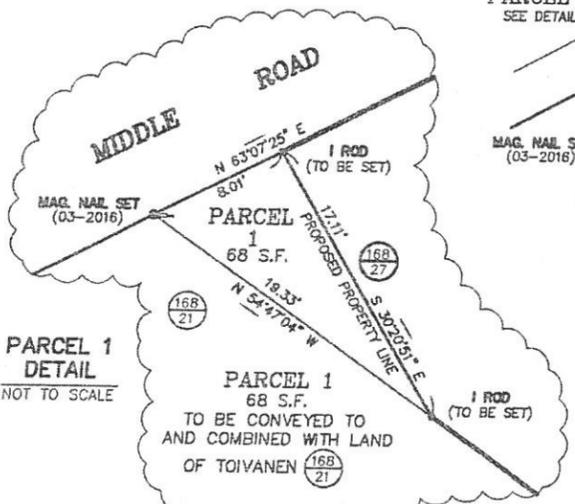
**EXHIBIT A**

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN/CITY ASSESSORS' RECORDS.  
 PURSUANT TO RSA 676:18 III AND RSA 672:14 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OF WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY:  
 THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND BETWEEN DECEMBER OF 2016 AND MARCH OF 2016.  
 THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.  
 THAT THIS SURVEY CONFORMS TO THE REQUIREMENTS FOR ACCURACY FOR N.H. URBAN SURVEY.

STATE OF NEW HAMPSHIRE  
 REGISTERED LAND SURVEYOR  
 904  
 HENRY  
 H.  
 BOYD, JR.  
 SIGNATURE  
 DATE 03-20-2016  
 LICENSED LAND SURVEYOR

MAG. 2015



- LEGEND**
- I.P. IRON PIPE
  - I ROD IRON ROD
  - MAG. NAIL MAGNETIC NAIL
  - FND. FOUND
  - 00 ASSESSORS MAP AND PARCEL
  - UTILITY POLE
  - OHW --- OVER HEAD WIRE

**VARIANCE PLAN**  
 IN  
 PORTSMOUTH, NH

SHOWING  
**A PARCEL CONVEYANCE AND LOT MERGER**  
**75 MONROE STREET**  
 (ASSESSORS MAP 168 LOT 27)

RECORD OWNERS  
**NATAN AVEZRI REVOCABLE TRUST**  
**DEBRA KLEIN & NATAN AVEZRI, TRUSTEES**  
 697 SAGAMORE ROAD PORTSMOUTH, NH 03801

**MILLENNIUM ENGINEERING INC.**  
 ENGINEERS AND LAND SURVEYORS  
 P.O. BOX 745 13 HAMPTON ROAD EXETER, NH 03833  
 PHONE:(603)778-0528 FAX:(603)772-0689 WWW.MEI-NH.COM

SCALE: 1"=20'	CALC. BY: H.H.B.	PROJECT: E151772
DATE: MAR, 28, 2016	CHKD. BY: P.D.B.	

NO.	DATE	DESCRIPTION	BY

**Monica Kieser**

---

**From:** Henry Boyd <hboyd@mei-nh.com>  
**Sent:** Monday, August 29, 2022 9:14 AM  
**To:** Monica Kieser  
**Subject:** RE: 75 Monroe  
**Attachments:** NATANMONROE.pdf

Hi Monica,

Here is a sketch showing the setback form the existing roof and building lines.

Hope this helps.

H

---

**From:** Monica Kieser <MKieser@hpgrlaw.com>  
**Sent:** Sunday, August 28, 2022 11:17 AM  
**To:** Henry Boyd <hboyd@mei-nh.com>  
**Subject:** 75 Monroe

Henry,

Nathan Aviezri and Debra Klein are expanding the small house at 75 Monroe by expanding the dormer the second floor. Portsmouth requires a new variance for expansion of a non-conforming home and the town says I need a dimension from the rear? side? Setback. From the small house to the boundary line between it and lot 21.

Debra filed this on her own and then contact me, the city wants me to check the dimension.

I'm not sure whether the plan the city sent me is a proper half-size plan that would allow me to enlarge it and properly scale it.

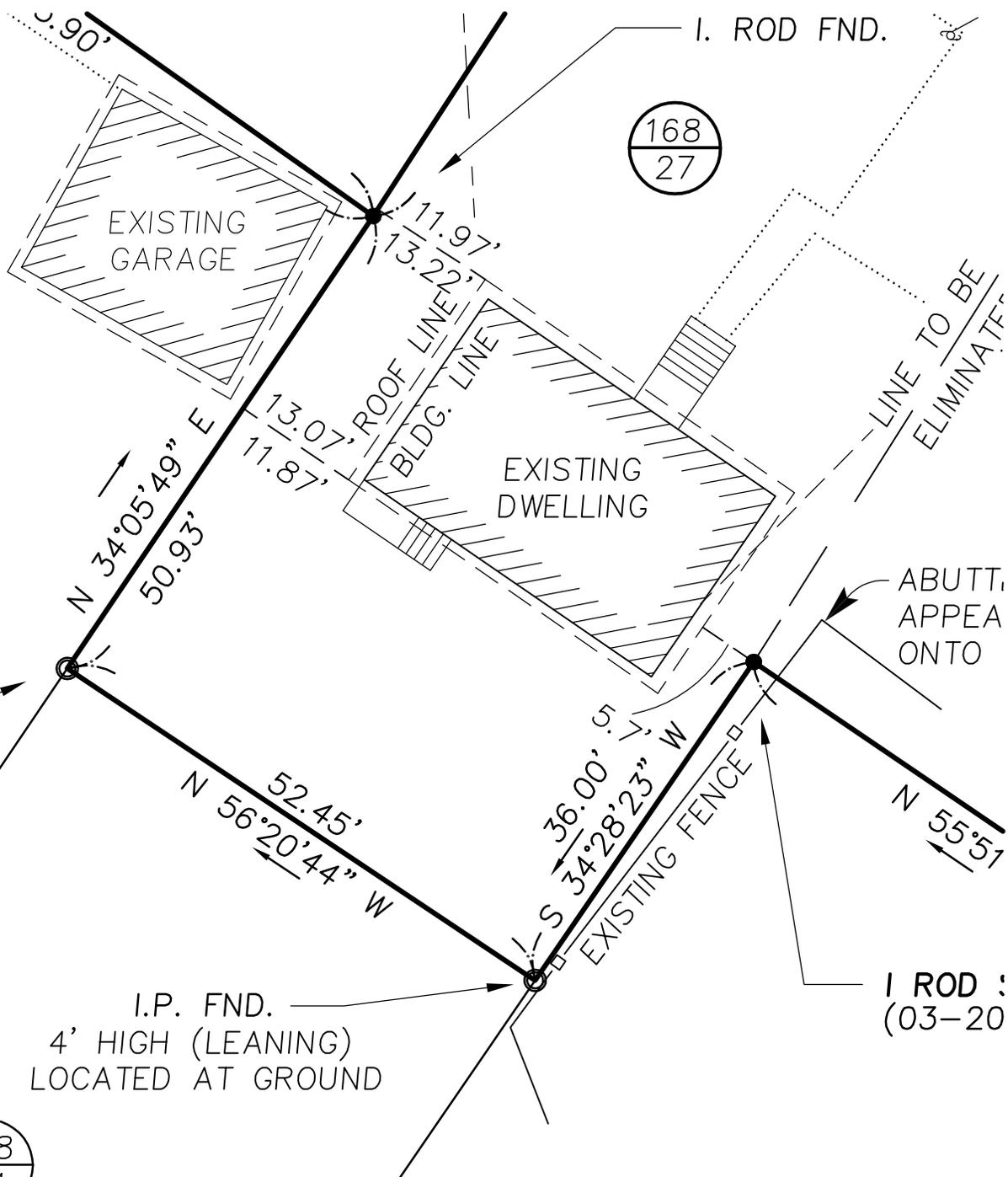
Do you have a version of this plan with the dimension or is your plan is still in your computer can you tell me the dimension?

IMPORTANT NOTICE: This communication may contain material protected by attorney-client privilege. It is privileged and confidential, and is intended only for the recipient(s) listed above. If you are neither the intended recipient(s) nor a person responsible for the delivery of this transmission to the intended recipient(s), any unauthorized distribution or copying of this transmission is prohibited. If you have received this transmission in error, please notify us immediately and permanently delete this communication. If tax or other legal advice is contained in this email, please recognize that it may not reflect the level of analysis that would go into more formal advice or a formal legal opinion and is not intended to meet IRS requirements for formal tax advice.

DRIVEWAY

168  
21

N/F  
KATHLEEN M. TOIVANEN REV. TRUST  
KATHLEEN M. TOIVANEN, TRUSTEE  
190 MIDDLE ROAD  
PORTSMOUTH, NH 03801  
BK. 4231 PG. 2550



168  
27

I.P. FND.  
3' HIGH (LEANING)  
LOCATED AT GROUND

I.P. FND.  
4' HIGH (LEANING)  
LOCATED AT GROUND

ABUTT.  
APPEA  
ONTO

I ROD :  
(03-20)

168  
24

N/F  
RICHARD HOPLEY  
BARBARA ROSS

168  
26

N/E



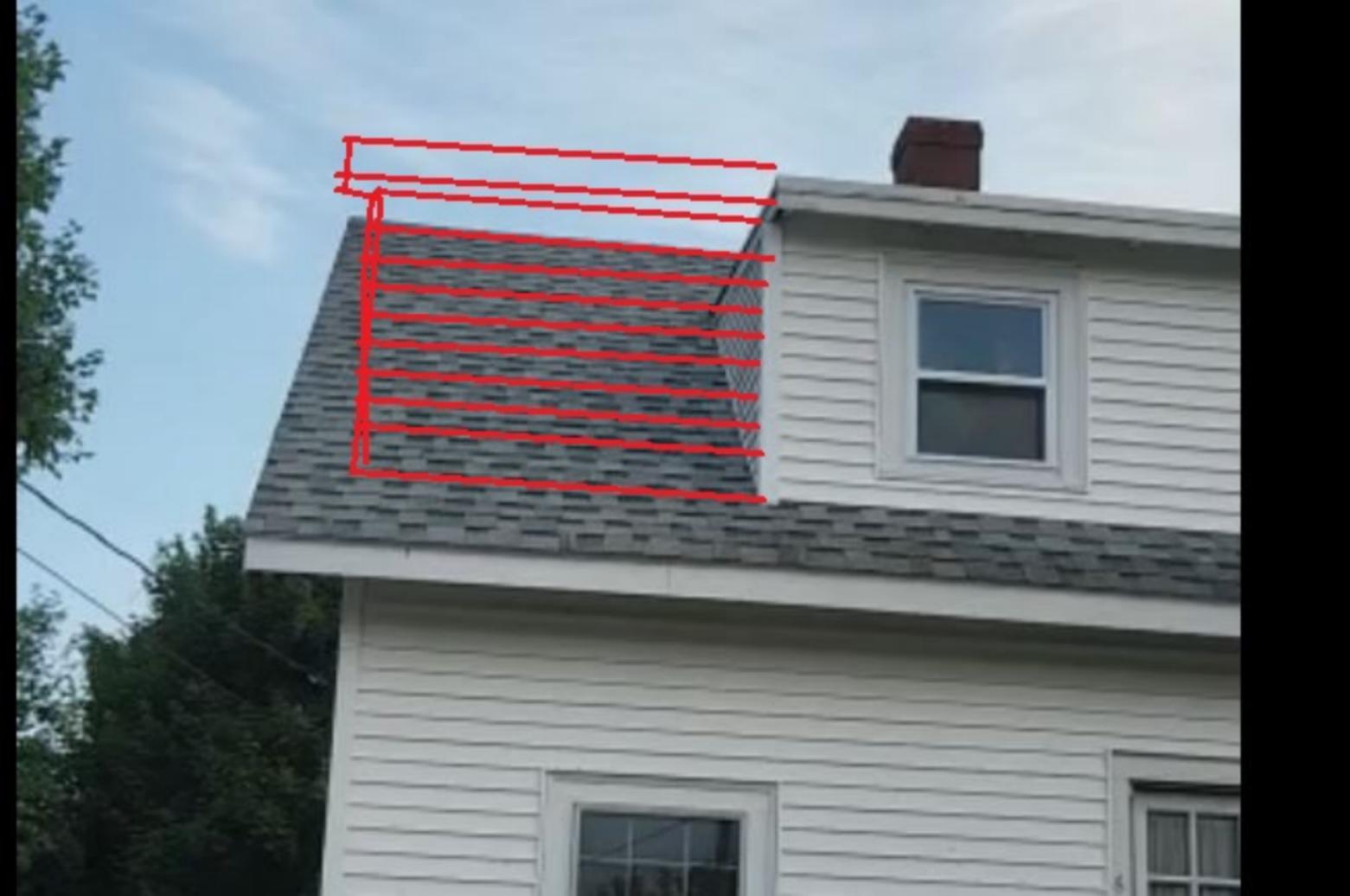
Imagery ©2022 Google, Imagery ©2022 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, Map data ©2022 50 ft

**EXHIBIT C**





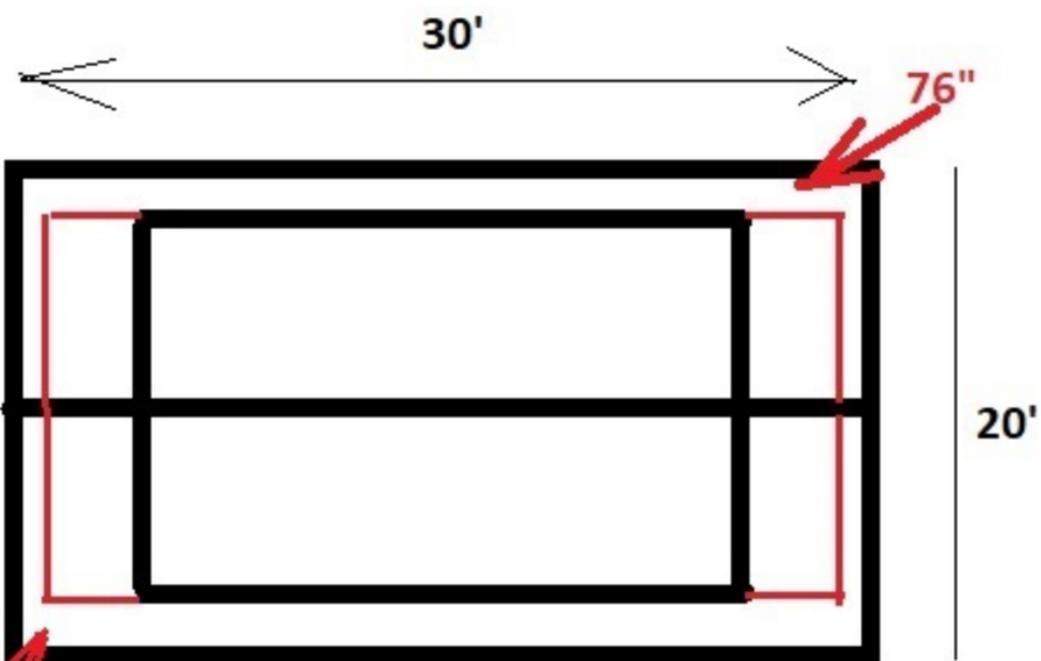




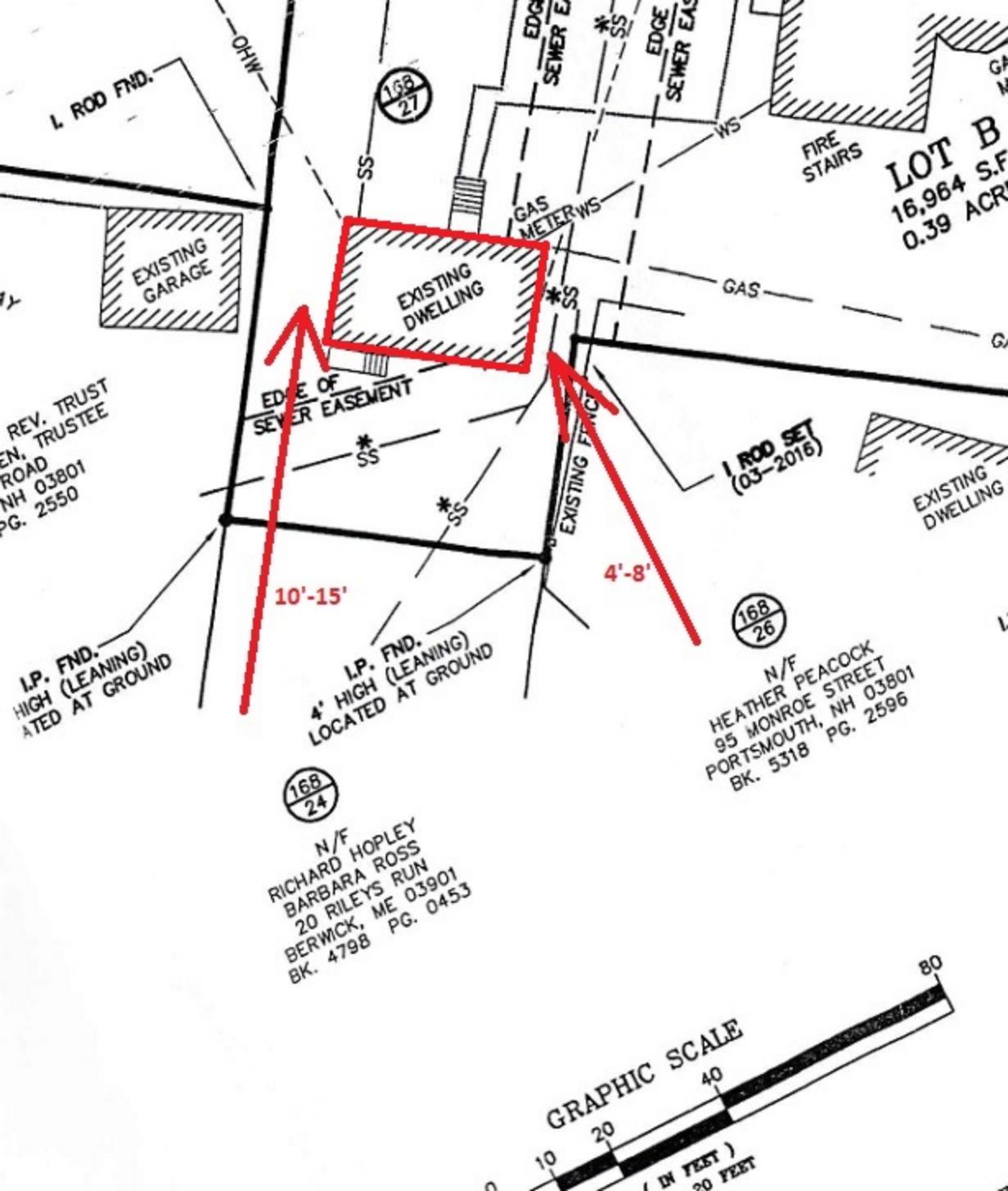




76"



Extending Dormers



L. ROD FND.

OHW

168  
27

EXISTING GARAGE

EXISTING DWELLING

FIRE STAIRS

LOT B  
16,964 S.F.  
0.39 ACRES

GAS METER WS

GAS

REV. TRUST  
EN, TRUSTEE  
ROAD  
NH 03801  
PG. 2550

EDGE OF SEWER EASEMENT

1 ROD SET  
(03-2016)

EXISTING DWELLING

10'-15'

4'-8'

168  
26

I.P. FND.  
HIGH (LEANING)  
ATED AT GROUND

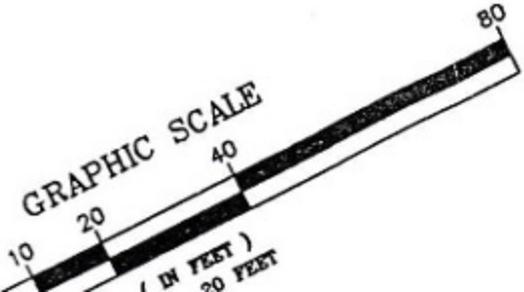
I.P. FND.  
4' HIGH (LEANING)  
LOCATED AT GROUND

N/F  
HEATHER PEACOCK  
95 MONROE STREET  
PORTSMOUTH, NH 03801  
BK. 5318 PG. 2596

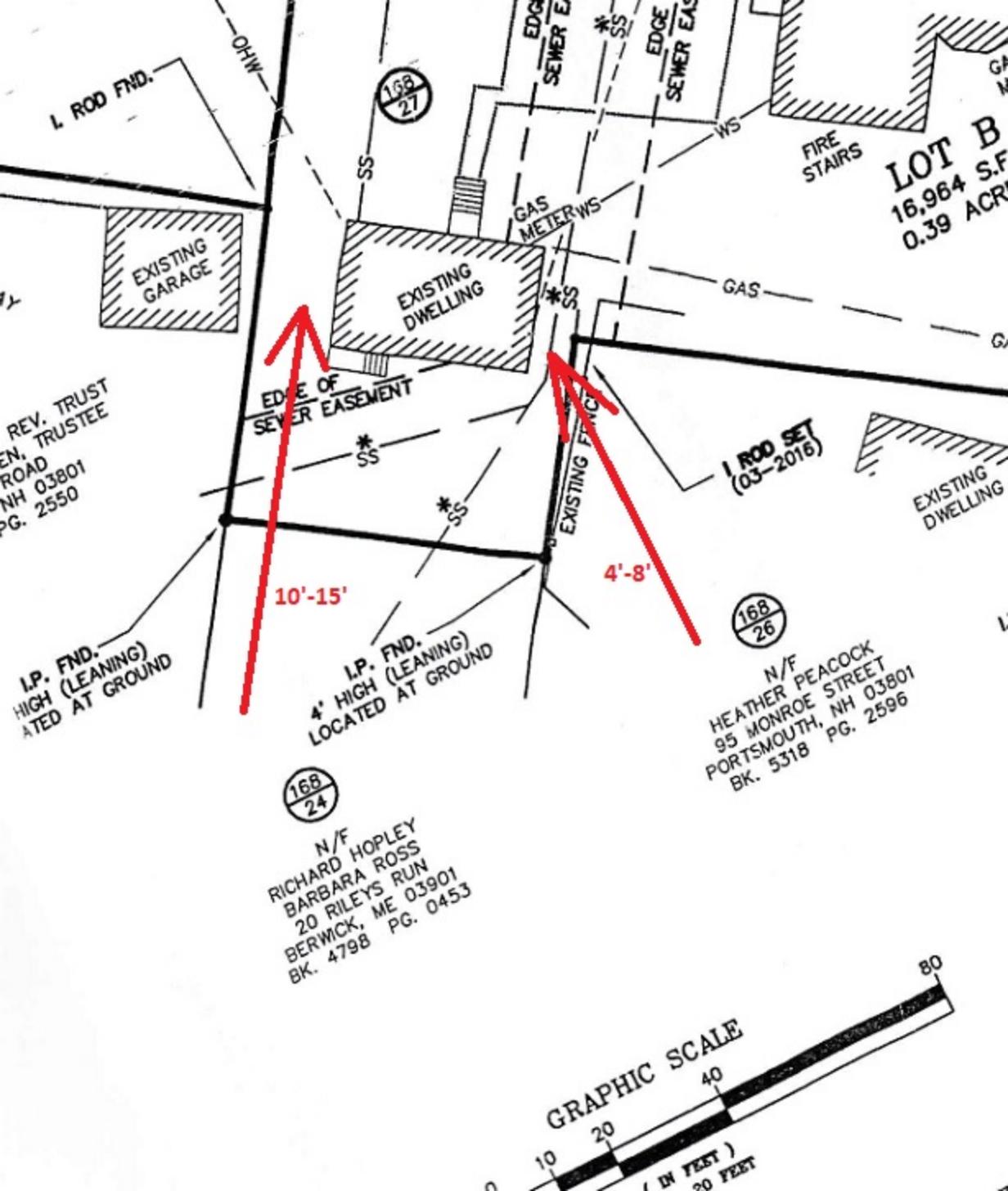
168  
24

N/F  
RICHARD HOPLEY  
BARBARA ROSS  
20 RILEYS RUN  
BERWICK, ME 03901  
BK. 4798 PG. 0453

GRAPHIC SCALE



( IN FEET )  
20 FEET



L. ROD FND.

OHW

168  
27

EDGE  
SEWER E

EDGE  
SEWER EAS

FIRE  
STAIRS

LOT B  
16,964 S.F.  
0.39 ACRES

EXISTING  
GARAGE

EXISTING  
DWELLING

GAS  
METER WS

GAS

REV. TRUST  
EN, TRUSTEE  
ROAD  
NH 03801  
PG. 2550

EDGE OF  
SEWER EASEMENT

1 ROD SET  
(03-2016)

EXISTING  
DWELLING

10'-15'

4'-8'

168  
26

I.P. FND.  
HIGH (LEANING)  
ATED AT GROUND

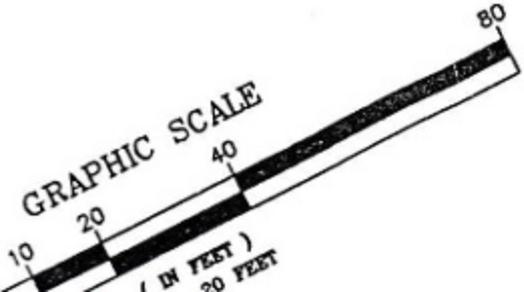
I.P. FND.  
4' HIGH (LEANING)  
LOCATED AT GROUND

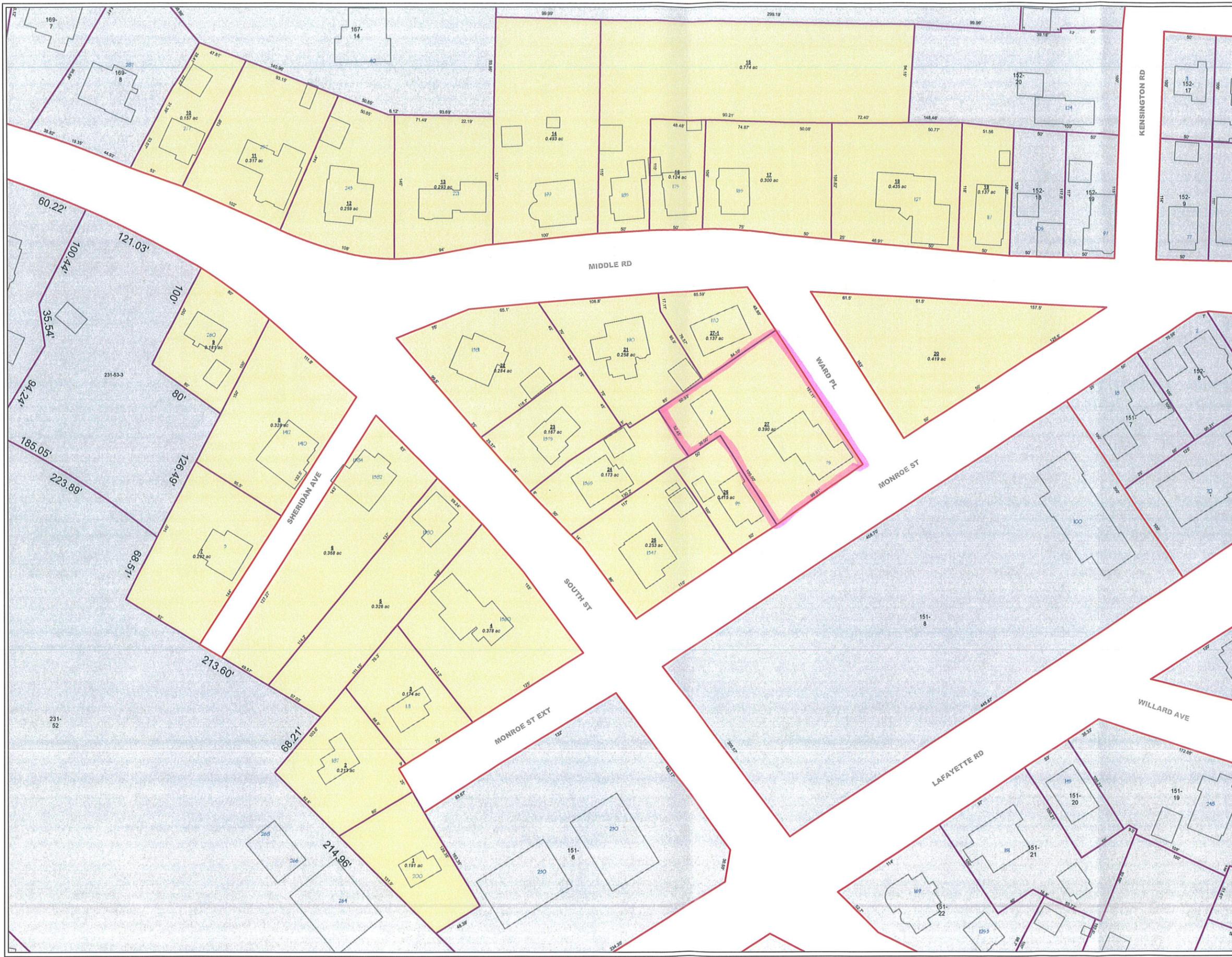
N/F  
HEATHER PEACOCK  
95 MONROE STREET  
PORTSMOUTH, NH 03801  
BK. 5318 PG. 2596

168  
24

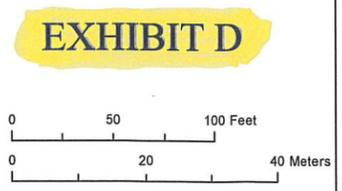
N/F  
RICHARD HOPLEY  
BARBARA ROSS  
20 RILEYS RUN  
BERWICK, ME 03901  
BK. 4798 PG. 0453

GRAPHIC SCALE

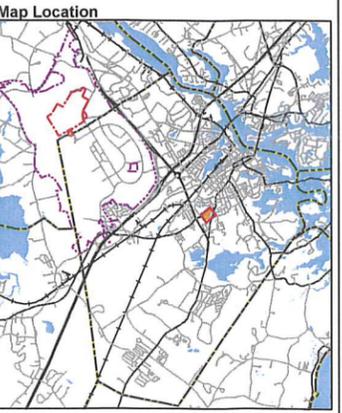




- Partial Legend**  
 See the cover sheet for the complete legend.
- 7-5A Lot or lot-unit number
  - 2.56 ac Parcel area in acres (ac) or square feet (sf)
  - 22 Address number
  - 233-137 Parcel number from a neighboring map
  - 68 Parcel line dimension
  - SIMS AVE Street name
  - Parcel/Parcel boundary
  - Parcel/ROW boundary
  - Water boundary
  - Structure (1994 data)
  - Parcel covered by this map
  - Parcel from a neighboring map (see other map for current status)



*This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.*



Portsmouth, New Hampshire  
 2021  
**Tax Map 168**



FB02 (Drop Beam)

Dry | 1 span | No cant.

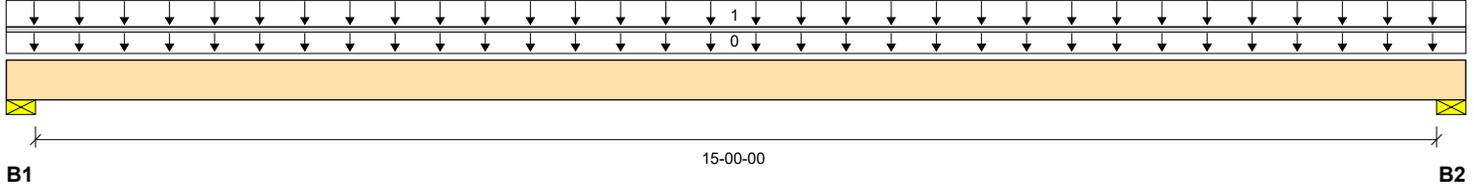
July 20, 2022 12:22:07

BC CALC® Member Report

Build 8435

Job name: WARD  
Address: 6 WARD PLACE  
City, State, Zip: PORTSMOUTH, NH  
Customer: DK ASSOCIATES  
Code reports: ESR-1040

File name:  
Description:  
Specifier: MARK WEBB  
Designer:  
Company: RICCI LUMBER



Total Horizontal Product Length = 15-07-00

Reaction Summary (Down / Uplift) (lbs)

Bearing	Live	Dead	Snow	Wind	Roof Live
B1, 3-1/2"	2338 / 0	892 / 0			
B2, 3-1/2"	2338 / 0	892 / 0			

Load Summary

Tag	Description	Load Type	Ref.	Start	End	Loc.	100%	90%	115%	160%	Roof Live 125%	Tributary
0	Self-Weight	Unf. Lin. (lb/ft)	L	00-00-00	15-07-00	Top		14				00-00-00
1		Unf. Area (lb/ft²)	L	00-00-00	15-07-00	Back	30	10				10-00-00

Controls Summary

	Value	% Allowable	Duration	Case	Location
Pos. Moment	11851 ft-lbs	56.6%	100%	1	07-09-08
End Shear	2780 lbs	29.3%	100%	1	01-01-00
Total Load Deflection	L/281 (0.646")	85.4%	n/a	1	07-09-08
Live Load Deflection	L/388 (0.467")	92.7%	n/a	2	07-09-08
Max Defl.	0.646"	64.6%	n/a	1	07-09-08
Span / Depth	19.1				

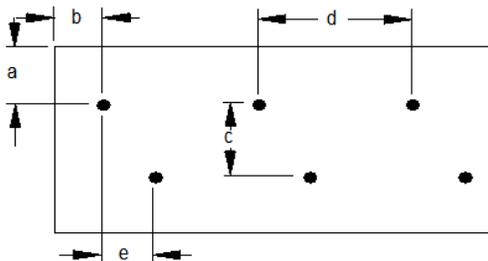
Bearing Supports

	Dim. (LxW)	Value	% Allow Support	% Allow Member	Material
B1	Wall/Plate 3-1/2" x 5-1/4"	3229 lbs	n/a	23.4%	Unspecified
B2	Wall/Plate 3-1/2" x 5-1/4"	3229 lbs	n/a	23.4%	Unspecified

Notes

- Design meets Code minimum (L/240) Total load deflection criteria.
- Design meets Code minimum (L/360) Live load deflection criteria.
- Design meets arbitrary (1") Maximum Total load deflection criteria.
- Design based on Dry Service Condition.
- BC CALC® analysis is based on IBC 2009.
- Calculations assume member is fully braced.

Connection Diagram: Full Length of Member





BC CALC® Member Report

**FB02 (Drop Beam)**

Dry | 1 span | No cant.

July 20, 2022 12:22:07

Build 8435

Job name: WARD  
Address: 6 WARD PLACE  
City, State, Zip: PORTSMOUTH, NH  
Customer: DK ASSOCIATES  
Code reports: ESR-1040File name:  
Description:  
Specifier: MARK WEBB  
Designer:  
Company: RICCI LUMBER**Connection Diagram: Full Length of Member**

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a minimum = 1-1/2"      c = 6-1/2"  
b minimum = 4"         d = 24"  
                                 e minimum = 1"

Calculated Side Load = 200.0 lb/ft

Install screws from both sides, staggering screws by half of the spacing to avoid splitting.

Connectors are: SDS 1/4 x 3-1/2

**Disclosure**

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Use of the Boise Cascade Software is subject to the terms of the End User License Agreement (EULA). Completeness and accuracy of input must be reviewed and verified by a qualified engineer or other appropriate expert to assure its adequacy, prior to anyone relying on such output as evidence of suitability for a particular application. The output here is based on building code-accepted design properties and analysis methods. Installation of Boise Cascade engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, BC FloorValue®, VERSA-LAM®, VERSA-RIM PLUS®,