

Chuck and Allison Dudas  
32 Monteith Street  
Portsmouth, NH 03801

May 18th, 2021

Dexter Legg,  
Chairman of City of Portsmouth Planning Board  
1 Junkins Avenue  
Portsmouth, NH 03801

Re: Request for Extension of Wetland Conditional Use Permit  
Tax Map 143 Lot 22  
32 Monteith St  
Portsmouth, NH 03801

Dear Mr. Legg,

We hereby request a one year extension of the Wetland Conditional Use Permit for 32 Monteith St. The CUP was issued on June 23, 2020 and is attached here for reference.

Respectfully,

The image shows two handwritten signatures in blue ink. The first signature, on the left, is 'Chuck Dudas' and the second, on the right, is 'Allison Dudas'. Both are written in a cursive, flowing style.

Chuck & Allison Dudas



## CITY OF PORTSMOUTH

Planning Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801

(603) 610-7216

### PLANNING BOARD

June 23, 2020

Charles & Allison Dudas  
32 Monteith Street  
Portsmouth, NH 03801

RE: Wetland Conditional Use Permit application for property located at 32 Monteith Street

Dear Mr. & Mrs. Dudas:

The Planning Board, at its regularly scheduled meeting of Thursday, June 18, 2020, considered your application for removal of an existing garage and shed and addition of a new garage of 657 square feet, a new addition of 495 square feet and a new deck of 285 square feet. Overall this application represents a reduction of impervious surface in the wetland buffer from 2,228 to 2,152 square feet.. Said property is shown on Assessor Map 143 Lot 22 and lies within the General Residence A (GRA) District. As a result of said consideration, the Board voted to grant the application as presented with the following stipulations:

- 1) The applicant shall provide overflow capacity for the proposed rain barrels such as a stone infiltration trench, French drain or dry well;
- 2) The applicant shall move buffer plantings to an area in the lawn on the top of the bank;
- 3) The applicant shall use silviculture best practices in protecting the existing Ash tree and its roots; and,
- 4) The residential force main shall be relocated to the side yard so that the new garage and driveway is not placed over the private force main line;
- 5) A qualified engineer shall inspect the sewer holding tank/pump chamber and tank access cover located within the proposed driveway to determine if the tank and cover meet NHDES septic tank design requirements for vehicular loading. If found unsuitable, applicant will work with City staff to identify an appropriate alternative solution.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Unless otherwise indicated above, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work. All stipulations of approval must be completed prior to issuance of a building permit unless otherwise indicated above.

This approval shall expire one year after the date of approval by the Planning Board unless a building permit is issued prior to that date. The Planning Board may grant a one-year extension of a conditional use permit if the applicant submits a written request to the Planning Board prior to the expiration date.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Dexter R. Legg, Chairman of the Planning Board

cc: Robert Marsilia, Chief Building Inspector  
Rosann Maurice-Lentz, City Assessor

Chuck and Allison Dudas  
32 Monteith Street  
Portsmouth, NH 03801

May 23<sup>rd</sup>, 2020

Dexter Legg,  
Chair<sup>[SEP]</sup> City of Portsmouth Planning Board  
1 Junkins Avenue<sup>[SEP]</sup>  
Portsmouth, NH 03801

Re: City of Portsmouth Application for Wetland Conditional Use Permit  
Tax Map 143 Lot 22  
32 Monteith St  
Portsmouth, NH 03801

Dear Mr. Legg,

We are requesting a Wetlands Conditional Use Permit in order to make improvements on our residential lot within the 100' wetland buffer. The proposed improvements include construction of 2-story addition, construction of an attached garage, construction of breezeway, construction of a deck, renovation of existing home, relocation of a shed, demolition of existing garage and relocation of the driveway.

The property currently contains a single family residential structure, detached garage, shed and a paved driveway.

Attached to the application please find stormwater system management plan, photos of the existing site, plan set depicting existing, demolition and proposed site conditions and architectural plans.

According to the City of Portsmouth Zoning Ordinance, Article 10.1017.50 Criteria for Approval, the proposed amendment will comply with the following criteria:

**(1) The land is reasonably suited to the use, activity or alteration.**

The proposed is to make improvements on the residential lot including construction of an addition, attached garage, breezeway and deck. The proposed project also includes renovation of our existing house, relocation of the driveway and shed and demolition of the existing garage. The majority of our existing house is located within the 100' wetland buffer along with the entirety of the existing paved driveway and garage. The proposed would decrease the impervious surface area within the wetland buffer from 2,228 ft<sup>2</sup> down to 2,152 ft<sup>2</sup>. The proposed project would relocate almost the entirety of the driveway outside of the wetland buffer. The existing garage which is closest to the wetlands will be demolished. The

proposed addition and deck would be constructed where the existing driveway and garage (partial) are currently located. The proposed garage, breezeway would be constructed where there is existing lawn. Given that similar structures already exist on the lot and the construction of the proposed structures would be built over developed areas (lawn, driveway or garage) and that impervious surface areas will be reduced in the wetland buffer, the land is reasonably suited to the use, activity or alteration.

**(2) There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.**

The majority of our lot is either wetlands or within the 100' wetlands buffer and the majority of our existing house is located within the 100' wetlands buffer. It is not feasible to build structures directly northwest of our existing house due to a buried sewer tank off that side of the house. This sewer tank currently serves our home and is located outside the wetland buffer. The proposed plan does utilize this area northwest of our home to relocate the driveway and a portion of the garage to outside the wetland buffer. Building either to the southwest or southeast from our existing house would be within the wetland buffer. Building off the southeast allows the proposed addition and deck to be constructed over where the existing driveway and garage are located limiting the impact within the wetland buffer. There is no alternative to locate the proposed structures entirely outside of the wetland buffer.

**(3) There will be no adverse impact on the wetland functional values of the site or surrounding properties;**

The proposed project will not impact the existing wetland and its current function. The project proposes to decrease the impervious surface area within the wetlands buffer and to remove the existing garage which is the closest structure to the wetlands. All proposed structures would be constructed over developed areas of maintained lawn, existing driveway or existing structure and further from the wetlands than the existing garage. The proposed project also includes plantings in the wetlands buffer and capturing rainwater off roofs in rain barrels. Given the proposed reduction in impervious surfaces and plantings in the wetlands buffer and rainwater capture, the proposed project will have no adverse impact on the wetland functional values or surrounding properties.

**(4) Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals; and**

The proposed project does not include alteration of the natural vegetative state or natural woodland. The proposed project would be constructed over already developed areas of maintained lawn, existing driveway and existing structure.

**(5) The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.**

The proposed project is the alternative with the least adverse impact to areas and environments while allowing for reasonable use of the property. The proposed project includes relocating the majority of the driveway outside the wetland buffer and removing the garage which is the closest structure to the wetlands. Proposed addition and deck would be built over existing impervious surfaces. Proposed garage would be located partially outside of wetland buffer and would be much further from the wetland than the existing garage. Overall with the reduction of impervious surface area within the wetland buffer, the proposed project results in the least adverse impact while allowing for reasonable use of the property.

**(6) Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.**

The proposed project does not include any alteration to the vegetated buffer strip. However the proposed plan does include plantings within the vegetated buffer strip of native species in order to improve this area and maximize its function. The buffer planting area will not be mowed.

Respectfully,

Two handwritten signatures in blue ink. The first signature, on the left, is 'Chuck Dudas' and the second signature, on the right, is 'Allison Dudas'.

Chuck & Allison Dudas

# STORMWATER MANAGEMENT INSPECTION & MAINTENANCE PLAN

Chuck & Allison Dudas  
32 Monteith St  
Portsmouth, NH 03801

May 23<sup>rd</sup>, 2020

## **Introduction**

The intent of this plan is to provide an overview of the inspection and maintenance requirements of the stormwater management system for the proposed project.

The following program is intended to ensure that the stormwater management system functions properly and help minimize any potential environment impacts.

## **Stormwater Management System Components**

The components of the proposed stormwater management system are plantings in the buffer area and capture of roof run-off in rain barrels.

### **Buffer Planting Area**

The intent of the buffer planting area is to provide greater diversity in the vegetated buffer strip to allow for the filtering of nutrients, and sediments and toxicants before they flow into the wetlands. The buffer area will be planted with native shrubs and flowers and removal of invasive species.

Plantings will be monitored frequently (once/twice a month) in the first year to ensure that plantings are growing. Planting area will be also be monitored for invasive species. Invasive species shall be removed manually either by pulling, clipping or with a shovel. Planting area will not be mowed and will be allowed to grow naturally.

### **Rain Barrels**

The intent of the rainbarrels is to capture rainwater off roofs to reduce runoff and provide water for the lawn, garden and plants.

Rainbarrels will be checked after storms to determine how soon the barrel will need to be emptied. Rainbarrels will be emptied when full or between storms. The water will be used to water the lawn, landscaping, and garden. The screens on the rainbarrels will be checked and kept clear of debris. The gutters feeding the rain barrels will be kept clean and clear of debris. In the winter, the rainbarrels will be drained empty and stored in the shed.



City of Portsmouth- Wetland Conditional Use Permit  
Dudas Residence, 32 Monteith Portsmouth NH  
Site Photographs

Site Photograph #1 , May 2020



Site Photograph #2 , May 2020





Site Photograph #3 , May 2020



Site Photograph #4 , May 2020





Site Photograph #5 , May 2020



Site Photograph #6 , May 2020





Site Photograph #7, May 2020



Site Photograph #8, May 2020





Site Photograph #9, May 2020



Site Photograph #10, May 2020





Site Photograph #11, May 2020





May 01, 2020 - 10:46am  
\\TFM-BEDFORD\Projects\Civil\Survey\MSG Projects\47375-00 - Dudas - 32 Monteith St - Portsmouth Survey\Drawings\47375-00Survey.dwg

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED SEPTEMBER 23, 2019 & IN JANUARY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



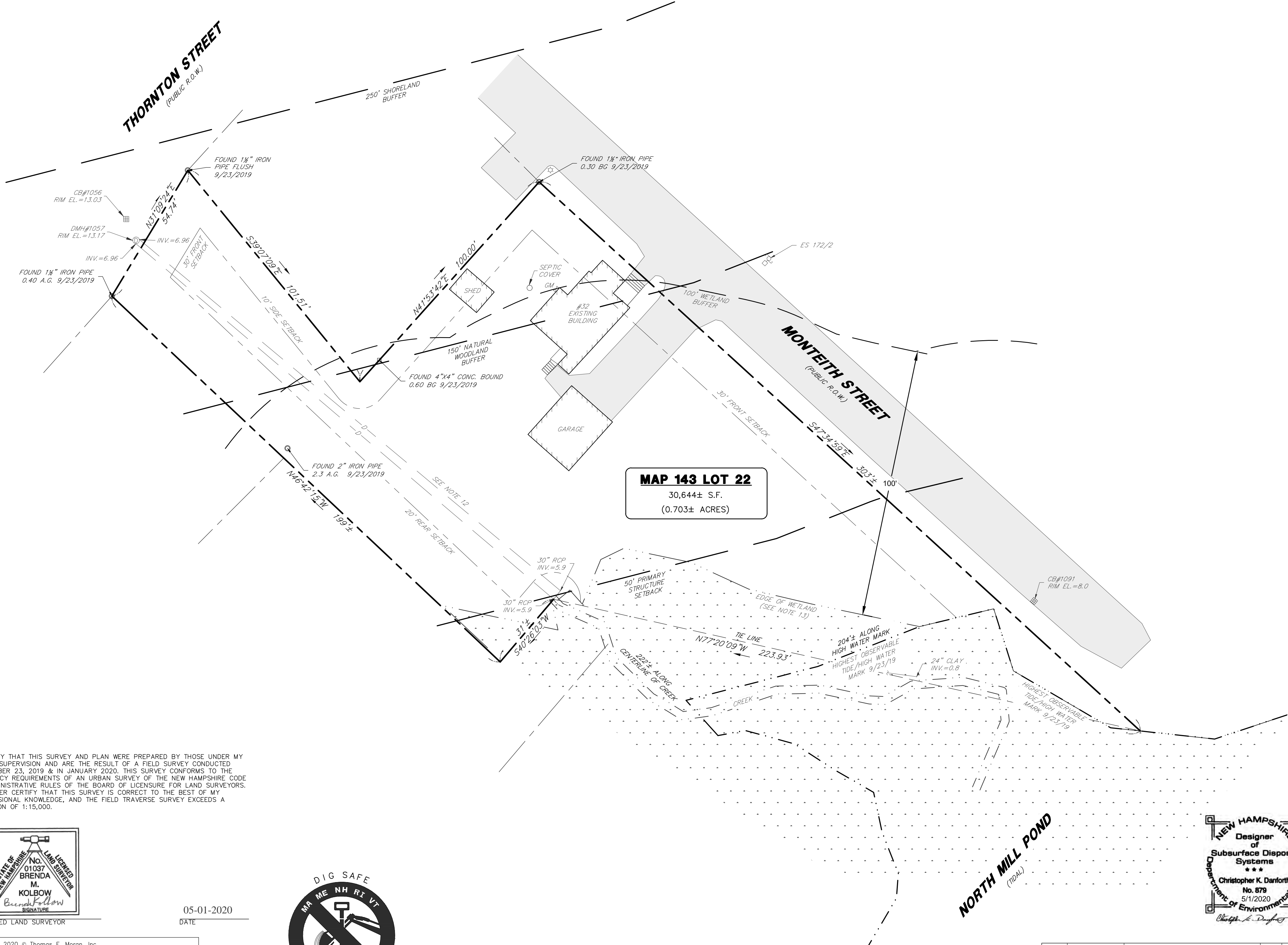
LICENSED LAND SURVEYOR

05-01-2020  
DATE

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48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



#### NOTES:

1. THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH OF ASSESSOR'S MAP 143 AS LOT 22.
3. THE PARCEL IS PARTIALLY LOCATED IN ZONES X & AE AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 33015C0259E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
4. OWNER OF RECORD:  
MAP 143 LOT 22  
CHARLES & ALLISON DUDAS  
32 MONTEITH STREET  
PORTSMOUTH, NH 03801  
RCRD BK.5876 PG.#1963
5. PARCEL AREA:  
MAP 143 LOT 22:  
30,644± S.F.  
(0.703± ACRES)
6. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
7. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND CURRENT SITE CONDITIONS OF MAP 143 LOT 22.
8. FIELD SURVEY COMPLETED BY TCE ON SEPTEMBER 23, 2019 & JANUARY 2020 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
9. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. VERTICAL DATUM IS NAVD 88 PER STATIC GPS OBSERVATIONS.
10. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
11. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
12. A PORTION OF THIS PARCEL MAY BE SUBJECT TO "THE RIGHT OF THE CITY OF PORTSMOUTH TO MAINTAIN IN AND OVER IT A PUBLIC SEWER AS NOW BUILT AND LOCATED THEREON." AS RECORDED IN RCRD BK.#786 PG.#69 AND BK.#1896 PG.# 406.
13. JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON SEPTEMBER 23, 2019 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3), NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).

TAX MAP 143 LOT 22  
**SKETCH PLAN**  
**DUDAS RESIDENCE**  
**32 MONTEITH STREET**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
OWNER  
**CHARLES & ALLISON DUDAS**

SCALE: 1" = 20' (22x34)  
1" = 40' (11x17)

JANUARY 28, 2020

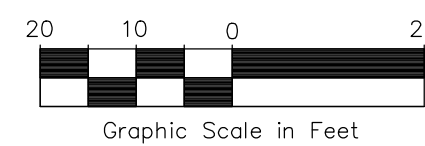


A division of TFMoran, Inc.

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.tfmoran.com

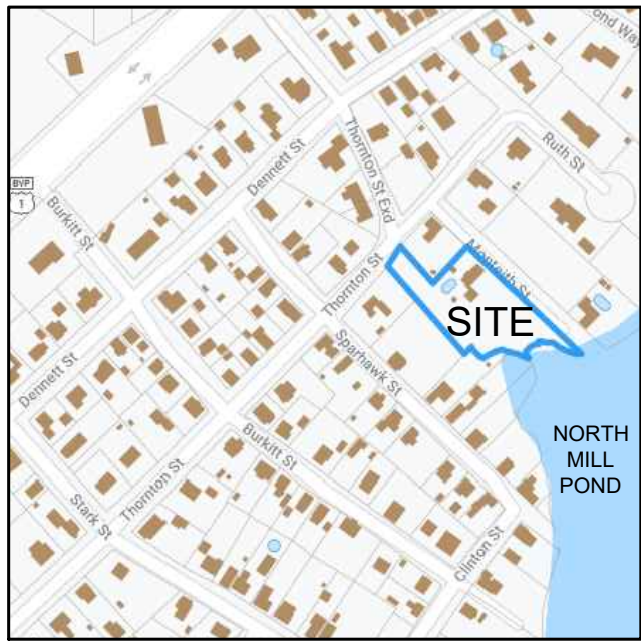
REV.	DATE	DESCRIPTION	DR	CK







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**LOCATION PLAN**

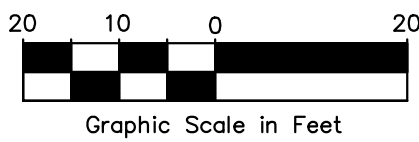
TAX MAP 143 LOT 22

**DUDAS RESIDENCE**  
**32 MONTEITH STREET**  
**PORTSMOUTH, NEW HAMPSHIRE**  
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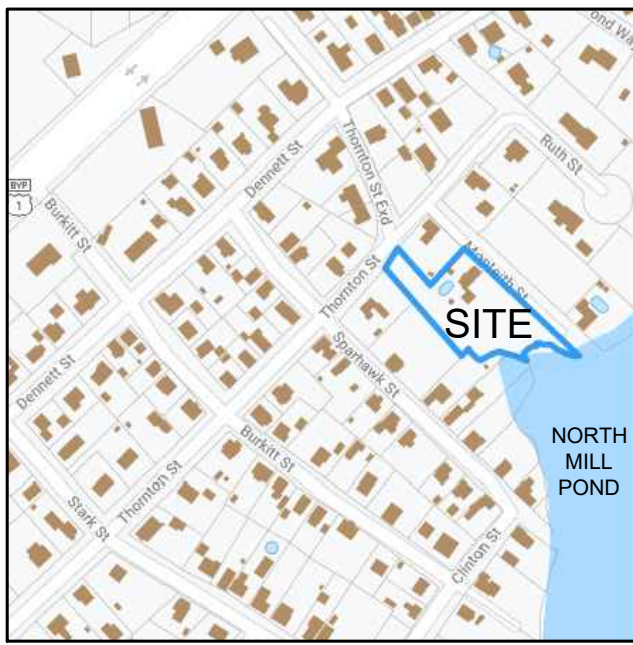
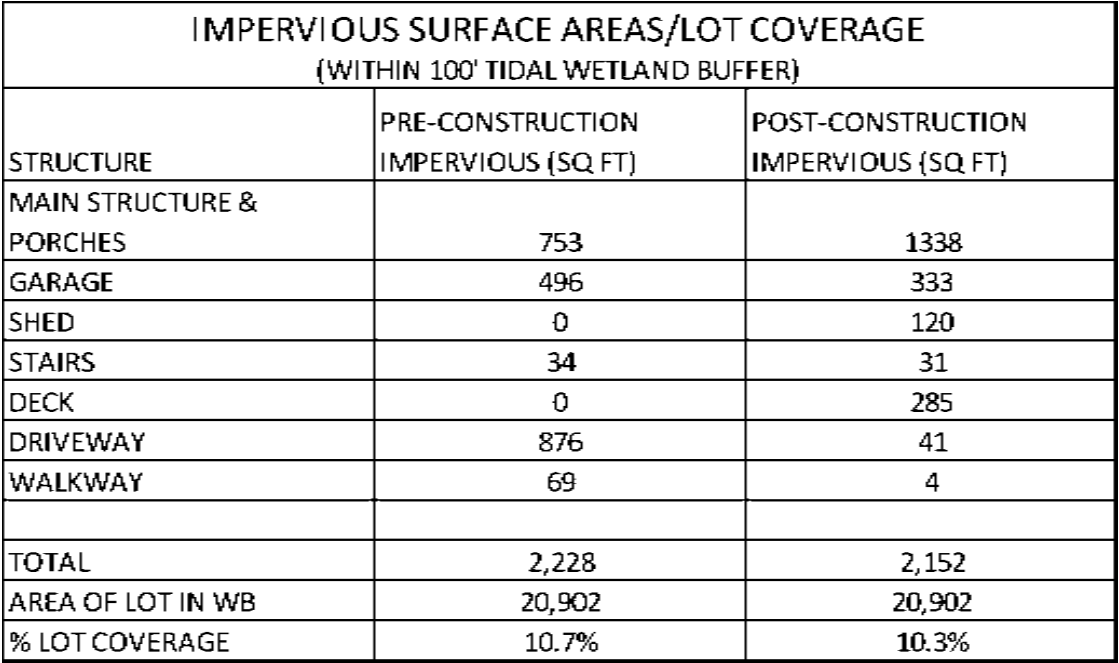
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MAY 23, 2020

DEMOLITION SITE PLAN







## LOCATION PLAN

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BUFFER PLANTING SCHEDULE			
SYMBOL	ITEM	SIZE	QTY
⊕	SWEET PEPPERBUSH	3-4 GALLON	3
Δ	STEEPLEBUSH	1 GALLON	5
□	NEW ENGLAND ASTER	1 GALLON	5

NO MOWING OF BUFFER PLANTING AREA.

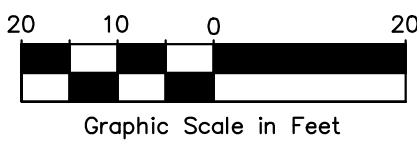
TAX MAP 143 LOT 22

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**32 MONTEITH STREET**  
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**CHARLES & ALLISON DUDAS**

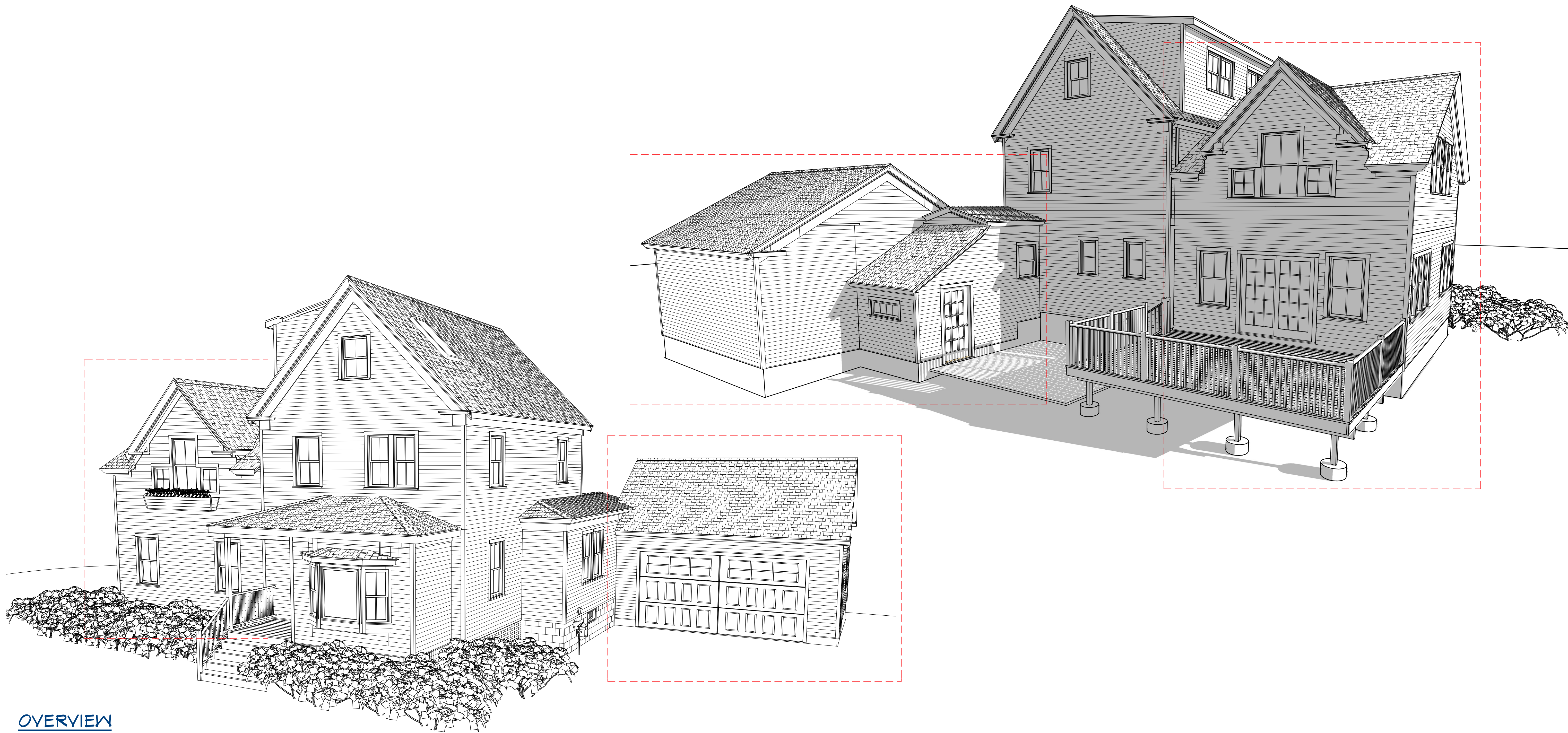
**SCALE: 1" = 20' (22x34)**  
**1" = 40' (11x17)**

MAY 23, 2020

## PROPOSED SITE PLAN







## OVERVIEW

SCALE: 1/4" = 1'-0"

### SPECIFICATIONS + NOTES

\*ROOFING MATERIAL: TO MATCH EXISTING

\*ALL TRIM PACKAGE: TO MATCH EXISTING

\*SIDING: TO MATCH EXISTING

\*BRACKETS: TO MATCH EXISTING

\*STAIR SYSTEM:

\_EXTERIOR:

\*BROSCO: Liberty Extruded Rail System

\*RISER: AZEC- WHITE

\*TREAD: SELECTWOOD, ZURI "Weathered Grey"

\_INTERIOR:

\*NEWEL

\*HANDRAIL

\*BALUSTERS

\*RISER FINISH

\*TREAD

\*WINDOWS:

\_MANUFACTURER:

\_EXT. FINISH:

\_INT. FINISH:

\*DOORS:

\_MANUFACTURER:

\_EXT. FINISH:

\_INT. FINISH:

\*FLOORING:

\_1ST FLOOR: WOOD

\_2ND FLOOR: WOOD

\_REFINISH AREAS:

\*KITCHEN:

\_CABINETRY NOTES: SPECS TO BE PREPARED

\*MANTLE:

\_BUILT-IN IN GREATROOM AND AROUND FIREPLACE

\*FIREPLACE:

\_GAS

\_WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK

\_HEARTH: RAISED VS. FLUSH

\*MATERIAL:

NOTES:

\*CEILING HEIGHTS: 1ST FLOOR: 8'-6" | 2ND FLOOR: 7'-6"

\*CORNER BOARDS: TO MATCH EXISTING

\*WATER TABLE: TO MATCH EXISTING

\*RAKE BOARD: TO MATCH EXISTING

\*SOFFIT - TO MATCH EXISTING

\*ROOF VENT - TO MATCH EXISTING

\*WINDOW TRIM: TO MATCH EXISTING

### GENERAL NOTES:

1. DO NOT SCALE DRAWINGS

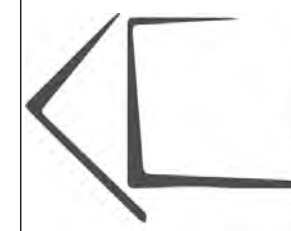
2. ALL TRASH GENERATED BY THE CONTRACTOR WILL BE PLACED IN A TRASH CONTAINER PROVIDED BY THE CONTRACTOR ON SITE AT THE END OF EACH DAY.

3. VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY DESIGNER OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.

4. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE PERFORMED BY SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR AND INTERIOR DESIGNER WITH RESPECT TO LIGHTING AND CEILING DETAILS.

5. COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR, AND WALL SPACES. VERIFY LOCATIONS WITH DESIGNER.

6. IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO COMPLETE THE WORK WITHIN THE RECOGNIZED STANDARDS OF THE CONSTRUCTION INDUSTRY.



## OVERVIEW

### DRAWING INDEX

1	OVERVIEW
2	SITE PLAN
3	LANDSCAPE PLAN
4	DEMO
5	FOUNDATION
6	FIRST FLOOR
7	SECOND FLOOR
8	THIRD FLOOR
9	ROOFS
10	WINDOW & DOOR SCHEDULE
11	ELEVATIONS
12	ELEVATIONS
13	SECTION
14	FRAMING
15	OVERVIEW
16	DETAILS
17	ELECTRICAL
18	PLUMBING
19	KITCHEN
20	BATH
21	CABINETRY
22	PERSPECTIVES

### CLIENT:

Charles and Allison Dudas  
32 Monteth Street  
Portsmouth, NH

### CONTACT:

AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0646

### DATE:

5/4/20

### SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

### SHEET:

A1

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



CALCULATIONS

ZONING MAXIMUMS:  
front setback: 15'  
rear setback: 20'  
side setbacks: 10'  
lot coverage: 25%

EXISTING CONDITIONS:  
LOT SIZE: 0.70 ACRES  
GROSS SF: 2,544  
LIVABLE SF: 1,534  
FIRST FLOOR: 694 SF  
UPPER STORY: 560 SF  
HALF STORY: 280 SF  
EXISTING SETBACKS:  
FRONT: 6 FT, SECONDARY FRONT: 90 FT  
REAR: 129 FT (TO GARAGE)  
LEFT: 35 FT TO WETLAND  
RIGHT: 2 FT (TO SHED)  
EXISTING LOT COVERAGE: 809 + 496 + 130 = 1435 / 30644 = 4.7%  
EXISTING PARCEL AREA: 0.033 ACRES

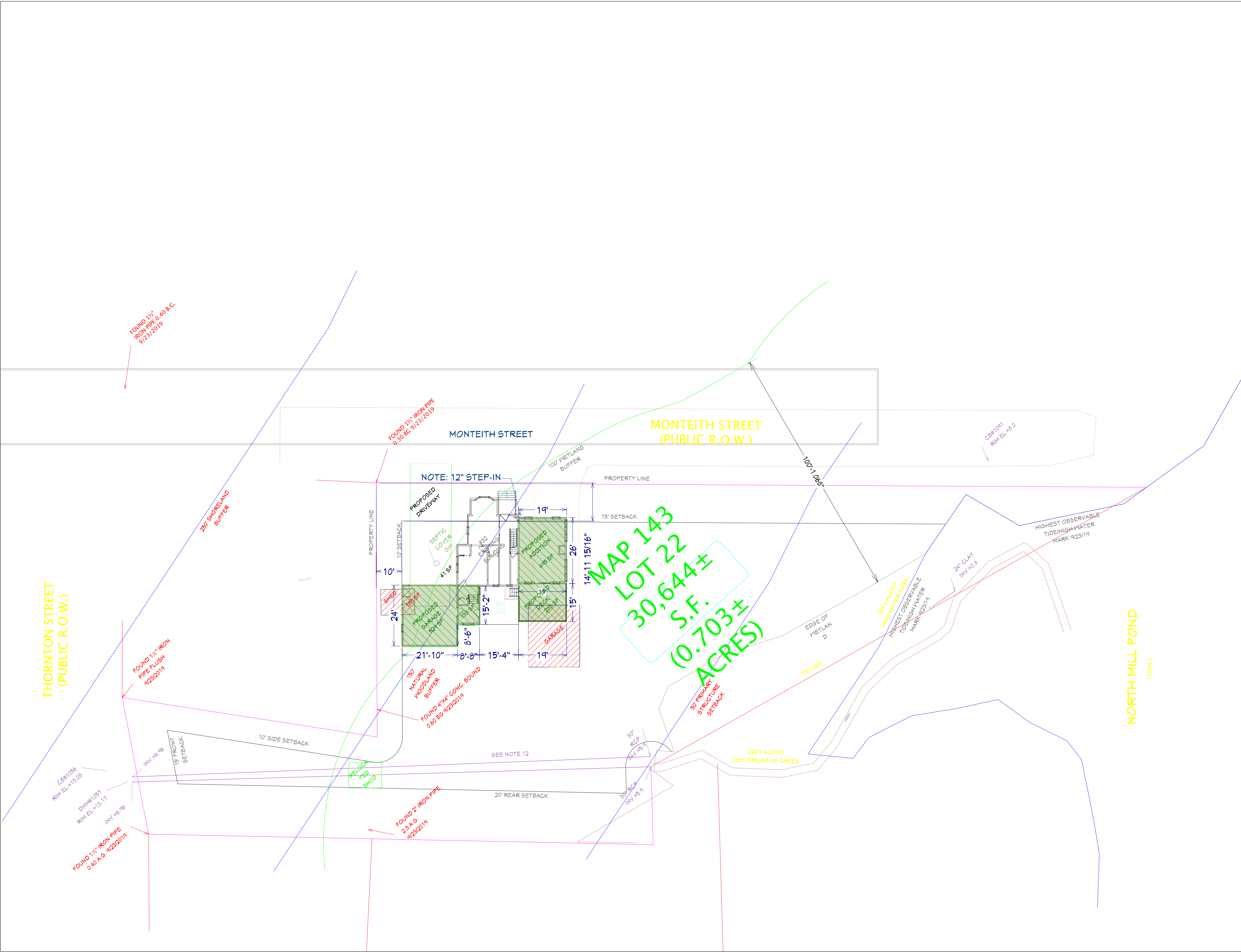
PROPOSED CONDITIONS:  
LIVABLE SF: 2,655  
FIRST FLOOR: 1321 SF  
UPPER STORY: 1054 SF  
HALF STORY: 280 SF  
PROPOSED SETBACKS:  
FRONT: 6 FT  
REAR: 20 FT  
LEFT: 47 FT TO WETLAND  
RIGHT: 10 FT  
PROPOSED LOT COVERAGE: 762 + 497 + 285+ 658 + 130 = 2332 / 30644 = 7.6%  
PROPOSED PARCEL AREA: 0.054 ACRES

SITE PLAN LEGEND

- = ADDITION & DECK ~ 778 SF  
= GARAGE / MUDROOM ~ 662 SF
- = GARAGE AND SHED TO BE REMOVED ~ 630 SF

SITE PLAN

SCALE: 1" = 20'-0"



PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.

SITE PLAN

DRAWING INDEX

1 OVERVIEW

2 SITE PLAN

3 LANDSCAPE PLAN

4 DEMO

5 FOUNDATION

6 FIRST FLOOR

7 SECOND FLOOR

8 THIRD FLOOR

9 ROOFS

10 WINDOW & DOOR SCHEDULE

11 ELEVATIONS

12 ELEVATIONS

13 SECTION

14 FRAMING

15 FRAMING OVERVIEW

16 DETAILS

17 ELECTRICAL

18 PLUMBING

19 KITCHEN

20 BATH

21 CABINETRY

22 PERSPECTIVES

CLIENT:

Charles and Allison Dudas  
32 Monteith Street  
Portsmouth, NH

CONTACT:

AMY DUTTON HOME  
4 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0696

DATE:

5/4/20

SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A2





SCALE: 1/8" = 1'-0"



SCALE: NOT TO SCALE



= ADDITION

FOUNDATION

## DRAWING INDEX

- |    |               |
|----|---------------|
| 2  | OVERVIEW      |
| 3  | SITE PLAN     |
| 4  | LANDSCAPE     |
| 5  | PLAN          |
| 6  | DEMO          |
| 7  | FOUNDATION    |
| 8  | FIRST FLOOR   |
| 9  | SECOND FLOOR  |
| 10 | THIRD FLOOR   |
| 11 | ROOFS         |
| 12 | WINDOW & DOOR |
| 13 | SCHEDULE      |
| 14 | ELEVATIONS    |
| 15 | ELEVATIONS    |
| 16 | SECTION       |
| 17 | FRAMING       |
| 18 | FRAMING       |
| 19 | OVERVIEW      |
| 20 | DETAILS       |
| 21 | ELECTRICAL    |
| 22 | PLUMBING      |
| 23 | KITCHEN       |
| 24 | BATH          |
| 25 | CABINETRY     |
| 26 | PERSPECTIVES  |

CLIENT:

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207.703.0696

DATE:

5/4/20

SCALE:

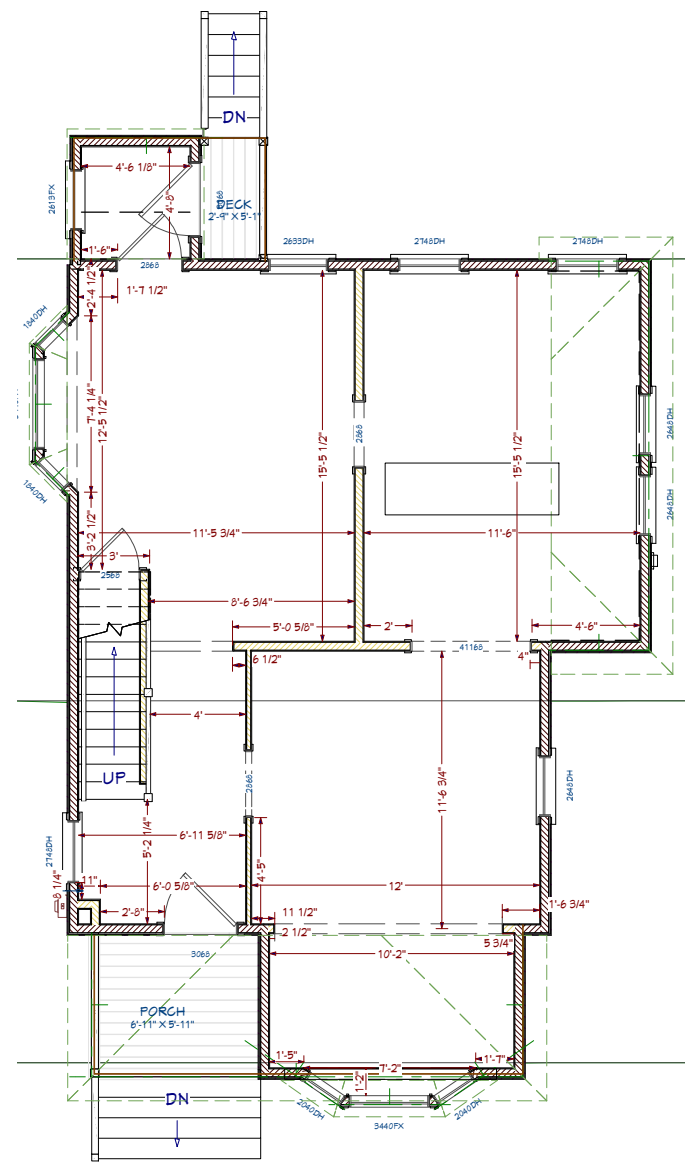
SCALED FOR:  
24" X 36"

DRAWING SCALE 1/4" = 1'-0"

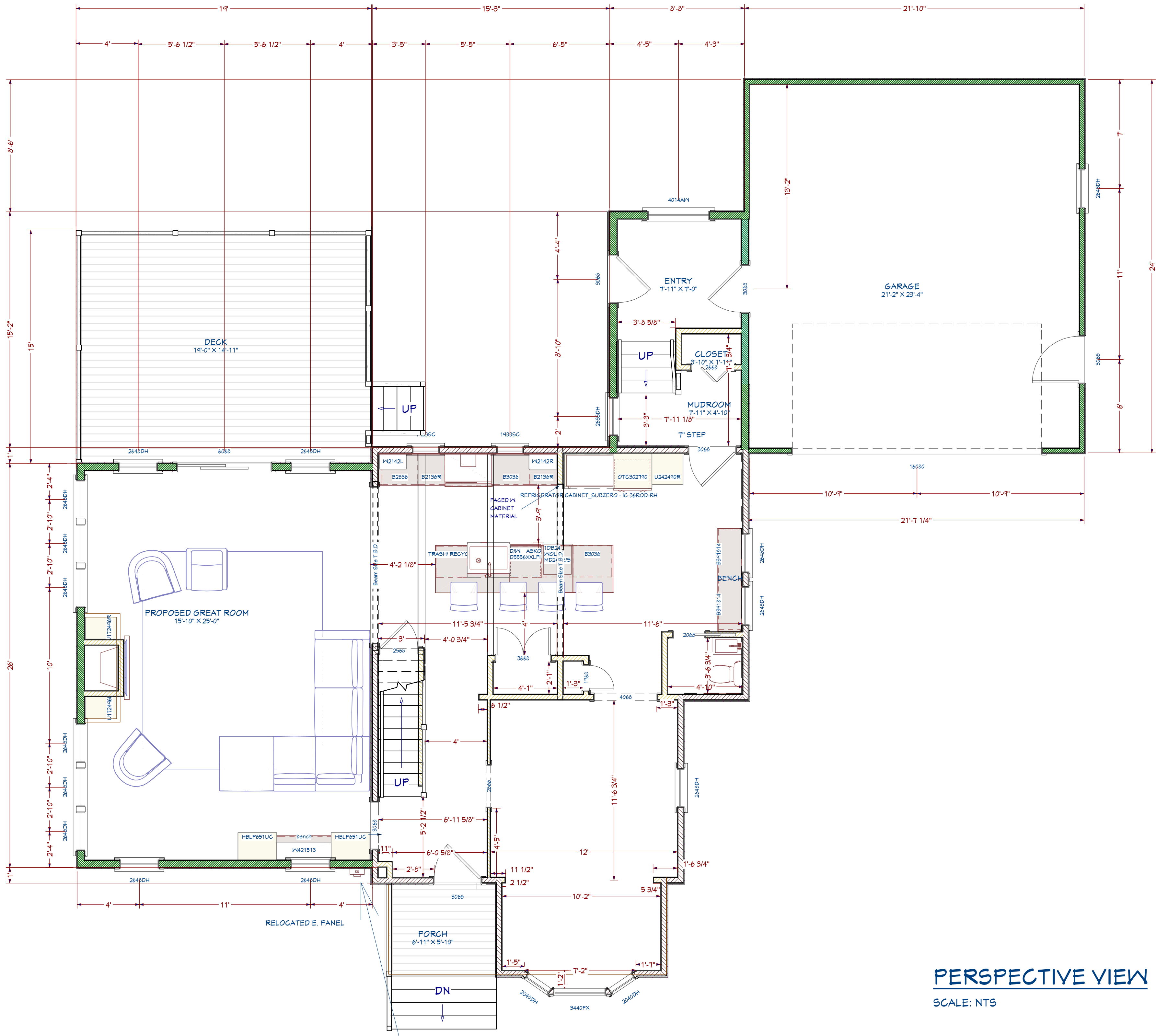
SHEET:

A5

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

PERSPECTIVE VIEW  
SCALE: NTS

WALL LEGEND

= EXISTING EXTERIOR WALL

= NEW EXTERIOR WALL

= INTERIOR 6

= EXISTING INTERIOR 4

= NEW INTERIOR 4

= GLASS TOP TILE BOTTOM PONY WALL

= GLASS SHOWER WALL

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.

FIRST FLOOR

DRAWING INDEX

1

OVERVIEW

2

SITE PLAN

3

LANDSCAPE PLAN

4

DEMO

5

FOUNDATION

6

FIRST FLOOR

7

SECOND FLOOR

8

THIRD FLOOR

9

ROOFS

10

WINDOW & DOOR SCHEDULE

11

ELEVATIONS

12

ELEVATIONS

13

SECTION

14

FRAMING

15

OVERVIEW

16

DETAILS

17

ELECTRICAL

18

PLUMBING

19

KITCHEN

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BATH

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CABINETRY

22

PERSPECTIVES

CLIENT:

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207.703.0696

DATE:

5/4/20

SCALE:

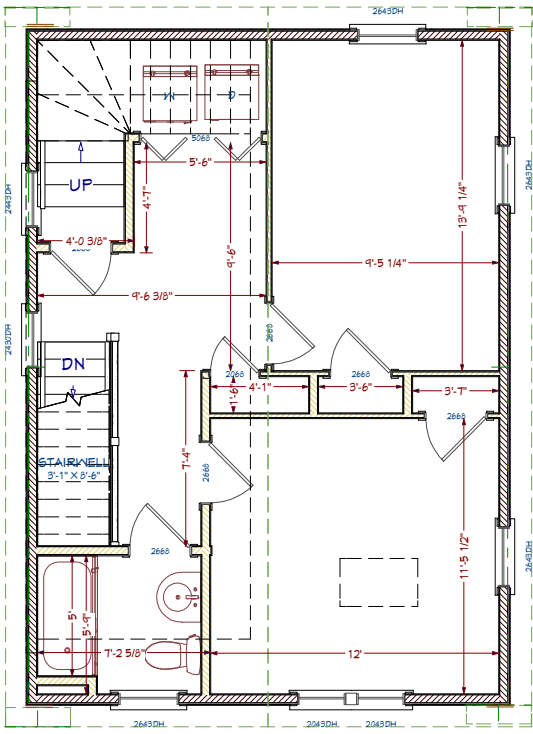
SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A6

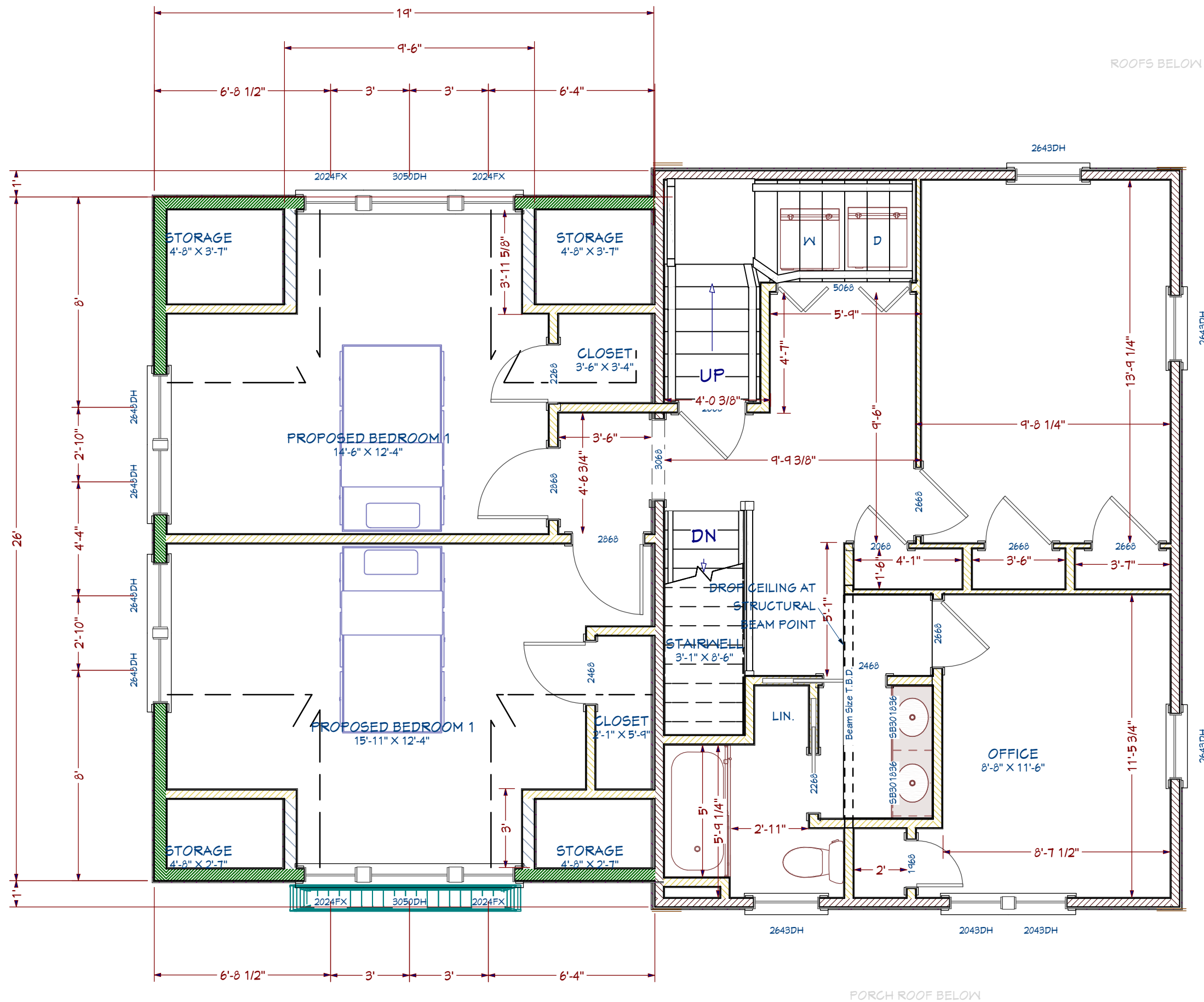




LIVING AREA  
10'0" X 12'0"

### EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



### PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

### PERSPECTIVE VIEW

SCALE: NTS

#### WALL LEGEND

- = EXISTING EXTERIOR WALL
- = NEW EXTERIOR WALL
- = INTERIOR 6
- = EXISTING INTERIOR 4
- = NEW INTERIOR 4
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL

SECOND FLOOR

DRAWING INDEX

1 OVERVIEW

2 SITE PLAN

3 LANDSCAPE PLAN

4 DEMO

5 FOUNDATION

6 FIRST FLOOR

7 SECOND FLOOR

8 THIRD FLOOR

9 ROOFS

10 WINDOW & DOOR SCHEDULE

11 ELEVATIONS

12 ELEVATIONS

13 SECTION

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16 DETAILS

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207.703.0696

DATE:

5/4/20

SCALE:

SCALED FOR:  
24" X 36"

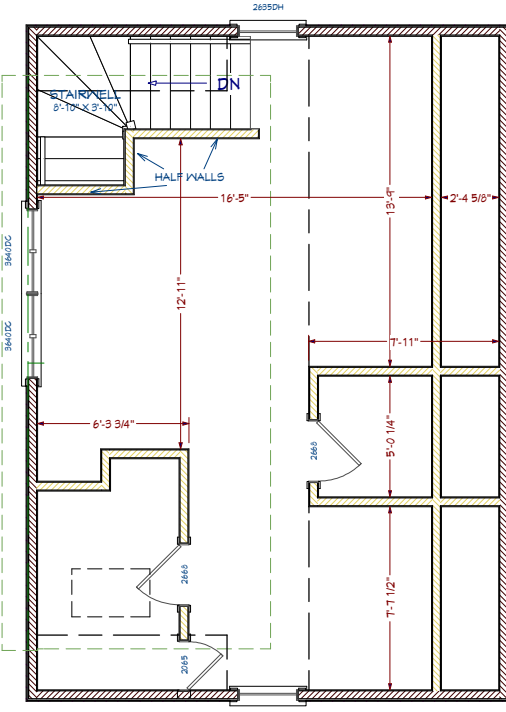
DRAWING SCALE

SHEET:

A7

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.

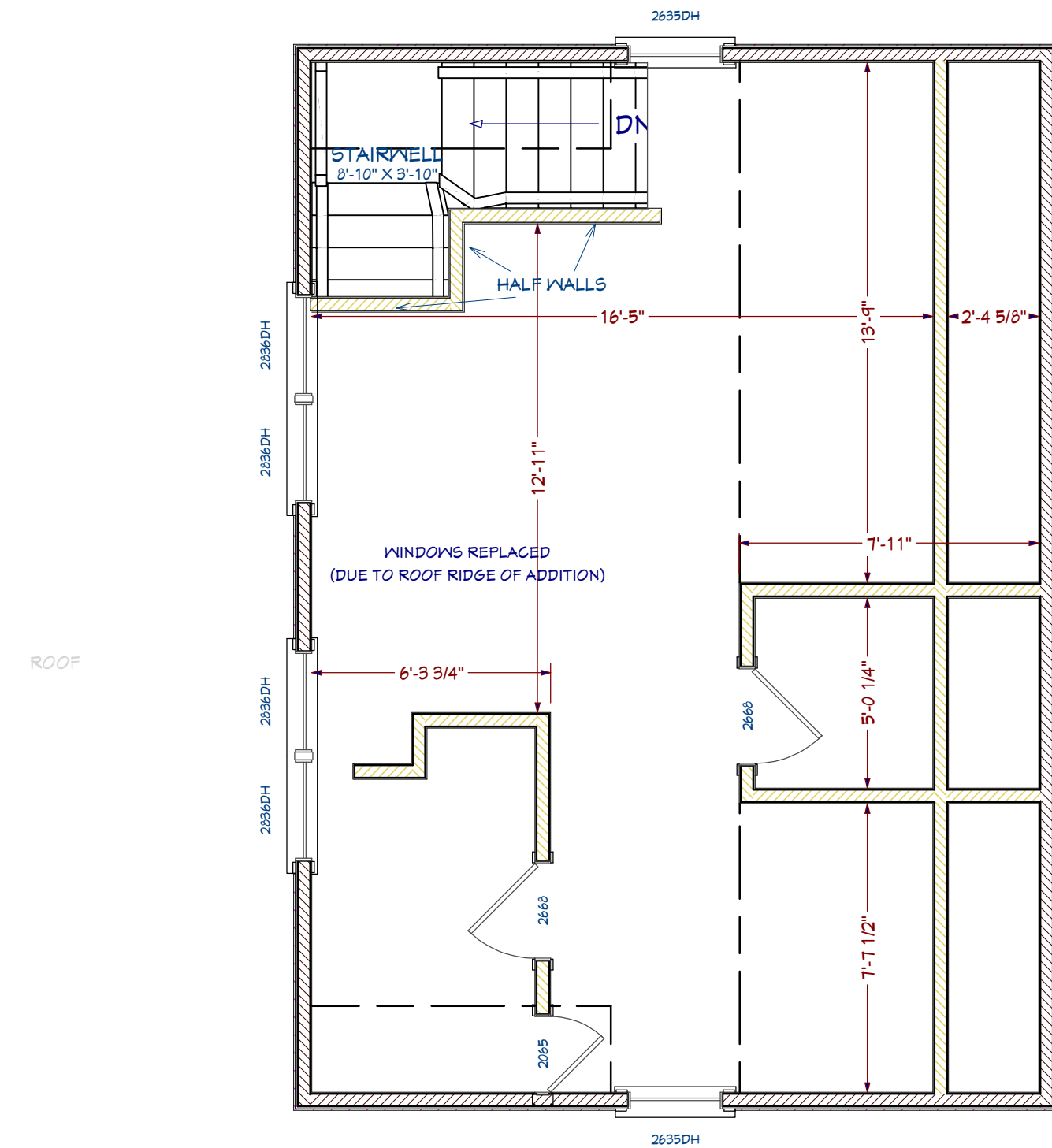




EXISTING THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

NO CHANGES TO 3RD FLOOR PLAN



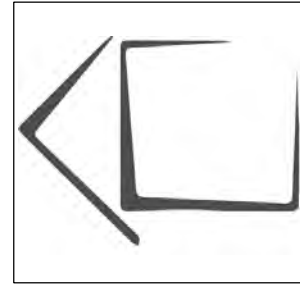
PROPOSED THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

PERSPECTIVE VIEW

SCALE: NTS

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



THIRD FLOOR

DRAWING INDEX

- 1 OVERVIEW
- 2 SITE PLAN
- 3 LANDSCAPE PLAN
- 4 DEMO
- 5 FOUNDATION
- 6 FIRST FLOOR
- 7 SECOND FLOOR
- 8 THIRD FLOOR
- 9 ROOFS
- 10 WINDOW & DOOR SCHEDULE
- 11 ELEVATIONS
- 12 ELEVATIONS
- 13 SECTION
- 14 FRAMING
- 15 FRAMING OVERVIEW
- 16 DETAILS
- 17 ELECTRICAL
- 18 PLUMBING
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9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0696

DATE:

5/4/20

SCALE:

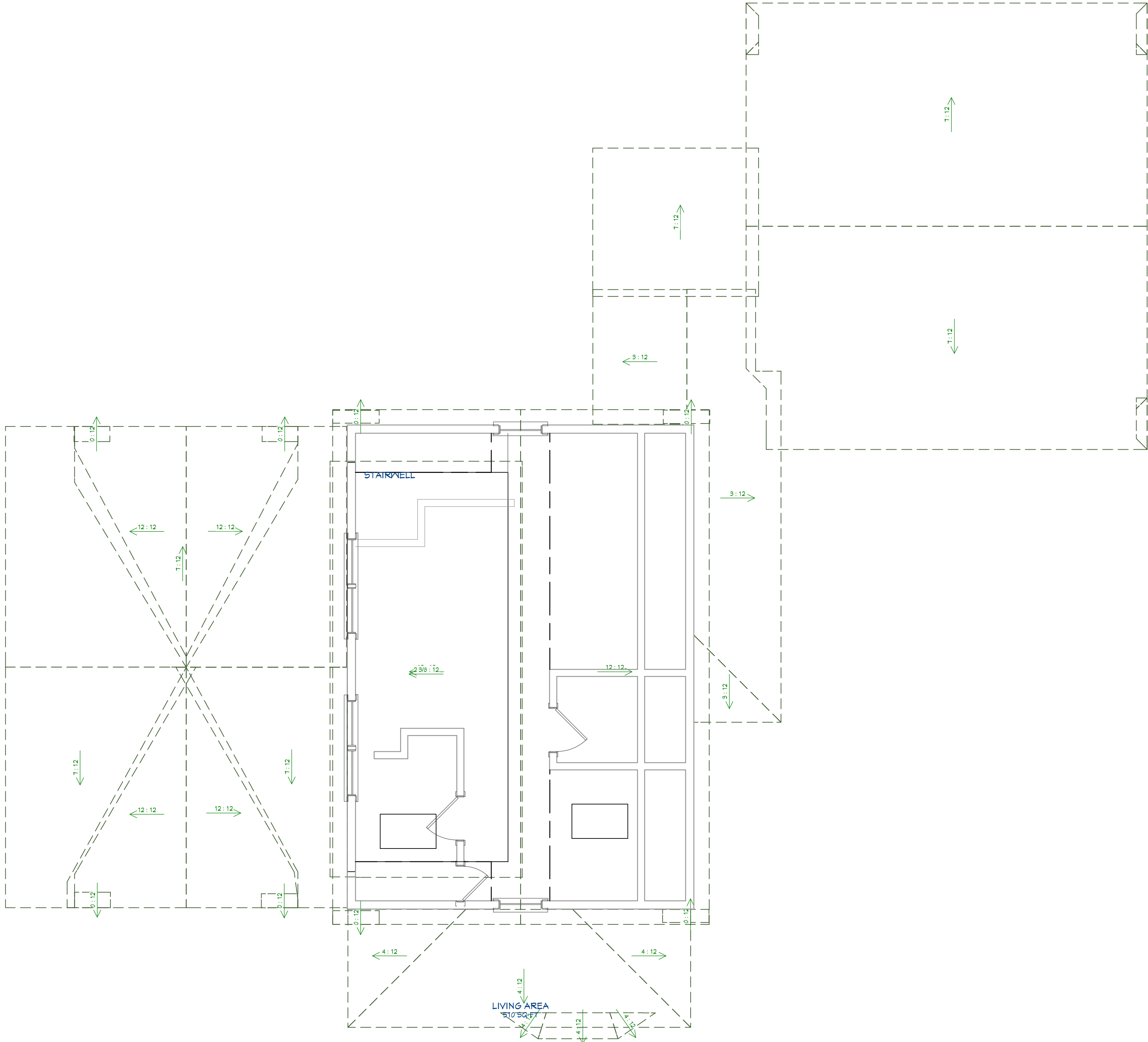
SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A8

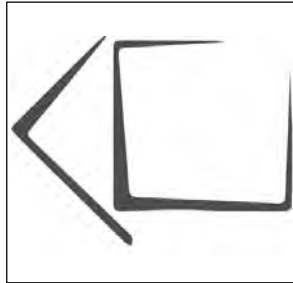
- NOTES:
1. PROVE 2 X 10 FLOOR JOISTS AT 16" o.c. TYPICAL
  2. INTERIOR NON-BEARING STUD WALLS ARE 2 X 4 AT 16" o.c.
  3. INTERIOR BEARING WALLS ARE 2 X 6 AT 16" o.c. #5-2 OR BETTER
  4. HEADERS FOR DOORS AND WINDOWS UP TO 6 FEET ARE (2) 2 X 10's
  5. ENGINEERED FLOOR BEAM TO BE DESIGNED AND SUBMITTED PRIOR TO CONSTRUCTION BY STRUCTURAL ENGINEER.
  6. CEILING JOISTS FOR THE SECOND FLOOR ARE 2X6.
  7. EXISTING 3RD FLOOR WALLS ARE GREY
  8. ROOF PLANES ARE GREEN



ROOF PLAN

SCALE: 1/4" = 1'-0"

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



ROOFS

DRAWING INDEX

- |    |                        |
|----|------------------------|
| 1  | OVERVIEW               |
| 2  | SITE PLAN              |
| 3  | LANDSCAPE PLAN         |
| 4  | DEMO                   |
| 5  | FOUNDATION             |
| 6  | FIRST FLOOR            |
| 7  | SECOND FLOOR           |
| 8  | THIRD FLOOR            |
| 9  | ROOFS                  |
| 10 | WINDOW & DOOR SCHEDULE |
| 11 | ELEVATIONS             |
| 12 | ELEVATIONS             |
| 13 | SECTION                |
| 14 | FRAMING                |
| 15 | FRAMING OVERVIEW       |
| 16 | DETAILS                |
| 17 | ELECTRICAL             |
| 18 | PLUMBING               |
| 19 | KITCHEN                |
| 20 | BATH                   |
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| 22 | PERSPECTIVES           |

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207.703.0696

DATE:

5/4/20

SCALE:

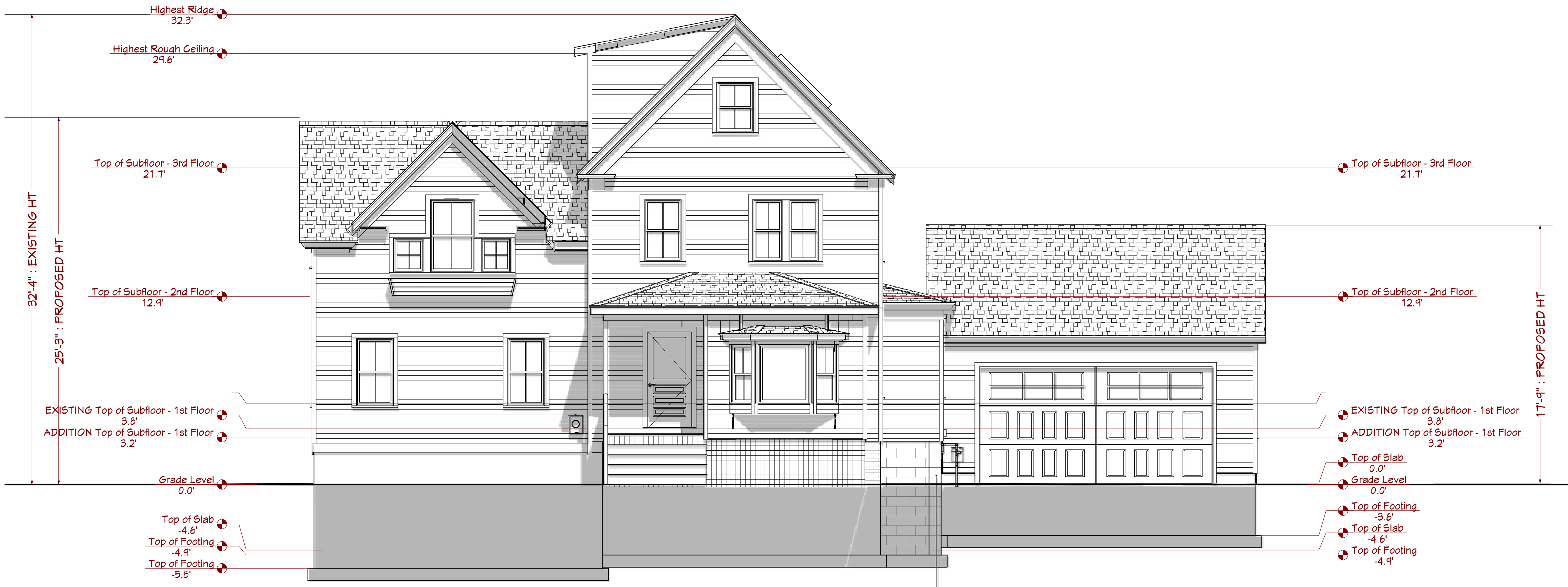
SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A9





**NORTH ELEVATION | FRONT VIEW**

SCALE: 1/4" = 1'-0"

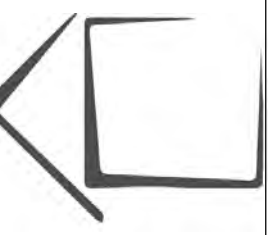
**TYPICAL NOTES:**

ASPHALT SHINGLES, TO MATCH EXISTING.  
RIDGE VENT, TO MATCH EXISTING.  
PVC RAKE AND BHADOW TRIM BOARDS, TO MATCH EXISTING.  
PVC TRIM BOARDS, TO MATCH EXISTING  
ALUMINUM OR PVS RAILING SYSTEMS, TO MATCH EXISTING.  
SHINGLE OR CLAPBOARD SIDING ON SHEATHING  
DECORATIVE PVC TRIM  
NEW WINDOWS PER SCHEDULE  
FOUNDATION MATERIAL (IE. STONE VENEER) TO MATCH EXISTING  
NEW FOUNDATION WALLS



**SOUTH ELEVATION | REAR VIEW**

SCALE: 1/4" = 1'-0"



**ELEVATIONS**

**DRAWING INDEX**

- 1 OVERVIEW
- 2 SITE PLAN
- 3 LANDSCAPE PLAN
- 4 DEMO
- 5 FOUNDATION
- 6 FIRST FLOOR
- 7 SECOND FLOOR
- 8 THIRD FLOOR
- 9 ROOFS
- 10 WINDOW & DOOR SCHEDULE
- 11 ELEVATIONS
- 12 ELEVATIONS
- 13 SECTION
- 14 FRAMING
- 15 FRAMING OVERVIEW
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**CLIENT:**

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Fittsmonth, NH

**CONTACT:**

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4 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0696

**DATE:**

5/4/20

**SCALE:**

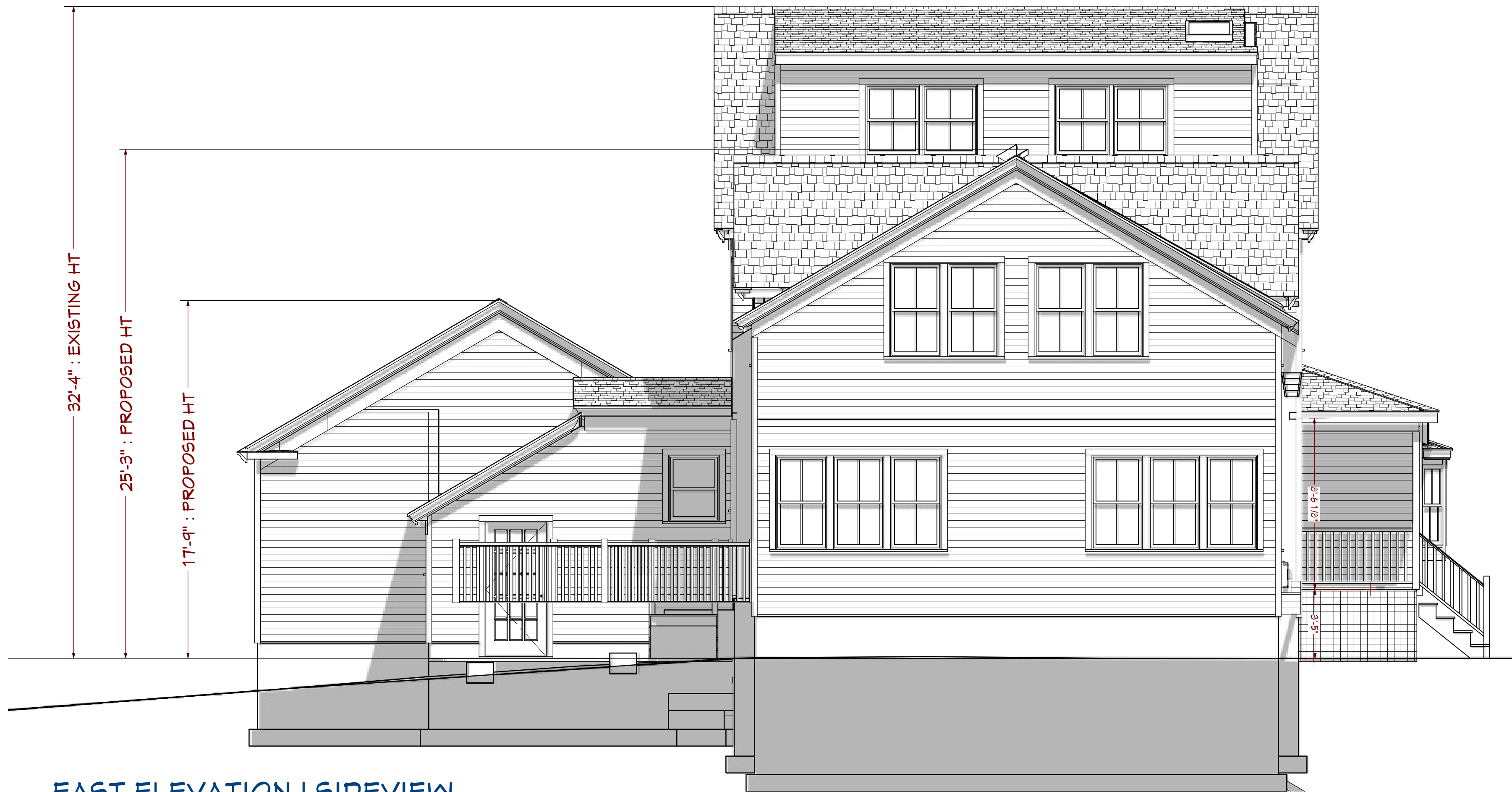
SCALED FOR:  
24" X 36"

**DRAWING SCALE**

**SHEET:**

**A11**  
ELEVATIONS

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



EAST ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



WEST ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.

ELEVATIONS

DRAWING INDEX

1

OVERVIEW

2

SITE PLAN

3

LANDSCAPE PLAN

4

DEMO

5

FOUNDATION

6

FIRST FLOOR

7

SECOND FLOOR

8

THIRD FLOOR

9

ROOFS

10

WINDOW & DOOR SCHEDULE

11

ELEVATIONS

12

ELEVATIONS

13

SECTION

14

FRAMING

15

FRAMING OVERVIEW

16

DETAILS

17

ELECTRICAL

18

PLUMBING

19

KITCHEN

20

BATH

21

CABINETRY

22

PERSPECTIVES

CLIENT:

Charles and Allison Dudas  
32 Monteth Street  
Portsmouth, NH

CONTACT:

AMY DUTTON HOME  
4 WALKER STREET | KITTERY, ME  
amy@duttonhome.com  
207.703.0696

DATE:

5/4/20

SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A12  
ELEVATIONS



May 01, 2020 - 10:46am  
\\TFM-BEDFORD\Projects\Civil-Survey\MSG Projects\47375-00 - Dudas - 32 Monteith St - Portsmouth Survey\Drawings\47375-00Survey.dwg

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED SEPTEMBER 23, 2019 & IN JANUARY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



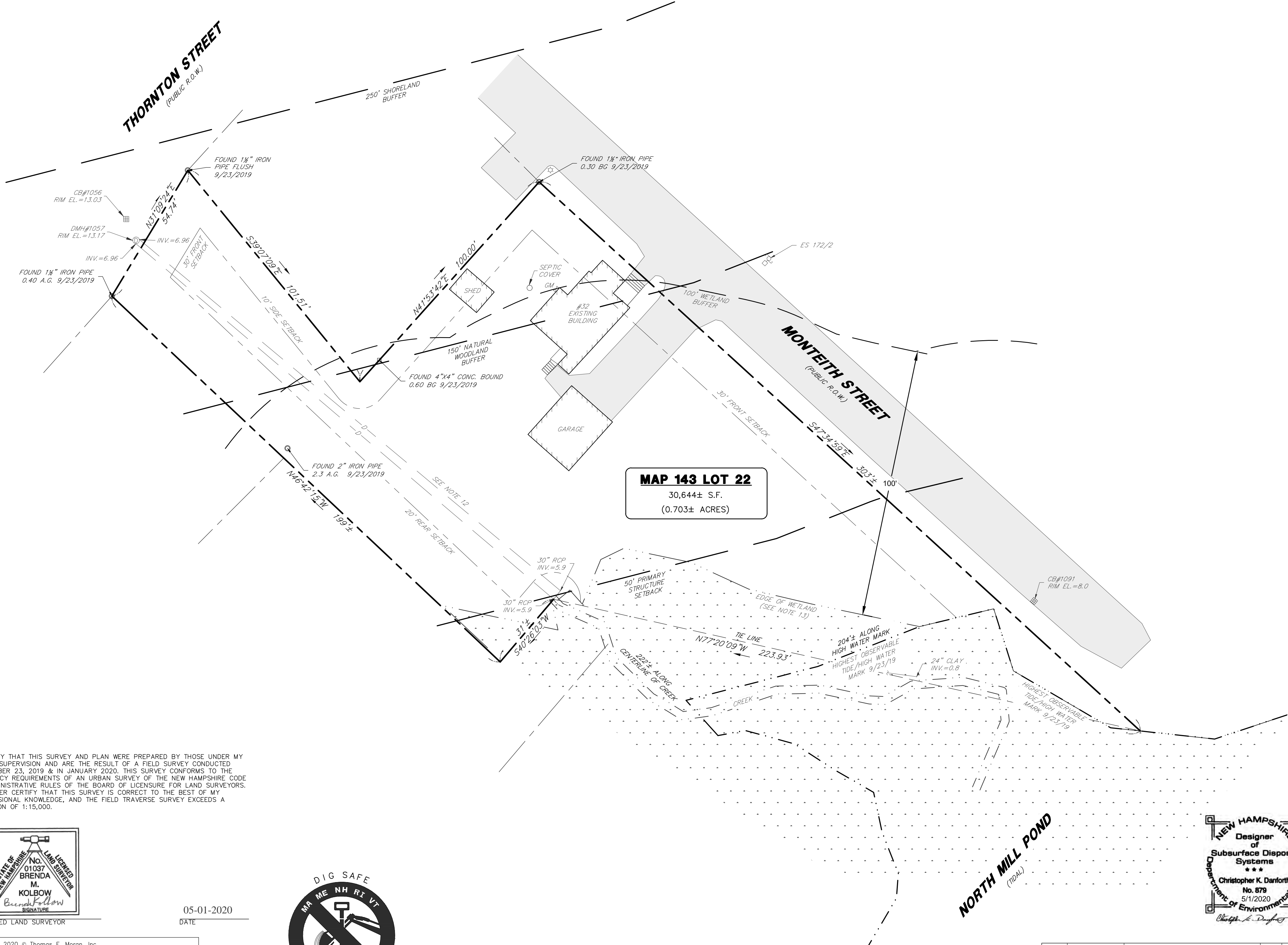
LICENSED LAND SURVEYOR

05-01-2020  
DATE

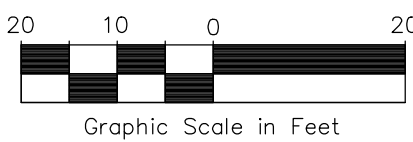
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48 Constitution Drive, Bedford, N.H. 03110

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



**MAP 143 LOT 22**  
30,644± S.F.  
(0.703± ACRES)



REV.	DATE	DESCRIPTION	DR	CK

#### NOTES:

- THE PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GRA) ZONING DISTRICT.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH OF ASSESSOR'S MAP 143 AS LOT 22.
- THE PARCEL IS PARTIALLY LOCATED IN ZONES X & AE AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 33015C0259E, WITH AN EFFECTIVE DATE OF MAY 17, 2005.
- OWNER OF RECORD:  
MAP 143 LOT 22  
CHARLES & ALLISON DUDAS  
32 MONTEITH STREET  
PORTSMOUTH, NH 03801  
RCRD BK.5876 PG.#1963
- PARCEL AREA:  
MAP 143 LOT 22:  
30,644± S.F.  
(0.703± ACRES)
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND CURRENT SITE CONDITIONS OF MAP 143 LOT 22.
- FIELD SURVEY COMPLETED BY TCE ON SEPTEMBER 23, 2019 & JANUARY 2020 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
- HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS. VERTICAL DATUM IS NAVD 88 PER STATIC GPS OBSERVATIONS.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- A PORTION OF THIS PARCEL MAY BE SUBJECT TO "THE RIGHT OF THE CITY OF PORTSMOUTH TO MAINTAIN IN AND OVER IT A PUBLIC SEWER AS NOW BUILT AND LOCATED THEREON." AS RECORDED IN RCRD BK.#786 PG.#69 AND BK.#1896 PG.# 406.
- JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON SEPTEMBER 23, 2019 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3). NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010. DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).



#### LOCATION PLAN

TAX MAP 143 LOT 22  
**SKETCH PLAN**  
**DUDAS RESIDENCE**  
32 MONTEITH STREET  
PORTSMOUTH, NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM  
OWNER  
**CHARLES & ALLISON DUDAS**

SCALE: 1" = 20' (22x34)  
1" = 40' (11x17)

JANUARY 28, 2020



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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Portsmouth, NH 03801  
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