

Portsmouth, NH - Board of Adjustment  
Variance Statement for: 39 Cass Street

Date: 08.20.20

Chairman of the Board of Adjustment  
C/O Planning Department City of Portsmouth  
1 Junkins Ave.  
Portsmouth, NH 03801

To The Chairman of the Board of Adjustment,

Please find this statement as addressing the requirements for a variance on the proposed project located at 50 New Castle Ave.

Overview: The existing structure is a 1900's single family residence with three bedrooms and 1-3/4 bathrooms. It looks like it has undergone some minor renovations in 1970's with aluminum siding and replacement windows. The homeowners are long-time residents of Portsmouth and graduates of UNH who have one 18-month-old and another child on the way.

We are proposing a 24' deep addition by the width of the house minus 12" to accommodate a mudroom entry off the driveway, three-quarter bath and family room on the ground level that walks out to grade. On the first floor the addition will be a renovated and expanded kitchen, dining and living space and revised laundry room. And on the second floor we will make the current master bedroom smaller by creating a hallway to a new master suite with bathroom, closet and office.

We are seeking relief from the rear setback for a deck and stairs to grade.

Keeping in mind the 5 Criteria:

1. The new structure would be staying within the character of the neighborhood.
  - a. The houses in the neighborhood are a mix New Englanders, capes and multi-family therefore staying in character with the neighborhood.  
Our goal is to introduce more historic details to the home.
2. It would improve the safety and health of the homeowners and neighborhood.
  - a. Right now, there are some safety hazard concerns with the current back deck and access to the basement that we will be improving.
3. Substantial justice is done.
  - a. No harm will be done to the neighborhood or community should this application be granted, and justice will be done for the applicant.
4. The values of the surrounding properties are not diminished.
  - a. The neighborhood would improve with this proposed addition introduced into the neighborhood. As many of the houses in the

neighborhood have renovated, we will be joining the ranks of improved historic homes and upgrading our neighbor's property values.

5. Literal enforcement of the ordinance would result in unnecessary hardship
  - a. The existing structure has a first-floor height 21" off the sidewalk in the front of the house but will be 8'-0" off the back of the house as grade naturally slopes down from front to back of house. In order to enjoy outdoor space off the back of the house a deck is necessary with a full staircase required to get down to grade. We would like to enjoy the outside at first floor height with dining and a place for the children to play without always having to walk down a flight of stairs.
  - b. Without a garage, we are in need of outdoor storage. Underneath the deck we will be using the area with sliding barn-type doors for access.
  - c. Privacy has been a concern for the Lieto family with its location being on the footpath to Little Harbor School and Brackett Rd. The deck will allow for a privacy buffer with 6'-0" high wood panels along the pathway side setting the line of vision to the interior and patio farther away from the pathway.

We respectfully encourage the Portsmouth Board of Adjustment to grant the variance to the Lieto Residence.

Submitted respectfully,

Amy Dutton  
Amy Dutton Home  
9 Walker Street  
Kittery, Maine 03904  
[amy@amyduttonhome.com](mailto:amy@amyduttonhome.com)  
207-337-2020



**PHOTOS OF EXISTING PROPERTY:**



**FRONT ELEVATION**





**EAST SIDE ELEVATION**





**BACK ELEVATION**



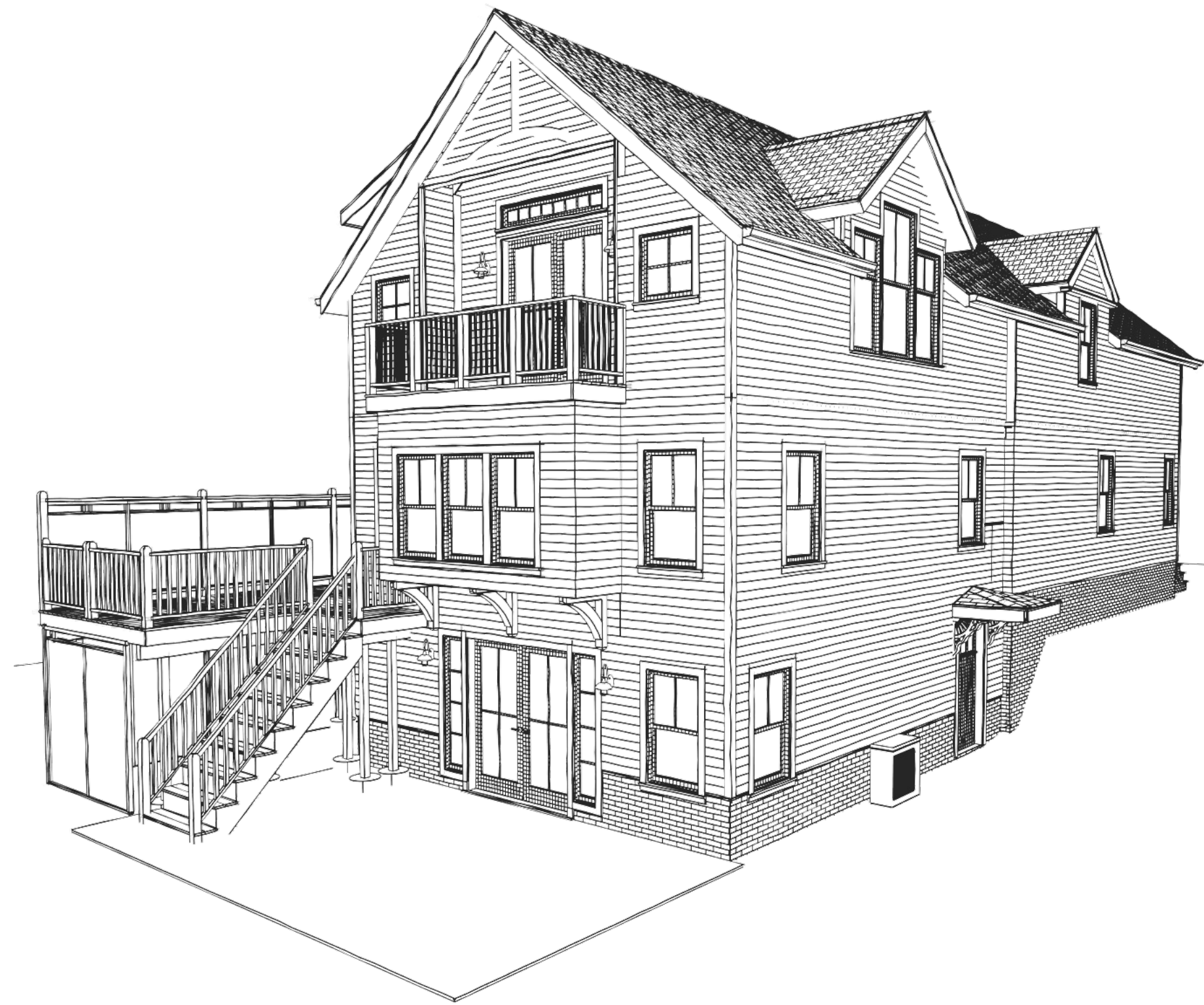


**BACK SIDE PERSPECTIVE (showing the 4sf to be filled in)**



**WEST SIDE ELEVATION**





## OVERVIEW

SCALE: NOT TO SCALE

## SPECIFICATIONS + NOTES

\*ROOFING MATERIAL: Timberline HD Shingles in Charcoal

\*ALL TRIM PACKAGE: TYP.

\*SIDING: Should budget allow the ideal scenario would be to remove the aluminum siding, repair existing wood clapboards and install new cedar clapboards on the addition. Paint the entire house BM, Simply White. *OPTION 2: HardiePlank Lap Siding w/ 4" exposure on addition ONLY*

\*BRACKETS: ProNood Market - Bracket 14T3 - P 28", H:28", T: 5.5" (Ptd: WHITE)

\*STAIR SYSTEM:

\_EXTERIOR:

\*BROSCO: Liberty Extruded Rail System

\*RISER: AZEC- WHITE

\*TREAD: SELECTWOOD, ZURI "Weathered Grey"

\*HANDRAIL: WOOD MAHOGANY RAIL

\*BALUSTERS: WOOD SQ WHITE 1"x1"

\*DECK: MAHOGANY

\*PRIVACY: TO MATCH SKETCH, UNDER DECK AS WELL (SLIDING PANELS)

\*WINDOWS: All new windows throughout house if budget allows. Removing 1/1 replacement double hung windows and large picture window installed in the 1970's to a historically appropriate 2/1 double hung window with black exterior

\_MANUFACTURER: MARVIN - ELEVATE - 2/1 D.H.

\_EXT. FINISH: BLACK

\_INT. FINISH: WHITE

\*EXTERIOR PATIO: STONEWOOD EVERBLUE THERMAL BLUE

NOTES:

\*CORNER BOARDS: TO MATCH EXISTING

\*WATER TABLE: TO MATCH EXISTING

\*RAKE BOARD: TO MATCH EXISTING

\*SOFFIT: TO MATCH EXISTING

\*WINDOW TRIM: TO MATCH EXISTING

## GENERAL NOTES:

1. *DO NOT SCALE DRAWINGS*

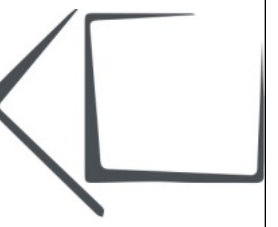
2. ALL TRASH GENERATED BY THE CONTRACTOR WILL BE PLACED IN A TRASH CONTAINER PROVIDED BY THE CONTRACTOR ON SITE AT THE END OF EACH DAY.

3. VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS ON THE JOB SITE PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIAL. NOTIFY DESIGNER OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.

4. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE PERFORMED BY SUB-CONTRACTOR AND COORDINATED BY THE GENERAL CONTRACTOR AND INTERIOR DESIGNER WITH RESPECT TO LIGHTING AND CEILING DETAILS.

5. COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING, FLOOR, AND WALL SPACES. VERIFY LOCATIONS WITH DESIGNER.

6. IT IS THE INTENT AND MEANING OF THESE DOCUMENTS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO COMPLETE THE WORK WITHIN THE RECOGNIZED STANDARDS OF THE CONSTRUCTION INDUSTRY.



## OVERVIEW

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22	CABINETRY
23	PERSPECTIVES

### CLIENT:

TIM & ALEX LIETO  
50 NEW CASTLE AVE  
PORTSMOUTH, NH

### CONTACT:

AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@amyduttonhome.com  
207.703.0696

### DATE:

8/20/20

### SCALE:

SCALED FOR:  
24" X 36"

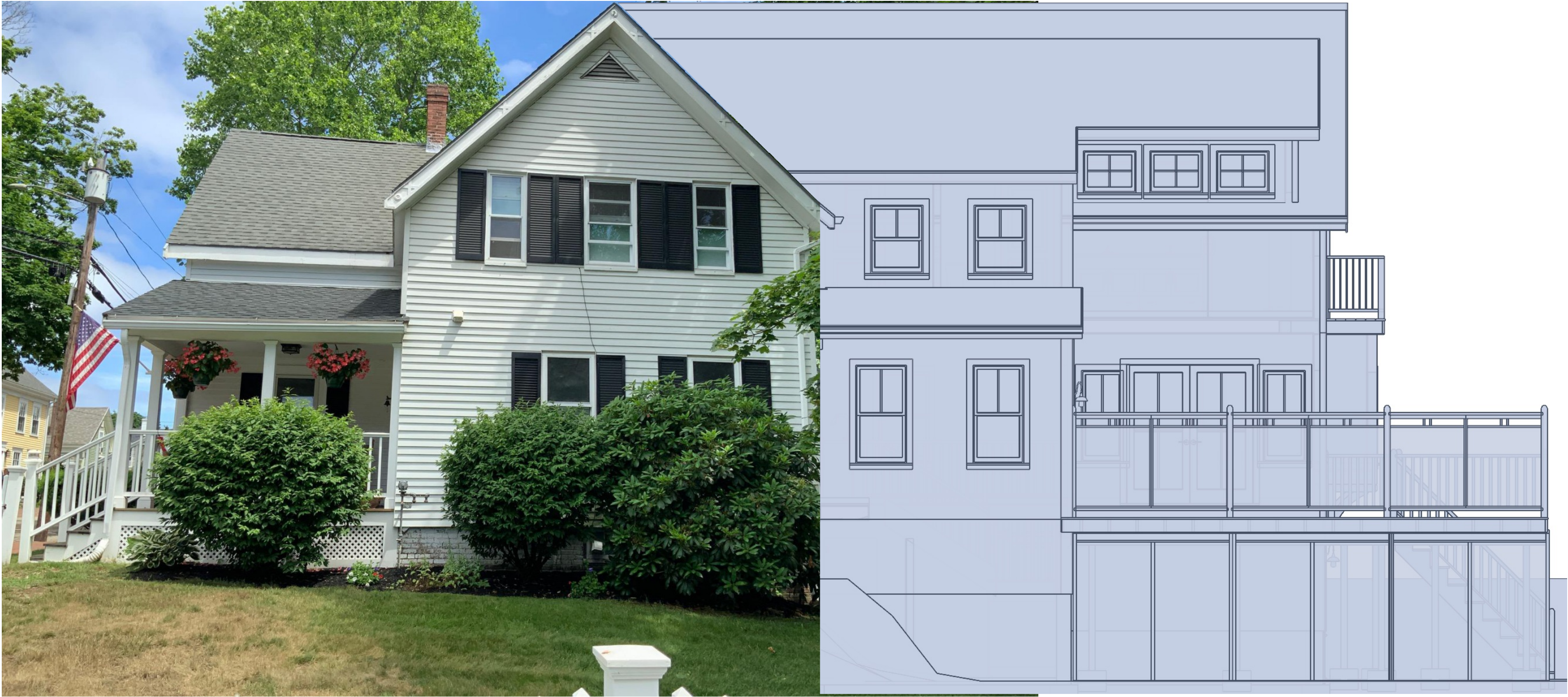
### DRAWING SCALE

### SHEET:

A1

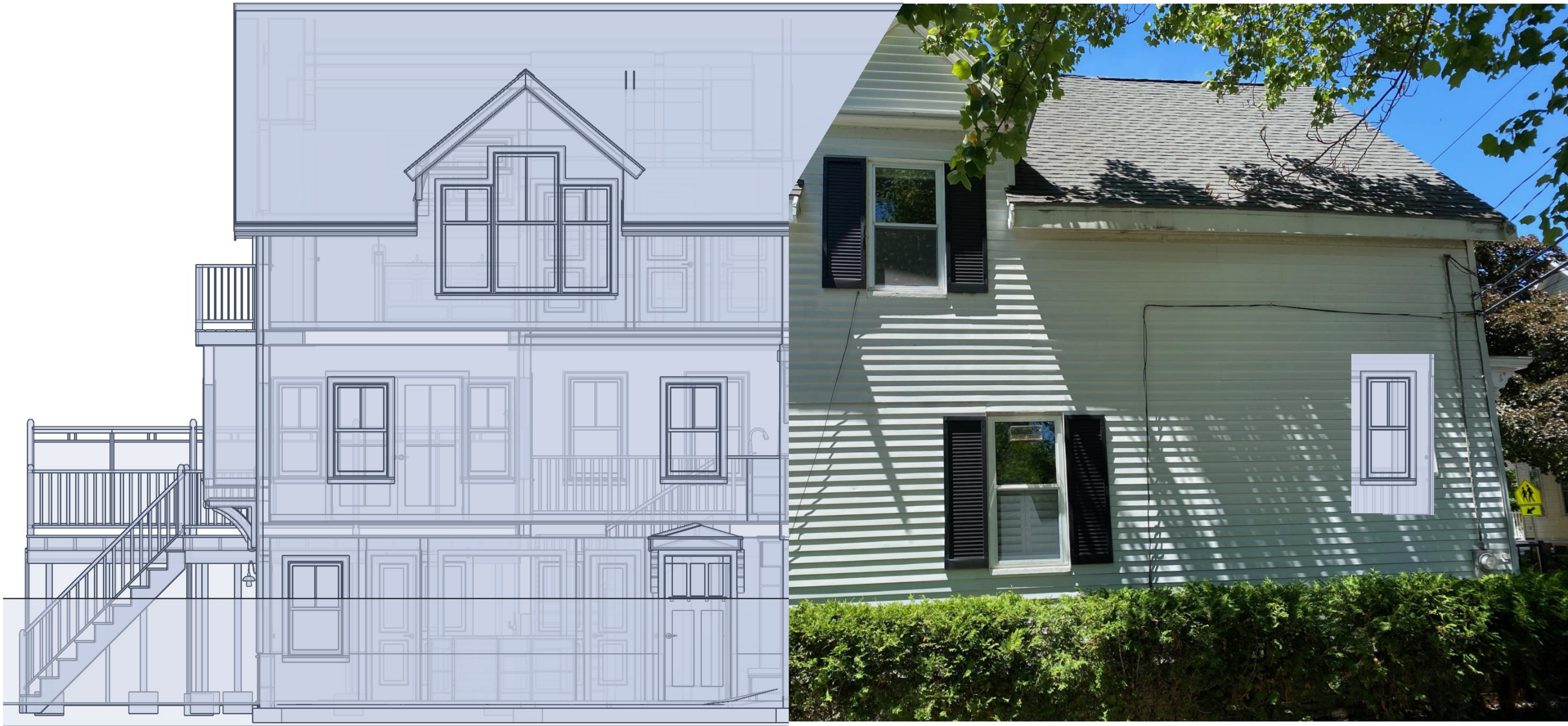
PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.





EAST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"

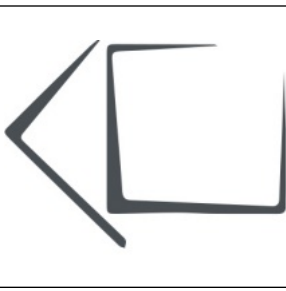


WEST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"

NOTE: REPLACING EXISTING STAINED GLASS AND  
PLASTIC WINDOW ABV WITH 2/1 WINDOW TO MATCH  
REST OF HOUSE

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GLASS HOUSE  
OVERLAY

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DRAWING SCALE

SHEET:

A2



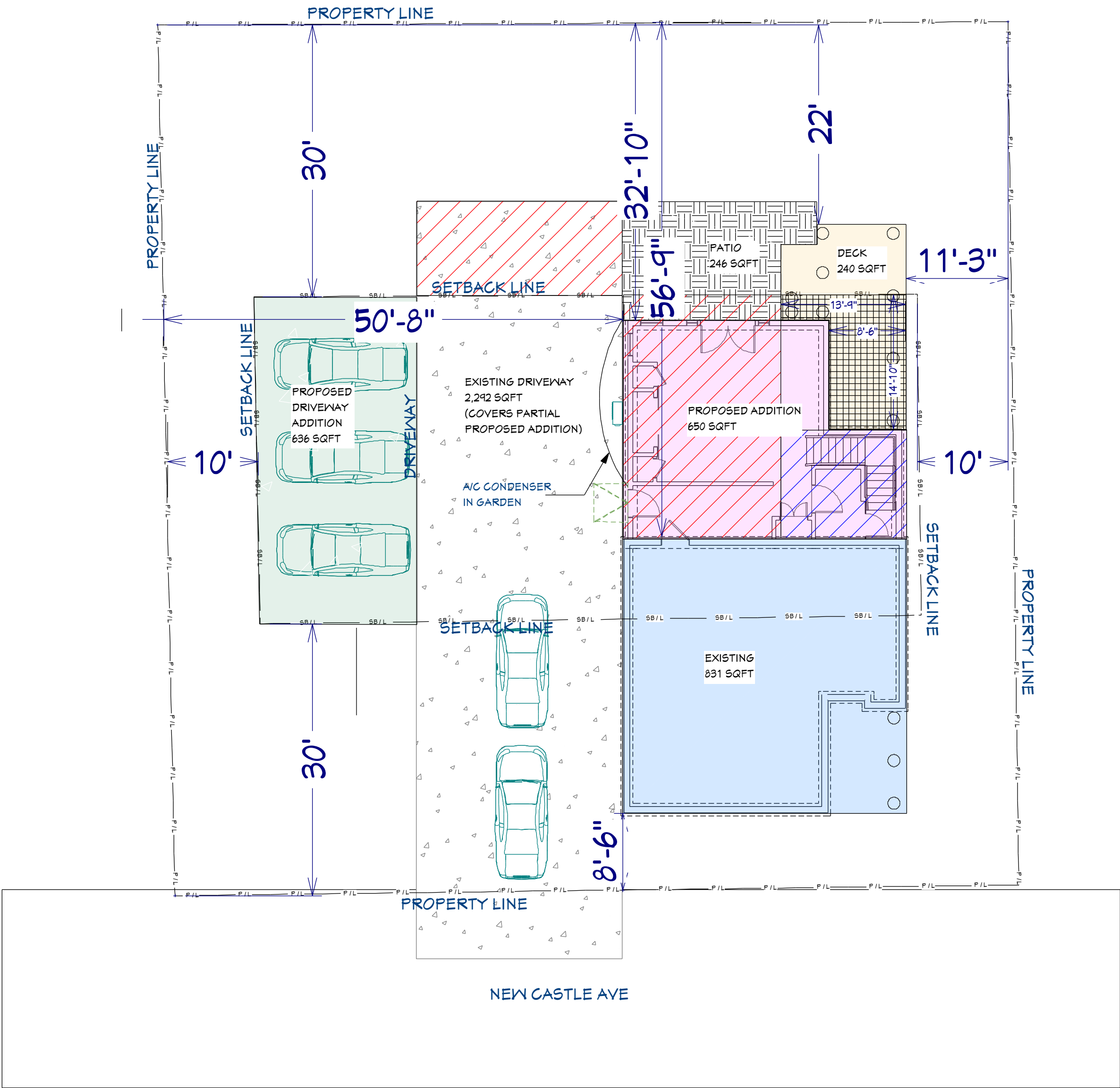
CALCULATIONS

ZONING MAXIMUMS:  
front setback: 30'  
rear setback: 30'  
side setbacks: 10'  
lot coverage: 20%

EXISTING CONDITIONS:  
LOT SIZE: 0.22 ACRES  
ANTICIPATED DISTURBED AREA: 862 SF  
FRONT/REAR HEIGHT:  
27'3" EXISTING RIDGE HT FROM FRONT GRADE  
32'3" EXISTING RIDGE HT FROM BACK GRADE  
LIVABLE SF: 1,454 SF  
FIRST FLOOR 831 SF  
3/4 STORY 623 SF  
BASEMENT 0 SF  
DECK 0 SF  
PORCH 0 SF  
GROSS SF: 2,756 SF  
FIRST FLOOR 831 SF  
3/4 STORY 831 SF  
BASEMENT 831 SF  
DECK 164 SF  
PORCH 99 SF  
AREA OF FOOTPRINT: 1,094 SF  
EXISTING DRIVEWAY: 2,292 SF  
EXISTING PARKING SPOTS: 5  
EXISTING SETBACKS:  
FRONT: 8'6"  
REAR: 56'9"  
LEFT: 11'4"  
RIGHT: 50'8"  
EXISTING LOT COVERAGE: 11.42%  
EXISTING PARCEL AREA: 0.0251 ACRES

PROPOSED CONDITIONS:  
FRONT/REAR HEIGHT:  
27'3" PROPOSED RIDGE HT FROM FRONT GRADE  
32'3" PROPOSED RIDGE HT FROM BACK GRADE  
LIVABLE SF: 2,131 SF  
FIRST FLOOR 1,481 SF  
3/4 STORY 650 SF  
BASEMENT 0 SF  
DECK 0 SF  
PORCH 0 SF  
GROSS SF: 4,132 SF  
FIRST FLOOR 1,481 SF  
3/4 STORY 831 SF  
BASEMENT 1,481 SF  
DECK 240 SF  
PORCH 99 SF  
AREA OF FOOTPRINT: 1,721 SF  
PROPOSED PATIO: 246 SF  
PROPOSED DRIVEWAY: 2,928 SF  
PROPOSED PARKING SPOTS: 5  
PROPOSED SETBACKS:  
FRONT: 8'6"  
REAR: 32'10"  
LEFT: 11'4"  
RIGHT: 50'8"  
PROPOSED LOT COVERAGE: 18.99%  
PROPOSED PARCEL AREA: 0.0395 ACRES

SITE PLAN



SITE PLAN

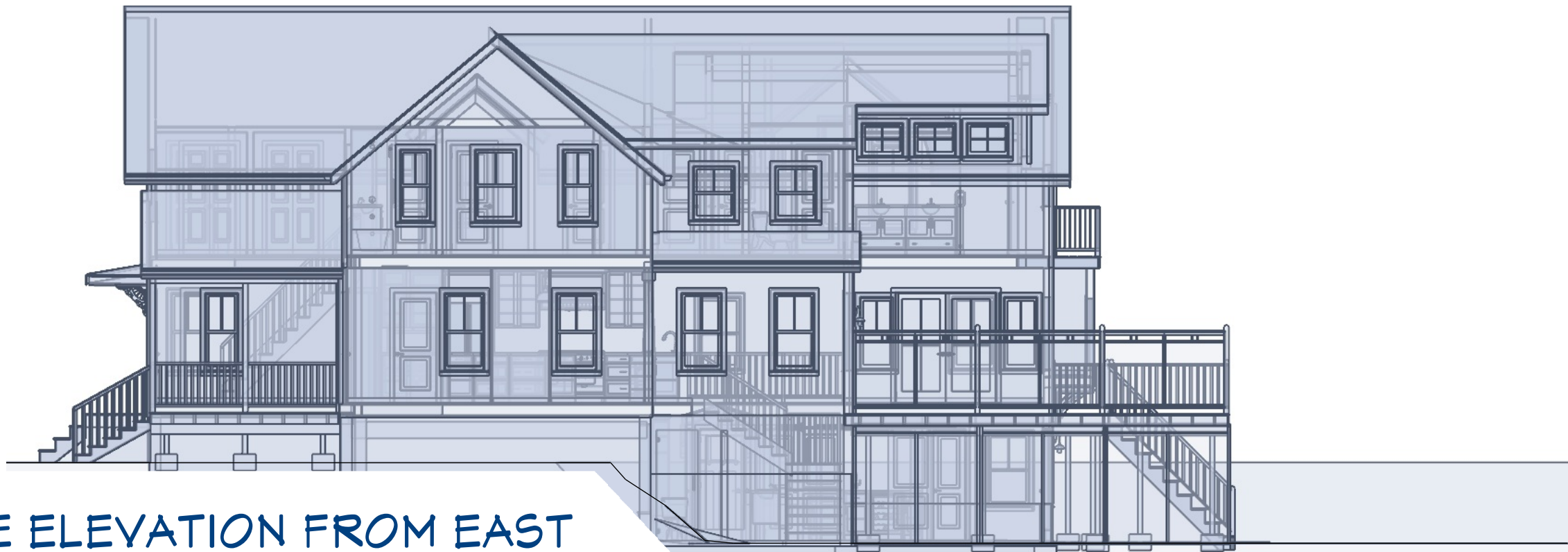
SCALE: 1" = 10'-0"

CAD BLOCK GUIDE

- EXISTING FOOTPRINT (831 SF)
- EXISTING DECK TO BE REMOVED (164 SF)
- EXISTING DRIVEWAY TO BE REMOVED (632 SF)
- PROPOSED ADDITION (650 SF)
- PROPOSED DECK (240 FT)
- PROPOSED DRIVEWAY PARKING SF (636 SF)
- PROPOSED DECK THAT COMPLIES WITH SETBACK



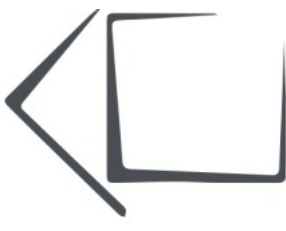
GOOGLE SATELLITE SITE



GLASS HOUSE ELEVATION FROM EAST

SCALE: 1/8" = 1'-0"

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



SITE PLAN

DRAWING INDEX

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- ELEVATIONS
- SECTION
- FRAMING
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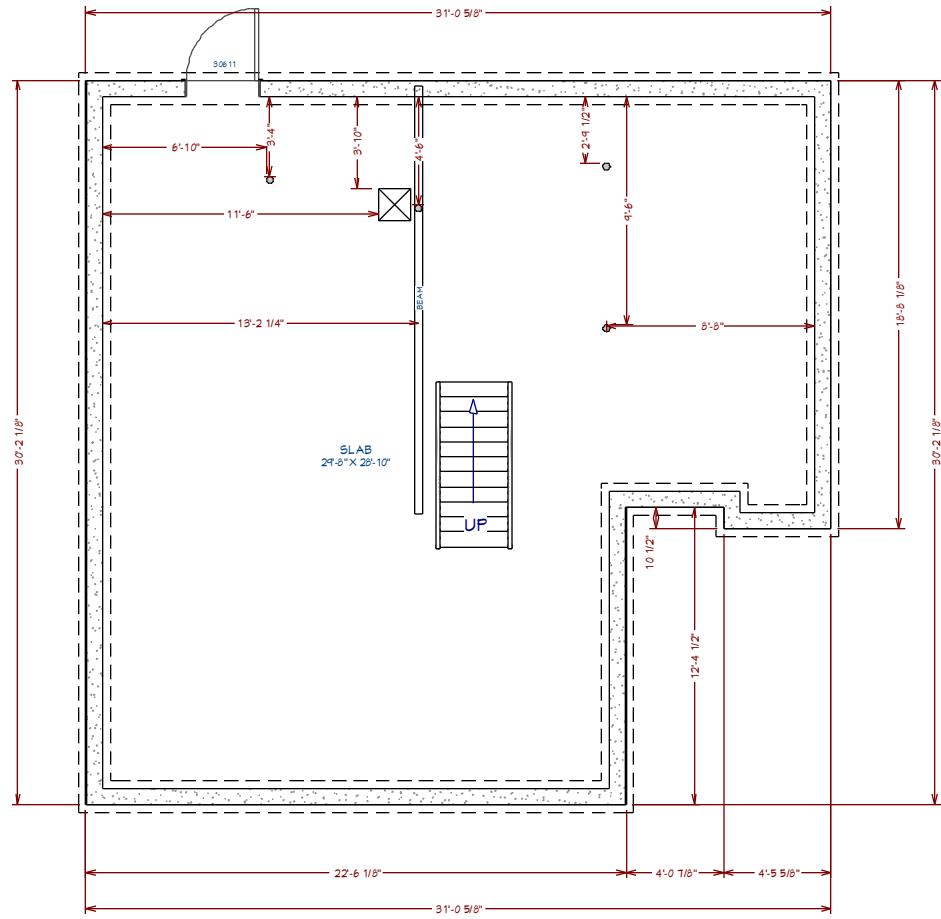
SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

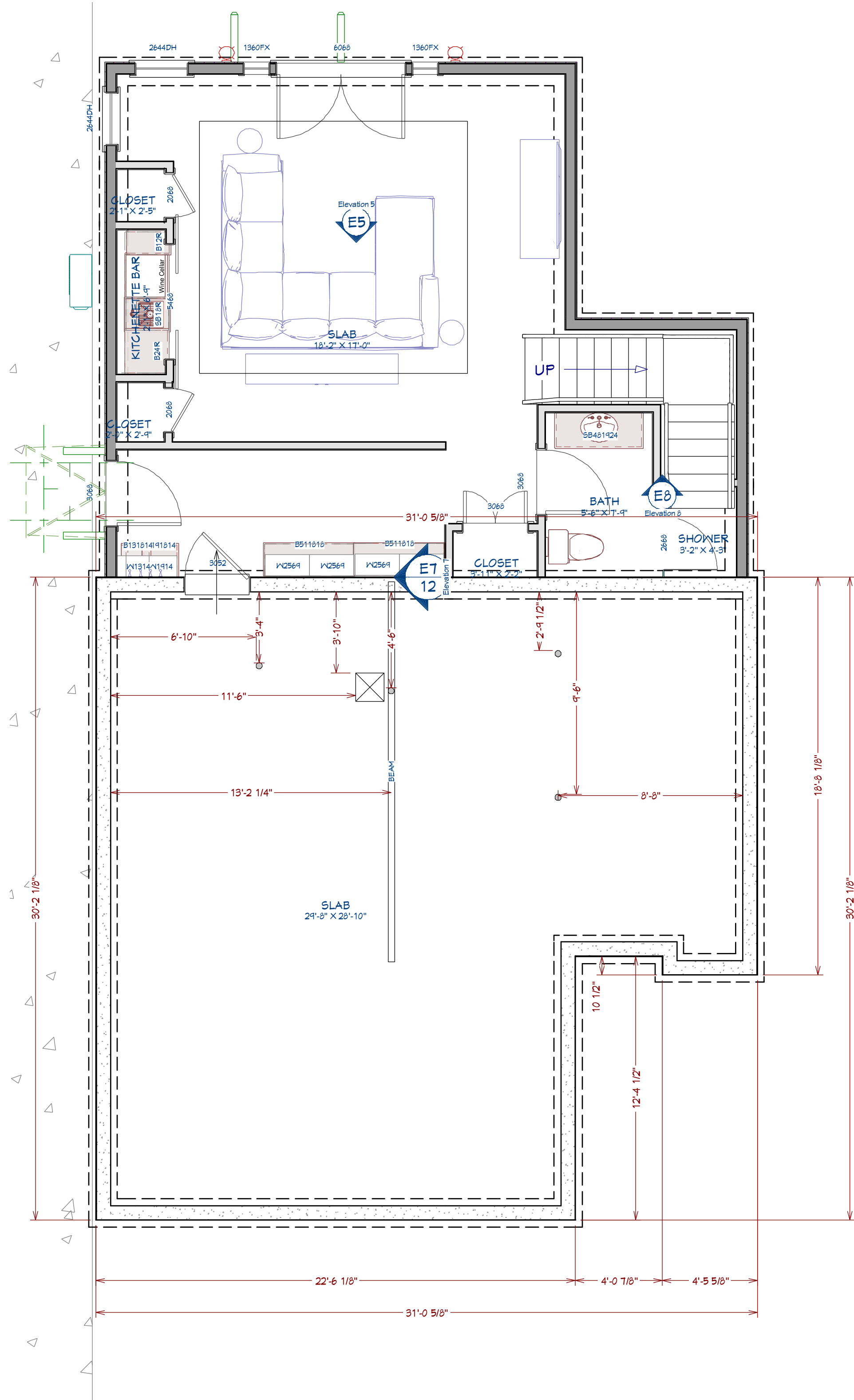
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EXISTING FOUNDATION PLAN

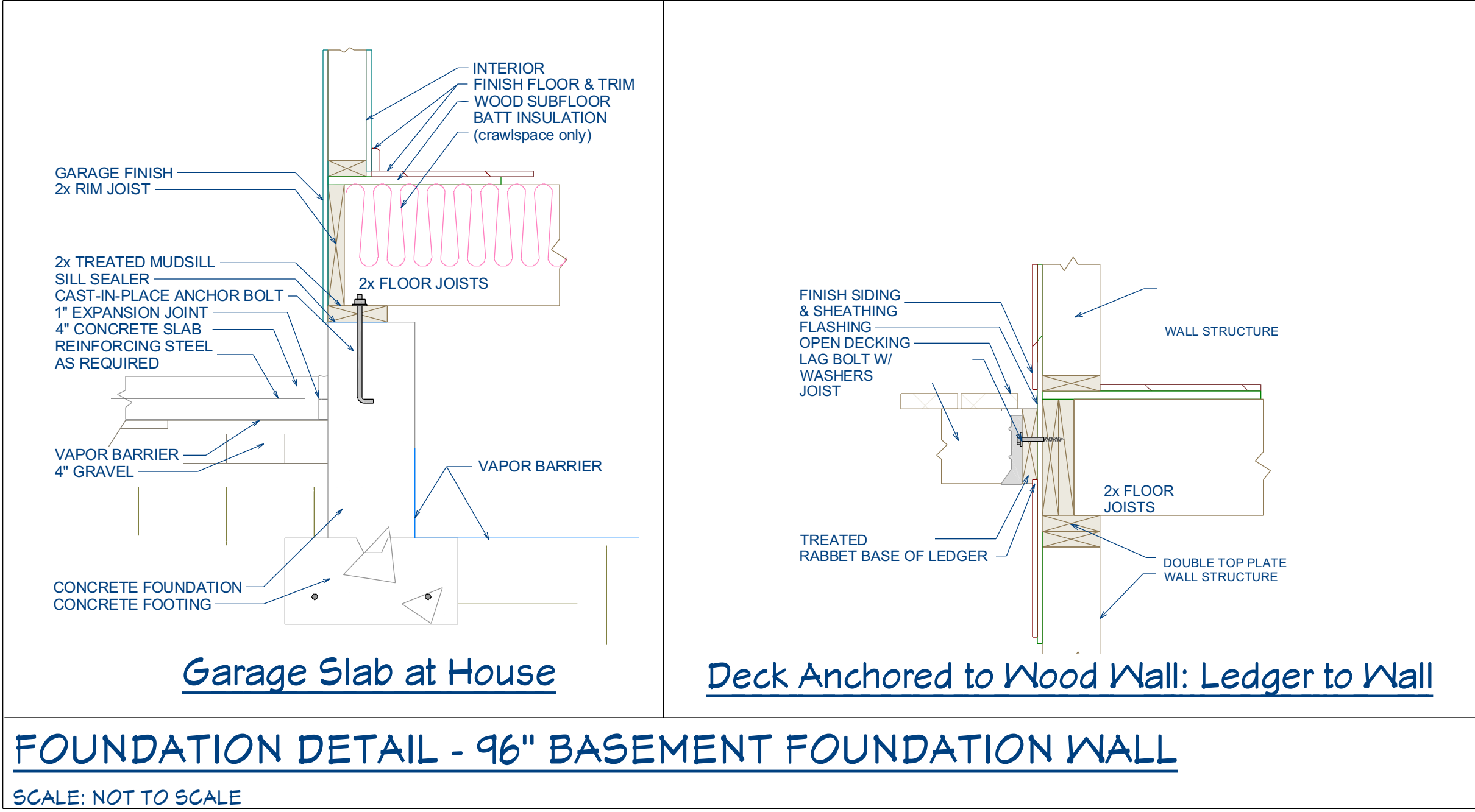
SCALE: 1/8" = 1'-0"



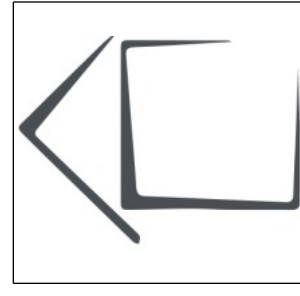
NOTE:  
1. ALL DIMENSIONS ARE FROM FRAMING TO FRAMING  
2. ALL BOTTOM OF HEADERS TO BE HUNG @ \_\_\_\_"

PROPOSED FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



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FOUNDATION

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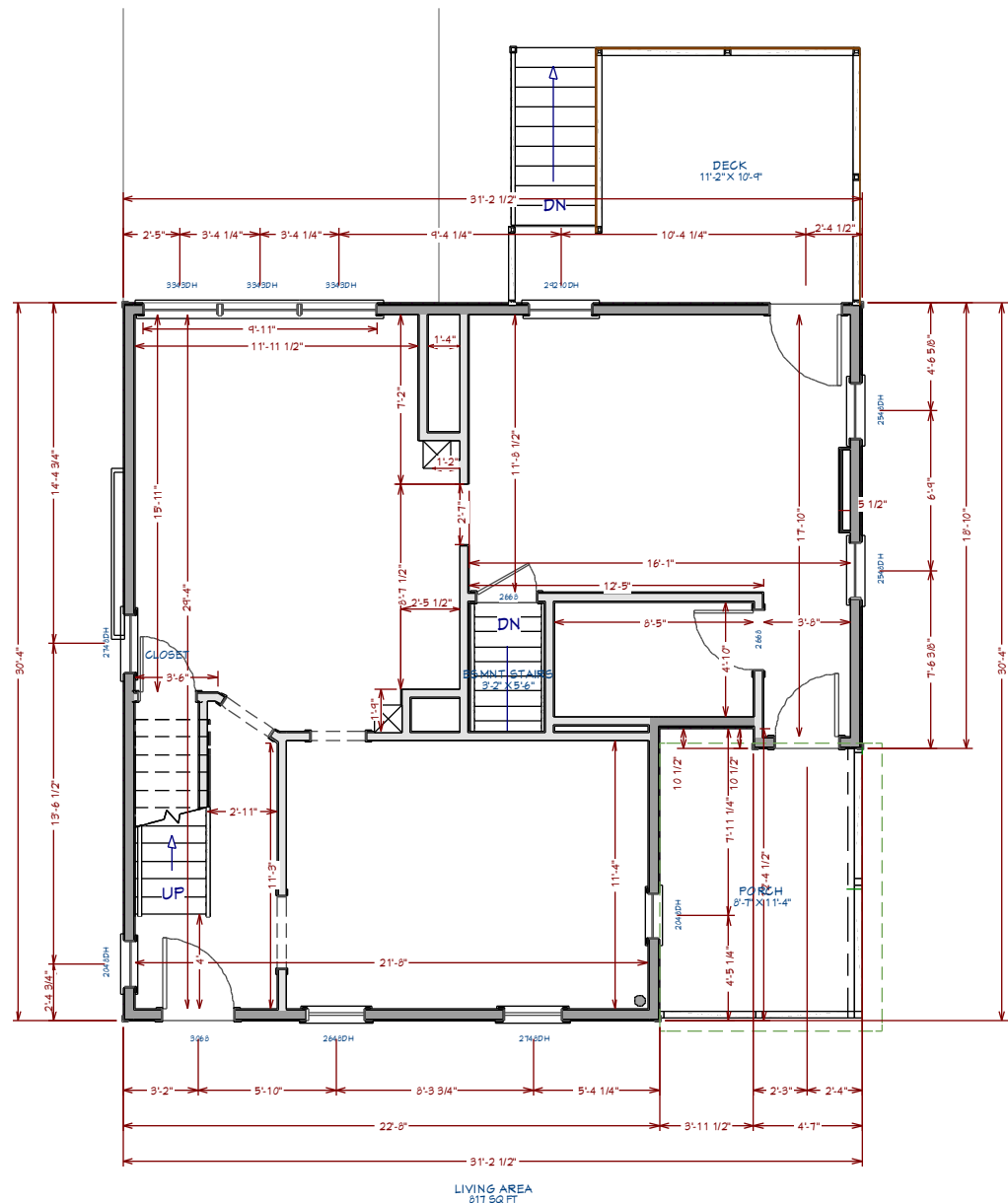
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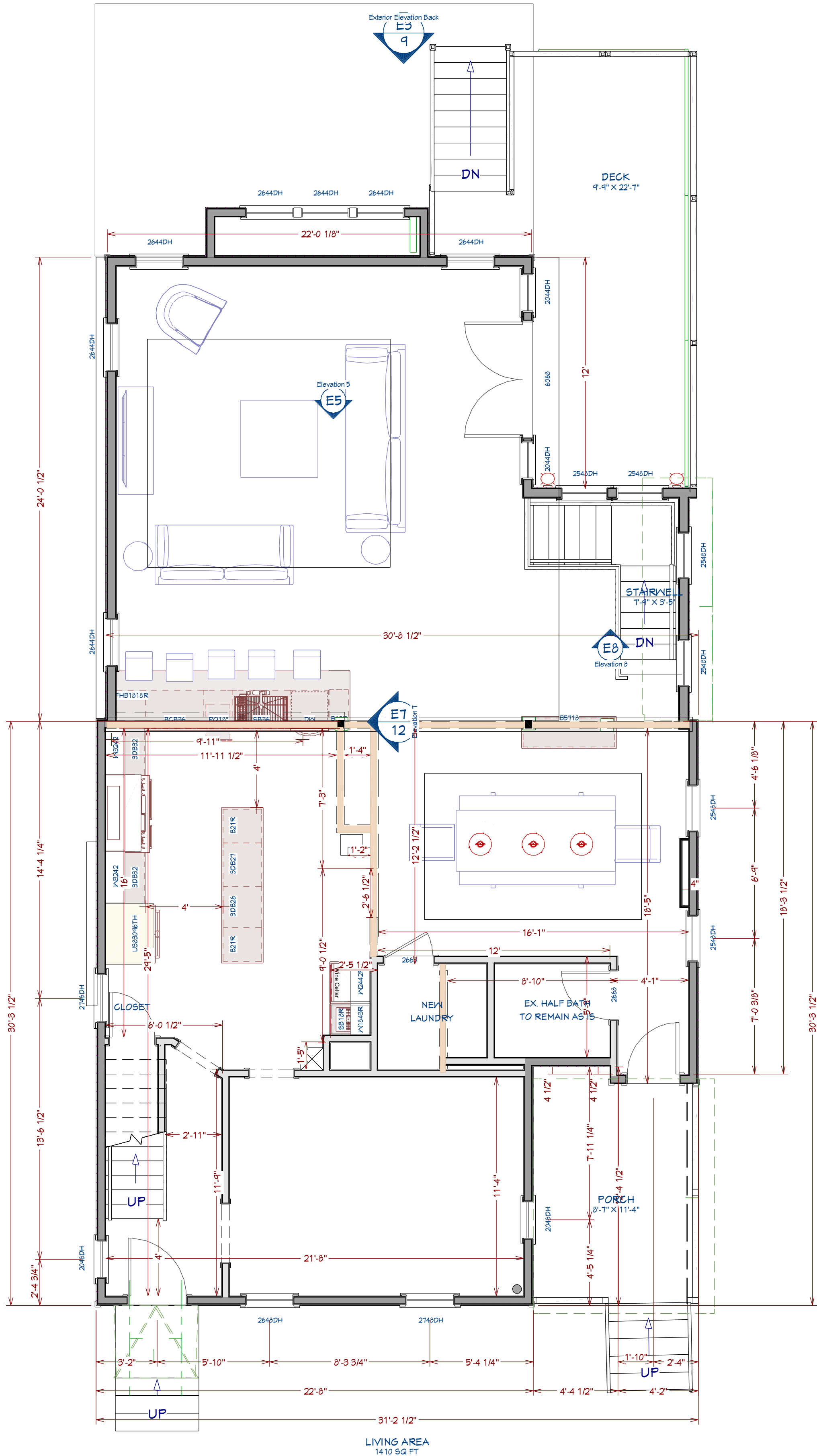
DRAWING SCALE

SHEET:

A5



EXISTING FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

WALL LEGEND

= EXTERIOR WALL

= INTERIOR 6

= INTERIOR 4

= DEMO WALL

= GLASS TOP TILE BOTTOM PONY WALL

= GLASS SHOWER WALL

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.

FIRST FLOOR

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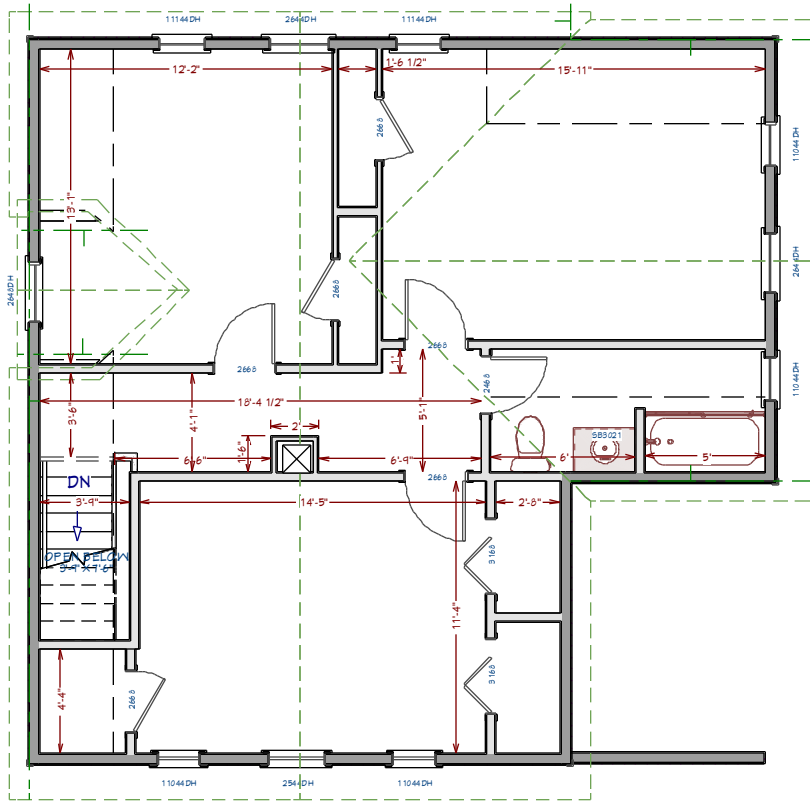
SCALE:

SCALED FOR: 24" X 36"

DRAWING SCALE

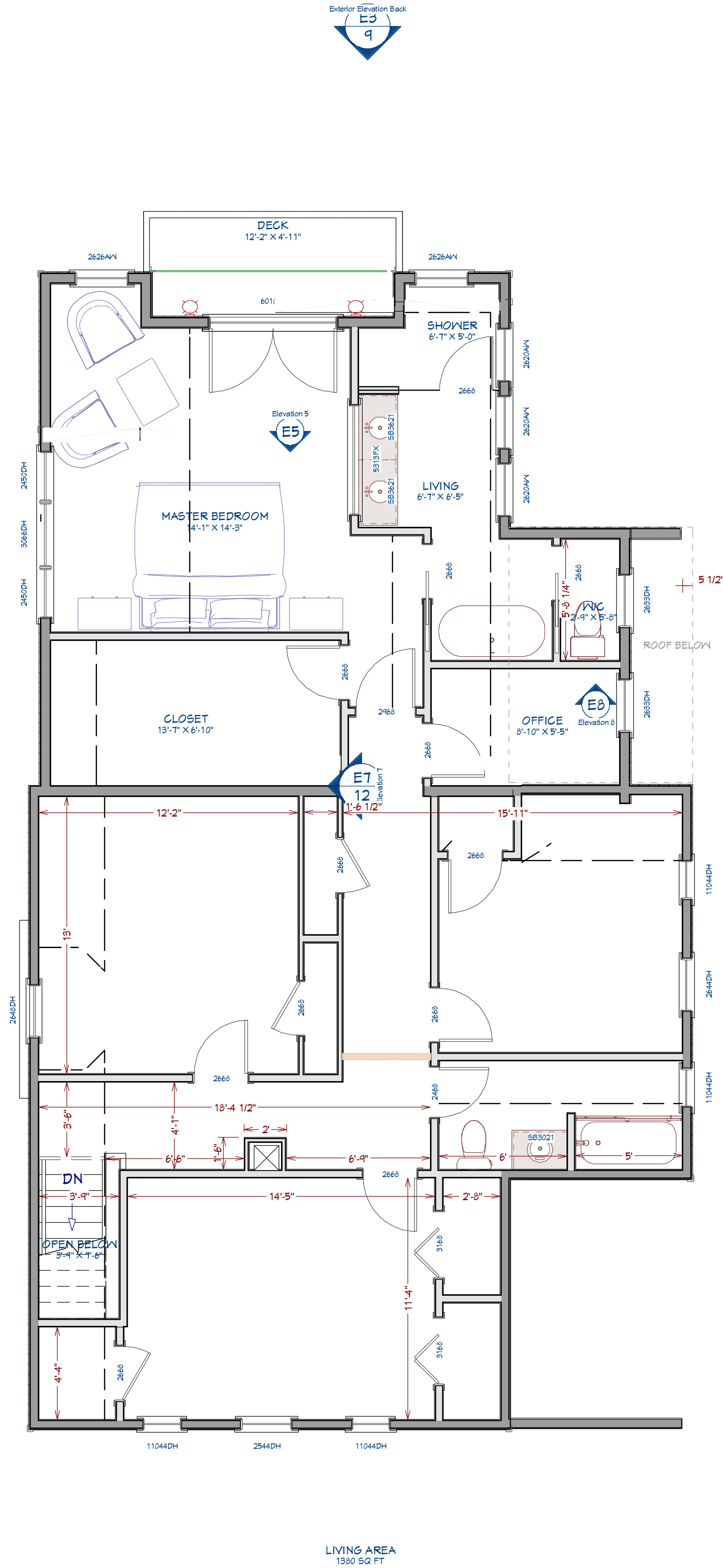
SHEET:

A6



### EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



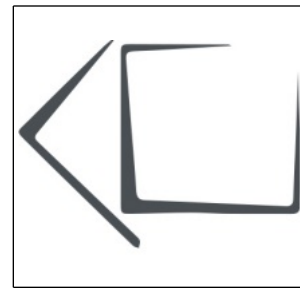
### PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

#### WALL LEGEND

- [Solid Line] = EXTERIOR WALL
- [Grid Pattern] = INTERIOR 6
- [Solid Line] = INTERIOR 4
- [Diagonal Hatching] = DEMO WALL
- [Double Line] = GLASS TOP TILE BOTTOM PONY WALL
- [Dashed Line] = GLASS SHOWER WALL

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### SECOND FLOOR

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#### SCALE:

SCALED FOR:  
24" X 36"

#### DRAWING SCALE

#### SHEET:

A7  
SECOND FLOOR PLAN





NORTH ELEVATION PHOTO | FRONT VIEW

SCALE: NOT TO SCALE



NOTE: REPLACE EXISTING FRONT DECK DOOR WITH DUTCH DOOR 2/2 LITES

NORTH ELEVATION EXISTING | FRONT VIEW (NO CHANGES)

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION PHOTO | REAR VIEW

SCALE: NOT TO SCALE



SOUTH ELEVATION EXISTING | REAR VIEW

SCALE: 1/4" = 1'-0"



NOTE: AIR CONDENSER  
LOCATED ABOVE

SOUTH ELEVATION PROPOSED | REAR VIEW

SCALE: 1/4" = 1'-0"

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SCALE:

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24" X 36"

DRAWING SCALE

SHEET:

A9  
ELEVATIONS





EAST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"



EAST EXISTING ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"



EAST PROPOSED ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"

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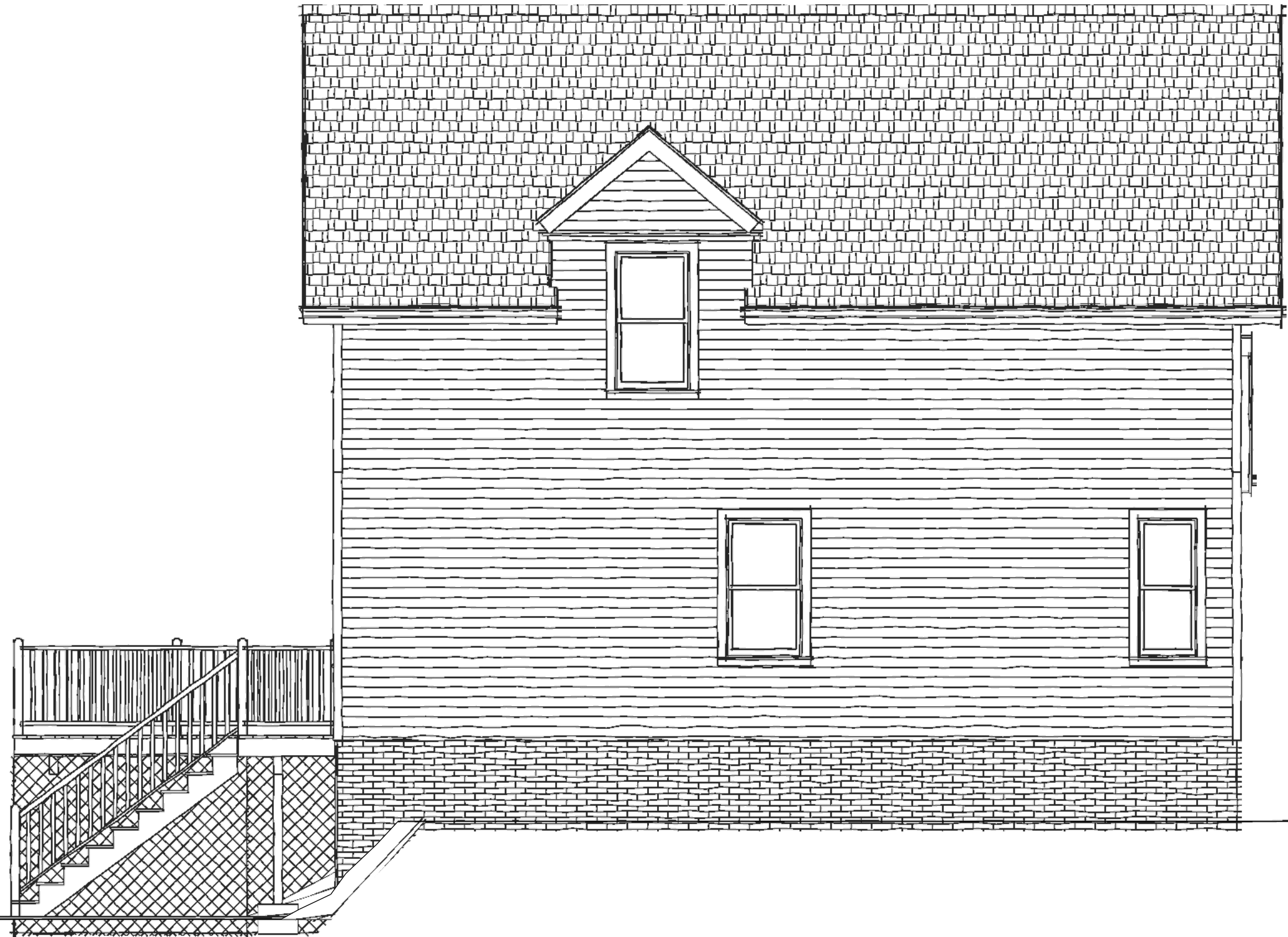
A10  
ELEVATIONS





WEST ELEVATION PHOTO | SIDEVIEW

SCALE: 1/4" = 1'-0"



WEST EXISTING ELEVATION | SIDEVIEW

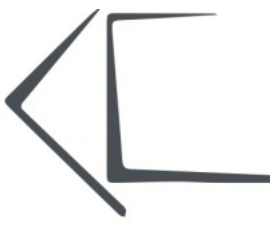
SCALE: 1/4" = 1'-0"



WEST PROPOSED ELEVATION | SIDEVIEW

SCALE: 1/4" = 1'-0"

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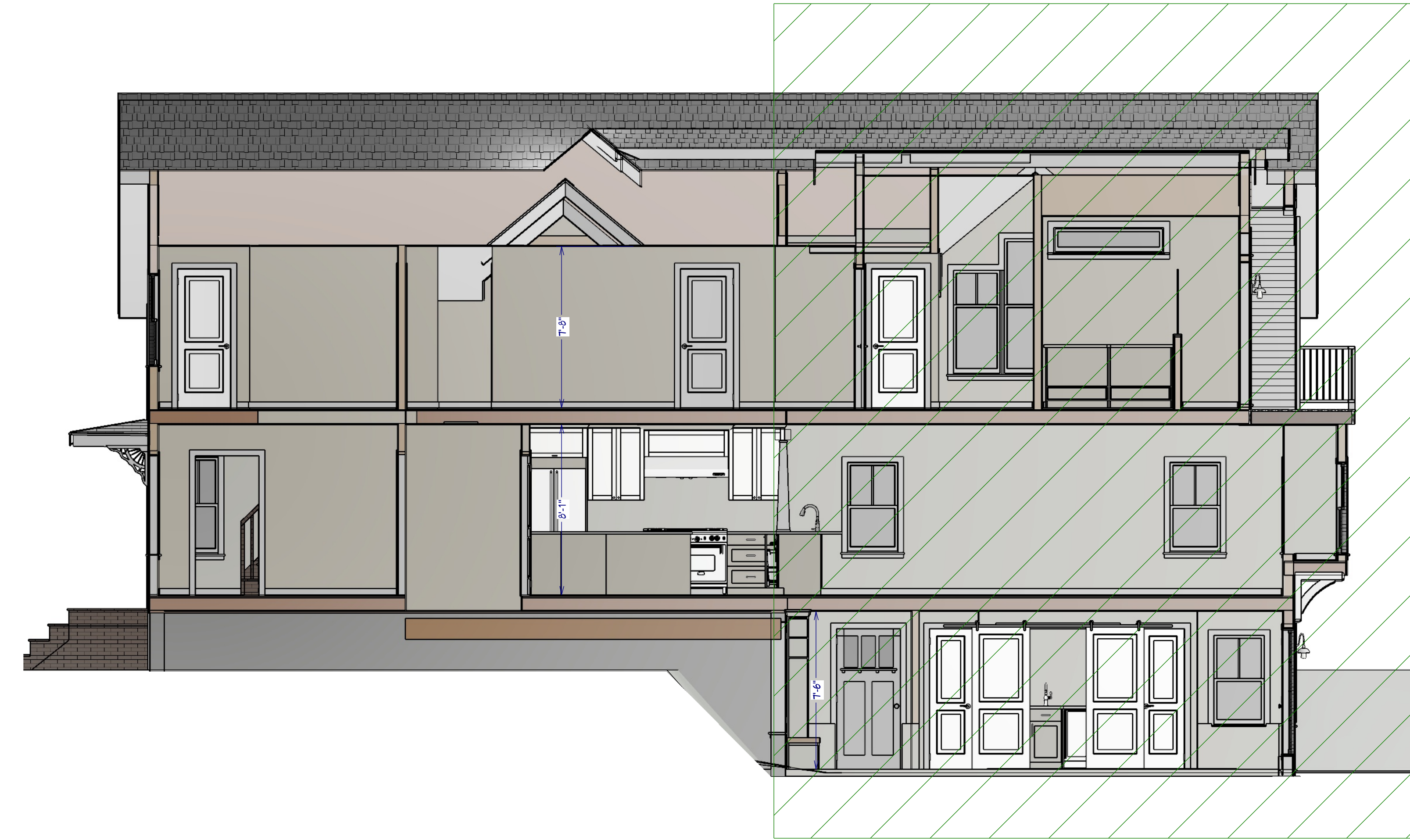
SCALED FOR:  
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DRAWING SCALE

SHEET:

A11  
ELEVATIONS



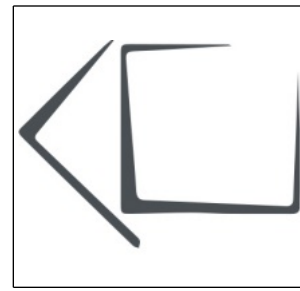


PROPOSED ADDITION

SECTIONS

SCALE: 1/4" = 1'-0"

PRELIMINARY SET FOR BID SET ONLY - NOT FOR CONSTRUCTION USE.



SECTION

DRAWING INDEX

- 1 OVERVIEW
- 2 GLASS HOUSE OVERLAY
- 3 SITE PLAN
- 4 DEMO
- 5 FOUNDATION
- 6 FIRST FLOOR
- 7 SECOND FLOOR
- 8 WINDOW & DOOR SCHEDULE
- 9 ELEVATIONS
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- 13 FRAMING
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- 15 ROOFS
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- 18 PLUMBING
- 19 KITCHEN
- 20 BATH
- 21 CABINETRY
- 22 PERSPECTIVES

CLIENT:

TIM & ALEX LIETO  
50 NEW CASTLE AVE  
PORTSMOUTH, NH

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amy@amyduttonhome.com  
207.703.0696

DATE:

8/20/20

SCALE:

SCALED FOR:  
24" X 36"

DRAWING SCALE

SHEET:

A12