

September 20, 2024



Dear City Council Members,

We are reaching out as we bought a recently subdivided lot off of the back of 15 Lafayette Road, now 185 Orchard Street, to build our primary residence, a single family home. We have spent the last several months putting together the engineering and architectural plans. I am attaching the survey showing the subdivision, our architectural drawings, and some photos of existing homes in our neighborhood for comparison to this letter.

We submitted our building permit with the plans just over 2 months ago, and it has been brought to our attention that the land is in the Historic District Overlay Zone. We were never informed we would need HDC approval to build on the land and that it would remain in the Historical District once the subdivision took place, but obviously we were informed incorrectly, which is why we are writing this letter. We are asking to remove our lot from the Historical District for several reasons which we have laid out below:

- The Historic District Overlay Zone was extended down Middle Street and Lafayette Road from South Street to State Street because it is considered a "gateway" into the city. All properties with direct frontage on the stretch of Lafayette Road (from South St) and Middle Street down to State Street are considered part of the Historic District Overlay Zone. The subject property has no frontage, in fact, it does not directly abut Lafayette Road or Middle Street.
- Some properties that are located on the corner lots of Lafayette Road from South Street down to State Street are considered part of the Historical District. The subject lot is not a corner lot abutting Lafayette Road or Middle Street.
- The subject property's frontage is on Orchard Street. No properties on Orchard Street are in the Historical District.
- The structure being built coincides with the zoning requirements for GRA (plans attached)
- The character of the Historic District Overlay Zone will not be affected, as the structure will not be able to have any direct visibility from Lafayette Road or Middle Street.
- Constructing the home in its current location will not contradict with the spirit of the city's zoning of the HDC overlay district as a "gateway" into the city.

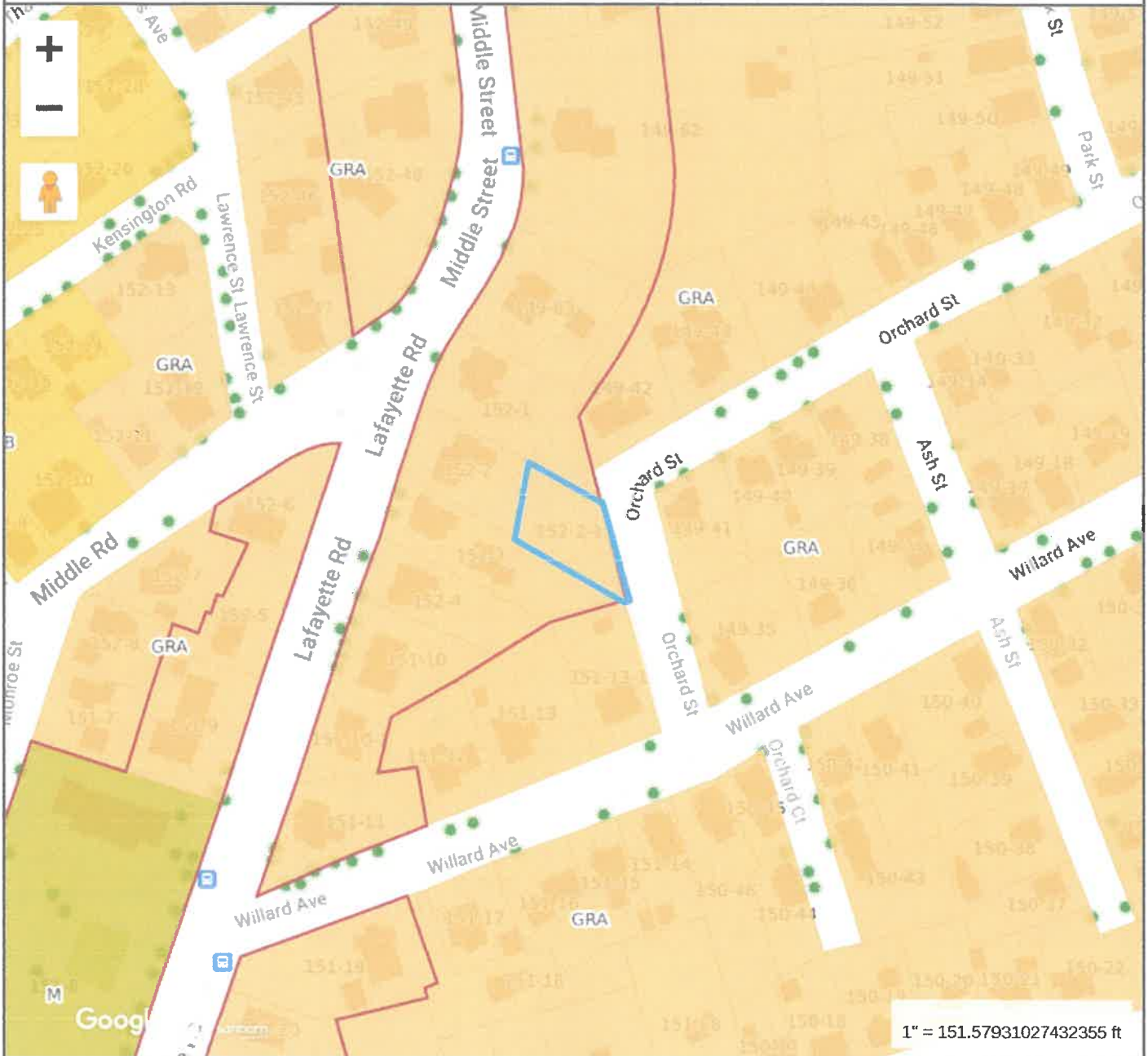
We understand that this is a rare ask, but after reviewing the HDC's guidelines and current zoning, we feel this should be granted as an exception, and we kindly ask for your help doing so. Our intentions are to in no way take away from the historical character of our City's "gateway" to downtown. Our house's characteristics fall in line with other houses on our street that are not part of the HDC jurisdiction, and we are asking to join them. Our lot was not created until after the Historic District Overlay Zone was determined, and the original lot was one undivided lot. We were trying to get the foundation in the ground prior to winter, as we have had our permit in for a couple months now, and we're trying to get our house built in a timely manner for our family to move in by this coming Spring.

Thank you for taking the time to read this and for taking our ask into consideration. If you have any questions please do not hesitate to reach out.

  
Jessie and Scott Rafferty

185 Orchard Street, Portsmouth, NH 03801

*srafferty@ocrandco.com*  
*603-767-8929*



Property Information

Property ID 0152-0002-0000  
 Location 15 LAFAYETTE RD  
 Owner LOADER CHRISTOPHER J & AMY



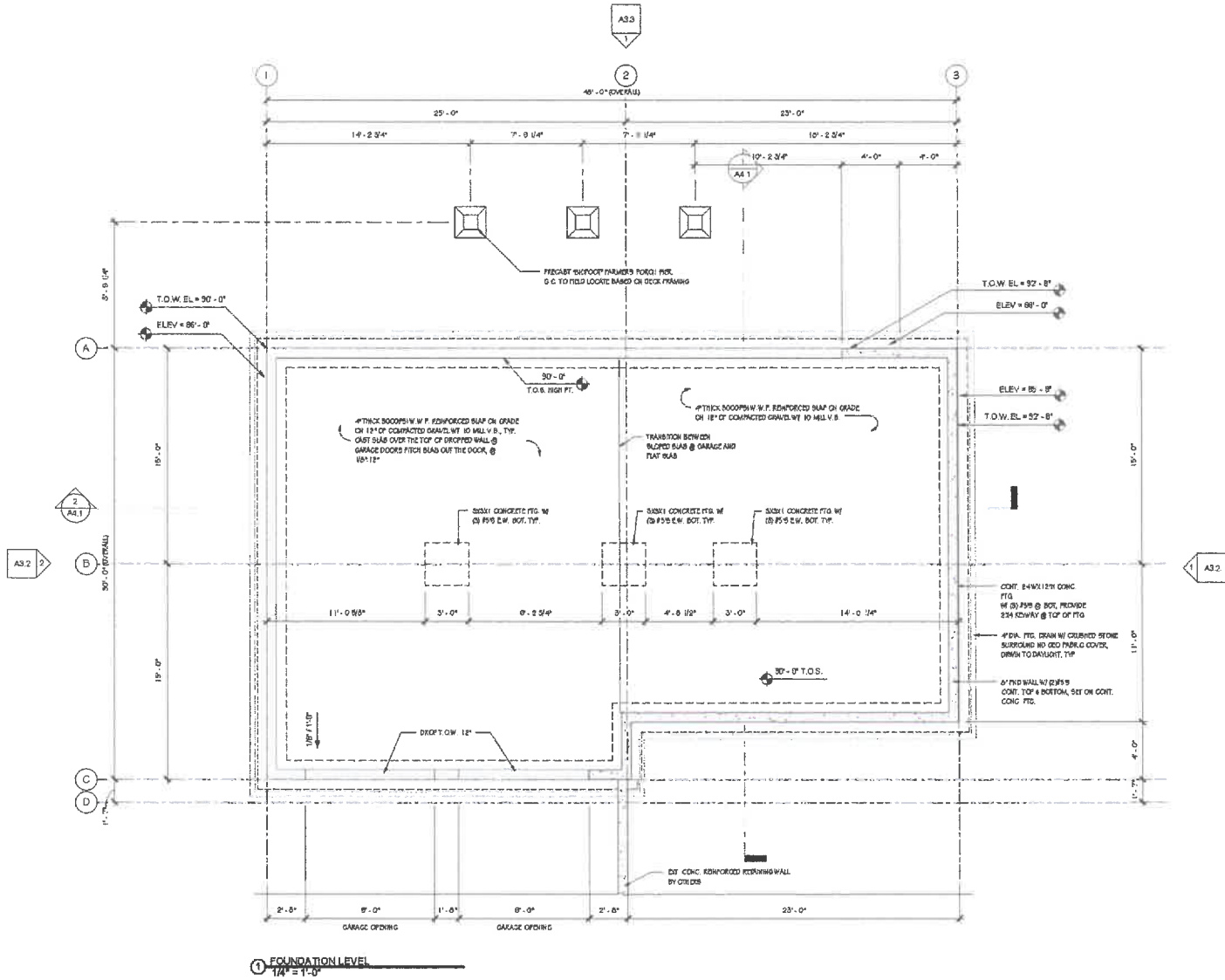
MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 09/18/2024  
 Data updated 3/9/2022

Print map scale is approximate.  
 Critical layout or measurement activities should not be done using this resource.





1 FOUNDATION LEVEL  
1/4" = 1'-0"

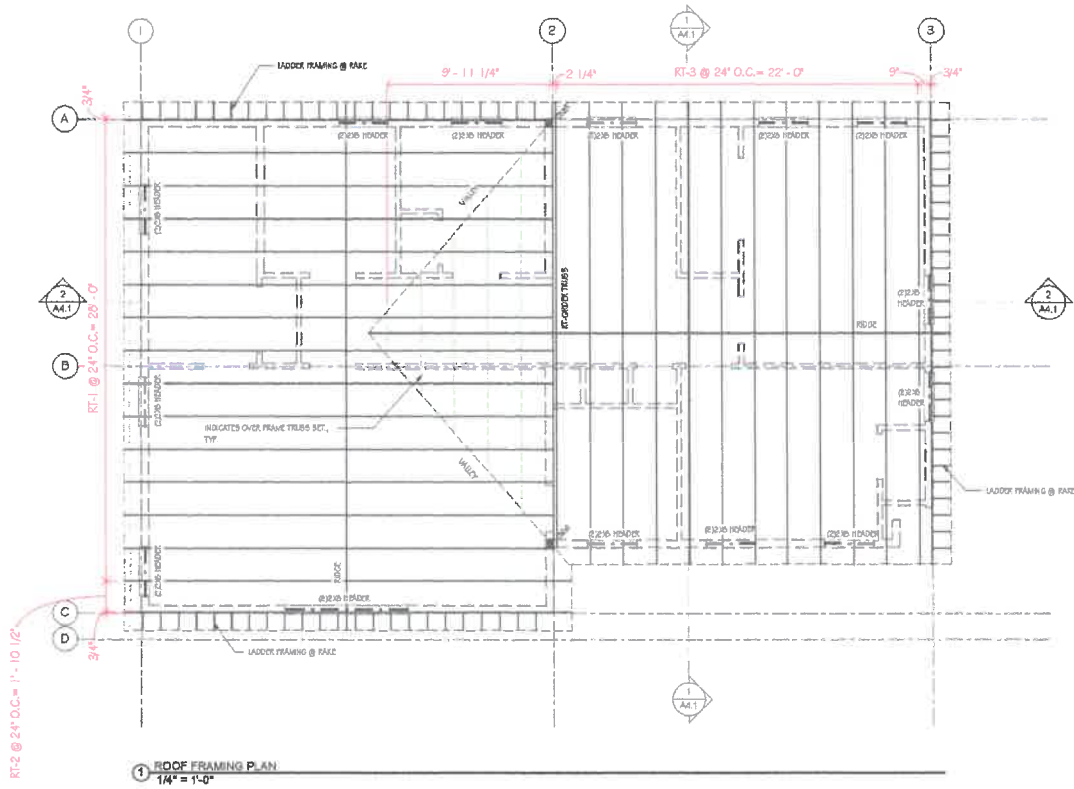
**STRUCTURAL NOTES:**

1. HOME TO HAVE 4" TALL BASEMENT WALL & GARAGE TO HAVE 4" TALL FROST WALLS
2. TYPICAL BRICK CORE FOOTINGS SHALL BE MINIMUM 550#1 W/ (8) #5 S248 BAY @ BOTTOM
3. FOUNDATION FOOTINGS TO BE CONC. 12504 W/ (5) #5 CONC. @ BOTTOM @ D.F. @ 6" BELOW GRADE
4. PROVIDE 234 KEYWAY @ FOOTING TO FOUNDATION WALL
5. FOUNDATION WALLS TO BE 6" THICK W/ (2) #5 CONC. @ TOP, MID & BOTTOM
6. ALL FOOTINGS & FND FOUNDATIONS SHALL BE SET TO A MIN. OF 48" BELOW GRADE FOR FROST PROTECTION
7. G.C. TO COORDINATE IN FIELD T.O.F. & STEP FROM LOCATORS AS REQUIRED TO MAINTAIN FROST PROTECTION
8. ALL FOUNDATIONS SHALL RECEIVE TWO COATS OF EXTERIOR DAMP PROOFING FROM T.O.F. TO 6" BELOW FINISH GRADE
9. DAMPROOF SHALL HAVE FOOTING PROTECTIVE DRAIN RUN TO EXISTING
10. SILL PLATE BRACKETS SHALL BE 10" LONG 1/2" GALV. BRACKETS W/ 6" EMBROIDMENT, SPACED 48" O.C. MAX. W/ MAX. 18" FROM CORNER, MIN. (2) BOLTS PER PLATE
11. PROVIDE CONC. SILL BRK. W/ 1/2" UNDER P.T. WD. SILL PLATE
12. ALL FLOOR JOISTS SHALL BE 2" X 12 S.D. SPACED @ 17" O.C. @ 16" O.C.
13. ALL WINDBRK BOARDING WALLS TO BE 2" X 4 S.D. W/ STUDS @ 16" O.C. OR BETTER
14. ALL FLOOR JOISTS TO BE 2" X 12 W/ WOOD TRUSS GIRDERS & BRIDGES TO WD. JOISTS
15. INSTALL DOOR BOLD DOWN IN EXT. WALL CORNERS W/ LESS THAN 48" OF CONC. WALL OPENING
16. ALL WINDOW & DOOR HEADERS NOT DIMENSIONED ON PLANS SHALL BE (2) 2X6 W/ NO. 1 OR BETTER
17. PROVIDE DOUBLE JACK STUDS ON OPENINGS LARGER THAN 4'-0"

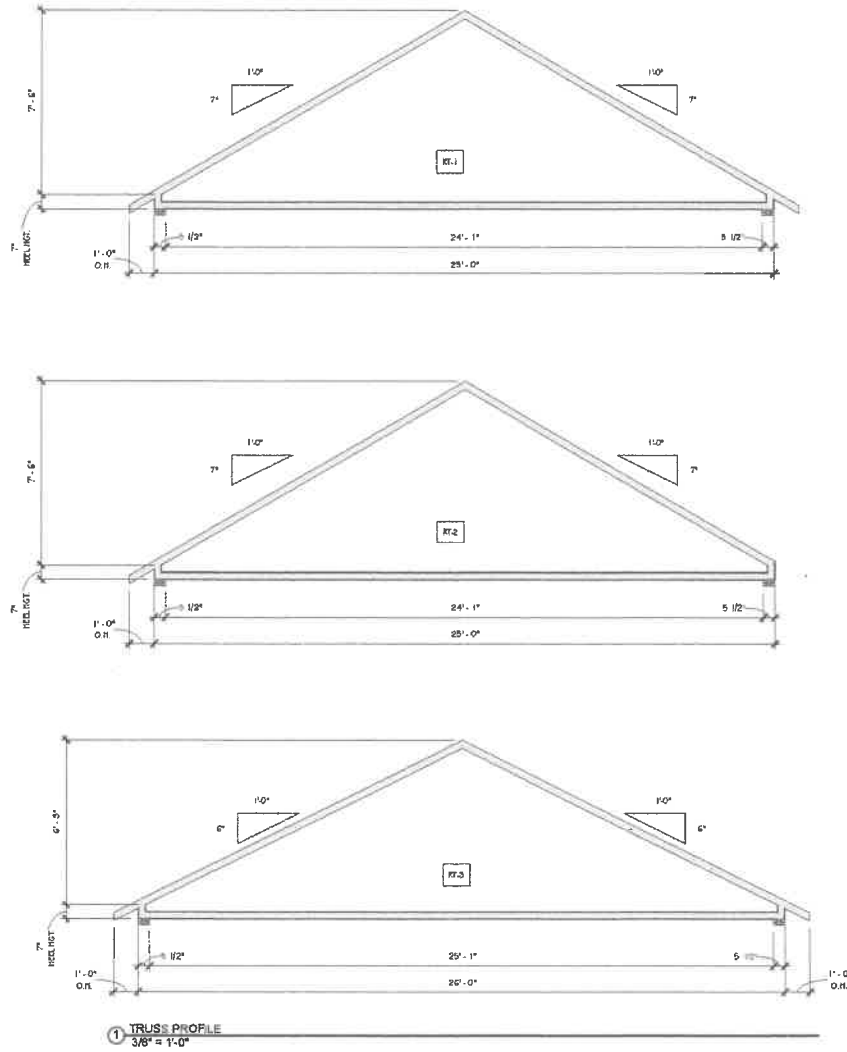
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FOR CONSTRUCT  
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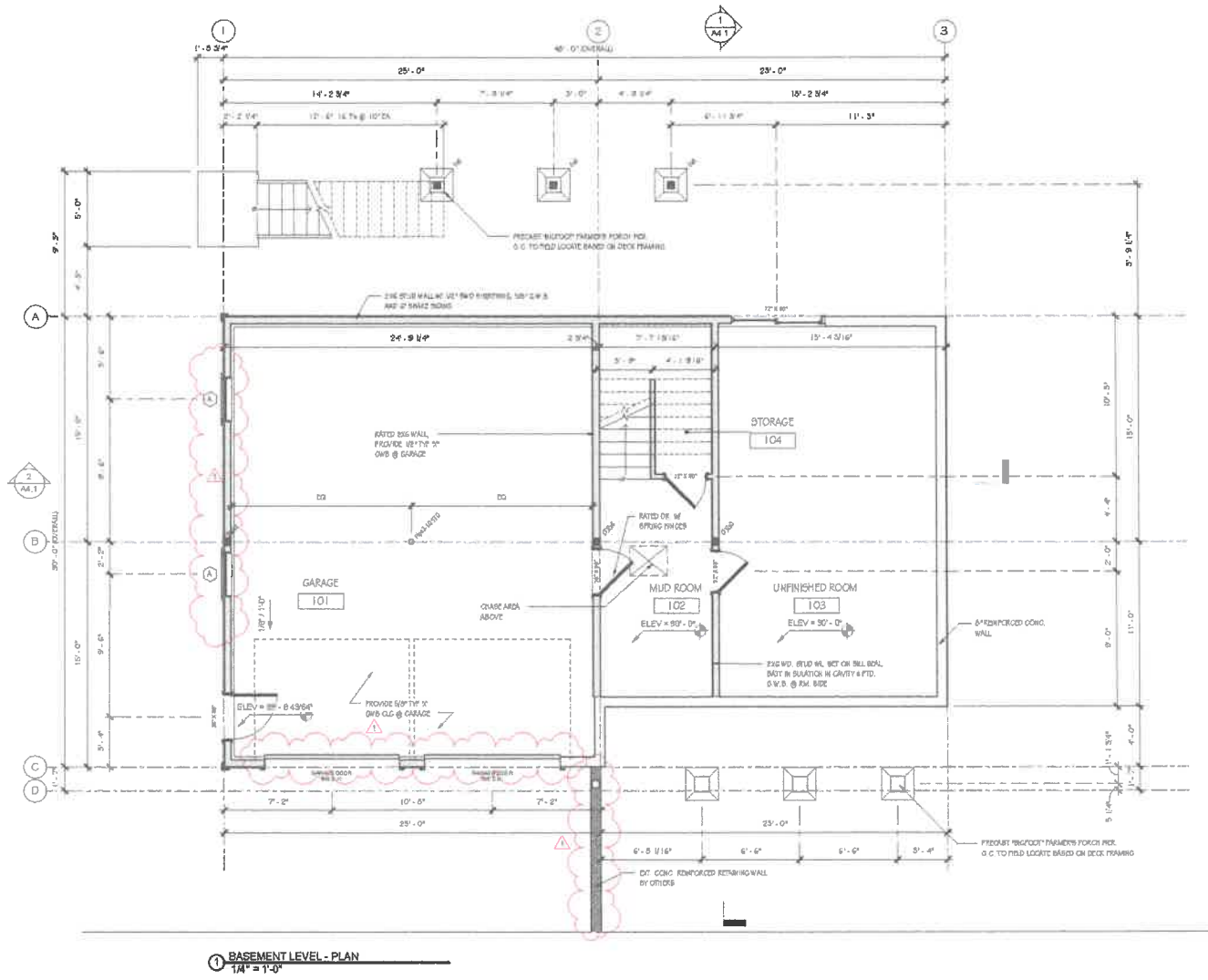


**STRUCTURAL LOCAL NOTES, U.N.O.:**

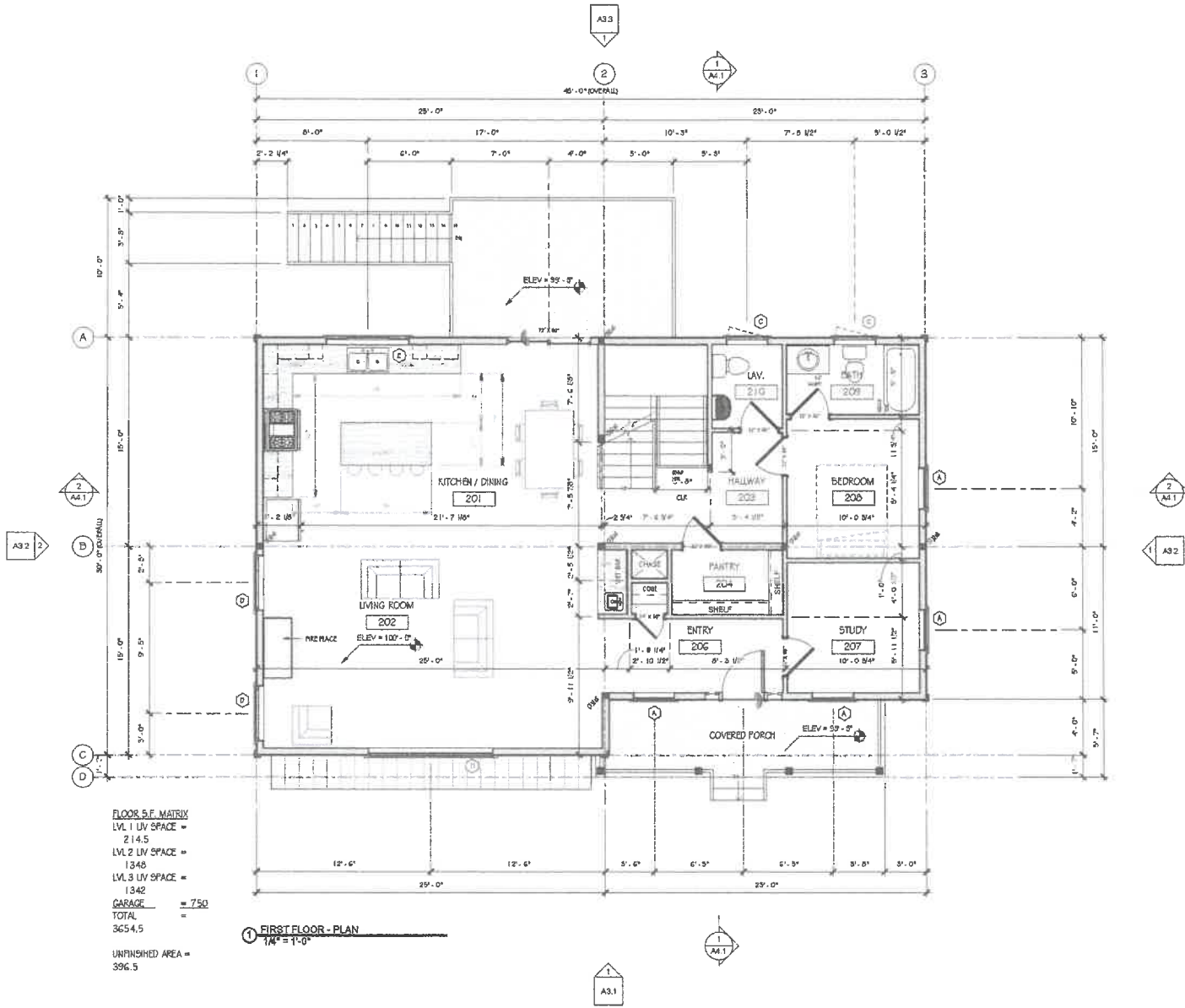
1. ALL WORK, MATERIALS AND INSTALLATION OF ALL ITEMS AND PRODUCTS SHALL CONFORM TO CURRENT CODE, STANDARD PRACTICE AND MANUFACTURE REQUIREMENTS.
2. ALL FOOTINGS & SLABS OR GRADES SHALL BE ON UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 1,500 PSF. THE OWNER IS ENCOURAGED TO OBTAIN GEOTECH TESTING AT THE OWNER'S CORNER.
3. ALL FOUNDATION, RETIC WALLS, FOOTING, ISOLATION FOOTING, AND INTERIOR SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. ALL GARAGE SLABS AND ALL EXTERIOR SLABS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI.
5. FOUNDATION FOOTINGS TO BE CON. 12" X 24" W/ #3 @ 18" S/COR. @ BOTTOM. 8" O.C. @ 40" BELOW GRADE. MIN. O.C. TO V.I.P., STOP ITD. AS REQD.
6. PROVIDE #4 BOWTIES @ 40" O.C. W/ 14" ENDS INTO STEEL WALL. STD. ROCK INTO ITD. BOT. PER IRC SECTION 600.
7. TYPICAL INTERIOR CON. FOOTINGS SHALL BE MINIMUM 300X11" W/ #3 @ 18" S/COR. MIN. @ BOTTOM.
8. TYPICAL FOUNDATION FROSE WALLS TO BE 8" THICK W/ #1 REIN. COR. @ TOP, MID & BOTTOM.
9. PROVIDE TWO COURTS OF DRAIN FOOTING ON THE EXT. FACE OF MID WALL FOOTING.
10. FOR ALL OCCUPIED ELEMENTS OR IF BITE WATER TRAILS REQUIRED, PROVIDE 4" PVC ITG. DRAIN PIPE & GEO FABRIC PER DETAIL. RUN PIPE TO DAY LIGHT.
11. ALL FLOOR ANCHORS SHALL BE 6" DIA. 10" LONG 2" BOLTS W/ #4 SUBMERG. SET TO BE IN MID. 1/3 OF WD. SPACE.
12. ANCHOR BOLTS SPACING SHALL BE 4'-0" O.C. MAX. 4" (2" FROM CORNER MAX.) (2) BOLTS PER PLATE MAX. PROVIDE STANDARD WASKER & NUT FOR DR.
13. ANY LUMBER EXPOSED TO WEATHER, OR IN CONTACT W/ CONCRETE OR STEEL SHALL BE PRESSURE TREATED (P.T.) LUMBER. ANY LUMBER IN DIRECT CONTACT W/ THE GROUND SHALL BE SAVED FOR SUCH.
14. PROVIDE CON. SILL BOLTS W/ 3/8" X 1'-0" SILL PLATE.
15. ALL NOMINAL STRUCTURAL LUMBER SHALL BE K.D. SPP No. 1 / No. 2, U.S.G.
16. ALL CONCRETE LUMBER AND STRUCTURAL MEMBERS SHALL BE WEATHERED FOR PRODUCTS OR APPROVED EQUAL AND SHALL BE INSTALLED PER MANUFACTURER LATEST REQUIREMENTS.
17. ALL FIRE ENGINEERED WOOD TRUSSES SHALL BE DESIGNED BY AN ENGINEER LICENSED IN THE STATE BEING DESIGNED IN THIS SHALL BE THE RESPONSIBILITY OF THE TRUSS PROVIDER.
18. REFER TO TYPICAL ASSEMBLY NOTES ON DWG SHEET FOR THE DESIGN INTENT OF ALL WALL SILL, RAFTERS, AND JOIST SIZES AND SPACING.
19. REFER TO FLOOR OR FRAMING PLANS FOR ALL HEADER, DIMS AND COL. SIZES.
20. ALL INTERIOR BRACING WALLS TO BE 2X6 14" O.C. OR BETTER.
21. ALL FLOOR BRACING SHALL BE 2X4 WITH OR TAG GUESS & WALLED TO WD. JOISTS. ADVANTAGE OR EQUAL, (WORD OR DWGS AS FLD.)  
- ALL EXTERIOR WALL BRACING SHALL BE 2X4 W/ 2X6.
22. INSTALL ROOF BOLD CORN IN EXT. WALL CORNERS W/ LESS THAN 40" OF CORN. WALL BRACING. O.C. TO V.I.P. AND COORDINATE THIS DETAIL AS REQUIRED.
23. ALL WINDOW & DOOR HEADERS NOT DESIGNATED ON PLANS SHALL BE 2X8S.
24. PROVIDE DOUBLE PILE STUDS OR OPENING LARGER THAN 4'-0". 4" STIFFENERS OR OPENING LARGER THAN 8'-0".
25. G.C. TO PROVIDE FASTENERS PER THE IRC PREScriptive METH CD, U.N.O.

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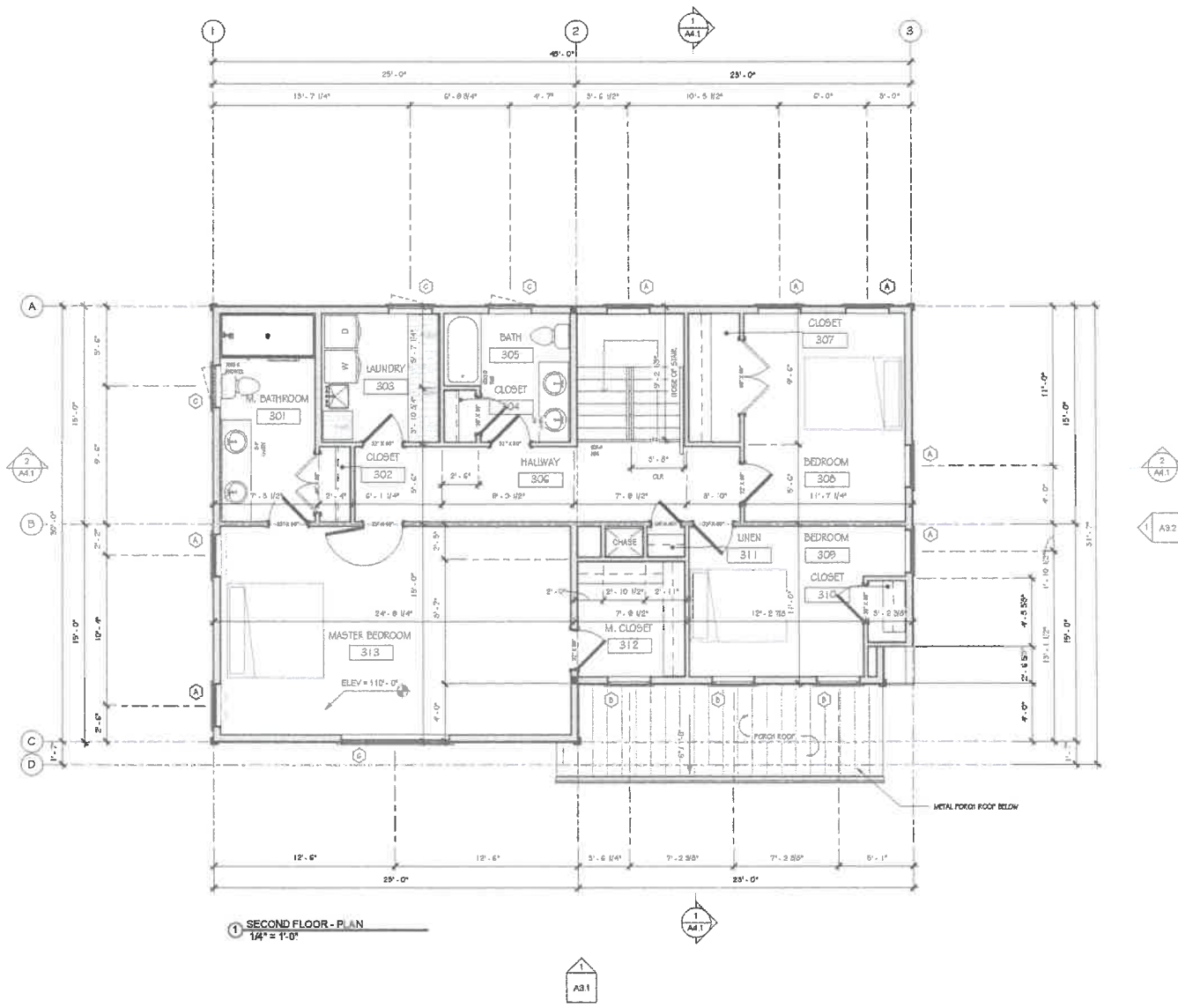




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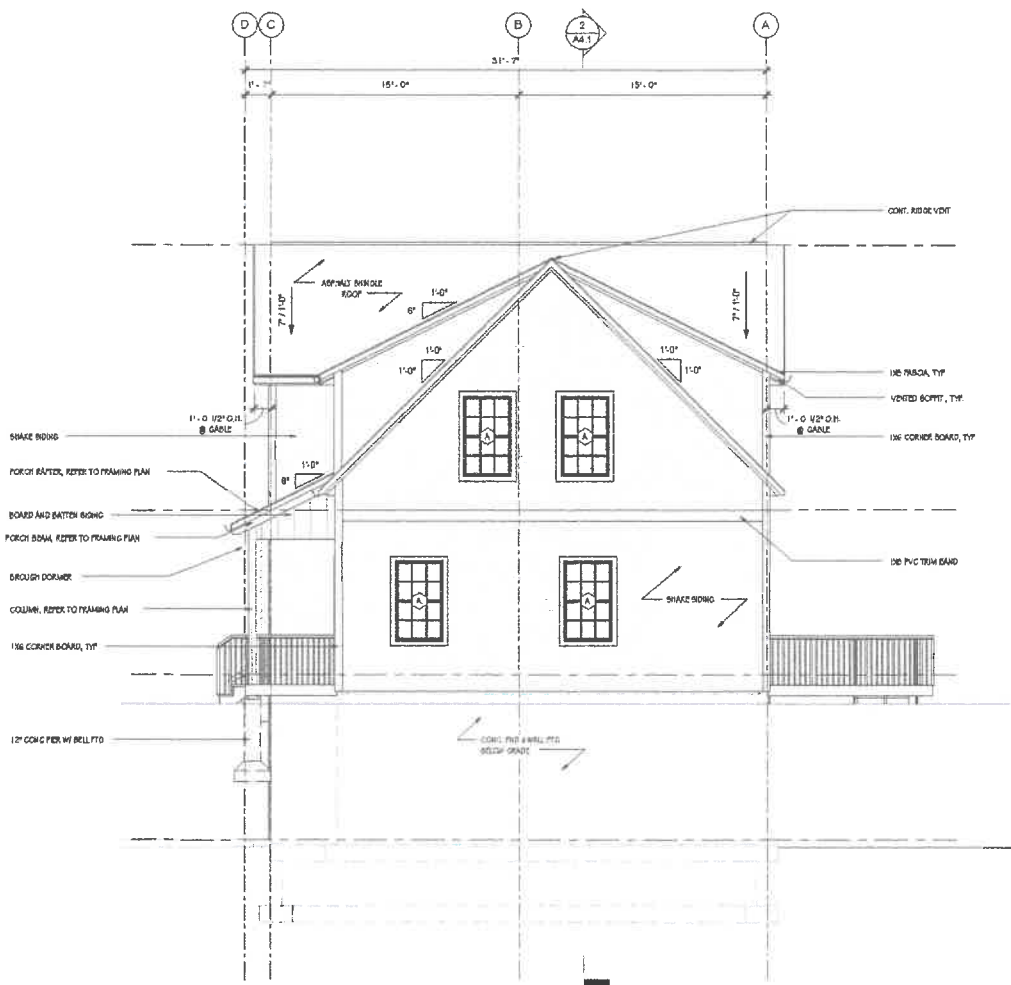
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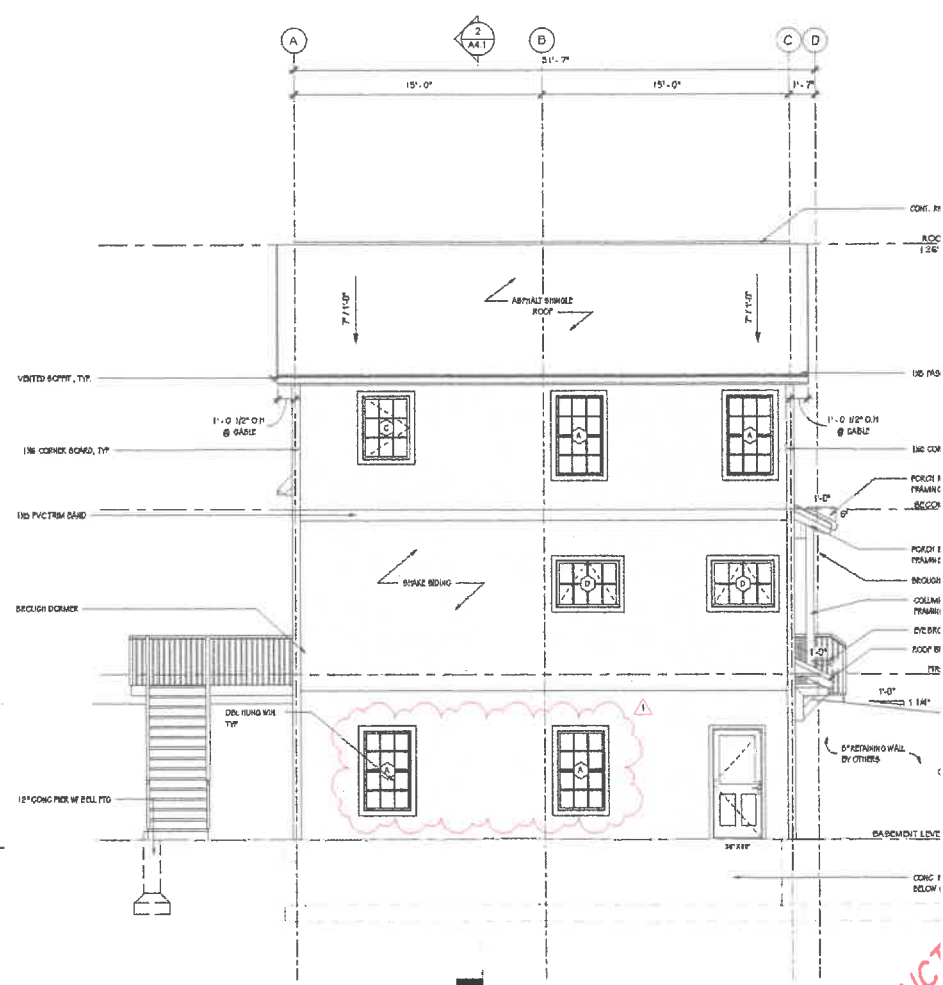
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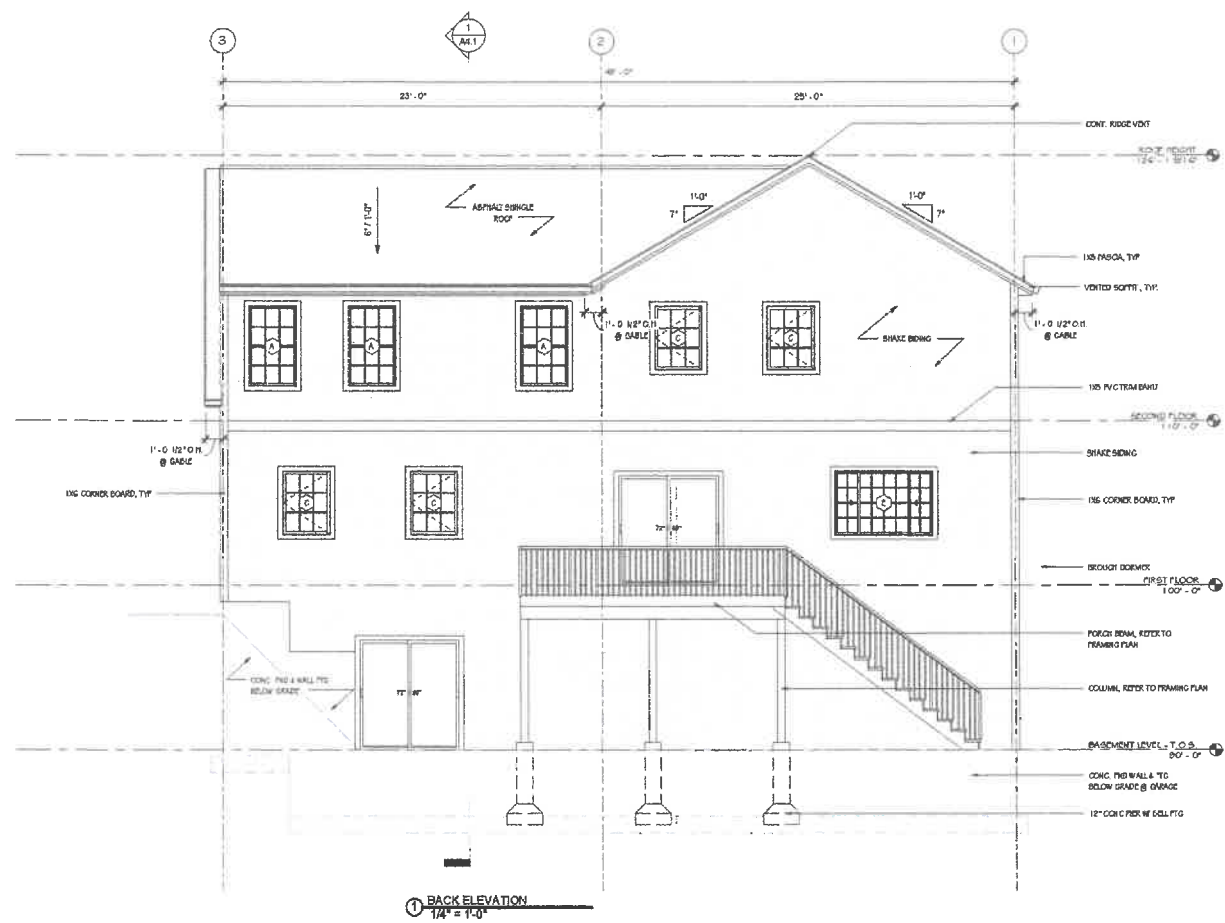
1 RIGHT ELEVATION  
1/4" = 1'-0"



2 LEFT ELEVATION  
1/4" = 1'-0"

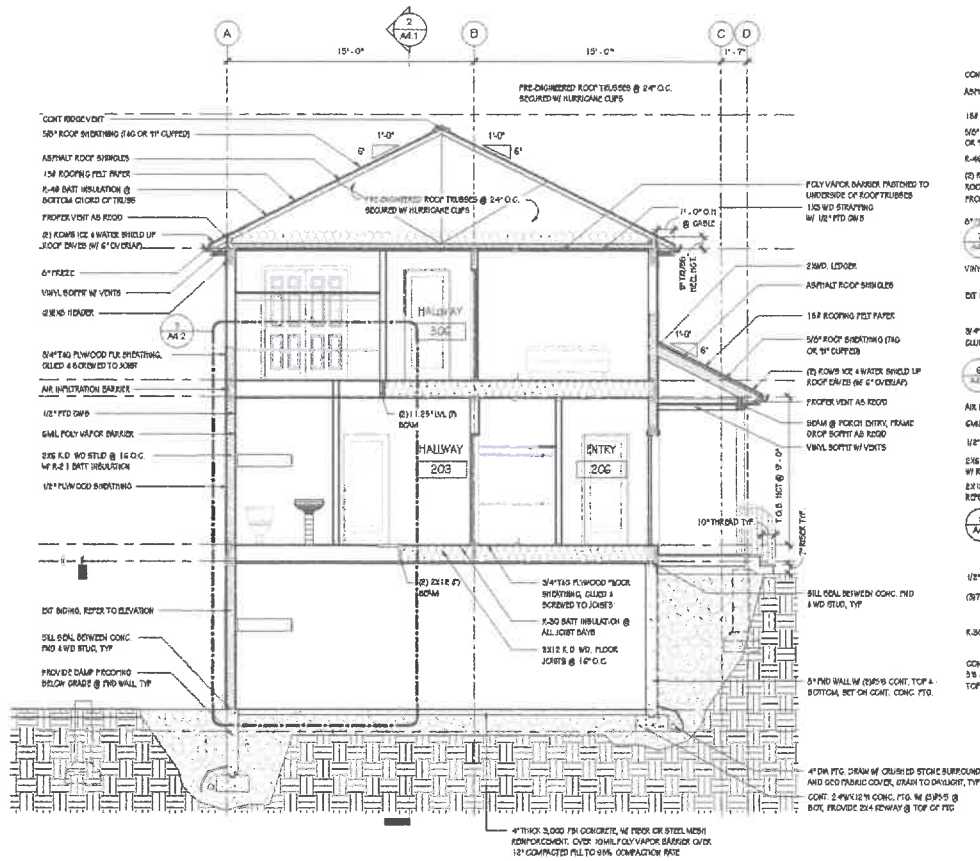
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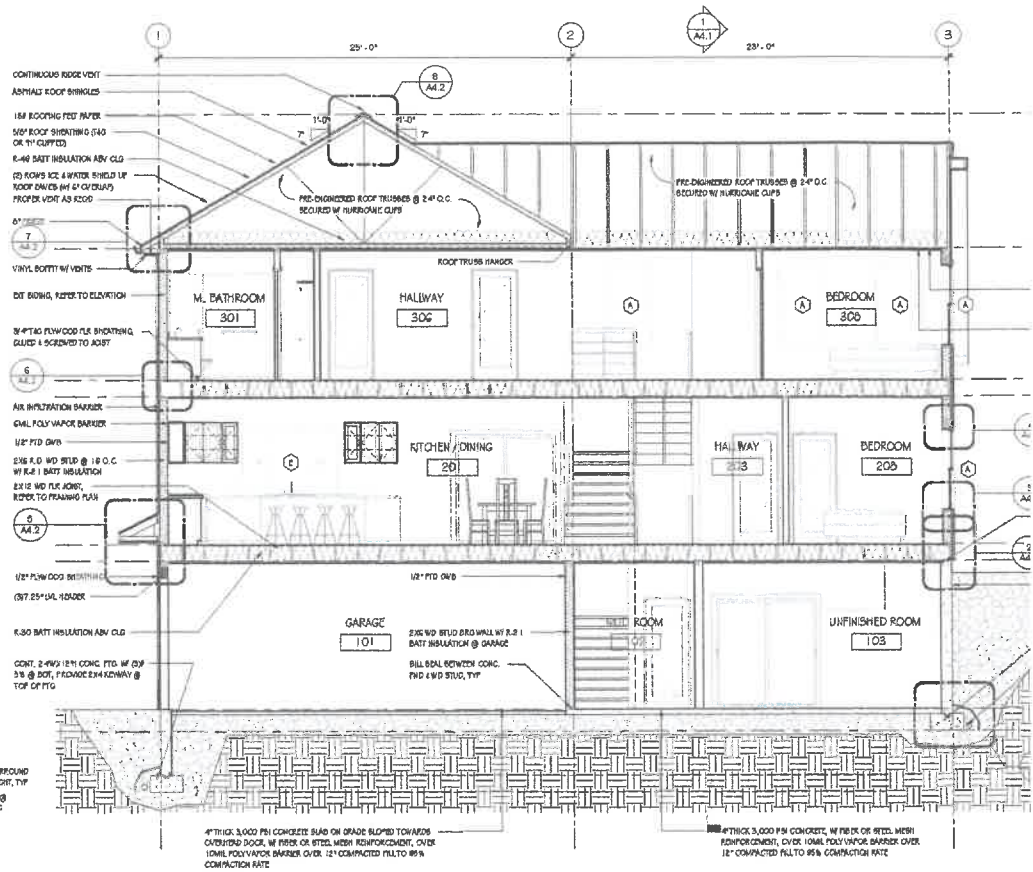


1 BACK ELEVATION  
1/4" = 1'-0"

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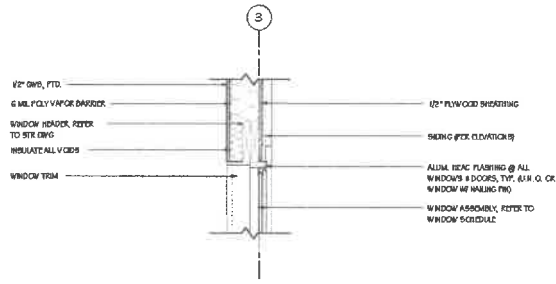
1 Section 1  
1/4" = 1'-0"



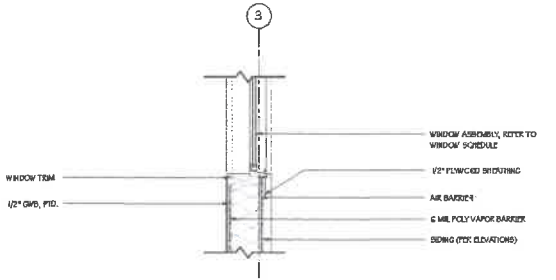
2 Section 2  
1/4" = 1'-0"

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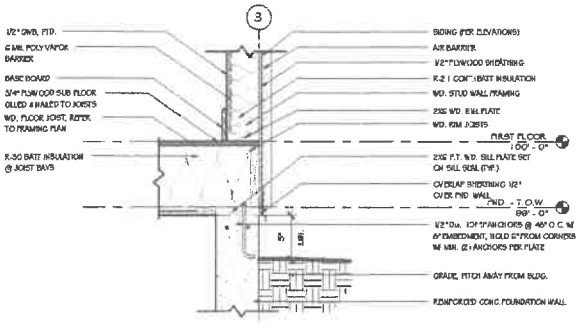




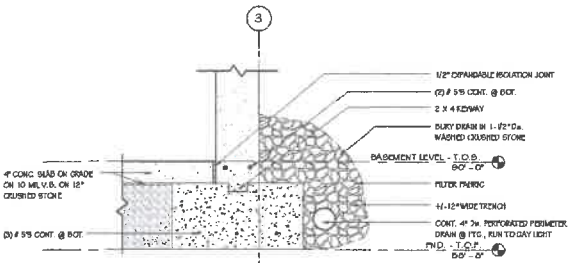
4 SEC. DTL. @ WINDOW HEADER  
1" = 1'-0"



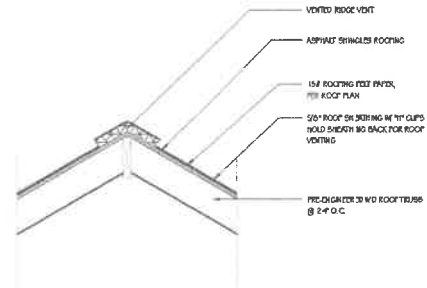
3 SEC. DTL. @ WINDOW SILL  
1" = 1'-0"



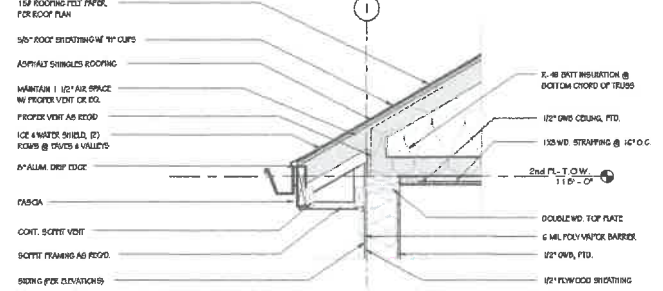
2 FIRST FLR. FLR ASSEMBLY  
1" = 1'-0"



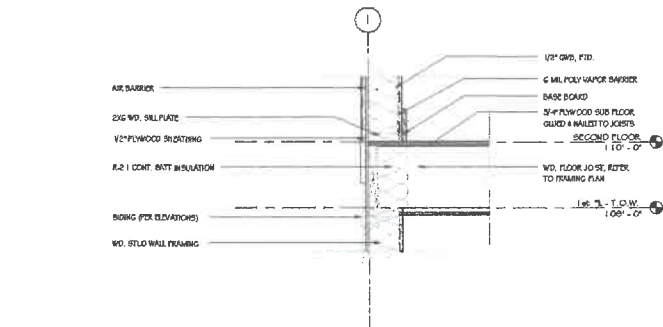
1 FND FTG. DTL.  
1" = 1'-0"



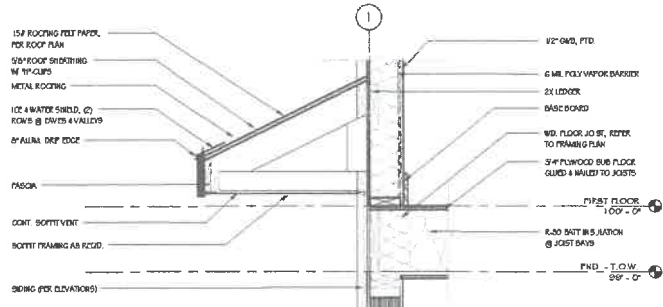
6 SEC. DTL. @ ROOF RIDGE  
1" = 1'-0"



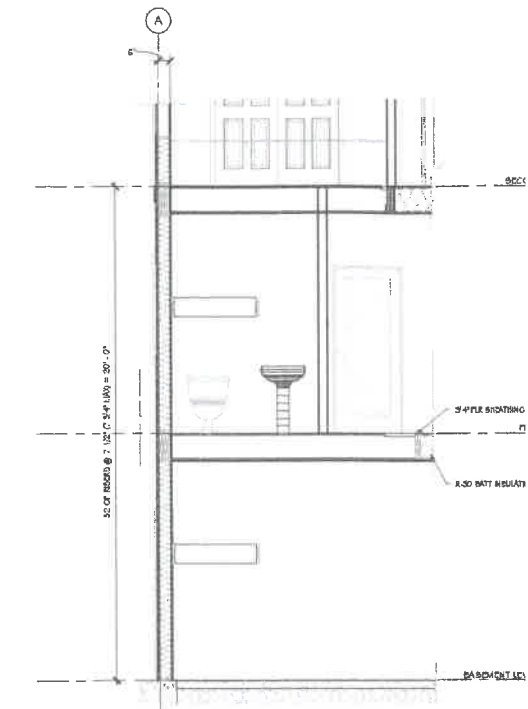
7 FIRST FLR. FLR ASSEMBLY 4  
1" = 1'-0"



8 SEC. DTL. @ FLOOR DECK  
1" = 1'-0"



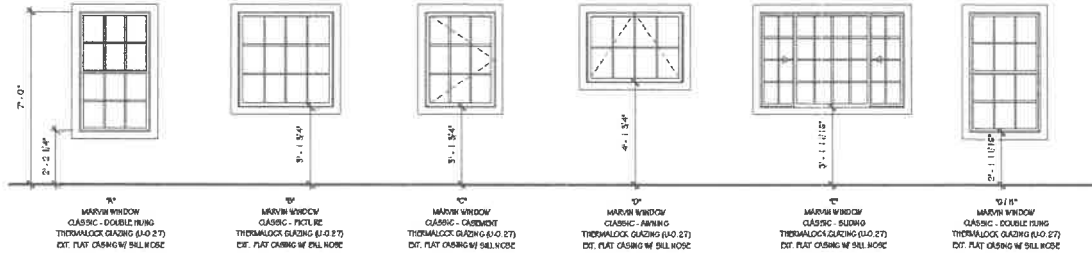
5 SEC. DTL. @ FLOOR SLAB  
1" = 1'-0"



9 INTERIOR SECTION - STAIRS  
3/8" = 1'-0"

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Window Schedule							
Type Mark	Manufacturer	Model	Description	Rough Width	Rough Height	Head Height	Comments
A	Mervin Windows and Doors	ESDH3050	3660 DBHG	3' - 0"	5' - 0"	<varies>	
B	Mervin Windows and Doors	ESCAP4040	4848 PICT	3' - 0"	3' - 0"	7' - 0"	
C	Mervin Windows and Doors	ESCA3040	3648 CSMT	3' - 0"	4' - 0"	7' - 0"	
D	Mervin Windows and Doors	ESAWN4030	4836 AWNG	4' - 0"	3' - 0"	7' - 0"	
E	Mervin Windows and Doors	ESGLTS6040	6040 GLDR	6' - 0"	4' - 0"	7' - 0"	
G	Mervin Windows and Doors	ESDH3050	3660 DBHG	7' - 6"	5' - 0"	7' - 0"	
H	Mervin Windows and Doors	ESDH3050	3660 DBHG	9' - 0"	5' - 0"	7' - 0"	

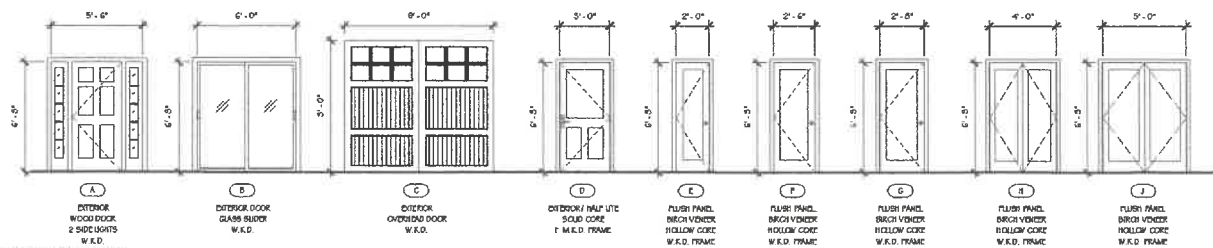


WINDOW ELEVATIONS  
3/8" = 1'-0"

Room Schedule									
Room	Number	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Openings			
BAR	101	UNFINISHED CONCRETE	NONE	FTD. G.W.B.	FTD. G.W.B. (BATH)				
BAR ROOM	102	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BAR	103	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
UNFINISHED ROOM	104	UNFINISHED CONCRETE	NONE	UNFINISHED CONCRETE	DP CORO STR.				
STORAGE	104	UNFINISHED CONCRETE	NONE	UNFINISHED CONCRETE	DP CORO STR.				
BROTCH DORMG	201	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LIVING ROOM	202	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
HALLWAY	203	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
KITCHEN	204	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LOBBY	205	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
CLOSET	205	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
ENTRY	206	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
STUDY	207	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BEDROOM	208	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BATH	209	LVF	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
M. CLOSET	210	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LAV	210	LVF	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
M. BATHROOM	301	LVF	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
CLOSET	302	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LAUNDRY	303	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
CLOSET	304	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BETH	305	LVF	5.25" SPEED BASE	FTD. M.E. G.W.B.	FTD. M.E. G.W.B.				
HALLWAY	306	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
CLOSET	307	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BEDROOM	308	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
BEDROOM	309	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
CLOSET	310	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
LOBBY	311	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
M. CLOSET	312	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				
MASTER BEDROOM	513	LVF	5.25" SPEED BASE	FTD. G.W.B.	FTD. G.W.B.				

- FINISH SCHEDULE NOTES:**
- ALL INTERIOR NON LOAD BEARING WALL SHALL BE 2x4 FD. STUDS @ 16" O.C.
  - ALL OWS IN RATED ASSEMBLIES SHALL BE 2x8" MIN. (PARALLEL TO JOIST OR BEAM WALL)
  - ALL OWS IN UNRATED ASSEMBLIES SHALL BE 1 1/2" MIN. O.
  - ALL OWS IN BATH ROOMS SHALL BE MURDERE THERMAST.
  - ALL OWS SHALL BE MAILED & SAVED & PREPARED TO RECEIVE FRAMES & PAINT, EVEN IF NOT IN OCCUPIED SPACE.
  - ALL RATED WALLS SHALL EXTEND TO UNDER SIDE OF DECK ABOVE.
  - ALL INTERIOR WALL PAINT TO BE (1) COAT OF PRIMER & (2) COATS OF FINISH PAINT.

Door Schedule												
Mark	Type Mark	Operation	Rough Width	Rough Height	Thickness	Fire Rating	Door Material	Door Finish	Frame Type	Frame Finish	Lock Set	Comments
101	D		3'-0"	6'-6"	1-3/8"							
102	271		3'-0"	6'-6"	1-3/8"							
103	B		3'-0"	6'-6"	1-3/8"							
104	G		3'-0"	6'-6"	1-3/8"							
201	B		3'-0"	6'-6"	1-3/8"							
204	G		3'-0"	6'-6"	1-3/8"							
205	E		3'-0"	6'-6"	1-3/8"							
207	G		3'-0"	6'-6"	1-3/8"							
208	G		3'-0"	6'-6"	1-3/8"							
209	G		3'-0"	6'-6"	1-3/8"							
210	G		3'-0"	6'-6"	1-3/8"							
301	G		3'-0"	6'-6"	1-3/8"							
302	J		4'-0"	6'-6"	1-3/4"							
303	G		3'-0"	6'-6"	1-3/8"							
304	F		3'-0"	6'-6"	1-3/8"							
305	J		3'-0"	6'-6"	1-3/8"							
307	J		3'-0"	6'-6"	1-3/4"							
308	E		3'-0"	6'-6"	1-3/8"							
309	G		3'-0"	6'-6"	1-3/8"							
310	F		3'-0"	6'-6"	1-3/8"							
311	E		3'-0"	6'-6"	1-3/8"							
312	G		3'-0"	6'-6"	1-3/8"							
513	G		3'-0"	6'-6"	1-3/8"							
310	C		8'-0"	6'-6"	1-3/8"							Complies with SM Standard 12-7A.1
311	C		8'-0"	6'-6"	1-3/8"							Complies with SM Standard 12-7A.1
312	C		8'-0"	6'-6"	1-3/8"							



DOOR ELEVATIONS  
1/4" = 1'-0"

FOR CONSTRUCTION  
7/26/21  
11:43:11

*Existing homes in the neighborhood 1-3*



2-3



3-3

