

Portsmouth, NH - Board of Adjustment  
Variance Statement for: 37 Orchard Street

Date: 04.27.22

Chairman of the Board of Adjustment  
C/O Planning Department City of Portsmouth  
1 Junkins Ave.  
Portsmouth, NH 03801

To The Chairman of the Board of Adjustment,

Please find this statement as addressing the requirements for a variance on the proposed project located at 37 Orchard Street.

Overview: The existing single-family structure was purchased by the current owners, Tom and Lindsey Vickery three years ago as a home in our community. The scope of project will provide more living square footage for a family embedded in this community.

Per Section 10.322 – In order to comply to current building codes, we are not able to build the structure without expanding the gross footprint. We are proposing an addition off the side of the home toward the driveway. A current poorly constructed addition will be removed and an addition of 9'-6" x 18' - 2" will afford a kitchen expansion on the and a primary bedroom / bathroom expansion on the second floor. This expansion does require a lot coverage variance.

Keeping in mind the 5 Criteria:

1. The new structure would be staying within the character of the neighborhood.
  - a. The houses in the neighborhood are a mix of New Englanders, Colonials and multi-family therefore staying in character with the neighborhood. We will replicate the detailing and repeat the back roofline over the addition to tie it into the house seamlessly.
2. It would improve the safety and health of the homeowners and neighborhood.
  - a. Currently the existing addition was built with products low in quality and are failing. The entry stairs are not built to code and we will be able to improve all areas that are currently unsafe.
3. Substantial justice is done.
  - a. No harm will be done to the neighborhood or community should this application be granted
4. The values of the surrounding properties are not diminished.
  - a. The neighborhood would improve with this proposed structure introduced into the neighborhood. Many of the neighbors have

renovated in the past and many are currently under construction so they would be joining the ranks of neighbors improving their property value.

5. Literal enforcement of the ordinance would result in unnecessary hardship
  - a. The existing structure typical for the neighborhood and cannot expand with relief of the lot coverage. As you are aware, many of the neighbors do not comply – for example, then neighbor to the right has their driveway within 37 Orchard’s left setback. The only reasonable expansion without considerable harm or disruption to abutting neighbors or the property use is an expansion toward the driveway side.
  - b. The existing structure is not large enough for their growing family. With the housing prices and lack of inventor in Portsmouth, they are willing to invest in the home in order to stay and raise their family in Portsmouth and not have to leave our community.

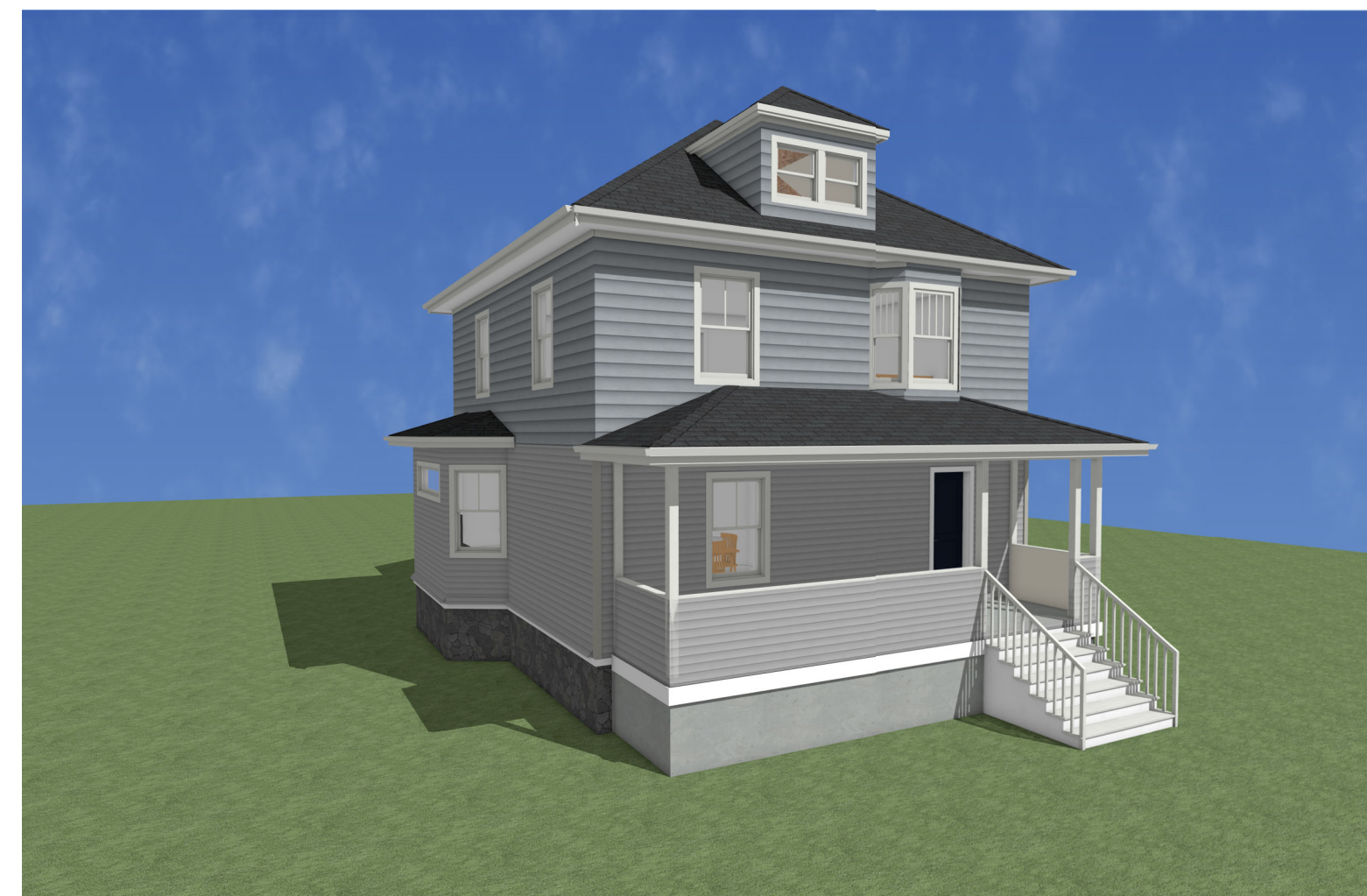
We encourage the Portsmouth Board of Adjustment to grant the variance to the Vickery Residence.

Submitted respectfully,

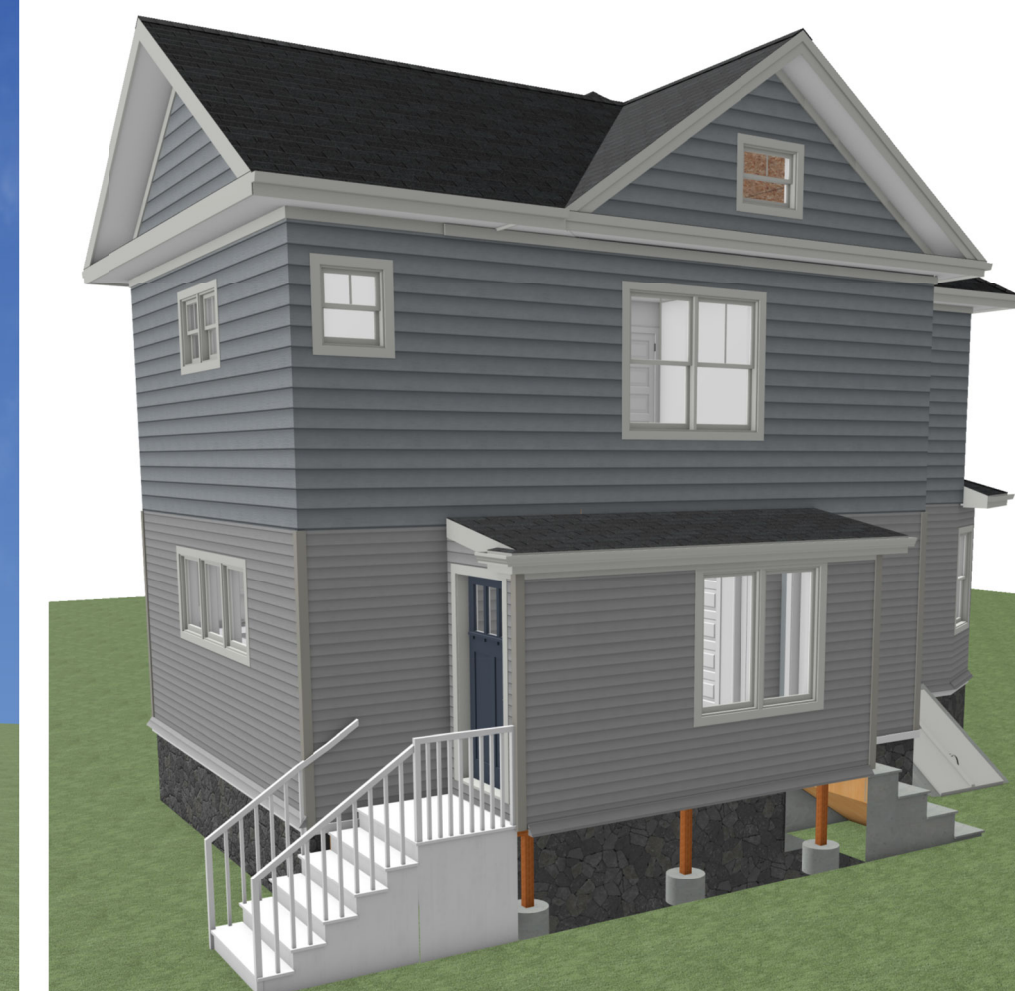
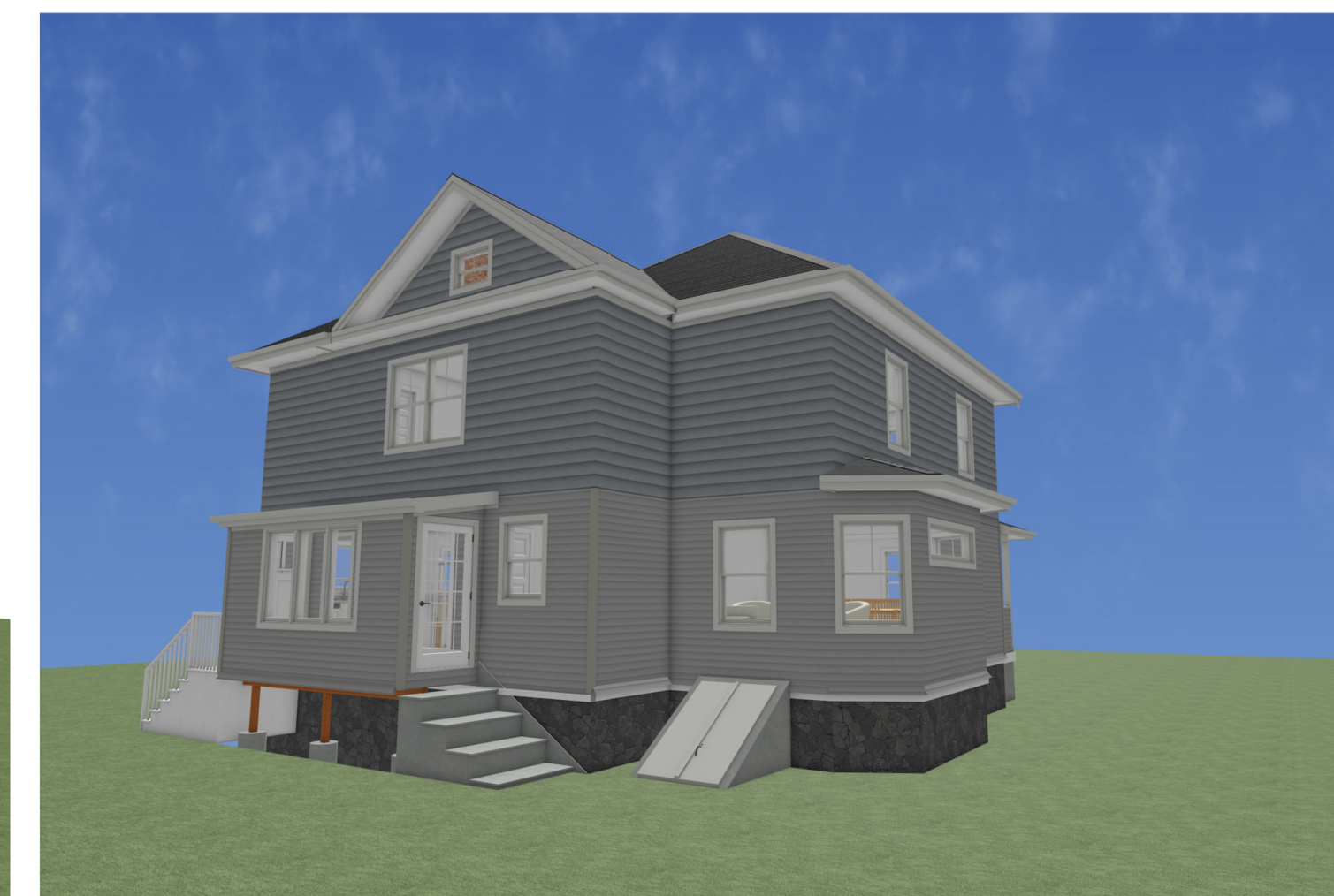
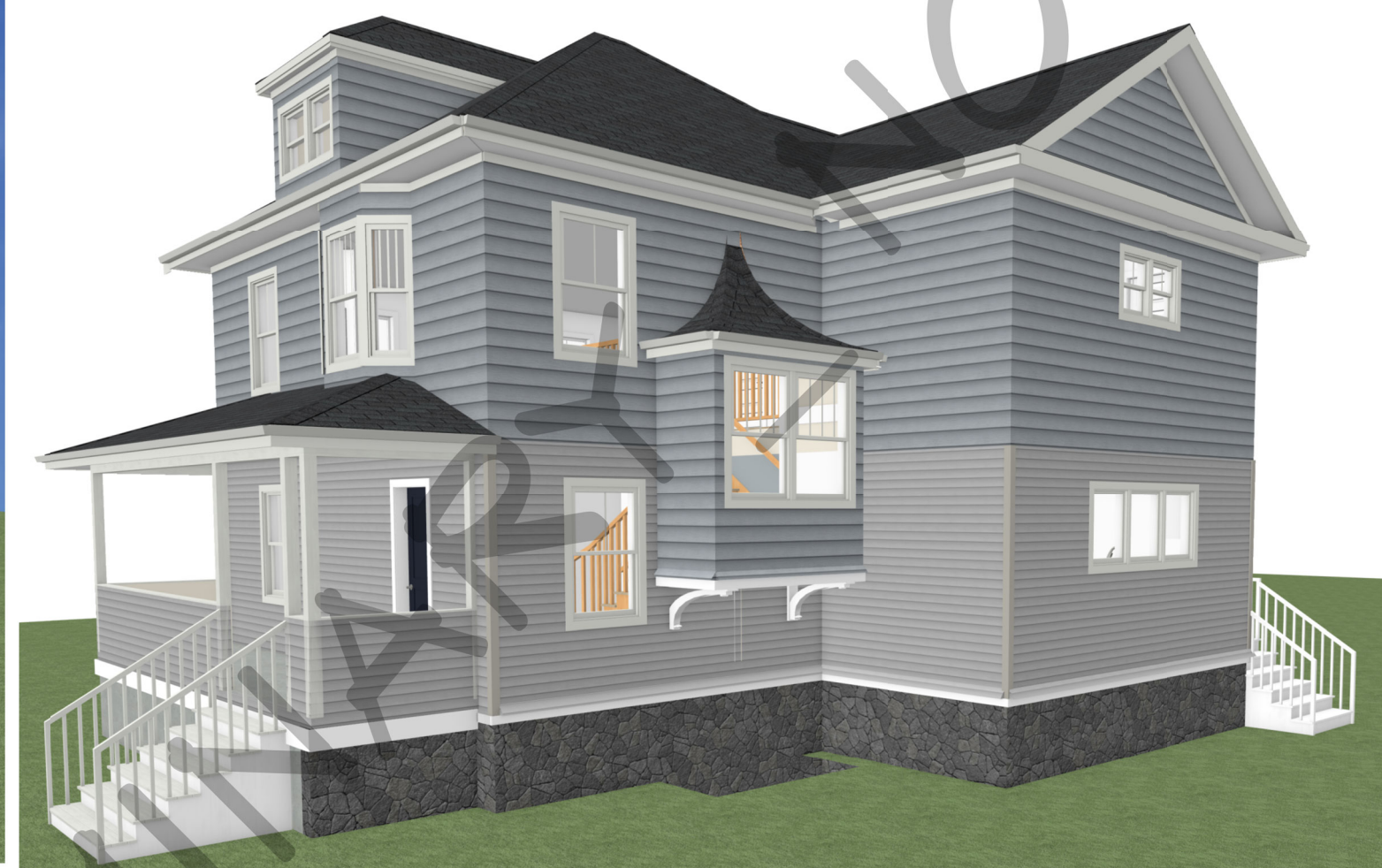
Amy Dutton  
Amy Dutton Home  
9 Walker Street  
Kittery, Maine 03904  
[amy@amyduttonhome.com](mailto:amy@amyduttonhome.com)  
207-337-2020



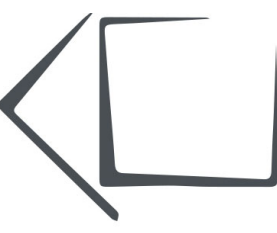
EXISTING



PROPOSED



OVERVIEW



Revision Table	Number	Date	Description

RENOVATION PLAN

**CLIENT:**  
 VICKERY RESIDENCE  
 37 ORCHARD ST  
 PORTSMOUTH, NH 03801

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@duttonhome.com  
 207.337.2020

**DATE:**  
 4/27/2022

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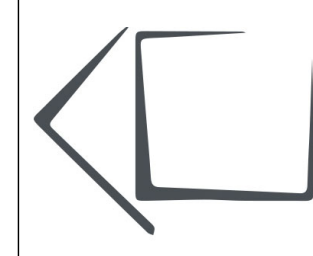
**SCALED FOR:**  
 24" X 36"

**SCALE:**

SEE SCALE ON DRAWINGS

**SHEET:**

R-1



Number	Date	Description

# OVERVIEW

**CLIENT:**  
 VICKERY RESIDENCE  
 97 ORCHARD ST  
 PORTSMOUTH, NH 03801

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.337.2020

**DATE:**  
 4/27/2022

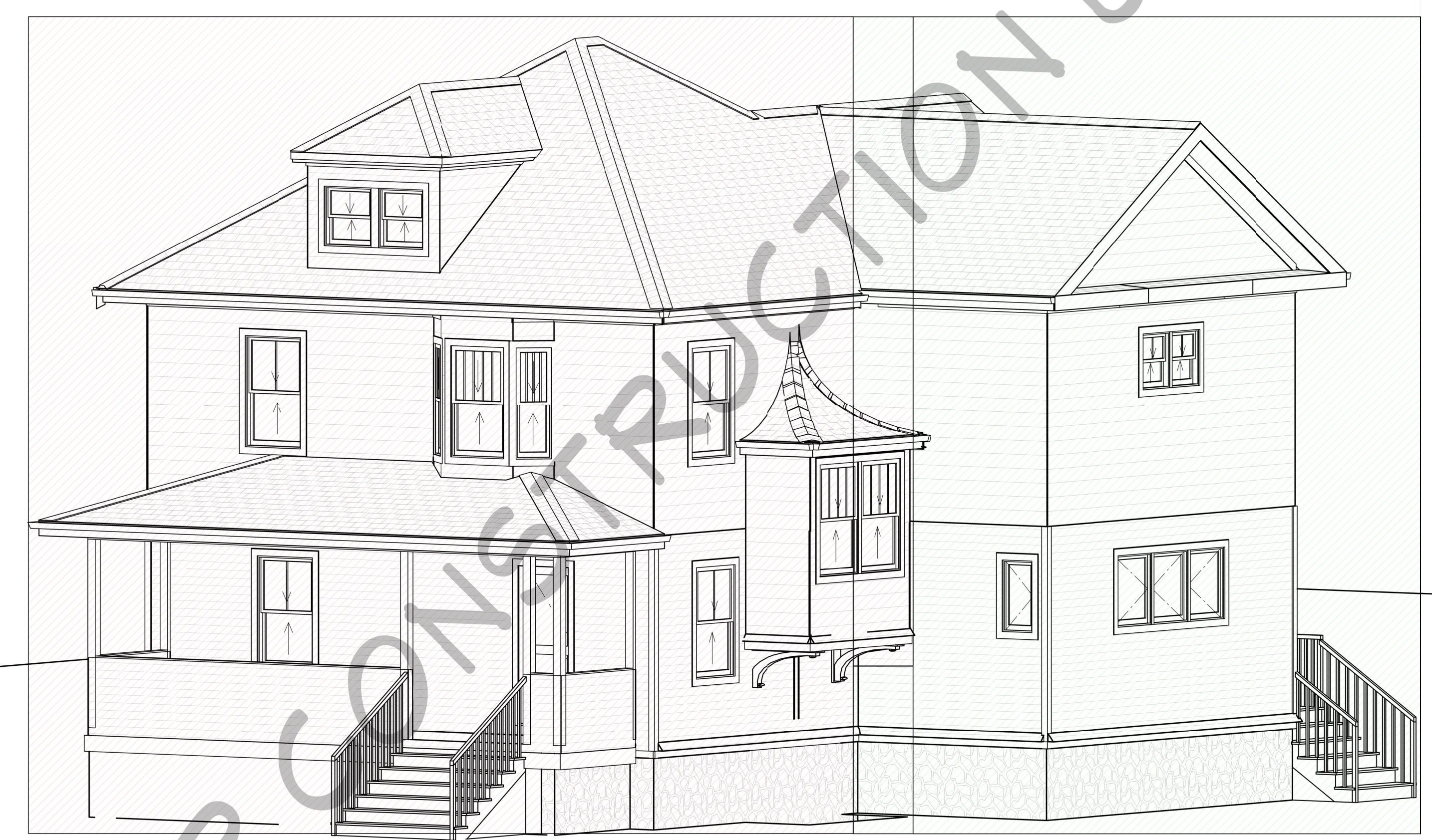
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**SCALED FOR:**  
 24" X 36"

**SCALE:**  
 SEE SCALE ON DRAWINGS

**SHEET:**

0-1



## OVERVIEW

SCALE: NTS

### SPECIFICATIONS + NOTES

- \*ROOFING MATERIAL
- \*ALL TRIM PACKAGE: PVC OR BORAL
- \*SIDING:
- \*BRACKETS: ProWood Market - Bracket 02T9 - P 32", H:42", T: 5.5" (Fld: WHITE)
- \*COLUMNS:
- \*STAIR SYSTEM:
- \_EXTERIOR:
  - \*BROSCO: Liberty Extruded Rail System
  - \*RISER: AZEC- WHITE
  - \*TREAD: SELECTWOOD, ZURI "Weathered Grey"
- \_INTERIOR:
  - \*NEWEL
  - \*HANDRAIL
  - \*BALUSTERS
  - \*RISER FINISH
  - \*TREAD
- \*WINDOWS:
  - \_MANUFACTURER:
  - \_EXT. FINISH:
  - \_INT. FINISH:
- \*DOORS:
  - \_MANUFACTURER:
  - \_EXT. FINISH:
  - \_INT. FINISH:
- \*BATHROOMS:
  - \_FLOORING
  - \_TUB DESIGN
  - \_SHOWER FLOOR
  - \_SHOWER WALLS
  - \_SHOWER HEADS
  - \_SHOWER NICHE VS. SHELVES
  - \_SHOWER DOOR
  - \_NOTE: MAJOR PLUMBING CHANGES

- \*FLOORING:
  - \_1ST FLOOR:
  - \_2ND FLOOR:
  - \_HEATED FLOOR:
  - \_REFINISH AREAS:
- \*KITCHEN:
  - \_CABINETS: Specs to be prepared on 11 x 17 doc.
  - \_BUILT-IN NOTES:
  - \_APPLIANCES
- \*MANTLE:
- \*FIREPLACE:
  - \_GAS
  - \_WOOD: INT. FIREBOX: RED BRICK VS. YELLOW BRICK
  - \_HEARTH: RAISED VS. FLUSH
  - \*MATERIAL:
- NOTES:
  - \*CEILING HEIGHTS: 1ST FLOOR: \_\_\_\_\_ | 2ND FLOOR: \_\_\_\_\_
  - \*CORNER BOARDS: 6" TYP
  - \*WATER TABLE: 10" W/ COPPER FLASHING TYP.
  - \*RAKE BOARD: 8" TYP. PVC OR BORAL. (FILLED & PAINTED)
  - \*SOFFIT - BEADBOARD AZEC OR EQ.
  - \*ROOF VENT - RIDGE VENT VS. BROSCO LOUVERED VENT VS. SOFFIT VENT
  - \*ARCHITECTURAL DETAIL:
  - \*WINDOW TRIM: 4-1/2" TYP. PVC
- TOTAL SQUARE FOOTAGE:
  - \_NEW
  - \_RENOVATED SF
  - \_TOTAL

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 DRAWINGS USED EXPRESSIVELY FOR  
 DESIGN ONLY FOR NOTED CLIENT. ALL  
 STRUCTURAL ENGINEERING PROVIDED BY  
 OTHER.

### FINAL CD SET DATE:

04.27.22

LIVING AREA	
MAIN FLOOR	897 sqft
SECOND FLOOR	804 sqft
ATTIC	91 sqft
TOTAL	1792 sqft
PORCHES	217 sqft
STAIRS	34 sqft

PROPOSED LIVING AREA	
MAIN FLOOR	1009 sqft
SECOND FLOOR	969 sqft
ATTIC	91 sqft
TOTAL	2069 sqft
PORCHES	217 sqft
STAIRS	34 sqft

### WALL LEGEND

= ADDITION

= EXISTING

Label	Title
R-1	RENOVATION PLAN
O-1	OVERVIEW PLAN
S-1	PLOT PLAN
R-2	RENOVATION PLAN
G-1	GENERAL NOTES
G-2	GENERAL NOTES
A-1	FOUNDATION
A-2	FIRST FLOOR
A-3	SECOND FLOOR
A-4	ROOFS
A-5	WINDOW AND DOOR SCHEDULE
A-6	DOOR SCHEDULE
A-7	ELEVATIONS
A-8	ELEVATIONS
A-9	SECTION
A-10	SECTION
F-1	FRAMING
F-2	FRAMING OVERVIEW
D-1	DETAILS
E-1	ELECTRICAL
P-1	PLUMBING
C-1	KITCHEN CABINETS
C-2	BATH CABINETS
C-3	CABINETS
C-4	CABINET SCHEDULE
L-1	LANDSCAPE PLAN

### DIM DISCLAIMER

BUILDING CONTRACTOR/HOME OWNER  
 TO REVIEW AND VERIFY ALL DIMENSIONS,  
 SPECS, AND CONNECTIONS BEFORE  
 CONSTRUCTION BEGINS.

### CALCULATIONS

**ZONING MAXIMUMS:**

front setback: 15'  
 rear setback: 20'  
 side setbacks: 10'  
 lot coverage: 25%  
 Zoning District: GRA

**EXISTING CONDITIONS:**

LOT SIZE: .11ac | 4,791.6 SF  
 ANTICIPATED DISTURBED AREA: 112 SF  
 FRONT/REAR HEIGHT: 32' - 1"  
 BACK SIDE HEIGHT: 28' - 10"  
 LIVABLE SF: 1,792 SF  
 FIRST FLOOR 897 SF  
 SECOND FLOOR 804 SF  
 ATTIC 91 SF

**GROSS SF:**

3,555 SF  
 FIRST FLOOR 897 SF  
 SECOND FLOOR 804 SF  
 ATTIC 364 SF  
 BASEMENT 833 SF  
 PORCH, OPEN 161 SF  
 PORCH, SCREENED 56 SF  
 BASEMENT, UNFIN 833 SF

**AREA OF FOOTPRINT:** 1,114 SF

**EXISTING SETBACKS:**

FRONT: 6'  
 REAR: 29'  
 LEFT: 11'  
 RIGHT: 18'  
 EXISTING LOT COVERAGE: 23.2%

**PROPOSED CONDITIONS:**

FRONT/REAR HEIGHT: 32' - 1"  
 SIDE HEIGHT: 28' - 10"  
 LIVABLE SF: 2,069 SF  
 FIRST FLOOR: 1,009 SF  
 SECOND FLOOR: 969 SF  
 ATTIC 91 SF

**GROSS SF:**

4,225 SF  
 FIRST FLOOR 1,009 SF  
 SECOND FLOOR 969 SF  
 ATTIC 364 SF  
 BASEMENT 833 SF  
 PORCH, OPEN 161 SF  
 PORCH, SCREENED 56 SF  
 BASEMENT, UNFIN 833 SF

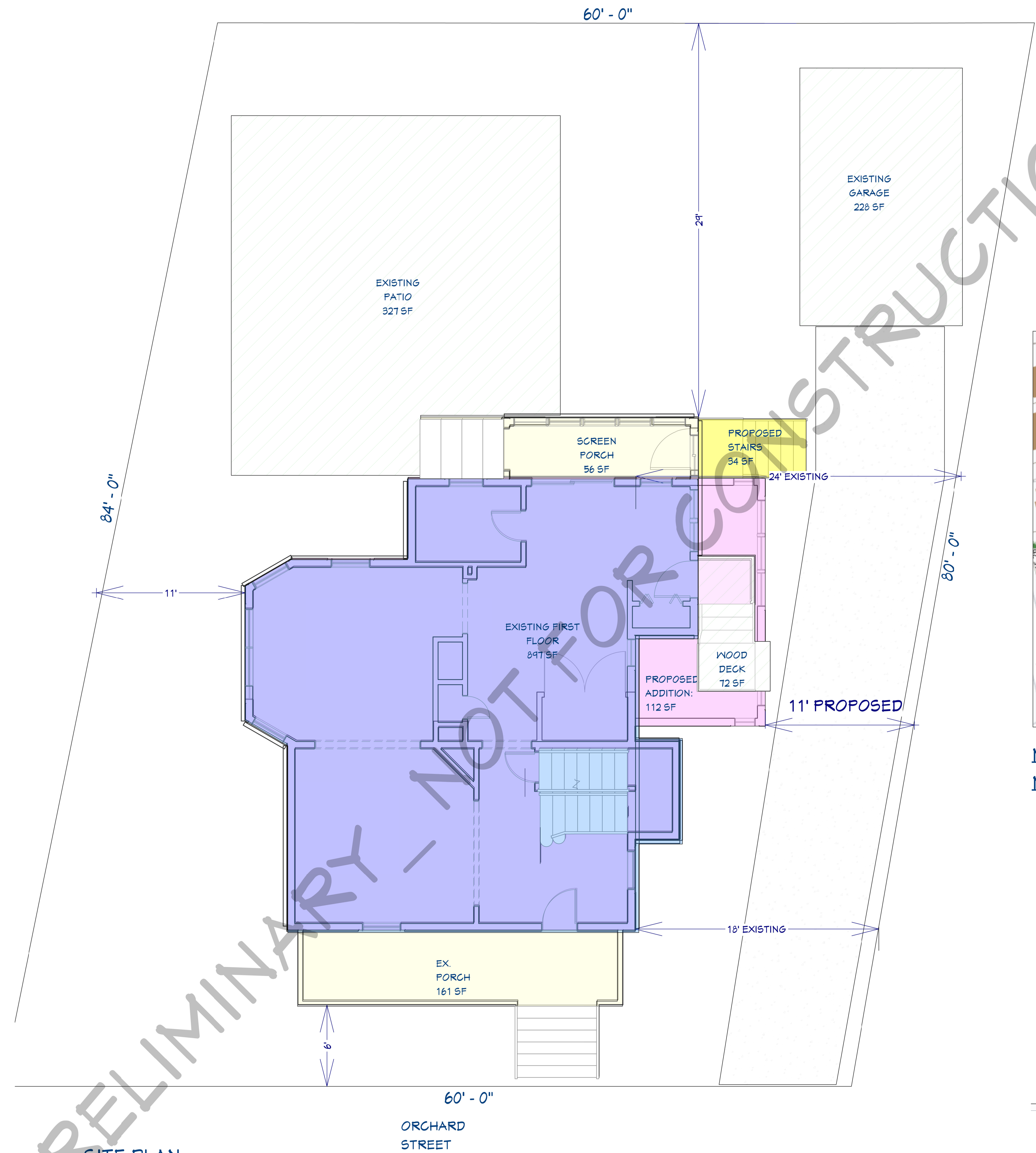
**AREA OF FOOTPRINT:** 1,260 SF

**PROPOSED SETBACKS:**

FRONT: 6'  
 REAR: 29'  
 LEFT: 11'  
 RIGHT: 11'  
 PROPOSED LOT COVERAGE: 26.3%

### CAD BLOCK GUIDE

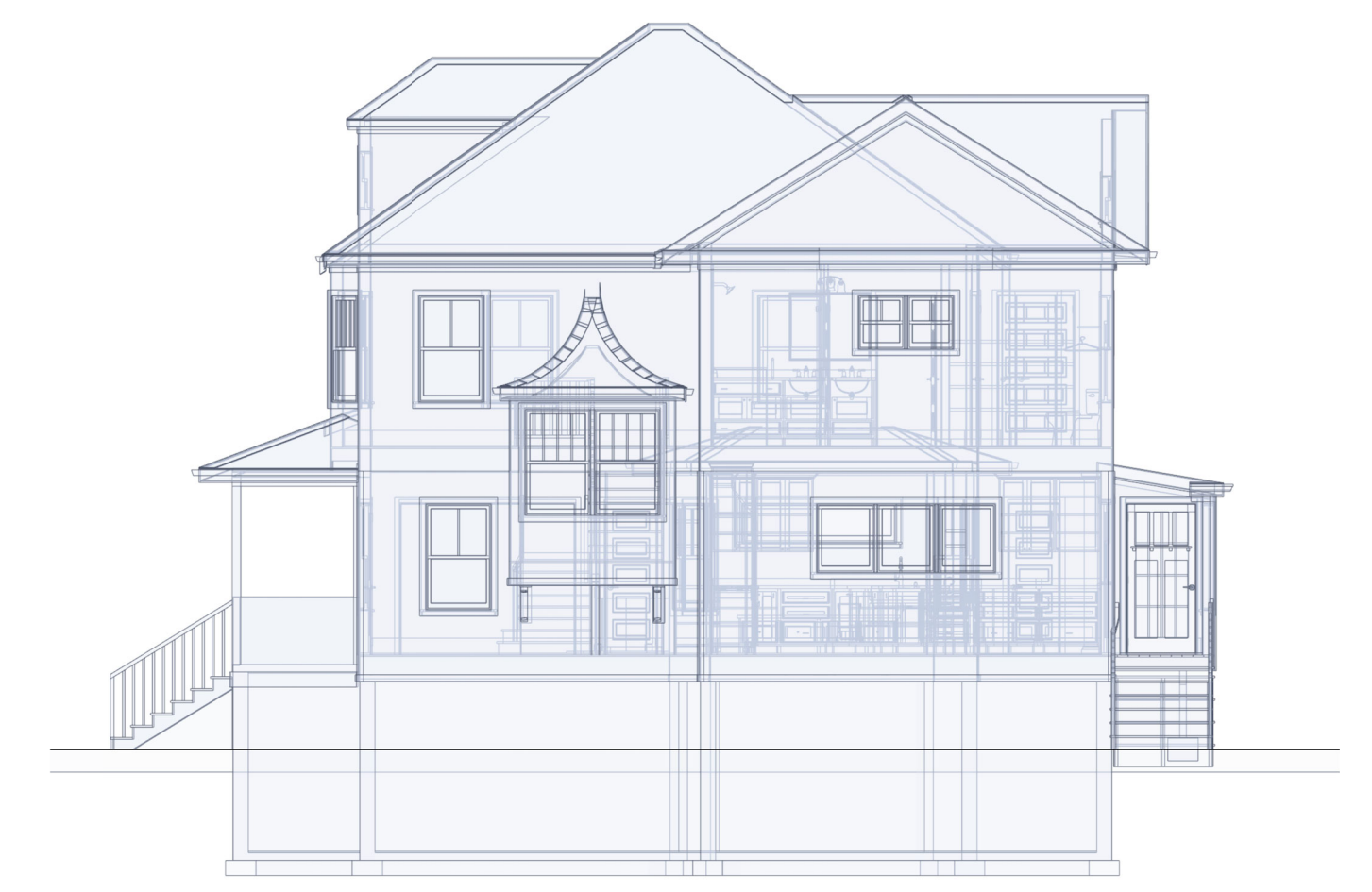
- EXISTING FOOTPRINT (1114 SQ FT)
- EXISTING OUTBUILDINGS: (627 SQ. FT)
- PROPOSED ADDITION: (112 SQ FT)
- PROPOSED STAIRS: (34 SQ FT)



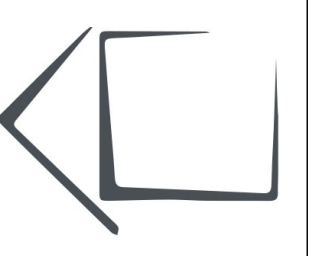
**SITE PLAN**  
 SCALE: 1/4" = 1'-0"



**MAP GEO VIEW OF NEIGHBORHOOD**



**GLASS HOUSE ELEVATION FROM EAST**  
 SCALE: 1/8" = 1'-0"



Number	Date	Revision Table	Description

## PLOT PLAN

**CLIENT:**  
 VICKERY RESIDENCE  
 37 ORCHARD ST  
 PORTSMOUTH, NH 03801

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.331.2020

**DATE:**  
 4/27/2022

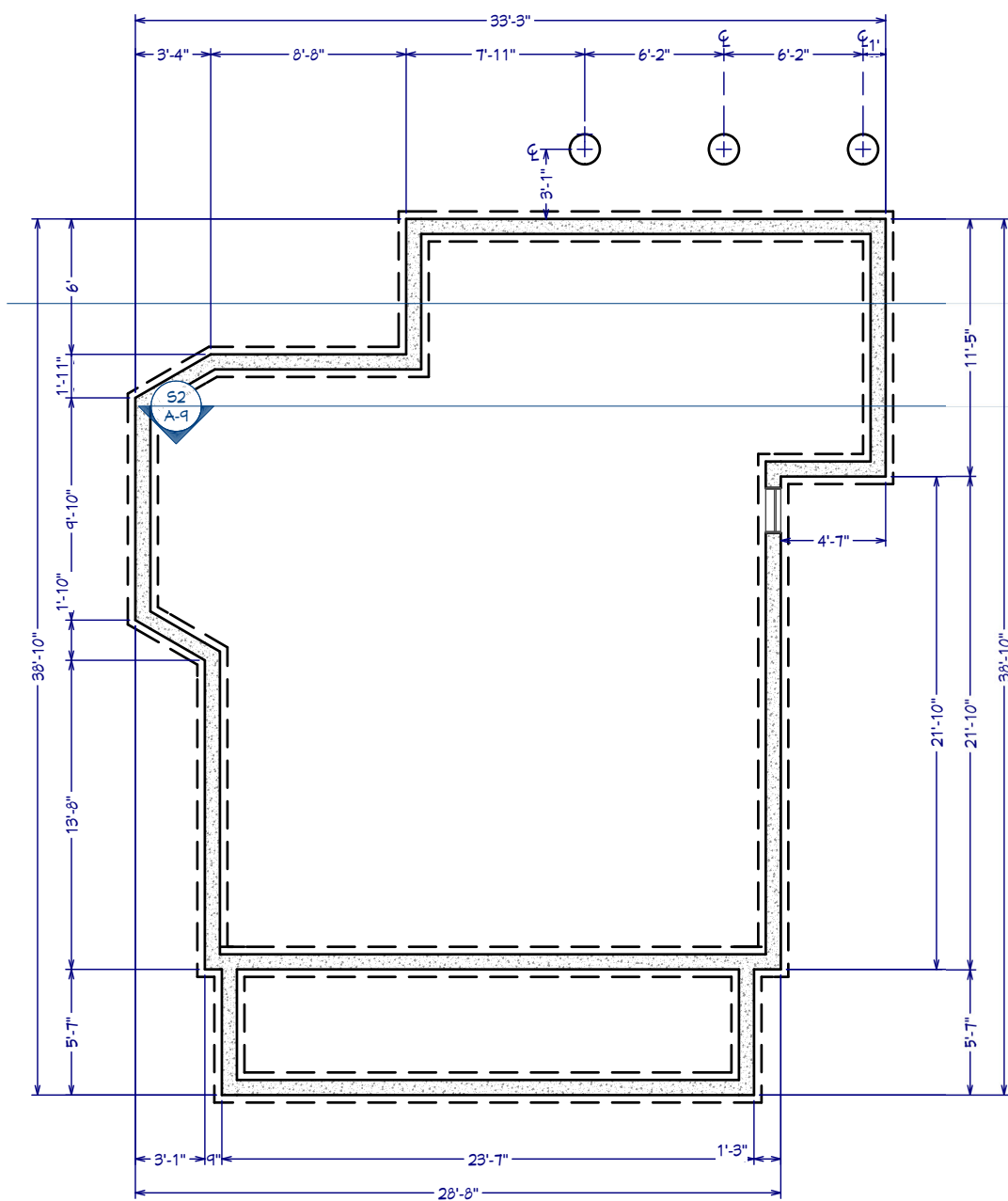
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 24" X 36"

**SCALE:**  
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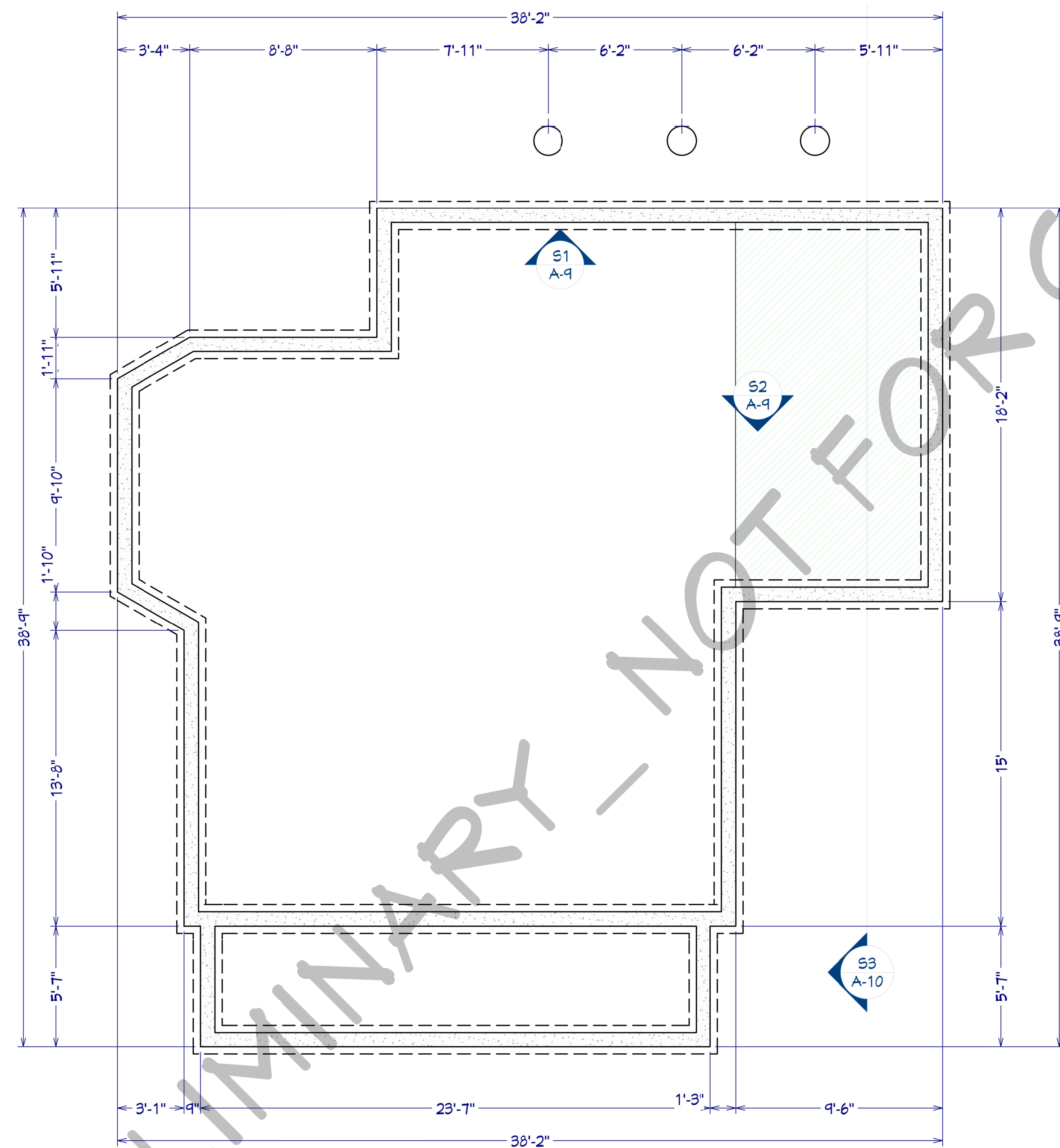
**SHEET:**

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**EXISTING FOUNDATION PLAN**

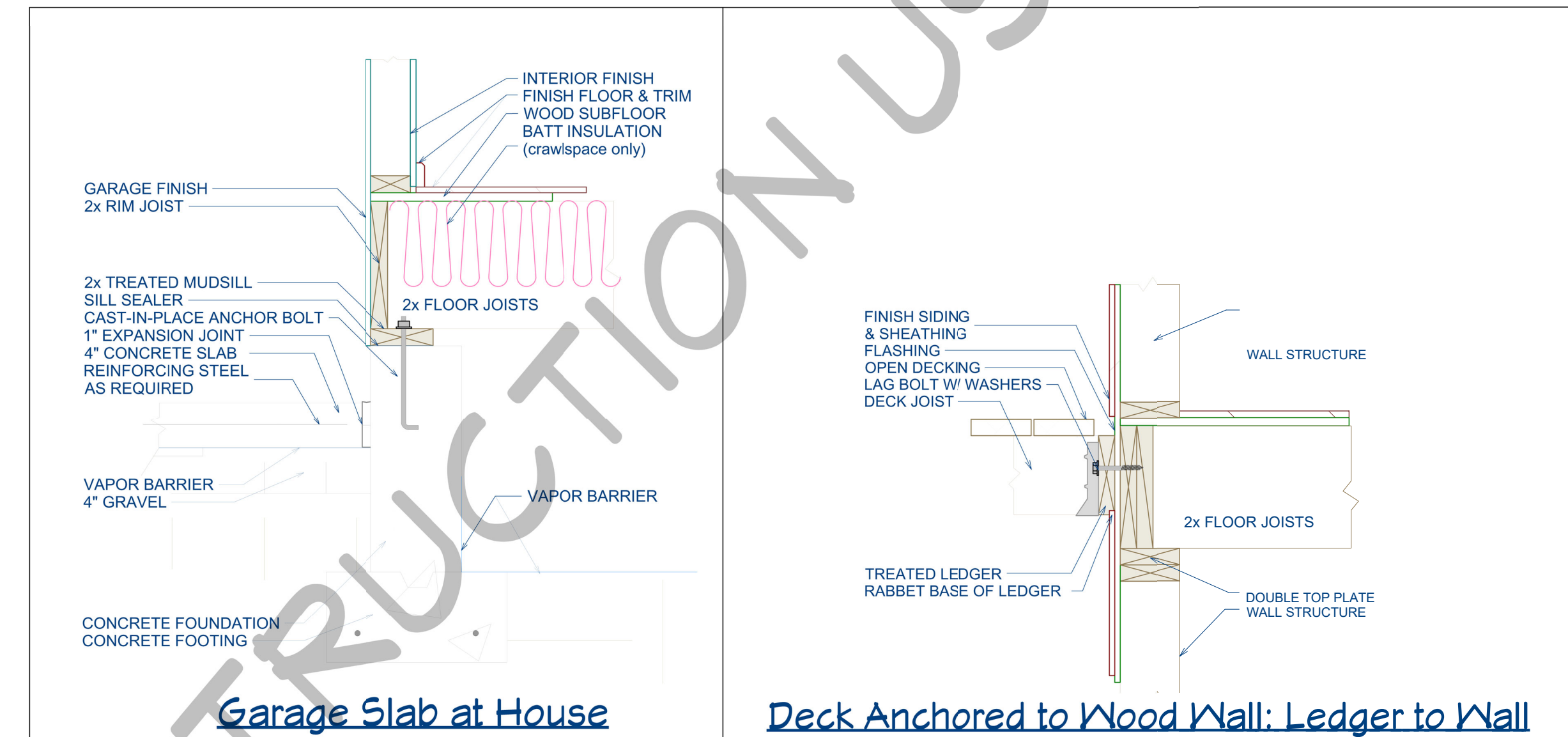
SCALE: 1/8" = 1'-0"



**PROPOSED FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

NOTE:  
 1. ALL DIMENSIONS ARE FROM FRAMING TO FRAMING  
 2. ALL BOTTOM OF HEADERS TO BE HUNG 80"



**FOUNDATION DETAIL - 96" BASEMENT FOUNDATION WALL**

SCALE: NOT TO SCALE

**FOUNDATION NOTES:**

- \* FOUNDATION WALL: 8-10" CONT. FOUR (2)#4 BAR HORIZONTAL (TOP & BOTTOM) (1)#6 BAR VERTICAL @ 48" OC LAP CORNERS & SPLICES OF REBAR PER CODE SECURE SILL TO FOUNDATION W/ 1/2"D. ANCHOR BOLTS THAT EXTEND 1" INTO CONCRETE TIGHTEN W/ NUT & WASHER @ 6' OC & MAX 12" FROM CORNER
- \* FOOTING: 10-12" X 20-24" (2) #4 HORIZONTAL (BOTTOM) (1)#4 DOWNEL BAR @ 48" OC
- \* LALLY COLUMN PAD: 30"X 30" X 12" (2) #4 EACH WAY (BOTTOM)
- \* FOUNDATION WALL TO BE 7'-10" HIGH (TYP. WHEN POSSIBLE)
- \* MAINTAIN CONTINUOUS 4'-0" FROST DEPTH
- \* 1/2" CTR. ANCHOR BOLD @ 4'-0" OC - 3 EA. CORNER / 2 EA. JOINT

**PORCH FOUNDATION**

- \* 12" CTR. CONCRETE FILLED SONOTUBE (1) #6 BAR VERTICAL @ CTR SPREAD FOOTINGS & ANCHOR BOLD ELEVATED 4X4 OR 6X6 POST BASE
- \* POSTS UNDER DECK CAN BE SOLID 4X4 UP TO 48" IN HEIGHT, SOLID 6X6 FT FOR HIGHER DECKS.
- \* PRECAST BELL OR Poured FOOTINGS @ PORCH, 20" BASE TO FROST WITH 8" SONOTUBE

**DECK + PORCH**

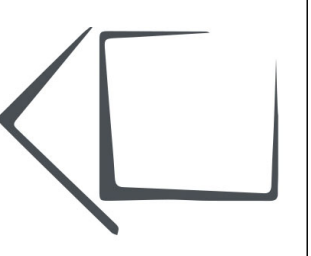
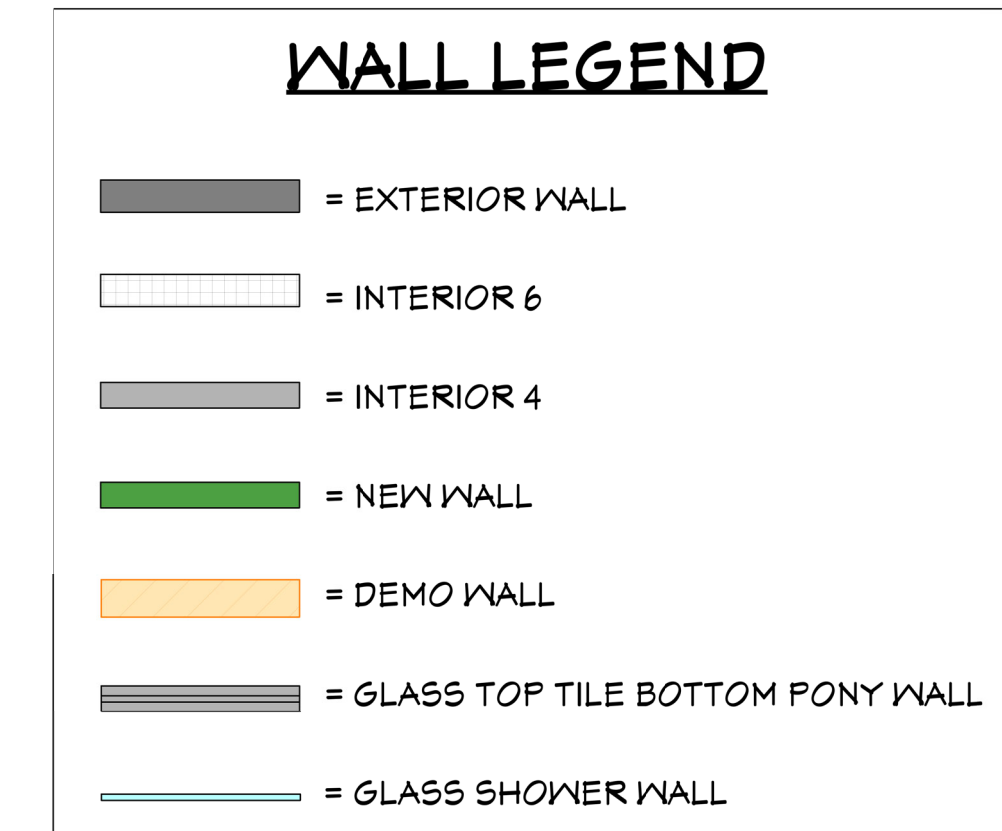
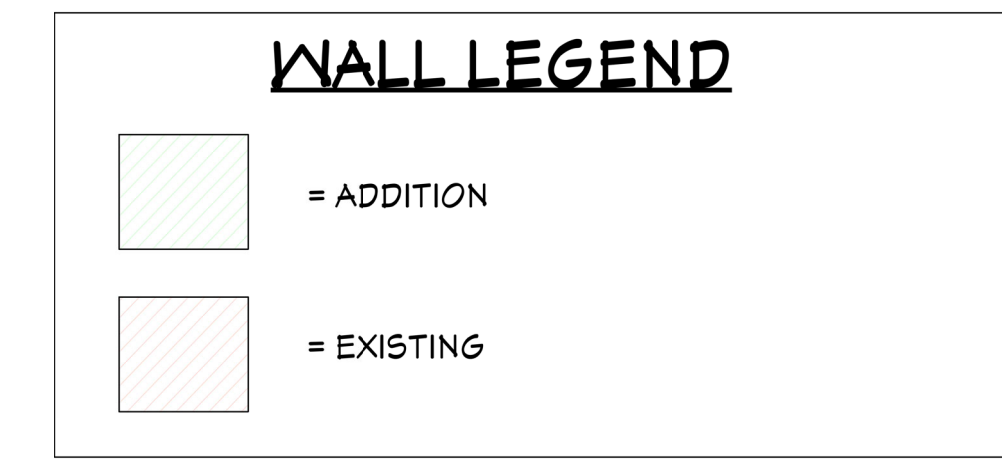
- \* BOLT / SCREW CONNECTION : R502.2.2.1
- \* LATERAL CONNECTION: R502.2.2.3

**CONCRETE NOTES:**

- \* 3,000 PSI @ 28 DAY MINIMUM
- \* STEEL REINFORCING: GRADE 40MIN.
- \* MIN. LAP LENGTH: 40 BAR DIMETERS
- \* 1/8" PER FOOT SLOPE FROM BACK OF GARAGE TO DOORS

**BULKHEAD NOTES:**

- \* BILCO CLASSIC SIZE C DOOR SHOWN
- \* 55"W X 72"L X 19.5" H (6" X 48" OPENING)
- \* CONTRACTOR TO CONFIRM SIZE & LOCATION



Number	Date	Revision	Description

**FOUNDATION**

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 37 ORCHARD ST  
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 9 WALKER STREET | KITTERY, ME  
 amy@duttonhome.com  
 207.337.2020

**DATE:**  
 4/27/2022

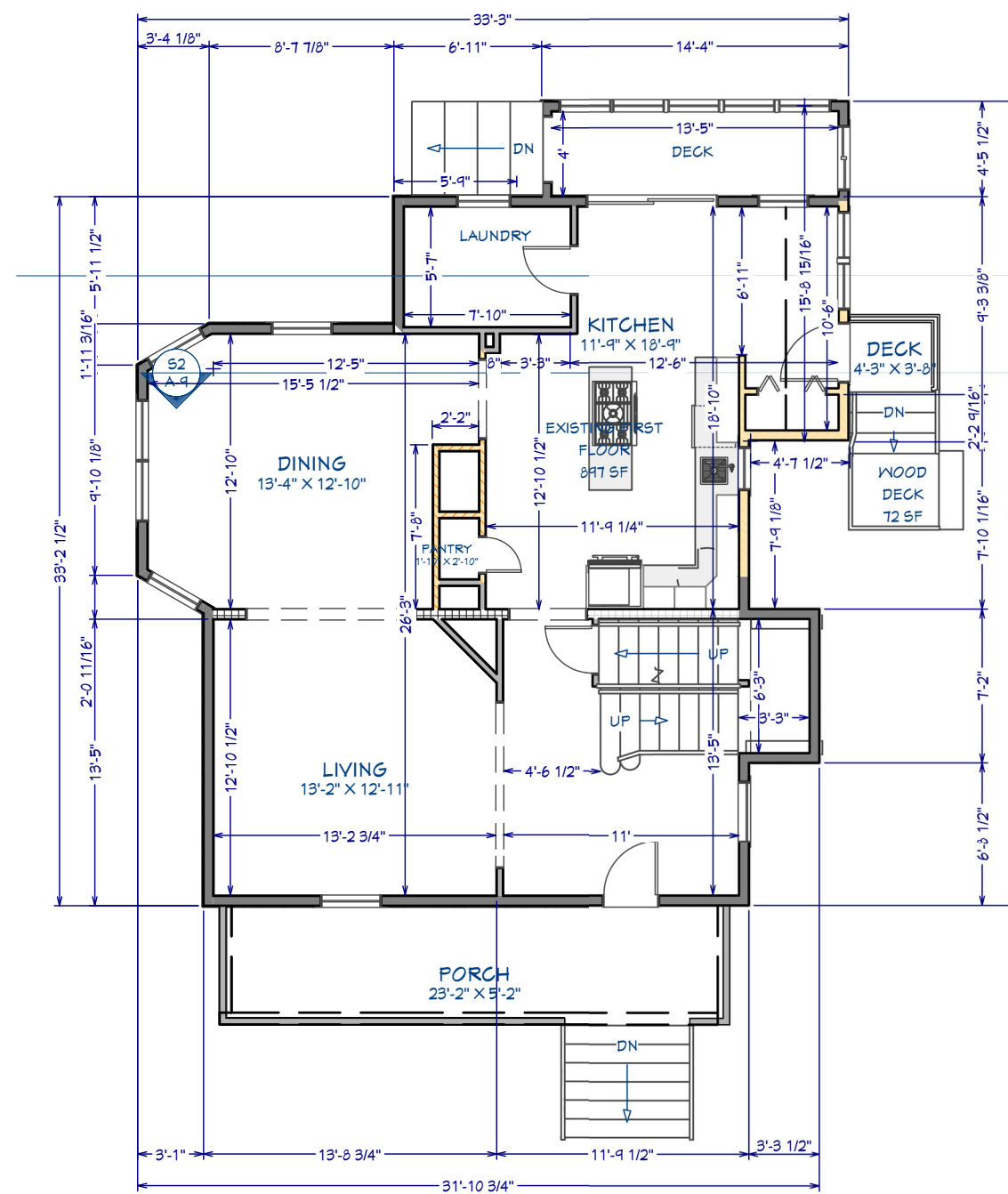
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 24" X 36"

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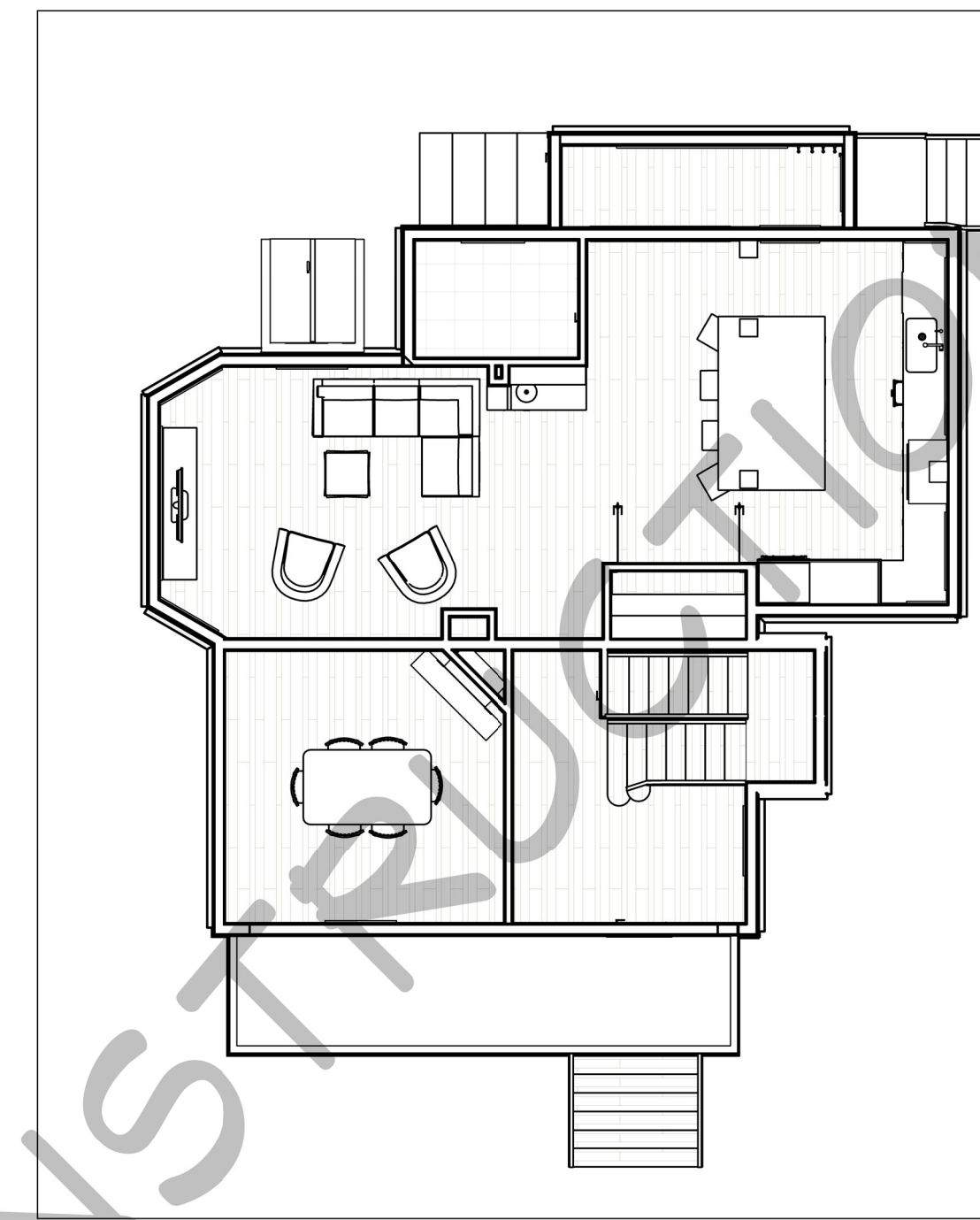
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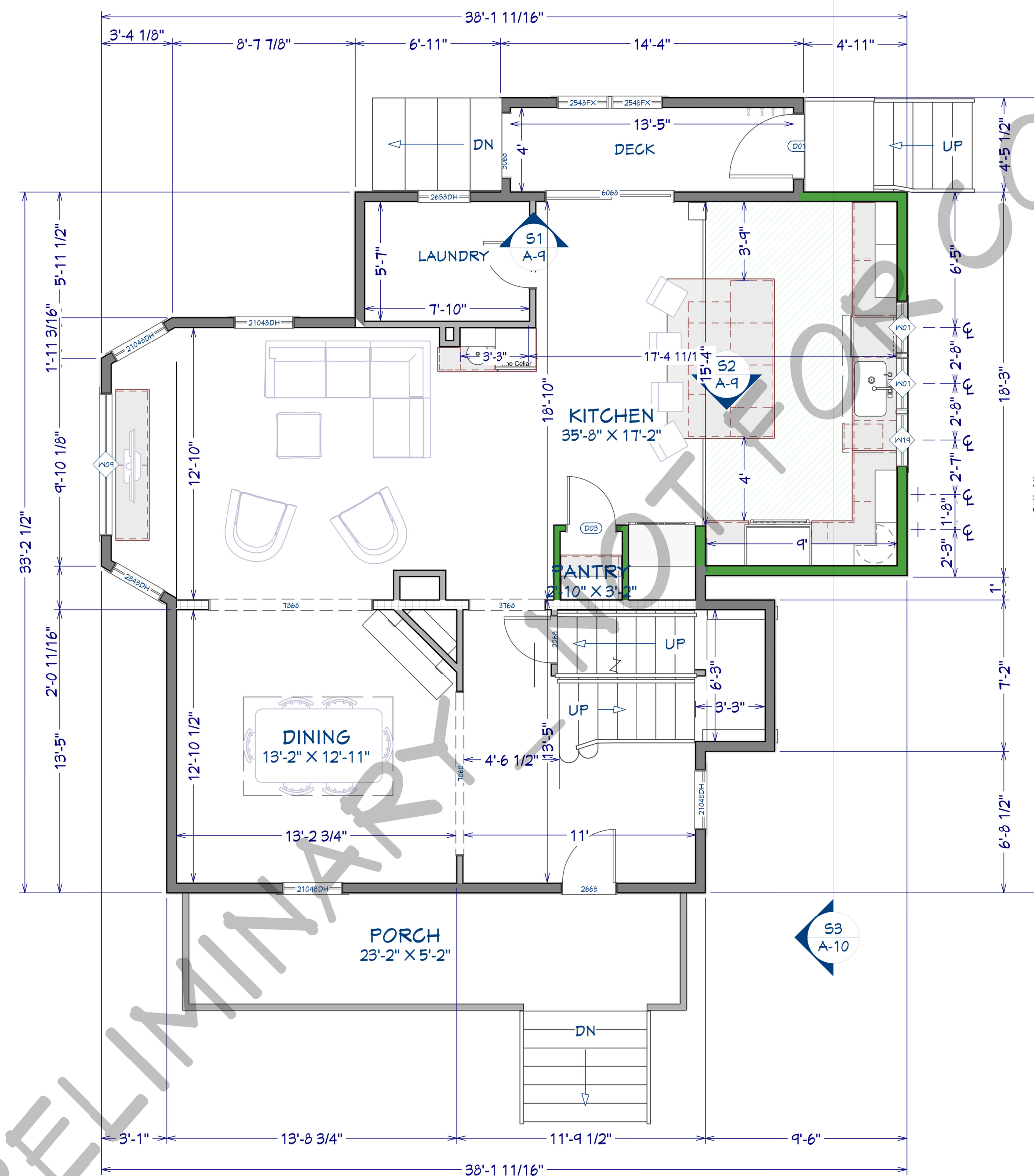
**EXISTING FIRST FLOOR PLAN**

SCALE: 1/8" = 1'-0"



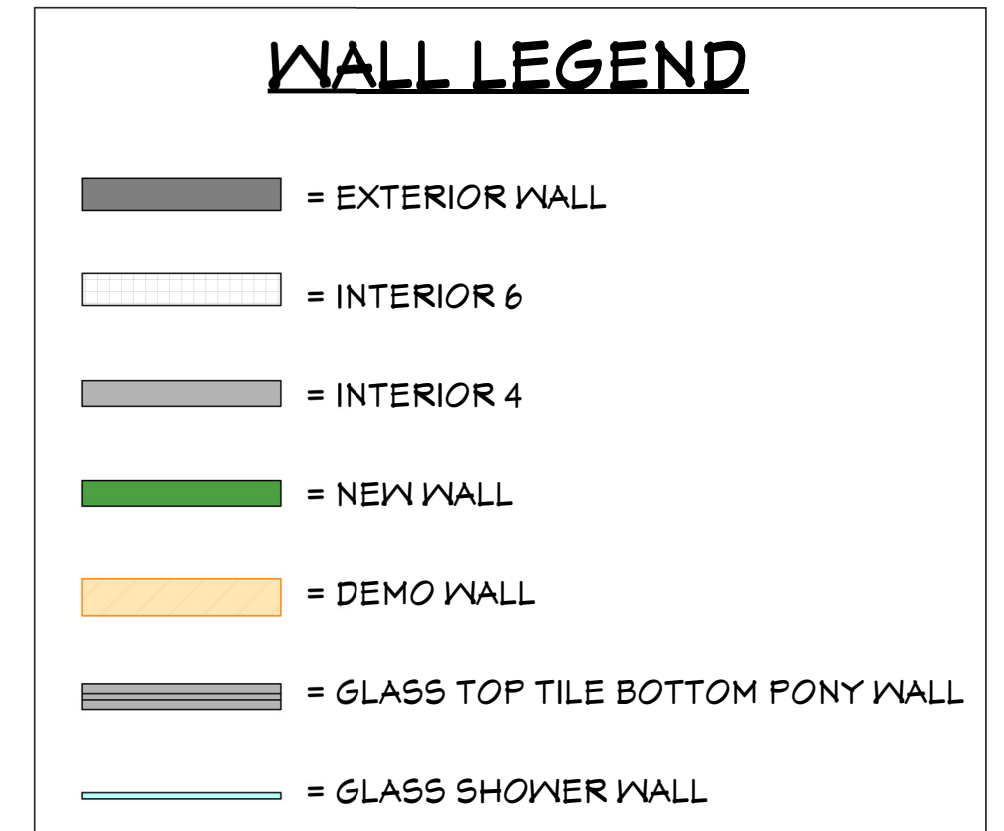
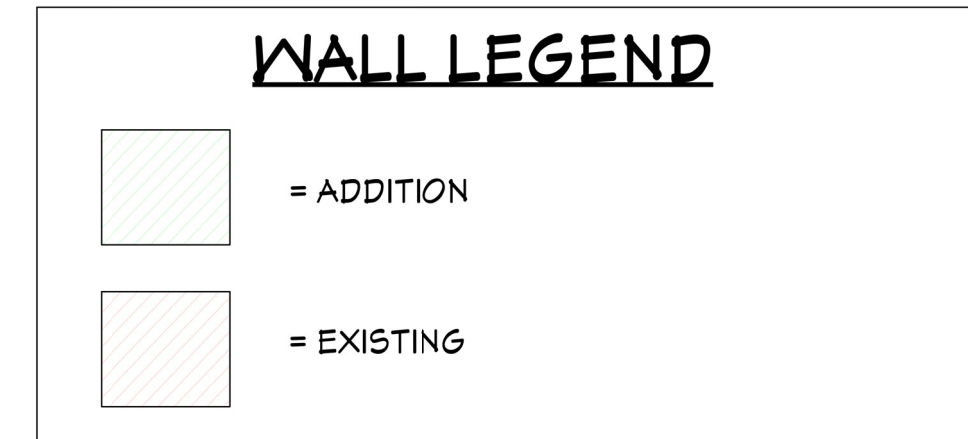
**PERSPECTIVE VIEW**

SCALE: NTS

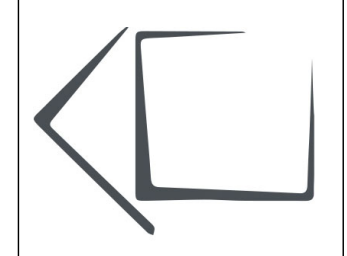


**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



- DIMENSIONS:**  
DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.  
CLOSETS ARE 24" CLEAR INSIDE, UNLESS DIMENSIONED OTHERWISE.
- SQUARE FOOTAGES:**
- Square foot numbers are interior to room and use in calculating finishes.
  - Cabinet and fixtures are not subtracted.
  - Add for doorways when floor finishes run through.
- NOTES:**
- Exterior walls 2x6 wood stud @ 16" oc. Provide insulation and vapor barrier conforming to state and local codes. Interior sheathing 1/2" gypsum board. Provide 1/2" exterior rated sheathing, house wrap with drainage pland and siding. Provide step flashing at walls adjacent to roof planes.
  - Interior walls 2x4 stud @ 16" oc, unless noted otherwise.
  - Roof - see structural for rafter sizes. provide 5/8" exterior rated roof sheathing 15# roofing felt, ice & water shield at eaves and valleys, aluminum drip edge and asphalt shingles or metal roofing. Structure not calculated to support slate or tile. Polish all penetrations. Provide cricket at any added chimneys.
  - Provide roof and / or ceiling insulation per code. Provide soffit and ridge vents where required for insulation strategy. (Verify with code office - closed cell spray foam or dense-pack cellulose installed at rafters and filling ridge and eaves generally contra-indicated venting, batt insulation always requires venting.)
  - Provide smoke detectors where shown, where required by code and where required by local authorities.
  - Provide fire resistive materials where required by code, including but not limited to, firestopping at penetrations, 1/2" drywall on walls and 5/8" drywall on ceilings to separate garage (where garage present in design) from dwelling, and separation of dwellings (where more than one dwelling present in design), and protection of flammable insulation material.
  - Confirm bottom of window openings relative to frame. Adjust head heights as required to conform to IRC 2015 or provide code approved guards.
  - Compliance with code requirements for room size and clearances (hallway widths, room sizes, etc) assume 1/2" drywall on walls and 1/2" drywall on 3/4" strapping on ceilings. Adjust as required if materials differ.
  - Some windows must be installed with a head height greater or lesser than the standard 80" or 82-1/2" to provide clearance at kitchen counters, to meet code sill height or to clear roofs. Where approx. 84" head height is called for, install 2x10 header tight to the double top plate, frame, window RO tight to header.
  - Shear is only called out where Continuous Portal Frame will not suffice. See IRC 2015 code.



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**FIRST FLOOR**

**CLIENT:**  
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37 ORCHARD ST  
PORTSMOUTH, NH 03801

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amy@duttonhome.com  
207.337.2020

**DATE:**  
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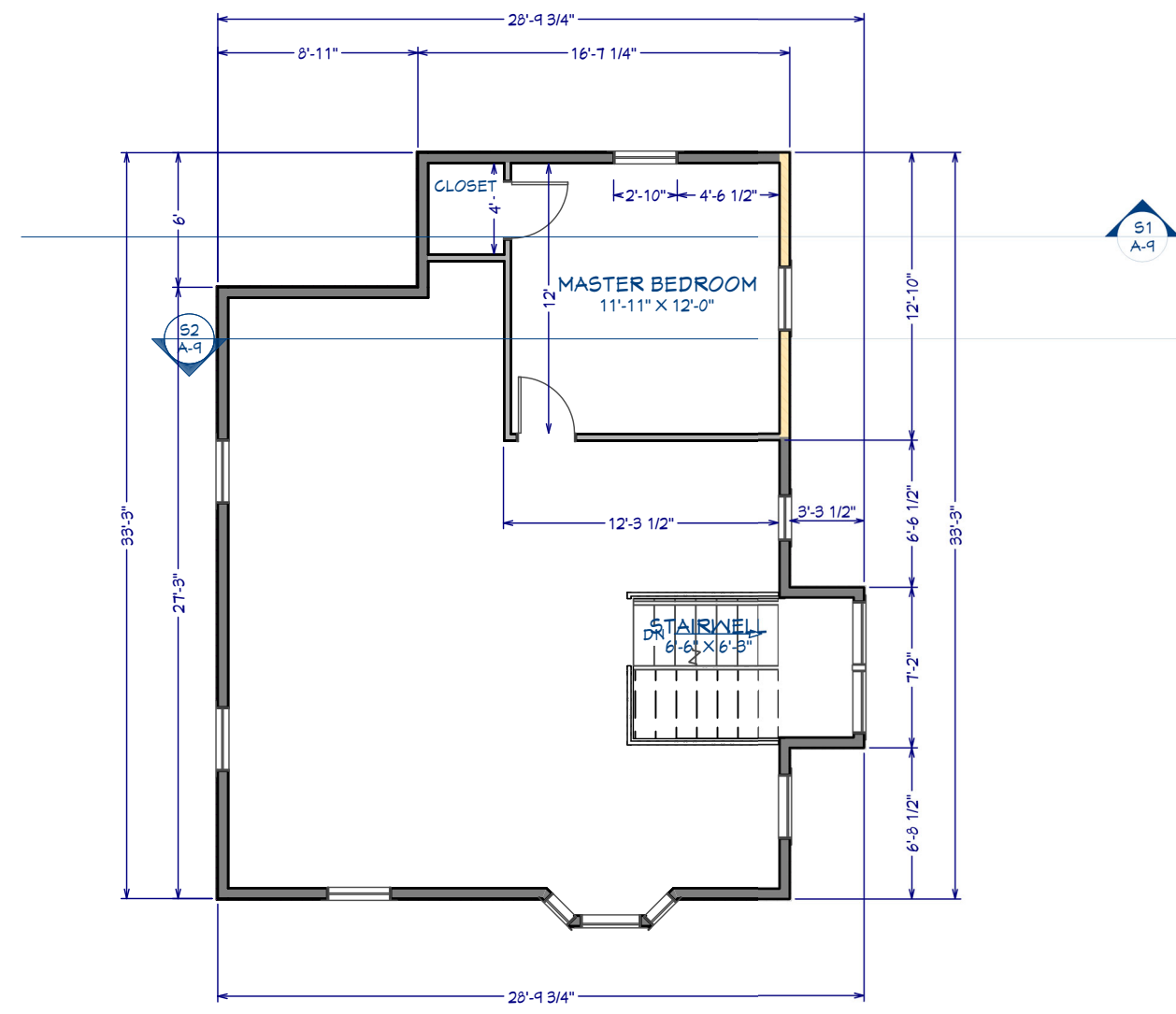
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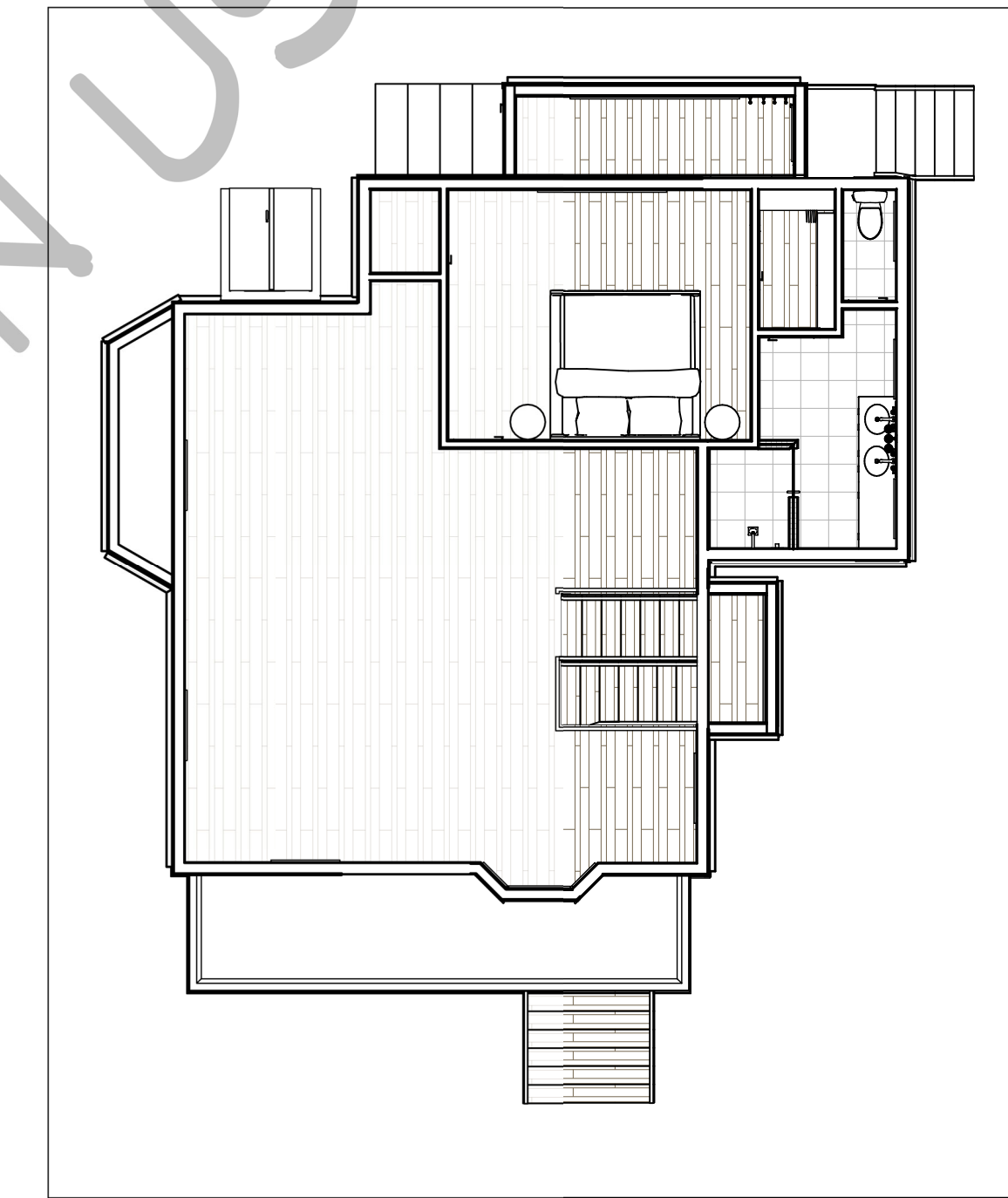
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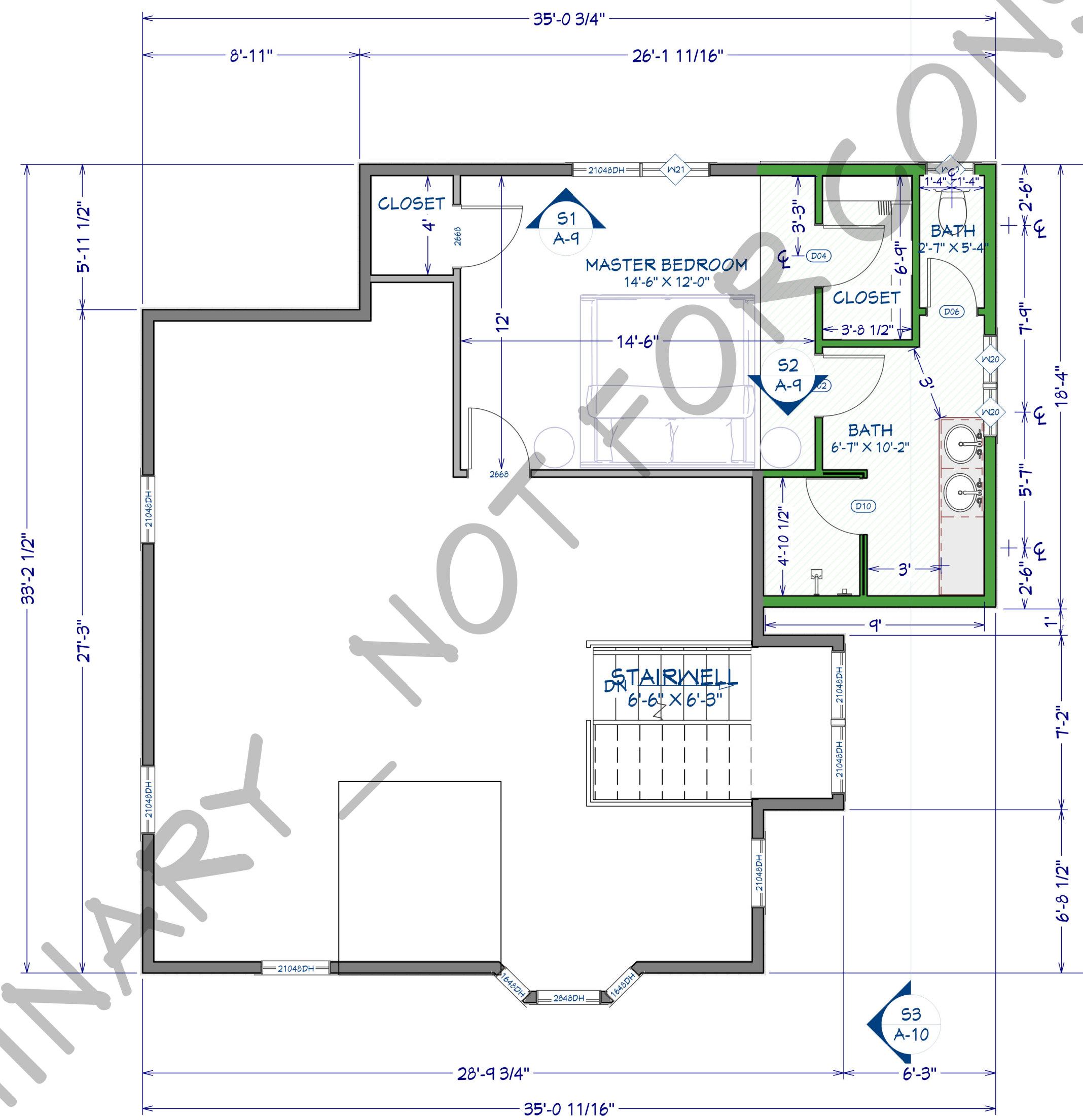
**EXISTING SECOND FLOOR PLAN**

SCALE: 1/8" = 1'-0"



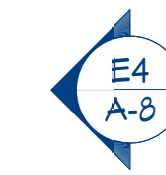
**PERSPECTIVE VIEW**

SCALE: NTS



**PROPOSED SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

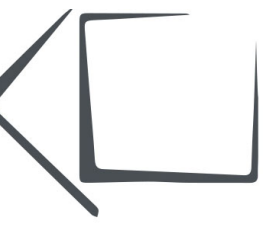


**WALL LEGEND**

- = ADDITION
- = EXISTING

**WALL LEGEND**

- = EXTERIOR WALL
- = INTERIOR 6
- = INTERIOR 4
- = NEW WALL
- = DEMO WALL
- = GLASS TOP TILE BOTTOM PONY WALL
- = GLASS SHOWER WALL



Number	Date	Revision Table	Description

**SECOND FLOOR**

**CLIENT:**  
 VICKERY RESIDENCE  
 37 ORCHARD ST  
 PORTSMOUTH, NH 03801

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@duttonhome.com  
 207.337.2020

**DATE:**

4/27/2022

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SCALED FOR: 24" X 36"

SCALE:

SEE SCALE ON DRAWINGS

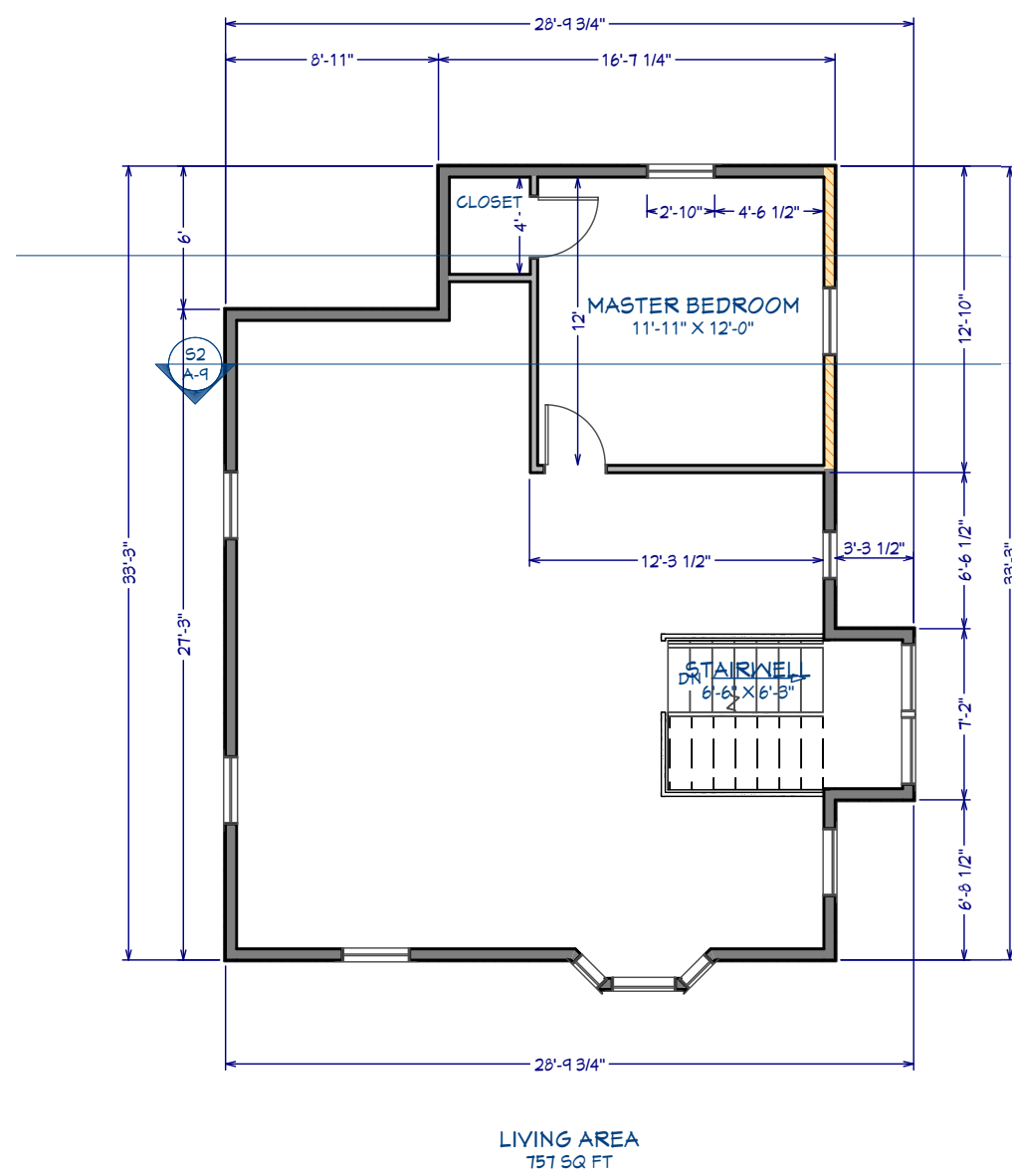
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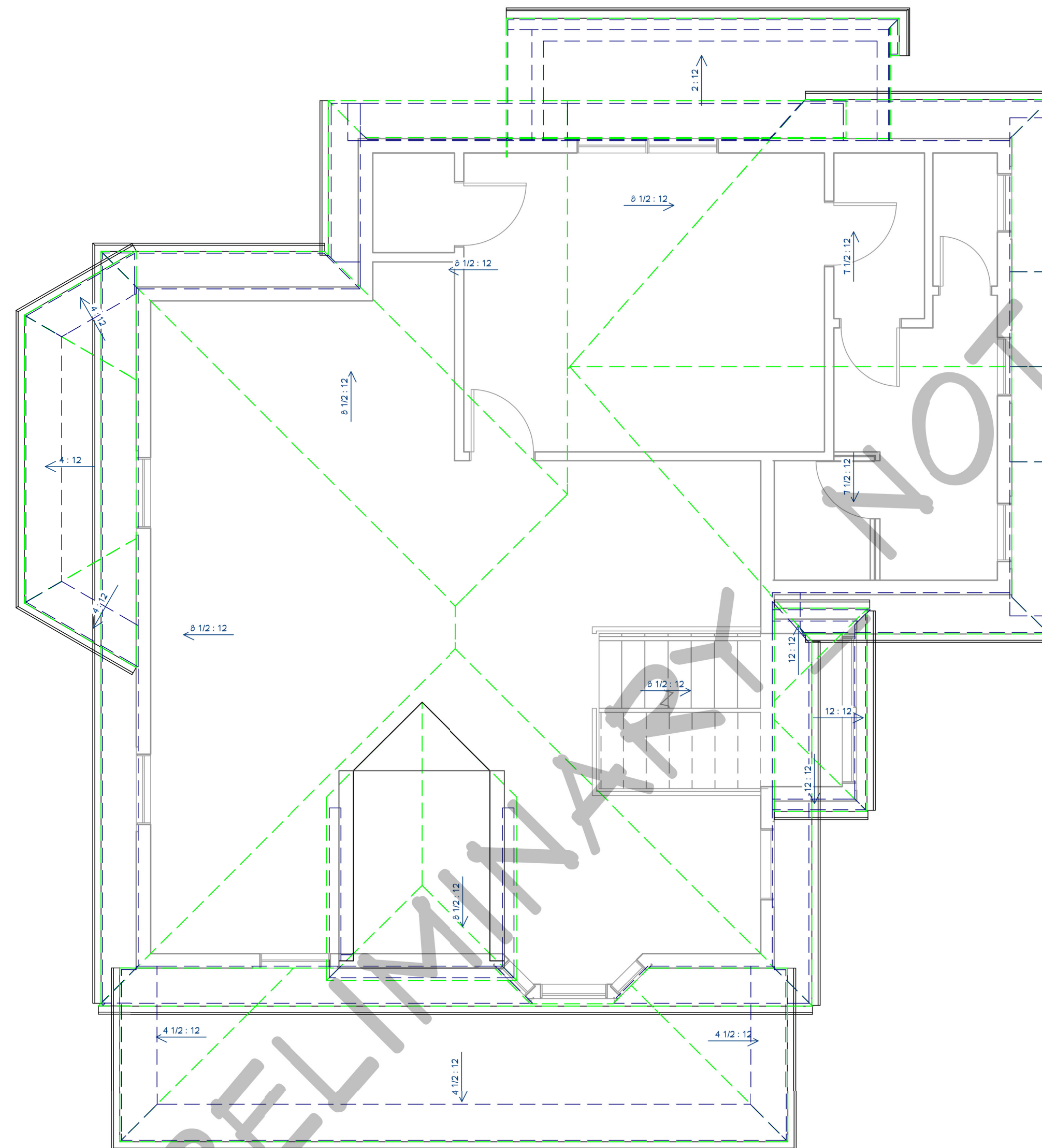
**NOTES:**

1. PROVE 2 X 10 FLOOR JOISTS AT 16" o.c. TYPICAL
2. INTERIOR NON-BEARING STUD WALLS ARE 2 X 4 AT 16" o.c.
3. INTERIOR BEARING WALLS ARE 2 X 6 AT 16" o.c. #5-2 OR BETTER
4. HEADERS FOR DOORS AND WINDOWS UP TO 6 FEET ARE (2) 2 X 10's
5. ENGINEERED FLOOR BEAM TO BE DESIGNED AND SUBMITTED PRIOR TO CONSTRUCTION BY STRUCTURAL ENGINEER.
6. CEILING JOISTS FOR THE SECOND FLOOR ARE 2X6.
7. ROOF PLANES ARE GREEN
8. FIRST FLOOR WALLS ARE GREY



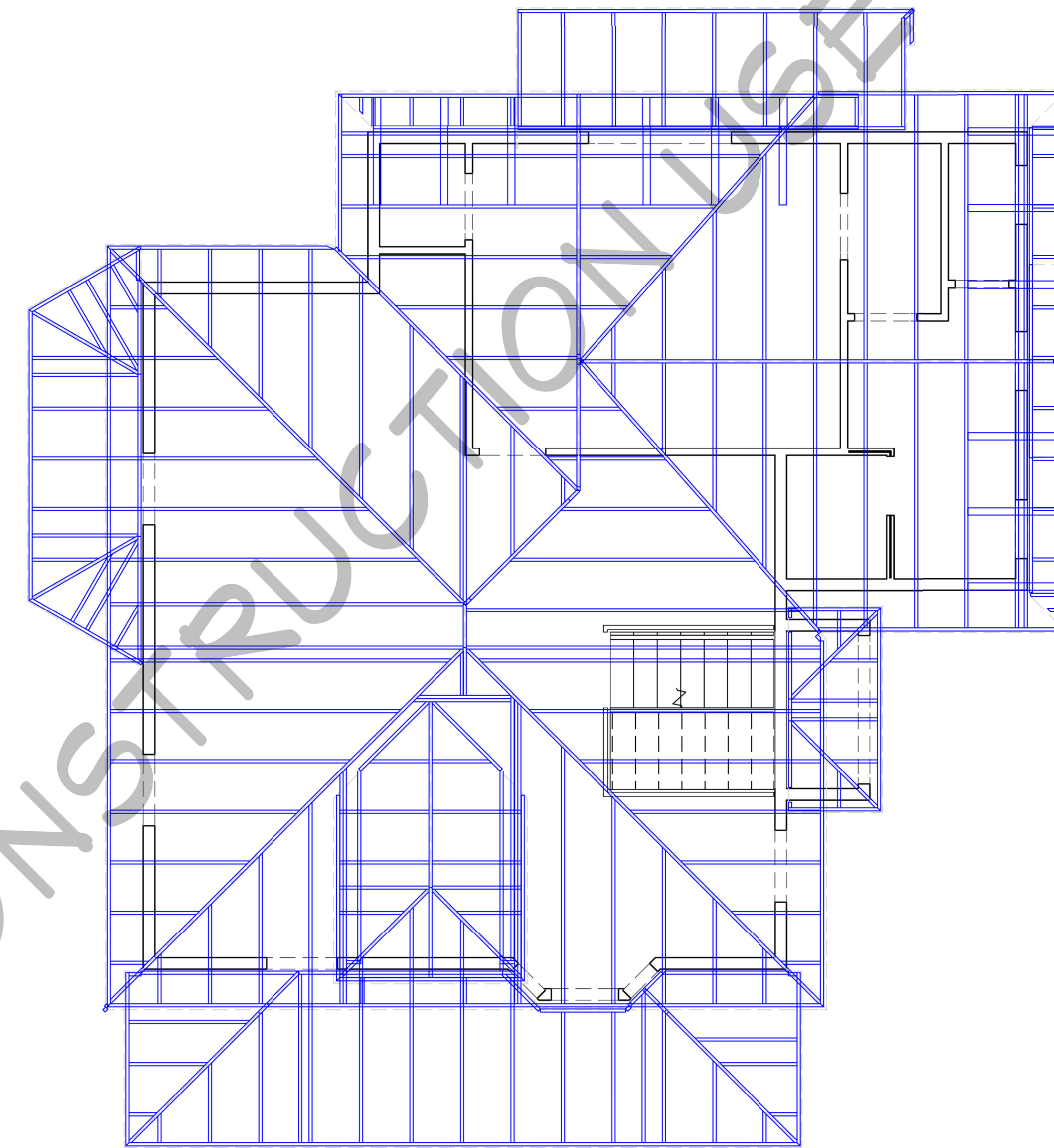
**EXISTING ROOF PLAN**

SCALE: 1/8" = 1'-0"



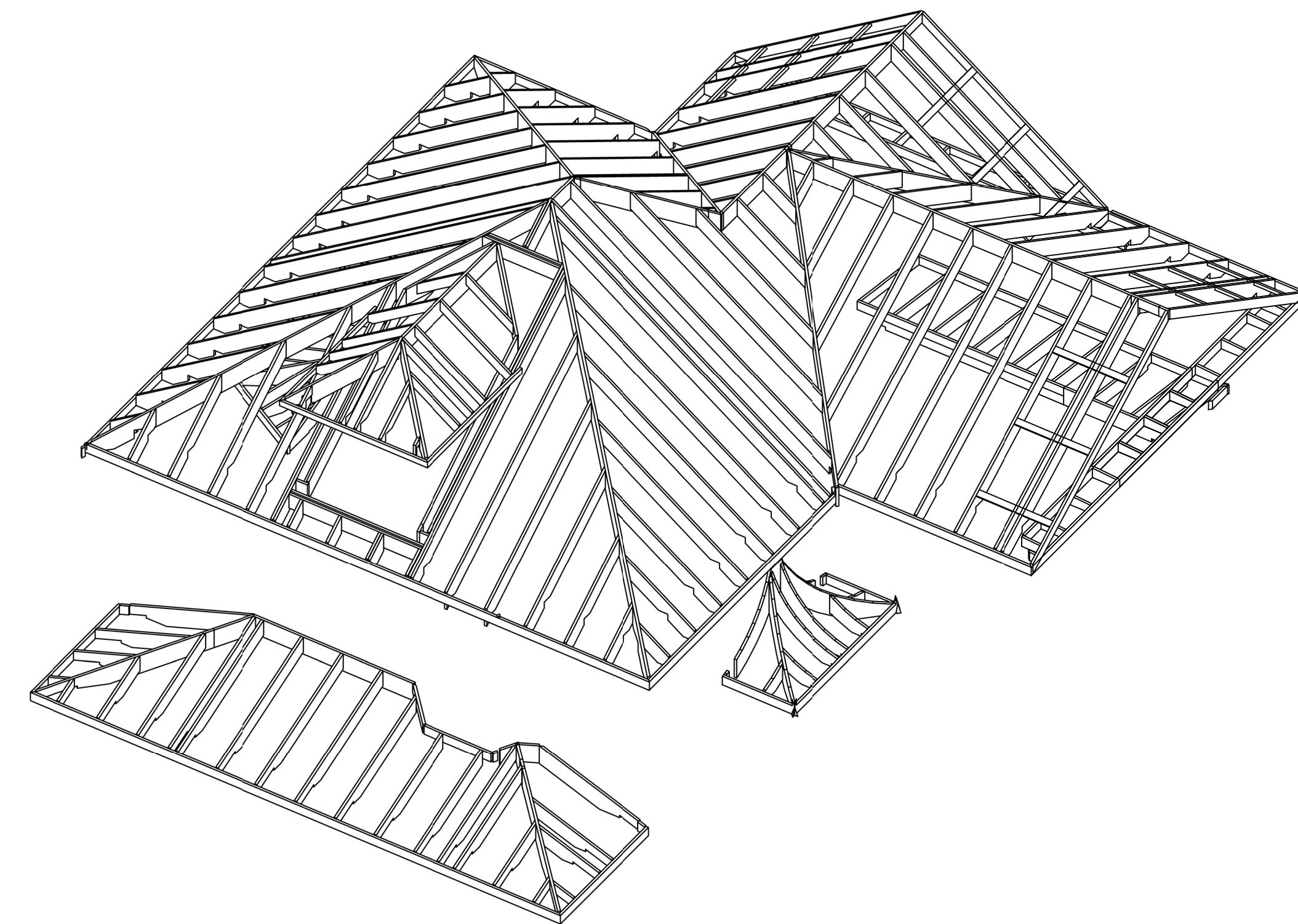
**PROPOSED ROOF PLAN**

SCALE: 1/4" = 1'-0"



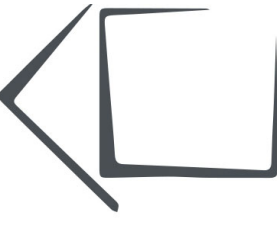
**PROPOSED ROOF FRAMING**

SCALE: NTS



**PROPOSED ROOF PERSPECTIVE**

SCALE: NTS



Number	Date	Revision Table	Description

**ROOFS**

**CLIENT:**  
VICKERY RESIDENCE  
37 ORCHARD ST  
PORTSMOUTH, NH 03801

**CONTACT:**  
AMY DUTTON HOME  
9 WALKER STREET | KITTERY, ME  
amy@duttonhome.com  
207.337.2020

**DATE:**  
4/27/2022

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**SCALED FOR:**  
24" X 36"

**SCALE:**

SEE SCALE ON DRAWINGS

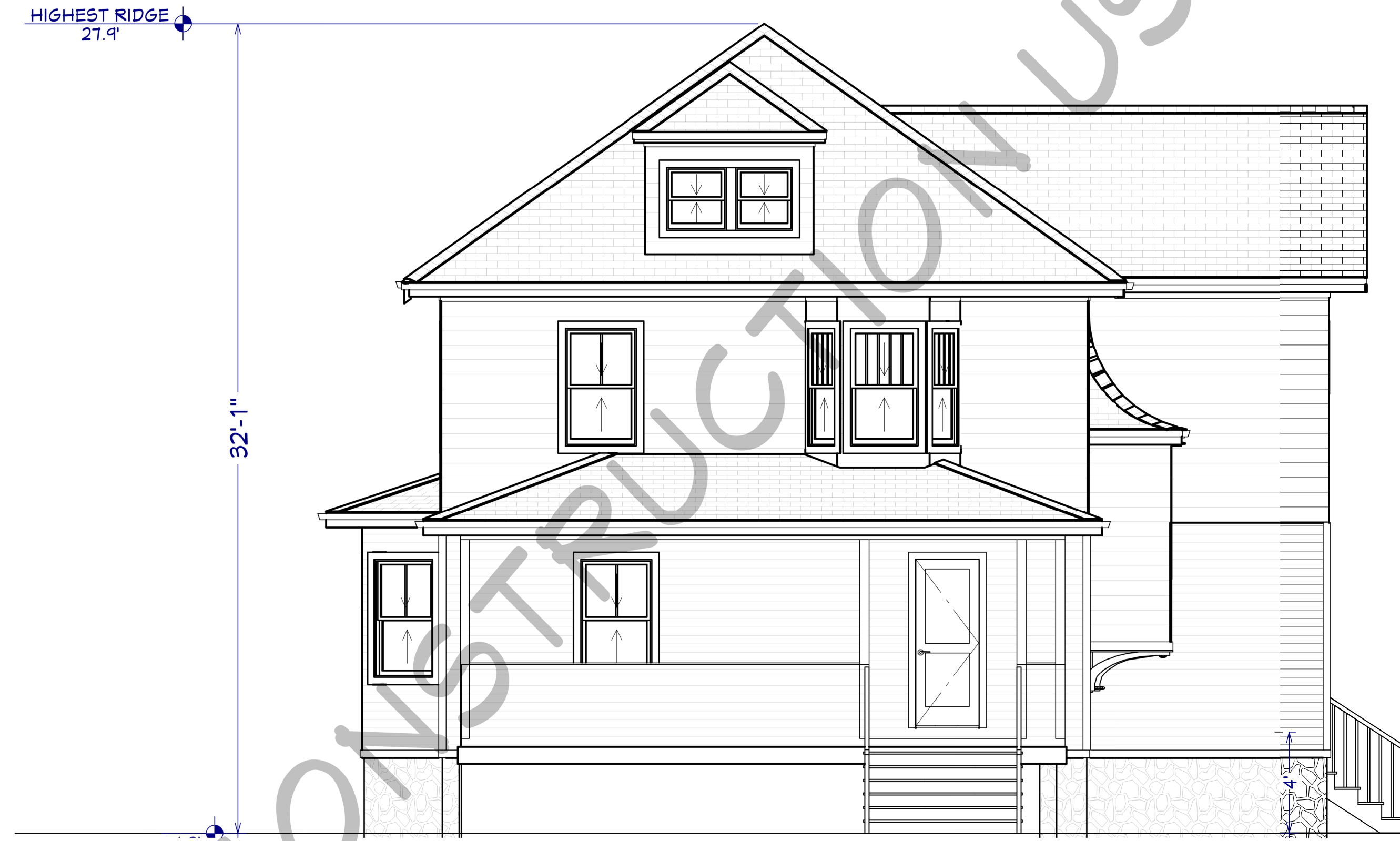
**SHEET:**

**A-4**



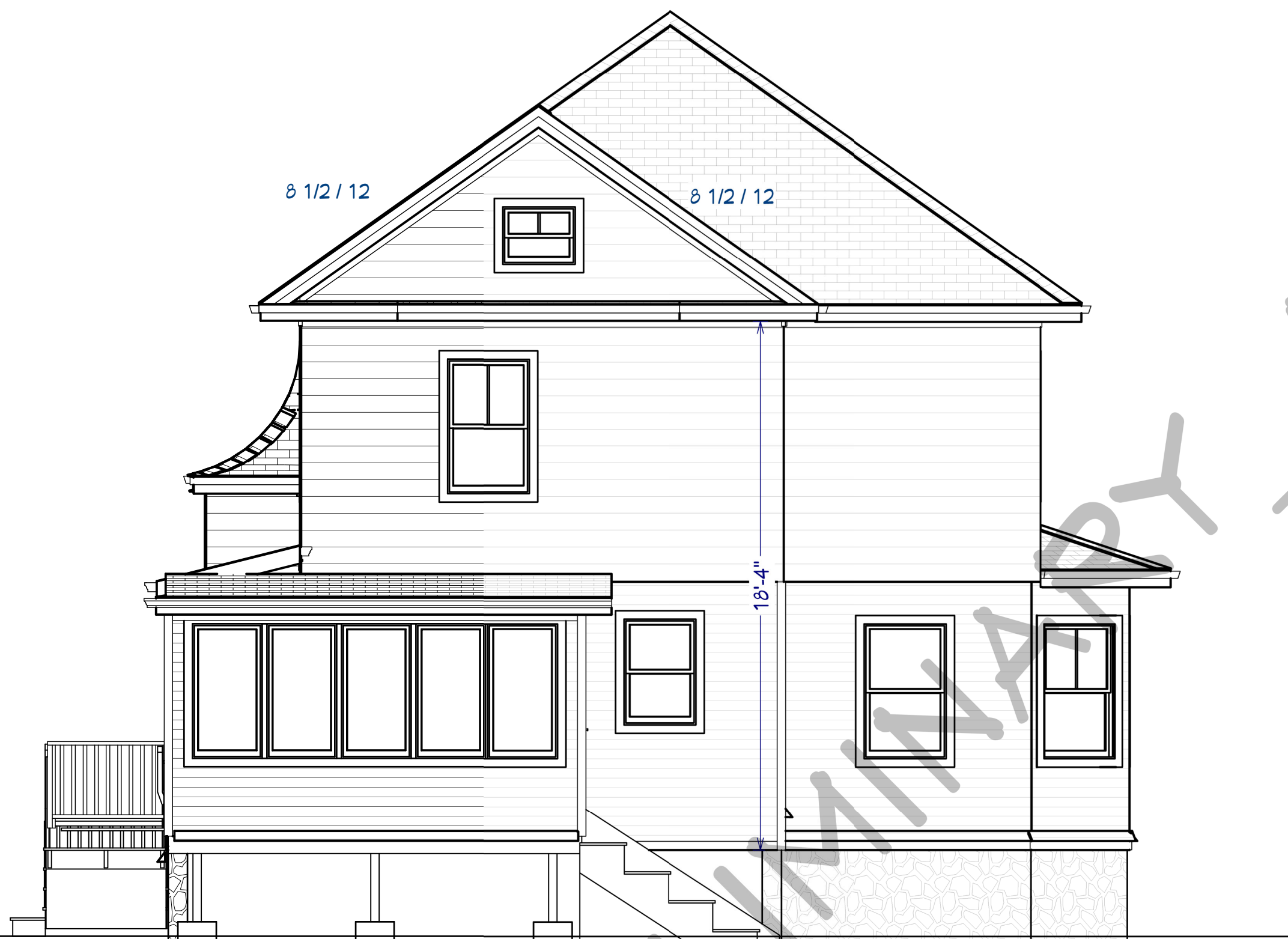
**NORTH ELEVATION EXISTING | FRONT VIEW**

SCALE: 1/4" = 1'-0"



**NORTH ELEVATION PROPOSED | FRONT VIEW**

SCALE: 1/4" = 1'-0"



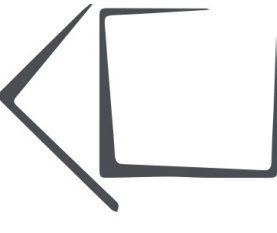
**SOUTH ELEVATION EXISTING | REAR VIEW**

SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION PROPOSED | REAR VIEW**

SCALE: 1/4" = 1'-0"



Number	Date	Revision Table Description

**ELEVATIONS**

**CLIENT:**  
 VICKERY RESIDENCE  
 37 ORCHARD ST  
 PORTSMOUTH, NH 03801

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@amyduttonhome.com  
 207.337.2020

**DATE:**  
 4/27/2022

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**SCALED FOR:**  
 24" X 36"

**SCALE:**  
 SEE SCALE ON DRAWINGS

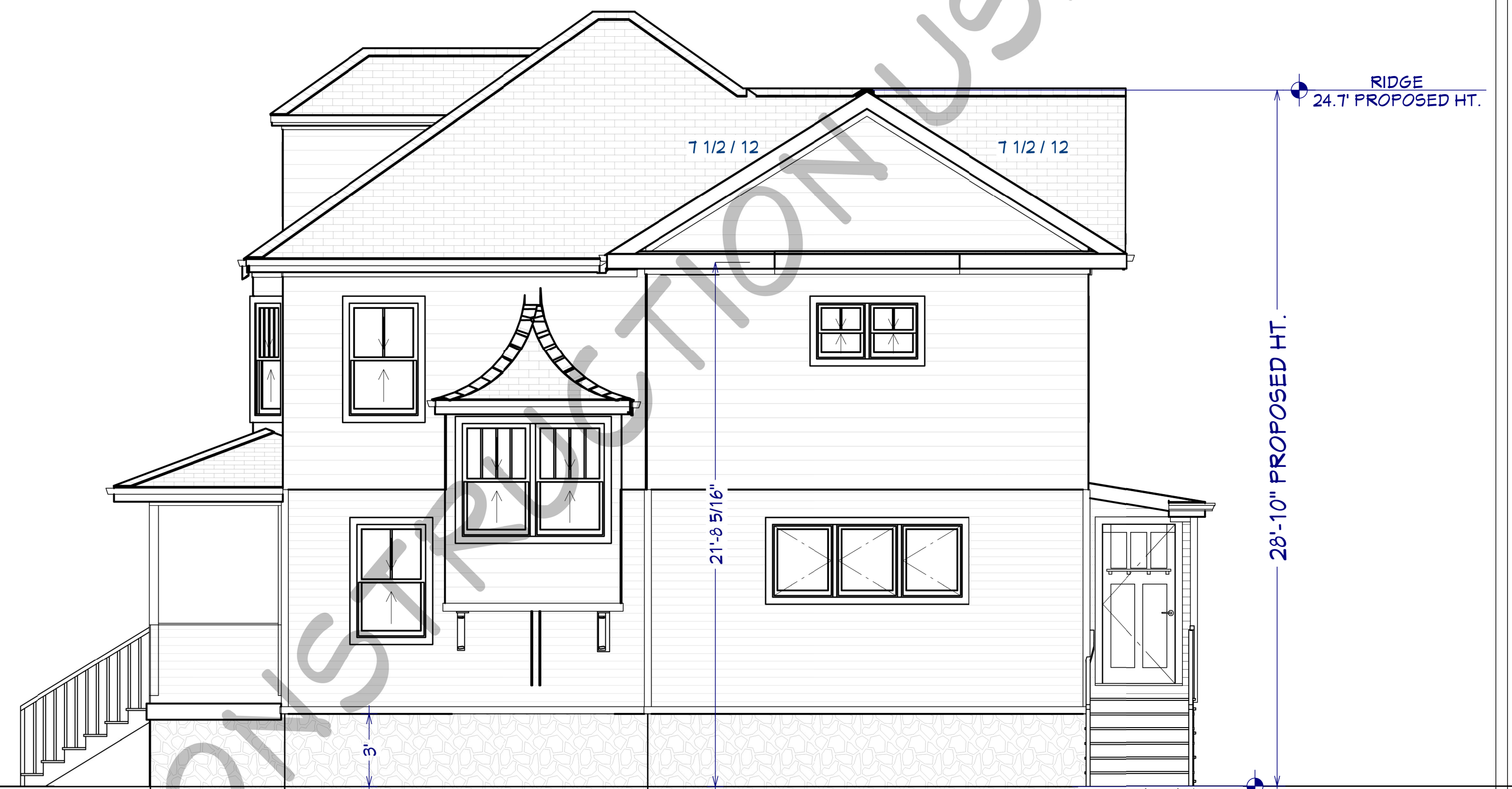
**SHEET:**

**A-7**



**EAST ELEVATION EXISTING | SIDEVIEW**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION PROPOSED | SIDEVIEW**

SCALE: 1/4" = 1'-0"



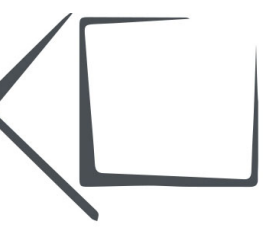
**WEST ELEVATION EXISTING | SIDEVIEW**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION PROPOSED | SIDEVIEW**

SCALE: 1/4" = 1'-0"



Number	Date	Description

**ELEVATIONS**

**CLIENT:**  
 VICKERY RESIDENCE  
 37 ORCHARD ST  
 PORTSMOUTH, NH 03801

**CONTACT:**  
 AMY DUTTON HOME  
 9 WALKER STREET | KITTERY, ME  
 amy@duttonhome.com  
 207.337.2020

**DATE:**  
 4/27/2022

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**SCALED FOR:**  
 24" X 36"

**SCALE:**  
 SEE SCALE ON DRAWINGS

**SHEET:**

**A-8**  
 ELEVATIONS

PRELIMINARY - NOT FOR CONSTRUCTION USE