



24 April 2026

Rick Chellman, Chair  
City of Portsmouth Planning Board  
1 Junkins Avenue  
Portsmouth, NH 03801

**Re: City of Portsmouth Wetland Conditional Use Permit | Tax Map 115, Lot 4-1 | Parrott Avenue Parking Lot; Development at 134 Pleasant Street, Portsmouth, New Hampshire**

Dear Chair Chellman and Planning Board Members:

This letter transmits a City of Portsmouth Wetland Conditional Use Permit application for 601 square feet of disturbance within the 100-foot City of Portsmouth Wetland Buffer. We request that we be placed on the agenda for your **May 21, 2026**, Planning Board Meeting. The site is shown on Tax Map 115 as Lot 4-1 and is owned by the City of Portsmouth, and is currently used as the Parrott Avenue parking lot. The need for the impact is generated under the 134 Pleasant Avenue Site Plan application by the requirement that the developer update the site drainage infrastructure to separate the surface water run-off, which currently flows to the city sewer system, and direct that flow to a dedicated drainage collection system. The system location is off-site from the 134 Pleasant Street development site and requires drainage piping to be constructed through the Parrott Avenue parking lot to make the necessary connection. Since this connection is in the City of Portsmouth Buffer Zone, this permit application is being filed. The piping connection will not alter the ground conditions, with the exception of drainage access manholes at grade.

The impacts are associated with the 134 Pleasant Street development project and are required to provide appropriate stormwater separation and treatment, as outlined in the project Technical Advisory Committee (TAC) review and approval. The 134 Pleasant Street project consists of the adaptive reuse of the existing structure, with horizontal and vertical building expansions, and below grade (basement) parking, shown as "Building A". "Building B" will be constructed in the area between the existing Citizens Bank building and Pleasant street, bringing the site into conformance with the ordinance desire to enliven the street frontage. New exterior treatments and entrance locations are proposed, along with re-imaged pedestrian friendly sidewalks and landscaping improvements. The proposal is to increase the banking footprint, keeping the drive through in the same location, expanding the professional offices, and adding apartments. In addition to the banking facility and drive-up, the banking services will be expanded to include the headquarters of Kennebunk Savings Bank. The site is currently developed with an existing building and a surface parking lot.



The portion of the wetland buffer area that occurs on the Parrott Avenue Parking Lot is almost entirely covered with asphalt paving to provide for car parking. Between the city parking lot property and the South Mill Pond (the protected resource) there are trees and lawn area, with 40% of the area taken up by the Parrott Avenue pavement.

According to the City of Portsmouth Zoning Ordinance *Article 10.1017.50 Criteria for Approval*, the proposal shall comply with the following criteria:

**1. The land is reasonably suited to the use, activity or alteration.**

The proposal is to construct a drainage connection to decrease stormwater diverted to the sewer system which experiences surges and overflows in storm events. The portion of the proposed drainage improvement located within the 100' City of Portsmouth Wetland Buffer consists of 40 feet of pipe and an associated catch basin connection. The impact is temporary in nature as the ground surface will be returned to its original state. Given that the existing lot use will not change, the land is reasonably suited to the use, activity, or alteration.

**2. There is no alternative location outside of the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.**

Due to the configuration of the drainage system, and the location of the proposed connection, deviations from the connection point would create additional impacts to the 100' City of Portsmouth Wetland Buffer. We believe that the proposed connection location provides a reasonable use and minimizes impacts to the wetland buffer.

**3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.**

We believe the proposal will not impact the existing wetland resource located adjacent to the site and its current functions and values. The proposed project is a cut, place, and cover operation. The diversion of potential sewer overflows will have a positive impact on the resource.

**4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.**

The proposed project does not include alteration of any naturally vegetated area to accommodate the construction. All construction is in an existing paved area.

**5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.**

The project represents the alternative with the least adverse impacts to the buffer areas and environments while allowing development of the adjacent property. The project



provides components which will serve to improve stormwater quality, treatment, and divert potential sewer overflows.

**6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.**

There are no areas within the vegetated buffer strip that will be impacted or altered by this project.

The Portsmouth Conservation Commission review the project at their meeting on April 8, 2026, and recommended approval, subject to the addition of the Wetland Scientist stamp to the plan, which has been updated.

We look forward to Planning Board review of this submission and look forward to an in-person presentation at your meeting.

Sincerely,

John R. Chagnon, PE

P:\NH\5010156-McNabb\_Properties\1532-134 Pleasant St., Portsmouth-JRC\03-WIP\_Files\Applications\NHDES Wetland and Shoreland\Portsmouth CUP\Planning Board CUP Submission Letter 4-24-26.docx

# Findings of Fact | Wetland Conditional Use Permit

## City of Portsmouth Planning Board

Date: May 21, 2026

Property Address: 0 Parrott Avenue

Application #: LU-26-60

Decision:  Approve       Deny       Approve with Conditions

### Findings of Fact:

Per RSA 676:3, I: The local land use board shall issue a final written decision which either approves or disapproves an application for a local permit and make a copy of the decision available to the applicant. **The decision shall include specific written findings of fact that support the decision. Failure of the board to make specific written findings of fact supporting a disapproval shall be grounds for automatic reversal and remand by the superior court upon appeal, in accordance with the time periods set forth in RSA 677:5 or RSA 677:15, unless the court determines that there are other factors warranting the disapproval.** If the application is not approved, the board shall provide the applicant with written reasons for the disapproval. If the application is approved with conditions, the board shall include in the written decision a detailed description of all conditions necessary to obtain final approval.

In order to grant Wetland Conditional Use permit approval the Planning Board shall find the application satisfies criteria set forth in the Section 10.1017.50 (Criteria for Approval) of the Zoning Ordinance.

	<b>Zoning Ordinance Sector 10.1017.50 Criteria for Approval</b>	<b>Finding (Meets Criteria for Approval)</b>	<b>Supporting Information</b>
<b>1</b>	<i>1. The land is reasonably suited to the use activity or alteration.</i>	<b>Meets</b>  <b>Does Not Meet</b>	This property is disturbed with pavement and the proposed activity would return the area of work back to pavement once the new piping is installed.
<b>2</b>	<i>2. There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.</i>	<b>Meets</b>  <b>Does Not Meet</b>	This project is a sewer separation project and in order to split the stormwater from the existing combined line, the stormwater pipe will have to be directed to an existing connection, the closest of which is in the Parrott Avenue lot and within the 100' wetland buffer. An alternative location for the pipe does not seem feasible.
<b>3</b>	<i>3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.</i>	<b>Meets</b>  <b>Does Not Meet</b>	The proposed work is within a very small section of the wetland buffer and will occur in mostly existing paved areas. The construction should not have an adverse impact on the South Mill Pond and the new stormwater line should create an improvement to existing conditions by having stormwater treated by a jellyfish

	<b>Zoning Ordinance Sector 10.1017.50 Criteria for Approval</b>	<b>Finding</b> (Meets Criteria for Approval)	<b>Supporting Information</b>
			filter before entering into the main stormwater system.
4	4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.	<b>Meets</b> <b>Does Not Meet</b>	This project only appears to alter a very small portion of a landscaped area within the parking lot.
5	5. The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this section.	<b>Meets</b> <b>Does Not Meet</b>	This project proposes impacting an area that is already impervious surface and the introduction of treated stormwater to this area of our stormwater system should create a positive impact on the water quality in the area.
6	6. Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.	<b>Meets</b> <b>Does Not Meet</b>	This project does not propose impacts to the vegetated buffer strip (25' buffer).
7	<b><u>Other Board Findings:</u></b>		



## City of Portsmouth, New Hampshire

# *Wetland Conditional Use Permit Application Checklist*

This wetland conditional use permit application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Conservation Commission and Planning Board review. The checklist is required to be uploaded as part of your wetland conditional use permit application to ensure a full and complete application is submitted to the Planning and Sustainability Department and to the online portal. A pre-application conference with a member of the Planning and Sustainability Department is encouraged as additional project information may be required depending on the size and scope of the project. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all wetland conditional use permit requirements. Please refer to Article 10 of the City of Portsmouth Zoning Ordinance for full details.

**Applicant Responsibilities:** Applicable fees are due upon application submittal to the Planning Board (no fees are required for Conservation Commission submission). The application will be reviewed by Planning and Sustainability Department staff to determine completeness. Incomplete applications which do not provide required information for the evaluation of the proposed site development shall not be provided review by the Conservation Commission or Planning Board.

Name of Applicant: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

Application # (in City's online permitting): \_\_\_\_\_

Site Address: \_\_\_\_\_ Map: \_\_\_\_\_ Lot: \_\_\_\_\_

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)
<input type="checkbox"/>	Complete <a href="#">application</a> form submitted via the City's web-based permitting program	
<input type="checkbox"/>	All application documents, plans, supporting documentation, this checklist and other materials uploaded to the application form in OpenGov in digital <b>Portable Document Format (PDF)</b> . One hard copy of all plans and materials shall be submitted to the Planning and Sustainability Department by the published deadline.	

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)
<input type="checkbox"/>	Basic property and wetland resource information. <b>(10.1017.21)</b>	
<input type="checkbox"/>	Additional information required for projects proposing greater than 250 square feet of permanent or temporary impacts. <b>(10.1017.22)</b>	
<input type="checkbox"/>	Demonstrate impacts as they relate to the criteria for approval set forth in Section 10.1017.50 (or Section 10.1017.60 in the case of utility installation in a right-of-way). <b>(10.1017.23)</b>	
<input type="checkbox"/>	Balance impervious surface impacts with removal and/or wetland buffer enhancement plan. <b>(10.1017.24)</b>	

<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>
<input type="checkbox"/>	Wetland buffer enhancement plan. <b>(10.1017.25)</b>	
<input type="checkbox"/>	Living shoreline strategy provided for tidal wetland and/or tidal buffer impacts. <b>(10.1017.26)</b>	
<input type="checkbox"/>	Stormwater management must be in accordance with Best Management Practices including but not limited to: 1. <i>New Hampshire Stormwater Manual, NHDES, current version.</i> 2. <i>Best Management Practices to Control Non-point Source Pollution: A Guide for Citizens and City Officials, NHDES, January 2004.</i> <b>(10.1018.10)</b>	
<input type="checkbox"/>	Vegetated Buffer Strip slope of greater than or equal to 10%. <b>(10.1018.22)</b>	
<input type="checkbox"/>	Removal or cutting of vegetation, use of fertilizers, pesticides and herbicides. <b>(10.1018.23/10.1018.24/10.1018.25)</b>	
<input type="checkbox"/>	All new pavement within a wetland buffer shall be porous pavement. <b>(10.1018.31)</b>	
<input type="checkbox"/>	An application that proposes porous pavement in a wetland buffer shall include a pavement maintenance plan. <b>(10.1018.32)</b>	
<input type="checkbox"/>	Permanent wetland boundary markers shall be shown on the plan submitted with an application for a conditional use permit and shall be installed during project construction. <b>(10.1018.40)</b>	
<input checked="" type="checkbox"/>	<b>Requested Items for Submittal</b>	<b>Item Location (e.g. Page or Plan Sheet/Note #)</b>
<input type="checkbox"/>	A narrative/letter addressed to the Conservation Commission Chair (if recommended to Planning Board then an additional narrative addressed to the Planning Board Chair at that time) describing the project and any proposed wetland and/or wetland buffer impacts. Please visit the <a href="#">WCUP instruction page</a> for further application instructions.	
<input type="checkbox"/>	If New Hampshire Department of Environmental Services (NHDES) Standard Dredge and Fill Permit is required for this work, please provide this permit application at the same time as your submission for a Wetland Conditional Use Permit.	



**Applicant's Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_



# CITY OF PORTSMOUTH

Planning & Sustainability  
Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801  
(603) 610-7216

## CONSERVATION COMMISSION

April 13, 2026

Double Mc LLC  
10 Pleasant Street, Suite 300  
Portsmouth, New Hampshire 03801

RE: Request for Wetland Conditional Use Permit approval for property located at 134 Pleasant Street, Portsmouth NH 03801 (LU-25-138)

Dear Property Owner:

The Conservation Commission, at its regularly scheduled meeting of **Wednesday, April 8, 2026**, considered your application for the installation of a new treated stormwater pipe below the Parrott Avenue parking lot within the wetland buffer of the South Mill Pond. This project proposes a total impact area within the wetland buffer of 601 s.f. for disturbance of the existing asphalt parking lot to place and then cover the new stormwater line. This impact is almost entirely underneath existing impervious surfaces within the wetland buffer. Said property is shown on Assessor Map 116 Lot 30 and lies within the Character District 4 (CD4) and Historic District. As a result of said consideration, the Commission voted to **recommend approval** of this application to the Planning Board with the following condition.

*1. Plans must be stamped, signed and dated by the New Hampshire Certified Wetland Scientist who delineated the wetland resource.*

This matter will be placed on the agenda for the Planning Board meeting scheduled for **Thursday, May 21, 2026**. One (1) hard copy of any revised plans and/or exhibits as well as an updated electronic file (in a PDF format) must be filed in the Planning & Sustainability Department and uploaded to the online permit system no later than Wednesday, April 29, 2026.

The minutes and audio recording of this meeting are available by contacting the Planning & Sustainability Department.

Very truly yours,

Samantha Collins, Chair  
Conservation Commission

cc:

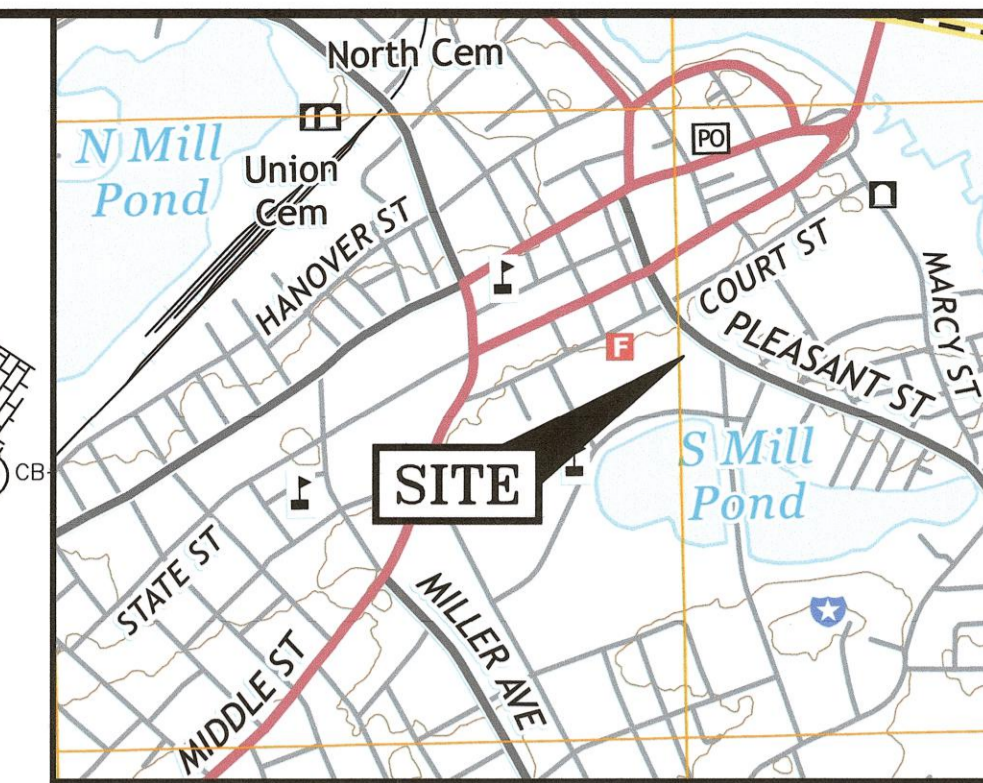
Francis X. Bruton, Esq., Attorney, Bruton & Berube, PLLC

Tracy Kozak, ARCove Architects

John Chagnon, Haley Ward

James J. Steinkrauss, Esq., Attorney, Rath, Young & Pignatelli, PC

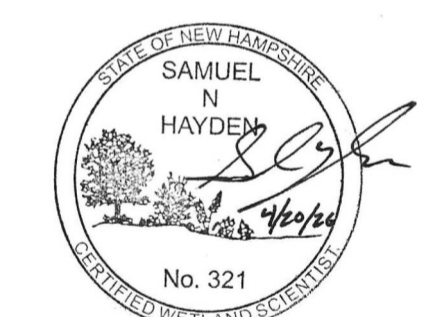
Michael K. O'Neil, Esq., Attorney, Rath, Young & Pignatelli, PC



LOCATION MAP SCALE: 1" = 1,000'

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 115 AS LOT 4-1.
  - 2) OWNERS OF RECORD:  
CITY OF PORTSMOUTH  
1 JUNKINS AVENUE  
PORTSMOUTH, N.H. 03801  
RCRD 1093/64
  - 3) PARCEL IS PARTIALLY IN SPECIAL FLOOD HAZARD AREA ZONE AE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021.
  - 4) EXISTING LOT AREA:  
71,740 S.F.  
1.65 ACRES
  - 5) PARCEL IS LOCATED IN THE MUNICIPAL (M) DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW SHORELAND AND TIDAL BUFFER ZONE IMPACTS ON ASSESSOR'S MAP 115, LOT 4-1 IN THE CITY OF PORTSMOUTH.
  - 8) PARCEL IS BENEFITED BY A RIGHT OF WAY AS DESCRIBED IN RCRD 2975/349 AND SHOWN ON RCRD D-18880 AND RCRD D-26343.

NORTH  
NAD83(2011)  
GRID  
NHSFC



REV	DATE	DESCRIPTION	BY	CHK.
3	04-07-26	EMERGENCY ACCESS ONLY	SJR	JRC
2	03-11-2026	ADDED IMPACT AREA	SJR	JRC
1	02-25-2026	REVISED LAYOUT	SJR	JRC
0	02-09-2026	ISSUED FOR COMMENT	SJR	JRC

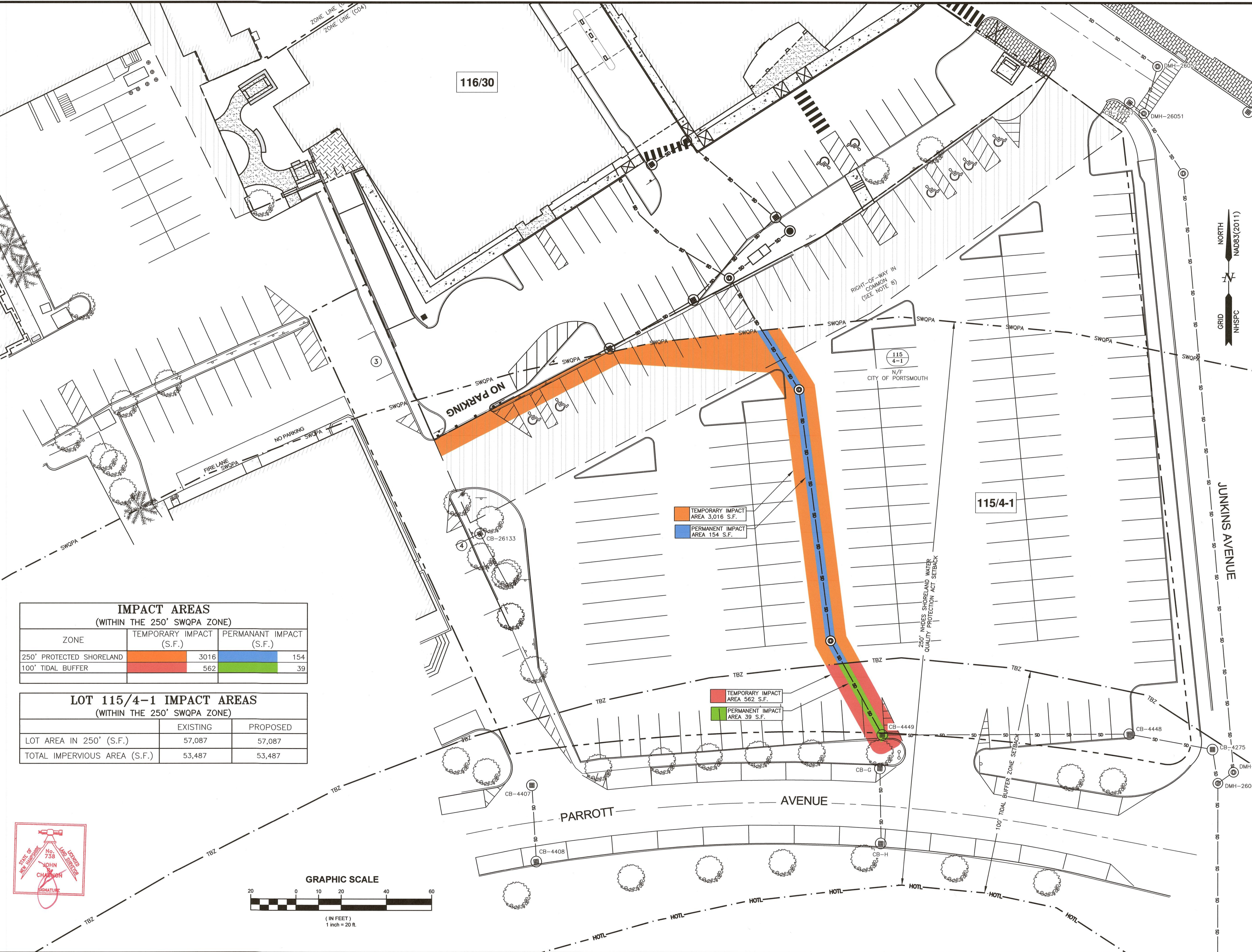
PERMIT PLANS



PROJECT  
**CITY OF PORTSMOUTH**  
P.O. BOX 628 PORTSMOUTH, N.H.

TITLE  
**NHDES PERMIT PLAN-  
CITY PROPERTY**

DATE	SCALE
JULY 2025	1"=20'
DRAWN BY SJR	DESIGNED BY ---
PROJECT No. 5010156.1532	CHECKED BY JRC
DRAWING No. C108	FIELD BOOK / PAGE FB 276 PG 60
	REV. 3



**IMPACT AREAS**  
(WITHIN THE 250' SWQPA ZONE)

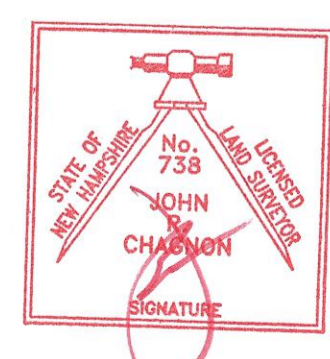
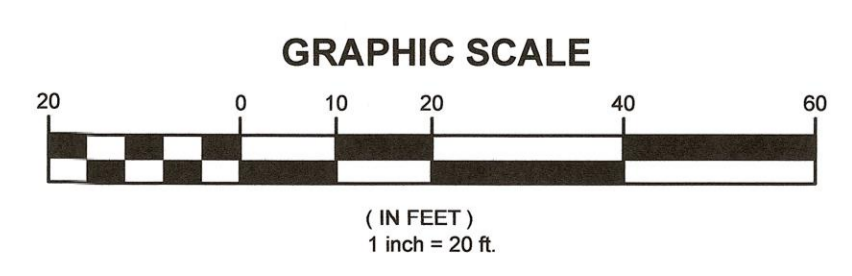
ZONE	TEMPORARY IMPACT (S.F.)	PERMANENT IMPACT (S.F.)
250' PROTECTED SHORELAND	3016	154
100' TIDAL BUFFER	562	39

**LOT 115/4-1 IMPACT AREAS**  
(WITHIN THE 250' SWQPA ZONE)

	EXISTING	PROPOSED
LOT AREA IN 250' (S.F.)	57,087	57,087
TOTAL IMPERVIOUS AREA (S.F.)	53,487	53,487

TEMPORARY IMPACT AREA 3,016 S.F.  
PERMANENT IMPACT AREA 154 S.F.

TEMPORARY IMPACT AREA 562 S.F.  
PERMANENT IMPACT AREA 39 S.F.



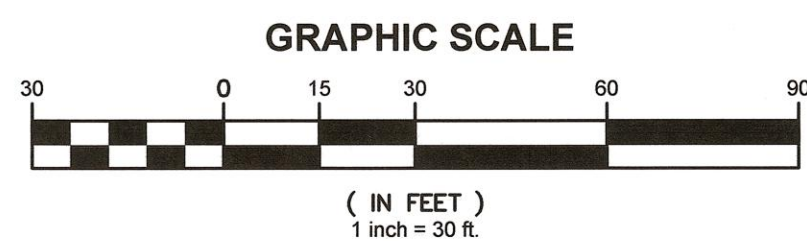
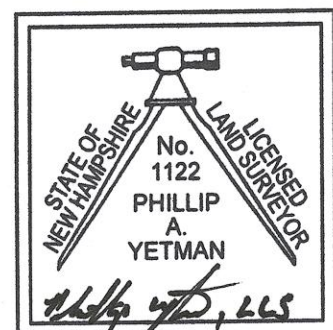
FILE LOCATION: P:\NHDES\10156\10156-NHDES-CAD\_PLEASANT-ST-PORTSMOUTH-RCRD-D-18880-DWG\_2026.04.08\_2.01.PM

**LEGEND:**  
DESCRIPTION EXISTING

RCRD 1234/123	ROCKINGHAM COUNTY REGISTRY OF DEEDS
N/F	DEED BOOK/PAGE
TYP.	NOW OR FORMALLY
TBS	TO BE SET
LSA	LANDSCAPE AREA
INV.	INVERT
ELV.	ELEVATION
FF	FINISHED FLOOR
DYL	DOUBLE YELLOW LINE
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
MAP 21 LOT 8	
BENCHMARK	
RAILROAD SPIKE	
BOUND	
IRON ROD/PIPE FOUND	
SET 5/8" REBAR WITH SURVEYOR'S CAP	
SEWER MANHOLE	
DRAIN MANHOLE	
COMMUNICATIONS MANHOLE	
ELECTRIC MANHOLE	
UTILITY POLE	
CATCH BASIN	
HYDRANT	
GATE VALVE	
GAS/WATER SHUTOFF	
BOLLARD	
BORING	
TREES	
GAS/ELECTRIC METER	
LIGHT POLE	
MAIL BOX	
AIR CONDITIONER	
SIGN	
SPOT GRADE	
ELECTRIC PEDESTAL	
ELECTRIC HANDHOLD	
PROPERTY LINE	
APPROXIMATE EXTERIOR PROPERTY LINE	
EDGE OF PAVEMENT	
EDGE OF GRAVEL	
STONE WALL	
FENCE	
SHRUBLINE	
MINOR FOOT CONTOUR	
MAJOR FOOT CONTOUR	
GAS LINE	
WATER LINE	
STORM DRAIN LINE	
SANITARY SEWER LINE	
OVERHEAD UTILITY LINE	
UNDERGROUND ELECTRICAL LINE	
UNDERGROUND COMMUNICATIONS LINE	
SHORELAND SETBACK LINE	

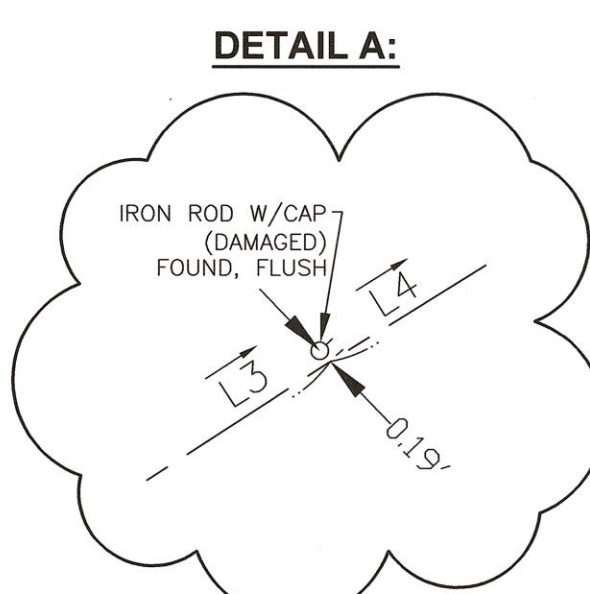
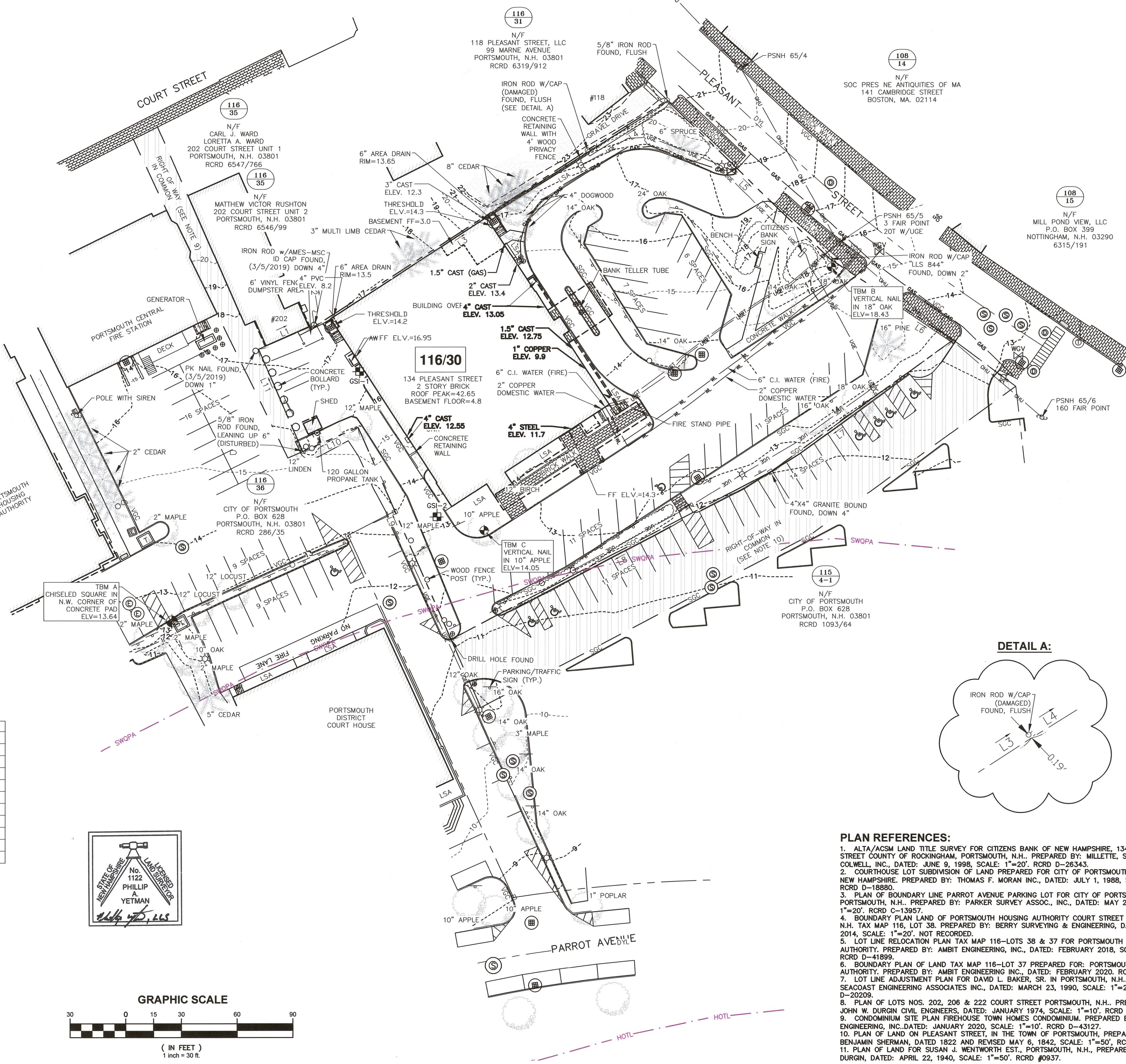
**LINE TABLE:**

LINE	BEARING	DISTANCE
L1	N66°28'05"E	32.60'
L2	S04°27'10"E	0.98'
L3	N57°05'10"E	175.24'
L4	N58°07'10"E	50.44'
L5	S45°49'50"E	122.39'
L6	S56°42'50"E	79.29'
L7	S54°09'10"W	121.33'
L8	S62°18'10"W	194.24'
L9	N23°38'50"W	124.67'
L10	S66°22'00"W	32.60'
L11	N23°20'25"W	60.00'

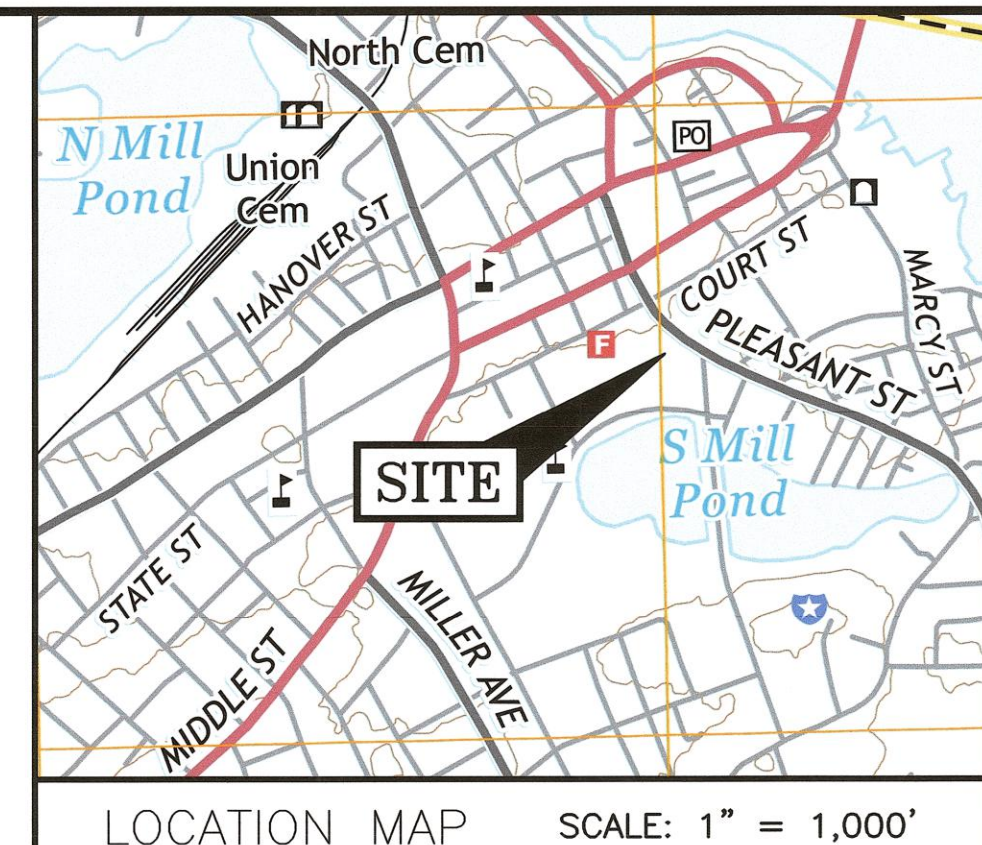


"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PHILIP A. YETMAN, LLS 1122 DATE 1/20/2026

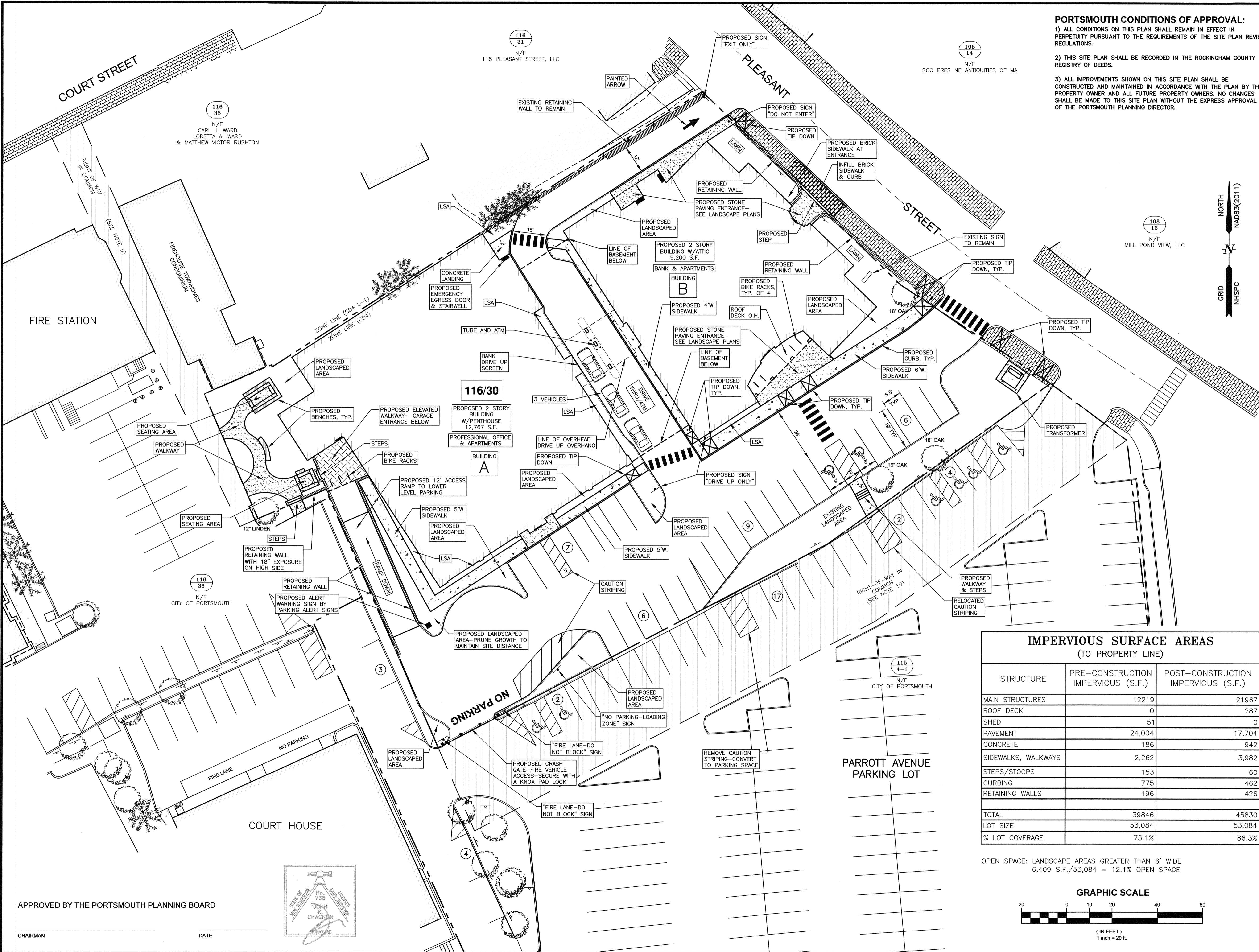


- PLAN REFERENCES:**
- ALTA/ACSM LAND TITLE SURVEY FOR CITIZENS BANK OF NEW HAMPSHIRE, 134 PLEASANT STREET COUNTY OF ROCKINGHAM, PORTSMOUTH, N.H., PREPARED BY: MILLETTE, SPRAGUE & COLWELL, INC., DATED: JUNE 9, 1998, SCALE: 1"=20'. RCRD D-26343.
  - COURTHOUSE LOT SUBDIVISION OF LAND PREPARED FOR CITY OF PORTSMOUTH, PORTSMOUTH NEW HAMPSHIRE. PREPARED BY: THOMAS F. MORAN INC., DATED: JULY 1, 1988, SCALE: 1"=40'. RCRD D-18880.
  - PLAN OF BOUNDARY LINE PARROT AVENUE PARKING LOT FOR CITY OF PORTSMOUTH IN PORTSMOUTH, N.H., PREPARED BY: PARKER SURVEY ASSOC., INC., DATED: MAY 22, 1984, SCALE: 1"=20'. RCRD C-13957.
  - BOUNDARY PLAN LAND OF PORTSMOUTH HOUSING AUTHORITY COURT STREET PORTSMOUTH, N.H., TAX MAP 116, LOT 38. PREPARED BY: BERRY SURVEYING & ENGINEERING, DATED: MAY 30, 2014, SCALE: 1"=20'. NOT RECORDED.
  - LOT LINE RELOCATION PLAN TAX MAP 116-LOTS 38 & 37 FOR PORTSMOUTH HOUSING AUTHORITY. PREPARED BY: AMBIT ENGINEERING, INC., DATED: FEBRUARY 2018, SCALE: 1"=30'. RCRD D-41899.
  - BOUNDARY PLAN OF LAND TAX MAP 116-LOT 37 PREPARED FOR: PORTSMOUTH HOUSING AUTHORITY. PREPARED BY: AMBIT ENGINEERING INC., DATED: FEBRUARY 2020. RCRD D-42016.
  - LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H., PREPARED BY: SEACOAST ENGINEERING ASSOCIATES INC., DATED: MARCH 23, 1990, SCALE: 1"=20'. RCRD D-20209.
  - PLAN OF LOTS NOS. 202, 206 & 222 COURT STREET PORTSMOUTH, N.H., PREPARED BY: JOHN W. DURGIN CIVIL ENGINEERS, DATED: JANUARY 1974, SCALE: 1"=10'. RCRD C-4259.
  - CONDOMINIUM SITE PLAN FIREHOUSE TOWN HOMES CONDOMINIUM. PREPARED BY: AMBIT ENGINEERING, INC., DATED: JANUARY 2020, SCALE: 1"=10'. RCRD D-43127.
  - PLAN OF LAND ON PLEASANT STREET, IN THE TOWN OF PORTSMOUTH, PREPARED BY: BENJAMIN SHERMAN, DATED: 1922 AND REVISED MAY 6, 1942, SCALE: 1"=50', RCRD #00537.
  - PLAN OF LAND FOR SUSAN J. WENTWORTH EST., PORTSMOUTH, N.H., PREPARED BY: JOHN W. DURGIN, DATED: APRIL 22, 1940, SCALE: 1"=50'. RCRD #0937.



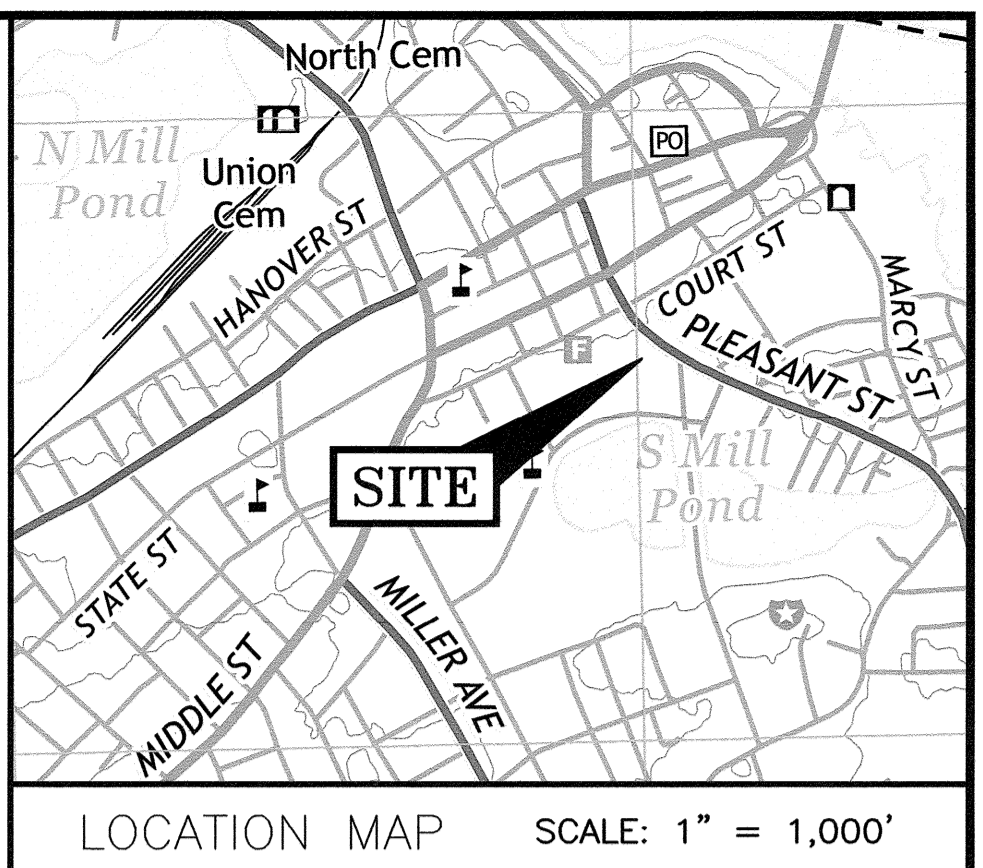
- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 116 AS LOT 30.
  - OWNERS OF RECORD: DOUBLE MC, LLC, 10 PLEASANT STREET SUITE 400 PORTSMOUTH, N.H. 03801 RCRD 8505/2411
  - PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 3301502059F. EFFECTIVE JANUARY 29, 2021.
  - EXISTING LOT AREA: 53,084 S.F. 1.22 ACRES
  - PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) DISTRICT.
  - DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
  - THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF AN EXISTING CONDITIONS SURVEY OF ASSESSOR'S MAP 116, LOT 30 IN THE CITY OF PORTSMOUTH.
  - VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTM GNSS OBSERVATIONS.
  - PARCEL IS BENEFITED BY A RIGHT OF WAY TO COURT STREET AS DESCRIBED IN RCRD 1257/466.
  - PARCEL IS BENEFITED BY A RIGHT OF WAY AS DESCRIBED IN RCRD 2975/349 AND SHOWN ON RCRD D-18880 AND RCRD D-26343.
  - ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSORS GIS WEBSITE.
  - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

1	01-21-26	UPDATE EXISTING BLDG. UTILITIES	SJR	JRC
0	07-18-2025	ISSUED FOR COMMENT	RJB	PAY
REV.	DATE	DESCRIPTION	BY	CHK
DRAWING ISSUE STATUS				
<b>SITE SURVEY</b>				
 <b>HALEY WARD</b> ENGINEERING   ENVIRONMENTAL   SURVEYING 200 Griffin Road, Unit 14 Portsmouth, NH 03801 603-430-9282 WWW.HALEYWARD.COM				
PROJECT				
<b>DOUBLE MC, LLC</b> 134 PLEASANT STREET PORTSMOUTH, N.H.				
TITLE				
<b>EXISTING CONDITIONS PLAN</b>				
DATE		SCALE		
MARCH 2025		1"=30'		
DRAWN BY	DESIGNED BY	CHECKED BY		
RJB		PAY		
PROJECT No.	FIELD BOOK/PAGE			
5010156.1532	FB 276 PG 60			
DRAWING No.	REV			
<b>V101</b>	<b>1</b>			



**PORTSMOUTH CONDITIONS OF APPROVAL:**

- 1) ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- 2) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 3) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



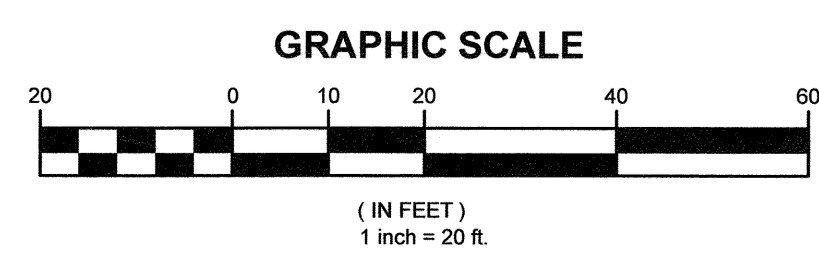
- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S TAX MAP 116 AS LOT 30.
  - 2) OWNERS OF RECORD:  
DOUBLE MC, LLC  
10 PLEASANT STREET SUITE 400  
PORTSMOUTH, N.H. 03801  
RCRD 6505/2411
  - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
  - 4) EXISTING LOT AREA:  
53,084 S.F.  
1.22 ACRES
  - 5) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE FOR REQUIREMENTS.
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED MIXED USE DEVELOPMENT ON ASSESSOR'S MAP 116, LOT 30 IN THE CITY OF PORTSMOUTH.
  - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
  - 9) PARCEL IS BENEFITED BY A RIGHT OF WAY TO COURT STREET AS DESCRIBED IN RCRD 1257/466.
  - 10) PARCEL IS BENEFITED BY A RIGHT OF WAY AS DESCRIBED IN RCRD 2975/349 AND SHOWN ON RCRD D-18880 AND RCRD D-26343.
  - 11) ABUTTER INFORMATION TAKEN FROM THE CITY OF PORTSMOUTH ASSESSORS GIS WEBSITE.
  - 12) PROPOSED USES:  
-RETAIL BANKING  
-BANK HEADQUARTERS  
-APARTMENTS  
-PROFESSIONAL OFFICE
  - 13) CITY COUNCIL APPROVAL REQUIRED FOR WORK ON CITY PROPERTY. COORDINATION AND INSPECTIONS OF CONSTRUCTION REQUIRED.

REV.	DATE	DESCRIPTION	BY	CHK
8	04-07-2026	EMERGENCY ACCESS ONLY	SJR	JRC
7	02-03-2026	STOP, ONE-WAY SIGNS, USE	SJR	JRC
6	01-21-2026	TIP DOWNS, EXIT DOOR, PARKING, NOTE 13	SJR	JRC
5	12-30-2025	LANDSCAPE DETAIL	SJR	JRC
4	12-22-2025	BUILDING & SITE LAYOUT	SJR	JRC
3	10-08-2025	PLAN NOTES	SJR	JRC
2	09-22-2025	REVISED DRIVE THROUGH	SJR	JRC
1	09-05-2025	REVISED LAYOUT	SJR	JRC
0	07-18-2025	ISSUED FOR COMMENT	SJR	JRC

**IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)**

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURES	12219	21967
ROOF DECK	0	287
SHED	51	0
PAVEMENT	24,004	17,704
CONCRETE	186	942
SIDEWALKS, WALKWAYS	2,262	3,982
STEPS/STOOPS	153	60
CURBING	775	462
RETAINING WALLS	196	426
TOTAL	39846	45830
LOT SIZE	53,084	53,084
% LOT COVERAGE	75.1%	86.3%

OPEN SPACE: LANDSCAPE AREAS GREATER THAN 6' WIDE  
6,409 S.F./53,084 = 12.1% OPEN SPACE



**PERMIT PLANS**

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
200 Griffin Road, Unit 14  
Portsmouth, NH 03801  
603-430-9282  
WWW.HALEYWARD.COM

PROJECT: **DOUBLE MC, LLC**  
134 PLEASANT STREET PORTSMOUTH, N.H.

TITLE: **SITE PLAN**

DATE: JULY 2025 SCALE: 1"=20'

DRAWN BY: SJR DESIGNED BY: — CHECKED BY: JRC

PROJECT No: 5010156.1532 FIELD BOOK/PAGE: FB 276 PG 60

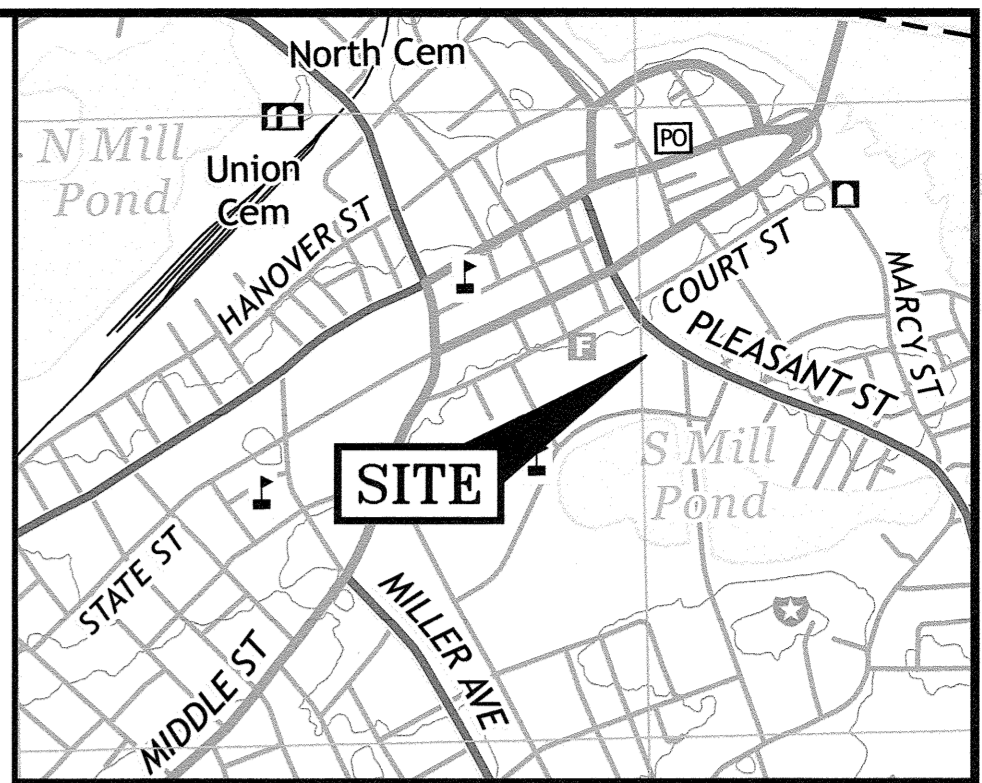
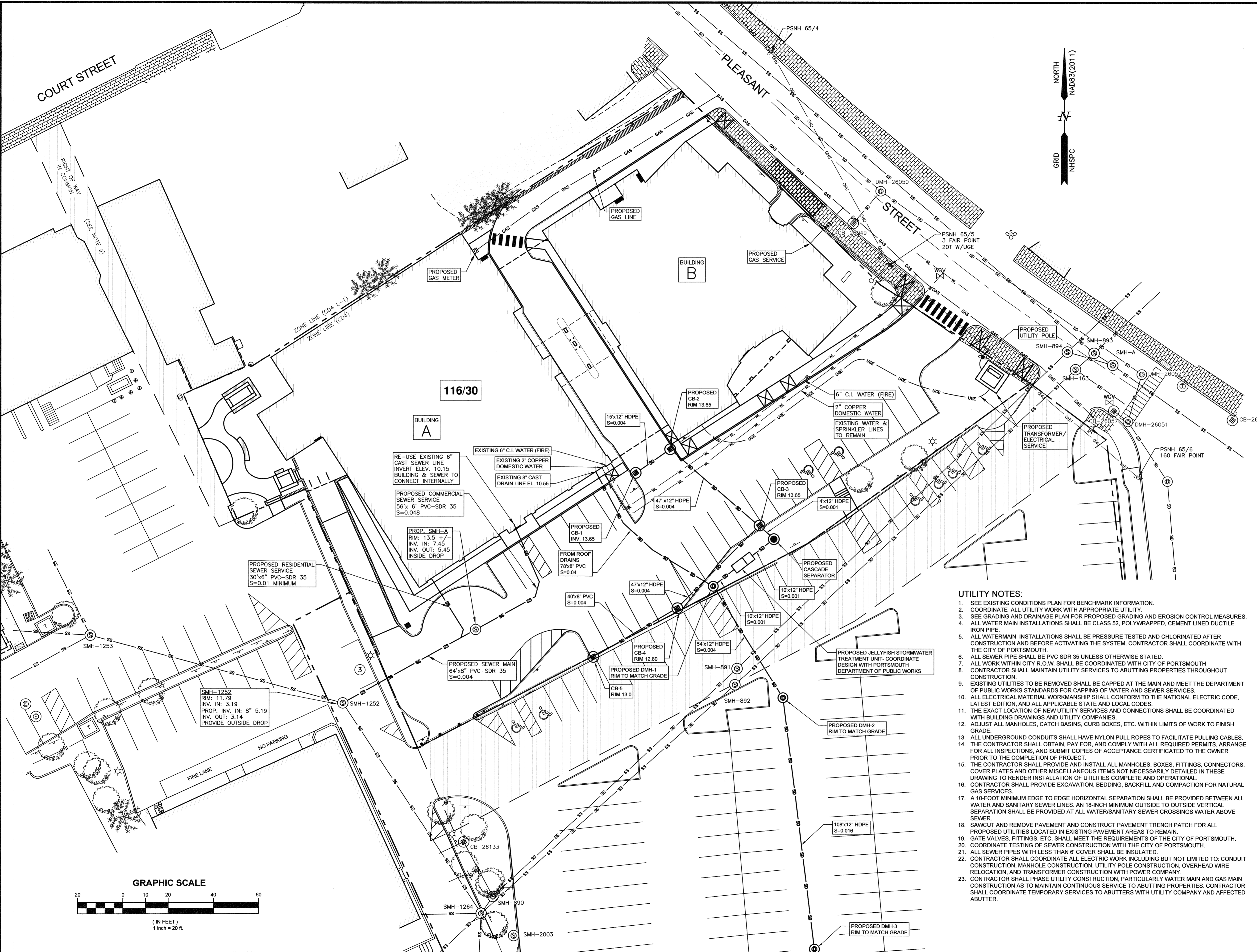
DRAWING No: **C102** REV: **8**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

NO. 738  
JOHN CHAGNON  
LICENSED PROFESSIONAL ENGINEER

FILE LOCATION: P:\NH\0156\ANCHAB\_PRO\PROJECTS\1532-14\_PLEASANT ST - PORTSMOUTH-RCRD\CAD\_FILES\CAD\0156\_1532\_14\_PLEASANT ST\_2025.DWG, 2025.04.08, 2:32 PM



LOCATION MAP SCALE: 1" = 1,000'

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION (NHDES DECEMBER 2008).
  - 4) PROVIDE TEMPORARY WATER AND SEWER SERVICES TO ALL IMPACTED PROPERTIES DURING NEW WATER AND SEWER MAIN INSTALLATION.
  - 5) PROPOSED SEWER FLOW:  
 PROFESSIONAL OFFICE: 13,956 S.F. X 2.5 GPD/100 S.F. = 349 GPD  
 BANK AND BANK OFFICE: 10,358 S.F. X 2.5 GPD/100 S.F. = 259 GPD  
 22 APARTMENTS X 216 GPD/APARTMENT = 4,752 GPD  
 TOTAL FLOW 5,360 GPD.
  - 6) APPLICANT, AND AUTHORIZED AGENTS, SHALL WORK WITH THE CITY OF PORTSMOUTH AND UTILITY PROVIDERS TO CONSTRUCT NEW, PERMANENT SERVICE CONNECTIONS TO PROPOSED WATER, SEWER, STORMDRAIN, POWER, AND COMMUNICATIONS.

- UTILITY NOTES:**
1. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
  2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
  3. SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
  4. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS S2, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
  5. ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
  6. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
  7. ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH CONSTRUCTION.
  8. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
  9. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
  10. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
  11. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
  12. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
  13. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
  14. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
  15. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
  16. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
  17. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
  18. SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
  19. GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
  20. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
  21. ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
  22. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
  23. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.

REV.	DATE	DESCRIPTION	BY	CHK.
5	04-07-2026	EMERGENCY ACCESS ONLY	SJR	JRC
4	02-25-2026	CATCH BASINS, DRAINAGE	SJR	JRC
3	02-03-2026	JELLYFISH, DRAINAGE	SJR	JRC
2	01-21-2026	UPDATE PROPOSED UTILITIES	SJR	JRC
1	12-22-2025	ISSUED FOR APPROVAL	SJR	JRC
0	09-05-2025	ISSUED FOR COMMENT	SJR	JRC

DRAWING ISSUE STATUS

**PERMIT PLANS**

**HALEY WARD**  
 ENGINEERING | ENVIRONMENTAL | SURVEYING  
 200 Griffin Road, Unit 14  
 Portsmouth, NH 03801  
 603-430-9282  
 WWW.HALEYWARD.COM

PROJECT

**DOUBLE MC, LLC**  
 134 PLEASANT STREET PORTSMOUTH, N.H.

TITLE

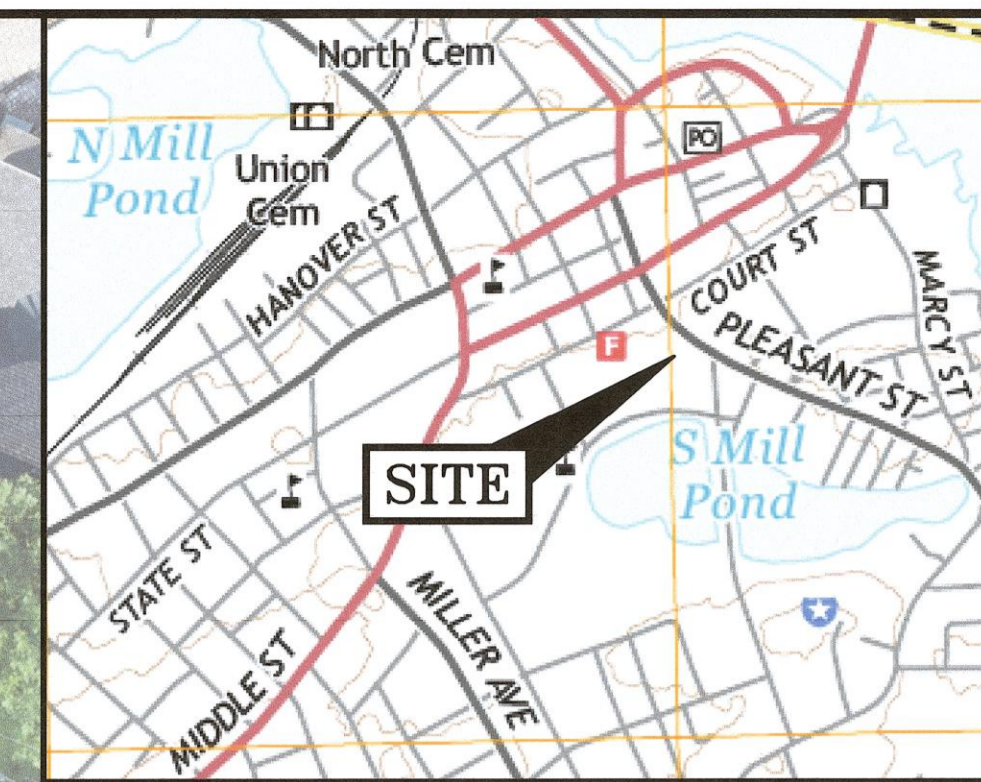
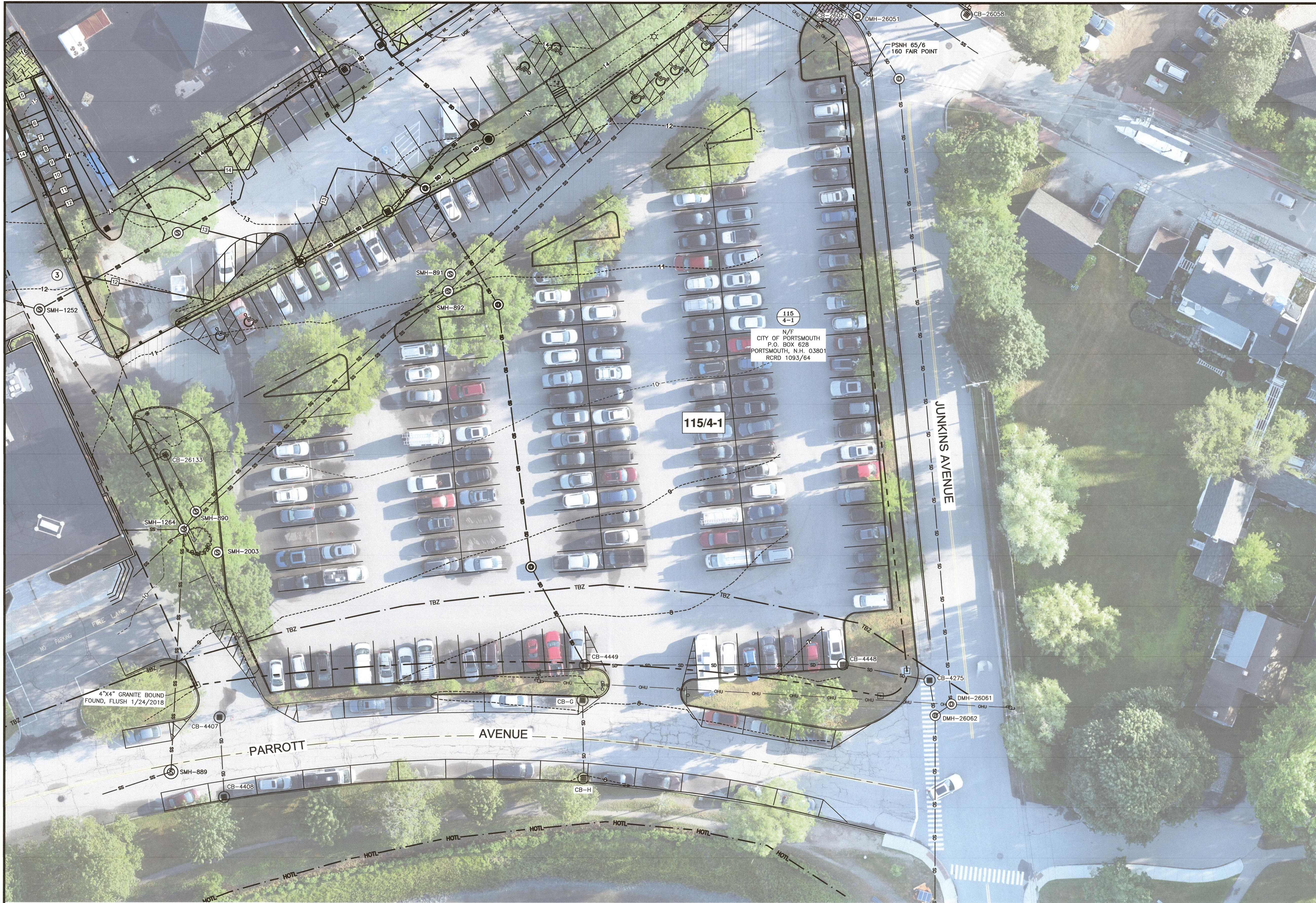
**UTILITY PLAN**

DATE	JULY 2025	SCALE	1"=20'
DRAWN BY	SJR	DESIGNED BY	---
CHECKED BY	JRC	PROJECT NO.	5010156-1532
FIELD BOOK / PAGE	FB 276	PG	60
DRAWING NO.	<b>C103</b>		5

FILE LOCATION: P:\NH030156-1532-14 PLEASANT ST - PORTSMOUTH-NH\CAD\_FILES\CAD\010106-1532 SITE 2025.DWG, 2026.04.06, 1:31 PM







LOCATION MAP SCALE: 1" = 1,000'

- NOTES:
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
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  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

2	04-07-26	EMERGENCY ACCESS ONLY	SJR	JRC
1	02-25-26	DRAINAGE LAYOUT	SJR	JRC
0	02-03-26	ISSUED FOR COMMENT	SJR	JRC
REV.	DATE	DESCRIPTION	BY	CHK

DRAWING ISSUE STATUS

**PERMIT PLANS**

**HALEY WARD**  
ENGINEERING | ENVIRONMENTAL | SURVEYING  
WWW.HALEYWARD.COM

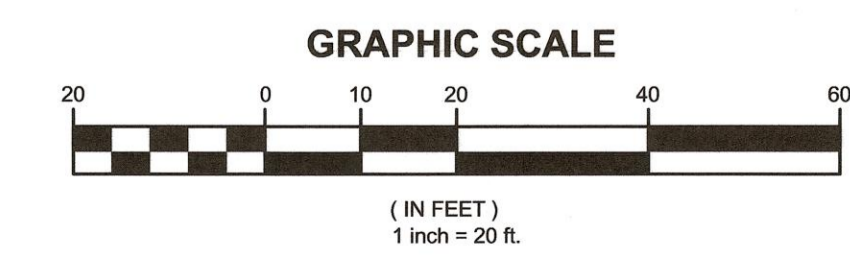
200 Griffin Road, Unit 14  
Portsmouth, NH 03801  
603-430-9282

PROJECT

**DOUBLE MC, LLC**  
134 PLEASANT STREET PORTSMOUTH, N.H.

**OFF SITE GRADING & DRAINAGE PLAN ORTHOPHOTO**

DATE	JULY 2025	SCALE	1"=20'
DRAWN BY	SJR	DESIGNED BY	—
		CHECKED BY	JRC
PROJECT No.	5010156.1532	FIELD BOOK / PAGE	FB 276 PG 60
DRAWING No.	<b>C104B</b>		REV.
			<b>2</b>



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### 1.0 Inspection and Maintenance Overview

The primary purpose of the Jellyfish® Filter is to capture and remove pollutants from stormwater runoff. As with any filtration system, these pollutants must be removed to maintain the filter's maximum treatment performance. Regular inspection and maintenance are required to insure proper functioning of the system.

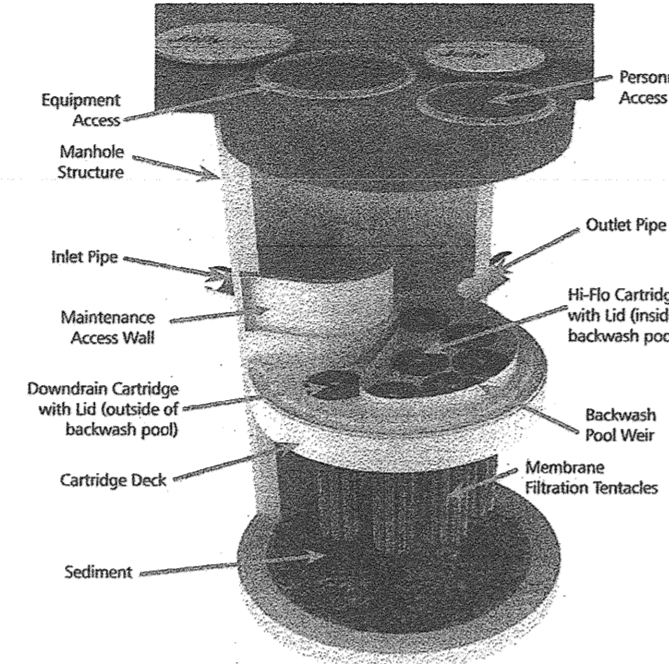
Maintenance frequencies and requirements are site specific and vary depending on pollutant loading. Additional maintenance activities may be required in the event of non-storm event runoff, such as base-flow or seasonal flow, an upstream chemical spill or due to excessive sediment loading from site erosion or extreme runoff events. It is a good practice to inspect the system after major storm events.

Inspection activities are typically conducted from surface observations and include:

- Observe if standing water is present
- Observe if there is any physical damage to the deck or cartridge lids
- Observe the amount of debris in the Maintenance Access Wall (MAW) or inlet bay for vault systems

Maintenance activities include:

- Removal of oil, floatable trash and debris
- Removal of collected sediments
- Rinsing and re-installing the filter cartridges
- Replace filter cartridge tentacles, as needed



Note: Separator Skirt not shown

### 2.0 Inspection Timing

Inspection of the Jellyfish Filter is key in determining the maintenance requirements for, and to develop a history of, the site's pollutant loading characteristics. In general, inspections should be performed at the times indicated below, or per the approved project stormwater quality documents (if applicable), whichever is more frequent.

- A minimum of quarterly inspections during the first year of operation to assess the sediment and floatable pollutant accumulation, and to ensure proper functioning of the system.
- Inspection frequency in subsequent years is based on the inspection and maintenance plan developed in the first year of operation. Minimum frequency should be once per year.
- Inspection is recommended after each major storm event.
- Inspection is required immediately after an upstream oil, fuel or other chemical spill.

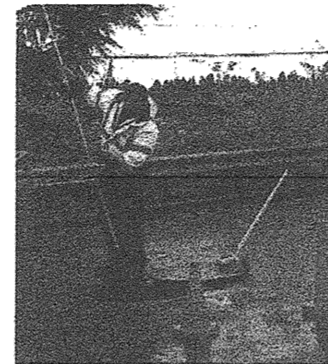
### 3.0 Inspection Procedure

The following procedure is recommended when performing inspections:

- Provide traffic control measures as necessary.
- Inspect the MAW or inlet bay for floatable pollutants such as trash, debris, and oil sheen.
- Measure oil and sediment depth in several locations, by lowering a sediment probe until contact is made with the floor of the structure. Record sediment depth, and presences of any oil layers.
- Inspect cartridge lids. Missing or damaged cartridge lids to be replaced.
- Inspect the MAW (where appropriate), cartridge deck and receptacles, and backwash pool weir, for damaged or broken components.

### 3.1 Dry weather inspections

- Inspect the cartridge deck for standing water, and/or sediment on the deck.
- No standing water under normal operating conditions.
- Standing water inside the backwash pool, but not outside the backwash pool indicates, that the filter cartridges need to be rinsed.



Inspection Utilizing Sediment Probe

- Standing water outside the backwash pool is not anticipated and may indicate a backwater condition caused by high water elevation in the receiving water body, or possibly a blockage in downstream infrastructure.
- Any appreciable sediment ( $\geq 1/16"$ ) accumulated on the deck surface should be removed.

### 3.2 Wet weather inspections

- Observe the rate and movement of water in the unit. Note the depth of water above deck elevation within the MAW or inlet bay.
- Less than 6 inches, flow should be exiting the draindown cartridges (i.e. cartridges located outside the backwash pool).
- Greater than 6 inches, flow should be exiting the cartridge lids of each of the draindown cartridges and each of the hi-flo cartridges (i.e. cartridges located inside the backwash pool), and water should be overflowing the backwash pool weir.
- 18 inches or greater and relatively little flow is exiting the cartridge lids and outlet pipe, this condition indicates that the filter cartridges need to be rinsed.

### 4.0 Maintenance Requirements

Required maintenance for the Jellyfish Filter is based upon results of the most recent inspection, historical maintenance records, or the site specific water quality management plan, whichever is more frequent. In general, maintenance requires some combination of the following:

- Sediment removal for depths reaching 12 inches or greater, or within 3 years of the most recent sediment cleaning, whichever occurs sooner.
- Floatable trash, debris, and oil removal.
- Deck cleaned and free from sediment.
- Filter cartridges rinsed and re-installed as required by the most recent filter rinsing, whichever occurs sooner.
- Replace tentacles if rinsing does not restore adequate hydraulic capacity, remove accumulated sediment, or if damaged or missing. It is recommended that tentacles should remain in service no longer than 5 years before replacement.
- Damaged or missing cartridge deck components must be repaired or replaced as indicated by results of the most recent inspection.
- The unit must be cleaned out and filter cartridges inspected immediately after an upstream oil, fuel, or chemical spill. Filter cartridge tentacles should be replaced if damaged or compromised by the spill.

### 5.0 Maintenance Procedure

The following procedures are recommended when maintaining the Jellyfish Filter:

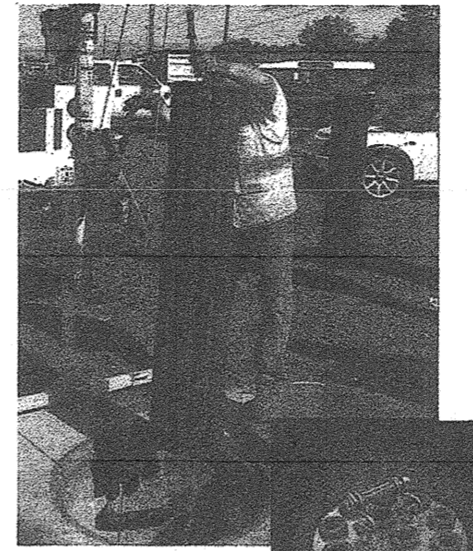
- Provide traffic control measures as necessary.
- Open all covers and hatches. Use ventilation equipment as required, according to confined space entry procedures. **Caution: Dropping objects onto the cartridge deck may cause damage.**
- Perform inspection Procedure prior to maintenance activity.
- To access the cartridge deck for filter cartridge service, descend into the structure and step directly onto the deck. **Caution: Do not step onto the maintenance access wall (MAW) or backwash pool weir, as damage may result. Note that the cartridge deck may be slippery.**
- Maximum weight of maintenance crew and equipment on the cartridge deck not to exceed 450 lbs.

### 5.1 Filter Cartridge Removal

- Remove a cartridge lid.
- Remove cartridges from the deck using the lifting loops in the cartridge head plate. Rope or a lifting device (available from Contech) should be used. **Caution: Should a snag occur, do not force the cartridge upward as damage to the tentacles may result. Wet cartridges typically weigh between 100 and 125 lbs.**
- Replace and secure the cartridge lid on the exposed empty receptacle as a safety precaution. Contech does not recommend exposing more than one empty cartridge receptacle at a time.

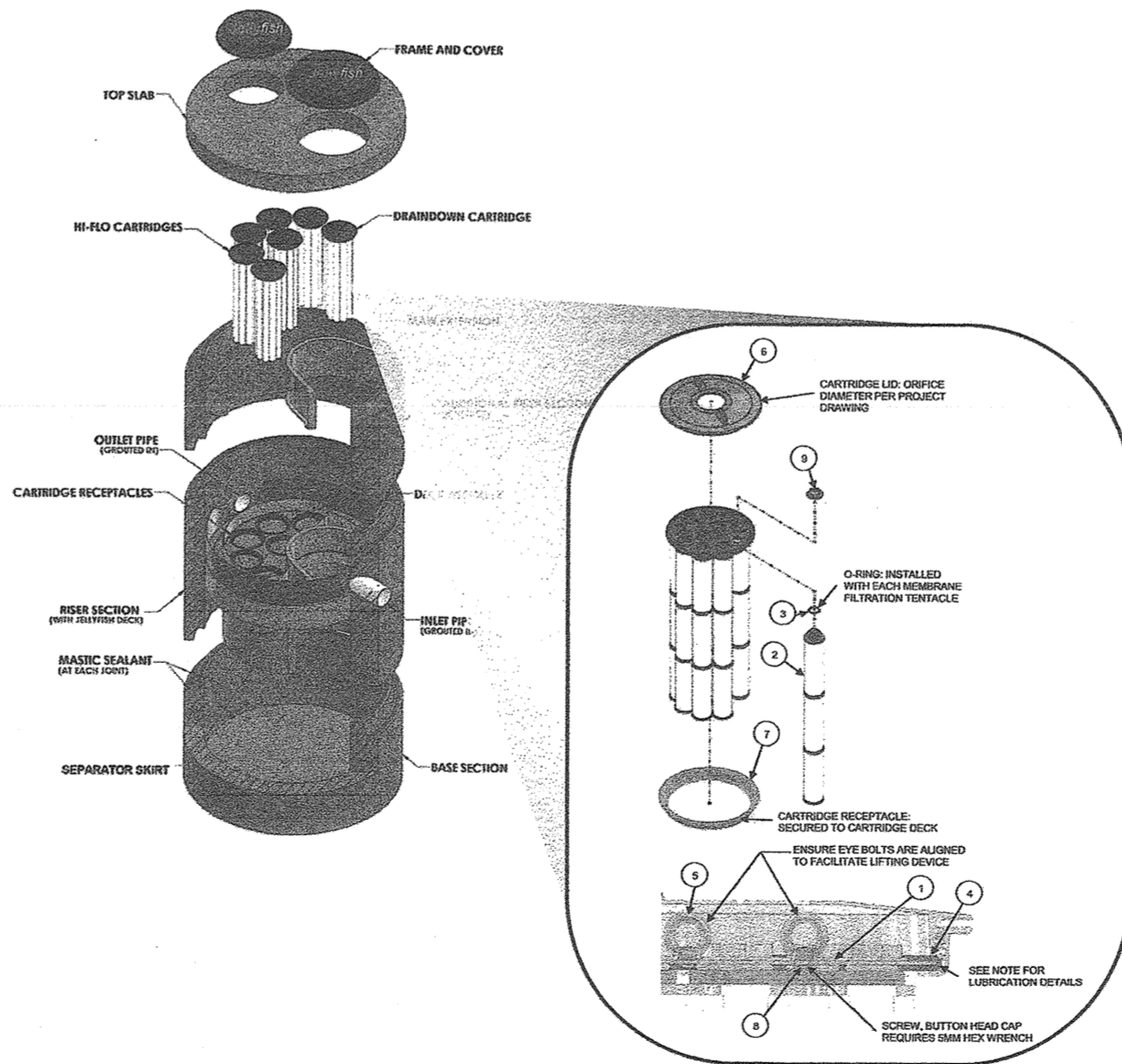
### 5.2 Filter Cartridge Rinsing

- Remove all 11 tentacles from the cartridge head plate. Take care not to lose or damage the O-ring seal as well as the plastic threaded nut and connector.
- Position tentacles in a container (or over the MAW), with the threaded connector (open end) facing down, so rinse water is flushed through the membrane and captured in the container.
- Using the Jellyfish rinse tool (available from Contech) or a low-pressure garden hose sprayer, direct water spray onto the tentacle membrane, sweeping from top to bottom along the length of the tentacle. Rinse until all sediment is removed from the membrane. **Caution: Do not use a high pressure sprayer or focused stream of water on the membrane. Excessive water pressure may damage the membrane.**



Cartridge Removal & Lifting Device

### Jellyfish Filter Components & Filter Cartridge Assembly and Installation



ITEM NO.	DESCRIPTION
1	JF HEAD PLATE
2	JF TENTACLE
3	JF O-RING
4	JF HEAD PLATE GASKET
5	JF CARTRIDGE EYELET
6	JF TAIN COVER
7	JF RECEPTACLE
8	BUTTON HEAD CAP
9	JF CARTRIDGE NUT

PART NO.	MFR	DESCRIPTION
7873	LACO	LUBRI-JOINT
490H	HEXAGONS	DECK BUTTER
3060	DATEY	PIPE LUBRICANT
FULLBOLD	PROSELECT	PIPE JOINT LUBRICANT

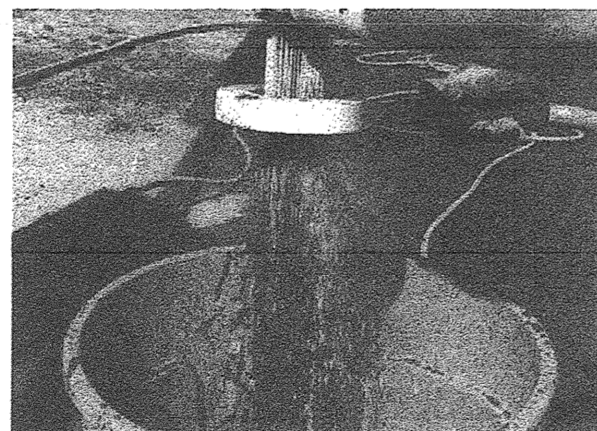
**NOTES:**  
**Head Plate Gasket Installation:**  
 Install Head Plate Gasket (Item 4) onto the Head Plate (Item 1) and liberally apply a lubricant from Table 2: Approved Gasket Lubricants onto the gasket where it contacts the Receptacle (Item 7) and Cartridge Lids (Item 6). Follow Lubricant manufacturer's instructions.

**Lid Assembly:**  
 Rotate Cartridge Lid counter-clockwise until both male threads drop down and properly seat. Then rotate Cartridge Lid clockwise approximately one-third of a full rotation until Cartridge Lid is firmly secured, creating a watertight seal.

- Collected rinse water is typically removed by vacuum hose.
- Reassemble cartridges as detailed later in this document. Reuse O-rings and nuts, ensuring proper placement on each tentacle.

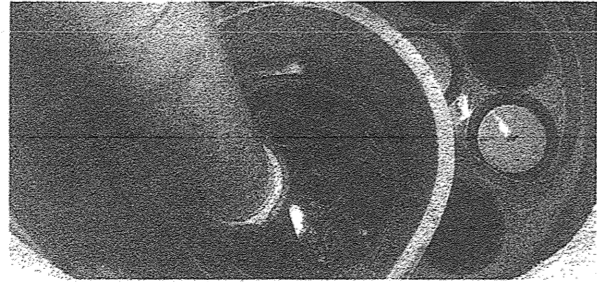
### 5.3 Sediment and Floatables Extraction

- Perform vacuum cleaning of the Jellyfish Filter only after filter cartridges have been removed from the system. Access the lower chamber for vacuum cleaning only through the maintenance access wall (MAW) opening. Be careful not to damage the flexible plastic separator skirt that is attached to the underside of the deck on manhole systems. Do not lower the vacuum wand through a cartridge receptacle, as damage to the receptacle will result.
- Vacuum floatable trash, debris, and oil, from the MAW opening or inlet bay. Alternatively, floatable solids may be removed by a net or skimmer.



Vacuuming Sump Through MAW

- Pressure wash cartridge deck and receptacles to remove all sediment and debris. Sediment should be rinsed into the sump area. Take care not to flush rinse water into the outlet pipe.
- Remove water from the sump area. Vacuum or pump equipment should only be introduced through the MAW or inlet bay.
- Remove the sediment from the bottom of the unit through the MAW or inlet bay opening.



Vacuuming Sump Through MAW

- For larger diameter Jellyfish Filter manholes ( $\geq 8$ -ft) and some vaults complete sediment removal may be facilitated by removing a cartridge lid from an empty receptacle and inserting a jetting wand (not a vacuum wand) through the receptacle. Use the sprayer to rinse loosened sediment toward the vacuum hose in the MAW opening, being careful not to damage the receptacle.

### 5.4 Filter Cartridge Reinstallation and Replacement

- Cartridges should be installed after the deck has been cleaned. It is important that the receptacle surfaces be free from grit and debris.
- Remove cartridge lid from deck and carefully lower the filter cartridge into the receptacle until head plate gasket is seated squarely in receptacle. **Caution: Do not force the cartridge downward; damage may occur.**
- Replace the cartridge lid and check to see that both male threads are properly seated before rotating approximately 1/3 of a full rotation until firmly seated. Use of an approved rim gasket lubricant may facilitate installation. See next page for additional details.
- If rinsing is ineffective in removing sediment from the tentacles, or if tentacles are damaged, provisions must be made to replace the spent or damaged tentacles with new tentacles. Contact Contech to order replacement tentacles.

### 5.5 Chemical Spills

**Caution: If a chemical spill has been captured, do not attempt maintenance. Immediately contact the local hazard response agency and contact Contech.**

### 5.6 Material Disposal

The accumulated sediment found in stormwater treatment and conveyance systems must be handled and disposed of in accordance with regulatory protocols. It is possible for sediments to contain measurable concentrations of heavy metals and organic chemicals (such as pesticides and petroleum products). Areas with the greatest potential for high pollutant loading include industrial areas and heavily traveled roads. Sediments and water must be disposed of in accordance with all applicable waste disposal regulations. When scheduling maintenance, consideration must be made for the disposal of solid and liquid wastes. This typically requires coordination with a local landfill for solid waste disposal. For liquid waste disposal a number of options are available including a municipal vacuum truck decant facility, local waste water treatment plant or on-site treatment and discharge.

### NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

REV	DATE	ISSUED FOR COMMENT	SJR	JRC
0	02/25/26			

REV	DATE	DESCRIPTION	BY	CHK

DRAWING ISSUE STATUS

**PERMIT PLANS**

200 Griffin Road, Unit 14  
Portsmouth, NH 03801  
603-430-9282

PROJECT

**DOUBLE MC, LLC**  
134 PLEASANT STREET PORTSMOUTH, N.H.

TITLE

**DETAILS**

DATE	SCALE	
SEPTEMBER 2025	1"=20'	
DRAWN BY	DESIGNED BY	CHECKED BY
SJR	---	JRC
PROJECT No.	FIELD BOOK / PAGE	
5010156.1532	FB 276 PG 60	
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<b>C507</b>	<b>0</b>	