



TO: Juliet Walker, Planning Director  
City of Portsmouth, NH  
1 Junkins Avenue  
Portsmouth, NH 03801

RE: Map 283, Lot 11  
Wetland Conditional Use Permit

Juliet,

The following is a supplemental to accompany the project plans that demonstrates compliance with the conditional use criteria for the proposed wetland buffer impacts.

Project Overview:

**The property's sole access is via the existing roadway off Martha Terrace. This roadway is paved with 20-24 feet of pavement width terminating in a cul-de-sac. There is no other alternative access to this buildable area of the lot without utilizing the roadway. The plans call for the removal of the existing failing asphalt surface and its non-functioning catch basins and the replacement of an 18 foot paved roadway that will be curbed to direct stormwater runoff to a small treatment pond, level spreader and natural filter strip. The existing mature trees along the roadway will remain although there are a few trees proximate to the existing cul-de-sac that will be removed for the creation of stormwater features. The existing impervious coverage in the wetland buffer is 5,718 s.f. and the proposed permanent impacts to the buffer are 4,539 s.f. representing a 21% reduction in permanent buffer impact. Temporary impacts to the buffer are for the creation of the stormwater treatment areas (detention area and level spreader). These impacts require 2,344 s.f. of temporary impact in the buffer which result in stormwater treatment for the roadway.**

GARREPY PLANNING CONSULTANTS, LLC

real estate planning & development

phone: 603.944.7530 email: [garrepy.pc@gmail.com](mailto:garrepy.pc@gmail.com)

*10.1017.40 Conditional Use Approval - 10.1017.50 Criteria for Approval*

*Any proposed development, other than installation of utilities within a right-of-way, shall comply with all of the following criteria:*

*(1) The land is reasonably suited to the use, activity or alteration.*

**The property is presently zoned for single-family residential development and consists of 3.16 acres in the SRA District. The property has over 400 feet of frontage on an existing roadway that has not been maintained for many years other than being plowed by the abutting landowners for access. The property has suitable upland soils outside of the 100-foot wetland buffer for residential development.**

*(2) There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.*

**There is no other alternative access to the buildable area of the lot without utilizing and improving the existing right-of-way.**

*(3) There will be no adverse impact on the wetland functional values of the site or surrounding properties;*

**Given that there will be a reduction in permanent impact to the buffer by 21% and that new stormwater treatment will be introduced, the proposal will be a net positive impact on the wetlands. Therefore, no adverse impact on the wetland functional values will result.**

*(4) Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals; and*

**The existing mature trees along the roadway will remain. Some brush will be removed along the roadway to establish the curbing to direct stormwater to the detention area. The detention pond proximate to the existing cul-de-sac is proposed in an area that is presently disturbed area where the existing catch basin and outfall pipe are located. (See photos attached)**

*(5) The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.*

**There is no other alternative access to the buildable area of the lot without utilizing and improving the existing right-of-way.**

*(6) Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.*

**There is no work proposed within the vegetated buffer strip. The vegetated buffer strip shall remain uncut and undisturbed.**

PHOTO A: Looking west towards the proposed detention pond from the existing roadway.



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PHOTO B: Looking westerly upslope towards the existing roadway cul-de-sac at proposed detention pond location.



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PHOTO C: Looking south toward the existing cul-de-sac. Existing mature trees along the westerly side of the roadway to remain. Broken pavement to be removed and replaced. Curbing to be installed along the westerly side of the roadway.



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# 2 LOT SUBDIVISION PLAN FOR

# DUBE PLUS CONSTRUCTION,

## TAX MAP 283, LOT 11

## PATRICIA DRIVE, PORTSMOUTH, NH 03801

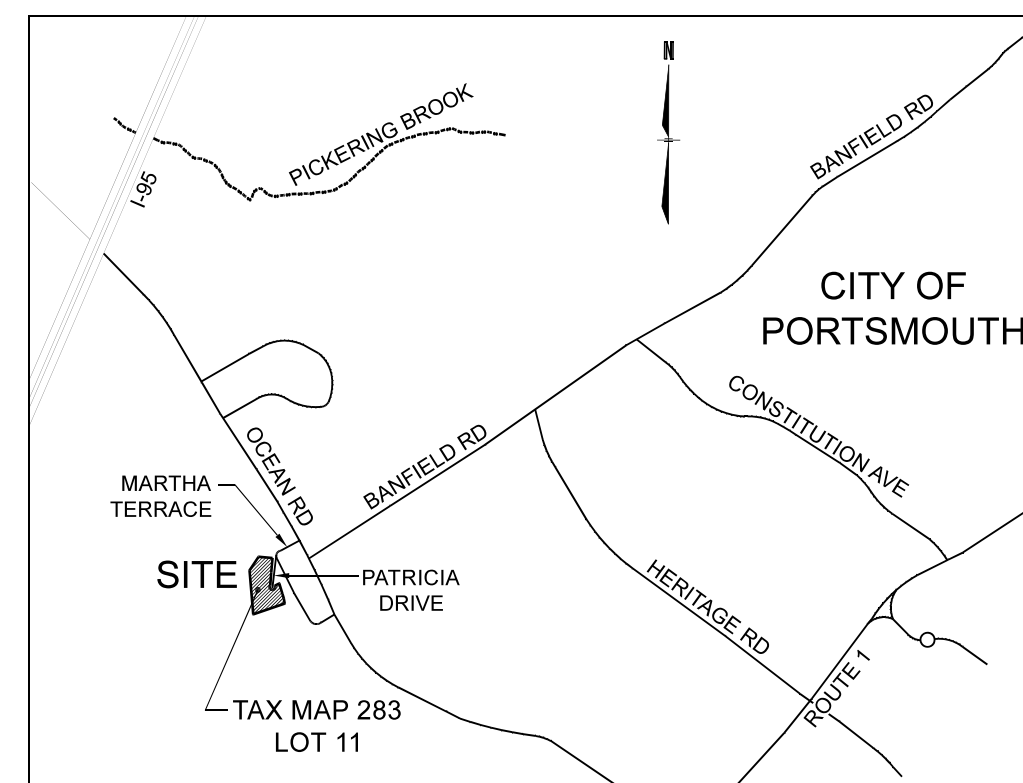
## ROCKINGHAM CO.

**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT.)
4. THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:
 

MIN. ROAD FRONTAGE	=150'
MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
MIN. REAR SETBACK	=40'
MIN. SIDE SETBACK	=20'
WETLAND/WATERBODY SETBACK	=100'
WETLAND/LIMITED CUT	=50'
WETLAND/VEGETATED BUFFER STRIP	=25'
MAXIMUM STRUCTURE HEIGHT	=35'
SEPTIC SETBACK	=75' HYDRIC SOILS

 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
7. THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
8. THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
9. SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
10. WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
11. RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
12. ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY granitview.unh.edu.
13. SHEET 7 OF 8 THIS SET WILL BE RECORDED. A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
14. THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E. EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
15. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
16. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
17. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
18. ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.



**LOCATION PLAN**

SCALE: 1"=2,000'

**SHEET INDEX**

DWG	SHT NO.	DESCRIPTION
CVR	1 OF 9	COVER SHEET
ECP	2 OF 9	EXISTING CONDITIONS PLAN
EBIP	3 OF 9	EXISTING BUFFER IMPACT PLAN
PGP	4 OF 9	PROPOSED GRADING PLAN
PBIP	5 OF 9	PROPOSED BUFFER IMPACT PLAN
PUP	6 OF 9	PROPOSED UTILITY PLAN
PCP	7 OF 9	PROPOSED CONDITIONS PLAN
PSP	8 OF 9	PROPOSED SUBDIVISION
DET	9 OF 9	DETAIL SHEET

**PROFESSIONAL CONSULTANTS LIST**

**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
683C FIRST NH TURNPIKE (RT.4)  
NORTHWOOD, NH 03261 PH: (603) 942-9220

**WETLAND/SOIL SCIENTIST:** GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DR., BLDG. 2, UNIT H,  
EXETER, NH 03833 PH: (603) 778-0644



**OWNER:**

FRITZ FAMILY REVOC LIV TRUST,  
EDGAR H FRITZ, TRUSTEE  
P.O. BOX 524, 50 SHORE DR.  
NORTHWOOD, NH 03261  
BK 3338 PG 0173

**APPLICANT:**

DUBE PLUS CONSTRUCTION,  
10 BRICKETTS MILL ROAD,  
HAMPSTEAD, NH 03841

**INITIAL PLAN SET SUBMISSION DATE**

**SEPTEMBER 23, 2020**

Latest revision date: \_\_\_\_\_

**AGENCY APPROVALS**

NHDES SUBDIVISION : \_\_\_\_\_



CONTACT DIG SAFE 72 HOURS  
PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. NEW HAMPSHIRE LAND CONSULTANTS, PLLC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233).

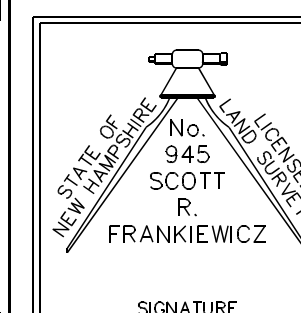
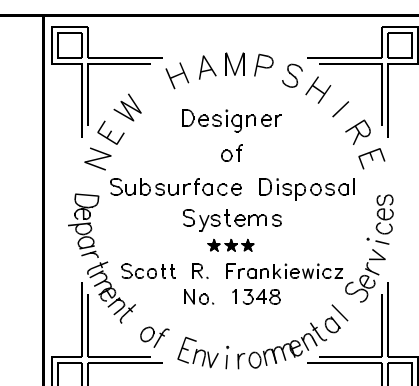
**NOTE:**

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF PORTSMOUTH REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

REVISIONS			
NO.	DATE	DESCRIPTION	BY

## N.H. LAND CONSULTANTS

SURVEYING • LAND PLANNING • REAL ESTATE  
A VETERAN OWNED COMPANY  
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

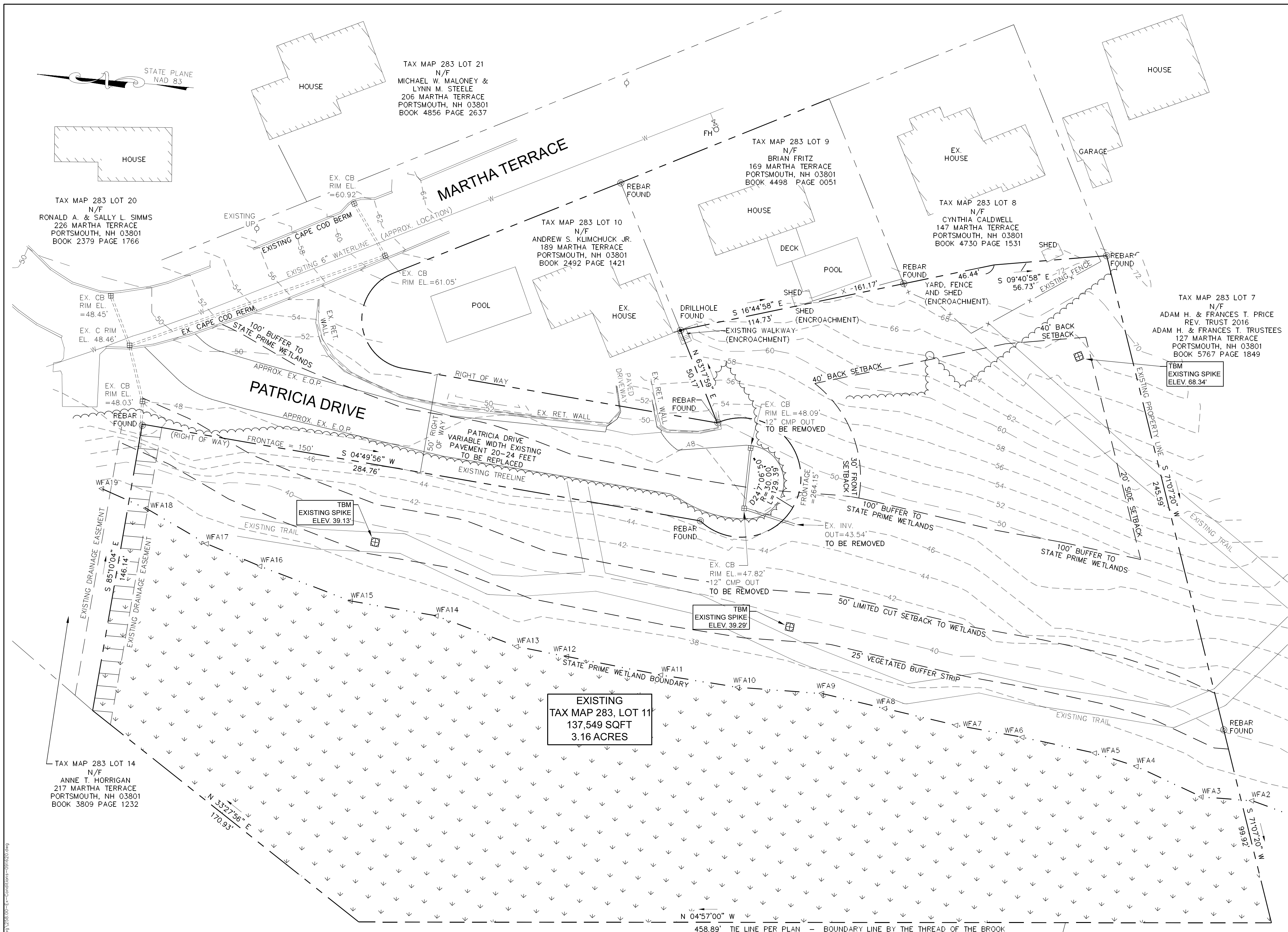


**COVER SHEET**  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
PATRICIA DRIVE, PORTSMOUTH NH 03801  
OWNED BY  
**FRITZ FAMILY REVOC LIV TRUST,  
EDGAR H FRITZ, TRUSTEE**  
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261  
BOOK 3338 PAGE 0173

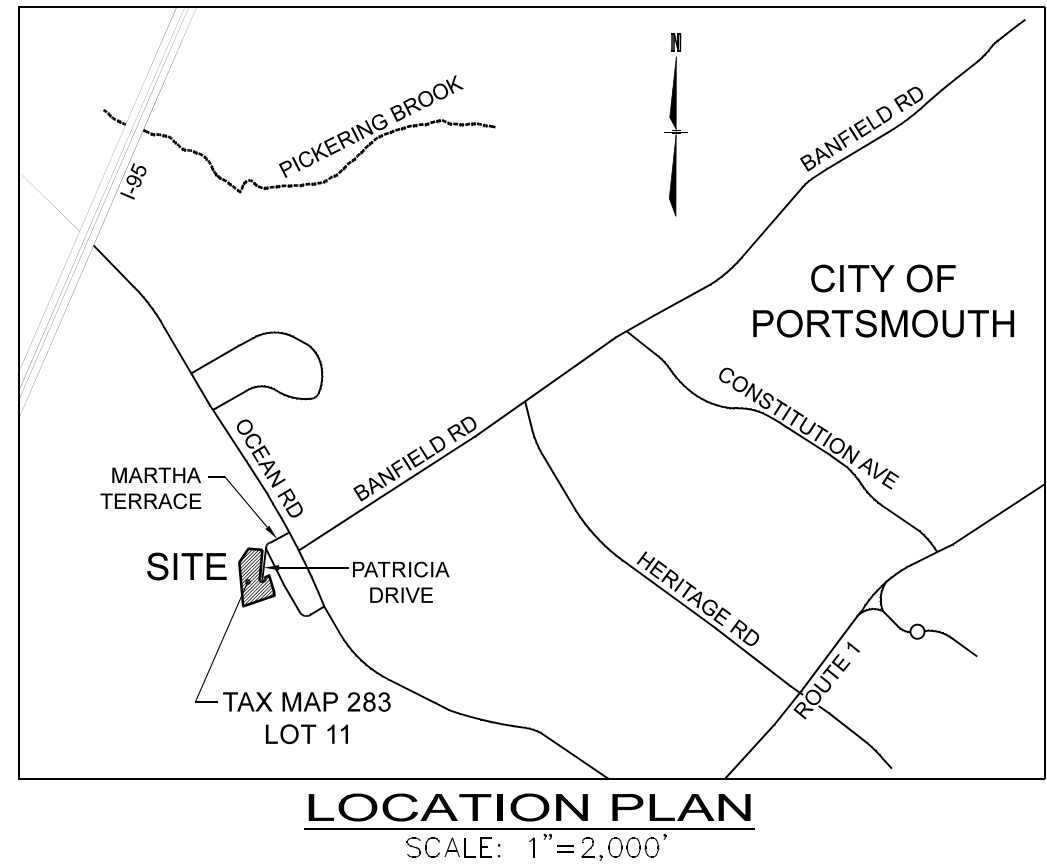
**JOB NO: 258.00**  
**ROCKINGHAM CO.**  
DATE: SEPTEMBER 23, 2020

CVR

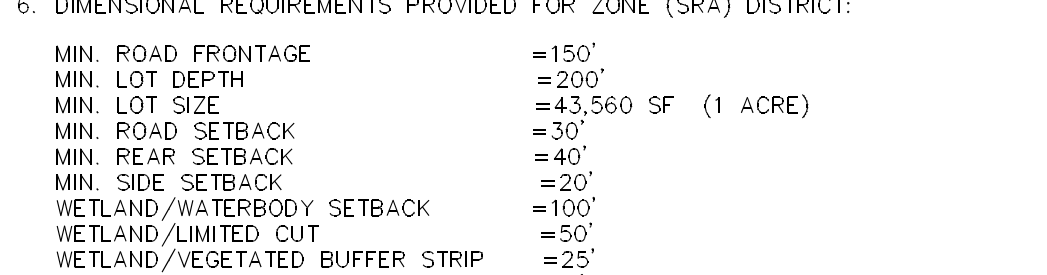
SHT. 1 of 9



- ABUTTERS LIST:**
- N/F MAP 283 LOT 7 ADAM H. & FRANCES T. PRICE, TRUSTEES 127 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 5767 PAGE 1849
  - N/F MAP 283 LOT 8 CYNTHIA CALDWELL 147 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 4730 PAGE 1531
  - N/F MAP 283 LOT 9 BRIAN A FRITZ 169 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 4491 PAGE 0051
  - N/F MAP 283 LOT 10 ANDREW S KLIMCHUCK JR 189 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 2492 PAGE 1421
  - N/F MAP 283 LOT 11 MICHAEL W MALONEY & LYNN M STEELE 206 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 4859 PAGE 2637
  - N/F MAP 283 LOT 12 RONALD A & SALLY L SIMMS 226 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 2379 PAGE 1766
  - N/F MAP 283 LOT 13 ANNE T HERRIGAN 217 MARTHA TERRACE, PORTSMOUTH, NH 03801 BOOK 3809 PAGE 1232
  - N/F MAP 283 LOT 14 ELIZABETH J ROLSTON 185 POST ROAD, GREENLAND, NH 03840 BOOK 2789 PAGE 2523
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- PLAN REFERENCES:**
- R.C.R.D. PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
  - R.C.R.D. PLAN #05967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
  - R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
  - R.C.R.D. PLAN #033328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH, SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

**LEGEND**

EXISTING RETAINING WALL	=====	WETLANDS	~~~~~
ABUTTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊙
EXISTING TIE LINE	-----	EXISTING GATE VALVE & FIRE HYDRANT	⊙
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-----		
EXISTING CONTOUR (MNR)	-572-		
EXISTING CONTOUR (M.R)	-570-		

- Standards Utilized:**
- US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Technical Report ERDC/EL TR-12-1 (January 2012).
  - Field Indicators for Identifying Hydric Soils in New England-Version 4, April 2019, New England Hydric Soils Technical Committee
  - US Army Corps of Engineers National Wetland Plant List, 2018
  - Classification of Wetlands and Deepwater Habitats of the United States: USFWS Manual FWS/OBS-79/31 (1979)

NEW STATE OF NEW HAMPSHIRE  
 No. 945  
 SCOTT R.  
 FRANKIEWICZ  
 SIGNATURE

I CERTIFY THAT THIS PLAN IS BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2020, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE CITY OF PORTSMOUTH, NH.

SCOTT R. FRANKIEWICZ, LLS DATE: \_\_\_\_\_

ENGINEER

NO.	DATE	DESCRIPTION

EXISTING CONDITIONS PLAN TAX MAP 283 LOT 11

**DUBE PLUS CONSTRUCTION**

PATRICIA DRIVE, PORTSMOUTH, NH 03801

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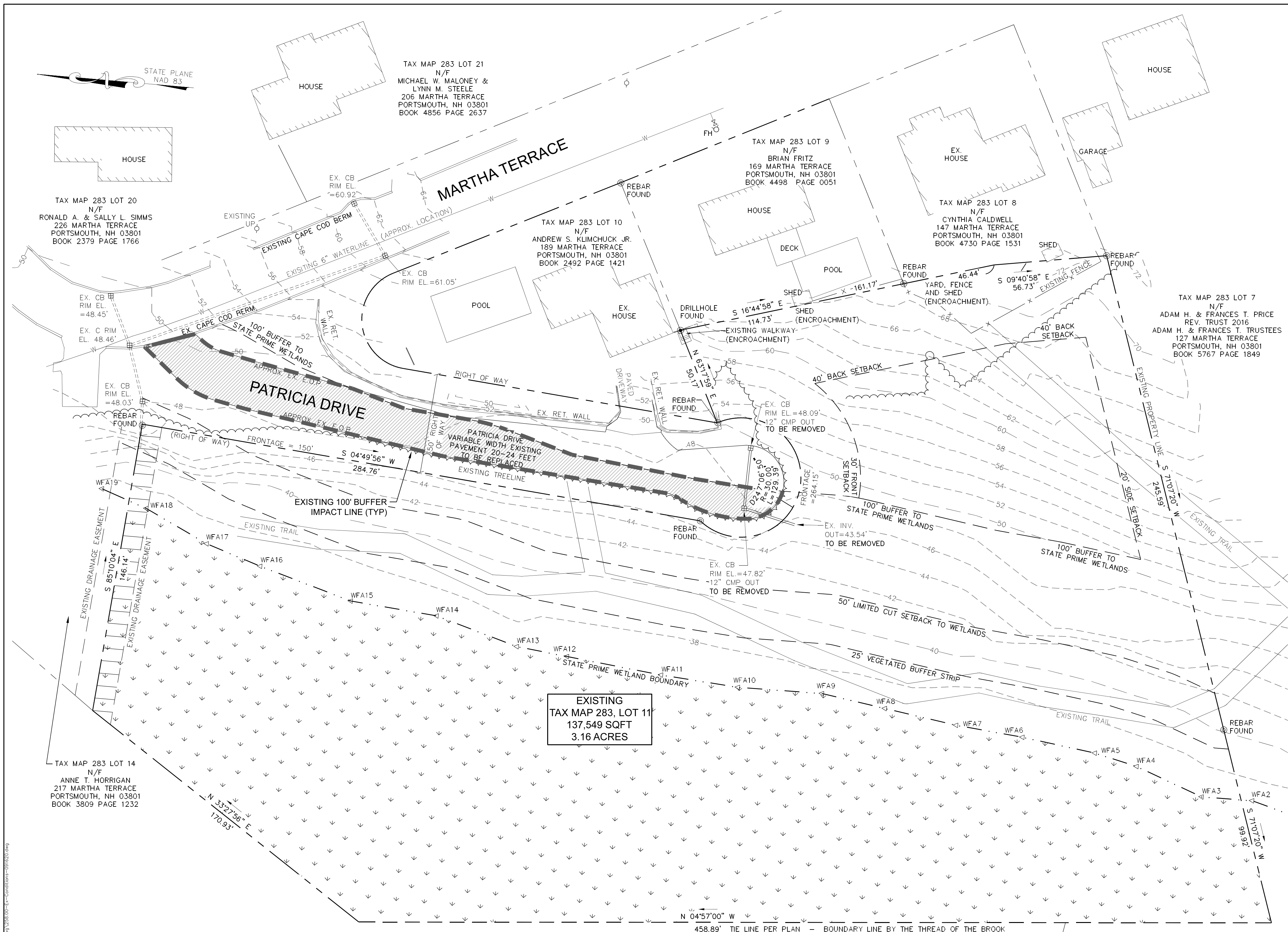
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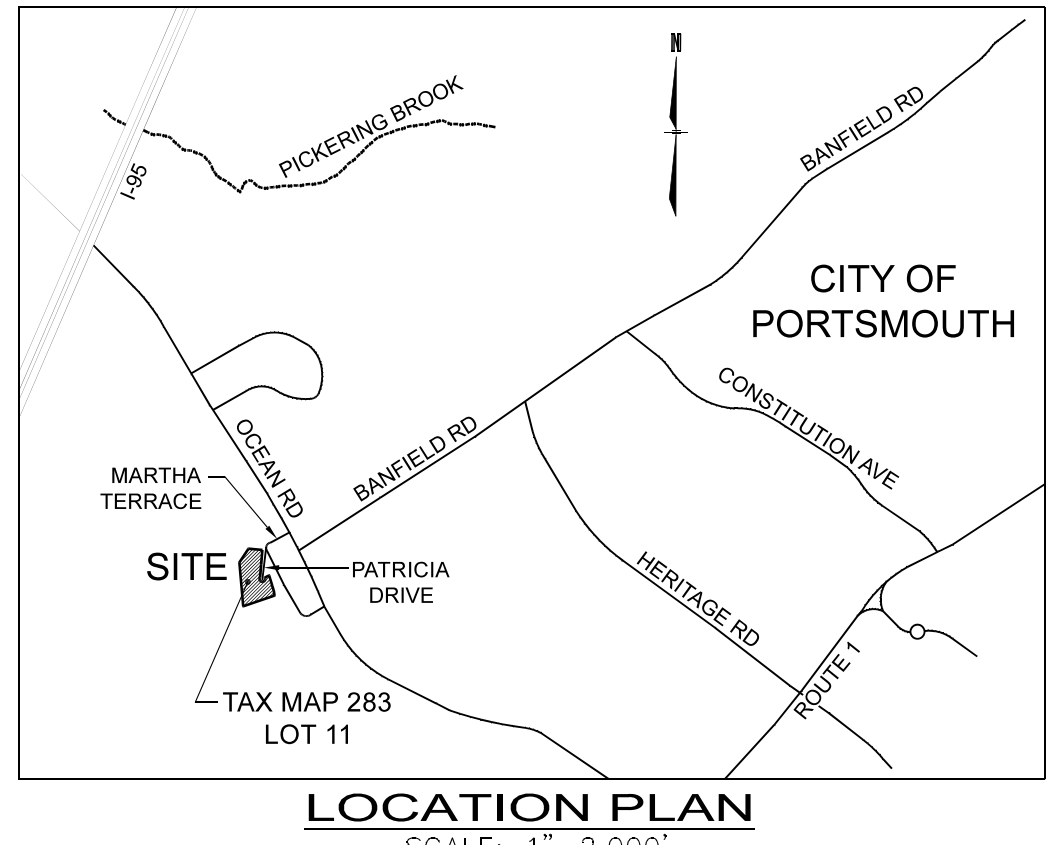
**ECP**  
SHT. 2 of 9

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A Veteran Owned Company

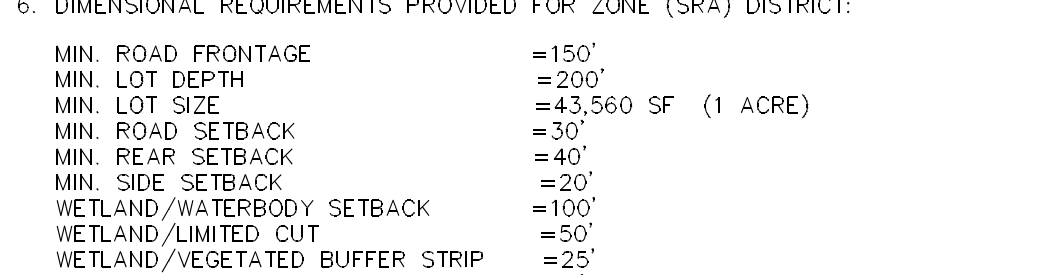
WEBSITE: NHLANDCONSULTANTS.COM  
PH: 603-942-9220  
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683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261



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  - ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.



- PLAN REFERENCES:**
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  - R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
  - R.C.R.D. PLAN #033328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH, SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

**LEGEND**

EXISTING RETAINING WALL	=====	WETLANDS	~~~~~
ABUTTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊙
EXISTING TIE LINE	-----	EXISTING GATE VALVE & HYDRANT	⊙
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-----		
EXISTING CONTOUR (MNR)	-572-----		
EXISTING CONTOUR (M.R)	-570-----		

**100' WETLAND BUFFER IMPACT AREAS**

EXISTING IMPERVIOUS SURFACE (PAVEMENT AREA) = 5,718 SF

EXISTING OVERALL IMPACT = 5,718 SF



TAX MAP 283 LOT 13  
N/F  
CITY OF PORTSMOUTH DPW  
P.O. BOX 628  
PORTSMOUTH, NH 03802  
BOOK 2249 PAGE 432

TAX MAP 283 LOT 12  
N/F  
ELIZABETH J. ROLSTON  
185 POST ROAD  
GREENLAND, NH 03840  
BOOK 2679 PAGE 2523

NEW STATE OF  
HAMPSHIRE  
No. 945  
SCOTT R.  
FRANKIEWICZ  
SIGNATURE

I CERTIFY THAT THIS PLAN IS BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2020, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE CITY OF PORTSMOUTH, NH.

SCOTT R. FRANKIEWICZ, LLS DATE: \_\_\_\_\_

ENGINEER

NO.	DATE	DESCRIPTION

EXISTING BUFFER IMPACT PLAN  
TAX MAP 283  
LOT 11  
**DUBE PLUS CONSTRUCTION**  
PATRICIA DRIVE, PORTSMOUTH, NH 03801  
OWNED BY  
**FRITZ FAMILY REVOC LIV TRUST,**  
**EDGAR H FRITZ, TRUSTEE**  
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261  
BOOK 3338 PAGE 0173

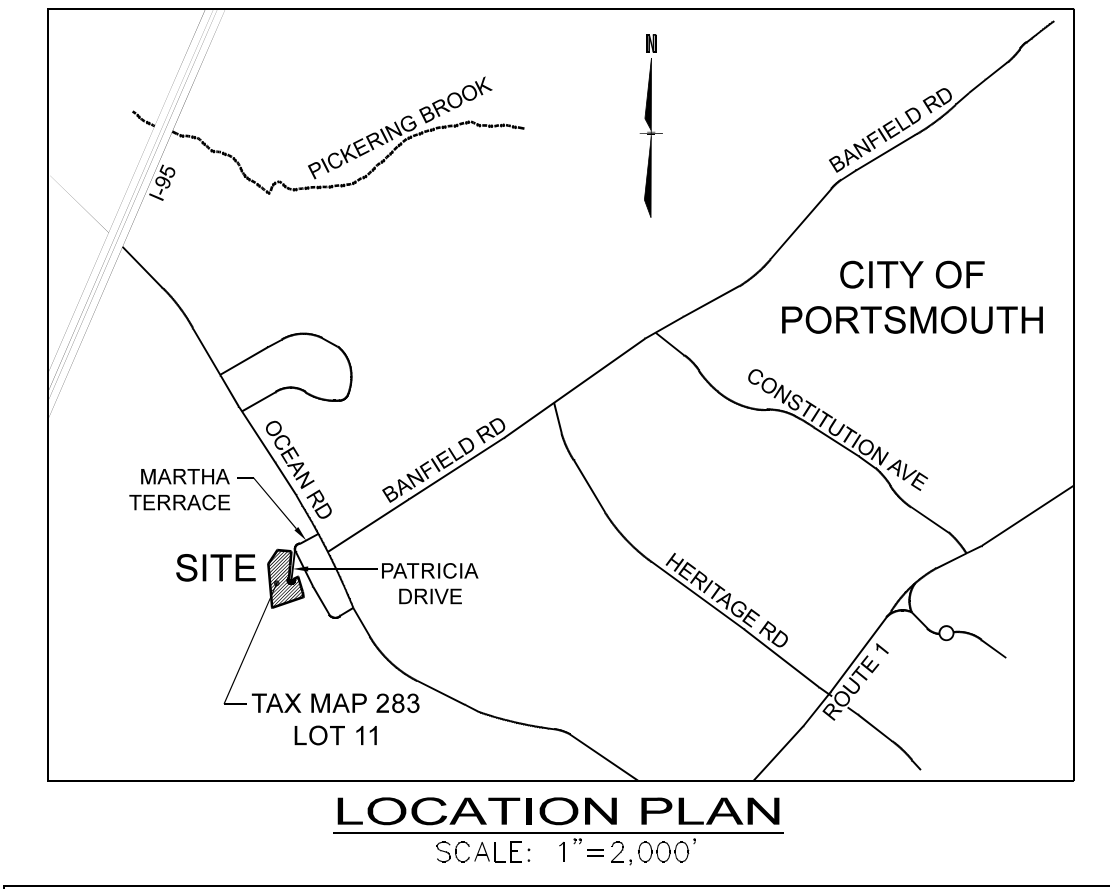
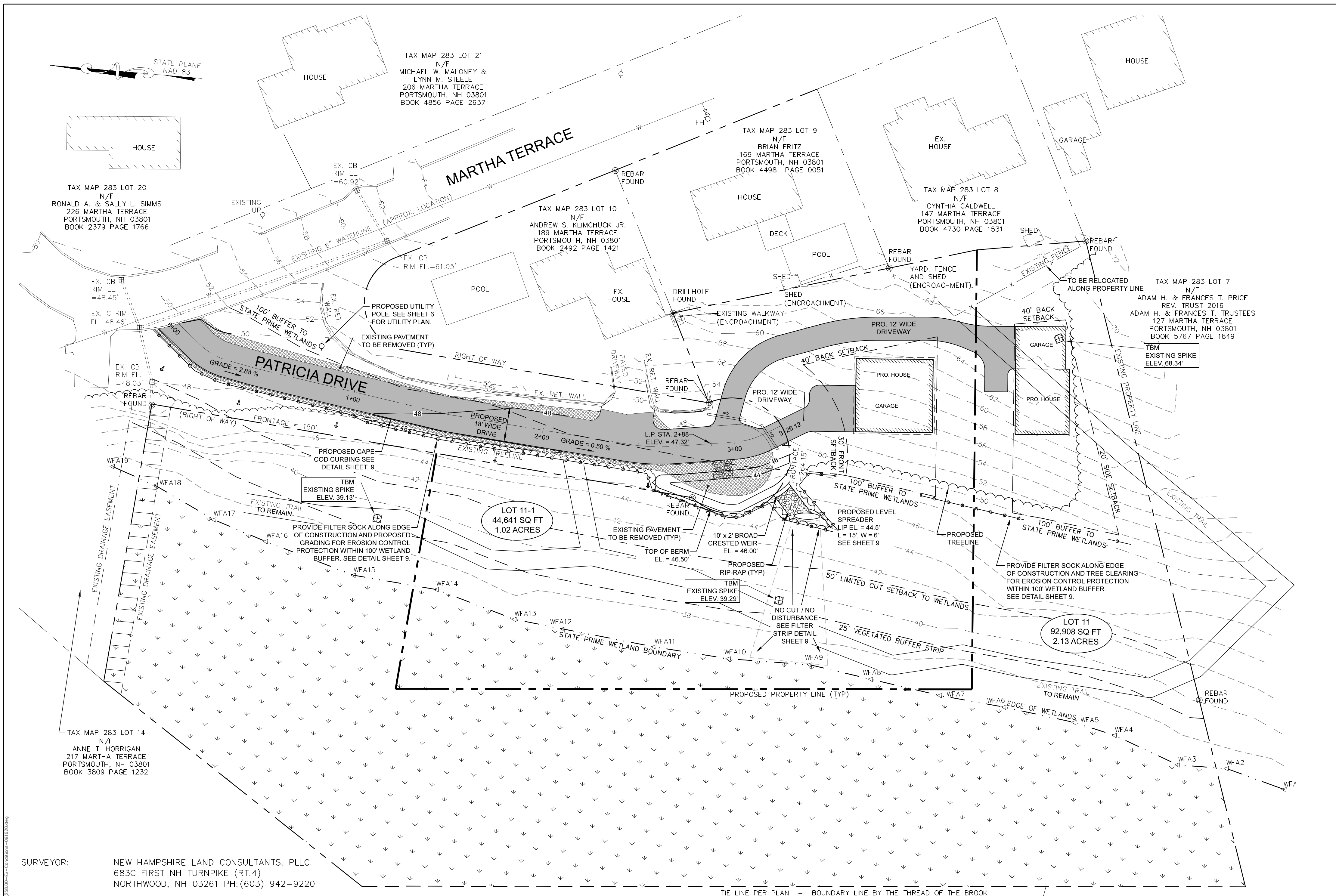
ROCKINGHAM CO.  
JOB NO: 258.00  
DATE: SEPTEMBER 23, 2020

**EBIP**  
SHT. 3 of 9

**N.H. LAND Consultants**  
SURVEYING • LAND PLANNING • REAL ESTATE  
A Veteran Owned Company

WEBSITE: NHLANDCONSULTANTS.COM  
PH: 603-942-9220  
PH: 603-942-9220





- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
  - THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
  - THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT.)
  - THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK. 438 PG. 173.
  - THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:  
 MIN. ROAD FRONTAGE = 150'  
 MIN. LOT DEPTH = 200'  
 MIN. LOT SIZE = 43,560 SF (1 ACRE)  
 MIN. ROAD SETBACK = 30'  
 MIN. REAR SETBACK = 40'  
 MIN. SIDE SETBACK = 20'  
 WETLAND/WATERBODY SETBACK = 100'  
 WETLAND/LIMITED CUT = 50'  
 WETLAND/VEGETATED BUFFER STRIP = 25'  
 MAXIMUM STRUCTURE HEIGHT = 35'  
 SEPTIC SETBACK = 75' HYDRIC SOILS  
 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  - THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  - WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY grantview.unh.edu.
  - SHEET 7 OF 8 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
  - THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
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**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
 683C FIRST NH TURNPIKE (RT.4)  
 NORTHWOOD, NH 03261 PH: (603) 942-9220

**WETLAND/SOIL SCIENTIST:** COVE ENVIRONMENTAL SERVICES, INC.  
 8 CONTINENTAL DR., BLDG. 2, UNIT H,  
 EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

**ZONE:** SRA  
**LOT SIZE:** 1 ACRES  
**FRONTAGE:** 150'  
**LOT DEPTH:** 200'  
**FRONT SETBACK:** 30'  
**SIDE SETBACK:** 20'  
**REAR SETBACK:** 40'

**SOILS:** 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX

CHATFIELD - NHDES GROUP 4  
 HOLLIS - NHDES GROUP 4  
 CANTON - NHDES GROUP 2

**LOT SIZE USING GROUP 4 SLOPE C = 48,000 SQ FT**  
**WITH PUBLIC WATER = 24,000 SQ FT.**

**LEGEND**

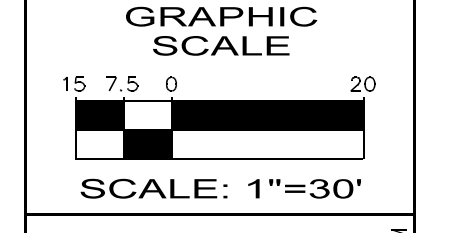
EXISTING RETAINING WALL	=====	WETLANDS	
ABUTTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊙
EXISTING TIE LINE	-----	EXISTING GATE VALVE & HYDRANT	⊙
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-----		
EXISTING CONTOUR (MNR)	-572-		
EXISTING CONTOUR (MJR)	-570-		

TAX MAP 283 LOT 13  
 N/F  
 CITY OF PORTSMOUTH DPW  
 P.O. BOX 628  
 PORTSMOUTH, NH 03802  
 BOOK 2249 PAGE 432

TAX MAP 283 LOT 12  
 N/F  
 ELIZABETH J. ROLSTON  
 185 POST ROAD  
 GREENLAND, NH 03840  
 BOOK 2679 PAGE 2523

**REVISIONS**

NO.	DATE	DESCRIPTION	BY



**N.H. LAND Consultants**  
 SURVEYING • LAND PLANNING • REAL ESTATE  
 A Veteran Owned Company

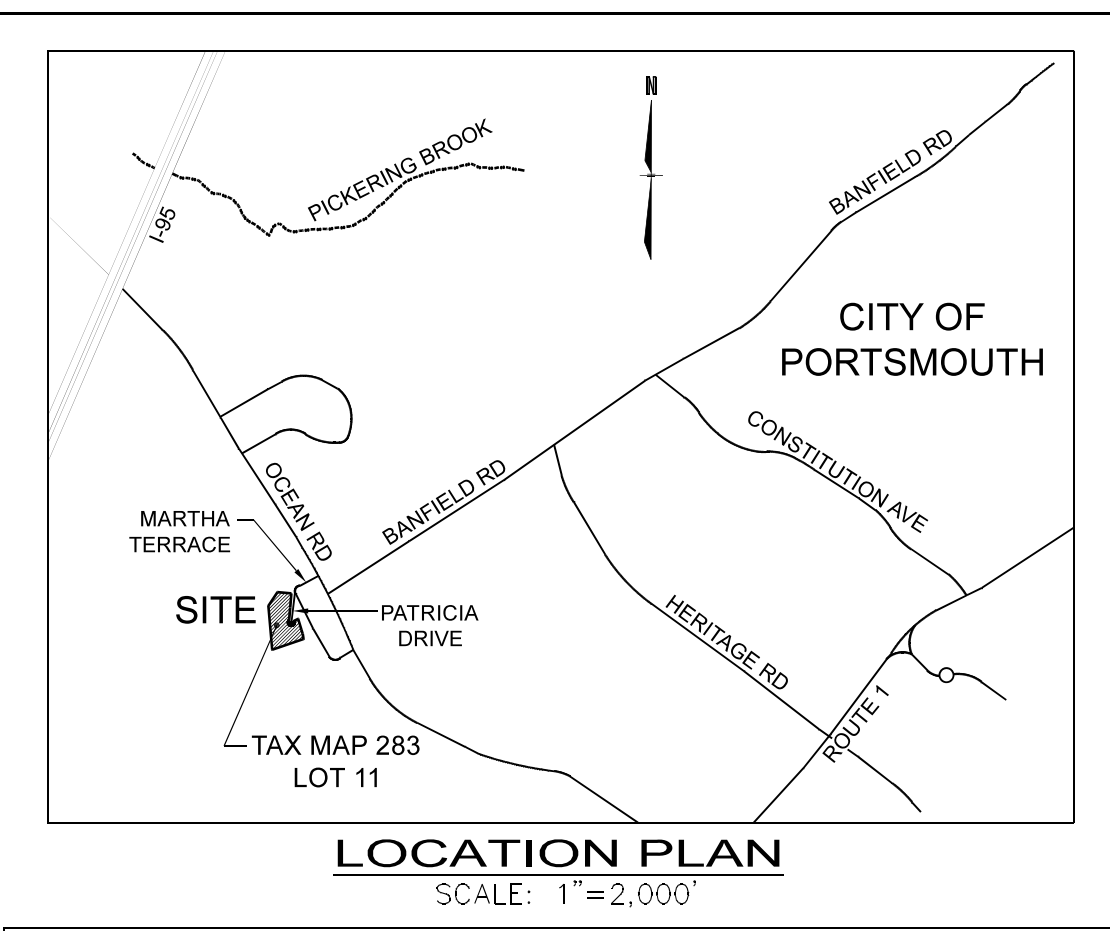
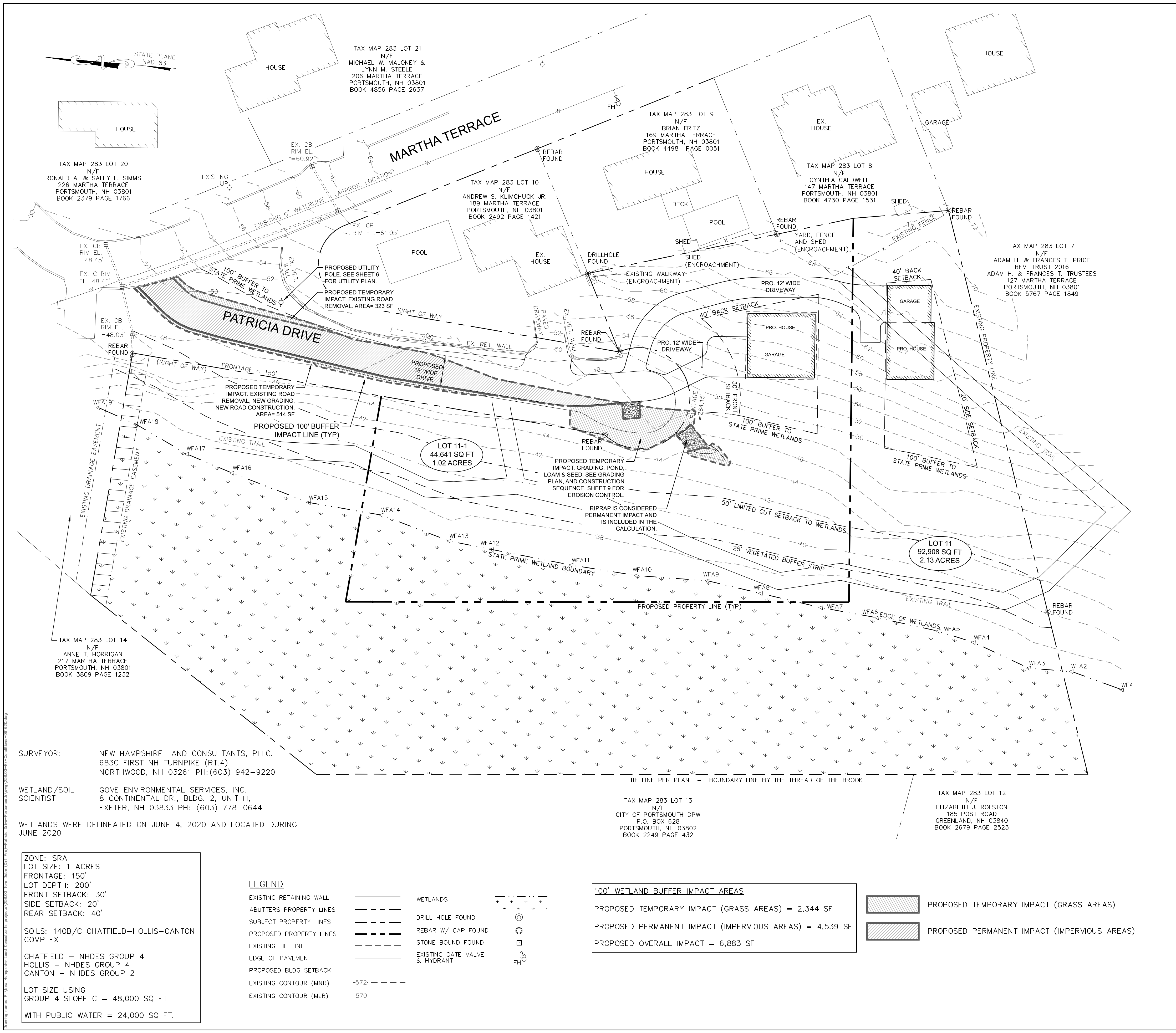
**PROPOSED GRADING PLAN**  
 TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
 PATRICIA DRIVE, PORTSMOUTH, NH 03801

OWNED BY  
**FRITZ FAMILY REVOC LIV TRUST,**  
**EDGAR H FRITZ, TRUSTEE**  
 P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261  
 BOOK 3358 PAGE 0173

ROCKINGHAM CO.  
**JOB NO: 258.00**  
 DATE: SEPTEMBER 23, 2020

**PGP**  
 SHT. 4 of 9

683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM



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  2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
  3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQ.FT.)
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  5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
  6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:
 

MIN. ROAD FRONTAGE	=150'
MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
MIN. REAR SETBACK	=40'
MIN. SIDE SETBACK	=20'
WETLAND/WATERBODY SETBACK	=100'
WETLAND/LIMITED CUT	=50'
WETLAND/VEGETATED BUFFER STRIP	=25'
MAXIMUM STRUCTURE HEIGHT	=35'
SEPTIC SETBACK	=75' HYDRIC SOILS

 OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  7. THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  8. THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  9. SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  10. WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
  11. RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
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WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

**ZONE:** SRA  
**LOT SIZE:** 1 ACRES  
**FRONTAGE:** 150'  
**LOT DEPTH:** 200'  
**FRONT SETBACK:** 30'  
**SIDE SETBACK:** 20'  
**REAR SETBACK:** 40'

**SOILS:** 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX  
CHATFIELD - NHDES GROUP 4  
HOLLIS - NHDES GROUP 4  
CANTON - NHDES GROUP 2

**LOT SIZE USING GROUP 4 SLOPE C = 48,000 SQ FT**  
WITH PUBLIC WATER = 24,000 SQ FT.

**LEGEND**

- |                         |           |                               |       |
|-------------------------|-----------|-------------------------------|-------|
| EXISTING RETAINING WALL | =====     | WETLANDS                      | ~~~~~ |
| ABUTTERS PROPERTY LINES | -----     | DRILL HOLE FOUND              | ⊙     |
| SUBJECT PROPERTY LINES  | -----     | REBAR W/ CAP FOUND            | ⊙     |
| PROPOSED PROPERTY LINES | -----     | STONE BOUND FOUND             | ⊙     |
| EXISTING TIE LINE       | -----     | EXISTING GATE VALVE & HYDRANT | FH    |
| EDGE OF PAVEMENT        | -----     |                               |       |
| PROPOSED BLDG SETBACK   | -----     |                               |       |
| EXISTING CONTOUR (MNR)  | -572----- |                               |       |
| EXISTING CONTOUR (MJP)  | -570----- |                               |       |

**100' WETLAND BUFFER IMPACT AREAS**

PROPOSED TEMPORARY IMPACT (GRASS AREAS) = 2,344 SF

PROPOSED PERMANENT IMPACT (IMPERVIOUS AREAS) = 4,539 SF

PROPOSED OVERALL IMPACT = 6,883 SF

- |  |  |
|--|--|
|  | PROPOSED TEMPORARY IMPACT (GRASS AREAS)      |
|  | PROPOSED PERMANENT IMPACT (IMPERVIOUS AREAS) |

DESIGNER OF  
Subsurface Disposal  
Systems  
\*\*\*  
Scott R. Frankiewicz  
No. 1348  
Department of Environmental Services  
NEW HAMPSHIRE

NO.	DATE	DESCRIPTION

**GRAPHIC SCALE**

15 7.5 0 20

SCALE: 1"=30'

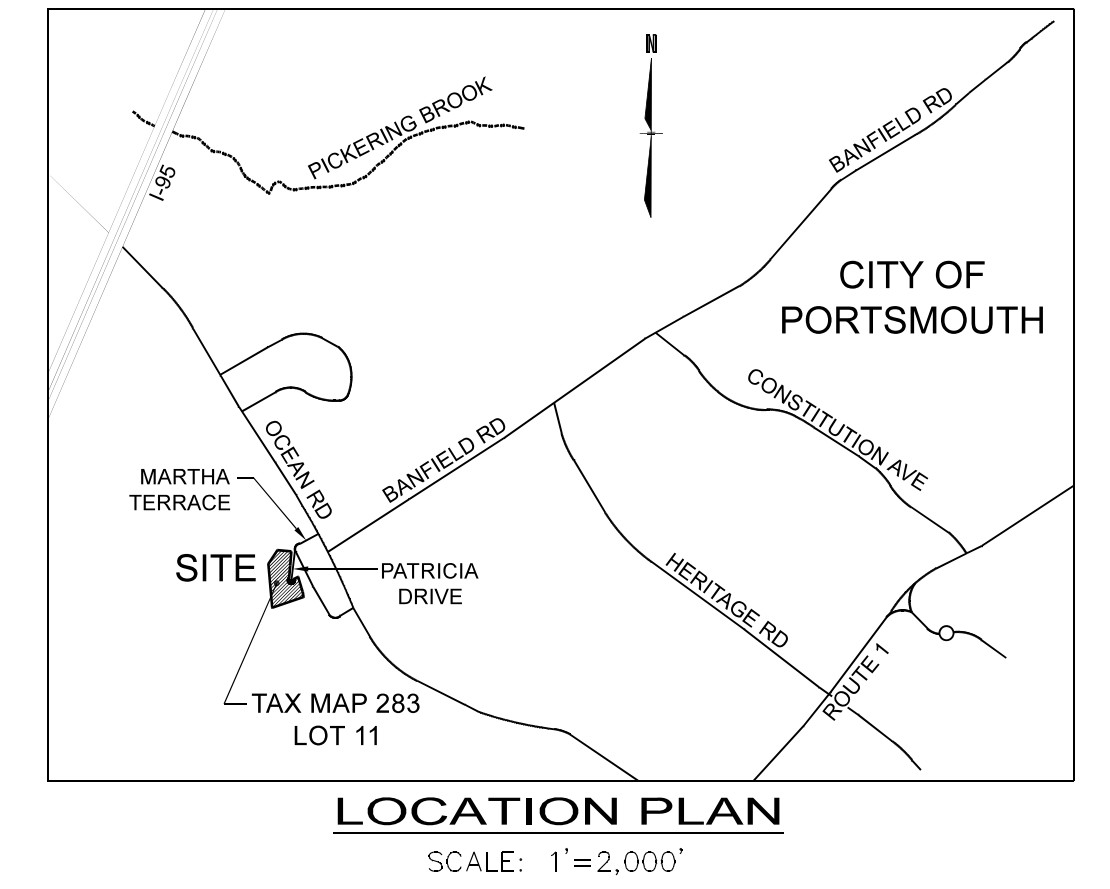
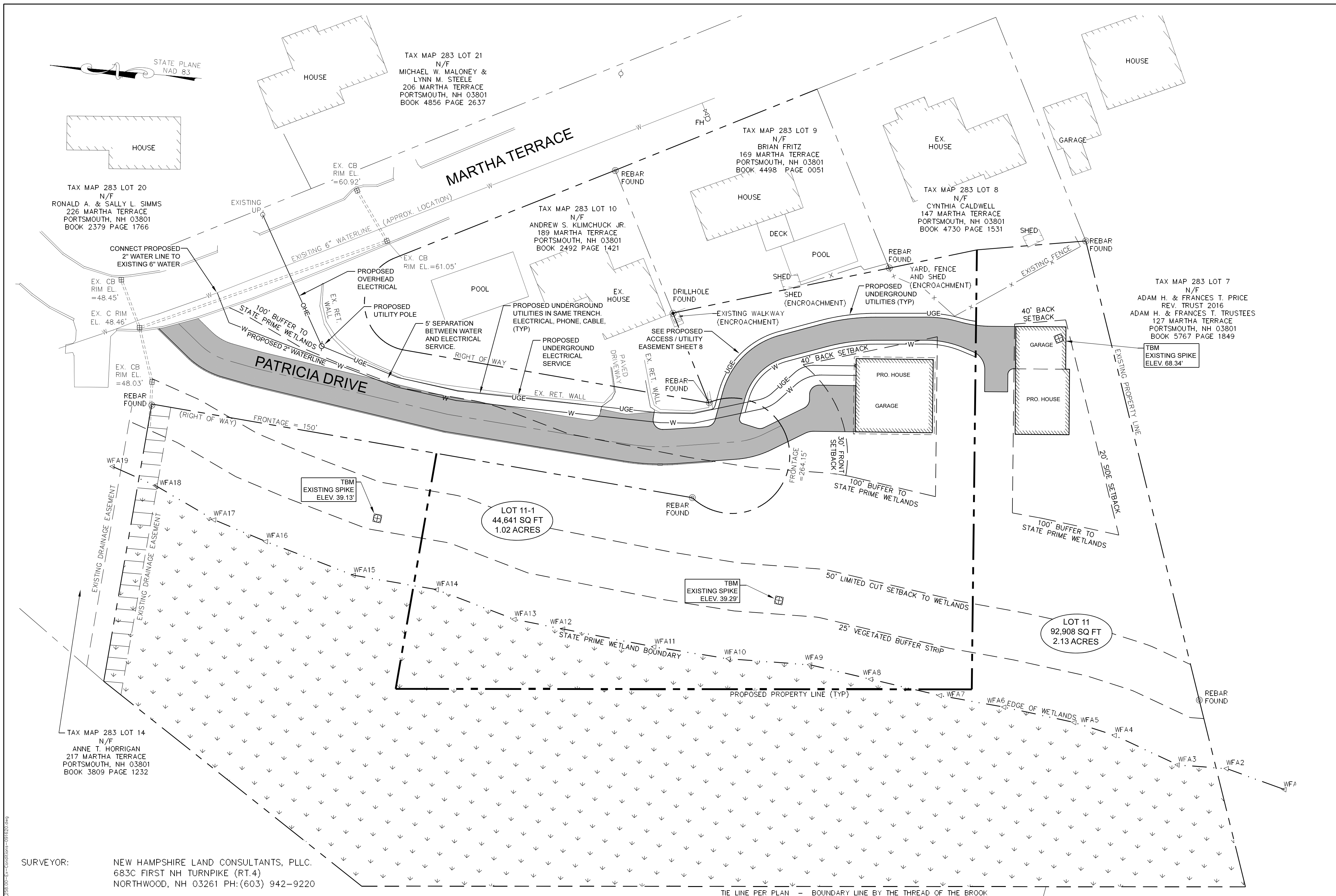
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PROPOSED BUFFER IMPACT PLAN  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
PATRICIA DRIVE, PORTSMOUTH, NH 03801  
OWNED BY  
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ROCKINGHAM CO.  
JOB NO: 258.00  
DATE: SEPTEMBER 23, 2020

**PBIP**  
SHT. 5 of 9



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  - IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
  - ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.

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  - R.C.R.D. PLAN #033328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 - LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH, SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
 683C FIRST NH TURNPIKE (RT.4)  
 NORTHWOOD, NH 03261 PH: (603) 942-9220

**WETLAND/SOIL SCIENTIST:** COVE ENVIRONMENTAL SERVICES, INC.  
 8 CONTINENTAL DR., BLDG. 2, UNIT H,  
 EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

**LEGEND**

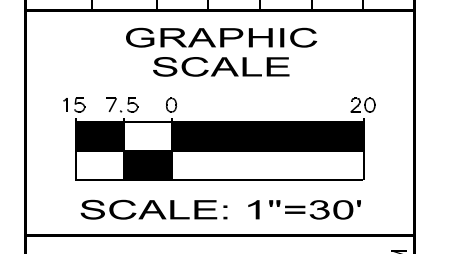
EXISTING RETAINING WALL	=====	WETLANDS	-----
ADJUTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊙
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊙
EXISTING TIE LINE	-----	EXISTING GATE VALVE & HYDRANT	FH
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-----		

TAX MAP 283 LOT 13  
 N/F  
 CITY OF PORTSMOUTH DPW  
 P.O. BOX 628  
 PORTSMOUTH, NH 03802  
 BOOK 2249 PAGE 432

TAX MAP 283 LOT 12  
 N/F  
 ELIZABETH J ROLSTON  
 185 POST ROAD  
 GREENLAND, NH 03840  
 BOOK 2679 PAGE 2523

**REVISIONS**

NO.	DATE	DESCRIPTION	BY



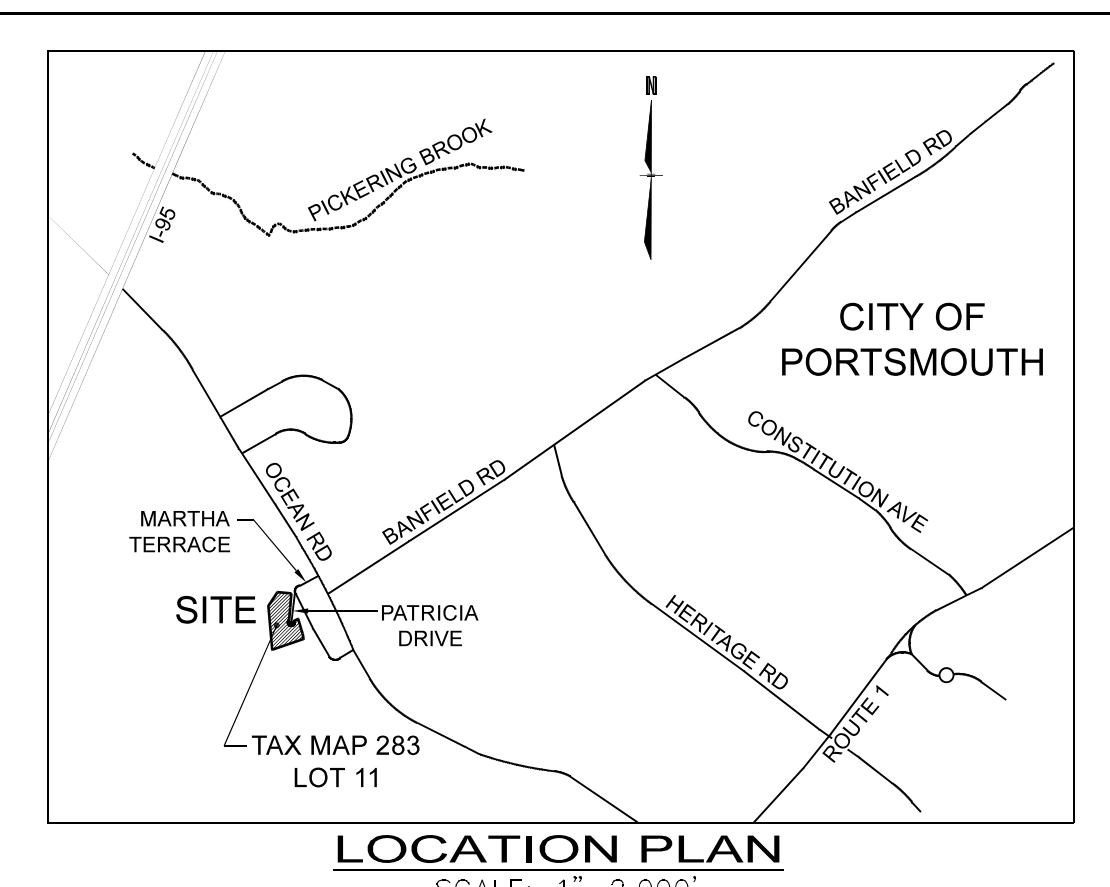
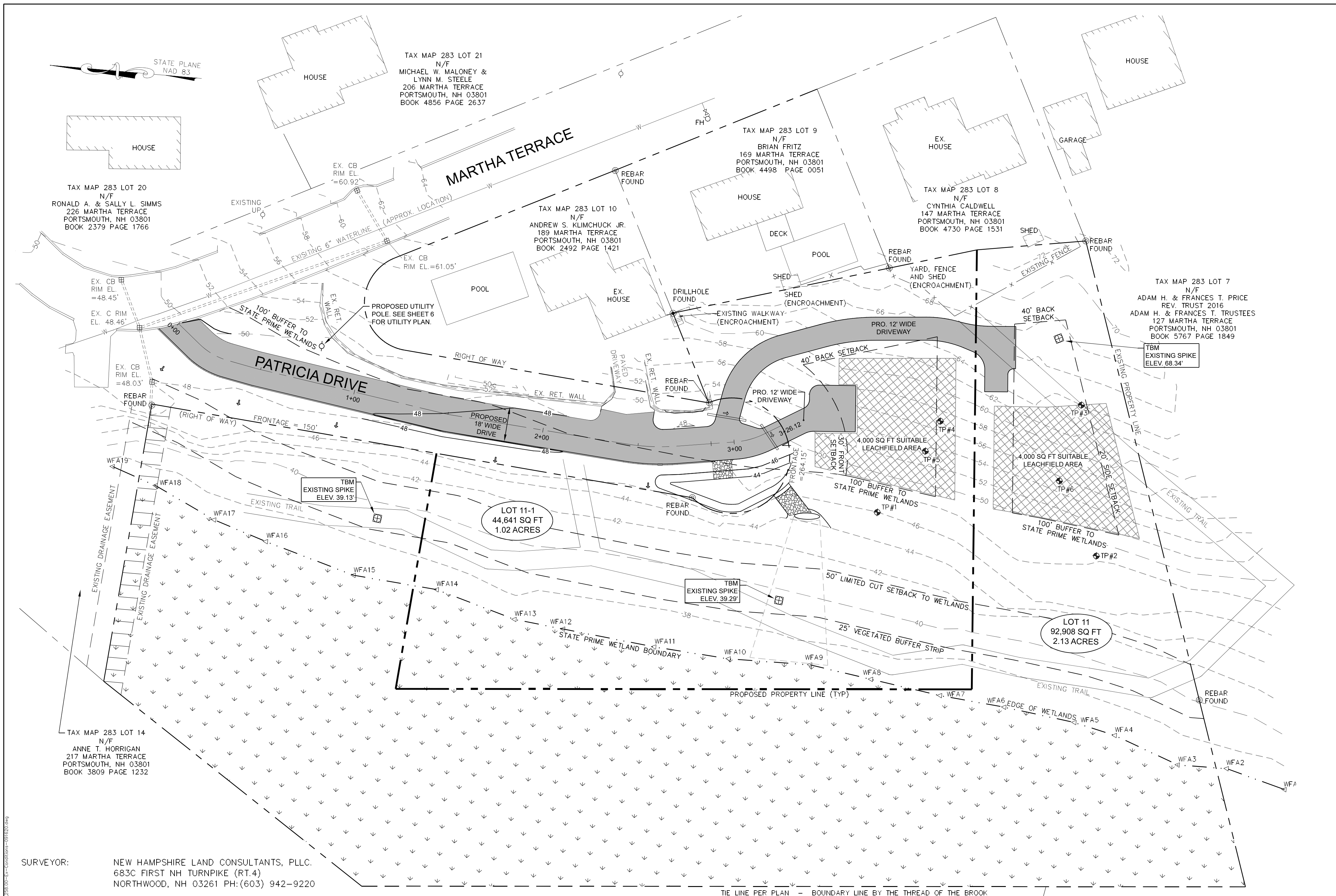
**N.H. LAND Consultants**  
 SURVEYING • LAND PLANNING • REAL ESTATE  
 A Veteran Owned Company

**PROPOSED UTILITY PLAN**  
 TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
 PATRICIA DRIVE, PORTSMOUTH, NH 03801  
 OWNED BY  
**FRITZ FAMILY REVOC LIV TRUST,**  
**EDGAR H FRITZ, TRUSTEE**  
 P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261  
 BOOK 3338 PAGE 0173

ROCKINGHAM CO.  
 JOB NO: 258.00  
 DATE: SEPTEMBER 23, 2020

**PUP**  
 SHT. 6 of 9

683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220 WEBSITE: NH.LANDCONSULTANTS.COM



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
  - THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
  - THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQ. FT.).
  - THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261, BK 3338 PG 173.
  - THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
  - DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:
    - MIN. ROAD FRONTAGE = 150'
    - MIN. LOT DEPTH = 200'
    - MIN. LOT SIZE = 43,560 SF (1 ACRE)
    - MIN. ROAD SETBACK = 30'
    - MIN. REAR SETBACK = 40'
    - MIN. SIDE SETBACK = 20'
    - WETLAND/WATERBODY SETBACK = 100'
    - WETLAND/LIMITED CUT = 50'
    - WETLAND/VEGETATED BUFFER STRIP = 25'
    - MAXIMUM STRUCTURE HEIGHT = 35'
    - SEPTIC SETBACK = 75' HYDRIC SOILS, CONSERVATION)
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  - THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  - WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
  - ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY GRANITVIEW.URN.EDU.
  - SHEET 7 OF 8 THIS SET WILL BE RECORDED. A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
  - THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
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**LEGEND**

EXISTING RETAINING WALL	=====	WETLANDS	~~~~~
ABUTTERS PROPERTY LINES	-----	DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES	-----	REBAR W/ CAP FOUND	⊕
PROPOSED PROPERTY LINES	-----	STONE BOUND FOUND	⊞
EXISTING TIE LINE	-----	EXISTING GATE VALVE & HYDRANT	⊞
EDGE OF PAVEMENT	-----		
PROPOSED BLDG SETBACK	-----		
EXISTING CONTOUR (MNR)	-572- - - -		
EXISTING CONTOUR (MJR)	-570- - - -		

**SURVEYOR:** NEW HAMPSHIRE LAND CONSULTANTS, PLLC.  
683C FIRST NH TURNPIKE (RT.4)  
NORTHWOOD, NH 03261 PH: (603) 942-9220

**WETLAND/SOIL SCIENTIST:** GOVE ENVIRONMENTAL SERVICES, INC.  
8 CONTINENTAL DR., BLDG. 2, UNIT H,  
EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

**ZONE:** SRA  
**LOT SIZE:** 1 ACRES  
**FRONTAGE:** 150'  
**LOT DEPTH:** 200'  
**FRONT SETBACK:** 30'  
**SIDE SETBACK:** 20'  
**REAR SETBACK:** 40'

**SOILS:** 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX

CHATFIELD - NHDES GROUP 4  
HOLLIS - NHDES GROUP 4  
CANTON - NHDES GROUP 2

**LOT SIZE USING GROUP 4 SLOPE C = 48,000 SQ FT**  
**WITH PUBLIC WATER = 24,000 SQ FT.**

<b>TEST PIT #1</b> DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348	<b>TEST PIT #2</b> DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348	<b>TEST PIT #3</b> DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348	<b>TEST PIT #4</b> DATE: 5-26-20 PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348	<b>TEST PIT #5</b> DATE: 9-18-20 PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348	<b>TEST PIT #6</b> DATE: 9-18-20 PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348
0-6" Topsoil	0-6" Topsoil	0-6" Topsoil	0-6" Topsoil	0-6" Topsoil	0-6" Topsoil
6-24" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-30" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-30" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-26" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-36" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown	6-34" Loamy Sand Granular/Friable 7.5 YR 5/6 - Strong Brown
24-60" Loam Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	30-56" Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	30-56" Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	26-70" Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	36-60" Gravelly Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown	34-60" Gravelly Sand Granular/Firm in place 2.5Y 5/6 - Light Olive Brown
ESHWT = 24" Roots to 24" No ledge observed No water observed Many stones throughout hole	ESHWT = 30" Roots to 30" No ledge observed No water observed Many stones throughout hole	ESHWT = 30" Roots to 30" No ledge observed No water observed Many stones throughout hole	ESHWT = 26" Roots to 26" No ledge observed No water observed Many stones throughout hole	ESHWT = 36" Roots to 36" No ledge observed No water observed Many stones throughout hole	ESHWT = 34" Roots to 34" No ledge observed No water observed Many stones throughout hole

TAX MAP 283 LOT 13  
N/F  
CITY OF PORTSMOUTH DPW  
P.O. BOX 628  
PORTSMOUTH, NH 03802  
BOOK 2249 PAGE 432

TAX MAP 283 LOT 12  
N/F  
ELIZABETH J. ROLSTON  
185 POST ROAD  
GREENLAND, NH 03840  
BOOK 2679 PAGE 2523

**DESIGNER:** NEW HAMPSHIRE CONSULTANTS OF Environmental Services  
Designer of Subsurface Disposal Systems  
Scott R. Frankiewicz, No. 1348

NO.	DATE	DESCRIPTION

**GRAPHIC SCALE**  
15 7.5 0 20  
SCALE: 1"=30'

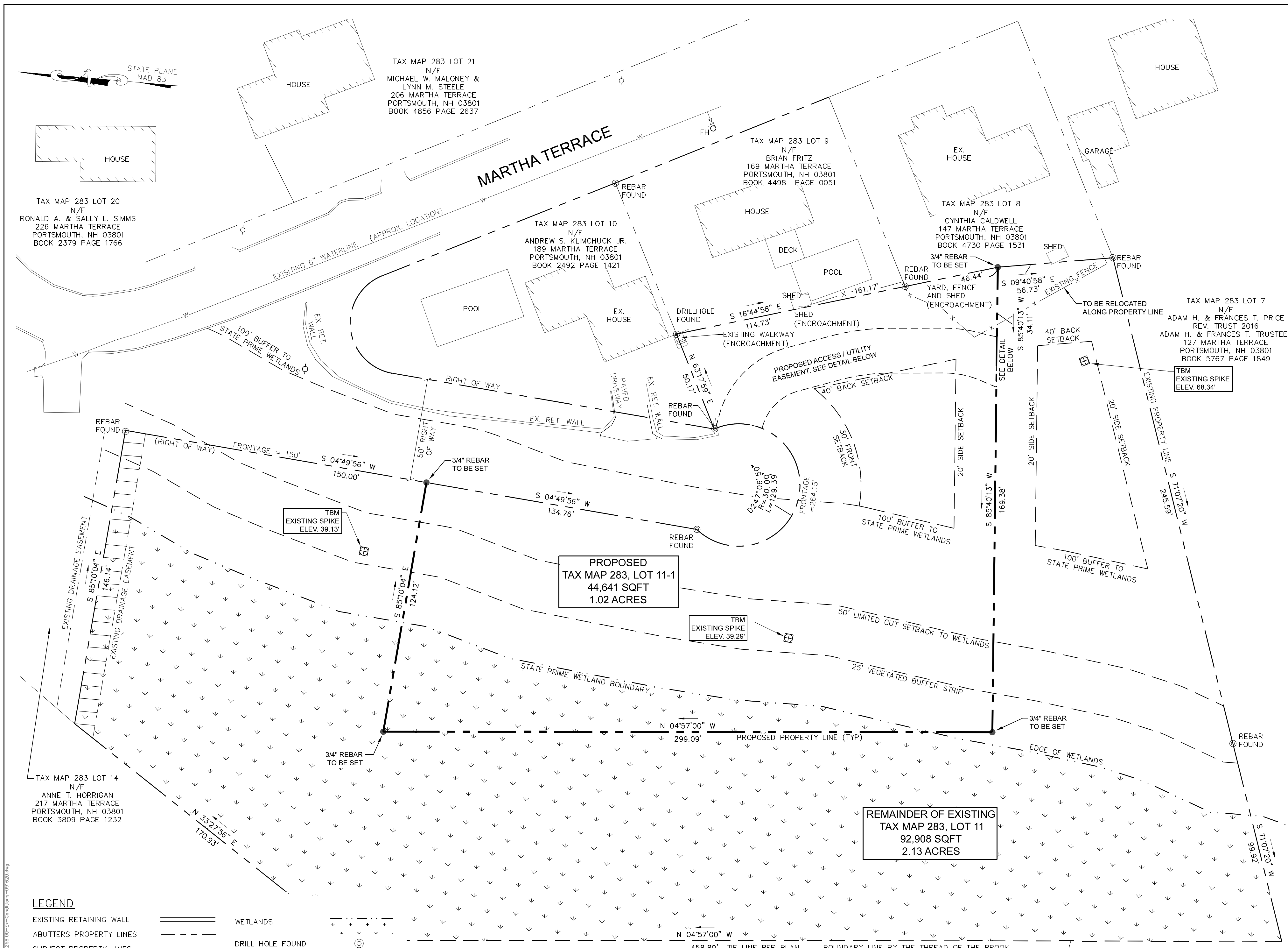
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683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

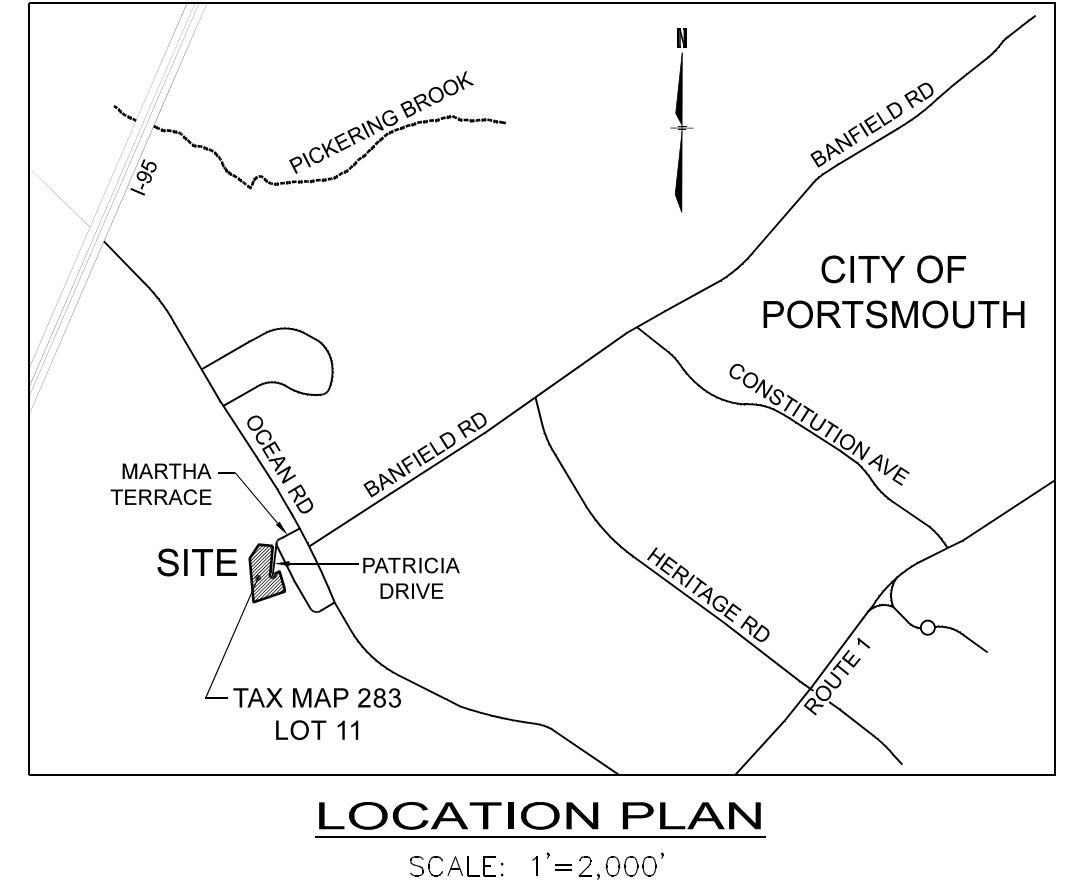
**PROPOSED CONDITIONS PLAN**  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
PATRICIA DRIVE, PORTSMOUTH, NH 03801  
OWNED BY  
**FRITZ FAMILY REVOC LIV TRUST,**  
**EDGAR H FRITZ, TRUSTEE**  
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261  
BOOK 3338 PAGE 0173

**ROCKINGHAM CO.**  
**JOB NO: 258.00**  
**DATE: SEPTEMBER 23, 2020**

**PCP**  
SHT. 7 of 9

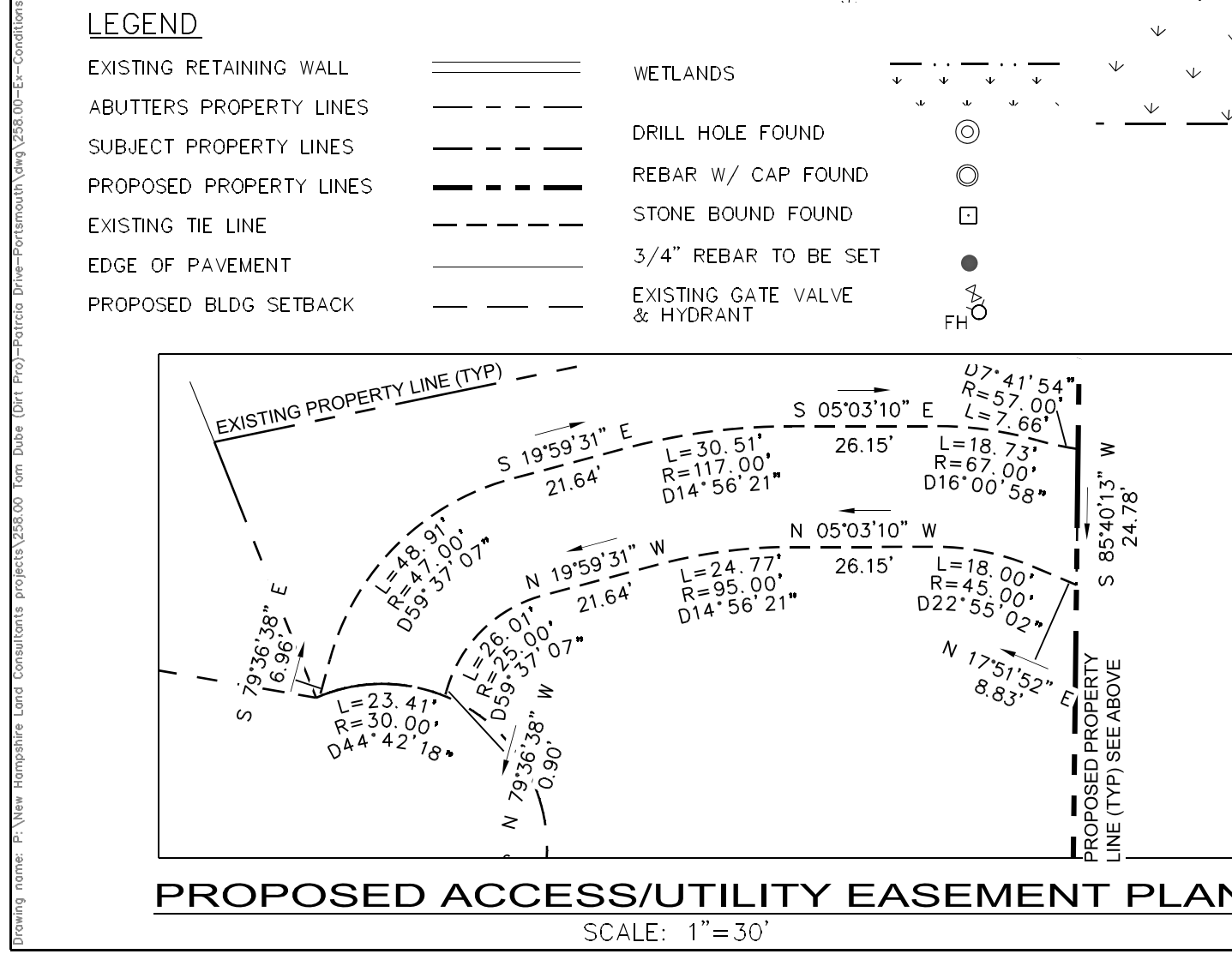


- ABUTTERS LIST:**
- TAX MAP 283 LOT 7  
N/F  
ADAM H. & FRANCES T. PRICE  
127 MARTHA TERRACE,  
PORTSMOUTH, NH 03801  
BOOK 5767 PAGE 1849
  - TAX MAP 283 LOT 8  
N/F  
CYNTHIA CALDWELL  
147 MARTHA TERRACE,  
PORTSMOUTH, NH 03801  
BOOK 4730 PAGE 1531
  - TAX MAP 283 LOT 9  
N/F  
BRIAN FRITZ  
169 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 4498 PAGE 0051
  - TAX MAP 283 LOT 10  
N/F  
ANDREW S. KLIMCHUCK JR.  
189 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 2492 PAGE 1421
  - TAX MAP 283 LOT 11  
N/F  
FRITZ FAMILY REVOC LIV TRUST,  
P.O. BOX 524, 50 SHORE DR.,  
NORTHWOOD NH, 03261
  - TAX MAP 283 LOT 12  
N/F  
ELIZABETH J. ROLSTON  
125 POST ROAD  
GREENLAND, NH 03840  
BOOK 2679 PAGE 2523
  - TAX MAP 283 LOT 13  
N/F  
CITY OF PORTSMOUTH, DPW  
P.O. BOX 628  
PORTSMOUTH, NH 03802  
BOOK 2249 PAGE 0432
  - TAX MAP 283 LOT 14  
N/F  
ANNE T. HERRIGAN  
217 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 3809 PAGE 1232
  - TAX MAP 283 LOT 15  
N/F  
RONALD A. & SALLY L. SIMMS  
226 MARTHA TERRACE  
PORTSMOUTH, NH 03801  
BOOK 2379 PAGE 1766



- NOTES:**
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  - THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
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MIN. ROAD FRONTAGE = 150'  
MIN. LOT DEPTH = 200'  
MIN. LOT SIZE = 43,560 SF (1 ACRE)  
MIN. ROAD SETBACK = 30'  
MIN. REAR SETBACK = 40'  
MIN. SIDE SETBACK = 20'  
WETLAND/WATERBODY SETBACK = 100'  
WETLAND/LIMITED CUT = 50'  
WETLAND/VEGETATED BUFFER STRIP = 25'  
MAXIMUM STRUCTURE HEIGHT = 35'  
SEPTIC SETBACK = 75'  
HYDRIC SOILS OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)
  - THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
  - THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
  - SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
  - WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
  - RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
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NHDES  
SUBDIVISION: \_\_\_\_\_

APPROVED BY PORTSMOUTH NH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SCOTT R. FRANKIEWICZ, LLS

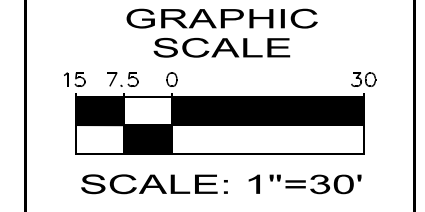
DATE: \_\_\_\_\_

SCOTT R. FRANKIEWICZ, LLS

DATE: \_\_\_\_\_

**REVISIONS**

NO.	DATE	DESCRIPTION	BY



**N.H. LAND Consultants**  
SURVEYING • LAND PLANNING • REAL ESTATE  
A VETERAN OWNED COMPANY

6832 FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH: 603-942-9220 REGISTE: NH.LANDCONSULTANTS.COM

**PROPOSED SUBDIVISION PLAN**  
TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
PATRICIA DRIVE, PORTSMOUTH, NH 03801

OWNED BY  
**FRITZ FAMILY REVOC LIV TRUST,**  
**EDGAR H FRITZ, TRUSTEE**  
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261  
BOOK 3338 PAGE 0173

ROCKINGHAM CO.  
JOB NO: 258.00  
DATE: SEPTEMBER 23, 2020

**PSP**  
SHT. 8 of 9

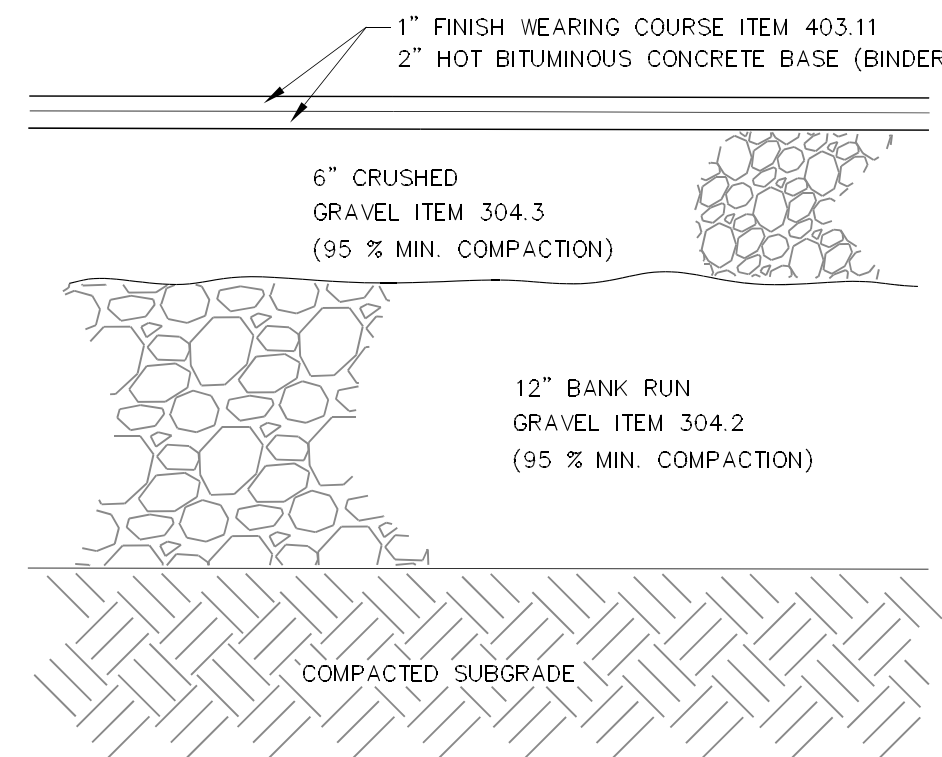
# CONSTRUCTION SEQUENCE:

- CUT AND CLEAR TREES, REMOVE EXISTING PAVEMENT WITHIN LIMIT OF WORK (PROPOSED TREELINE), UNLESS OTHERWISE NOTED. ALL STUMPS, BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF, PREFERABLY OFF SITE.
- CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES (DETENTION BASIN, DIVERSION BERM, GRASS SWALE) PRIOR TO ANY EARTH MOVING OPERATION.
- ALL AREAS SHALL BE PROTECTED FROM EROSION. SIDE SLOPES AND DETENTION POND SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- POND SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE (BEFORE ROUGH GRADING THE SITE).
- ALL STORM DRAINAGE SYSTEMS SUCH AS DETENTION/RETENTION BASINS, LEVEL SPREADERS SHALL BE PROTECTED FROM EROSION. ALL STORM DRAINAGE SYSTEMS SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM.
- CONSTRUCT TEMPORARY CULVERTS, DIVERSION DITCHES/SWALES OR BERMS AS REQUIRED TO MINIMIZE THE EROSION AFFECTS OF STORMWATER RUNOFF DURING ALL CONSTRUCTION ACTIVITIES. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS STABILIZED.
- ALL MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SEED WITH WINTER RYE AND IF NECESSARY, SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO PREVENT OR CONTAIN SOIL EROSION.
- ALL MATERIAL SUITABLE FOR FILL OR SELECT MATERIAL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO CONTAIN SOIL EROSION.
- REMOVE ALL IMPROPER ROADWAY/SITE FOUNDATION MATERIAL WITHIN 18" OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL ACCEPTABLE TO THE STATE/TOWN SPECIFICATIONS. ALL SUITABLE FILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM D-1556) REQUIREMENTS.
- CONSTRUCT ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO DRAIN, DATA, CABLE AND POWER.
- ROUGH GRADE SITE WITHIN LIMIT OF WORK AND COMMENCE CONSTRUCTION OF ROADWAY.
- SITE SHALL BE STABILIZED WITHIN 72 HOURS OF FINISHED GRADE.
- COMPLETE ROADWAY SLOPE GRADING/EMBANKMENT CONSTRUCTION. ALL SLOPES SHALL BE STABILIZED AND SEEDING IMMEDIATELY AFTER GRADING. THE CONTRACTOR SHALL STABILIZE SLOPES WITH APPROPRIATE SEEDING PROGRAM OR JUTE MAT, WHEREVER SPECIFIED. ALL CUT AND FILL SLOPES SHALL BE SEEDING/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- APPLY TOPSOIL TO SITE SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED AS TO BE FREE FROM ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEED, AND MULCHED. THE CONTRACTOR SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- MAINTAIN, REPAIR, AND REPLACE TEMPORARY EROSION CONTROL MEASURES AS NECESSARY FOR A MINIMUM PERIOD OF 12 MONTHS FOLLOWING SUBSTANTIAL COMPLETION.
- AFTER STABILIZATION (12 MONTHS FOLLOWING SUBSTANTIAL COMPLETION). REMOVE AND PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES, PREFERABLY OFF SITE.
- THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

DEFINITION OF THE WORD STABLE: AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
- A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
- OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.



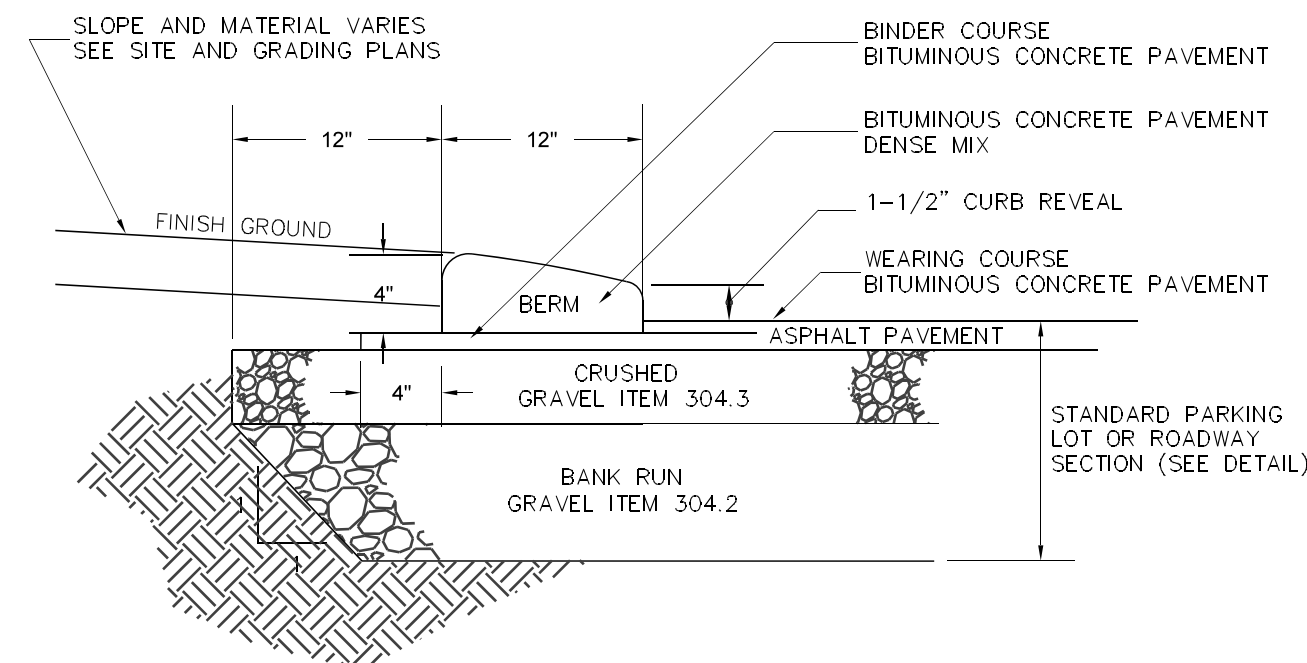
## CONSTRUCTION NOTES:

REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.

ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AND THE CITY OF PORTSMOUTH PUBLICS WORKS DIVISION.

## PAVEMENT SECTION

NOT TO SCALE



## CAPE COD CURB (ASPHALT) DETAIL

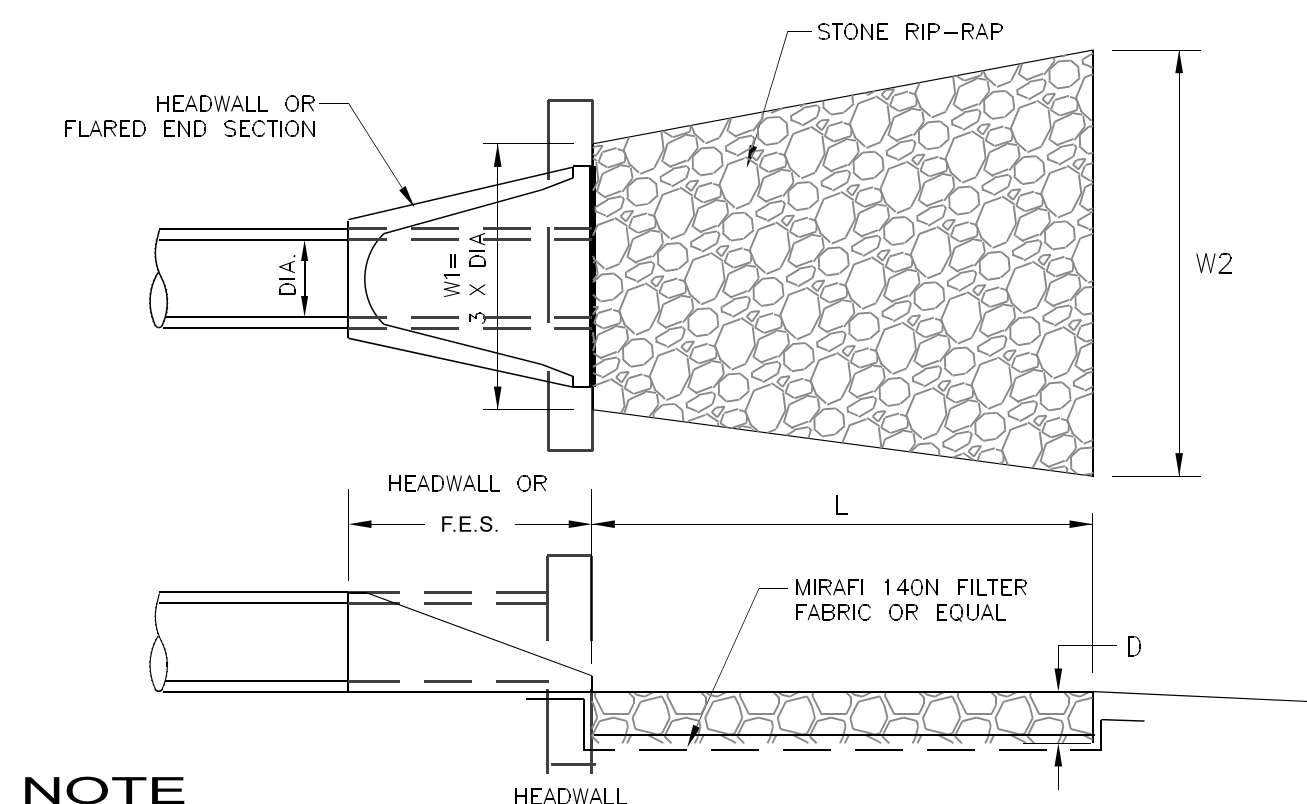
NOT TO SCALE

## NOTES:

- THE INLET/OUTLET APRON SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION (d50=2").
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES (ALL SIDES).
- RIE-RAP MAY BE PLACED BY EQUIPMENT (AS TO PREVENT SEGREGATION OF THE STONE SIZES) AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION.

## MAINTENANCE:

- THE OUTLET PROTECTION SHALL BE CHECKED AT LEAST BI-ANNUALLY AND AFTER EVERY SIGNIFICANT RAIN EVENT. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
- THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING.
- THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS AND SEDIMENT THAT COULD CHANGE THE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES.
- ALL REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID DAMAGE TO THE OUTLET PROTECTION APRON.



## NOTE

THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.

THE ROCK USED FOR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.

GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 11 INCHES.

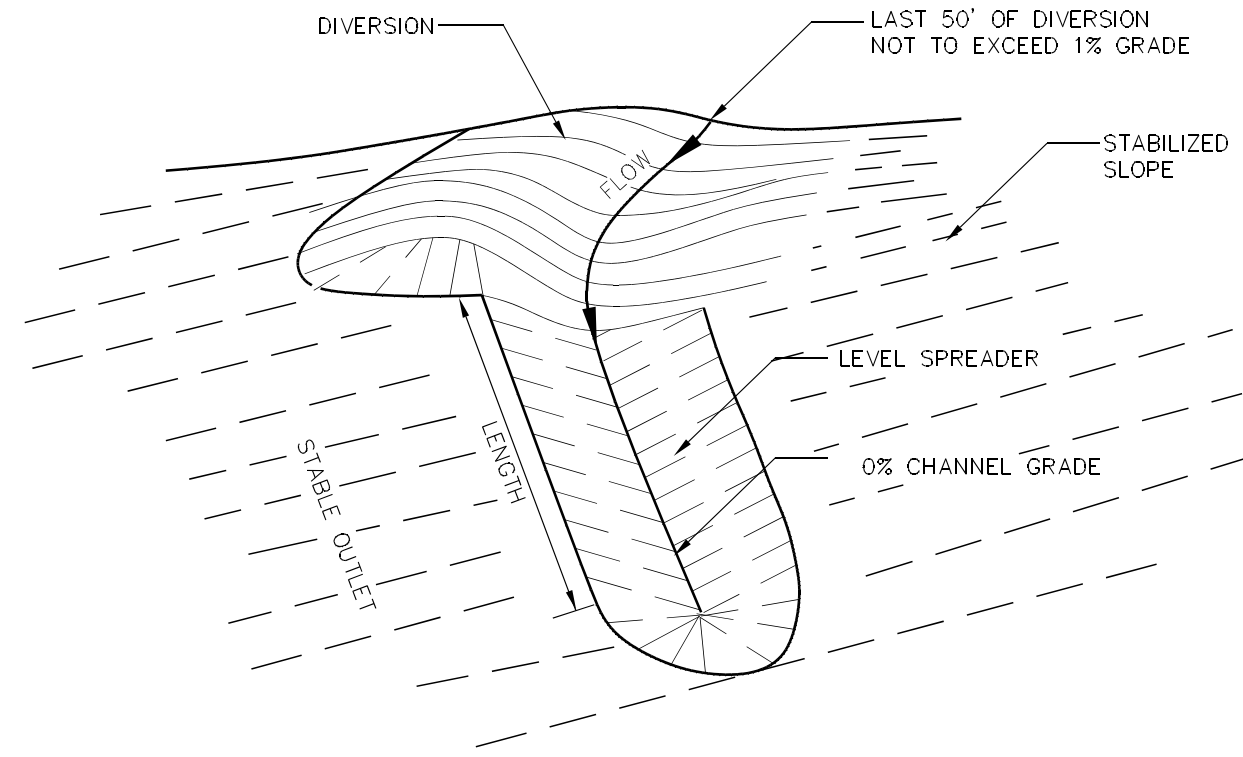
STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

## MAINTENANCE

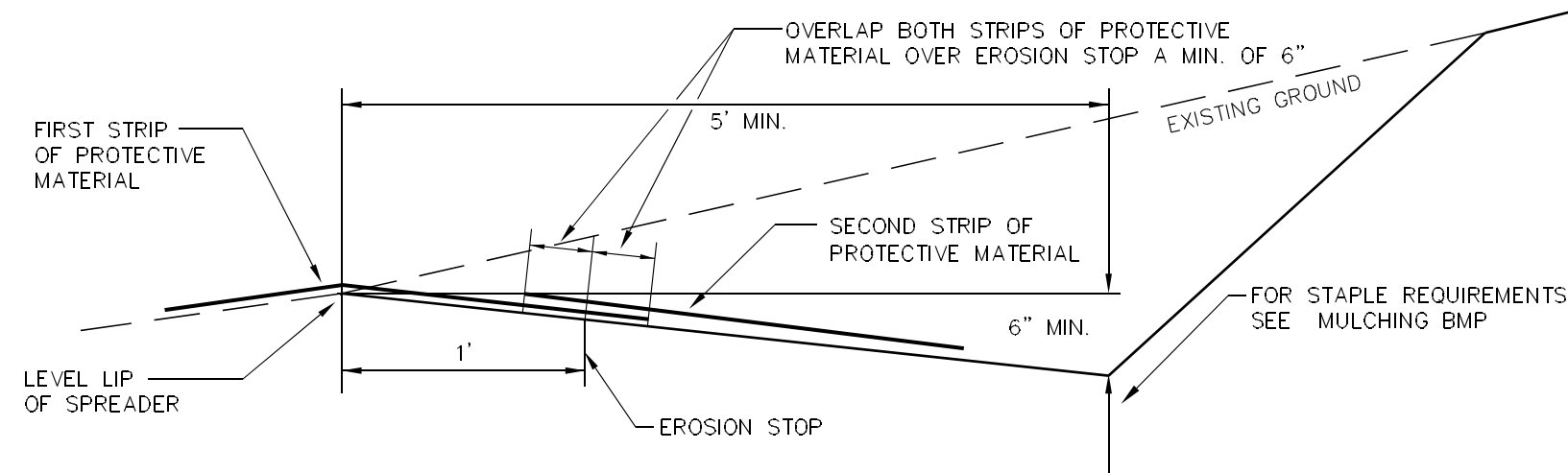
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS AND SEDIMENT THAT COULD CHANGE THE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

## RIE-RAP OUTLET PROTECTION APRON

NOT TO SCALE



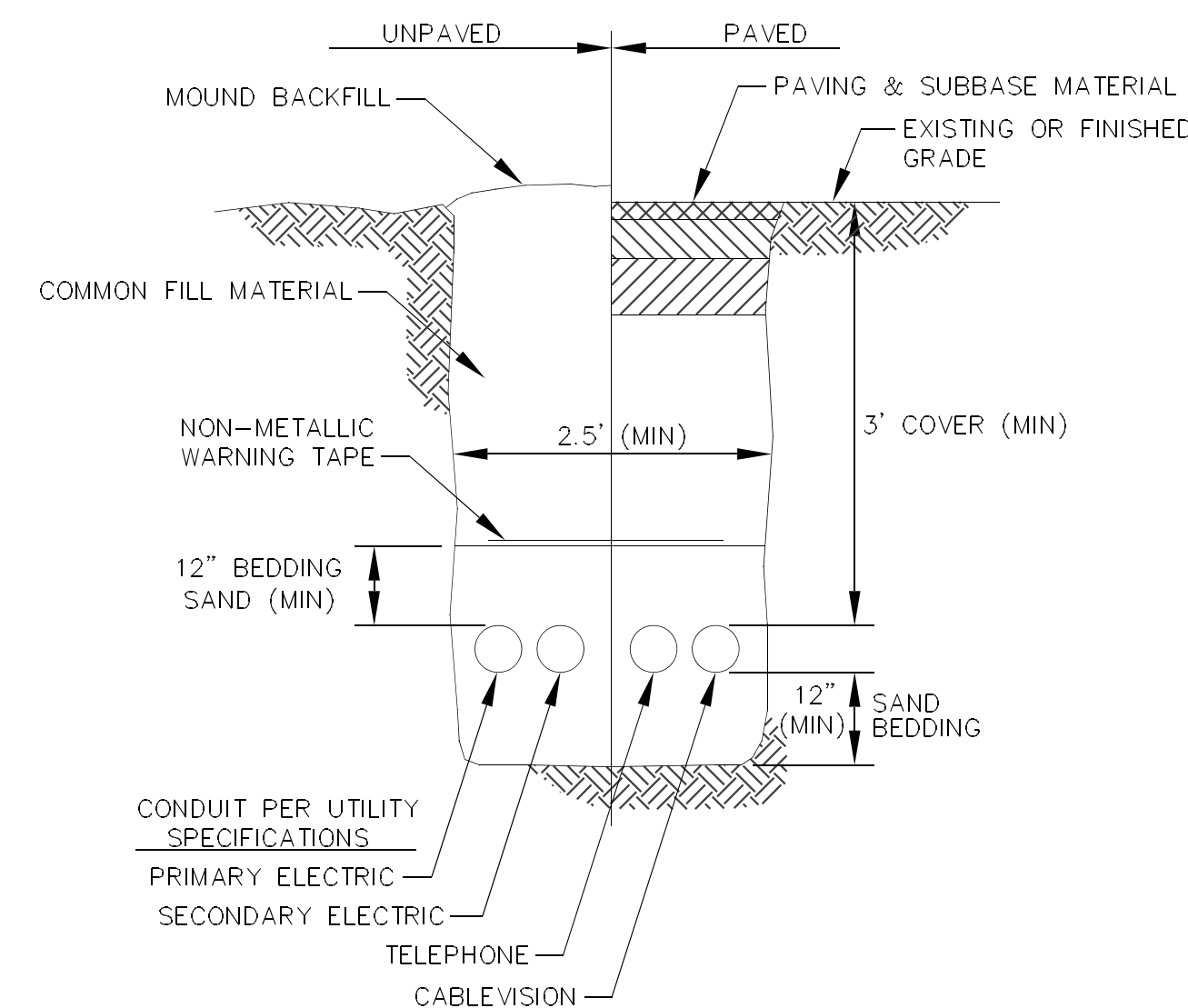
## ISOMETRIC VIEW



## CROSS SECTION

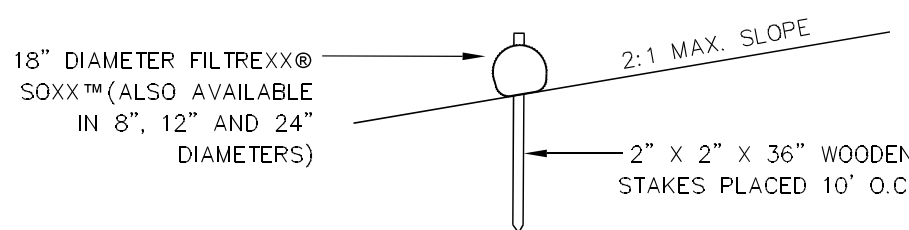
## LEVEL SPREADER DETAIL

NOT TO SCALE



## UTILITY TRENCH DETAIL

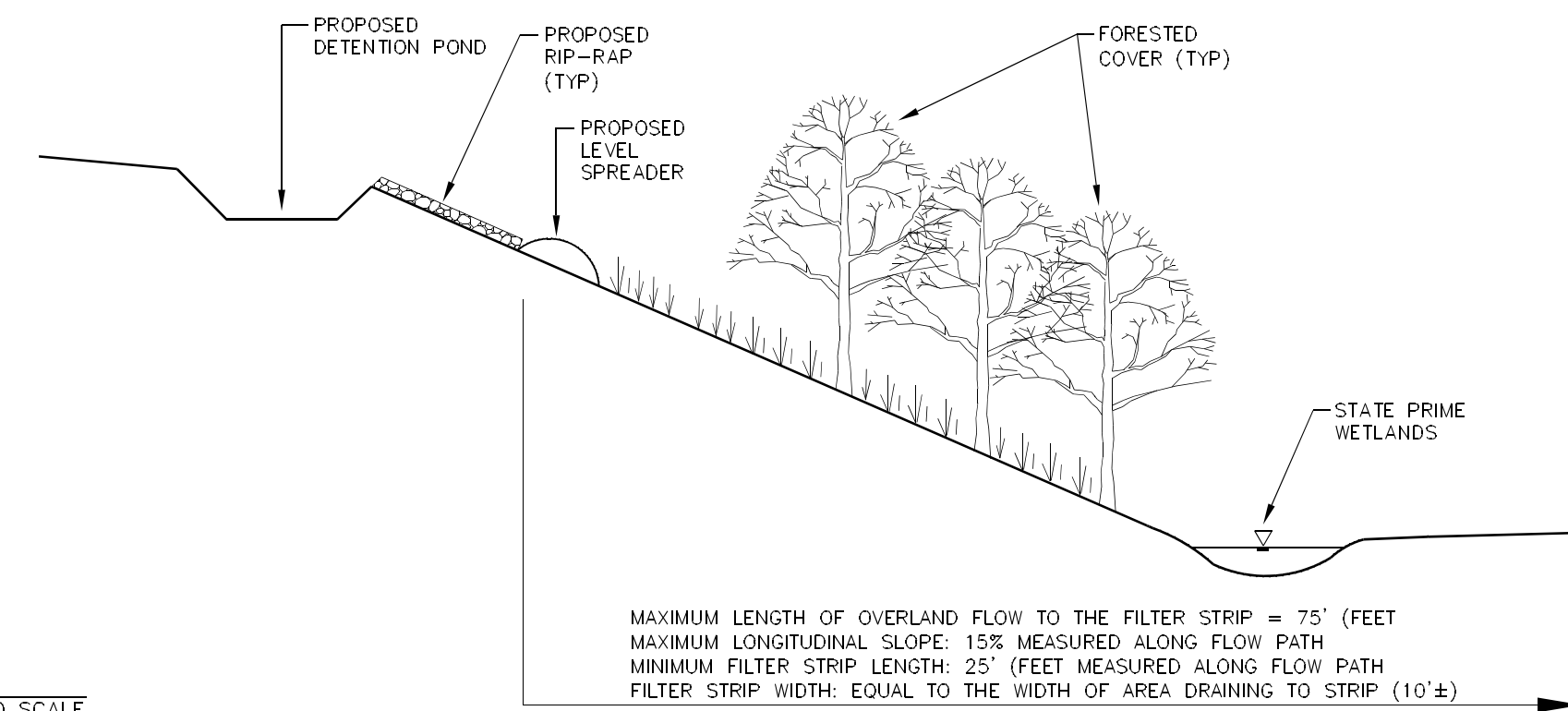
NOT TO SCALE



## FILTER SOCK DETAIL

FILTREXX OR APPROVED EQUAL

NOT TO SCALE



## FILTER STRIP DETAIL

NOT TO SCALE

MAXIMUM LENGTH OF OVERLAND FLOW TO THE FILTER STRIP = 75' (FEET)  
 MAXIMUM LONGITUDINAL SLOPE: 15% MEASURED ALONG FLOW PATH  
 MINIMUM FILTER STRIP LENGTH: 25' (FEET MEASURED ALONG FLOW PATH)  
 FILTER STRIP WIDTH: EQUAL TO THE WIDTH OF AREA DRAINING TO STRIP (10'±)

## FILTER STRIP DETAIL

NOT TO SCALE

ENGINEER

REVISIONS

NO. DATE DESCRIPTION

SCALE AS SHOWN

**N.H. LAND Consultants**  
 SURVEYING • LAND PLANNING • REAL ESTATE  
 A Veteran Owned Company



DETAIL SHEET  
 TAX MAP 283 LOT 11  
**DUBE PLUS CONSTRUCTION**  
 PATRICIA DRIVE, PORTSMOUTH, NH 03801  
 OWNED BY  
**FRITZ FAMILY REVOC LIV TRUST,**  
**EDGAR H FRITZ, TRUSTEE**  
 P.O. BOX 524, 50 SHORE DR., NORTHWOOD, NH, 03261  
 BOOK 3338 PAGE 0173

ROCKINGHAM CO.

JOB NO: 258.00

DATE: SEPTEMBER 23, 2020

**DET**  
 SHT. 9 of 9