2 LOT SUBDIVISION PLAN FOR

DUBE PLUS CONSTRUCTION,

TAX MAP 283, LOT 11

HEMLOCK WAY, PORTSMOUTH, NH 03801

ROCKINGHAM CO.

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT.)
4. THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:

MIN. ROAD FRONTAGE	=150'
MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
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OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)

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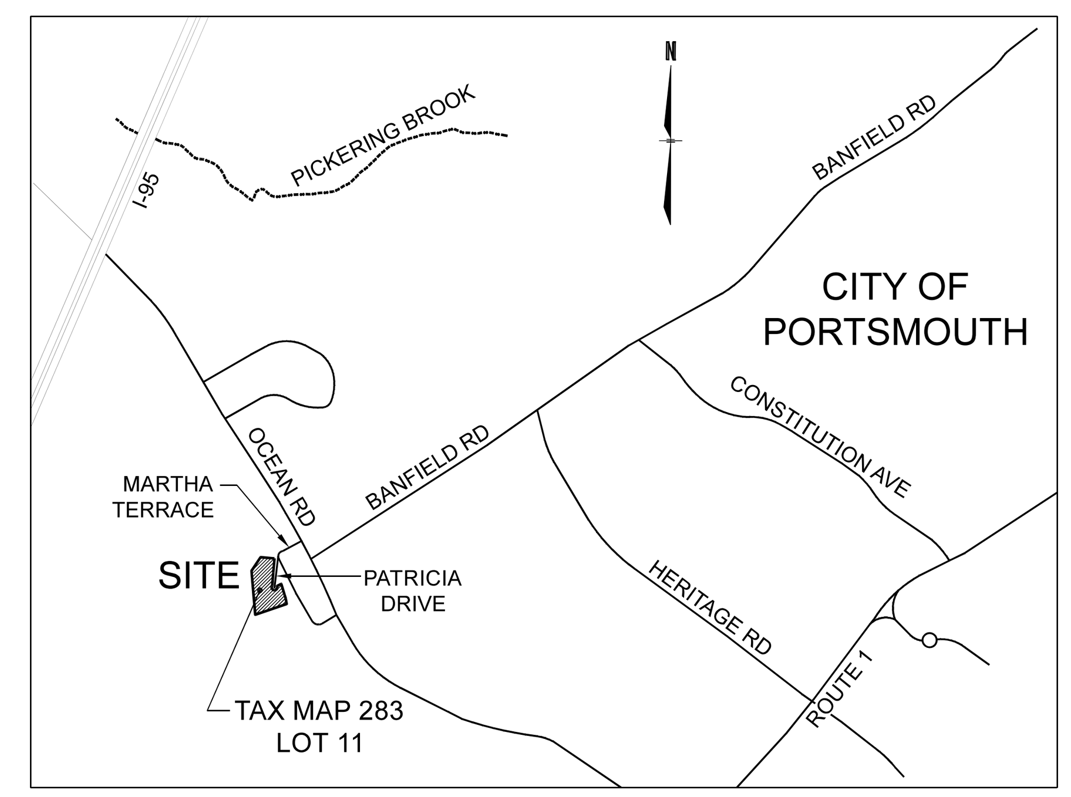

LOCATION PLAN

SCALE: 1"=2,000'

SHEET INDEX

DWG	SHT NO.	DESCRIPTION
CVR	1 OF 10	COVER SHEET
ECP	2 OF 10	EXISTING CONDITIONS PLAN
DMP	3 OF 10	DEMOLITION PLAN
PGP	4 OF 10	PROPOSED GRADING PLAN
PDPP	5 OF 10	PROPOSED DRIVEWAY PLAN & PROFILE
PBIP	6 OF 10	PROPOSED BUFFER IMPACT PLAN
PUP	7 OF 10	PROPOSED UTILITY PLAN
PCP	8 OF 10	PROPOSED CONDITIONS PLAN
PSP	9 OF 10	PROPOSED SUBDIVISION
DET	10 OF 10	DETAIL SHEET

PROFESSIONAL CONSULTANTS LIST

SURVEYOR:	NEW HAMPSHIRE LAND CONSULTANTS, PLLC. 683C FIRST NH TURNPIKE (RT.4) NORTHWOOD, NH 03261 PH:(603) 942-9220
WETLAND/SOIL SCIENTIST	GOVE ENVIRONMENTAL SERVICES, INC. 8 CONTINENTAL DR., BLDG. 2, UNIT H, EXETER, NH 03833 PH: (603) 778-0644

N.H. LAND Consultants
SURVEYING • LAND PLANNING • REAL ESTATE
A Veteran Owned Company

OWNER:

FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR.
NORTHWOOD, NH 03261
BK 3338 PG 0173

APPLICANT:

DUBE PLUS CONSTRUCTION,
10 BRICKETTS MILL ROAD,
HAMPSTEAD, NH 03841

INITIAL PLAN SET SUBMISSION DATE

SEPTEMBER 23, 2020

Latest revision date:

FEBRUARY 10, 2021

AGENCY APPROVALS

NHDES SUBDIVISION : ______________________

DIG SAFE

CONTACT DIG SAFE 72 HOURS PRIOR TO CONSTRUCTION

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. NEW HAMPSHIRE LAND CONSULTANTS, PLLC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233).

NOTE:

ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO THE CITY OF PORTSMOUTH REGULATIONS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

REVISIONS

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683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH. 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

NEW HAMPSHIRE Designer of Subsurface Disposal Systems ★★★ Scott R. Frankiewicz No. 1348 Department of Enviromental Services

STATE OF NEW HAMPSHIRE No. 945 SCOTT R. FRANKIEWICZ LICENSED LAND SURVEYOR

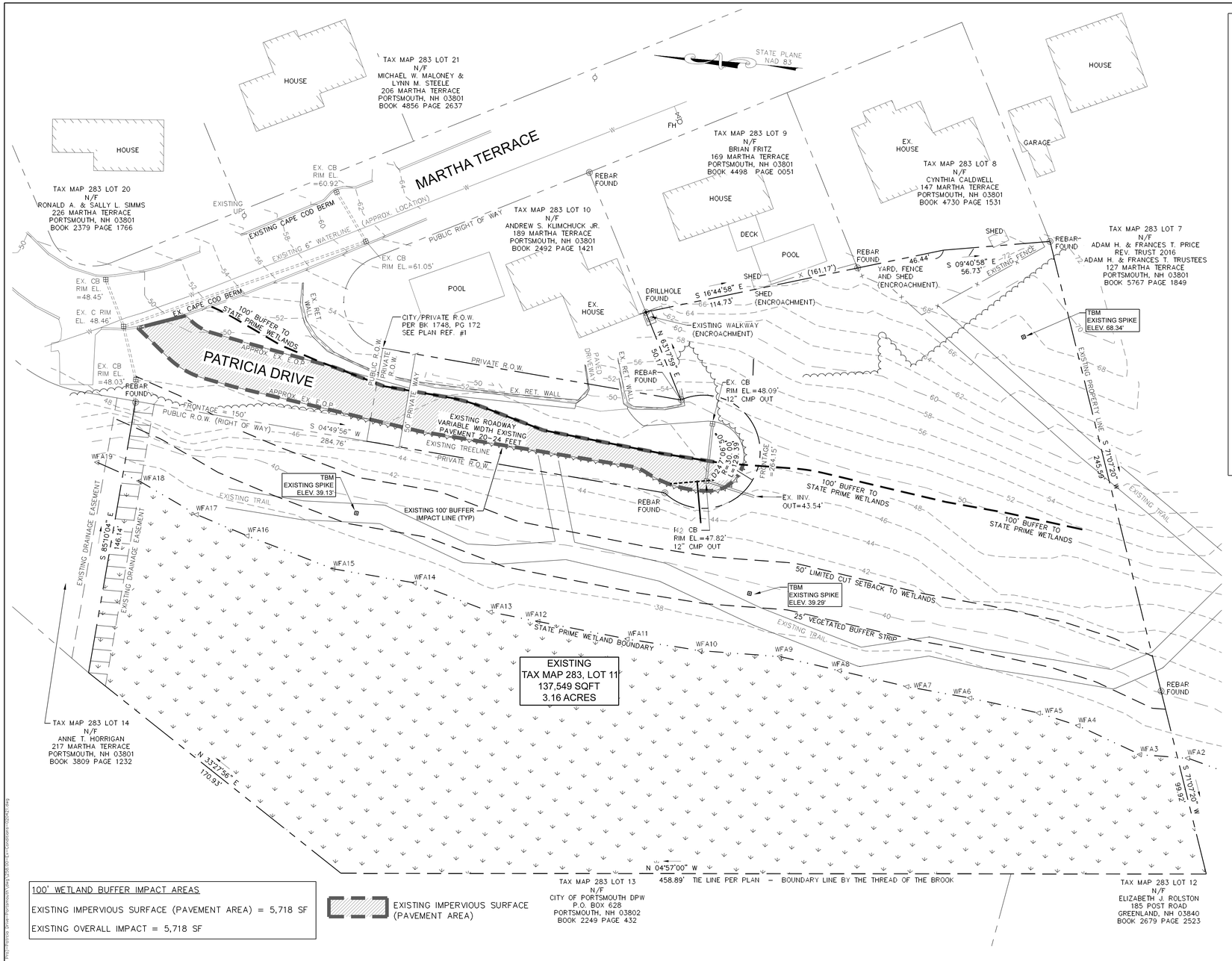
SIGNATURE

COVER SHEET
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

JOB NO: 258.00
ROCKINGHAM CO.
DATE: SEPTEMBER 23, 2020

CVR

SHT. 1 of 10



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BOOK 5767 PAGE 1849

N/F
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PORTSMOUTH, NH 03801
BOOK 4730 PAGE 1531

N/F
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BOOK 4491 PAGE 0051

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BOOK 2249 PAGE 0432

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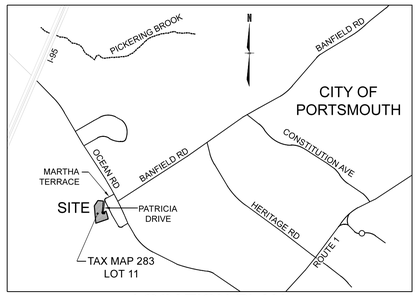

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3. R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
4. R.C.R.D. PLAN #D33328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 – LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

100' WETLAND BUFFER IMPACT AREAS

EXISTING IMPERVIOUS SURFACE (PAVEMENT AREA) = 5,718 SF

EXISTING OVERALL IMPACT = 5,718 SF

EXISTING IMPERVIOUS SURFACE (PAVEMENT AREA)

LEGEND

EXISTING RETAINING WALL		WETLANDS	
ABUTTERS PROPERTY LINES		DRILL HOLE FOUND	◎
SUBJECT PROPERTY LINES		REBAR W/ CAP FOUND	○
PROPOSED PROPERTY LINES		STONE BOUND FOUND	□
EXISTING TIE LINE		EXISTING GATE VALVE & FIRE HYDRANT	GV FH
EDGE OF PAVEMENT			
PROPOSED BLDG SETBACK			
EXISTING CONTOUR (MNR)	-572-		
EXISTING CONTOUR (MJR)	-570		

Standards Utilized:

- US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Technical Report ERDC/EL TR-12-1 (January 2012).
- Field Indicators for Identifying Hydric Soils in New England-Version 4, April 2019. New England Hydric Soils Technical Committee
- US Army Corps of Engineers National Wetland Plant List, 2018
- Classification of Wetlands and Deepwater Habitats of the United States. USFW Manual FWS/OBS-79/31 (1979)

I CERTIFY THAT THIS PLAT IS BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2020, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE CITY OF PORTSMOUTH, NH.

STATE OF NEW HAMPSHIRE — No. 945 SCOTT R. FRANKIEWICZ — LICENSED LAND SURVEYOR

SIGNATURE

SCOTT R. FRANKIEWICZ, LLS — DATE:

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GRAPHIC SCALE
15 7.5 0 30
SCALE: 1"=30'

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TAX MAP 283 LOT 11
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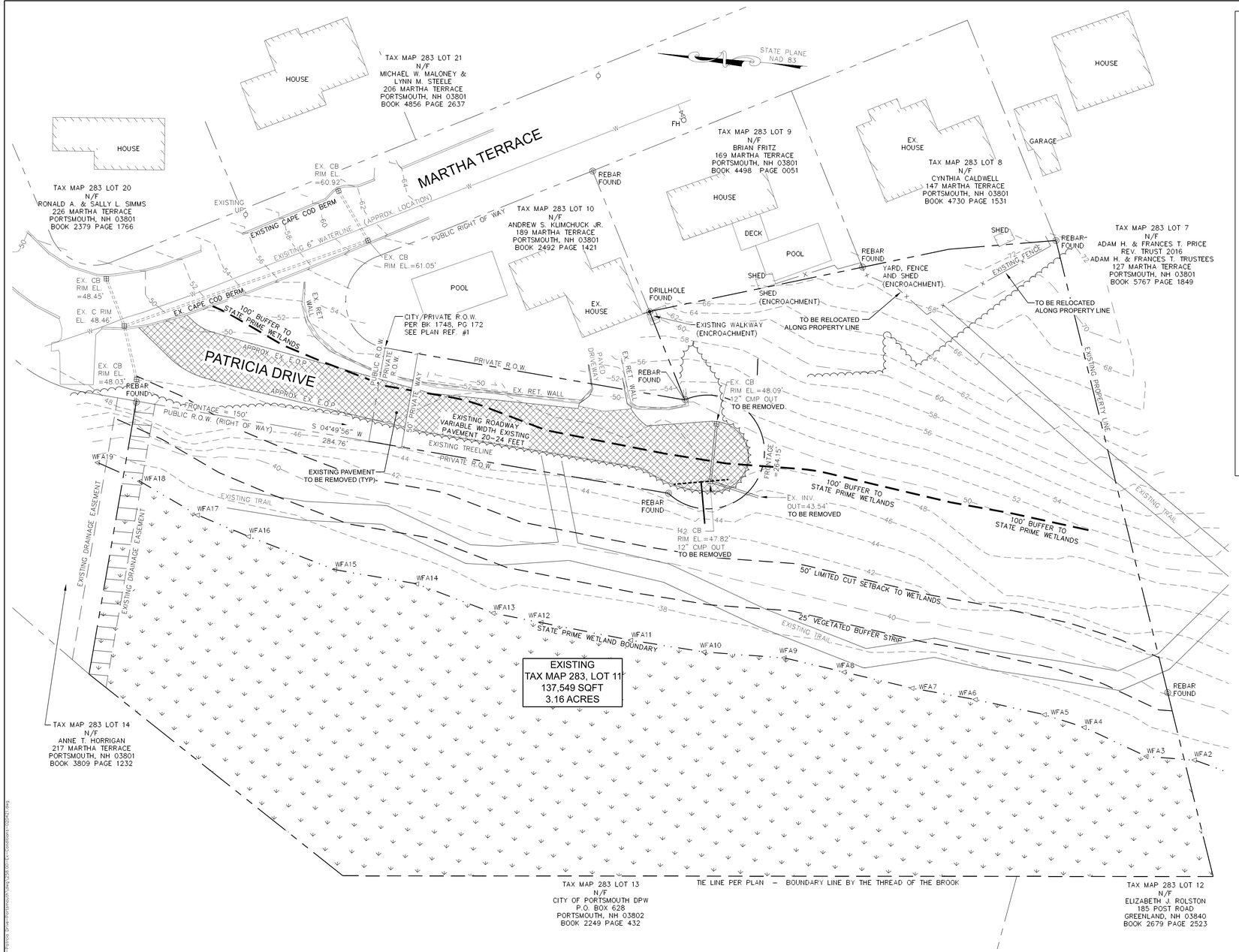
ROCKINGHAM CO.
JOB NO: 258.00
DATE: SEPTEMBER 23, 2020

ECP
SHT. 2 of 10



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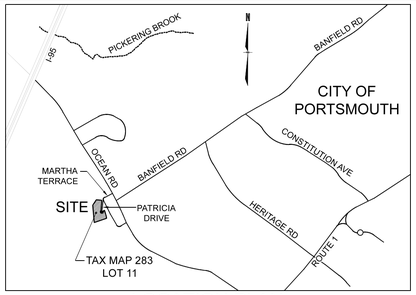

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4. R.C.R.D. PLAN #D33328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 – LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

LEGEND

EXISTING RETAINING WALL	WETLANDS
ABUTTERS PROPERTY LINES	DRILL HOLE FOUND
SUBJECT PROPERTY LINES	REBAR W/ CAP FOUND
PROPOSED PROPERTY LINES	STONE BOUND FOUND
EXISTING TIE LINE	EXISTING GATE VALVE & HYDRANT
EDGE OF PAVEMENT	
PROPOSED BLDG SETBACK	
EXISTING CONTOUR (MNR) -572-	
EXISTING CONTOUR (MJR) -570-	

STATE OF NEW HAMPSHIRE — No. 945 SCOTT R. FRANKIEWICZ — LICENSED LAND SURVEYOR — SIGNATURE

I CERTIFY THAT THIS PLAT IS BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2020, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE CITY OF PORTSMOUTH, NH.

SCOTT R. FRANKIEWICZ, LLS — DATE:

REVISIONS

NO.	DATE	DESCRIPTION	BY
4	01/14/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
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7	02/10/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB

ENGINEER

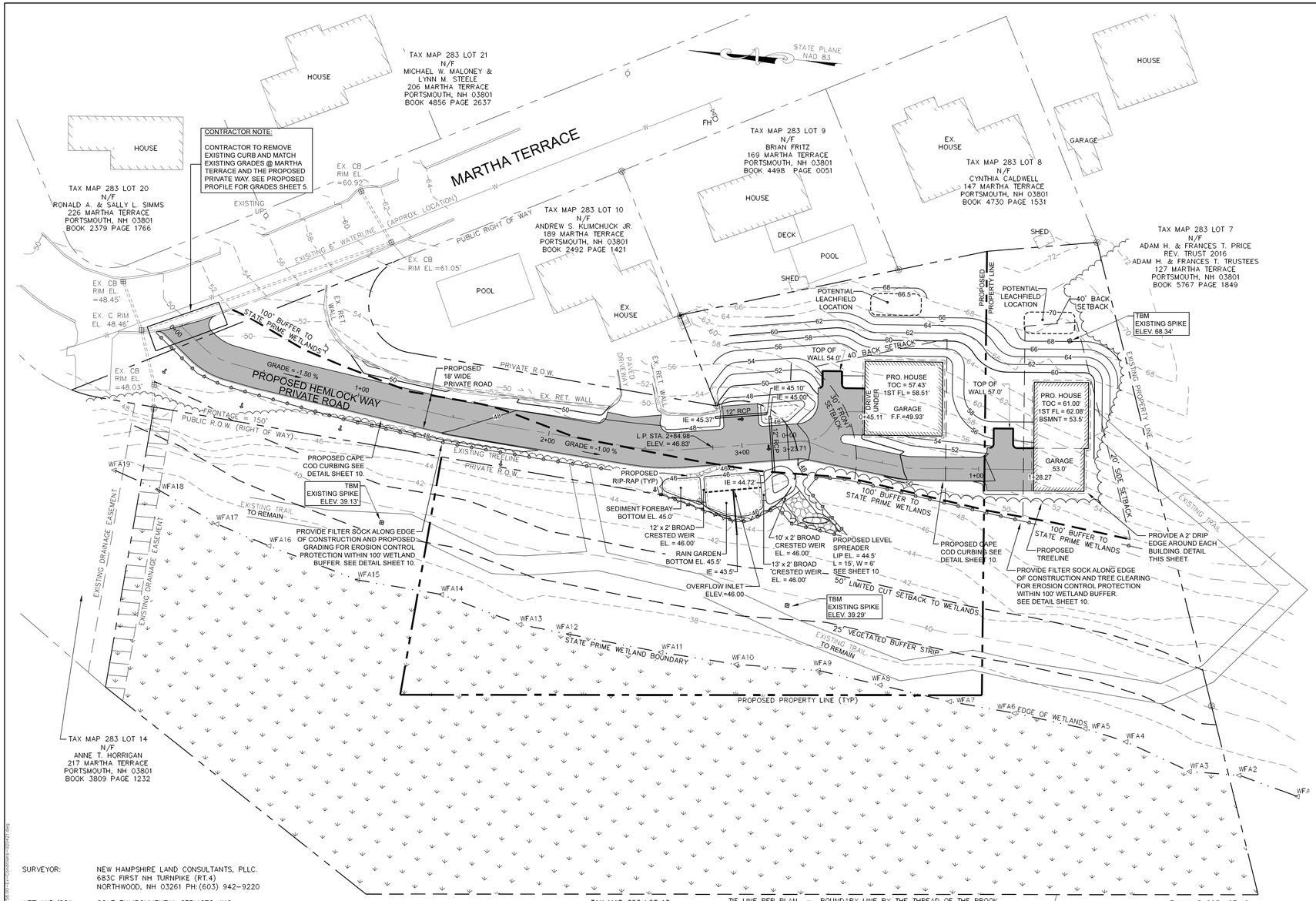
GRAPHIC SCALE
15 7.5 0 30
SCALE: 1"=30'

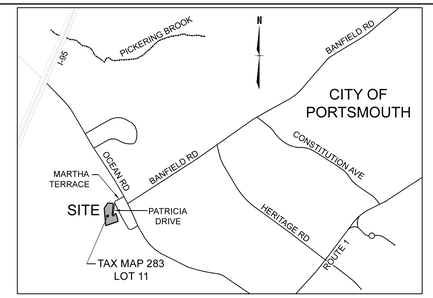
N.H. LAND Consultants
SURVEYING•LAND PLANNING•REAL ESTATE
A Veteran Owned Company
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH. 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

DEMOLITION PLAN
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

ROCKINGHAM CO.
JOB NO: 258.00
DATE: SEPTEMBER 23, 2020

DMP
SHT. 3 of 10





LOCATION PLAN

SCALE: 1"=2,000'

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT.)
4. THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:

MIN. ROAD FRONTAGE	=150'
MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
MIN. REAR SETBACK	=40'
MIN. SIDE SETBACK	=20'
WETLAND/WATERBODY SETBACK	=100'
WETLAND/LIMITED CUT	=50'
WETLAND/VEGETATED BUFFER STRIP	=25'
MAXIMUM STRUCTURE HEIGHT	=35'
SEPTIC SETBACK	=75' HYDRIC SOILS

OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)

7. THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
8. THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
9. THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
10. SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
11. WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
12. RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
13. ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY granitview.unh.edu.
14. SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
15. THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
16. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
17. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
18. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
19. ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
20. ACCESS EASEMENT FOR WATER SERVICES TO THE CITY OF PORTSMOUTH. SEE RECORDED BOOK AND PAGE AT ROCKINGHAM REGISTRY OF DEEDS.

PLAN REFERENCES:

1. R.C.R.D PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
2. R.C.R.D. PLAN #D5967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
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LEGEND

EXISTING RETAINING WALL		WETLANDS	
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SUBJECT PROPERTY LINES		REBAR W/ CAP FOUND	
PROPOSED PROPERTY LINES		STONE BOUND FOUND	
EXISTING TIE LINE		EXISTING GATE VALVE & HYDRANT	
EDGE OF PAVEMENT			
PROPOSED BLDG SETBACK			
EXISTING CONTOUR (MNR)	-572-		
EXISTING CONTOUR (MJR)	-570		

SURVEYOR: NEW HAMPSHIRE LAND CONSULTANTS, PLLC. 683C FIRST NH TURNPIKE (RT.4) NORTHWOOD, NH 03261 PH:(603) 942-9220

WETLAND/SOIL SCIENTIST: GOVE ENVIRONMENTAL SERVICES, INC. 8 CONTINENTAL DR., BLDG. 2, UNIT H, EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

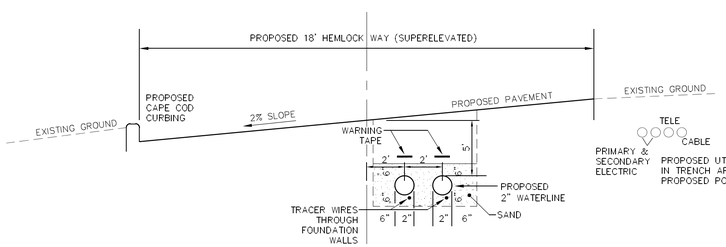
ZONE: SRA
LOT SIZE: 1 ACRES
FRONTAGE: 150'
LOT DEPTH: 200'
FRONT SETBACK: 30'
SIDE SETBACK: 20'
REAR SETBACK: 40'

SOILS: 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX

CHATFIELD – NHDES GROUP 4
HOLLIS – NHDES GROUP 4
CANTON – NHDES GROUP 2

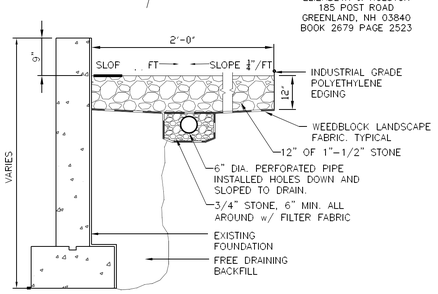
LOT SIZE USING
GROUP 4 SLOPE C = 48,000 SQ FT

WITH PUBLIC WATER = 24,000 SQ FT.



TYPICAL CROSSECTION - PROPOSED HEMLOCK WAY

N.T.S.



DRIP EDGE RECHARGE TRENCH DETAIL

N.T.S.

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REVISIONS

GRAPHIC SCALE
15 7.5 0 30
SCALE: 1"=30'

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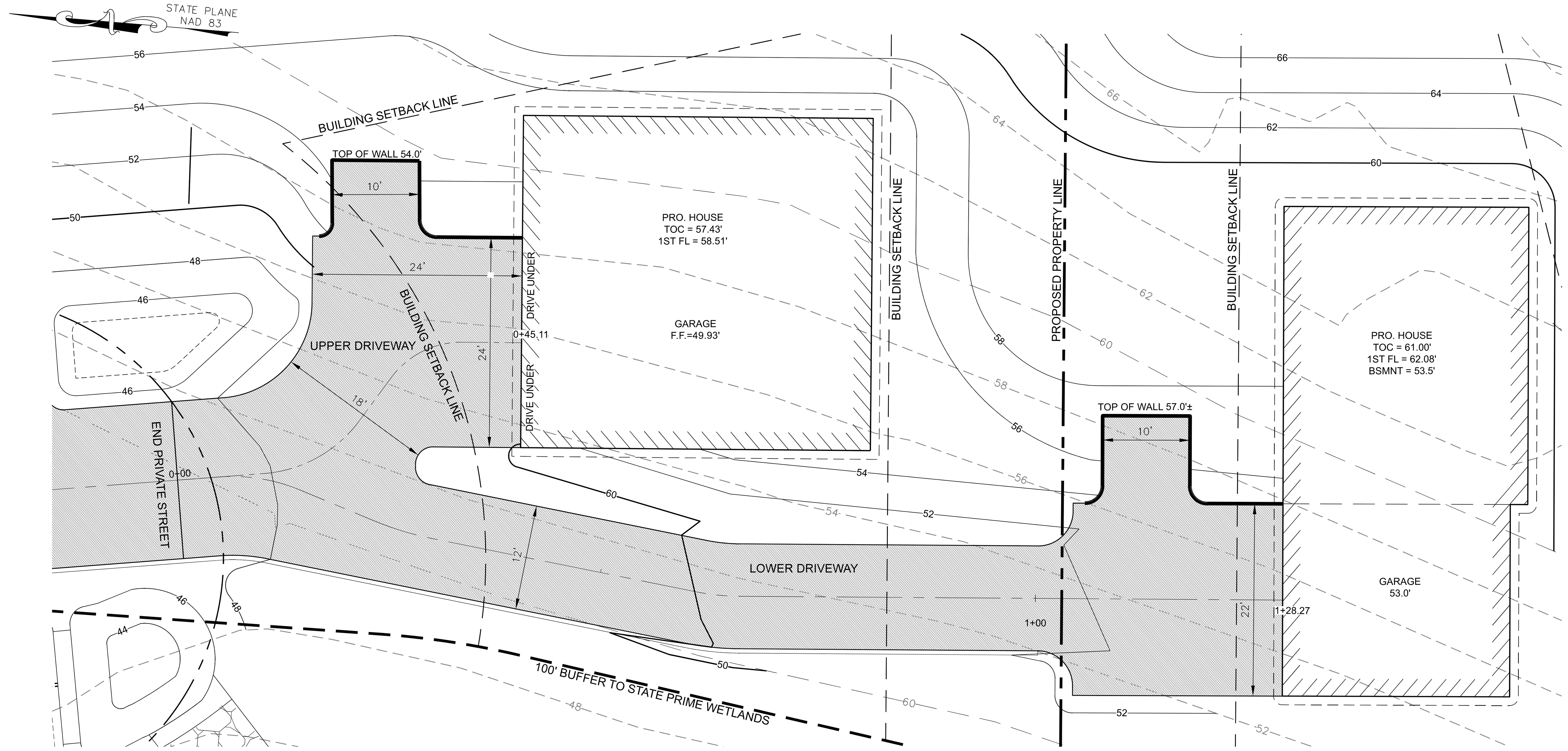
PROPOSED GRADING PLAN
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

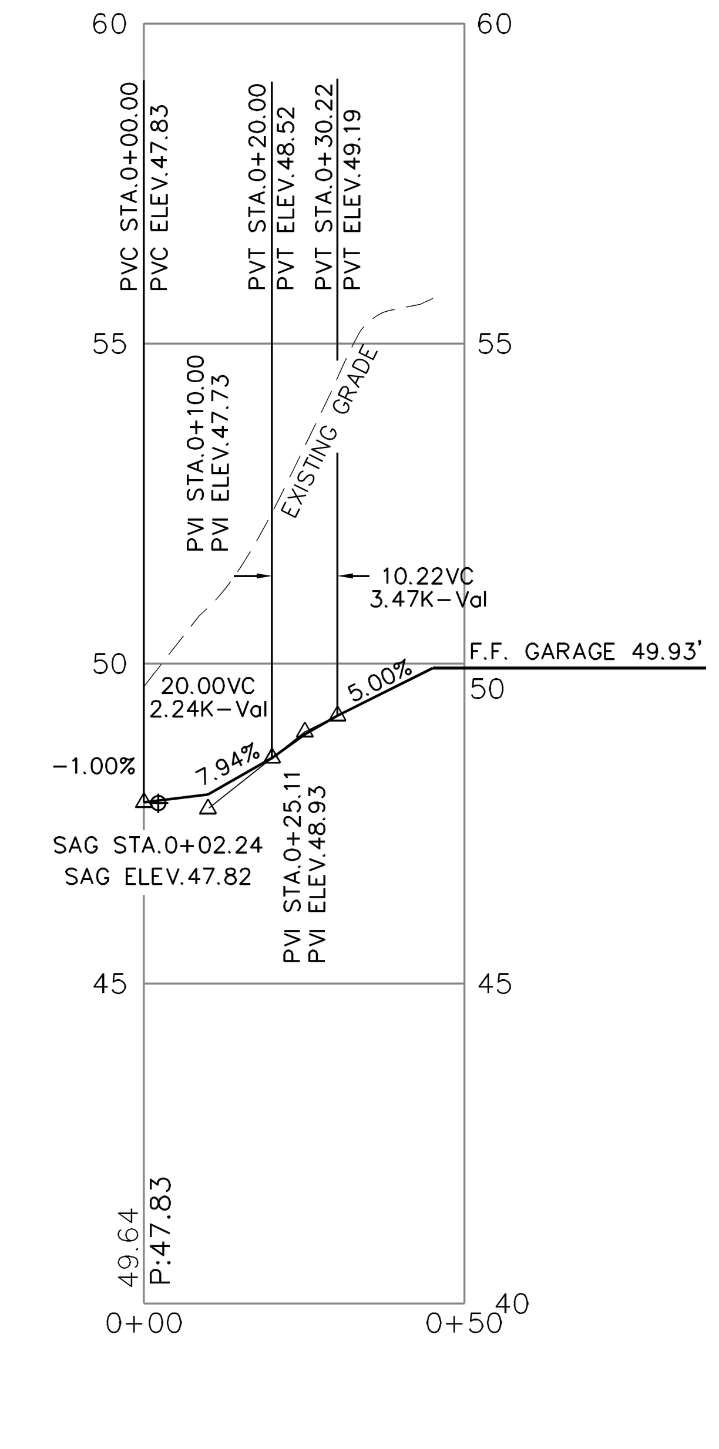
ROCKINGHAM CO.
JOB NO: 258.00
DATE: SEPTEMBER 23, 2020

PGP
SHT. 4 of 10



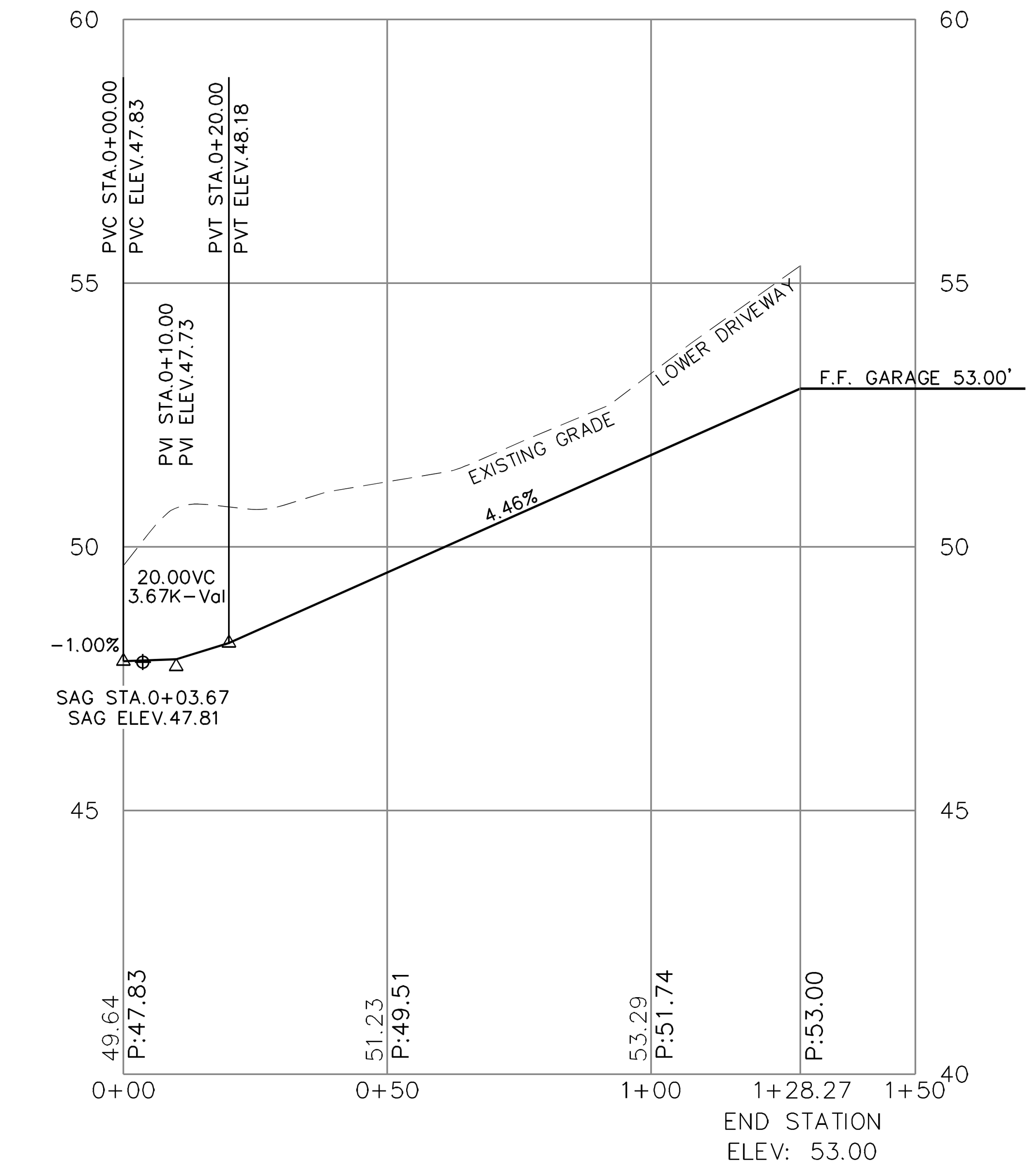
PROPOSED UPPER AND LOWER DRIVEWAY PLAN VIEW

SCALE: 1"=10'



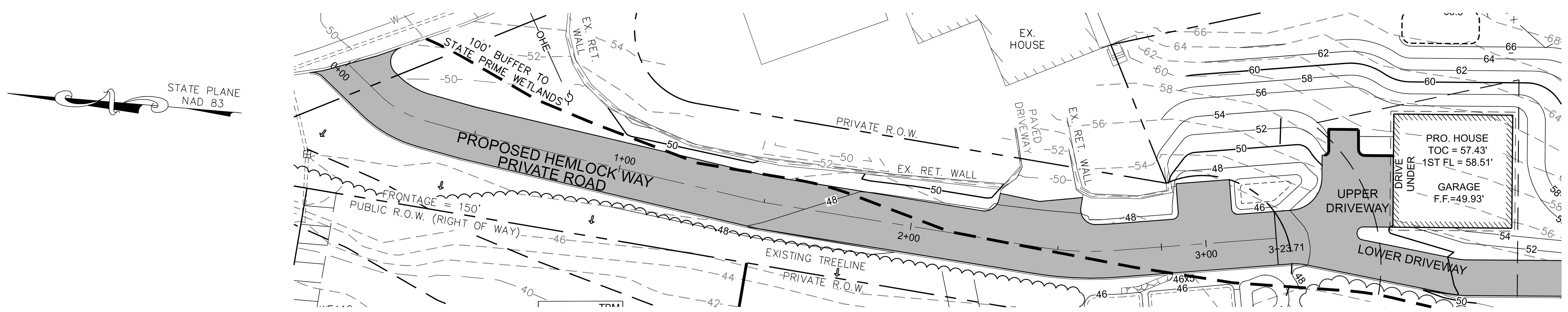
PROFILE - UPPER DRIVEWAY

SCALE: 1"=30'H, 3' VERT.



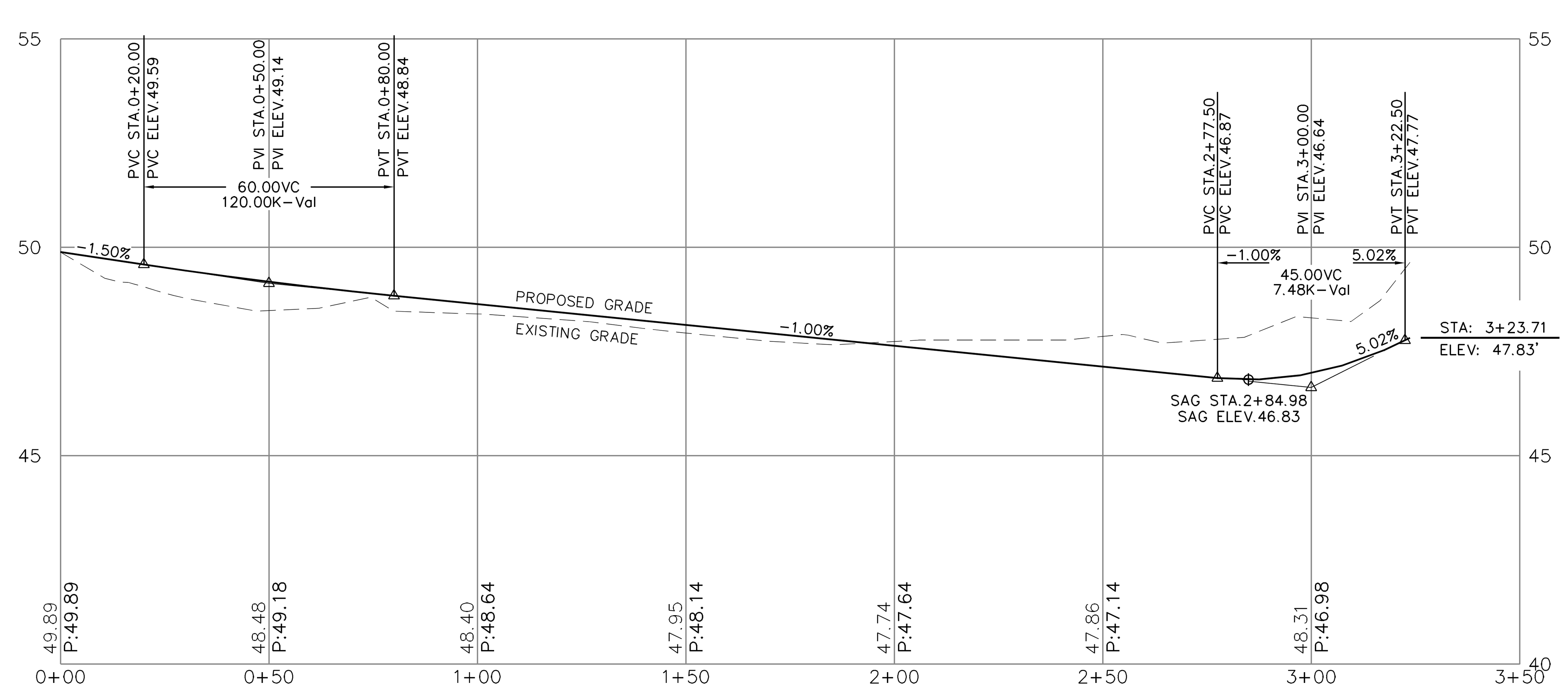
PROFILE - LOWER DRIVEWAY

SCALE: 1"=30'H, 3' VERT.



PROPOSED HEMLOCK WAY - PLAN VIEW

SCALE: 1"=30'



PROPOSED HEMLOCK WAY - PROFILE

SCALE: 1"=30' H 3' VERT.

R E V I S I O N S

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GRAPHIC SCALE AS SHOWN

N.H. LAND Consultants
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A Veteran Owned Company
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH. 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

PROPOSED DRIVEWAY PLAN & PROFILES
TAX MAP 283 LOT 11

DUBE PLUS CONSTRUCTION

HEMLOCK WAY, PORTSMOUTH NH 03801

OWNED BY

FRITZ FAMILY REVOC LIV TRUST, EDGAR H FRITZ, TRUSTEE

P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

ROCKINGHAM CO.

JOB NO: 258.00

DATE: SEPTEMBER 23, 2020

PDPP

SHT. 5 of 10

TAX MAP 283 LOT 21
N/F
MICHAEL W. MALONEY &
LYNN M. STEELE
206 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 4856 PAGE 2637

HOUSE

STATE PLANE
NAD 83

MARTHA TERRACE

TAX MAP 283 LOT 20
N/F
RONALD A. & SALLY L. SIMMS
226 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 2379 PAGE 1766

EX. CB
RIM EL.
=60.92'

EXISTING UP

EXISTING 6" WATERLINE (APPROX. LOCATION)

PUBLIC RIGHT OF WAY

SEE SHEET 9

EX. CB
RIM EL.
=48.45'

EX. C RIM
EL. 48.46'

EX. CB
RIM EL.
=48.03'

100' BUFFER TO
STATE PRIME WETLANDS

EX. RET. WALL

(PERMANENT IMPACT)
PROPOSED BUFFER
RESTORATION. EXISTING
ROAD REMOVAL, LOAM AND
SEED RESTORE TO GRASS.
AREA = 323 SF

PROPOSED HEMLOCK WAY
PRIVATE ROAD

PRIVATE R.O.W.

FRONTAGE = 150'
PUBLIC R.O.W (RIGHT OF WAY)

REBAR
FOUND

(PERMANENT IMPACT)
PROPOSED BUFFER
RESTORATION. EXISTING
ROAD REMOVAL, LOAM AND
SEED RESTORE TO GRASS.
AREA = 514 SF

PROPOSED 100' BUFFER
IMPACT LINE (TYP)

(TEMPORARY IMPACT)
PROPOSED PAVEMENT
WITHIN 100' BUFFER
AREA = 4,283 SF

EXISTING TRAIL

EXISTING DRAINAGE EASEMENT

WFA19
WFA18
WFA17
WFA16
WFA15
WFA14
WFA13
WFA12
WFA11
WFA10
WFA9
WFA8
WFA7
WFA6
WFA5
WFA4
WFA3
WFA2

TAX MAP 283 LOT 14
N/F
ANNE T. HORRIGAN
217 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 3809 PAGE 1232

TAX MAP 283 LOT 10
N/F
ANDREW S. KLIMCHUCK JR.
189 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 2492 PAGE 1421

HOUSE
POOL
EX. HOUSE
EX. CB
RIM EL.=61.05'

TAX MAP 283 LOT 9
N/F
BRIAN FRITZ
169 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 4498 PAGE 0051

HOUSE
DECK
POOL
REBAR
FOUND

TAX MAP 283 LOT 8
N/F
CYNTHIA CALDWELL
147 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 4730 PAGE 1531

EX. HOUSE
GARAGE
SHED
REBAR
FOUND

TAX MAP 283 LOT 7
N/F
ADAM H. & FRANCES T. PRICE
REV. TRUST 2016
ADAM H. & FRANCES T. TRUSTEES
127 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 5767 PAGE 1849

DRILLHOLE
FOUND
REBAR
FOUND
EX. RET. WALL
PROPOSED
DRIVEWAY

40' BACK SETBACK
30' FRONT SETBACK

PRO. HOUSE
TOC = 57.43'
1ST FL = 58.51'
GARAGE
F.F.=49.93'
DRIVE UNDER
O=45.11'

PRO. HOUSE
TOC = 61.00'
1ST FL = 62.08'
BSMNT = 53.5'
GARAGE
53.0'
I=28.27

EXISTING PROPERTY LINE
20' SIDE SETBACK

100' BUFFER TO
STATE PRIME WETLANDS

(PERMANENT IMPACT)
RIPRAP (TYP)
AREA = 84 SF (TOTAL)
(PERMANENT IMPACT)
PROPOSED DRAINAGE IMPACT.
DETENTION POND & SEE GRADING
PLAN, AND CONSTRUCTION
SEQUENCE SHEET 10 FOR EROSION
CONTROL. AREAS = 1,341 SF

(PERMANENT IMPACT)
RIPRAP (TYP)
AREA = 313 SF (TOTAL)

50' LIMITED CUT SETBACK TO WETLANDS

25' VEGETATED BUFFER STRIP

STATE PRIME WETLAND BOUNDARY

EDGE OF WETLANDS

PROPOSED PROPERTY LINE (TYP)

TAX MAP 283 LOT 13
N/F
CITY OF PORTSMOUTH DPW
P.O. BOX 628
PORTSMOUTH, NH 03802
BOOK 2249 PAGE 432

TIE LINE PER PLAN – BOUNDARY LINE BY THE THREAD OF THE BROOK

TAX MAP 283 LOT 12
N/F
ELIZABETH J. ROLSTON
185 POST ROAD
GREENLAND, NH 03840
BOOK 2679 PAGE 2523

SURVEYOR: NEW HAMPSHIRE LAND CONSULTANTS, PLLC.
683C FIRST NH TURNPIKE (RT.4)
NORTHWOOD, NH 03261 PH:(603) 942-9220

WETLAND/SOIL SCIENTIST: GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG. 2, UNIT H,
EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

ZONE: SRA
LOT SIZE: 1 ACRES
FRONTAGE: 150'
LOT DEPTH: 200'
FRONT SETBACK: 30'
SIDE SETBACK: 20'
REAR SETBACK: 40'

SOILS: 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX

CHATFIELD – NHDES GROUP 4
HOLLIS – NHDES GROUP 4
CANTON – NHDES GROUP 2

LOT SIZE USING
GROUP 4 SLOPE C = 48,000 SQ FT

WITH PUBLIC WATER = 24,000 SQ. FT.

LEGEND

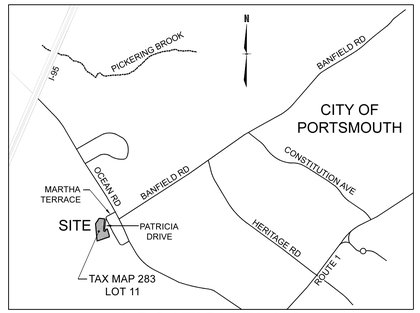
- EXISTING RETAINING WALL
- ABUTTERS PROPERTY LINES
- SUBJECT PROPERTY LINES
- PROPOSED PROPERTY LINES
- EXISTING TIE LINE
- EDGE OF PAVEMENT
- PROPOSED BLDG SETBACK
- EXISTING CONTOUR (MNR) -572-
- EXISTING CONTOUR (MJR) -570
- WETLANDS
- DRILL HOLE FOUND
- REBAR W/ CAP FOUND
- STONE BOUND FOUND
- EXISTING GATE VALVE & HYDRANT FH

100' WETLAND BUFFER IMPACT AREAS (PERMANENT IMPACTS)

Permanent impacts (SF): (including all actual permanent impacts as they're normally defined; including areas changing from pavement to grass)	2,575 SF
Temporary impacts (SF): (including all areas that will be restored to the current-existing condition)	4,283 SF
Net reduction in impervious within the prime wetland buffer (SF):	837 SF
Tree clearing within the prime wetland buffer (SF):	950 SF

PERMANENT IMPACT

TEMPORARY IMPACT



LOCATION PLAN
SCALE: 1"=2,000'

BUFFER NOTES:

1. THE 100' STATE PRIME WETLAND BUFFER TO BE MARKED EVERY 50' BY PLACARDS AS APPROVED BY CITY OF PORTSMOUTH CONVERSATION COMMISSION.
2. PROPOSED PRIVATE DRIVE WILL BE A "NO SALT ZONE" WITHIN THE 100' STATE PRIME WETLAND BUFFER.
3. LANDSCAPE LAWN MAINTENANCE PER "NORTH EAST ORGANIC FARMING ASSOCIATION (NOFA) OR OTHER SUITABLE ORGANIC STANDARDS. SEE CONSTRUCTION SEQUENCE ON SHEET 10 FOR ADDITIONAL SEEDING NOTES.

NEW HAMPSHIRE
Designer
Subsurface Disposal Systems
★★★
Scott R. Frankiewicz
No. 1348
Department of Environmental Services

REVISIONS

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15 7.5 0 30
SCALE: 1"=30'

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PROPOSED BUFFER IMPACT PLAN
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
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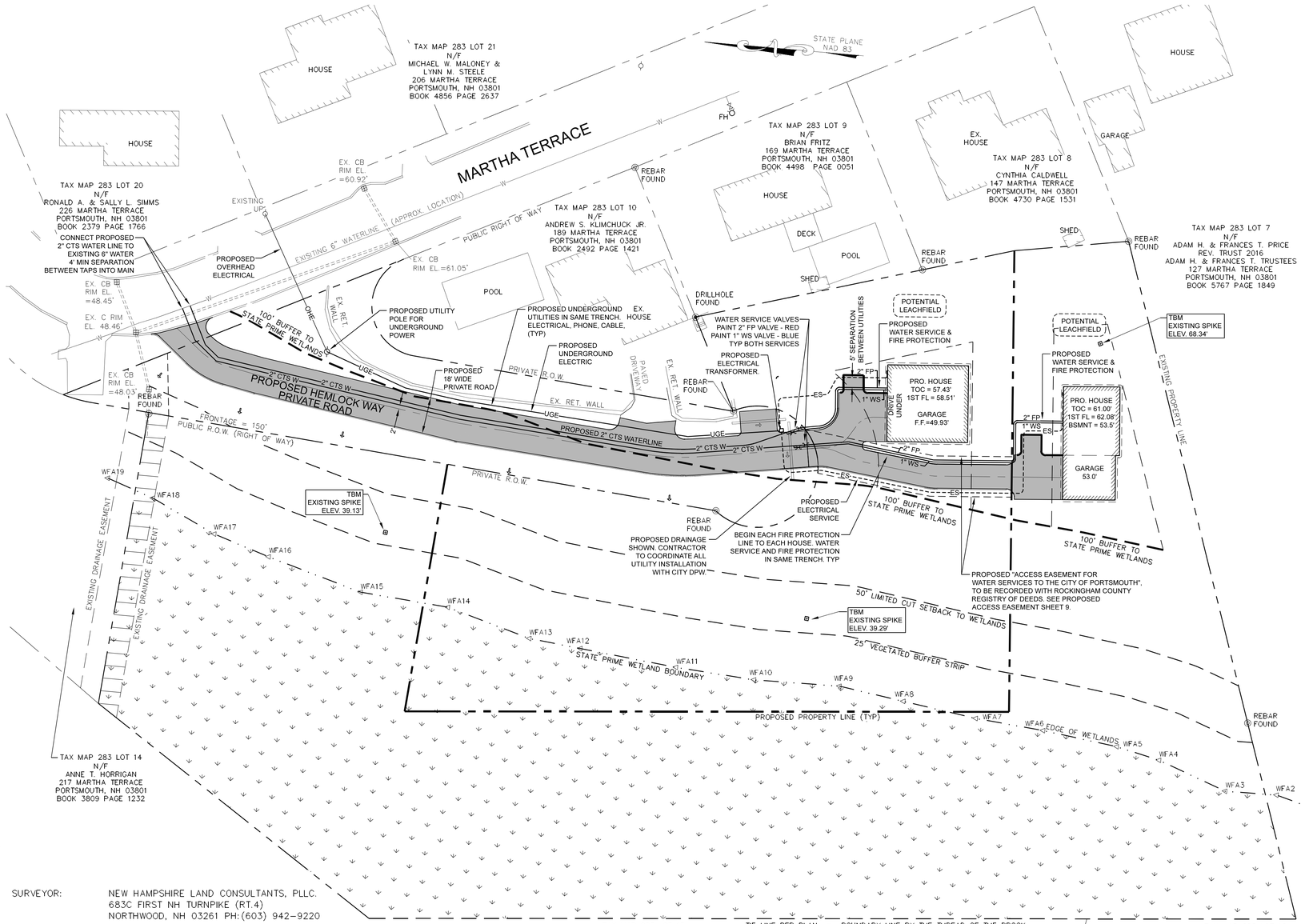
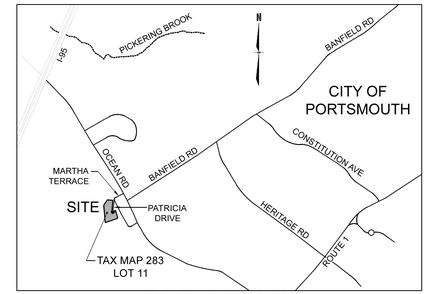
PBIP
SHT. 6 of 10





LOCATION PLAN

SCALE: 1"=2,000'

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT.)
4. THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:

MIN. ROAD FRONTAGE	=150'
MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
MIN. REAR SETBACK	=40'
MIN. SIDE SETBACK	=20'
WETLAND/WATERBODY SETBACK	=100'
WETLAND/LIMITED CUT	=50'
WETLAND/VEGETATED BUFFER STRIP	=25'
MAXIMUM STRUCTURE HEIGHT	=35'
SEPTIC SETBACK	=75' HYDRIC SOILS
OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)	

7. THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
8. THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
9. THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
10. SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
11. WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
12. RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
13. ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY granitview.unh.edu.
14. SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
15. THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
16. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
17. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
18. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
19. ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
20. ACCESS EASEMENT FOR WATER SERVICES TO THE CITY OF PORTSMOUTH. SEE RECORDED BOOK AND PAGE AT ROCKINGHAM REGISTRY OF DEEDS.

PLAN REFERENCES:

1. R.C.R.D. PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
2. R.C.R.D. PLAN #D5967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
3. R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
4. R.C.R.D. PLAN #D33328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 – LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

SURVEYOR: NEW HAMPSHIRE LAND CONSULTANTS, PLLC.
683C FIRST NH TURNPIKE (RT.4)
NORTHWOOD, NH 03261 PH:(603) 942-9220

WETLAND/SOIL SCIENTIST: GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG. 2, UNIT H,
EXETER, NH 03833 PH: (603) 778-0644

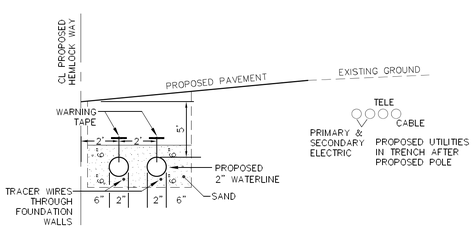
WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

LEGEND

EXISTING RETAINING WALL	PROPOSED 2" WATER MAIN — 2" CTS W —
ABUTTERS PROPERTY LINES	FIRE PROTECTION & WATER SERVICE SAME TRENCH — FP — WS —
SUBJECT PROPERTY LINES	WETLANDS
PROPOSED PROPERTY LINES	DRILL HOLE FOUND
EDGE OF PAVEMENT	REBAR W/ CAP FOUND
PROPOSED BLDG SETBACK	STONE BOUND FOUND
PROPOSED ELECTRICAL SERVICE — ES —	EXISTING GATE VALVE & HYDRANT FH
PROPOSED WATER SERVICE — WS —	

UTILITY NOTES:

1. ALL PROPOSED UTILITY WORK WITH IN THE CITY RIGHT OF WAY SHALL BE COORDINATED WITH CITY OF PORTSMOUTH DPW.
2. PULL BOXES, ELECTRICAL EQUIPMENT TO BE SUPPLIED BY ELECTRICAL COMPANY.
3. CONTRACTOR TO COORDINATE W/ POWER COMPANY AND LOCAL UTILITIES FOR INSTALLATION OF POWER, PHONE AND CABLE.
4. CONTRACTOR TO COORDINATE THE CONNECTION AND INSTALLATION OF WATER SERVICE WITH CITY OF PORTSMOUTH DPW.
5. INSTALLATION OF WATERLINE SHALL BE (2) 2" CTS PIPE TAPPED FROM THE EXISTING 6" MAIN ON MARTHA TERRACE. EACH 2" PIPE W/ 4' SEPARATION, WILL BE DEDICATED TO EACH NEW HOME, PROVIDING WATER SERVICE AND FIRE PROTECTION.
6. NEAREST EXISTING FIRE HYDRANT IS LOCATED ON MARTHA TERRACE AND IS APPROXIMATELY 570' TO 585' TO THE FURTHEST PROPOSED HOUSE DEPENDING ON METHOD OF MEASUREMENT.
7. IF THE FIRE DEPARTMENT REQUIRES FIRE SUPPRESSION IN THE PROPOSED HOMES, THE ENGINEER OF RECORD SHALL REVIEW THE PROPOSED WATER SERVICE SHOWN, AND SHOW THAT THE DESIGN WILL BE SUFFICIENT FOR PRESSURE AND FLOW.
8. ACCESS EASEMENT HAS BEEN PROVIDED TO ACCESS UTILITIES IF NEEDED. THE PROPOSED EASEMENT IS SHOWN ON SHEET 9 OF THIS PLAN SET. DOMESTIC WATER SERVICE CORPORATION STOPS ARE LOCATED WITHIN THE PRIVATE WAY FOR ACCESS.
9. SEPTIC DESIGNS TO BE APPROVED BY NHDES.



PROPOSED WATER / UTILITY SERVICE

N.T.S.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
4	01/14/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
5	01/27/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
6	02/8/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
7	02/10/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB

GRAPHIC SCALE

15 7.5 0 30

SCALE: 1"=30'

N.H. LAND Consultants
SURVEYING • LAND PLANNING • REAL ESTATE
A Veteran Owned Company
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH. 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

PROPOSED UTILITY PLAN
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

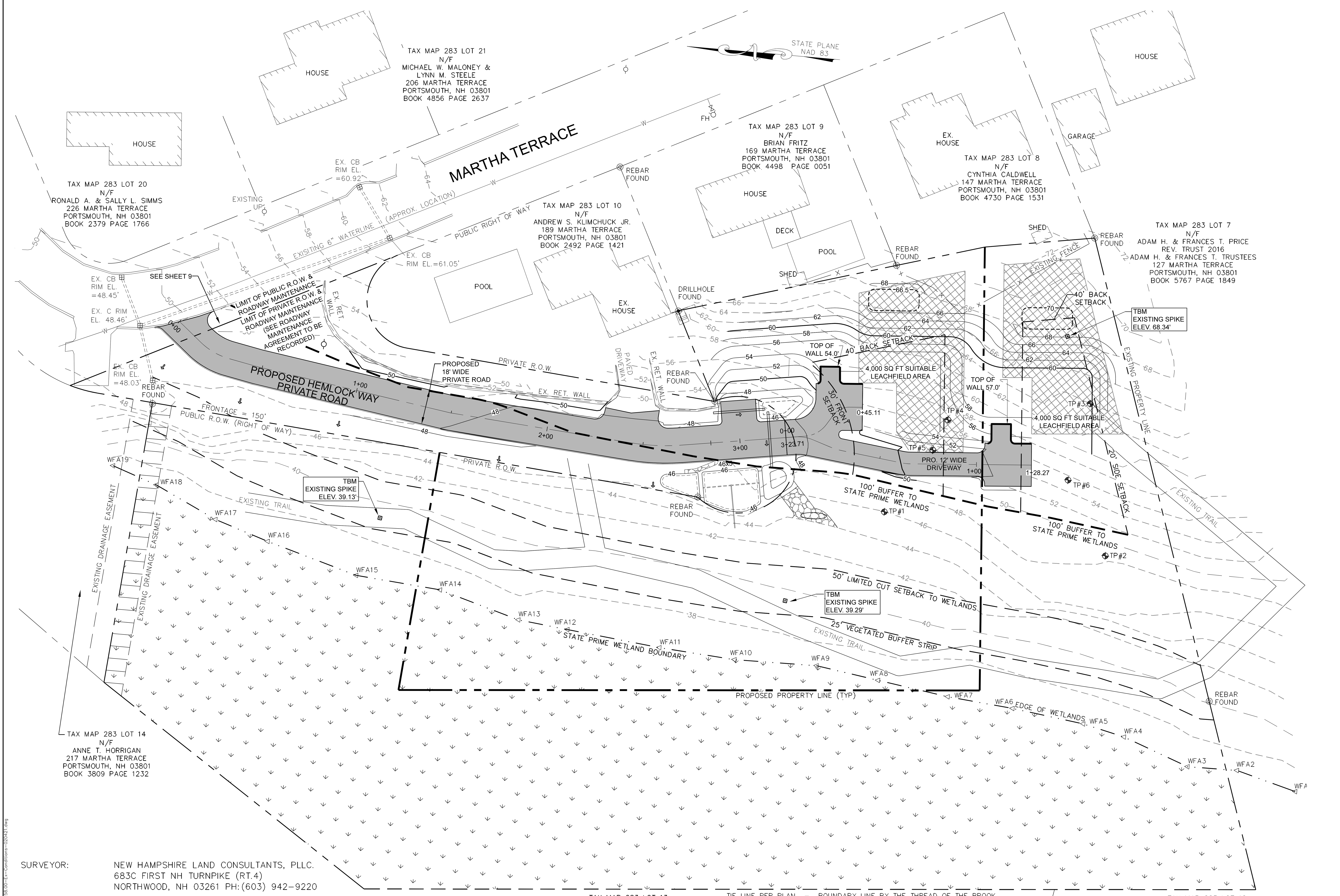
ROCKINGHAM CO.

JOB NO: 258.00

DATE: SEPTEMBER 23, 2020

PUP

SHT. 7 of 10



SURVEYOR: NEW HAMPSHIRE LAND CONSULTANTS, PLLC.
683C FIRST NH TURNPIKE (RT.4)
NORTHWOOD, NH 03261 PH:(603) 942-9220

WETLAND/SOIL SCIENTIST: GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG. 2, UNIT H,
EXETER, NH 03833 PH: (603) 778-0644

WETLANDS WERE DELINEATED ON JUNE 4, 2020 AND LOCATED DURING JUNE 2020

ZONE: SRA
LOT SIZE: 1 ACRES
FRONTAGE: 150'
LOT DEPTH: 200'
FRONT SETBACK: 30'
SIDE SETBACK: 20'
REAR SETBACK: 40'

SOILS: 140B/C CHATFIELD-HOLLIS-CANTON COMPLEX

CHATFIELD - NHDES GROUP 4
HOLLIS - NHDES GROUP 4
CANTON - NHDES GROUP 2

LOT SIZE USING GROUP 4 SLOPE C = 48,000 SQ FT

WITH PUBLIC WATER = 24,000 SQ FT.

TEST PIT #1
DATE: 5-26-20
PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348

0 – 6" Topsoil

6-24" Loamy Sand, Granular/Friable, 7.5 YR 5/6 – Strong Brown

24-60" Loam Sand, Granular/Firm in place, 2.5Y 5/6 – Light Olive Brown

ESHWT = 24"
Roots to 24"
No ledge observed
No water observed
Many stones throughout hole

TEST PIT #2
DATE: 5-26-20
PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348

0 – 6" Topsoil

6-30" Loamy Sand, Granular/Friable, 7.5 YR 5/6 – Strong Brown

30-56" Sand, Granular/Firm in place, 2.5Y 5/6 – Light Olive Brown

ESHWT = 30"
Roots to 30"
No ledge observed
No water observed
Many stones throughout hole

TEST PIT #3
DATE: 5-26-20
PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348

0 – 6" Topsoil

6-30" Loamy Sand, Granular/Friable, 7.5 YR 5/6 – Strong Brown

30-56" Sand, Granular/Firm in place, 2.5Y 5/6 – Light Olive Brown

ESHWT = 30"
Roots to 30"
No ledge observed
No water observed
Many stones throughout hole

TEST PIT #4
DATE: 5-26-20
PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348

0 – 6" Topsoil

6-26" Loamy Sand, Granular/Friable, 7.5 YR 5/6 – Strong Brown

26-70" Sand, Granular/Firm in place, 2.5Y 5/6 – Light Olive Brown

ESHWT = 26"
Roots to 26"
No ledge observed
No water observed
Many stones throughout hole

TEST PIT #5
DATE: 9-18-20
PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348

0 – 6" Topsoil

6-36" Gravelly Sand, Granular/Friable, 7.5 YR 5/6 – Strong Brown

36-60" Gravelly Sand, Granular/Firm in place, 2.5Y 5/6 – Light Olive Brown

ESHWT = 36"
Roots to 36"
No ledge observed
No water observed
Many stones throughout hole

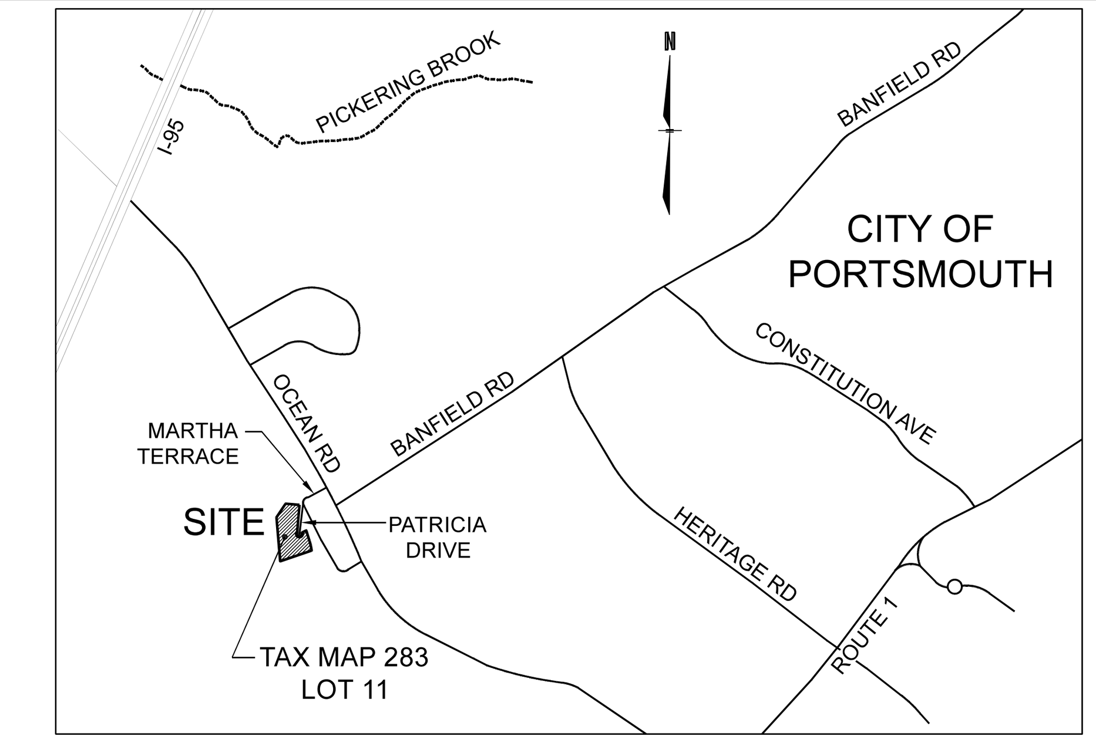
TEST PIT #6
DATE: 9-18-20
PERFORMED BY: SCOTT FRANKIEWICZ, PERMIT #1348

0 – 6" Topsoil

6-34" Gravelly Sand, Granular/Friable, 7.5 YR 5/6 – Strong Brown

34-60" Gravelly Sand, Granular/Firm in place, 2.5Y 5/6 – Light Olive Brown

ESHWT = 34"
Roots to 34"
No ledge observed
No water observed
Many stones throughout hole



LOCATION PLAN

SCALE: 1"=2,000'

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT.)
4. THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:

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MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
MIN. REAR SETBACK	=40'
MIN. SIDE SETBACK	=20'
WETLAND/WATERBODY SETBACK	=100'
WETLAND/LIMITED CUT	=50'
WETLAND/VEGETATED BUFFER STRIP	=25'
MAXIMUM STRUCTURE HEIGHT	=35'
SEPTIC SETBACK	=75' HYDRIC SOILS

OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)

7. THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
8. THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
9. THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
10. SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
11. WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
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15. THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
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17. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
18. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
19. ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
20. ACCESS EASEMENT FOR WATER SERVICES TO THE CITY OF PORTSMOUTH. SEE RECORDED BOOK AND PAGE AT ROCKINGHAM REGISTRY OF DEEDS.

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3. R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
4. R.C.R.D. PLAN #D33328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 – LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

LEGEND

EXISTING RETAINING WALL
ABUTTERS PROPERTY LINES
SUBJECT PROPERTY LINES
PROPOSED PROPERTY LINES
EXISTING TIE LINE
EDGE OF PAVEMENT
PROPOSED BLDG SETBACK
EXISTING CONTOUR (MNR) -572-
EXISTING CONTOUR (MJR) -570-
WETLANDS
DRILL HOLE FOUND
REBAR W/ CAP FOUND
STONE BOUND FOUND
EXISTING GATE VALVE & HYDRANT

NEW HAMPSHIRE Department of Environmental Services
Designer of Subsurface Disposal Systems
★★★
Scott R. Frankiewicz
No. 1348

R E V I S I O N S

NO.	DATE	DESCRIPTION	BY
4	01/14/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
5	01/27/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
6	02/8/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
7	02/10/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB

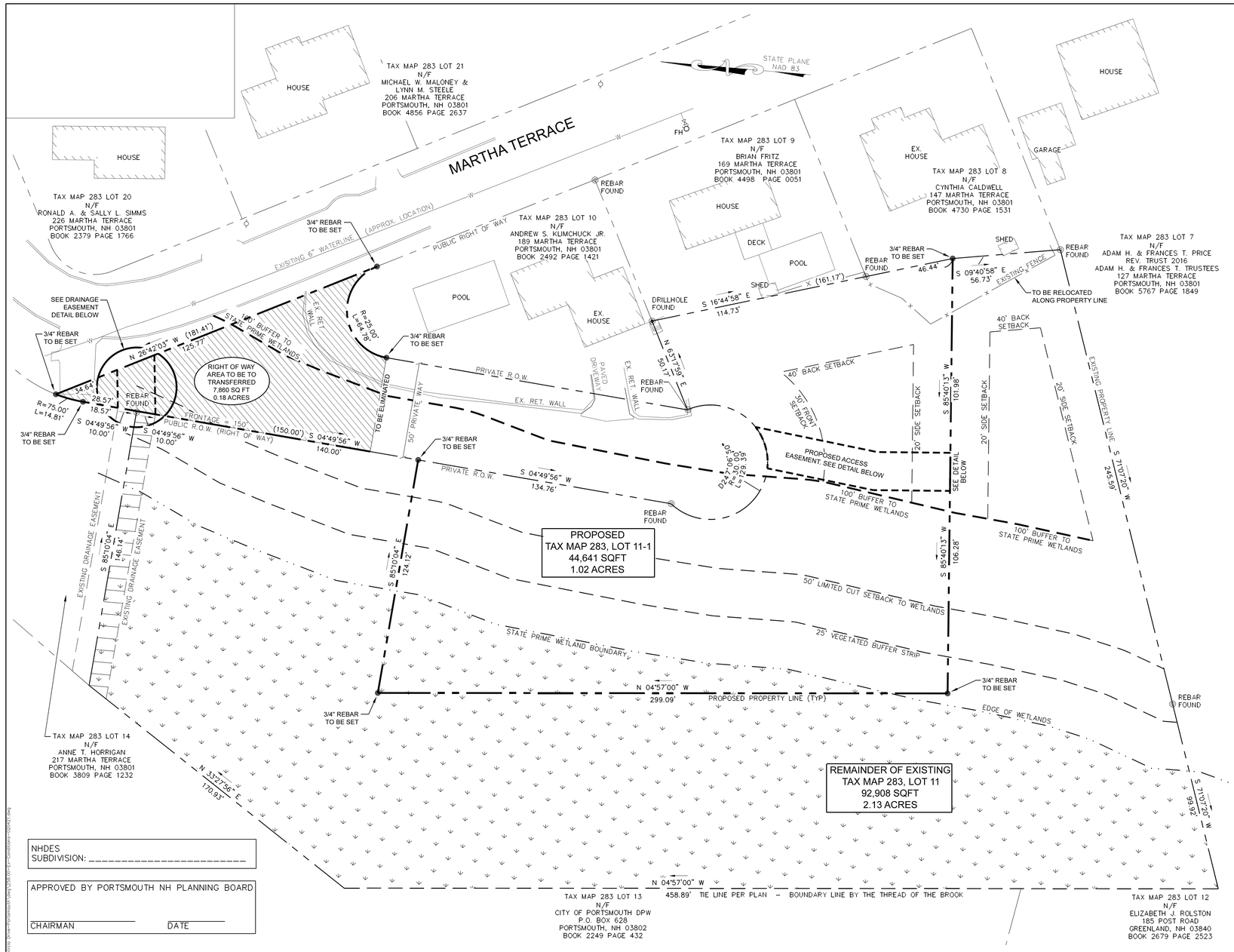
GRAPHIC SCALE
15 7.5 0 30
SCALE: 1"=30'

N.H. LAND Consultants
SURVEYING•LAND PLANNING•REAL ESTATE
A Veteran Owned Company
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH. 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

PROPOSED CONDITIONS PLAN
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

ROCKINGHAM CO.
JOB NO: 258.00
DATE: SEPTEMBER 23, 2020

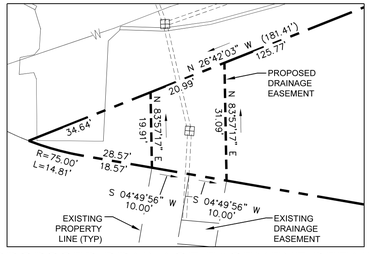
PCP



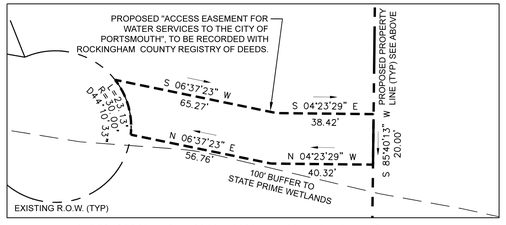
NHDES
SUBDIVISION: _____

APPROVED BY PORTSMOUTH NH PLANNING BOARD

_____ _____
CHAIRMAN DATE



PROPOSED DRAINAGE EASEMENT DETAIL
SCALE: 1"=20'



PROPOSED ACCESS EASEMENT DETAIL
SCALE: 1"=30'

MOUMENTS AND BOUNDS SHOWN ON PLAN HAVE OR WILL BE SET UNDER HIS/HER SUPERVISION PRIOR TO CONVEYANCE OF ANY PROPOSED LOTS.

THE SUBDIVISION REGULATIONS OF THE CITY OF PORTSMOUTH ARE A PART OF THIS PLAT, AND APPROVAL OF THIS PLAT IS CONTIGENT ON COMPLETION OF ALL THE REQUIREMENTS OF SAID SUBDIVISION REGULATIONS, EXCEPTING ONLY ANY VARIANCES OR MODIFICATIONS AND SUBJECT TO ANY CONDITIONS MADE IN WRITING BY THE BOARD AND ATTACHED HERTO.

I CERTIFY THAT THIS PLAT IS BASED UPON THE PLAN REFERENCES AND A FIELD SURVEY CONDUCTED ON THE GROUND IN SPRING OF 2020, MEETING THE MINIMUM REQUIREMENTS FOR ACCURACY, 1:10,000 AND COMPLETENESS PER THE STATE OF NEW HAMPSHIRE AND THE CITY OF PORTSMOUTH, NH.

STATE OF NEW HAMPSHIRE — No. 945 SCOTT R. FRANKIEWICZ — LAND SURVEYOR
SIGNATURE

SCOTT R. FRANKIEWICZ, LLS DATE:

ABUTTERS LIST:

N/F
MAP 283 LOT 7
ADAM H. & FRANCES T. PRICE,
ADAM H. & FRANCES T.-TRUSTEES
127 MARTHA TERRACE,
PORTSMOUTH, NH 03801
BOOK 5767 PAGE 1849

N/F
MAP 283 LOT 8
CYNTHIA CALDWELL
147 MARTHA TERRACE,
PORTSMOUTH, NH 03801
BOOK 4730 PAGE 1531

N/F
MAP 283 LOT 9
BRIAN A FRITZ
169 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 4491 PAGE 0051

N/F
MAP 283 LOT 10
ANDREW S KLIMCHUCK JR.
189 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 2492 PAGE 1421

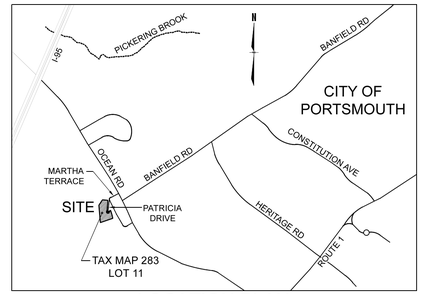
N/F
MAP 283 LOT 21
MICHAEL W MALONEY &
LYNN M STEELE
206 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 4856 PAGE 2637

N/F
MAP 283 LOT 20
RONALD A. & SALLY L. SIMMS
226 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 2379 PAGE 1766

N/F
MAP 283 LOT 14
ANNE T. HORRIGAN
217 MARTHA TERRACE
PORTSMOUTH, NH 03801
BOOK 3809 PAGE 1232

N/F
MAP 283 LOT 13
CITY OF PORTSMOUTH, DPW
P.O. BOX 628
PORTSMOUTH, NH 03802
BOOK 2249 PAGE 0432

N/F
MAP 283 LOT 12
ELIZABETH J ROLSTON
185 POST ROAD
GREENLAND, NH 03840
BOOK 2769 PAGE 2523



LOCATION PLAN
SCALE: 1"=2,000'

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE TAX MAP 283, LOT 11 INTO 2 LOTS.
2. THE PROPERTY IS DESIGNATED AS TAX MAP 283, LOT 11.
3. THE AREA OF THE EXISTING LOT 11 IS 3.16 ACRES (137,549 SQFT.)
4. THE CURRENT OWNER FOR TAX MAP 283, LOT 11: FRITZ FAMILY REVOC LIV TRUST, P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261. BK 3338 PG 173.
5. THE ZONING DESIGNATION FOR THE PROPERTY IS (SRA) SINGLE RESIDENCE A DISTRICT.
6. DIMENSIONAL REQUIREMENTS PROVIDED FOR ZONE (SRA) DISTRICT:

MIN. ROAD FRONTAGE	=150'
MIN. LOT DEPTH	=200'
MIN. LOT SIZE	=43,560 SF (1 ACRE)
MIN. ROAD SETBACK	=30'
MIN. REAR SETBACK	=40'
MIN. SIDE SETBACK	=20'
WETLAND/WATERBODY SETBACK	=100'
WETLAND/LIMITED CUT	=50'
WETLAND/VEGETATED BUFFER STRIP	=25'
MAXIMUM STRUCTURE HEIGHT	=35'
SEPTIC SETBACK	=75' HYDRIC SOILS

OVERLAY DISTRICTS: (STEEP SLOPES, SOILS, WETLANDS, CONSERVATION)

7. THE PROPOSED GRADING PLANS ARE CONCEPTUAL AND FINAL LOCATION OF DRIVEWAYS, LEACHFIELDS, STRUCTURES, ETC. SHALL BE SUBJECT TO BUILDING PERMIT APPLICATION.
8. THE EXISTING USE OF TM 283 LOT 11 IS VACANT LAND.
9. THE PROPOSED USE OF TM 283 LOT 11 WILL BE 2 LOT SUBDIVISION.
10. SEWER TO BE PROVIDED BY ON-SITE SEPTIC SYSTEMS.
11. WATER TO BE PROVIDED BY MUNICIPAL PUBLIC WATER.
12. RIGHT OF WAY WIDTH DETERMINED BY SURVEY, FIELD INVESTIGATION, RECORDED DEEDS AND PLANS OF REFERENCE.
13. ABUTTING PROPERTY INFORMATION PROVIDED BY A COMBINATION OF ON-LINE TAX MAP DATA AND DATA PROVIDED BY granitview.unh.edu.
14. SHEET 9 OF 10 THIS SET WILL BE RECORDED, A COMPLETE PLAN SET WILL BE FILED AT THE CITY OF PORTSMOUTH.
15. THE FEMA MAP NUMBER FOR THIS SITE IS 33015C0270E, EFFECTIVE DATE: MAY 17, 2005. SITE IS LOCATED WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
16. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO CITY OF PORTSMOUTH SUBDIVISION PLAN REGULATIONS AND THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
17. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE OWNER SHALL BE REQUIRED TO CORRECT DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE CITY.
18. IF DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION PROTECTION AT NO EXPENSE TO THE CITY.
19. ELEVATIONS AND COORDINATES ARE BASED ON STATE PLANE COORDINATES FROM A SOLUTION GENERATED BY NGS OPUS ON JUNE 18, 2020 FROM DATA COLLECTED BY THIS OFFICE ON JUNE 18, 2020. THE OPUS SOLUTION IS BASED ON THE NAD 83 (2011) REF. FRAME AND THE NAVD 88.
20. ACCESS EASEMENT FOR WATER SERVICES TO THE CITY OF PORTSMOUTH. SEE RECORDED BOOK AND PAGE AT ROCKINGHAM REGISTRY OF DEEDS.

PLAN REFERENCES:

1. R.C.R.D PLAN #195, RECORDED APRIL 10, 1964, TITLED: "PARCIAL PLAN OF OCEAN MANOR, PORTSMOUTH, NH", PREPARED FOR: HILTON HOMES, INC., GREENLAND NH, DATED, JANUARY, 1964, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=40', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD ON MARCH 20, 1964.
2. R.C.R.D. PLAN #D5967, RECORDED MAY 21, 1976, TITLED: "RESUBDIVISION OF OCEAN MANNER", PREPARED FOR: ANDREWS PROPERTIES, INC., PORTSMOUTH NH, DATED: MARCH 1976, REVISED MAY 1976, PREPARED BY: JOHN DURGIN CIVIL ENGINEERS, SCALE: 1"=50', PLAN APPROVED BY PORTSMOUTH PLANNING BOARD DURING 1976.
3. R.C.R.D. PLAN #C8102, RECORDED SEPTEMBER 18, 1978, TITLED: "LOT LINE REVISION, LAND OF LEVESQUE AND GERACI, PORTSMOUTH NH", PREPARED BY: JOHN W. DURGIN ASSOCIATES INC., ENGINEERS, SURVEYORS & DESIGNERS OF PORTSMOUTH AND ROCHESTER, DATED SEPTEMBER 1978, SCALE: 1"=50', APPROVED BY PORTSMOUTH PLANNING BOARD ON SEPTEMBER 18, 1978.
4. R.C.R.D. PLAN #D33328, RECORDED DECEMBER 6, 2005, TITLED: "SUBDIVISION AND LOT LINE RELOCATION PLAN, MAP 283 – LOTS 7 & 11", PREPARED FOR: ADAM H. & FRANCES PRICE AND ADAM H. PRICE & FRITZ FAMILY REV. LIVING TRUST, 127 MARTHA TERRACE & PATRICIA DRIVE, PORTSMOUTH NH, PREPARED BY: AMBIT ENGINEERING, INC., CIVIL ENGINEERS & LAND SURVEYORS, PORTSMOUTH NH., SCALE: 1"=50', DATED MARCH 2005, APPROVED BY PORTSMOUTH PLANNING BOARD ON OCTOBER 24, 2005.

LEGEND

EXISTING RETAINING WALL		WETLANDS	
ABUTTERS PROPERTY LINES		DRILL HOLE FOUND	⊙
SUBJECT PROPERTY LINES		REBAR W/ CAP FOUND	○
PROPOSED PROPERTY LINES		STONE BOUND FOUND	⊡
EXISTING TIE LINE		3/4" REBAR TO BE SET	●
EDGE OF PAVEMENT		EXISTING GATE VALVE & HYDRANT	GV FH
PROPOSED BLDG SETBACK			

REVISIONS

NO.	DATE	DESCRIPTION	BY
4	01/14/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
5	01/27/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
6	02/8/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
7	02/10/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB

GRAPHIC SCALE
15 7.5 0 30
SCALE: 1"=30'

N.H. LAND Consultants
SURVEYING + LAND PLANNING + REAL ESTATE
A VETERAN OWNED COMPANY
682C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH. 603-942-9220 WEBSITE: NHLANDCONSULTANTS.COM

PROPOSED SUBDIVISION PLAN
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

ROCKINGHAM CO.
JOB NO: 258.00
DATE: SEPTEMBER 23, 2020
PSP
SHT. 9 of 10

CONSTRUCTION SEQUENCE:

1. CUT AND CLEAR TREES, REMOVE EXISTING PAVEMENT WITHIN LIMIT OF WORK (PROPOSED TREELINE), UNLESS OTHERWISE NOTED. ALL STUMPS, BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF, PREFERABLY OFF SITE.
2. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES (DETENTION BASIN, DIVERSION BERM, GRASS SWALE) PRIOR TO ANY EARTH MOVING OPERATION.
3. ALL AREAS SHALL BE PROTECTED FROM EROSION. SIDE SLOPES AND DETENTION POND SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
4. POND SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE (BEFORE ROUGH GRADING THE SITE).
5. ALL STORM DRAINAGE SYSTEMS SUCH AS DETENTION/RETENTION BASINS, LEVEL SPREADERS SHALL BE PROTECTED FROM EROSION. ALL STORM DRAINAGE SYSTEMS SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM.
6. CONSTRUCT TEMPORARY CULVERTS, DIVERSION DITCHES/SWALES OR BERMS AS REQUIRED TO MINIMIZE THE EROSIVE AFFECTS OF STORMWATER RUNOFF DURING ALL CONSTRUCTION ACTIVITIES. TEMPORARY WATER DIVERSION (SWALES, BASINS, ETC.) MUST BE USED AS NECESSARY UNTIL AREAS STABILIZED.
7. ALL MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SEEDED WITH WINTER RYE AND IF NECESSARY, SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO PREVENT OR CONTAIN SOIL EROSION.
8. ALL MATERIAL SUITABLE FOR FILL OR SELECT MATERIAL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO CONTAIN SOIL EROSION.
9. REMOVE ALL IMPROPER ROADWAY MATERIAL WITHIN 18" OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL ACCEPTABLE TO THE STATE/TOWN SPECIFICATIONS. ALL SUITABLE FILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM D-1556) REQUIREMENTS.
10. CONSTRUCT ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO DRAIN, DATA, CABLE AND POWER.
11. ROUGH GRADE SITE WITHIN LIMIT OF WORK AND COMMENCE CONSTRUCTION OF ROADWAY.
12. SITE SHALL BE STABILIZED WITHIN 72 HOURS OF FINISHED GRADE.
13. COMPLETE ROADWAY SLOPE GRADING/EMBANKMENT CONSTRUCTION. ALL SLOPES SHALL BE STABILIZED AND SEEDED IMMEDIATELY AFTER GRADING. THE CONTRACTOR SHALL STABILIZE SLOPES WITH APPROPRIATE SEEDING PROGRAM OR JUTE MAT, WHEREVER SPECIFIED. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
14. APPLY TOPSOIL TO SITE SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED SHALL BE NATIVE ORGANIC MATERIAL SCREENED AS TO BE FREE FROM ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDED, AND MULCHED. CONSERVATION SEED MIX SHALL BE USED ALONG "PROPOSED PRIVATE DRIVE" AND WILDFLOWER MIX TO BE USED IN DETENTION BASIN AND OTHER OPEN AREAS. THE CONTRACTOR SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
15. MAINTAIN, REPAIR, AND REPLACE TEMPORARY EROSION CONTROL MEASURES AS NECESSARY FOR A MINIMUM PERIOD OF 12 MONTHS FOLLOWING SUBSTANTIAL COMPLETION.
16. AFTER STABILIZATION (12 MONTHLY FOLLOWING SUBSTANTIAL COMPLETION), REMOVE AND PROPERLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES, PREFERABLY OFF SITE.
17. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

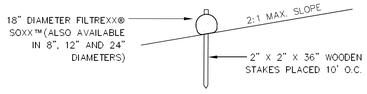
    DEFINITION OF THE WORD STABLE: AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

    A: BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.

    B: A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.

    C: A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.

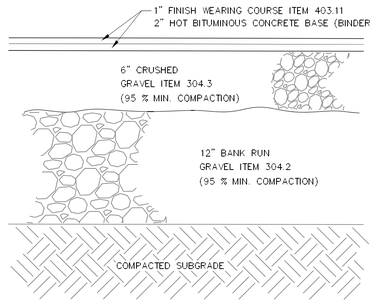
    D: OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERTY INSTALLED.
18. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.



FILTER SOCK DETAIL

FILTREXX ® OR APPROVED EQUAL

NOT TO SCALE



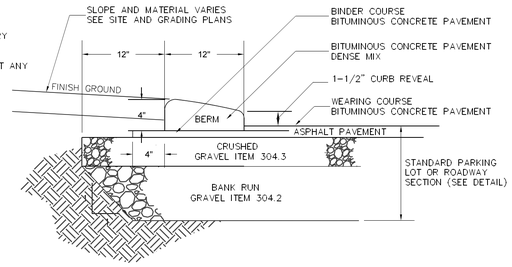
CONSTRUCTION NOTES:

REMOVE ALL LOAM, CLAY, MUCK, STUMPS, AND OTHER IMPROPER ROAD FOUNDATION MATERIAL WITHIN 2' OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL MATERIAL ACCEPTABLE TO APPROVING AGENCY. COMPACTION TO BE AT LEAST 95% OF STANDARD PROCTOR.

ALL PAVEMENT, BASE MATERIALS AND WORKMANSHIP TO BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AND THE CITY OF PORTSMOUTH PUBLICS WORKS DIVISION.

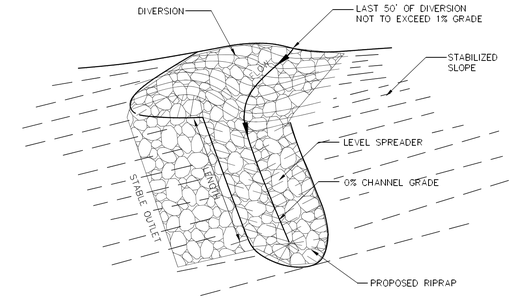
PAVEMENT SECTION

NOT TO SCALE

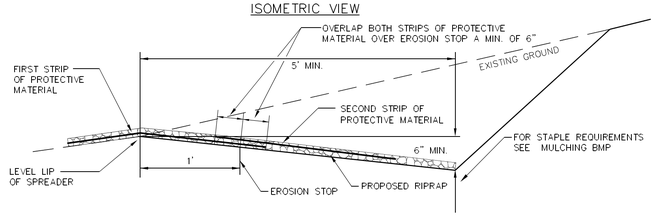


CAPE COD CURB (ASPHALT) DETAIL

NOT TO SCALE



ISOMETRIC VIEW



CROSS SECTION

LEVEL SPREADER DETAIL

NOT TO SCALE

MAINTENANCE

THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND TO DETERMINE THAT THE DESIGN CONDITIONS HAVE NOT CHANGED. ANY DETRIMENTAL SEDIMENT ACCUMULATION SHOULD BE REMOVED. IF RILLING HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED AND RE?VEGETATED. THE VEGETATION SHOULD BE MOWED OCCASIONALLY TO CONTROL WEEDS AND THE ENCROACHMENT OF WOODY VEGETATION. CLIPPINGS SHOULD BE REMOVED AND DISPOSED OF OUTSIDE THE SPREADER AND AWAY FROM THE OUTLET AREA. FERTILIZATION SHOULD BE DONE AS NECESSARY TO KEEP THE VEGETATION HEALTHY AND DENSE.

CONSTRUCTION SPECIFICATIONS

1) CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO GRADE TO INSURE UNIFORM SPREADING RUNOFF.

2) LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.

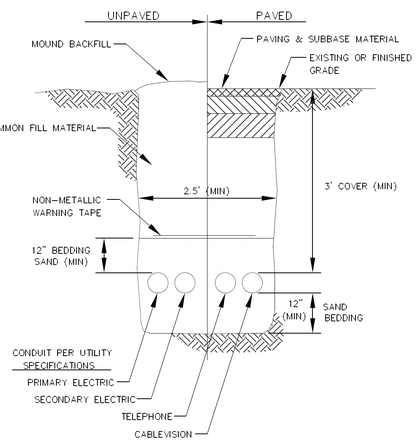
3) AN EROSION STOP SHALL BE PLACED VERTICALLY A MINIMUM OF SIX INCHES DEEP IN A SILT TRENCH ONE FOOT BACK OF THE LEVEL LIP AND PARALLEL TO THE LIP. THE EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL LIP.

4) THE ENTIRE LIP AREA SHALL BE PROTECTED BY PLACING TWO STRIPS OF JUTE OR EXCELSIOR MATTING ALONG THE LIP. EACH STRIP SHALL OVERLAP THE EROSION STOP BY AT LEAST SIX INCHES.

5) THE ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED A 1 PERCENT GRADE FOR AT LEAST 50 FEET BEFORE ENTERING INTO THE SPREADER.

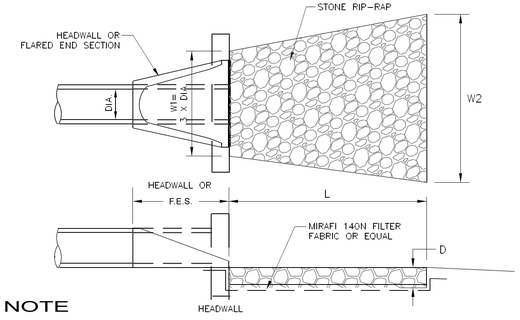
6) THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.

7) PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.



UTILITY TRENCH DETAIL

NOT TO SCALE



NOTES:

1. THE INLET/OUTLET APRON SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION (d50=2").
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES (ALL SIDES).
4. RIP-RAP MAY BE PLACED BY EQUIPMENT (AS TO PREVENT SEGREGATION OF THE STONE SIZES) AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION.

MAINTENANCE:

1. THE OUTLET PROTECTION SHALL BE CHECKED AT LEAST BI-ANNUALLY AND AFTER EVERY SIGNIFICANT RAIN EVENT. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
2. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING.
3. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS AND SEDIMENT THAT COULD CHANGE THE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES.
4. ALL REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID DAMAGE TO THE OUTLET PROTECTION APRON.

NOTE

THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP-RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.

THE ROCK USED FOR RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.

GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP-RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 11 INCHES.

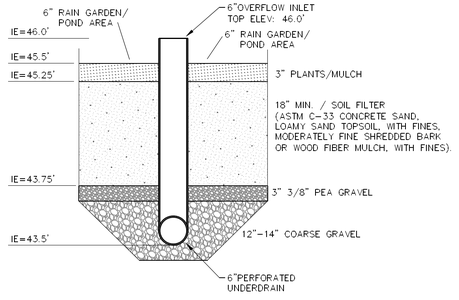
STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

MAINTENANCE

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS AND SEDIMENT THAT COULD CHANGE THE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

RIP-RAP OUTLET PROTECTION APRON

NOT TO SCALE



TYPICAL SECTION - RAIN GARDEN DETAIL

NOT TO SCALE

MAINTENANCE REQUIREMENTS:

1. SYSTEMS SHOULD INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAT ONCE ANNUALLY.
3. TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
4. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWN DOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
5. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
4	01/14/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
5	01/27/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
6	02/8/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB
7	02/10/2021	REVISED PER CITY OF PORTSMOUTH COMMENTS	TDB

SCALE AS SHOWN

N.H. LAND Consultants
SURVEYING•LAND PLANNING•REAL ESTATE
A Veteran Owned Company
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH 603-942-9220 WEBSITE: INHLANDCONSULTANTS.COM

DETAIL SHEET
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
HEMLOCK WAY, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST, EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR. NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

ROCKINGHAM CO.

JOB NO: 258.00

DATE: SEPTEMBER 23, 2020

DET
SHT. 10 of 10

GPC

TO: Juliet Walker, Planning Director
City of Portsmouth, NH
1 Junkins Avenue
Portsmouth, NH 03801

DATE: 1-13-2021

RE: Map 283, Lot 11
TAC Notice of Decision Response Comments

Juliet,

The following is a supplemental to accompany the revised project plans in response to the TAC comments dated 1/06/2021.

1. A note shall be added to the plan that if the Fire Department requires fire suppression in these homes, the Engineer of record shall review the water service(s) shown and show that this design will be sufficient for pressure and flow.
Response: See Utility Notes as shown on Sheet 7 of 10.

2. The applicant should update the plans to show two separate lines as approved by DPW.
Response: The plans have been modified as shown on Sheet 7 of 10.

3. The plans should note an easement to the City to access the valves, leak detection and metering for water service.
Response: Sheet 9 of 10 provides an access and utility easement that shall benefit the City. Also see sheet 7 of 10 for Utility Notes.

4. The drainage for the shared driveway should be upgraded to provide infiltration or some other approved method of treatment.
Response: The plans have been revised changing the detention pond to an infiltration basin (rain garden) as shown on Sheet 4 of 10.

5. Plans should clearly delineate where the public ROW is proposed to end and the private

GARREPY PLANNING CONSULTANTS, LLC
real estate planning & development
phone: 603.944.7530 email: garrepy.pc@gmail.com

street ROW to begin.
Response: The plans have been revised showing the limits of the public right-of-way and the private right-of way (see Sheet 9 of 10). As a condition of approval the applicant agrees to maintain the section of public right-of-way that that comprises the entirety of proposed Hemlock Way to its intersection with Martha Terrace.

6. The plan label should be updated to "Street" rather than "Drive" and the applicant should include the proposed name of the street for consideration by the Planning Board.
Response: The plans have been updated to reference STREET (see sheet 4 of 10). The proposed road name – Hemlock Way – has been added to the plan set on several sheets.

7. Plans should be updated to correct the right side of the bar scale as it is mislabeled. It reads 20 but should be 30.
Response: The bar scale has been correctly labeled on all applicable sheets.

8. Plans shall be updated to correct driveway access and turnarounds. The upper driveway is short and connects to the main drive at an odd angle. It will be difficult for vehicles to enter or exit the garage closest to the retaining wall.
Response: Proposed driveways have been revised to show adequate access/egress with proper turn-arounds (see sheet 4 of 10).

9. The applicant should request a waiver from the Planning Board for the road and right-of way width as it is less than the required minimum in the subdivision regulations.
Response: A waiver to the road and right-of-way width has been provided

10. A road maintenance agreement should be provided for Planning Board review.
Response: A draft private road maintenance agreement has been prepared and provided.

TO: Juliet Walker, Planning Director
City of Portsmouth, NH
1 Junkins Avenue
Portsmouth, NH 03801

RE: Map 283, Lot 11
Wetland Conditional Use Permit

Juliet,

The following is a supplemental to accompany the project plans that demonstrates compliance with the conditional use criteria for the proposed wetland buffer impacts.

Project Overview:

The property's sole access is via the existing roadway off Martha Terrace. This roadway is paved with 20-24 feet of pavement width terminating in a cul-de-sac. There is no other alternative access to this buildable area of the lot without utilizing the roadway. The plans call for the removal of the existing failing asphalt surface and its non-functioning catch basins and the replacement of an 18 foot paved roadway that will be curbed to direct stormwater runoff to a small treatment pond, level spreader and natural filter strip. The existing mature trees along the roadway will remain although there are a few trees proximate to the existing cul-de-sac that will be removed for the creation of stormwater features. The existing impervious coverage in the wetland buffer is 5,718 s.f. and the proposed permanent impacts to the buffer are 4,539 s.f. representing a 21% reduction in permanent buffer impact. Temporary impacts to the buffer are for the creation of the stormwater treatment areas (detention area and level spreader). These impacts require 2,344 s.f. of temporary impact in the buffer which result in stormwater treatment for the roadway.

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10.1017.40 Conditional Use Approval - 10.1017.50 Criteria for Approval

Any proposed development, other than installation of utilities within a right-of-way, shall comply with all of the following criteria:

(1) The land is reasonably suited to the use, activity or alteration.

The property is presently zoned for single-family residential development and consists of 3.16 acres in the SRA District. The property has over 400 feet of frontage on an existing roadway that has not been maintained for many years other than being plowed by the abutting landowners for access. The property has suitable upland soils outside of the 100-foot wetland buffer for residential development.

(2) There is no alternative location outside the wetland buffer that is feasible and reasonable for the proposed use, activity or alteration.

There is no other alternative access to the buildable area of the lot without utilizing and improving the existing right-of-way.

(3) There will be no adverse impact on the wetland functional values of the site or surrounding properties;

Given that there will be a reduction in permanent impact to the buffer by 21% and that new stormwater treatment will be introduced, the proposal will be a net positive impact on the wetlands. Therefore, no adverse impact on the wetland functional values will result.

(4) Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals; and

The existing mature trees along the roadway will remain. Some brush will be removed along the roadway to establish the curbing to direct stormwater to the detention area. The detention pond proximate to the existing cul-de-sac is proposed in an area that is presently disturbed area where the existing catch basin and outfall pipe are located. (See photos attached)

(5) The proposal is the alternative with the least adverse impact to areas and environments under the jurisdiction of this Section.

There is no other alternative access to the buildable area of the lot without utilizing and improving the existing right-of-way.

(6) Any area within the vegetated buffer strip will be returned to a natural state to the extent feasible.

There is no work proposed within the vegetated buffer strip. The vegetated buffer strip shall remain uncut and undisturbed.

PHOTO A: Looking west towards the proposed detention pond from the existing roadway.

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PHOTO B: Looking westerly upslope towards the existing roadway cul-de-sac at proposed detention pond location.

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PHOTO C: Looking south toward the existing cul-de-sac. Existing mature trees along the westerly side of the roadway to remain. Broken pavement to be removed and replaced. Curbing to be installed along the westerly side of the roadway.

GPC

TO: Juliet Walker, Planning Director
City of Portsmouth, NH
1 Junkins Avenue
Portsmouth, NH 03801

DATE: 1-13-2021

RE: Map 283, Lot 11
Request for Waiver

Juliet,

Per the TAC Notice of Decision letter dated 1-06-2021 Condition 9 and in accordance with Section X of the City of Portsmouth Subdivision Rules and Regulations please find accept the following request for waivers:

SECTION X – WAIVER OF REGULATIONS
1. The Planning Board may waive any provision of these Regulations by a vote of six members, provided that such waiver will not have the effect of nullifying the spirit and intent of the Master Plan or these Regulations. 2. In granting a waiver, the Planning Board may require such conditions as will in its judgment secure the objectives of these Rules and Regulations.

Waiver request to the RESIDENTIAL STREET MINIMUM STANDARDS which requires a 32' pavement with for all residential streets in the City. Request is to construct the roadway to the specifications as shown on the plans prepared by N.H. Land Consultants entitled 2 Lot Subdivision Plan for Dube Plus Construction Tax Map 283, Lot 11, dated September 23, 2020 (last revised 1-12-2021) and specifically to allow an 18' pavement width for this private street.

The proposed roadway has been designed using the City of Portsmouth Complete Streets Design Guidelines dated June 2017 – Neighborhood Slow Street: Design Guidelines. These guidelines recommend two 9-foot lanes with no centerline.

Granting the waiver will be in keeping with the City adopted guidelines and will result in less overall impervious impacts and a reduction in drainage improvement requirements. The reduced pavement width will result in meeting the objectives of the Rule and Regulations by providing proper width of

streets as recommended in the abovementioned guidelines while still providing adequate drainage and utility improvements and safe traffic circulation.

The proposed roadway shall service two lots and provides secondary access for a third lot. The roadway is proposed to be maintained as a private roadway.

Respectively Submitted,

Michael Garrepy

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DRAINAGE ANALYSIS

Prepared for:
DUBE PLUS CONSTRUCTION
TAX MAP 283 LOT 11
PATRICIA DRIVE
PORTSMOUTH, NH

Prepared by:

NEW HAMPSHIRE LAND CONSULTANTS, PLLC
683C FIRST NH TURNPIKE
NORTHWOOD, NH 03261
&
RJB ENGINEERING
JEFFREY BURD, P.E.

Project Number:
258.00

1. Table of Contents

PROJECT NARATIVE

Narrative

Introduction

This drainage analysis details the surface water drainage patterns on a parcel located at Patricia Drive in Portsmouth, NH. Using HydroCAD to model storm events this analysis estimates the amount of storm water surface runoff from this site before and after the proposed parking lot and sidewalk. The design of this project will decrease the runoff.

The proposed improvements are on Patricia Drive and Tax Map 283 Lot 11. The applicant, Dube Plus Construction, wishes to rebuild Patricia Drive and construct 2 single family homes. We are proposing 1 detention basin and one treatment/detention system to control, pre-treat and treat the stormwater runoff from the reconstructed road, driveways and yards. The houses will be constructed with drip edges and all roof runoff will be infiltrated via the drip edge. The roadway stormwater run-off is directed to a detention/infiltration area that is equipped with a sediment forebay, a bio-retention system and detention area. The stormwater the isn't infiltrated will leave this detention/infiltration/filtration system will be directed to a rip rap slope to a level spreader and directed to 75' natural filter strip, which will provide additional overland treatment prior to reaching the prime wetland.

The area that has been analyzed is all upland, Chatfield-Hollis-Canton, Sandy Loam soils (Hydro group B soils) as categorized by the Soil Conservation District.

The following section explains the methods used to determine the runoff quantities generated by the existing conditions site. The objective of this analysis is to obtain surface storm water runoff flow data. This information is compared to evaluate whether there may be an impact to existing drainage system in the area.

Methodology

The drainage analysis performed utilizes nationally recognized techniques developed by the USDA, Soil Conservation Service (SCS). The techniques and models used for this analysis are described in "Urban Hydrology for Small Watersheds, Technical Release Number 55" dated 1986 and in USDOT Federal Highway Administration (FHA) "Hydraulic Design of Highway Culverts" dated September 1985.

Design computations were based on a Type III 24-hour storm event as recommended for New Hampshire. 10 year – 24-hour event of 4.92 inches of precipitation respectively was analyzed. Pre and Post-development conditions were analyzed by the same method. An investigation was conducted to confirm published watershed soil and vegetative characteristics that were used for the input program "HydroCAD Storm water Modeling System, Version 10.00-25". Tabulated summaries of the results are shown in the results section of this report.

Procedure

To begin the stormwater study, the limits and areas of the watershed for this development were identified. The existing watershed area is treated as 1 sub-catchment. The proposed development watershed area is treated as 5 sub-catchments. Weighted runoff curve numbers (CN) were calculated for each sub-catchment watershed area. Runoff curve numbers were chosen based on site investigation, TR-55, USDA Agriculture Handbook 590 (1997), and USDA Soil Conservation

Service Soil Survey, issued October 1994. The value of CN depends on soil type, vegetative cover and hydraulic conditions of the land surface. Surface water run off rate and total volume during and after a storm event is also influenced by: slope of the land, area of the watershed, hydraulic length of watershed, and ponds and swamps. In addition, the amount of surface runoff produced by a given storm event is a function of the duration and intensity of the storm.

Pre-development and post-development conditions for the watershed were analyzed by the method outlined in USDA Soil Conservation Service Soil Survey, issued October 1994. Using this post-development information, computer generated hydrographs were calculated and peak runoff rates determined for each specific storm event.

The entire area to be developed will disturb approximately 34,000 square feet. Re-graded areas along the edge of construction will ultimately become stabilized and generally resume their pre-development characteristics.

DRAINAGE ANALYSIS PRE & POST

Pre-Conditions Drainage Analysis
Full summary
10 YR – 24 HR rainfall = 4.92”

Ex.
pavement/grass/woods

Existing

Subcat Reach Pond Link

Routing Diagram for Ex drainage
Prepared by Brown Engineering anD Surveying, LLC, Printed 1/14/2021

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.158	61	>75% Grass cover, Good, HSG B (1S)
0.180	98	Pavement (1S)
0.438	55	Woods, Good, HSG B (1S)
0.775	**66**	**TOTAL AREA**

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.596	HSG B	1S
0.000	HSG C	
0.000	HSG D	
0.180	Other	1S
0.775		**TOTAL AREA**

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.158	0.000	0.000	0.000	0.158	>75% Grass cover, Good	1S
0.000	0.000	0.000	0.000	0.180	0.180	Pavement	1S
0.000	0.438	0.000	0.000	0.000	0.438	Woods, Good	1S
0.000	**0.596**	**0.000**	**0.000**	**0.180**	**0.775**	**TOTAL AREA**	

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Ex. Runoff Area=33,769 sf 23.17% Impervious Runoff Depth>1.53"
Tc=5.0 min CN=66 Runoff=1.46 cfs 0.099 af

Reach 1R: Existing Inflow=1.46 cfs 0.099 af
Outflow=1.46 cfs 0.099 af

Total Runoff Area = 0.775 ac Runoff Volume = 0.099 af Average Runoff Depth = 1.53"
76.83% Pervious = 0.596 ac 23.17% Impervious = 0.180 ac

Summary for Subcatchment 1S: Ex. pavement/grass/woods

Runoff = 1.46 cfs @ 12.09 hrs, Volume= 0.099 af, Depth> 1.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 yr 24 hr Rainfall=4.92"

	Area (sf)	CN	Description
*	7,823	98	Pavement
	19,073	55	Woods, Good, HSG B
	6,873	61	>75% Grass cover, Good, HSG B
	33,769	66	Weighted Average
	25,946		76.83% Pervious Area
	7,823		23.17% Impervious Area

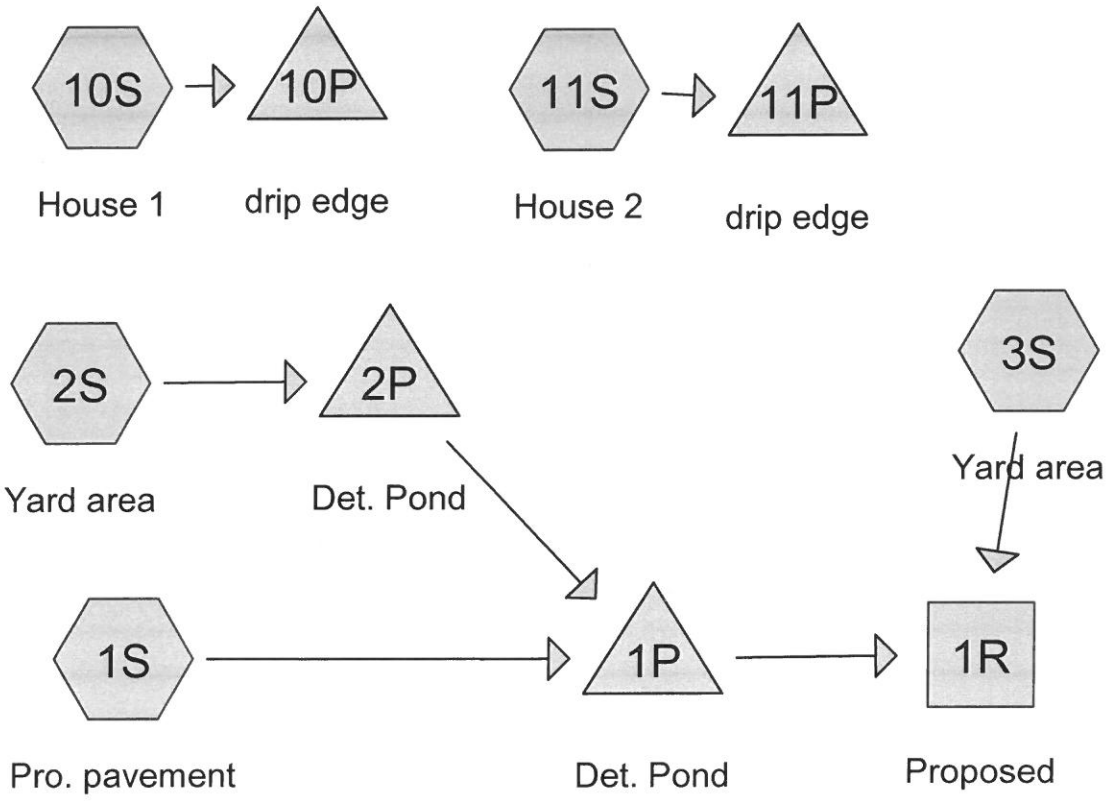
Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry, 1**

Summary for Reach 1R: Existing

Inflow Area = 0.775 ac, 23.17% Impervious, Inflow Depth > 1.53" for 10 yr 24 hr event
Inflow = 1.46 cfs @ 12.09 hrs, Volume= 0.099 af
Outflow = 1.46 cfs @ 12.09 hrs, Volume= 0.099 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Pro-Conditions Drainage Analysis
Full summary
10 YR – 24 HR rainfall = 4.92”



Subcat Reach Pond Link

Routing Diagram for Pro drainage

Prepared by Brown Engineering anD Surveying, LLC, Printed 1/14/2021

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.498	61	>75% Grass cover, Good, HSG B (1S, 2S, 3S)
0.074	98	Impervious (house) (10S, 11S)
0.150	98	Pavement (1S)
0.054	55	Woods, Good, HSG B (2S, 3S)
0.775	**71**	**TOTAL AREA**

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.552	HSG B	1S, 2S, 3S
0.000	HSG C	
0.000	HSG D	
0.223	Other	1S, 10S, 11S
0.775		**TOTAL AREA**

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.498	0.000	0.000	0.000	0.498	>75% Grass cover, Good	1S, 2S, 3S
0.000	0.000	0.000	0.000	0.074	0.074	Impervious (house)	10S, 11S
0.000	0.000	0.000	0.000	0.150	0.150	Pavement	1S
0.000	0.054	0.000	0.000	0.000	0.054	Woods, Good	2S, 3S
0.000	**0.552**	**0.000**	**0.000**	**0.223**	**0.775**	**TOTAL AREA**	

Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
1	2P	45.00	44.72	28.0	0.0100	0.012	12.0	0.0	0.0

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Pro. pavement Runoff Area=19,758 sf 33.02% Impervious Runoff Depth>2.05"
Tc=5.0 min CN=73 Runoff=1.17 cfs 0.078 af

Subcatchment 2S: Yard area Runoff Area=6,223 sf 0.00% Impervious Runoff Depth>1.13"
Tc=5.0 min CN=60 Runoff=0.19 cfs 0.013 af

Subcatchment 3S: Yard area Runoff Area=4,583 sf 0.00% Impervious Runoff Depth>1.07"
Tc=5.0 min CN=59 Runoff=0.13 cfs 0.009 af

Subcatchment 10S: House 1 Runoff Area=1,680 sf 100.00% Impervious Runoff Depth>4.35"
Tc=5.0 min CN=98 Runoff=0.19 cfs 0.014 af

Subcatchment 11S: House 2 Runoff Area=1,524 sf 100.00% Impervious Runoff Depth>4.35"
Tc=5.0 min CN=98 Runoff=0.17 cfs 0.013 af

Reach 1R: Proposed Inflow=0.21 cfs 0.051 af
Outflow=0.21 cfs 0.051 af

Pond 1P: Det. Pond Peak Elev=46.54' Storage=2,190 cf Inflow=1.35 cfs 0.091 af
Outflow=0.19 cfs 0.041 af

Pond 2P: Det. Pond Peak Elev=45.21' Storage=22 cf Inflow=0.19 cfs 0.013 af
12.0" Round Culvert n=0.012 L=28.0' S=0.0100 '/' Outflow=0.18 cfs 0.013 af

Pond 10P: drip edge Peak Elev=55.45' Storage=208 cf Inflow=0.19 cfs 0.014 af
Outflow=0.02 cfs 0.014 af

Pond 11P: drip edge Peak Elev=58.37' Storage=114 cf Inflow=0.17 cfs 0.013 af
Outflow=0.04 cfs 0.013 af

Total Runoff Area = 0.775 ac Runoff Volume = 0.127 af Average Runoff Depth = 1.97"
71.19% Pervious = 0.552 ac 28.81% Impervious = 0.223 ac

Summary for Subcatchment 1S: Pro. pavement

Runoff = 1.17 cfs @ 12.08 hrs, Volume= 0.078 af, Depth> 2.05"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 yr 24 hr Rainfall=4.92"

	Area (sf)	CN	Description
*	6,525	98	Pavement
	13,233	61	>75% Grass cover, Good, HSG B
	19,758	73	Weighted Average
	13,233		66.98% Pervious Area
	6,525		33.02% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry, 1**

Summary for Subcatchment 2S: Yard area

Runoff = 0.19 cfs @ 12.09 hrs, Volume= 0.013 af, Depth> 1.13"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 yr 24 hr Rainfall=4.92"

Area (sf)	CN	Description
5,186	61	>75% Grass cover, Good, HSG B
1,037	55	Woods, Good, HSG B
6,223	60	Weighted Average
6,223		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry, 1**

Summary for Subcatchment 3S: Yard area

Runoff = 0.13 cfs @ 12.09 hrs, Volume= 0.009 af, Depth> 1.07"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 yr 24 hr Rainfall=4.92"

Area (sf)	CN	Description
1,310	55	Woods, Good, HSG B
3,273	61	>75% Grass cover, Good, HSG B
4,583	59	Weighted Average
4,583		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry, 1**

Summary for Subcatchment 10S: House 1

Runoff = 0.19 cfs @ 12.07 hrs, Volume= 0.014 af, Depth> 4.35"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 yr 24 hr Rainfall=4.92"

	Area (sf)	CN	Description
*	1,680	98	Impervious (house)
	1,680		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry, 1**

Summary for Subcatchment 11S: House 2

Runoff = 0.17 cfs @ 12.07 hrs, Volume= 0.013 af, Depth> 4.35"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type III 24-hr 10 yr 24 hr Rainfall=4.92"

	Area (sf)	CN	Description
*	1,524	98	Impervious (house)
	1,524		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry, 1**

Summary for Reach 1R: Proposed

Inflow Area = 0.702 ac, 21.35% Impervious, Inflow Depth > 0.87" for 10 yr 24 hr event
Inflow = 0.21 cfs @ 12.75 hrs, Volume= 0.051 af
Outflow = 0.21 cfs @ 12.75 hrs, Volume= 0.051 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs

Summary for Pond 1P: Det. Pond

Inflow Area = 0.596 ac, 25.11% Impervious, Inflow Depth > 1.83" for 10 yr 24 hr event
Inflow = 1.35 cfs @ 12.09 hrs, Volume= 0.091 af
Outflow = 0.19 cfs @ 12.76 hrs, Volume= 0.041 af, Atten= 86%, Lag= 40.3 min
Primary = 0.19 cfs @ 12.76 hrs, Volume= 0.041 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs / 3
Peak Elev= 46.54' @ 12.76 hrs Surf.Area= 1,165 sf Storage= 2,190 cf
Flood Elev= 47.00' Surf.Area= 1,238 sf Storage= 2,746 cf

Plug-Flow detention time= 191.9 min calculated for 0.041 af (46% of inflow)
Center-of-Mass det. time= 103.1 min (908.8 - 805.8)

Volume	Invert	Avail.Storage	Storage Description
#1	44.00'	2,746 cf	**Custom Stage Data (Prismatic)** Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
44.00	507	0	0
46.00	1,080	1,587	1,587
47.00	1,238	1,159	2,746

Device	Routing	Invert	Outlet Devices
#1	Primary	46.50'	**10.0' long x 2.0' breadth Broad-Crested Rectangular Weir** Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 Coef. (English) 2.54 2.61 2.61 2.60 2.66 2.70 2.77 2.89 2.88 2.85 3.07 3.20 3.32

Primary OutFlow Max=0.18 cfs @ 12.76 hrs HW=46.54' (Free Discharge)
↑**1=Broad-Crested Rectangular Weir** (Weir Controls 0.18 cfs @ 0.49 fps)

Summary for Pond 2P: Det. Pond

Inflow Area = 0.143 ac, 0.00% Impervious, Inflow Depth > 1.13" for 10 yr 24 hr event
Inflow = 0.19 cfs @ 12.09 hrs, Volume= 0.013 af
Outflow = 0.18 cfs @ 12.11 hrs, Volume= 0.013 af, Atten= 4%, Lag= 1.1 min
Primary = 0.18 cfs @ 12.11 hrs, Volume= 0.013 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs / 3
Peak Elev= 45.21' @ 12.11 hrs Surf.Area= 114 sf Storage= 22 cf
Flood Elev= 47.00' Surf.Area= 327 sf Storage= 407 cf

Plug-Flow detention time= 5.0 min calculated for 0.013 af (99% of inflow)
Center-of-Mass det. time= 2.9 min (831.2 - 828.3)

Volume	Invert	Avail.Storage	Storage Description
#1	45.00'	407 cf	**Custom Stage Data (Prismatic)** Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
45.00	91	0	0
46.00	198	145	145
47.00	327	263	407

Device	Routing	Invert	Outlet Devices
#1	Primary	45.00'	**12.0" Round Culvert** L= 28.0' Ke= 0.500

Inlet / Outlet Invert= 45.00' / 44.72' S= 0.0100 '/' Cc= 0.900
n= 0.012, Flow Area= 0.79 sf

Primary OutFlow Max=0.18 cfs @ 12.11 hrs HW=45.21' (Free Discharge)
↑**1=Culvert** (Barrel Controls 0.18 cfs @ 2.26 fps)

Summary for Pond 10P: drip edge

Inflow Area = 0.039 ac,100.00% Impervious, Inflow Depth > 4.35" for 10 yr 24 hr event
Inflow = 0.19 cfs @ 12.07 hrs, Volume= 0.014 af
Outflow = 0.02 cfs @ 11.50 hrs, Volume= 0.014 af, Atten= 89%, Lag= 0.0 min
Discarded = 0.02 cfs @ 11.50 hrs, Volume= 0.014 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs / 3
Peak Elev= 55.45' @ 12.73 hrs Surf.Area= 144 sf Storage= 208 cf
Flood Elev= 56.00' Surf.Area= 144 sf Storage= 288 cf

Plug-Flow detention time= 72.6 min calculated for 0.014 af (100% of inflow)
Center-of-Mass det. time= 71.8 min (806.2 - 734.5)

Volume	Invert	Avail.Storage	Storage Description
#1	54.00'	288 cf	**Custom Stage Data (Prismatic)** Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
54.00	144	0	0
56.00	144	288	288

Device	Routing	Invert	Outlet Devices
#1	Discarded	54.00'	**6.000 in/hr Exfiltration over Surface area**

Discarded OutFlow Max=0.02 cfs @ 11.50 hrs HW=54.02' (Free Discharge)
↑**1=Exfiltration** (Exfiltration Controls 0.02 cfs)

Summary for Pond 11P: drip edge

Inflow Area = 0.035 ac,100.00% Impervious, Inflow Depth > 4.35" for 10 yr 24 hr event
Inflow = 0.17 cfs @ 12.07 hrs, Volume= 0.013 af
Outflow = 0.04 cfs @ 11.80 hrs, Volume= 0.013 af, Atten= 75%, Lag= 0.0 min
Discarded = 0.04 cfs @ 11.80 hrs, Volume= 0.013 af

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs / 3
Peak Elev= 58.37' @ 12.43 hrs Surf.Area= 306 sf Storage= 114 cf
Flood Elev= 60.00' Surf.Area= 306 sf Storage= 612 cf

Plug-Flow detention time= 14.6 min calculated for 0.013 af (100% of inflow)
Center-of-Mass det. time= 13.9 min (748.4 - 734.5)

Volume	Invert	Avail.Storage	Storage Description
#1	58.00'	612 cf	**Custom Stage Data (Prismatic)** Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
58.00	306	0	0
60.00	306	612	612

Device	Routing	Invert	Outlet Devices
#1	Discarded	58.00'	**6.000 in/hr Exfiltration over Surface area**

Discarded OutFlow Max=0.04 cfs @ 11.80 hrs HW=58.02' (Free Discharge)
↑**1=Exfiltration** (Exfiltration Controls 0.04 cfs)

RAINFALL CHARACTERISTICS

This drainage report includes proposed conditions analysis for the site. The model was constructed using the USDA SCS TR-20 Method within the HydroCAD Stormwater Modeling System. The curve numbers were developed using the SCS TR-55 Runoff Curve numbers for Urban Areas. A Type III SCS 24-hour rainfall distribution was utilized in analyzing the data for a 10 Yr – 24 Hr (4.92") storm-event, to assure the adequacy of the proposed structure.

RAINFALL CHARACTERISTICS

This drainage report includes proposed conditions analysis for the site. The model was constructed using the USDA SCS TR-20 Method within the HydroCAD Stormwater Modeling System. The curve numbers were developed using the SCS TR-55 Runoff Curve numbers for Urban Areas.

SEDIMENT & EROSION CONTROL PLANS
BEST MANAGEMENT PRACTICES (BMP's)

Reference: Sheet - Proposed Conditions Plan
General Details

The proposed site development is protected from erosion and the roadways and abutting properties are protected from sediment by the use of Best Management Practices as outlined in the Stormwater Management & Erosion & Sediment Control Handbook for Urban & Developing Areas in New Hampshire. Any area disturbed by construction will be re-stabilized within 45 days and abutting properties and wetlands will not be adversely affected by this development. All swales and drainage structures will be constructed and stabilized prior to having run-off directed to them.

1 Filtrexx sock/Construction Fence

The plan set demonstrates the location of filtrexx sock for sediment control. In areas where the limits of construction need to be emphasized to operators, construction fence for added visibility will be installed. The Erosion and Sediment Control Details, has the specifications for installation and maintenance of the silt fence. Orange construction fence will be VISI Perimeter Fence by Conwed Plastic Fencing, or equal. The four-foot fencing is to be installed using six-foot posts at least two feet in the ground with six to eight feet spacing.

2 Drainage Swales / Stormwater Conveyance Channels

Drainage swales will be stabilized with vegetation for long term cover as outlined below, and using seed mixture C. As a general rule, velocities in the swale should not exceed 3.0 feet per second for a vegetated swale although velocities as high as 4.5 FPS are allowed under certain soil conditions. The use of jute matting will aid in the stabilization of vegetation.

3 Vegetated Stabilization

All areas that are disturbed during construction will be stabilized with vegetated material within 45 days of breaking ground. Construction will be managed in such a manner that erosion is prevented and that no abutter's property will be subjected to any siltation, unless otherwise permitted. All areas to be planted with grass for long-term cover will follow the specification and on Sheet E-1 using seeding mixture C, as follows:

Mixture	Pounds per Acre	Pounds per 1,000 Sq. Ft.
Tall Fescue	20	0.45
Creeping Red Fescue	20	0.45
Birdsfoot Trefoil	8	0.20
Total	48	1.10

4 Stabilized Construction Entrance

A temporary gravel construction entrance provides an area where mud can be dislodged from tires before the vehicle leaves the construction site to reduce the amount of mud and sediment transported onto paved municipal and state roads. The stone size for the pad should be between 1 and 2-inch coarse aggregate, and the pad itself constructed to a minimum length of 50' for the full width of the access road. The aggregate should be placed at least six inches thick. A plan view and profile are shown on Sheet E1 - Sediment and Erosion Control Detail Plan.

5 Environmental Dust Control

Dust will be controlled on the site by the use of multiple Best Management Practices. Mulching and temporary seeding will be the first line of protection to be utilized where problems occur. If dust problems are not solved by these applications, the use of water and calcium chloride can be applied. Calcium chloride will be applied at a rate that will keep the surface moist but not cause pollution.

7 Construction Sequence

1. Cut and remove trees and pavement in construction areas as directed or required.

2. Construct and/or install temporary and permanent sediment erosion and detention control facilities, as required (swales, berms, level spreaders, etc. Erosion, sediment and detention control facilities shall be installed and stabilized prior to any earth moving operation, and prior to directing run-off to them.

3. Clear, cut, grub, and dispose of debris in approved facilities.

4. Excavate and stockpile topsoil / loam. All disturbed areas shall be stabilized immediately after grading.

5. Begin permanent and temporary seeding and mulching. All cut and fill slopes and disturbed areas shall be seeded and mulched as required, or directed.

6. Daily, or as required, construct temporary berms, drainage ditches, check dams, sediment traps, etc. to prevent erosion on the site and prevent any siltation of abutting waters or property.

7. Inspect and maintain all erosion and sediment control measures during construction.

8. Complete permanent seeding and landscaping.

9. Remove temporary erosion control measures after seeding areas have established themselves and site improvements are complete. Smooth and re-vegetate all disturbed areas.

10. All drainage structures will be constructed and stabilized prior to having run-off being directed to them.

9 Temporary Erosion Control Measures

1. The smallest practical area of land shall be exposed at any one time.

2. Erosion, sediment and detention measures shall be installed as shown on the plans and at locations as required, or directed by the engineer.

3. All disturbed areas shall be returned to original grades and elevations. Disturbed areas shall be loamed with a minimum of 4" of loam and seeded with not less than 1.10 pound of seed per 1,000 square feet (48 pounds per acre) of area.

4. Silt fences and other barriers shall be inspected periodically and after every rainstorm during the life of the project. All damaged areas shall be repaired, sediment deposits shall periodically be removed and properly disposed of.

5. After all disturbed areas have been stabilized, the temporary erosion control measures are to be removed and the area disturbed by the removal smoothed and revegetated.

6. Areas must be seeded and mulched within 5 days of final grading, permanently stabilized within 15 days of final grading, or temporarily stabilized within 45 days of initial disturbance of soil.

10 Inspection and Maintenance Schedule

Fencing will be inspected during and after storm events to ensure that the fence still has integrity and is not allowing sediment to pass. Sediment build-up will be removed if it is deeper than six inches.

CONCLUSION

Pre vs Pro comparison
Discharge Point 1R

Storm Yr/24 hr	Existing CFS	Proposed CFS	Difference
10	1.46	0.21	-1.25

Conclusion

The intent of this report is to evaluate the re-construction of Patricia Drive and the improvement to two proposed parcels. We have evaluated the watersheds area on the property. We have determined that two small basins will control all stormwater run-off from the reconstruction of Patricia Drive and new construction area.

A Site Specific, Terrain Alteration Permit (RSA 485: A-17) is **not** required for this site plan due to the area of disturbance is less than 100,000 square feet for AOT and a SWPPP is **not** required as the disturbance is less than 1 acre.

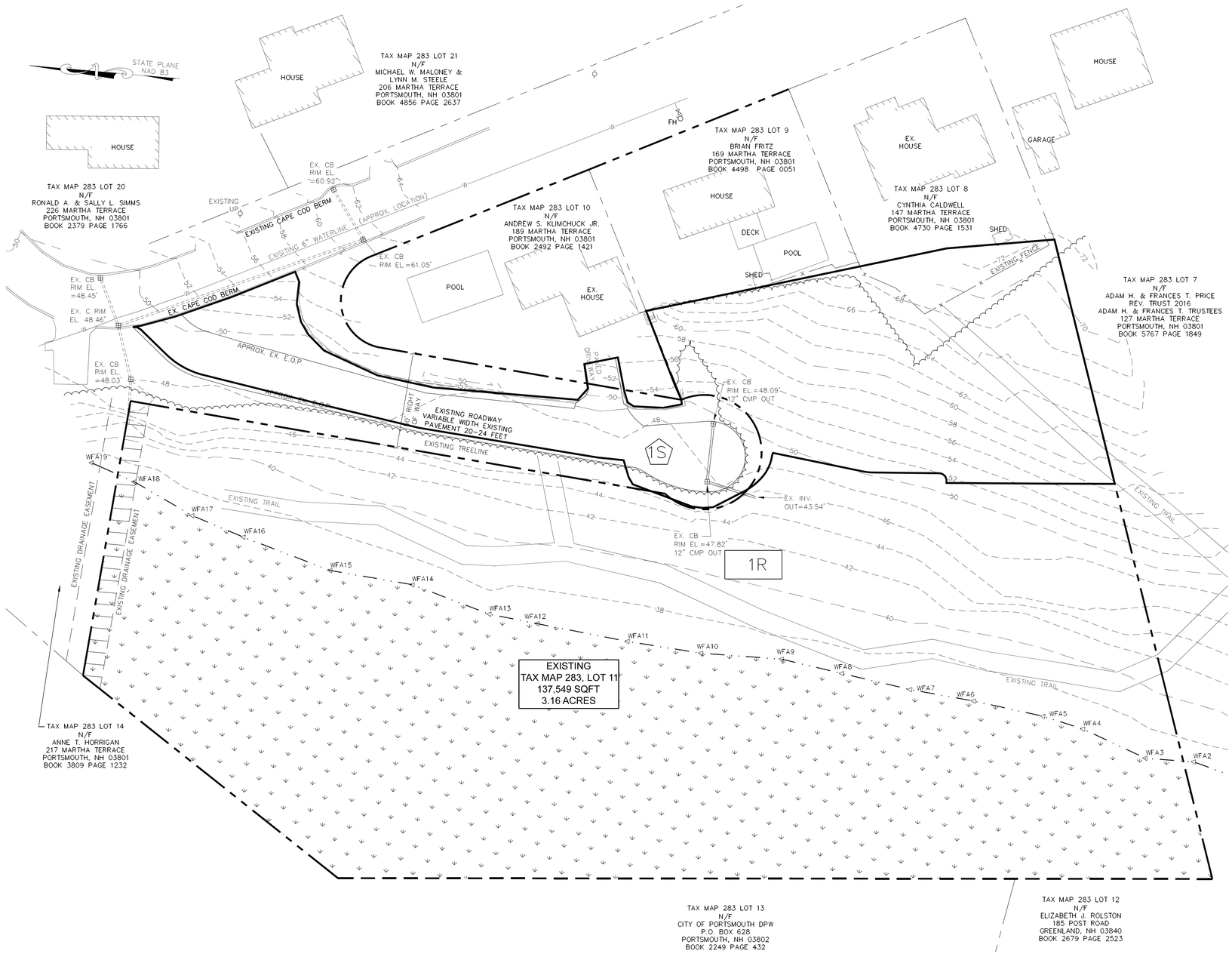
Respectfully Submitted,

New Hampshire Land Consultants, PLLC

Scott R Frankiewicz, LLS
Project Manager

Jeff Burd, PE
Project Engineer

PRE & POST WATERSHED PLANS



DRAINAGE LEGEND

- # — SUBCATCHMENT
- # — POND
- # — REACH
- # — DESIGN POINT

REVISIONS

NO.	DATE	DESCRIPTION	BY

GRAPHIC SCALE
15 7.5 0 30
SCALE: 1"=30'

N.H. LAND Consultants
SURVEYING•LAND PLANNING•REAL ESTATE
A Veteran Owned Company
683C FIRST NH TURNPIKE, NORTHWOOD, NH 03261 PH 603-942-9220 WEBSITE: INHLANDCONSULTANTS.COM

EXISTING WATERSHED PLAN
TAX MAP 283 LOT 11

DUBE PLUS CONSTRUCTION

PATRICIA DRIVE, PORTSMOUTH NH 03801

OWNED BY

FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH, 03261
BOOK 3338 PAGE 0173

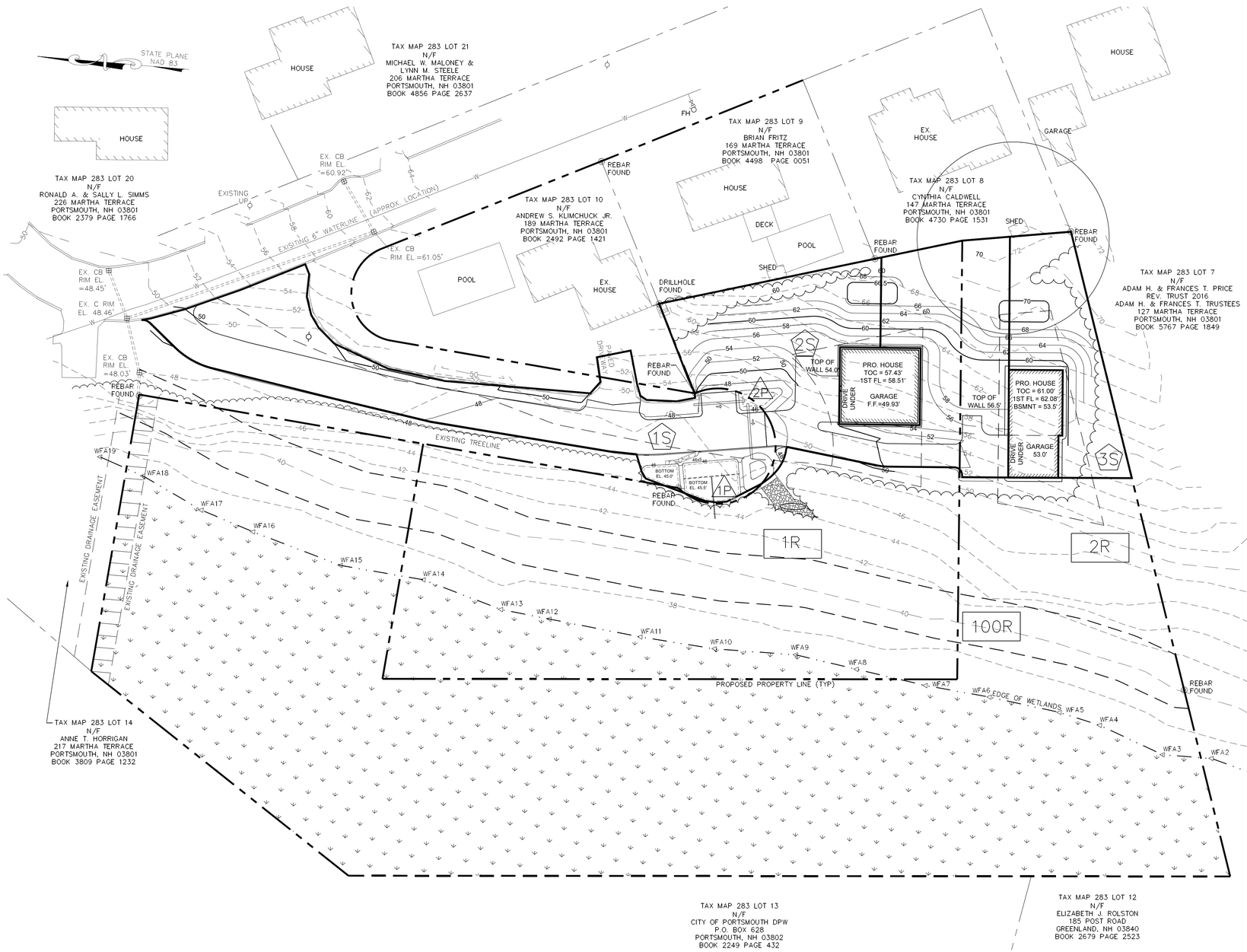
ROCKINGHAM CO.

JOB NO: 258.00

DATE: DECEMBER 23, 2020

EW

SHT. 1 of 2



DRAINAGE LEGEND

- # — SUBCATCHMENT
- # — POND
- # — REACH
- # — DESIGN POINT

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	1-14-2021	REVISED PER REVIEW	SRF

GRAPHIC SCALE
15 7.5 0 20
SCALE: 1"=30'

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A Veteran Owned Company
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6835 FIRST NH TURNPIKE, NORTHWOOD, NH 03261

PROPOSED WATERSHED PLAN
TAX MAP 283 LOT 11
DUBE PLUS CONSTRUCTION
PATRICIA DRIVE, PORTSMOUTH NH 03801
OWNED BY
FRITZ FAMILY REVOC LIV TRUST,
EDGAR H FRITZ, TRUSTEE
P.O. BOX 524, 50 SHORE DR., NORTHWOOD NH. 03261
BOOK 3338 PAGE 0173

ROCKINGHAM CO.
JOB NO: 258.00
DATE: DECEMBER 23, 2020

PW
SHT. 2 of 2

PRIVATE ROAD MAINTENANCE AGREEMENT

THIS PRIVATE ROAD MAINTENANCE AGREEMENT (this "Agreement") is made as of the ____ day of _____, 2021 by and between _____ (the "Lot 11 Owner") and _____ (the "Lot 11-1 Owner").

RECITALS:

WHEREAS, the Lot 11 Owner is the owner of a certain lot identified as City of Portsmouth Tax Map 283, Lot 11 ("Lot 11") in a subdivision in Portsmouth, New Hampshire (the "Subdivision"), as shown on a plan entitled "Proposed Subdivision Plan, Tax Map 283, Lot 11" prepared by N.H. Land Consultants for Dube Plus Construction, dated September 23, 2020 and last revised _____, approved by the City of Portsmouth Planning Board on _____, and recorded in the Rockingham County Registry of Deeds (the "Registry") as Plan No. _____ (the "Subdivision Plan");

WHEREAS, the Lot 11 Owner is the owner of City of Portsmouth Tax Map 283, Lot 11-1 ("Lot 11-1") within the Subdivision as shown on the Subdivision Plan;

WHEREAS, ingress, egress and utility access to Lot 11 and Lot 11-1 (collectively, the "Lots") is made over a private road shown on the Subdivision Plan as "Proposed Private Drive" (the "Road");

WHEREAS, the Lot 11 Owner and the Lot 11-1 Owner as the owners of the Lots utilizing the Road (each a "Lot Owner" and collectively, the "Lot Owners") desire to enter into an agreement regarding the cost of maintenance and improvements to the Road.

NOW THEREFORE, in consideration of the mutual covenants, agreements and promises contained herein and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the Lot Owners agree as follows:

AGREEMENT

1. Purpose. The Road shall be used for the purpose of ingress and egress to and from the Subdivision, by Lot Owners and their occupants, agents, employees, guests, and service and emergency vehicles and for the installation, maintenance and replacement of lines and associated infrastructure for the provision of electric, natural gas, water, sewer or other utilities servicing the Lots.

2. Road Maintenance. The parties agree that the Road shall be maintained in good operating condition at all times as necessary to insure safe access by the Lot Owners and emergency vehicles.

3. Road Maintenance Costs. The costs and expenses of any and all plowing, sanding, paving, seal coating, striping, pothole repair and all other improvements, maintenance and repairs necessary to maintain the Road, including any utilities servicing the Subdivision (the

"Road Maintenance Costs") shall be shared equally by the Lot Owners, except as otherwise provided herein. A majority vote of the Lot Owners shall be required for any Road improvements and to accept the bid for any Road improvement contract.

Notwithstanding anything herein to the contrary, each individual Lot Owner shall bear the cost of the following:

(a) Any improvements, maintenance or repairs to the Road or associated utilities performed without the prior approval of the other Lot Owners prior to performing such work, unless such work is deemed an emergency;

(b) Any improvements, maintenance or repairs to the Road or installation or replacement of utilities serving only that Lot Owner's individual Lot or Lots; and

(c) Any damage to the Road or associated utilities caused by an individual Lot Owner, family, agents, representatives or invitees.

4. Billing and Payment. Each Lot Owner shall provide to the other copies of estimates and proposals, and shall obtain the other's written approval prior to undertaking any activities within the Road for which that Lot Owner intends to seek monetary contribution from the other. The parties shall promptly share all billing information and payment information. Unless the nature and/or cost of any repair or maintenance is in dispute, each Lot Owner shall reimburse the other within thirty (30) days of documentation of payment for such work.

5. Snow Plowing. The Road shall be cleared of snow and ice so as to permit year round access. The cost shall be shared by the Lot Owners as indicated in Paragraph 4 above. Individual driveway snow plowing, if desired, will be invoiced to the individual Lot Owner directly by the snow plow contractor.

6. Parking. For the safety of the Lot Owners, no machinery, trailers, vehicles or other property may be stored on the Road.

7. Failure to Maintain. If either the Lot 11 Owner or the Lot 11-1 Owner shall fail to operate, maintain and repair any portion of the Road in accordance with such Lot Owner's obligations hereunder, and if such failure has not been fully remedied after thirty (30) days prior written notice, the other Lot Owner may perform such operation, maintenance or repair, in such manner as reasonably deemed necessary, for and on the account of the non-performing Lot Owner. In the event of any emergency or other circumstances requiring earlier action (including specifically, but without limitation, failure to perform snow and/or ice removal in a timely fashion), no prior notice shall be required hereunder. In the event of such action, the non-performing Lot Owner shall be required to reimburse the performing Lot Owner, within thirty (30) days, for the actual and reasonable costs incurred in such performance, to the extent that the performing Lot Owner was not financially responsible for such performance.

8. Dispute Resolution. In the event a dispute arises hereunder, the Lot Owners shall attempt to amicably resolve the dispute, failing which each shall be entitled to pursue any and all remedies at law or in equity.

9. Lien; Enforcement. Any assessment made against any Lot Owner for that Lot Owner's share of the Road Maintenance Costs shall be a lien and charge upon the Lot against which each such assessment is made, which lien shall continue until the assessment is paid and shall be the personal obligation of the Lot Owner. Notwithstanding anything herein to the contrary, mediation and arbitration shall not be required for any civil action to enforce payment of the delinquent assessment or to foreclose the lien against the Lot, and there shall be added to the amount of such assessment due all costs of collection. In the event a judgment is obtained, such judgment shall include interest on the assessment, together with all attorney's fees and expenses and costs of the action.

10. Notice. Any notice required to be given under this Agreement shall be in writing and either (i) hand delivered or (ii) mailed to the address to which the Lot Owner's property tax bills are sent.

11. Invalidity. Should any provision in this Agreement be deemed invalid or unenforceable, the remainder of the Agreement shall not be affected and each term and condition shall be valid and enforceable to the extent permitted by law.

12. Assignment; Successors: This Agreement shall be binding upon and shall inure to the benefit of the parties, their successors and assigns.

13. Governing Law; Counterparts; Integration; Amendments: This Agreement shall be governed and construed in accordance with the laws of the State of New Hampshire, as amended from time to time, without regard to principles of conflicts of laws. This Agreement may be executed in counterparts, which together, shall constitute but one original. This Agreement contains the entire agreement between the parties relating to the subject matter hereof and supercedes all oral statements and prior writing with respect thereto and may not be terminated or amended except as provided herein. This Agreement may be amended only in a writing executed by the parties.

[remainder of page intentionally left blank]

IN WITNESS WHEREOF, the parties have executed this Agreement as of the day and year first above written.

LOT 11 OWNER

_____ _____

Witness [Name]

LOT 11-1 OWNER

_____ _____

Witness [Name]

N.H. LAND Consultants
SURVEYING • LAND PLANNING • REAL ESTATE
A Veteran Owned Company

683C First New Hampshire Turnpike, Northwood, NH 03261
Phone 942-9220 Cell 833-5913

City of Portsmouth, NH
Department of Public Works
680 Peverly Hill Road
Portsmouth, NH 03801

Re: Patricia Drive, Subdivision Application review by DPW received 1-15-2021

Date: 1-27-21

Re: response to mark up by Portsmouth DPW, Received 1-15-2021

1. Add delineation of Public and Private roadway maintenance.

   Response: We've added the delineation of the Public vs Private roadway maintenance. See sheet 9 of 10.

2. Water easement for access to values, meters and leak detection on Sheet 9.

   Response: See note #19 on several sheets within the plan set stating the City of Portsmouth's Department of Public Works has a blanket easement for maintenance, repairs or replacements of the waterlines and water system. This will also be included in the deeds when the parcels are transferred.

3. Revised Rain Garden detail and add elevations.

   Response: The Rain Garden Detail has been revised as requested with elevations of each layer of material. See sheet 10 of 10 for details.

4. Move the location of the values and waterlines to houses per sketch.

   Response: See sheet 7 of 10, Utility Plan, for the revised locations and details.

5. Revise cross section detail on sheet 4 of 10 per sketch.

Response: See sheet 4 of 10 for the revised detail as requested.

Please feel free to reach out to us with further questions or comments on this response letter and the revised plans.

Respectfully submitted,
Scott R. Frankiewicz, LLS
New Hampshire Land Consultants, PLLC

City of Portsmouth, New Hampshire

Subdivision Application Checklist

This subdivision application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision review requirements. Please refer to the Subdivision review regulations for full details.

Applicant Responsibilities (Section III.C): Applicable fees are due upon application submittal along with required number of copies of the Preliminary or final plat and supporting documents and studies. Please consult with Planning staff for submittal requirements.

Owner: Fritz Family Revocable Living Trust Date Submitted: 9-22-2020

Applicant: Dube Plus Construction

Phone Number: 603-944-7530 E-mail: mgarrepy@gmail.com

Site Address 1: Patricia Drive Map: 283 Lot: 11

Site Address 2: _____ Map: _____ Lot: _____

Application Requirements			
☑	**Required Items for Submittal**	**Item Location (e.g. Page or Plan Sheet/Note #)**	**Waiver Requested**
☒	Completed Application form. **(III.C.2-3)**		N/A
☒	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). **(III.C.4)**		N/A

Requirements for Preliminary/Final Plat				
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Required for Preliminary / Final Plat**	**Waiver Requested**
☒	Name and address of record owner, any option holders, descriptive name of subdivision, engineer and/or surveyor or name of person who prepared the plat. **(Section IV.1/V.1)**	**Sheet 1 of 9**	☑ Preliminary Plat ☑ Final Plat	N/A

Requirements for Preliminary/Final Plat				
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Required for Preliminary / Final Plat**	**Waiver Requested**
X	**Preliminary Plat** Names and addresses of all adjoining property owners. **(Section IV.2)** **Final Plat** Names and addresses of all abutting property owners, locations of buildings within one hundred (100) feet of the parcel, and any new house numbers within the subdivision. **(Section V.2)**	**Sheet 2-8 of 9**	☑ Preliminary Plat ☑ Final Plat	N/A
X	North point, date, and bar scale. **(Section IV.3/V3)**	Required on all Plan Sheets	☑ Preliminary Plat ☑ Final Plat	N/A
X	Zoning classification and minimum yard dimensions required. **(Section IV.4/V.4)**	**Sheets 1-8 of 9**	☑ Preliminary Plat ☑ Final Plat	N/A
X	**Preliminary Plat** Scale (not to be smaller than one hundred (100) feet = 1 inch) and location map (at a scale of 1" = 1000'). **(Section IV.5)** **Final Plat** Scale (not to be smaller than 1"=100'), Location map (at a scale of 1"=1,000') showing the property being subdivided and its relation to the surrounding area within a radius of 2,000 feet. Said location map shall delineate all streets and other major physical features that my either affect or be affected by the proposed development. **(Section V.5)**	**Sheets 1-8 of 9**	☑ Preliminary Plat ☑ Final Plat	N/A
X	Location and approximate dimensions of all existing and proposed property lines including the entire area proposed to be subdivided, the areas of proposed lots, and any adjacent parcels in the same ownership. **(Section IV.6)**	**Sheets 2 & 8 of 9**	☑ Preliminary Plat ☑ Final Plat	
X	Dimensions and areas of all lots and any and all property to be dedicated or reserved for schools, parks, playgrounds, or other public purpose. Dimensions shall include radii and length of all arcs and calculated bearing for all straight lines. **(Section V.6/ IV.7)**	**Sheets 2 & 8 of 9**	☑ Preliminary Plat ☑ Final Plat	N/A
X	Location, names, and present widths of all adjacent streets, with a designation as to whether public or private and approximate location of existing utilities to be used. Curbs and sidewalks shall be shown. **(Section IV.8/V.7)**	**Sheets 2-8 of 9**	☑ Preliminary Plat ☑ Final Plat	

Requirements for Preliminary/Final Plat				
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Required for Preliminary / Final Plat**	**Waiver Requested**
x	Location of significant physical features, including bodies of water, watercourses, wetlands, railroads, important vegetation, stone walls and soils types that my influence the design of the subdivision. **(Section IV.9/V.8)**	**Sheets 2-5 of 9**	☑ Preliminary Plat ☑ Final Plat	
x	**Preliminary Plat** Proposed locations, widths and other dimensions of all new streets and utilities, including water mains, storm and sanitary sewer mains, catch basins and culverts, street lights, fire hydrants, sewerage pump stations, etc. **(Section IV.10)** **Final Plat** Proposed locations and profiles of all proposed streets and utilities, including water mains, storm and sanitary sewer mains, catchbasins and culverts, together with typical cross sections. Profiles shall be drawn to a horizontal scale of 1"=50' and a vertical scale of 1"=5', showing existing centerline grade, existing left and right sideline grades, and proposed centerline grade. **(Section V.9)**	**Sheets 2-8 of 9**	☑ Preliminary Plat ☑ Final Plat	
x	When required by the Board, the plat shall be accompanied by profiles of proposed street grades, including extensions for a reasonable distance beyond the subject land; also grades and sizes of proposed utilities. **(Section IV.10)**		☑ Preliminary Plat ☑ Final Plat	**n/a**
x	Base flood elevation (BFE) for subdivisions involving greater than five (5) acres or fifty (50) lots. **(Section IV.11)**		☑ Preliminary Plat ☑ Final Plat	N/A
x	For subdivisions of five (5) lots or more, or at the discretion of the Board otherwise, the preliminary plat shall show contours at intervals no greater than two (2) feet. Contours shall be shown in dotted lines for existing natural surface and in solid lines for proposed final grade, together with the final grade elevations shown in figures at all lot corners. If existing grades are not to be changed, then the contours in these areas shall be solid lines. **(Section IV.12/ V.12)**	**Sheets 2-5 of 9**	☑ Preliminary Plat ☑ Final Plat	**n/a**

Requirements for Preliminary/Final Plat				
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Required for Preliminary / Final Plat**	**Waiver Requested**
☒	Dates and permit numbers of all necessary permits from governmental agencies from which approval is required by Federal or State law. **(Section V.10)**	**Sheet 1 of 9**	☐ Preliminary Plat ☑ Final Plat	
☐	For subdivisions involving greater than five (5) acres or fifty (50) lots, the final plat shall show hazard zones and shall include elevation data for flood hazard zones. **(Section V.11)**		☐ Preliminary Plat ☑ Final Plat	N/A
☒	Location of all permanent monuments. **(Section V.12)**	**Sheet 1-5 &8 of 9**	☐ Preliminary Plat ☑ Final Plat	

General Requirements[1]			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☒	**1. Basic Requirements: (VI.1)**		
☐	a. Conformity to Official Plan or Map	**Sheets 3-8 of 9**	
☐	b. Hazards		
☐	c. Relation to Topography		
☐	d. Planned Unit Development		
☒	**2. Lots: (VI.2)**		
☒	a. Lot Arrangement	**Sheets 3-8 of 9**	
☒	b. Lot sizes		
☐	c. Commercial and Industrial Lots		N/A
☒	**3. Streets: (VI.3)**		
☒	a. Relation to adjoining Street System	**Sheets 2-8 of 9**	
☒	b. Street Rights-of-Way		
☒	c. Access		
☐	d. Parallel Service Roads		
☐	e. Street Intersection Angles		
☐	f. Merging Streets		
☐	g. Street Deflections and Vertical Alignment		
☐	h. Marginal Access Streets		
☒	i. Cul-de-Sacs		
☐	j. Rounding Street Corners		
☐	k. Street Name Signs		
☐	l. Street Names		
☐	m. Block Lengths		
☐	n. Block Widths		
☐	o. Grade of Streets		
☐	p. Grass Strips		
☒	**4. Curbing: (VI.4)**	**Sheet 4, 9 of 9**	
☒	**5. Driveways: (VI.5)**	**Sheets 3-8 of 9**	
☒	**6. Drainage Improvements: (VI.6)**	**Sheet 4 of 9**	
☒	**7. Municipal Water Service: (VI.7)**	**Sheet 6 of 9**	
☐	**8. Municipal Sewer Service: (VI.8)**		N/A
☐	**9. Installation of Utilities: (VI.9)**		
☐	a. All Districts		N/A
☐	b. Indicator Tape		
☐	**10. On-Site Water Supply: (VI.10)**		N/A
☒	**11. On-Site Sewage Disposal Systems: (VI.11)**	**Sheet 7 of 9**	
☒	**12. Open Space: (VI.12)**		
☒	a. Natural Features		
☒	b. Buffer Strips		N/A
☐	c. Parks		
☐	d. Tree Planting		
☐	**13. Flood Hazard Areas: (VI.13)**		
☐	a. Permits		
☐	b. Minimization of Flood Damage		
☐	c. Elevation and Flood-Proofing Records		N/A
☐	d. Alteration of Watercourses		
☒	**14. Erosion and Sedimentation Control (VI.14)**	**Sheet 4 of 9**	

☑	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☒ ☒ ☒	**15. Easements (VI.15)** a. Utilities b. Drainage	**Sheet 8 of 9**	
☒	**16. Monuments: (VI.16)**		
☒	**17. Benchmarks: (VI.17)**		
☐	**18. House Numbers (VI.18)**		

Design Standards			
	Required Items for Submittal	**Indicate compliance and/or provide explanation as to alternative design**	**Waiver Requested**
☒	**1. Streets have been designed according to the design standards required under Section (VII.1).** a. Clearing b. Excavation c. Rough Grade and Preparation of Sub-Grade d. Base Course e. Street Paving f. Side Slopes g. Approval Specifications h. Curbing i. Sidewalks j. Inspection and Methods	**Sheets 3-8 of 9**	
☒	**2. Storm water Sewers and Other Drainage Appurtenances have been designed according to the design standards required under Section (VII.2).** a. Design b. Standards of Construction	**Sheet 4 of 9**	
☒	**3. Sanitary Sewers have been designed according to the design standards required under Section (VII.3).** a. Design b. Lift Stations c. Materials d. Construction Standards	**individual septic systems will be designed for each parcel**	
☒	**4. Water Mains and Fire Hydrants have been designed according to the design standards required under Section (VII.4).** a. Connections to Lots b. Design and Construction c. Materials d. Notification Prior to Construction	**Sheet 6 of 9**	

Applicant's/Representative's Signature:_____ **Date:** 9/22/2020

[1] See City of Portsmouth, NH Subdivision Rules and Regulations for details.