

**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

April 25, 2023

Peter Britz, Director of Planning and Sustainability  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Application for Site Plan Review  
Reis Farm  
Assessor's Map 255, Lot 5  
305 Peverly Hill Road  
Altus Project No. 5411**

Dear Peter,

Enclosed please find application materials for the May 18, 2023 Planning Board hearing. Per the April 4, 2023 TAC conditions, we have submitted the septic design to DPW for review as well as a revised site plan to the Fire Department. Correspondence from both signing off on the plans is attached. In addition, the septic design has been approved by NHDES and we have no other outstanding state permits.

Please call me if you have any questions or need any additional information.

Sincerely,

**ALTUS ENGINEERING**

A handwritten signature in red ink, appearing to read "EBS: [initials]", is written over a faint, dashed rectangular box.

Erik B. Saari  
Vice President

ebs/5411.00-APP-PB-CovLtr-042523

Enclosures

eCopy: Jim Reis



# City of Portsmouth, New Hampshire

## Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

**Applicant Responsibilities (Section 2.5.2):** Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Thomas E., Marybeth B.,  
 Name of Applicant: James B. and Meegan C. Reis Date Submitted: February 21, 2023

Application # (in City's online permitting): LU-23-

Site Address: 305 Peverly Hill Road Map: 255 Lot: 5

Application Requirements			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Complete <a href="#">application</a> form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	Viewpoint	N/A
<input checked="" type="checkbox"/>	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	Viewpoint	N/A

Site Plan Review Application Required Information			
<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Green Statement	
<input checked="" type="checkbox"/>	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Application, Sheet C-2	N/A
<input checked="" type="checkbox"/>	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	Sheets C-1 and C-2	N/A

<b>Site Plan Review Application Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. <b>(2.5.3.1E)</b>	Cover Sheet, LOA	N/A
<input checked="" type="checkbox"/>	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. <b>(2.5.3.1F)</b>	Abutters List	N/A
<input checked="" type="checkbox"/>	Names, addresses and telephone numbers of all professionals involved in the site plan design. <b>(2.5.3.1G)</b>	Cover Sheet	N/A
<input checked="" type="checkbox"/>	List of reference plans. <b>(2.5.3.1H)</b>	Sheet C-1	N/A
<input checked="" type="checkbox"/>	List of names and contact information of all public or private utilities servicing the site. <b>(2.5.3.1I)</b>	Sheet C-3, Note #14	N/A

<b>Site Plan Specifications</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. <b>(2.5.4.1A)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. <b>(2.5.4.1B)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. <b>(2.5.4.1C)</b>	All relevant sheets	N/A
<input checked="" type="checkbox"/>	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. <b>(2.5.4.1D)</b>	Required on all plan sheets	N/A
<input type="checkbox"/>	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. <b>(2.5.4.1E)</b>	N/A (no wetlands present)	N/A
<input checked="" type="checkbox"/>	Title (name of development project), north point, scale, legend. <b>(2.5.4.2A)</b>	All relevant sheets	N/A
<input checked="" type="checkbox"/>	Date plans first submitted, date and explanation of revisions. <b>(2.5.4.2B)</b>	All relevant sheets	N/A
<input checked="" type="checkbox"/>	Individual plan sheet title that clearly describes the information that is displayed. <b>(2.5.4.2C)</b>	Required on all plan sheets	N/A
<input checked="" type="checkbox"/>	Source and date of data displayed on the plan. <b>(2.5.4.2D)</b>	All relevant sheets	N/A

**Site Plan Specifications – Required Exhibits and Data**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	<p><b>1. Existing Conditions: (2.5.4.3A)</b></p> <ul style="list-style-type: none"> <li>• Surveyed plan of site showing existing natural and built features;</li> <li>• Existing building footprints and gross floor area;</li> <li>• Existing parking areas and number of parking spaces provided;</li> <li>• Zoning district boundaries;</li> <li>• Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre;</li> <li>• Existing impervious and disturbed areas;</li> <li>• Limits and type of existing vegetation;</li> <li>• Wetland delineation, wetland function and value assessment (including vernal pools);</li> <li>• SFHA, 100-year flood elevation line and BFE data, as required.</li> </ul>	Sheet C-1	
<input checked="" type="checkbox"/>	<p><b>2. Buildings and Structures: (2.5.4.3B)</b></p> <ul style="list-style-type: none"> <li>• Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;</li> <li>• Elevations: Height, massing, placement, materials, lighting, façade treatments;</li> <li>• Total Floor Area;</li> <li>• Number of Usable Floors;</li> <li>• Gross floor area by floor and use.</li> </ul>	Sheet C-2 and Building Plans	
<input checked="" type="checkbox"/>	<p><b>3. Access and Circulation: (2.5.4.3C)</b></p> <ul style="list-style-type: none"> <li>• Location/width of access ways within site;</li> <li>• Location of curbing, right of ways, edge of pavement and sidewalks;</li> <li>• Location, type, size and design of traffic signing (pavement markings);</li> <li>• Names/layout of existing abutting streets;</li> <li>• Driveway curb cuts for abutting prop. and public roads;</li> <li>• If subdivision; Names of all roads, right of way lines and easements noted;</li> <li>• AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).</li> </ul>	Sheets C-1, C-2 & C-3	
<input checked="" type="checkbox"/>	<p><b>4. Parking and Loading: (2.5.4.3D)</b></p> <ul style="list-style-type: none"> <li>• Location of off street parking/loading areas, landscaped areas/buffers;</li> <li>• Parking Calculations (# required and the # provided).</li> </ul>	Sheet C-2, Note #4	
<input checked="" type="checkbox"/>	<p><b>5. Water Infrastructure: (2.5.4.3E)</b></p> <ul style="list-style-type: none"> <li>• Size, type and location of water mains, shut-offs, hydrants &amp; Engineering data;</li> <li>• Location of wells and monitoring wells (include protective radii).</li> </ul>	Sheets C-2 & C-3	
<input checked="" type="checkbox"/>	<p><b>6. Sewer Infrastructure: (2.5.4.3F)</b></p> <ul style="list-style-type: none"> <li>• Size, type and location of sanitary sewage facilities &amp; Engineering data, including any onsite temporary facilities during construction period.</li> </ul>	Sheet C-2	

<input checked="" type="checkbox"/>	<b>7. Utilities: (2.5.4.3G)</b> <ul style="list-style-type: none"> <li>The size, type and location of all above &amp; below ground utilities;</li> <li>Size type and location of generator pads, transformers and other fixtures.</li> </ul>	Sheet C-2 & C-3	
<input checked="" type="checkbox"/>	<b>8. Solid Waste Facilities: (2.5.4.3H)</b>		
	<ul style="list-style-type: none"> <li>The size, type and location of solid waste facilities.</li> </ul>	Sheet C-2, Note #14	
<input type="checkbox"/>	<b>9. Storm water Management: (2.5.4.3I)</b> <ul style="list-style-type: none"> <li>The location, elevation and layout of all storm-water drainage.</li> <li>The location of onsite snow storage areas and/or proposed off-site snow removal provisions.</li> <li>Location and containment measures for any salt storage facilities</li> <li>Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures.</li> </ul>	N/A (none proposed) Sheet C-2  N/A (none proposed) N/A (none proposed)	
<input type="checkbox"/>	<b>10. Outdoor Lighting: (2.5.4.3J)</b> <ul style="list-style-type: none"> <li>Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan.</li> </ul>		Waiver
<input type="checkbox"/>	<b>11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)</b>		Waiver
<input type="checkbox"/>	<b>12. Landscaping: (2.5.4.3K)</b> <ul style="list-style-type: none"> <li>Identify all undisturbed area, existing vegetation and that which is to be retained;</li> <li>Location of any irrigation system and water source.</li> </ul>		Waiver
<input checked="" type="checkbox"/>	<b>13. Contours and Elevation: (2.5.4.3L)</b> <ul style="list-style-type: none"> <li>Existing/Proposed contours (2 foot minimum) and finished grade elevations.</li> </ul>	Sheets C-1 & C-2	
<input checked="" type="checkbox"/>	<b>14. Open Space: (2.5.4.3M)</b> <ul style="list-style-type: none"> <li>Type, extent and location of all existing/proposed open space.</li> </ul>	Sheets C-1, C-2 & C-3	
<input checked="" type="checkbox"/>	<b>15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)</b>	Deeds	
<input type="checkbox"/>	<b>16. Character/Civic District (All following information shall be included): (2.5.4.3P)</b> <ul style="list-style-type: none"> <li>Applicable Building Height (10.5A21.20 &amp; 10.5A43.30);</li> <li>Applicable Special Requirements (10.5A21.30);</li> <li>Proposed building form/type (10.5A43);</li> <li>Proposed community space (10.5A46).</li> </ul>	N/A (not in a character district)	
<input type="checkbox"/>	<b>17. Special Flood Hazard Areas (2.5.4.3Q)</b> <ul style="list-style-type: none"> <li>The proposed development is consistent with the need to minimize flood damage;</li> <li>All public utilities and facilities are located and construction to minimize or eliminate flood damage;</li> <li>Adequate drainage is provided so as to reduce exposure to flood hazards.</li> </ul>	N/A (not in a flood zone)	

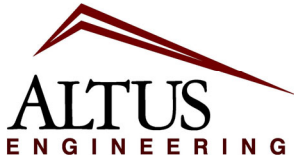
<b>Other Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	Traffic Impact Study or Trip Generation Report, as required. <b>(3.2.1-2)</b>	Traffic Memo	
<input checked="" type="checkbox"/>	Indicate where Low Impact Development Design practices have been incorporated. <b>(7.1)</b>	Sheet C-2	
<input checked="" type="checkbox"/>	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. <b>(7.3.1)</b>	Sheet C-2, Note 9	
<input type="checkbox"/>	Stormwater Management and Erosion Control Plan. <b>(7.4)</b>		Waiver
<input type="checkbox"/>	Inspection and Maintenance Plan <b>(7.6.5)</b>		Waiver

<b>Final Site Plan Approval Required Information</b>			
<input checked="" type="checkbox"/>	<b>Required Items for Submittal</b>	<b>Item Location (e.g. Page/line or Plan Sheet/Note #)</b>	<b>Waiver Requested</b>
<input checked="" type="checkbox"/>	All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> <li>• Waivers;</li> <li>• Driveway permits;</li> <li>• Special exceptions;</li> <li>• Variances granted;</li> <li>• Easements;</li> <li>• Licenses.</li> </ul> <b>(2.5.3.2A)</b>	Waiver Request N/A (none req.) N/A (none req.) Sheet C-2, Note 7 N/A (none req.) N/A (none req.)	
<input type="checkbox"/>	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> <li>• Calculations relating to stormwater runoff;</li> <li>• Information on composition and quantity of water demand and wastewater generated;</li> <li>• Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls;</li> <li>• Estimates of traffic generation and counts pre- and post-construction;</li> <li>• Estimates of noise generation;</li> <li>• A Stormwater Management and Erosion Control Plan;</li> <li>• Endangered species and archaeological / historical studies;</li> <li>• Wetland and water body (coastal and inland) delineations;</li> <li>• Environmental impact studies.</li> </ul> <b>(2.5.3.2B)</b>	None requested	
<input type="checkbox"/>	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. <b>(2.5.3.2D)</b>	N/A (site already served by utilities)	

**Final Site Plan Approval Required Information**

<input checked="" type="checkbox"/>	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
<input checked="" type="checkbox"/>	A list of any required state and federal permit applications required for the project and the status of same. <b>(2.5.3.2E)</b>	Cover Sheet	
<input checked="" type="checkbox"/>	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." <b>(2.5.4.2E)</b>	Sheet C-2, Note 15	N/A
<input type="checkbox"/>	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. <b>(2.5.4.2F)</b>	N/A (not in a flood zone)	
<input checked="" type="checkbox"/>	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." <b>(2.13.3)</b>	Sheet C-2, Note 16  Sheet C-2, Note 17	N/A

Applicant's Signature: ES: [Signature] Date: February 21, 2023  
 Erik Saari, Altus Engineering (Agent)



**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

February 21, 2023

Peter Britz, Planning Director  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Application for Site Plan Review  
Reis Farm  
Assessor's Map 255, Lot 5  
305 Peverly Hill Road  
Altus Project No. 5411**

Dear Peter,

On behalf of the Applicant, Thomas E., Marybeth B., James B. and Meegan C. Reis, Altus Engineering, respectfully submits an application for the addition of two new dwelling units located at 305 Peverly Hill Road. This project entails the reconstruction of a portion of an existing structure into a new attached dwelling and the construction of a new detached single-family home together with associated site improvements. As I am sure you are aware, the Zoning Board of Adjustment granted two variances for this property on January 24, 2023 to allow the project to move forward as described above.

Please call me if you have any questions or need any additional information.

Sincerely,

**ALTUS ENGINEERING**

A handwritten signature in red ink, appearing to read "EBS: [unclear]", is written over a faint, light-colored rectangular stamp or watermark.

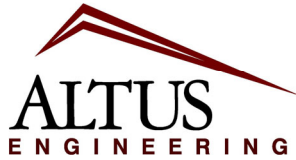
Erik B. Saari  
Vice President

ebs/5411-APP-PB-CovLtr-022123

Enclosures

eCopy: Jim Reis





*Civil  
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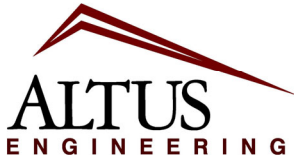
133 Court Street  
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03801-4413

**“Green” Statement  
Assessor’s Map 255 Lot 5  
Reis Farm  
305 Peverly Hill Road  
Altus Project 5411**

Pursuant to Section 2.5.3.1(a) of the Site Plan Review Regulations, Altus Engineering respectfully submits the following list of the project’s “green” components for the addition of two dwelling units at 305 Peverly Road:

- All new construction will meet or exceed all applicable current energy codes.
- The addition of these dwelling units allows for the continued use of the site as a working farm.
- Stone drip edges will be employed for new structures to reduce erosion and promote groundwater recharge.

ebs/5411-APP-PB-GreenStatement-022123



**Civil  
Site Planning  
Environmental  
Engineering**

133 Court Street  
Portsmouth, NH  
03801-4413

February 21, 2023

Peter Britz, Planning Director  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Traffic Memorandum  
Reis Farm  
Assessor's Map 255, Lot 5  
305 Peverly Hill Road  
Altus Project No. 5411**

Dear Peter,

Pursuant to the requirements of section 3.2.1-2 of the Portsmouth Site Plan Review Regulations, we have undertaken a basic study of the potential traffic impacts resultant of the proposed addition of two dwelling units to the Reis Farm on Peverly Hill Road. following assessment is based on *Trip Generation*, 11th edition, prepared by the Institute of Transportation Engineers (ITE). We have defaulted to the AM and PM peak hour of generator versus the peak hour of adjacent street traffic as this resulted in a slightly higher number of trip ends.

As shown below, the site can be expected to generate the following traffic volumes during a typical Peak Hour:

ITE Land Use Code: 210 (Single-Family Detached Housing)

Weekday (Entire Day)

Trip ends per Dwelling Unit: 9.43

(3 units)  $9.43 = 28.29$  trips rounded down to **28** (50% entering [14], 50% exiting [14])

Weekday (AM Peak Hour of Generator)

Trip ends per Dwelling Unit: 0.75

(3 units)  $0.75 = 2.25$  trips rounded down to **2** (30% entering [1], 70% exiting [1])

Weekday (PM Peak Hour of Generator)

Trip ends per Dwelling Unit: 0.99

(3 units)  $0.99 = 2.97$  trips rounded up to **3** (66% entering [2], 34% exiting [1])

Saturday (Entire Day)

Trip ends per Dwelling Unit: 9.48

(3 units)  $9.48 = 28.44$  trips rounded down to **28** (50% entering [14], 50% exiting [14])

Saturday (Peak Hour of Generator)

Trip ends per Dwelling Unit: 0.92

(3 units)  $0.92 = 2.76$  trips rounded up to **3** (54% entering [2], 46% exiting [1])

Sunday (Entire Day)

Trip ends per Dwelling Unit: 8.48

(3 units)  $8.48 = 25.44$  trips rounded down to **25** (50% entering [13], 50% exiting [12])

Sunday (Peak Hour of Generator)

Trip ends per Dwelling Unit: 0.83

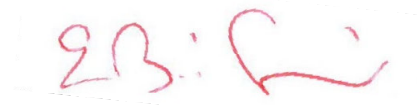
(3 units)  $0.83 = 2.49$  trips rounded down to **2** (50% entering [1], 50% exiting [1])

Per the above analysis, we calculated that the proposed residences can be expected to generate a maximum of 28 trip ends on a Saturday with similar volume on weekdays. Maximum daily peaks are shown to be only three cars in the PM hour which equates to one car every twenty minutes. Based on this information, we conclude that this project will have a minimal impact on traffic in the vicinity of the site.

Please call me if you have any questions or need any additional information.

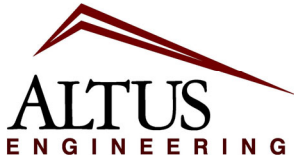
Sincerely,

**ALTUS ENGINEERING, INC.**



Erik B. Saari  
Vice President

ebs/5411-Traffic



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Portsmouth, NH  
03801-4413

February 21, 2023

Peter Britz, Planning Director  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, New Hampshire 03801

**Re: Waiver Requests  
Reis Farm  
Assessor's Map 255, Lot 5  
305 Peverly Hill Road  
Altus Project No. 5411**

Dear Peter,

On behalf of the Applicant, Thomas E., Marybeth B., James B. and Meegan C. Reis, Altus Engineering, we respectfully ask that the following waivers be considered for the above referenced project:

#### 2.5.4.3J - Outdoor Lighting

Given that this is a private residential/agricultural project and not a formalized site plan like a retail establishment with a large parking lot, the requirement for an analysis of outdoor lighting is unnecessary. The only new lighting will be associated with the two new dwellings and will be limited to typical wall sconces and the like. No large-scale light fixtures that one would find on a commercial site are planned to be installed. Therefore, a photometric plan would be excessive.

#### 10.1 - Dark Sky Lighting Measures

Similar to above, the only new lights that will be installed on the site will be limited to residential-scale fixtures incapable of causing the level of glare that this section of the ordinance is attempting to limit. As no light poles or other commercial-grade fixtures are intended, application of this standard is impractical.

#### 2.5.4.3K – Landscaping

This is a private residential/agricultural property, not a commercial site where a formalized landscaping plan would be desirable. As it is obvious that the Reis family have been and will continue to be good stewards of the land, we have no doubt that they will implement their own tasteful landscaping regimen that fits the property and its use. Because of this, a landscape plan is unnecessary.

#### 7.4 - Stormwater Management Plan

No new drainage structures and only 1,846 sf of new impervious surface is proposed as part of this project, none of which is roadway or parking lot. This minimizes the need for stormwater detention and treatment, particularly where any potential increase in runoff or erosion will be mitigated by the inclusion of stone drip edges at the new roof edges. In light of this, a stormwater management plan would be an excessive burden on the Applicant.

#### 7.6.5 - Inspection and Maintenance Plan

As stated above, there are no drainage structures included in this proposal. This makes an inspection and maintenance plan irrelevant as there will be nothing to inspect or maintain.

Please call me if you have any questions or need any additional information.

Sincerely,

**ALTUS ENGINEERING**



Erik B. Saari  
Vice President

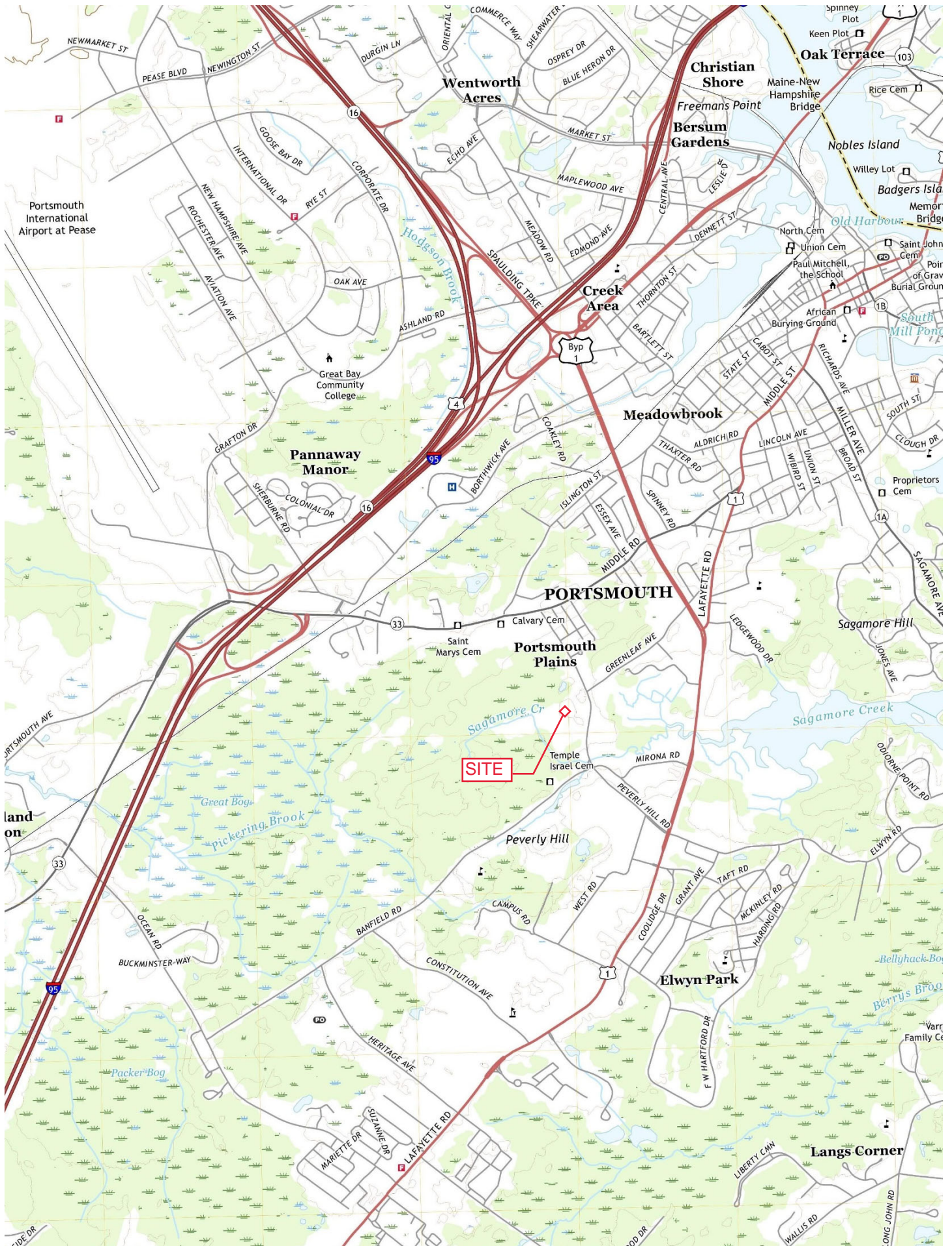
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Enclosures

eCopy: Jim Reis

# Abutters List - 305 Peverly Hill Road

Property ID	Site Address	Account	Owner Name	Owner Name 2	Owner Address	City	State	Zip
0242-0004-0000	83 PEVERLY HILL RD	30759	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
0243-0008-0000	433 GREENLEAF AVE	30761	FLEMING DONNA	FLEMING SAROJ A	433 GREENLEAF AVE	PORTSMOUTH	NH	03801
0243-0009-0000	423 PEVERLY HILL RD	30762	LIEN HSIU Y	CHOE HYON S	423 PEVERLY HILL RD	PORTSMOUTH	NH	03801
0243-0010-0000	437 PEVERLY HILL RD	30763	GALARNEAU THOMAS M	GALARNEAU JESSICA A	437 PEVERLY HILL RD	PORTSMOUTH	NH	03801
0243-0011-0000	451 PEVERLY HILL RD	30764	LEONARD STEVEN P		451 PEVERLY HILL RD	PORTSMOUTH	NH	03801
0243-0012-0000	465 PEVERLY HILL RD	30765	SHORTILL KUMIKO ANEE		465 PEVERLY HILL RD	PORTSMOUTH	NH	03801
0243-0058-0000	300 PEVERLY HILL RD	30805	SCHWARTZ JACOB H	DAVIS KRISTEN N	300 PEVERLY HILL RD	PORTSMOUTH	NH	03801
0243-0059-0000	384 PEVERLY HILL RD	30806	FINBERG STEPHEN J REV TR	FINBERG MELISSA A REV TR	384 PEVERLY HILL ROAD	PORTSMOUTH	NH	03801
0255-0006-0000	303 PEVERLY HILL RD	31176	STEVENS BOYD J	STEVENS RHONDA H	303 PEVERLY HILL RD	PORTSMOUTH	NH	03801
0255-0008-0000	293 PEVERLY HILL RD	31178	MERRIMACK VALLEY HOMES INC		1794 BRIDGE ST UNIT 6	DRACUT	MA	01826
0256-0003-0000	PEVERLY HILL RD	31181	GARRETT SHIRLEY N REVOC TRUST 200	GARRETT SHIRLEY N TRUSTEE	BARBERRY LANE	PORTSMOUTH	NH	03801
0244-0009-0000	535 PEVERLY HILL RD	35655	535 PEVERLY HILL LLC		6 SHEARWATER ST	DURHAM	NH	03824
0255-0003-0000	PEVERLY HILL RD	35721	HETT WALTER D TRUST	HETT WALTER D TRUSTEE	2 VICTORIA CT APT 104	YORK	ME	03909
0256-0001-0000	BANFIELD RD	35722	SWIFT WATER GIRL SCOUT COUNCIL		ONE COMMERCE DR	BEDFORD	NH	03110
0242-0004-0001-0000	18 SAGE LN	54584	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
0242-0004-0002	24 SAGE LN	54585	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
0242-0004-0003	32 SAGE LN	54586	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
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0242-0004-0006	54 SAGE LN	54589	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
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0242-0004-0019	144 SAGE LN	54602	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
0242-0004-0020	150 SAGE LN	54603	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
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0242-0004-0031	240 SAGE LN	54614	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
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0242-0004-0034	274 SAGE LN	54617	PARSON WOODS INVESTMENTS LLC		11 LAFAYETTE RD	NORTH HAMPTON	NH	03862
0255-0008-0001	293 PEVERLY HILL RD #1	53924	GOMEZ REBECCA E		293 PEVERLY HILL RD #1	PORTSMOUTH	NH	03801
0255-0008-0002	293 PEVERLY HILL RD #2	53925	GOLDBERG BENJAMIN		293 PEVERLY HILL RD #2	PORTSMOUTH	NH	03801
0255-0008-0003	293 PEVERLY HILL RD #3	53926	CAPELLINI FRANCESCA		293 PEVERLY HILL RD UNIT 3	PORTSMOUTH	NH	03801
0255-0008-0004	293 PEVERLY HILL RD #4	53927	TRANCHEMONTAGNE SCOTT A	BRAUNIG LISA A	293 PEVERLY HILL RD	PORTSMOUTH	NH	03801
0255-0008-0005	293 PEVERLY HILL RD #5	53928	GOUCHER COLE R		9 FALKLAND PL UNIT A1	PORTSMOUTH	NH	03801
0255-0008-0006	293 PEVERLY HILL RD #6	53929	GRIFFIN FAMILY REV TST OF 2021	GRIFFIN KYLE P & LYNN M TTEE	293 PEVERLY HILL RD #6	PORTSMOUTH	NH	03801
0255-0008-0007	293 PEVERLY HILL RD #7	53930	HESTER NOAH	DEBELLIS JESSICA	293 PEVERLY HILL RD #7	PORTSMOUTH	NH	03801
0255-0008-0008	293 PEVERLY HILL RD #8	53931	TAGGART SUSAN M 2014 TRUST	TAGGART SUSAN M TRUSTEE	293 PEVERLY HILL RD #8	PORTSMOUTH	NH	03801
0255-0008-0009	293 PEVERLY HILL RD #9	53932	WALSH RYAN A		293 PEVERLY HILL RD #9	PORTSMOUTH	NH	03801
0255-0005-0000	305 PEVERLY HILL RD		CITY OF PORTSMOUTH	(CONSERVATION EASEMENT)	1 JENKINS AVE	PORTSMOUTH	NH	03801

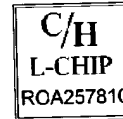
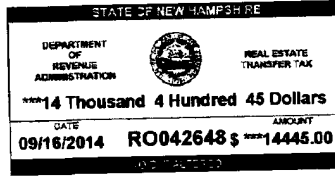






MAIL TO

Thomas Reis  
199 Lincoln Ave  
Portsmouth NH 03801



035120

**WARRANTY DEED**

KNOW ALL MEN BY THESE PRESENTS, That, WE, **ERIC S. HETT AND SUSAN A. HETT, TRUSTEES of THE ERIC S. HETT REVOCABLE TRUST OF 2006**, u/d/t dated November 30, 2006 and **ERIC S. HETT AND SUSAN A. HETT, TRUSTEES of THE SUSAN A. HETT REVOCABLE TRUST OF 2006**, u/d/t dated November 30, 2006, of 305 Peverly Hill Road, City of Portsmouth County of Rockingham and State of New Hampshire, for consideration paid, grant to **THOMAS E. REIS and MARYBETH B. REIS**, of 199 Lincoln Avenue, City of Portsmouth, County of Rockingham and State of New Hampshire, 03801 and **JAMES B. REIS and MEEGAN C. REIS** of 2035 State Road, Town of Eliot, County of York and State of Maine, 03903, all as joint tenants with rights of survivorship, *WITH WARRANTY COVENANTS*, the following described premises:

A certain tract or parcel of land, with any improvements thereon situate on the westerly side of Peverly Hill Road in Portsmouth, County of Rockingham, State of New Hampshire, more particularly bounded and described as follows:

Beginning at an iron rod set on the westerly sideline of Peverly Hill Road at the northeasterly corner of the premises herein conveyed and the southeasterly corner of land now or formerly of Frank and Helen Hett; thence running S 70° 36' 59" W 256.39 feet to an iron pipe; thence continuing S 70° 18' 37" W 98.49 feet to a steel fence post; thence continuing S 71° 47' 50" W 170.71 feet to a steel fence post; thence continuing S 76° 03' 00" W 160.00 feet along a stone wall to an iron rod; thence continuing along the stone wall S 76° 03' 08" W 81.22 feet a point in the stone wall; (the last four courses having been along land now or formerly of Frank and Helen Hett); thence continuing along a stone wall S 87° 20' 48" W 1,597.04 feet along land now or formerly of Frank and Helen Hett, land now or formerly of Robert and Pauline Dowd and land of the heirs if Stella Stokel, to a drill hole set in the stone wall at the point where another stone wall intersects from the south; thence continuing S 86° 17' 51" W along the stone wall along land now or formerly of the heirs of Stella Stokel, 513.12 feet to a drill hole set in the stone wall at the point where another stone wall intersects from the south; thence continuing along said Stokel land along a stone wall S 86° 43' 34" W 269.09 feet to a drill hole set at the intersection of two stone walls at the northwesterly corner of the premises herein described; thence turning and running S 20° 51' 42" W 426.58 feet along a stone wall along land of Stokel to a drill hole set in

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ROCKINGHAM COUNTY  
REGISTRY OF DEEDS

the stone wall; thence turning and running S 48° 01' 51" W 215.72 feet along the stone wall along land of Stokel to a drill hole set at the intersection of two stone walls at land now or formerly of the Swift Water Girl Scout Council; thence turning and running S 78° 13' 10" E 191.81 feet to a drill hole set at the intersection of a stone wall at the northeasterly corner of land of Swift Water Girl Scout Council; thence turning and running S 01° 16' 50" W 38.39 feet along land of Swift Water Girl Scout Council to a 6 inch by 6 inch stone bound at the intersection of two stone walls at the northwesterly corner of land now or formerly of Preston and Shirley Garrett; thence turning and running N 84° 34' 14" E 450.56 feet along a stone wall along land of Preston and Shirley Garrett to the intersection of another stone wall; thence continuing N 83° 35' 39" E 1,006.74 feet along a stone wall along land of Preston and Shirley Garrett to a drill hole set at the intersection of another stone wall at the northeasterly corner of land now or formerly of Preston and Shirley Garrett; thence continuing in a generally easterly direction along land now or formerly of John and Maud B. Hett along a stone wall 1,808 feet more or less to a point on the westerly side of Peverly Hill Road; thence turning and running N 14° 28' 07" E 145 feet, more or less, to a steel fence post; thence continuing along the westerly sideline of Peverly Hill Road N 02° 51' 19" W 344.55 feet to a steel fence post on the westerly sideline of Peverly Hill Road; thence continuing along the westerly side of Peverly Hill Road N 17° 15' 19" W 43.62 feet to an iron rod on the westerly sideline of Peverly Hill Road at land now or formerly of Frank and Helen Hett and point of beginning.

See also plan entitled "Plan of Land for John and Maud B Hett, Portsmouth, New Hampshire, December, 1988, Scale 1"= 100' prepared by M.B. Jenkins, Lee, New Hampshire" (two Sheets) recorded in the Rockingham County Registry of Deeds as Plan C-19399.

Said Property being SUBJECT TO an easement to Public Service Company of New Hampshire and being shown on City of Portsmouth Assessor Map R-55 as Lot #5. Property also being subject to a Conservation Restriction Deed from John Hett and Maud B. Hett to the City of Portsmouth dated May 26, 1989 and recorded in the Rockingham County Registry of Deeds at Book 2794, Page 0683.

Meaning and intending to convey the same premises conveyed to Eric S. Hett and Susan A. Hett, Trustees of The Eric S. Hett Revocable Trust of 2006 and Susan A. Hett and Eric S. Hett, Trustees of The Susan A. Hett Revocable Trust of 2006 by Warranty Deed of Eric S. Hett and Susan A. Hett, dated November 30, 2006 and recorded in the Rockingham County Registry of deeds at Book 4747, Page 834. See also deed at Book 3407, Page 1345.

The undersigned, Eric S. Hett and Susan A. Hett, Trustees of The Eric S. Hett Revocable Trust of 2006, under Declaration of Trust dated November 30, 2006 and The Susan A. Hett Revocable Trust of 2006, under Declaration of Trust dated November 30, 2006, have full and absolute power pursuant to and in accordance with said Trust Agreements to convey any real estate or interest in real estate held in said Trusts, and no purchaser or third party shall be bound to inquire whether the Trustees have said power or are properly exercising said power, or shall be bound to see the application of any money, property, asset paid to the Trustees for a conveyance thereof. We further certify that we are the Trustees, and that said Trusts have not been revoked, and remain in full force and effect.

Dated this 15<sup>th</sup> day of September, 2014

**THE ERIC S. HETT REVOCABLE TRUST OF 2006**

  
Eric S. Hett, Trustee

  
Susan A. Hett, Trustee

**THE SUSAN A. HETT REVOCABLE TRUST OF 2006**

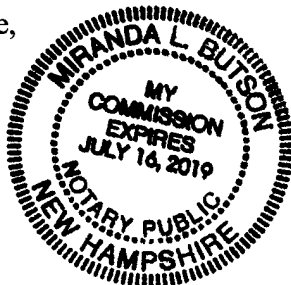
  
Eric S. Hett, Trustee

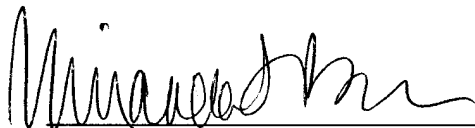
  
Susan A. Hett, Trustee

STATE OF NEW HAMPSHIRE  
COUNTY OF ROCKINGHAM

Personally appeared this 15<sup>th</sup> day of September, 2014, the above-named Eric S. Hett and Susan A. Hett, who acknowledged themselves to be the Trustees of The Eric S. Hett Revocable Trust of 2006 and The Susan A. Hett Revocable Trust of 2006, and as such Trustees, being authorized so to do, they executed the forgoing instrument for the purposes therein contained on behalf of said Trust.

Before me,



  
Notary Public/Justice of Peace  
My Commission Expires:

ROCKINGHAM COUNTY  
REGISTRY OF DEEDS

CONSERVATION RESTRICTION DEED

BK2794 P0683

Hett and Maud B. Hett, husband and wife, of 305 Peverly Hill Road, Portsmouth, County of Rockingham, State of New Hampshire, (hereinafter sometimes referred to as "Grantors" which word where the context requires, shall, unless the context clearly indicates otherwise, include the Grantors' executors, administrators, legal representatives, devisees, heirs and/or assigns), for consideration paid, grant to the City of Portsmouth, situated in the County of Rockingham, State of New Hampshire (hereinafter referred to as the "Grantee" which word shall, unless the context clearly indicates otherwise, include the Grantee's successors and/or assigns), with WARRANTY covenants, in perpetuity, a Conservation Restriction pursuant to RSA 477:45-47 and RSA 221-A. The Conservation Restriction shall restrict the use on certain land located on the westerly side of Peverly Hill Road in Portsmouth, County of Rockingham, and more particularly described in Schedule A attached hereto (hereinafter the "Property"). The Conservation Restriction which is conveyed by this deed, is exclusively for conservation purposes, which shall include:

1. The assurance that the Property will be retained forever in its undeveloped, scenic, and open space condition and to prevent any use of the Property that will significantly impair or interfere with the conservation values of the Property.
2. The preservation of the land subject to the Restriction granted hereby for the education of the general public, through the auspices of the Grantee.
3. The preservation of open spaces, particularly the productive farm and forest land, of which the land area subject to the Restriction granted hereby consists, for the scenic enjoyment of the general public, consistent with the New Hampshire RSA Chapter 79-A which states: "It is hereby declared to be in the public interest to encourage the preservation of open space in the state by providing a healthful and attractive outdoor environment for work and recreation of the state's citizens, by maintaining the character of the state's landscape, and by conserving the land, water, forest, and wildlife resources," to yield a significant public benefit in connection therewith; and with NH RSA 221-A which states: "The intent of the program is to preserve the natural beauty, landscape, rural character and natural resources, and high quality of life in New Hampshire by acquiring lands and interests in lands of statewide, regional, and local conservation and recreation importance."
4. The preservation from development a historically important land area which was known as the Walford Plantation and which was one of the first farms established in the City of Portsmouth and which is the last active farm in the City of Portsmouth.

The terms of this Conservation Restriction are as follows:

1. USE LIMITATIONS

A. The Grantors, their successors and assigns, agree that the Property shall be maintained in perpetuity as open space without there

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LOUGHEIM & WADE - ATTORNEYS AT LAW  
LEONARD COTTON HOUSE - STEPHEN B. BAKER - 144 WASHINGTON STREET  
P O BOX 1111, PORTSMOUTH, N H 03801-1111

May 26 1 25 PM '89

being conducted thereon any industrial or commercial activities, except agriculture and forestry as described below, and provided that the capacity of the property to produce forest and/or agricultural products shall not be degraded by on-site activities and that such activities will not cause significant pollution of surface or sub-surface waters or soil erosion.

i. For the purposes hereof, "agriculture" and "forestry" shall include agriculture, animal husbandry, floriculture and horticulture activities; the production of plant and animal products for domestic or commercial purposes, for example, the growing and stocking of Christmas trees or forest trees of any size capable of producing timber and other wood products; and the cutting and sale of timber and other wood products, but shall not include manufactured products or by-products. All agricultural and forestry activities conducted on the property shall be consistent with the purposes of this document.

ii. Agriculture and forestry on the Property shall be performed to the extent possible in accordance with a management plan developed by the Grantors for the sites and soils of the Property. In developing an ongoing plan Grantors shall be consistent with the current scientifically based practices recommended by the U.S. Cooperative Extension Service, U.S. Soil Conservation Service, or their successors then active. Management activities shall not materially impair the scenic quality of the Property as viewed from public roads.

B. The Property presently consists of two distinct parcels of land (shown on City of Portsmouth Tax Assessor Plan R-55 as Lots 3 and 5) and these shall not be further subdivided.

C. Subject to Section 2 below, the Grantors, their successors and assigns, shall neither perform nor permit others to perform any of the following prohibitive activities on said land:

(1) No structure or improvements such as a tennis court, swimming pool, road, dam, fence, bridge, aircraft landing strip, culvert, tower, mobile home, or shed shall be constructed, placed or introduced unto the Property except as necessary in the accomplishment of the agricultural, forestry, conservation, or recreational uses of the Property and provided that such structure or improvement is not detrimental to the purposes of this Restriction. Fences for the purpose of securing the Property are allowed. Barns and maple sugar houses to support on-site land based forestry and agricultural activities are allowed.

(2) No changes in topography, surface, or sub-surface water systems, wetlands, or natural habitats shall be allowed that would harm state or federally recognized rare or endangered species, unless necessary in the accomplishment of the agricultural, forestry habitat management, conservation or recreational uses of the Property and provided that such changes are not detrimental to the purposes of this Restriction. This shall not prohibit installation of water wells on the site for production of water for farm use.

(3) No outdoor advertising structures such as signs and

billboards shall be displayed on the Property except as necessary in the accomplishment of the agricultural, forestry, conservation or recreational uses of the Property and provided that such outdoor advertising structures are not detrimental to the purposes of this Restriction.

(4) There shall be no mining, quarrying, excavation or removal of rocks, minerals, gravel, sand, top soil, or other similar materials on the Property, except in connection with any improvements made pursuant to the provisions of paragraphs A, B, or C above. No such rocks, minerals, gravel, sand, top soil, or other similar materials shall be removed from the Property.

(5) There shall be no dumping, injection, or burial of materials then known to be environmentally hazardous, including vehicle bodies or parts. No demolition-type wastes, scrap metal items, discarded, worn out or junked motor vehicle or parts thereof, discarded appliances, furniture, or mattresses, or similar-type rubbish shall be stored on the Property. This shall not be construed to limit, in any way, normal farm activities such as the stockpiling or spreading of animal waste, or the burying of dead farm animals which have been raised on the property.

**2. RESERVED RIGHTS**

A. Grantors reserve the right to post all of the Property against use by any motorized vehicle including, but not limited to, all off-highway recreational vehicles.

B. Grantors reserve the right to post all parts of the Property against hunting and trespassing.

C. Grantors reserve the right, for themselves, their heirs, successors, and assigns, to construct and operate a retail "farm stand" on the Property, said "farm stand" to be operated in compliance with all local land use regulations and shall be operated in a manner consistent with the restrictions in this document. The "farm stand" shall be located either in an area between fifty feet and three hundred feet from Peverly Hill Road or within one hundred feet of the area specifically excepted from the restrictions of this document which is the site of the existing house, barn and barnyard. (This area is described on the "Plan of Land for John and Maud Hett," Portsmouth, N.H., December, 1988) as "2.01 acre parcel excepted from conservation restriction." Adequate off-street parking shall be provided and arranged in such a way that automobiles will not back into the street. The stand or display area shall not have more than one hundred fifty square feet of gross floor or ground area. The sale of plant and animal products shall be done in accordance with the definitions of "agriculture and forestry" contained in 1-A-11. The sale of such products shall be limited to those produced on the property.

**3. AFFIRMATIVE RIGHTS OF GRANTEE**

A. The Grantee shall have reasonable access to the Property and all its parts for such inspection as is necessary to maintain boundaries, to determine compliance, and to enforce the terms of this Conservation Restriction Deed and exercise the rights conveyed hereby.

B. Any other uses of the Property by the Grantee or by the public shall be with the permission of the Grantors.

LOUGHELI & WADE - ATTORNEYS AT LAW  
LEONARD COTTON HOUSE - STRAWBERRY BANKE 144 WASHINGTON STREET  
P O BOX 1111, PORTSMOUTH, N H 03801-1111

**4. NOTIFICATION OF TRANSFER, TAXES, MAINTENANCE**

A. Grantors agree to notify the Grantee in writing within thirty (30) days of the transfer of the title of the Property.

B. Grantee shall be under no obligation to maintain the Property or to pay any taxes or assessments thereon.

C. Grantee shall not undertake any activity which may lead to imposition of any current use tax penalty. (RSA Chapter 79-A, Current Use Taxation)

**5. BENEFITS AND BURDENS**

The burden of the Restriction conveyed hereby shall run with the Property and shall be enforceable against all future owners and tenants in perpetuity; the benefits of said Restriction shall not be appurtenant to any particular parcel of land, but shall be in gross and assignable or transferable only to the State of New Hampshire, the U.S. Government or any subdivision or either of them, consistently with Section 170(c)(1) of the U.S. Internal Revenue Code, as amended, which government unit has among its purposes, the conservation and preservation of land and water areas and agrees to and is capable of enforcing the conservation purposes of this Restriction. Any such assignee or transferee shall have like power of assignment or transfer. In accordance with NH RSA 221-A, under which this Conservation Restriction Deed is acquired, "The sale, transfer, conveyance, or release of any such land or interest in land from public trust is prohibited." (NH RSA 221-A:11)

**6. BREACH OF EASEMENT**

A. When a breach of this Restriction comes to the attention of the Grantee, it shall notify the then owner of the Property in writing of such breach, delivered in hand or by certified mail, return receipt requested.

B. Said owner shall have thirty days (or a longer period if agreed to by Grantor and Grantee) after receipt of such notice to undertake those actions, including restoration, which are calculated to cure the conditions constituting said breach and to notify the Grantee thereof.

C. If the said owner fails to take such curative action, the Grantee, its successors or assigns, may undertake any actions that are reasonably necessary to cure such breach, and the cost thereof, including the Grantee's expenses, shall be paid by said owner, provided said owner is determined to be directly or indirectly responsible for the breach.

D. Any forbearance by the Grantee in exercise of any right or remedy hereunder or otherwise afforded by applicable law shall not be a waiver of or preclude the future exercise of any such right or remedy.

E. A violation of any condition or covenants set forth herein shall only give rise to an action at law and/or equity and shall not result in a reversion or forfeiture of the title.

LEONARD COTTON HOUSE - STRANDED, BANNE, 124 WASHINGTON STREET  
LEONARD & WADE - ATTORNEYS AT LAW  
P.O. BOX 111, PORTSMOUTH, N. H. 03801-1111

**7. CONDEMNATION**

A. Whenever all or part of the Property is taken in exercise of eminent domain by public, corporate, or other authority so as to abrogate in whole or in part the Restriction conveyed hereby, the Grantors and the Grantee shall thereupon act jointly to recover the full damages resulting from such taking with all incidental or direct damages and expenses incurred by them thereby to be paid out of the damages recovered.

B. The balance of the damages recovered (including, for purposes of this subparagraph, proceeds from any lawful sale of the Property unencumbered by the restrictions hereunder) shall be divided between them in proportion to the fair market value of their respective interests in that part of the Property condemned on the date of execution of this conservation easement deed.

C. In determining the allocation of damages between Grantor and Grantee the value of the development rights shall be determined on the day of condemnation as shall the value of the underlying fee. The City of Portsmouth shall be entitled to the value of any development rights taken by condemnation, and the Grantors or their heirs or assigns shall be entitled to the entire value of any part of the underlying fee taken by condemnation.

**8. ARBITRATION OF DISPUTES**

A. Grantor and Grantee shall have the right to have any dispute arising under this Conservation Restriction Deed determined by the Superior Court or submitted to arbitration in accordance with New Hampshire RSA 542. The parties agree that New Hampshire RSA 542:2 shall not operate to stay any proceeding that either party may institute in a court of law or equity.

If either party requests that arbitration of a particular matter be undertaken, and if that matter is not at the time of the request the subject of an action in the Superior Court or if it does not become the subject of Superior Court action during the course of the arbitration, it shall be resolved by arbitration.

B. If arbitration is requested in a manner consistent with paragraph 8-A, the Grantor and the Grantee shall each choose an arbitrator and the arbitrators so chosen shall choose a third arbitrator.

C. A decision with respect to any such dispute by two of the three arbitrators shall be binding upon the parties and shall be enforceable as part of this Conservation Restriction Deed in an action at law or equity in a court of competent jurisdiction.

The Grantee by accepting and recording this Conservation Restriction Deed for itself, its successors and assigns, agrees to be bound by and to observe and enforce the provisions hereof, and assumes the rights and responsibilities herein provided for an incumbent upon the Grantee, all in furtherance of the conservation purposes for which this Conservation Restriction Deed is delivered.

LOUGHELAN & WARD - ATTORNEYS AT LAW  
LEONARD COTTON HOUSE - STAMFORD BANK - 104 WASHINGTON STREET  
P O BOX 1111, PORTSMOUTH, N H 03801-1111



Signed this 22nd day of May, 1989.

John Hett  
John Hett

Maud B. Hett  
Maud B. Hett

By John Hett  
Attorney in Fact

STATE OF NEW HAMPSHIRE  
ROCKINGHAM, SS

On this 22nd day of May, 1989, personally appeared the above named John Hett and Maud Hett, known to me or satisfactorily proven to be the persons described in the foregoing instrument, and acknowledged that they executed the same in the capacity therein stated and for the purposes therein contained.

John J. Taylor  
Justice of the Peace/Notary Public

Accepted:

THE CITY OF PORTSMOUTH

Calvin A. Canney  
Title: City Manager

STATE OF NEW HAMPSHIRE  
ROCKINGHAM, SS

On this 25 day of May, 1989, personally appeared the above named Calvin A. Canney, City Manager of the City of Portsmouth, known to me or satisfactorily proven to be the person described in the foregoing instrument, and acknowledged that he was duly authorized and executed the same in the capacity therein stated and for the purposes therein contained.

Sharon A. Cuddy  
Justice of the Peace/Notary Public

LOUISLIN & WADE - ATTORNEYS AT LAW  
LEONARD COTTON HOUSE - STRAWBERRY BANKS - 145 WASHINGTON STREET  
P. O. BOX 1111, PORTSMOUTH, N. H. 02871-1111

## APPENDIX A

A certain tract or parcel of land situated on the westerly side of Peverly Hill Road in Portsmouth, County of Rockingham, State of New Hampshire, more particularly bounded and described as follows:

Beginning at an iron rod on the westerly sideline of Peverly Hill Road at the northeasterly corner of the premises herein conveyed and the southeasterly corner of property now or formerly of Frank Hett and Helen Hett; thence running S 70° 36' 59" W 256.39 feet along land now or formerly of Frank Hett and Helen Hett to an iron pipe; thence continuing S 70° 18' 37" W 98.49 feet along land now or formerly of Frank Hett and Helen Hett to a steel fence post; thence turning and running S 31° 19' 35" E 30.77 feet through other land of John Hett and Maud Hett to a 3" iron rod; thence continuing S 03° 37' 11" E 267.28 feet through land of John Hett and Maud Hett to an iron rod; thence turning and running S 76° 59' 08" W 281.88 feet through land of John Hett and Maud Hett to an iron rod; thence turning and running N 15° 57' 42" W 275.23 feet through land of John Hett and Maud Hett to an iron rod in a stone wall at land now or formerly of Frank Hett and Helen Hett; thence turning and running along said stone wall S 76° 03' 00" W 81.22 feet; thence continuing along said stone wall S 87° 20' 48" W 1,597.04 feet along land of Frank Hett and Helen Hett, Dowd, and the Heirs of Stella Stokel to a drill hole in a stone wall at a point where another stone wall intersects from the south; thence continuing along land now or formerly of said Stokel along the stone wall S 86° 17' 51" W 513.12 feet to a drill hole set in the stone wall at the location where another stone wall intersects on the south side; thence continuing along land now or formerly of the Heirs of Stella Stokel S 86° 43' 34" W 269.09 feet along a stone wall to a drill hole in an intersection of two stone walls at the northwesterly corner of the premises herein conveyed; thence turning and running S 20° 51' 42" W 426.58 feet along a stone wall along other land of the Heirs of Stella Stokel to a drill hole set in a stone wall; thence turning and running S 48° 01' 51" W 215.72 feet along a stone wall along land now or formerly of the Heirs of Stella Stokel to a drill hole set in a stone wall at land now or formerly of the Swiftwater Girl Scout Council; thence turning and running S 78° 13' 10" E 191.81 feet along a stone wall along land now or formerly of Swiftwater Girl Scout Council to a drill hole set at an angle in the stone wall at the northeasterly corner of land now or formerly of Swiftwater Girl Scout Council; thence turning and running S 01° 16' 50" W 38.39 feet along a stone wall along land now or formerly of Swiftwater Girl Scout Council to a 6" X 6" stone bound at the intersection of two stone walls; thence turning and running N 84° 34' 14" E 450.56 feet along a stone wall along land now or formerly of Preston Garrett and Shirley Garrett to a point where a stone wall intersects from the north; thence continuing along the stone wall N 83° 35' 39" E 1,006.74 feet along land now or formerly of Preston Garrett and Shirley Garrett to a drill hole at the intersection of two stone walls at the northeasterly corner of land now or formerly of said Garrett; thence turning and running S 28° 08' 34" E 388.51 feet to a drill hole at the intersection of two stone walls at the southeasterly corner of land of Garrett and at land now or formerly owned by John Hett and Walter Hett; thence turning and running N 78° 41' 43" E 115.72 feet along a stone wall along land of John Hett and Walter Hett to a drill hole at an angle in the stone wall; thence turning and

running S 11° 45' 31" E 318.10 feet to a point 5 feet N 11° 45' 31" W of a 4" X 4" stone bound at land of Temple Israel; thence turning and running N 78° 01' 59" E 143.44 feet through land of grantors running parallel to land of Temple Israel to a point; thence turning and running S 11° 45' 31" E 5 feet, more or less, to a stone wall at land of John Hett and Walter Hett and at a point 5 feet, more or less, N 71° 58' 05" E from the northeasterly corner of land of Temple Israel; thence continuing along a stone wall N 71° 58' 05" E 1,054.70 feet along land of John Hett and Walter Hett to a drill hole at the intersection of a stone wall which runs along the westerly sideline of Peverly Hill Road; thence turning and running N 24° 03' 54" E 174.35 feet along the westerly sideline of Peverly Hill Road to an iron rod on the westerly sideline of Peverly Hill Road at the southeasterly corner of land now or formerly of Eric Hett and Susan Hett; thence turning and running N 77° 00' 57" W 210.00 feet along land now or formerly of Eric Hett and Susan Hett to an iron rod; thence turning and running N 09° 27' 49" E 210.00 feet along land now or formerly of Eric Hett and Susan Hett to an iron rod; thence turning and running N 71° 40' 34" E 185.00 feet along land now or formerly of Eric Hett and Susan Hett to an iron pipe at the northerly corner of land now or formerly of Eric Hett and Susan Hett and the northwesterly corner of land now or formerly of McKee; thence turning and running along land now or formerly of said McKee N 71° 40' 34" E 138.11 feet to an iron pipe; thence continuing along land of said McKee S 64° 40' 25" E 35.33 feet to an iron pipe on the westerly sideline of Peverly Hill Road; thence turning and running N 26° 36' 44" E 62.36 feet along the westerly sideline of Peverly Hill to a drill hole at the end of a section of stone wall; thence continuing N 14° 28' 07" E 160.71 along the westerly sideline of Peverly Hill Road to a steel fence post; thence continuing along the westerly sideline of Peverly Hill Road N 02° 51' 19" W 344.55 feet to a steel fence post; thence continuing N 17° 15' 19" W 43.62 feet to an iron rod on the westerly sideline of Peverly Hill Road at land of Frank Hett and Helen Hett and point of beginning.

Said property being shown on a plan entitled "Plan of Land for John & Maud Hett, Portsmouth, N.H., Dec. 1988, Scale 1 in. = 100 ft., Survey by M.E. Jenkins, Lee, N.H.", 2 sheets. The plan will be recorded on even date with this deed in the Rockingham County Registry of Deeds.

Excepting and reserving to the grantors, their heirs, successors and assigns, a perpetual easement appurtenant to the grantors' remaining land for the right to pass, and repass for all vehicles, pedestrians and animals, as well as a perpetual easement to maintain, repair and replace existing utilities, including but not limited to electric, water, sewer, cable television, gas, and telephone across two driveways from Peverly Hill Road to the existing farmhouse building. These driveways are shown as dashed lines on the above referenced plan. The northerly driveway is shown as intersecting Peverly Hill Road near the land now or formerly of Frank Hett and Helen Hett, and the southerly driveway is shown as intersecting Peverly Hill Road approximately 90 feet north of the northeasterly corner of land now or formerly of J.J. McKee near N.E.T.&T. Pole #47.

The premises described in this Appendix A are subject to a pole line easement of New Hampshire Electric known as "Foyes Corner Tap", recorded in the Rockingham County Registry of Deeds at Book 1310, Page 31; and an easement to Public Service Company of New Hampshire, recorded

LOUGHRAN & WALDE, ATTORNEYS AT LAW  
 LEONARD COTTON HOUSE - STRAWBERRY BANKE - 114 WASHINGTON STREET  
 P. O. BOX 1111, PORTSMOUTH, N. H. 03801-1111

## CONSERVATION RESTRICTION DEED - Page 9

in the Rockingham County Registry of Deeds at Book 2281, Page 993.

The land described in Appendix A is composed of two separate subdivided lots which are not merged by this conveyance. The more northerly lot is shown on City of Portsmouth Assessor Plan R-55 as Lot 5. For title reference on this lot, see deed of Piscataqua Savings Bank to John Hett and Maud B. Hett dated May 7, 1940, and recorded in the Rockingham County Registry of Deeds at Book 966, Page 257. See also deed of Albert D. Foster, Treasurer, to Piscataqua Savings Bank, dated February 28, 1940, and recorded in the Rockingham County Registry of Deeds at Book 969, Page 32. For further title reference see deed of Florence G. Cummings to Charles H. Umstead, dated December 26, 1925, recorded in said Registry of Deeds at Book 800, Page 277.

The southerly portion of the premises described in Appendix A is shown on City of Portsmouth Assessor Plan R-55 as Lot 3. For further title reference, see deed of Arnold T. Wiggin, Executor under the will of George T. Wiggin, to John Hett and Maud B. Hett, dated March 2, 1971, and recorded in the Rockingham County Registry of Deeds at Book 2057, Page 493. See also out deed of John Hett and Maud Hett to Thomas E. Webb and Donna L. Webb dated July 20, 1971 and recorded in the Rockingham County Registry of Deeds at Book 2082, Page 193. For further title reference, see deed of James Schurman to George T. Wiggin dated September 26, 1910 recorded in the Rockingham County Registry of Deeds at Book 655, Page 118; and deed of Andrew M. Gardner to George T. Wiggin dated January 24, 1911 recorded in the Rockingham County Registry of Deeds at Book 660, Page 66.

## Erik Saari

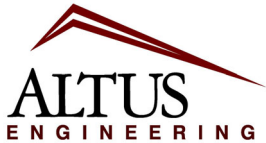
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**From:** Erik Saari  
**Sent:** Tuesday, April 25, 2023 10:17 AM  
**To:** Dave Desfosses  
**Subject:** RE: 5411 - Portsmouth - 305 Peverly Hill - Septic Approval

Thanks Dave!

Thank you,  
Erik

**Erik Saari**  
**Vice President**



**Altus Engineering**  
133 Court Street  
Portsmouth, NH 03801  
(603) 433-2335

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**From:** Dave Desfosses <djdesfosses@cityofportsmouth.com>  
**Sent:** Tuesday, April 25, 2023 10:16 AM  
**To:** Erik Saari <esaari@altus-eng.com>  
**Subject:** RE: 5411 - Portsmouth - 305 Peverly Hill - Septic Approval

I think it's fine.

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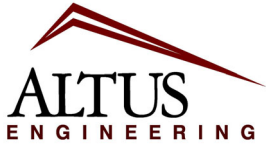
**From:** Erik Saari <[esaari@altus-eng.com](mailto:esaari@altus-eng.com)>  
**Sent:** Tuesday, April 25, 2023 10:15 AM  
**To:** Dave Desfosses <[djdesfosses@cityofportsmouth.com](mailto:djdesfosses@cityofportsmouth.com)>  
**Subject:** RE: 5411 - Portsmouth - 305 Peverly Hill - Septic Approval

Hi Dave,

Did you have any comments on this? It's technically a TAC condition.

Thank you,  
Erik

**Erik Saari**  
**Vice President**



**Altus Engineering**  
133 Court Street  
Portsmouth, NH 03801  
(603) 433-2335

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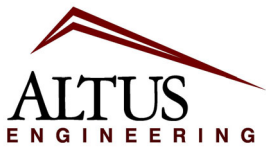
**From:** Erik Saari  
**Sent:** Wednesday, April 5, 2023 11:41 AM  
**To:** Dave Desfosses <[djdesfosses@cityofportsmouth.com](mailto:djdesfosses@cityofportsmouth.com)>  
**Subject:** 5411 - Portsmouth - 305 Peverly Hill - Septic Approval

Hi Dave,

I've never seen NHDES do anything this quickly, I filed this yesterday and here's the approval. See what I mean about septic heaven?!

Thank you,  
Erik

**Erik Saari**  
**Vice President**



**Altus Engineering**  
133 Court Street  
Portsmouth, NH 03801  
(603) 433-2335

## Erik Saari

---

**From:** Patrick R. Howe <prhowe@cityofportsmouth.com>  
**Sent:** Tuesday, April 25, 2023 2:53 PM  
**To:** Erik Saari  
**Subject:** RE: 5411 - Portsmouth - 305 Peverly Hill - Revised FD Access

Hello Erik.

That looks good. All set from FD perspective.

Patrick R. Howe  
Deputy Fire Chief  
Portsmouth Fire Department  
170 Court St.  
Portsmouth, NH 03801  
603.610.7350  
[prhowe@cityofportsmouth.com](mailto:prhowe@cityofportsmouth.com)

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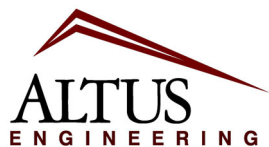
**From:** Erik Saari <esaari@altus-eng.com>  
**Sent:** Tuesday, April 25, 2023 12:25 PM  
**To:** Patrick R. Howe <prhowe@cityofportsmouth.com>  
**Subject:** 5411 - Portsmouth - 305 Peverly Hill - Revised FD Access

Hi Patrick,

Here's the revised plan we discussed. Hopefully I captured everything you wanted. Please let me know if this is acceptable and I'll roll it into the set.

Thank you,  
Erik

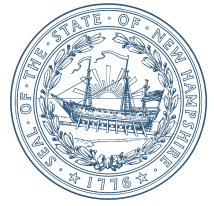
**Erik Saari**  
**Vice President**



**Altus Engineering**  
133 Court Street  
Portsmouth, NH 03801  
(603) 433-2335



The State of New Hampshire  
**Department of Environmental Services**



**Robert R. Scott, Commissioner**

## **APPROVAL FOR CONSTRUCTION OF INDIVIDUAL SEWAGE DISPOSAL SYSTEM (ISDS)**

AS AUTHORIZED BY THE NH DEPARTMENT OF ENVIRONMENTAL SERVICES, WATER DIVISION PURSUANT TO RSA 485-A, WATER POLLUTION AND WASTE DISPOSAL AND ENV-WQ 1000, SUBDIVISION AND INDIVIDUAL SEWAGE DISPOSAL SYSTEM DESIGN RULES.

**APPLICATION APPROVAL DATE:** 4/5/2023

**APPROVAL NUMBER:** eCA2023040505

**I. PROPERTY INFORMATION**

**Address:** 305 PEVERLY HILL ROAD  
PORTSMOUTH NH 03801  
**Subdivision Approval No.:** 5 PLUS ACRES  
**Subdivision Name:**  
**County:** ROCKINGHAM  
**Tax Map/Lot No.:** 255/5

**II. OWNER INFORMATION**

**Name:** JAMES REIS  
**Address:** 305 PEVERLY HILL ROAD  
PORTSMOUTH NH 03801

**III. APPLICANT INFORMATION**

**Name:** JAMES REIS  
**Address:** 305 PEVERLY HILL ROAD  
PORTSMOUTH NH 03801

**IV. DESIGNER INFORMATION**

**Name:** ERIC D WEINRIEB  
**Address:** 133 COURT ST  
PORTSMOUTH NH 03801  
**Permit No.:** 00809

**V. SPECIFIC TERMS AND CONDITIONS:** Applicable to this Approval for Construction

Please read **VI. General Terms and Conditions** on the reverse side of this approval.

**A. TYPE OF SYSTEM: STONE AND PIPE**

**B. NO. OF BEDROOMS: 4**

**C. APPROVED FLOW: 675 GPD**

**D. OTHER CONDITIONS AND WAIVERS:**

1. This approval is valid for 4 years from date of approval, per Env-Wq 1004.13.
2. Approved with a municipal water supply only.
3. Approved for a 3-bedroom home @ 450GPD, and a 1-bedroom ADU @ 225GPD; total flow 675GPD
4. No waivers have been approved.

**Travis Guest**  
**Subsurface Systems Bureau**

NHDES Web Site: [www.des.nh.gov](http://www.des.nh.gov)

**P.O. Box 95, 29 Hazen Drive, Concord, New Hampshire 03302-0095**

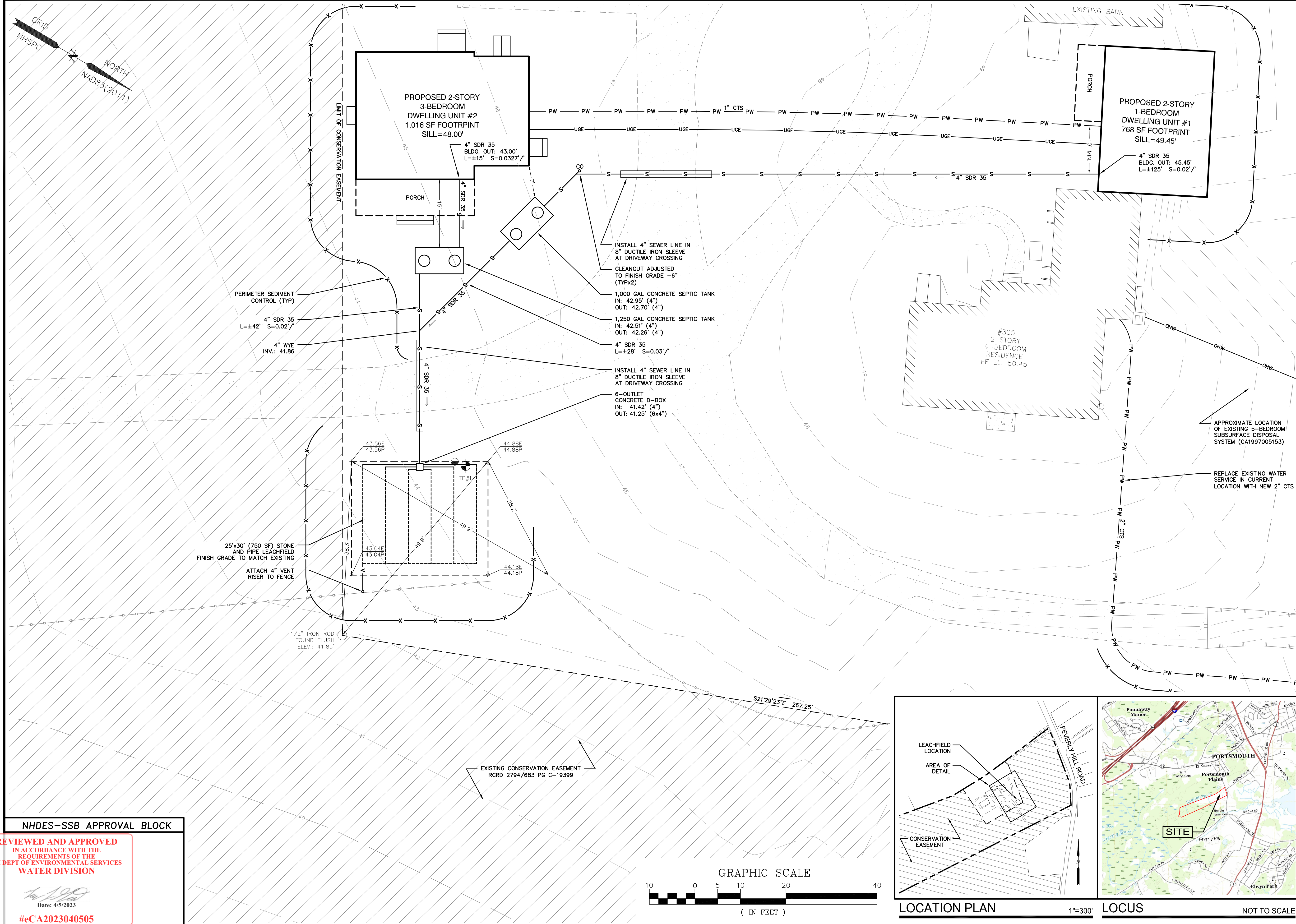
Telephone: (603) 271-3503 Fax: (603) 271-6683 TDD Access: Relay NH 1-800-735-2964



**VI. GENERAL TERMS AND CONDITIONS:** Applicable to all Approvals for Construction

- A. This Approval for Construction is issued to construct the ISDS as identified on Page 1 of this Approval.
- B. This Approval is valid until 4/5/2027, unless an Approval for Operation has been granted.
- C. By exercising any rights under this approval, the parties have agreed to all terms and conditions.
- D. No liability is incurred by the State of New Hampshire by reason of any approval of any Approval for Construction. Approval by the Department of Environmental Services of sewage and waste disposal systems is based on plans and specifications supplied by the Applicant.
- E. The system must be constructed in strict accordance with the approved plans and specifications.
- F. The installed system must be left uncovered and cannot be used after construction until it is inspected and has received an Approval for Operation of Individual Sewage Disposal System (ISDS) by an authorized agent of the Department.
- G. This system must be installed by an installer holding a valid permit. An owner may install the system for his or her domicile. Env-Wq 1002.18 defines "Domicile" as that place where an individual has his or her true, fixed, and permanent home and principal establishment, and to which, whenever he or she is absent, he or she has the intention of returning. An individual might have more than one residence, but has only one domicile. Accordingly, an owner may only install a replacement system and may not install the system at a property he or she intends to make their future domicile. A person's domicile is considered to be at the address listed on his or her driver's license and/or where he or she is registered to vote.**
- H. This Approval for Construction does not supersede any equivalent or more stringent local ordinances or regulations. State standards are minimal and must be met statewide.

**WORK NUMBER: 202301212**  
**APPROVAL NUMBER: eCA2023040505**  
**RECEIVED DATE: April 4, 2023**  
**TYPE OF SYSTEM: STONE AND PIPE**  
**NUMBER OF BEDROOMS: 4**



DESIGNER  
OF  
SUBSURFACE DISPOSAL  
SYSTEMS  
ERIC D. WEINRIEB  
No. 809  
3/31/20

ISSUED FOR: **NHDES**

ISSUE DATE: **PERMITTING**

REVISIONS NO.	DESCRIPTION	BY	DATE
0	NHDES	EBS	03/31/23

DRAWN BY: **EBS**  
APPROVED BY: **EBS**  
DRAWING FILE: 5411-SITE.dwg

SCALE:  
22" x 34" - 1" = 10'  
11" x 17" - 1" = 20'

OWNER:  
**THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS**  
305 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801

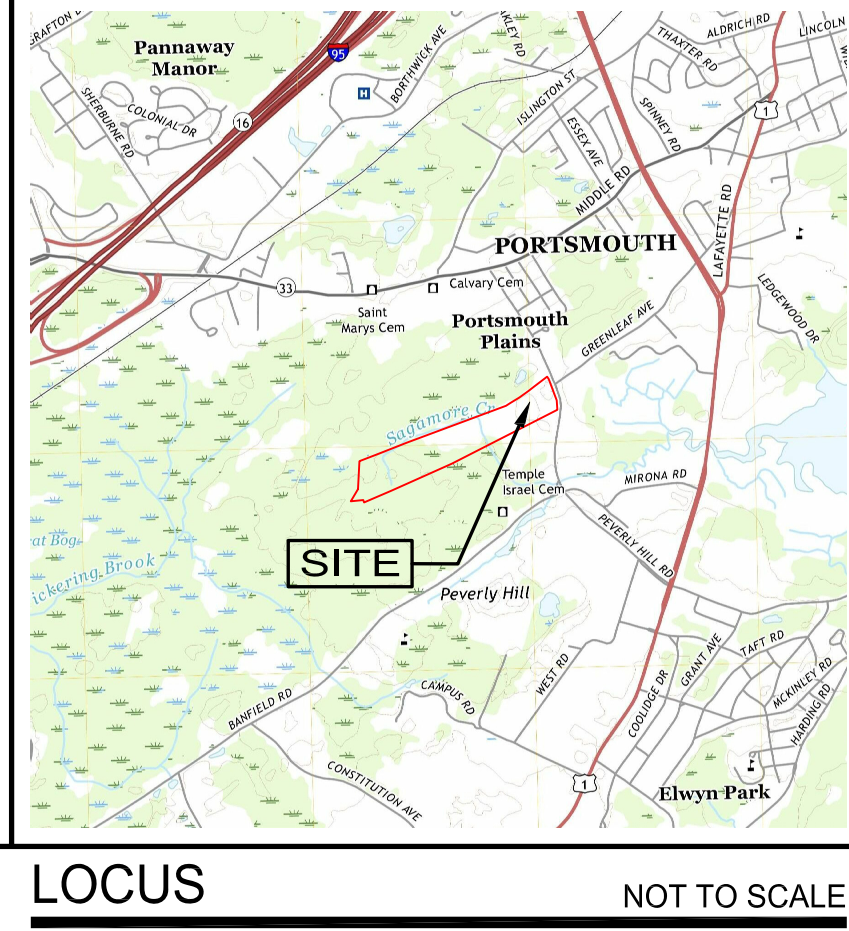
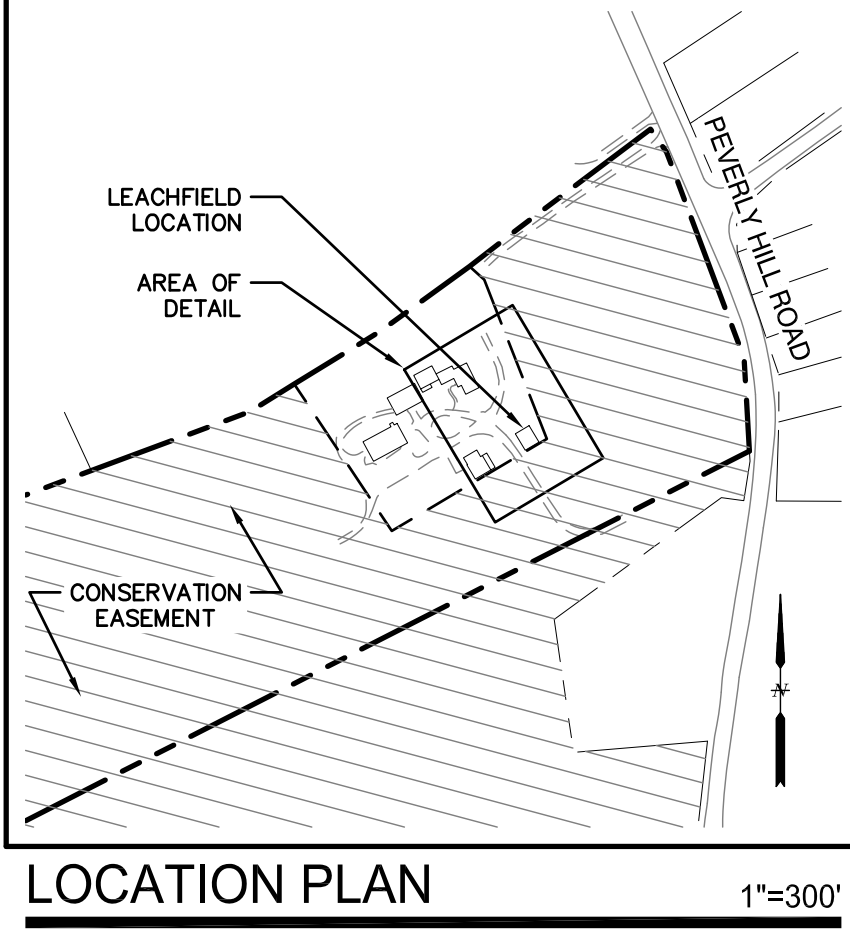
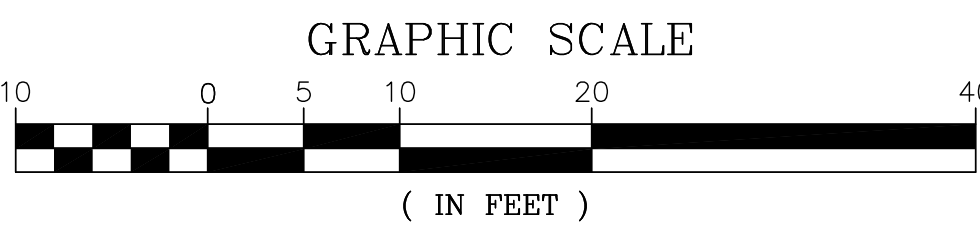
APPLICANT:  
**THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS**  
305 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801

PROJECT:  
**REIS FARM**  
TAX MAP 255 LOT 5  
305 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801

TITLE:  
**SUBSURFACE DISPOSAL SYSTEM PLAN**

SHEET NUMBER:  
**SS-1**

**NHDES-SSB APPROVAL BLOCK**  
REVIEWED AND APPROVED  
IN ACCORDANCE WITH THE  
REQUIREMENTS OF THE  
NH DEPT OF ENVIRONMENTAL SERVICES  
WATER DIVISION  
Date: 4/5/2023  
#eCA2023040505



NOTES

DESIGN INTENT: THE INTENT IS TO PROVIDE A 4-BEDROOM SEPTIC SYSTEM DESIGN FOR A NEW DETACHED 3-BEDROOM DWELLING UNIT AND A NEW ATTACHED 1-BEDROOM DWELLING UNIT. ALL UNITS ARE TO BE UNDER THE SAME OWNERSHIP.

SITE DATA: LOT AREA: 1,690,603 S.F. (±38.81 AC.)

OWNER: THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS 305 PEVERLY HILL ROAD PORTSMOUTH, NH 03801 TELEPHONE: (603) 498-5975

DEED: RCRD BOOK 5560, PAGE 2148

PORTSMOUTH TAX MAP 255, LOT 5

WATER SUPPLY: TO BE PROVIDED BY THE CITY OF PORTSMOUTH

DESIGN DATA: (150 GPD/BEDROOM x 3 BEDROOMS) + (225 GPD/1 BEDROOM x 1) = 675 GPD REQ.

LEACHFIELD: PERCOLATION RATE: 2 MINUTES/INCH USE: STONE & PIPE LEACHING SYSTEM LEACHING AREA REQUIRED: 750 S.F. FOR 3-BEDROOM UNIT AND 1-BEDROOM UNIT LEACHING AREA PROVIDED: 750 S.F. (CONSTRUCT 1 BED - 25' X 30' = 750 SF)

LEACHFIELD DESIGN INTENT: 1) THE BOTTOM OF THE BED SHALL BE CONSTRUCTED AT ELEVATION 40.75'. 2) THE ELEVATION OF THE HIGH CONTOUR OF THE DESIGNED BED IS APPROXIMATELY 4.13' BELOW EXISTING GROUND LEVEL (44.88') - VENT REQUIRED. 3) 50% RULE NOT APPLIED.

SEPTIC TANK SIZING: 1,250 GALLONS (UP TO 4 BEDROOMS) 1 BEDROOM (UNIT #1) = 1,250 GALLON TANK REQUIRED (1,250 GALLON TANK PROVIDED) 3 BEDROOMS (UNIT #2) = 1,250 GALLON TANK REQUIRED (1,250 GALLON TANK PROVIDED)

- GENERAL NOTES: 1. THERE ARE NO KNOWN CEMETERIES WITHIN 100-FOOT OF THE ISDS COMPONENTS. 2. THERE ARE NO WELLS ON THE PROJECT SITE. 3. PROJECT MEETS ALL LOCAL ZONING REGULATIONS. 4. FOUNDATION/PERIMETER DRAIN OUTFALLS WILL NOT BE CONSTRUCTED WITHIN 25' OF THE LEACHFIELD OR SEPTIC TANK. 5. ANY DISCREPANCY BETWEEN THE PLAN AND APPARENT FIELD CONDITIONS SHALL BE REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION. 6. WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS. 7. SHOULD FAILURE OCCUR, SYSTEM SHALL BE REBUILT IN THE SAME LOCATION, A NEW PERMIT FROM NHDES-SSB IS NOT REQUIRED. 8. CONTRACTOR SHALL BE LICENSED BY THE NHDES SUBSURFACE SYSTEMS BUREAU TO INSTALL SEPTIC SYSTEMS.

- 9. THE NEAREST WETLAND OR SURFACE WATER IS GREATER THAN 75 FEET TO THE PROPOSED ISDS COMPONENTS. 10. THIS SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE GRINDER OR A WATER SOFTENER. 11. THERE ARE NO LEDGE OUTCROPS WITHIN 25' OF THE EFFLUENT DISPOSAL AREAS. 12. THE LOT DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA. 13. THE PROPERTY IS NOT LOCATED IN A PROTECTED SHORELAND BUFFER. 14. THE PROPERTY IS NOT SUBJECT TO DEEDED RIGHTS OF FLOWAGE. 15. THE PROPERTY IS NOT SUBJECT TO PENDING SUBDIVISION APPROVAL. 16. THIS SUBSURFACE DISPOSAL SYSTEM PLAN DOES NOT REPRESENT A PROPERTY BOUNDARY SURVEY. 17. ALL WORK IS TO COMPLY WITH THE LATEST NHDES SUBSURFACE SYSTEMS BUREAU REGULATIONS & SPECIFICATIONS. 18. THERE ARE NO PROPOSED WETLAND DREDGE AND FILL AREAS ON THE PROJECT SITE.

- SITE PREPARATION AND FILL: 1. CHECK DESIGN INTENT AND VERIFY THE ELEVATION OF EXISTING GROUND BEFORE DISTURBING SITE. 2. REMOVE ALL TREES, LOAM, BRUSH, BOULDERS, AND DEBRIS FROM THE AREA TO BE FILLED. 3. REMOVE TOPSOIL LEAVE SUBSOIL IN PLACE. 4. SAND FILL SHALL BE PUSHED ONTO PREPARED SURFACE FROM THE SIDE. 5. FILL FOR BACKFILLING SHALL BE CLEAN, PERMEABLE FILL, FREE OF ORGANICS AND STONES LARGER THAN 6". 6. BACKFILL DEPTH OVER SYSTEM SHALL BE ±1.19' TO ±2.99'. 7. PLACE FILL IN 12" LOOSE LAYERS USING A TRACK TYPE TRACTOR WITH BLADE. 8. ENTIRE DISTURBED AREA INCLUDING FIELD AND SIDE SLOPES SHALL BE COVERED WITH 6" (MIN.) OF TOPSOIL AND SEEDED AS SOON AS POSSIBLE AFTER BACKFILLING TO PREVENT EROSION. 9. FILL UNDER LEACHING AREA AND FOR SHOULDERS TO BE A MEDIUM TO COURSE TEXTURED SAND:

Table with 2 columns: SIEVE SIZE, PERCENT RETAINED. Rows include 1/4", #8, #12, #100, #200.

- CONSTRUCTION NOTES: 1. UNLESS OTHERWISE NOTED, ALL CONCRETE PRODUCTS SHALL BE AS MANUFACTURED BY PHOENIX PRECAST PRODUCTS, CONCORD, NEW HAMPSHIRE 03301. 2. SEPTIC TANK, DISTRIBUTION BOX AND PUMP CHAMBERS JOINTS, INLETS, OUTLETS AND RISERS SHALL BE SEALED WITH NON-SHRINK GROUT. 3. IF ANY PART OF THIS DESIGN IS ALTERED IN ANY WAY, THE DESIGNER AND APPROVING AUTHORITIES SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION. 4. SYSTEM SHALL BE INSPECTED PER REQUIREMENTS OF ENV-WQ 1004.07 WHICH STATES "AS REQUIRED BY RSA 485-A:29, I, THE CONSTRUCTED ISDS SHALL NOT BE COVERED OR PLACED IN OPERATION WITHOUT FINAL INSPECTION AND APPROVAL BY THE DEPARTMENT (NHDES-SSB) OR BY AN AUTHORIZED AGENT OF THE DEPARTMENT." 5. THE CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. 6. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND THE OWNER WITH AS-BUILT PLANS IN DIGITAL FORMAT DETAILING LEACHFIELD CORNERS, ELEVATIONS, DISTRIBUTION BOX AND SEPTIC TANK. 7. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL AND STATE PERMITS HAVE BEEN OBTAINED. 8. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. 9. SEPTIC TANK MUST BE 5' MIN. FROM FOUNDATION. 10. ALL CONCRETE STRUCTURES SHALL BE PLACED ON A COMPACTED SUBSURFACE OF 6" STONE MEETING THE FOLLOWING GRADATION:

Table with 2 columns: SIEVE SIZE, MAXIMUM PERCENT PASSING (BY WEIGHT). Rows include 1", No. 4.

- 11. MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES WITH SEWER BELOW WATER IF CROSSINGS ARE REQUIRED. 12. APPROVED SEPTIC STONE FOR THE LEACHFIELD SHALL MEET THE SPECIFICATIONS OF NHDES-SSB. THE STONE SHALL BE WASHED CRUSHED STONE MEETING THE FOLLOWING GRADATION:

Table with 2 columns: SIEVE SIZE, MAXIMUM PERCENT PASSING (BY WEIGHT). Rows include 2", 1-1/2", 3/4", No. 4, No. 200.

- 13. LEACH LINES SHALL BE FOUR (4) INCH DIAMETER RIGID PVC PERFORATED PIPE. THE PIPES SHALL BE LAID LEVEL. THE PERFORATIONS SHALL BE POSITIONED AT THE 5 AND 7 O'CLOCK POSITIONS. 14. MINIMUM SLOPES: BUILDING TO SEPTIC TANK: 1/4 INCH PER FOOT SEPTIC TANK TO D-BOX: 1/8 INCH PER FOOT

LOT LOADING CALCULATIONS

MINIMUM LOT SIZING AND SEWAGE LOADING FACTORS FOR 1 TO 4 BEDROOM RESIDENCES BASED ON NHDES Env-Wq 1000 TABLE 1005-1

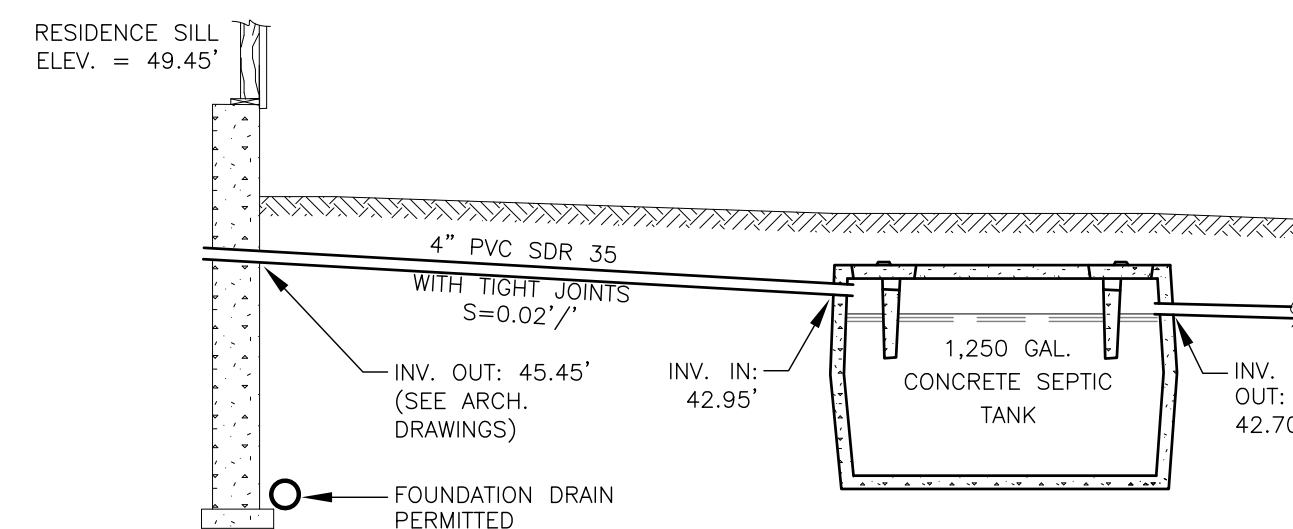
Table with columns: SOIL IDENTIFIER, SOIL GROUP, SLOPE, LOT SIZE, PROJECT AREA (SF), NUMBER OF LOTS, NOTES. Includes totals for 1,690,603 sq ft and 32.80 lots/units.

TEST PIT LOG

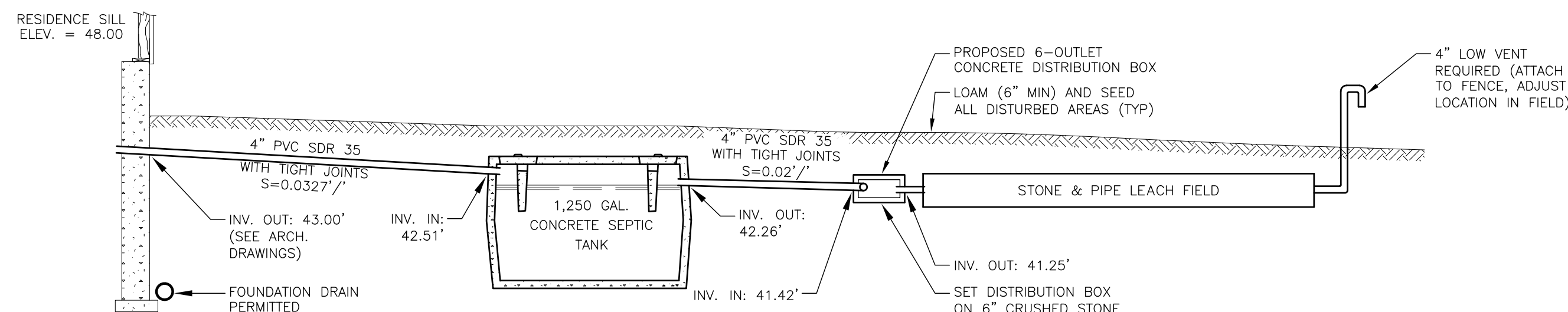
TEST PITS WERE PERFORMED BY JOSEPH NOEL, CSS #017 AND ALTUS ENGINEERING ON MARCH 24, 2023, WITNESSED BY DAVE DESPOSES OF THE PORTSMOUTH DPW.

Test Pit No. 1 ESHWT: None Termination @ 96" Refusal: No Obs. Water: No Table with columns: Depth, Color, Texture, Structure, Consistence, REDOX.

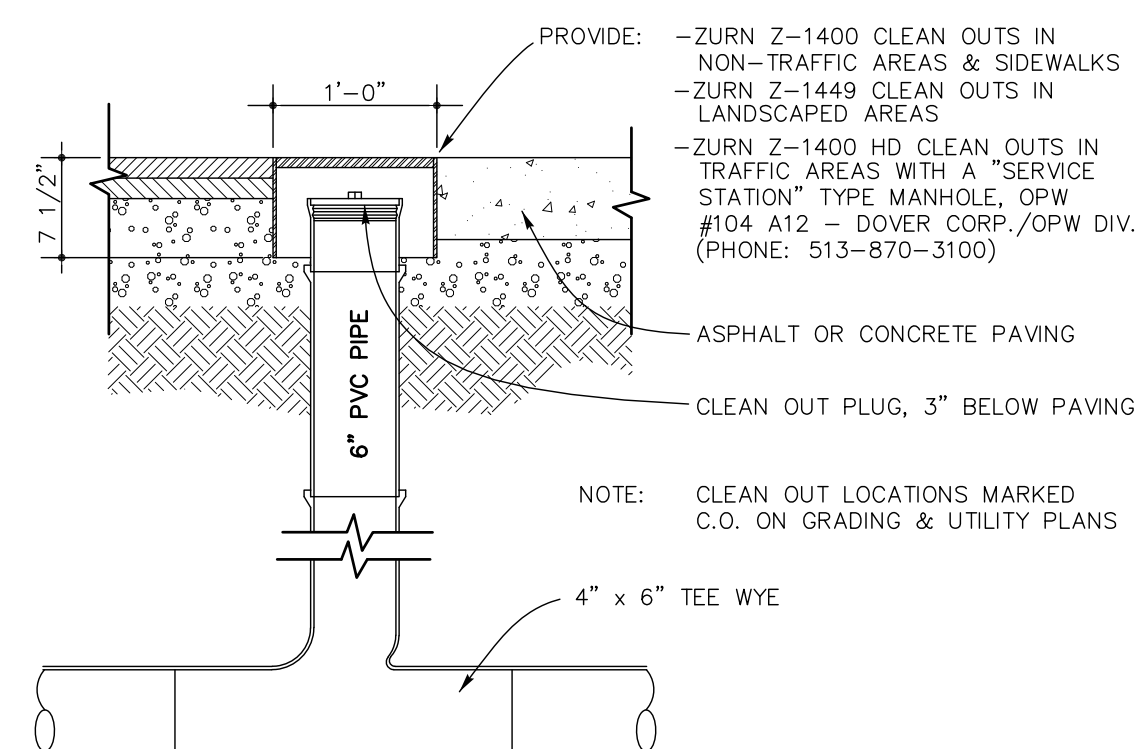
KEY: GR (TEXTURE)= GRAVELLY LS = LOAMY SAND S = SAND FSL = FINE SANDY LOAM SL = SANDY LOAM SIL = SILT LOAM SICL = SILTY CLAY F (TEXTURE) = FINE CN (TEXTURE) = CHANNERY V (ROCK FRAGMENT)(TEXTURE) = VERY



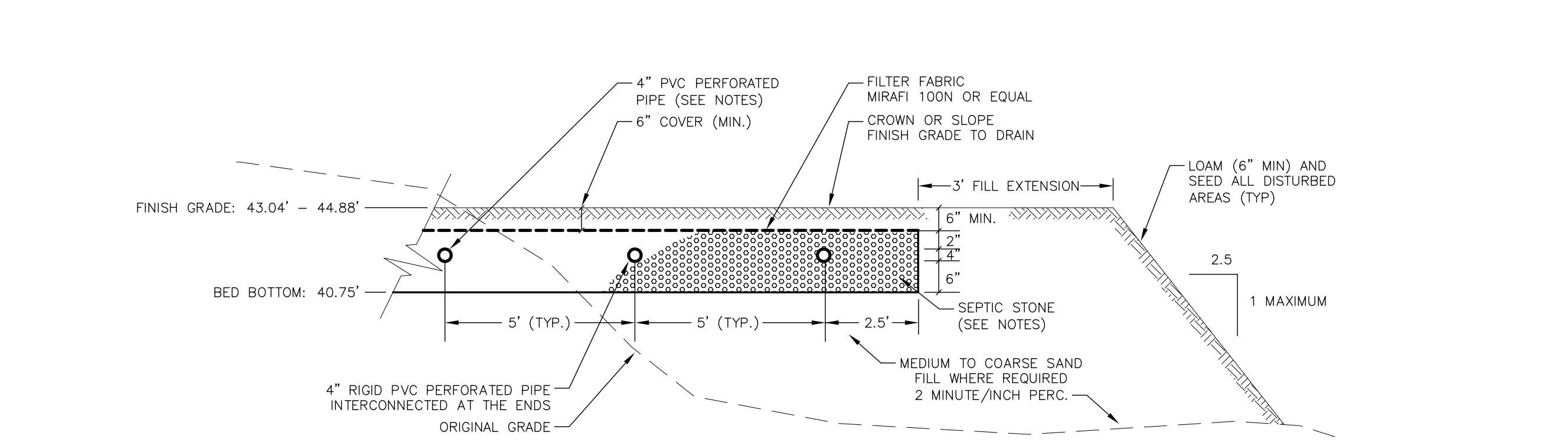
TYPICAL SECTION OF SANITARY SYSTEM (FROM DWELLING UNIT #1) NOT TO SCALE



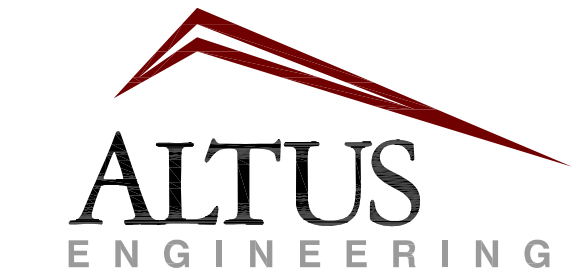
TYPICAL SECTION OF SANITARY SYSTEM (FROM DWELLING UNIT #2) NOT TO SCALE



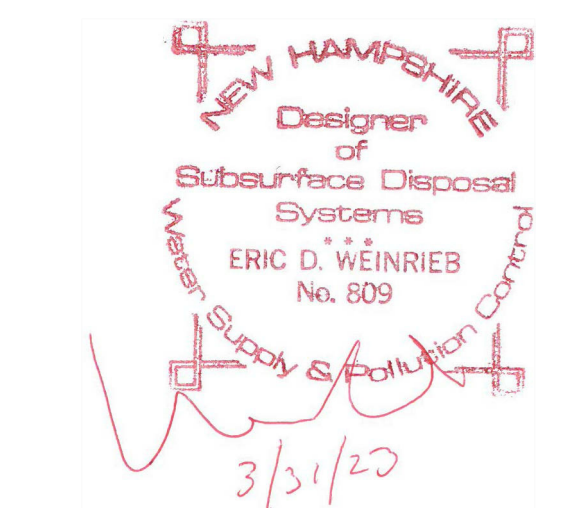
SEWER CLEANOUT NOT TO SCALE



LEACHFIELD CROSS SECTION NOT TO SCALE



133 Court Street Portsmouth, NH 03801 (603) 433-2335 www.altus-eng.com



ISSUED FOR: NHDES

ISSUE DATE: PERMITTING

REVISIONS NO. DESCRIPTION BY DATE 0 NHDES EBS 03/31/23

DRAWN BY: EBS

APPROVED BY: EBS

DRAWING FILE: 5411-SITE.dwg

SCALE: NOT TO SCALE

OWNER:

THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS 305 PEVERLY HILL ROAD PORTSMOUTH, NH 03801

APPLICANT:

THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS 305 PEVERLY HILL ROAD PORTSMOUTH, NH 03801

PROJECT:

REIS FARM TAX MAP 255 LOT 5 305 PEVERLY HILL ROAD PORTSMOUTH, NH 03801

TITLE: SUBSURFACE DISPOSAL SYSTEM DETAILS

SHEET NUMBER:

SS-2

NHDES-SSB APPROVAL BLOCK

REVIEWED AND APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NH DEPT OF ENVIRONMENTAL SERVICES WATER DIVISION. Date: 4/5/2023. #eCA2023040505

# The Reis Farm

305 Peverly Hill Road  
Portsmouth, NH 03801

Assessor's Parcel 255, Lot 5  
ISSUED FOR PLANNING BOARD

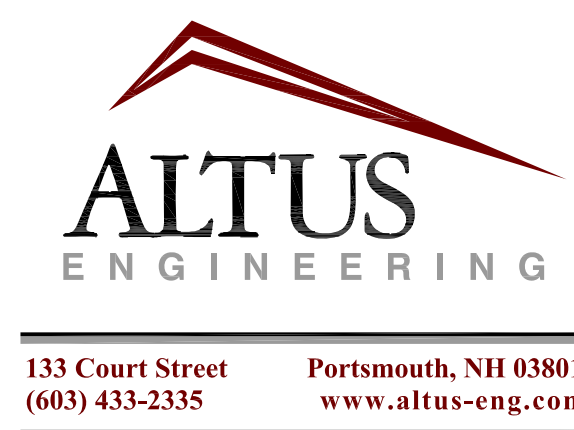
Plan Issue Date:

April 25, 2023

**Owner/Applicant:**

THOMAS E., MARYBETH B,  
JAMES B. AND MEEGAN C. REIS  
305 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801  
(603) 218-1910

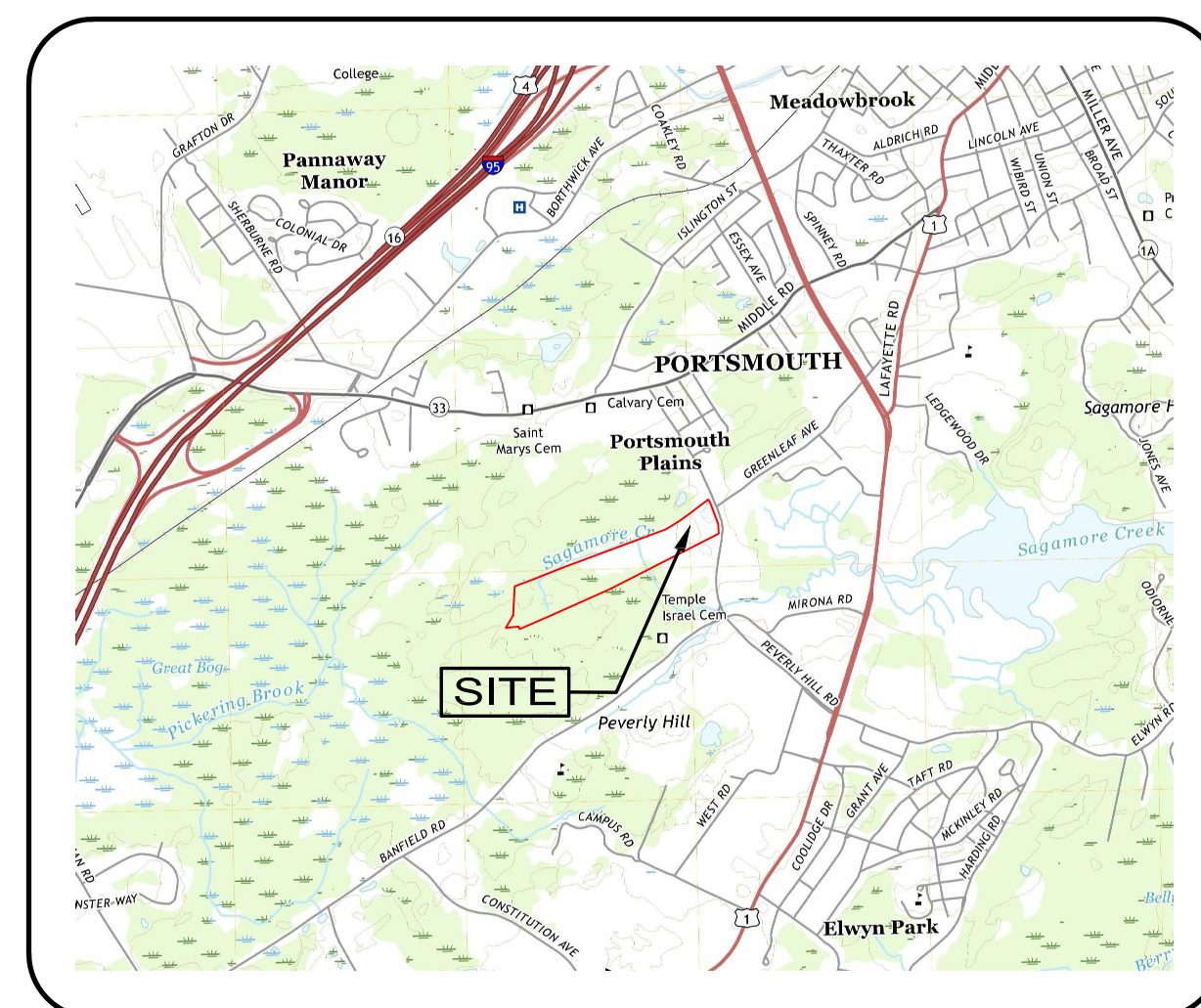
**Civil Engineer:**



**Surveyor:**

Ambit Engineering, Inc.

CIVIL ENGINEERS & LAND SURVEYORS  
200 Griffin Road, Unit 3  
Portsmouth, New Hampshire 03801  
Tel. 603-430-9282



LOCUS

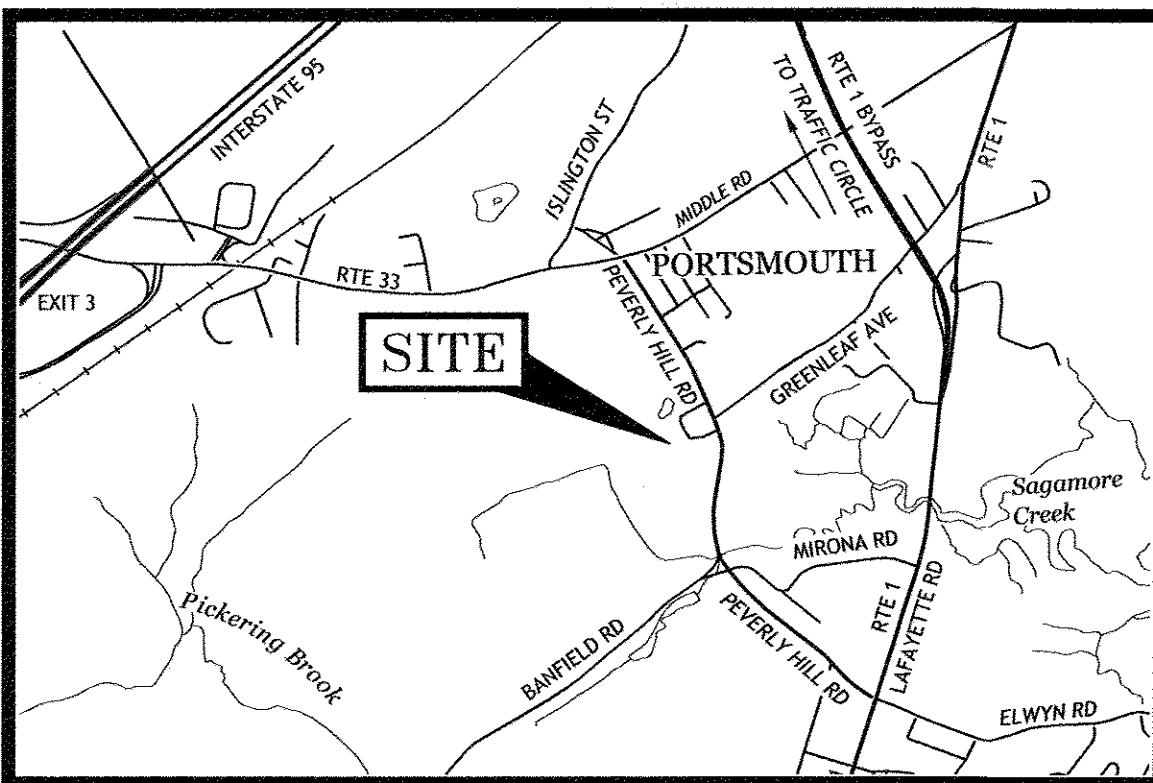
NOT TO SCALE

**Sheet Index**

Title	Sheet No.:	Rev.	Date
Existing Conditions Plan	C-1	0	01/06/23
Site and Utilities Plan	C-2	2	04/25/23
Site and Utilities Plan	C-3	1	03/22/23
Turning Movement Analysis	C-4	0	03/22/23
Detail Sheet	C-5	1	03/22/23
Front Elevation	-	0	12/13/22
Right Elevation	-	0	12/13/22
Rear Elevation	-	0	12/13/22
Left Elevation	-	0	12/13/22
Proposed & Exist. 1st Floor Plans	A1	1	03/20/23
Proposed & Exist. 2nd Floor Plans	A2	1	03/20/23
Proposed & Exist. Lower Level	A3	1	03/20/23
Proposed & Existing Front Elev.	A4	1	03/20/23
Proposed & Existing Rear Elev.	A5	1	03/20/23

**Permit Summary**

	Submitted	Received
Portsmouth ZBA Approval	01/10/23	01/24/23
Portsmouth Site Plan Approval	02/21/23	-
NHDES Subsurface Approval	04/04/23	04/05/23



LOCATION MAP SCALE: 1"=2000'

PLAN REFERENCES:

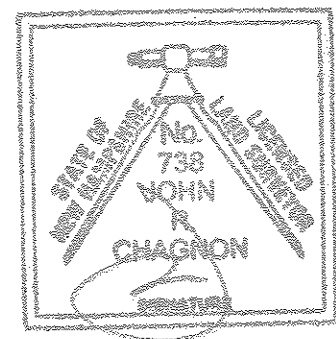
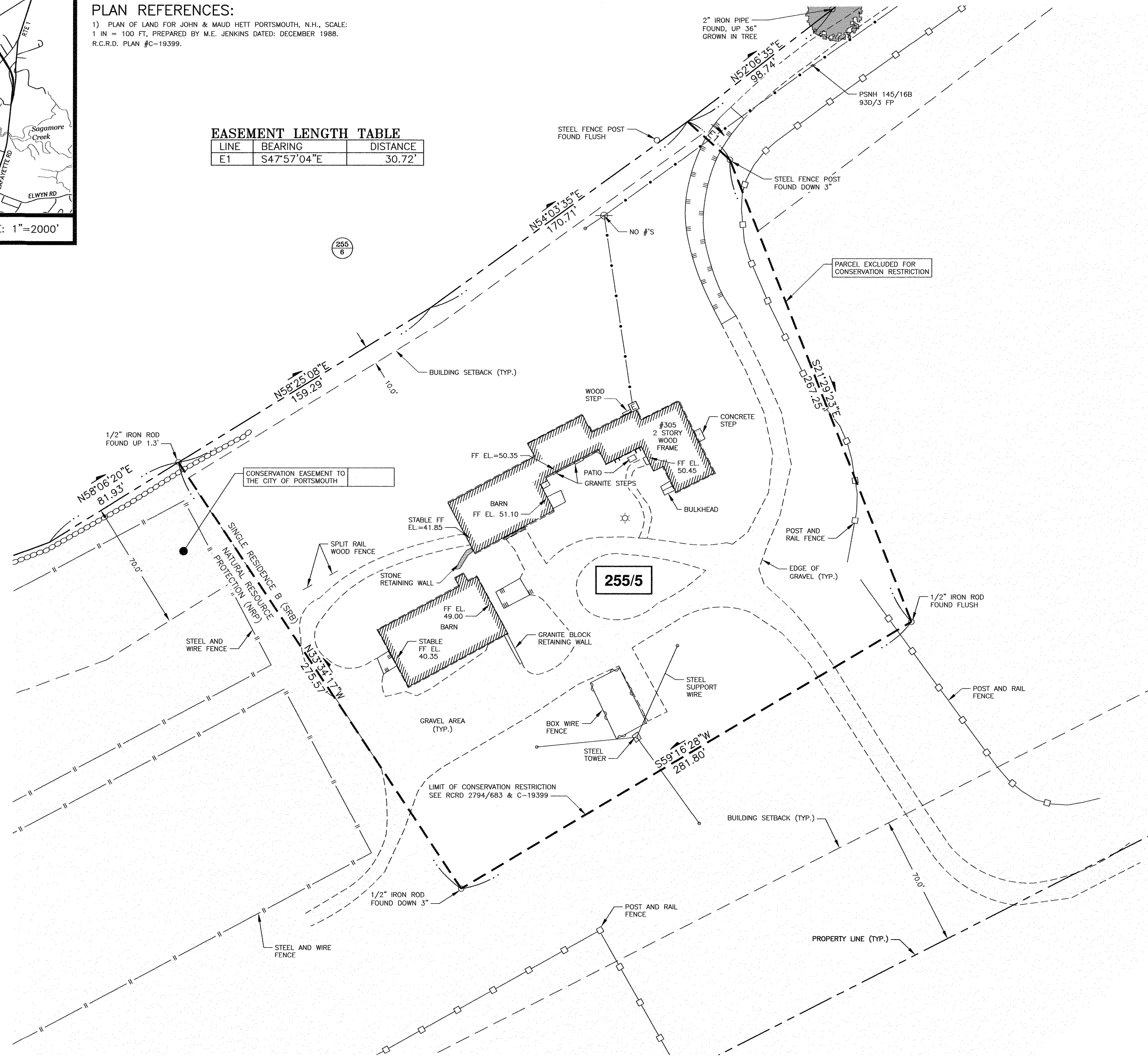
- 1) PLAN OF LAND FOR JOHN & MAUD HETT PORTSMOUTH, N.H., SCALE: 1 IN = 100 FT, PREPARED BY M.E. JENKINS DATED: DECEMBER 1988. R.C.R.D. PLAN #C-19399.

EASEMENT LENGTH TABLE

LINE	BEARING	DISTANCE
E1	S47°57'04"E	30.72'

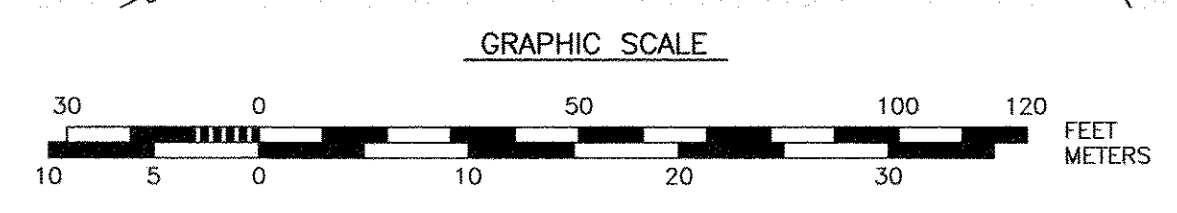
LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
	REGISTRY OF DEEDS
(11/21)	MAP 11 / LOT 21
---	BOUNDARY
- - -	SETBACK
○	IRON ROD/PIPE FOUND
—●—	OVERHEAD ELECTRIC/WIRES
—○—	CONTOUR
— —	EDGE OF PAVEMENT (EP)
—○—	UTILITY POLE (w/ GUY)
⊗	ELECTRIC METER
EL.	ELEVATION
FF	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS #738 DATE 1.6.23



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

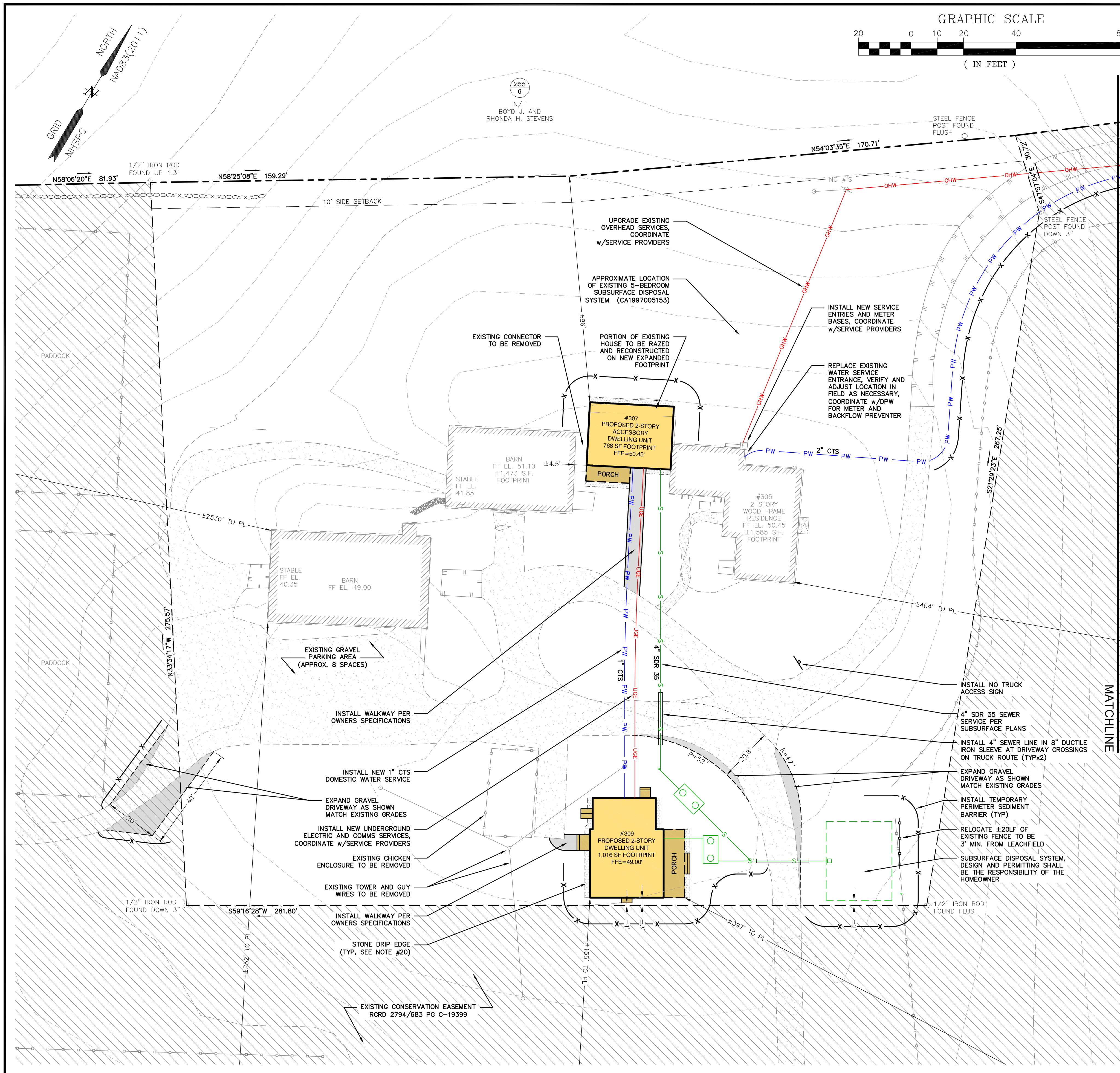
- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 255 AS LOT 5.
  - 2) OWNERS OF RECORD: THOMAS E. REIS & MARYBETH R. REIS, JAMES B. REIS & MEEGAN C. REIS, 305 PEVERLY HILL ROAD, PORTSMOUTH, NH 03801, 5560/2148, C-19399
  - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0270F, EFFECTIVE DATE 1/29/2021.
  - 4) EXISTING LOT AREA: 39.7 ACRES (PER CITY ASSESSOR DATABASE)
  - 5) PARCEL IS LOCATED IN THE NATURAL RESOURCE PROTECTION (NRP) & SINGLE RESIDENCE B (SRB) DISTRICTS.
  - 6) DIMENSIONAL REQUIREMENTS:  
NATURAL RESOURCES PROTECTION (NRP)  
MIN. LOT AREA: N/A  
FRONTAGE: N/A  
SETBACKS:  
FRONT: 70 FEET  
SIDE: 70 FEET  
REAR: 70 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: N/A  
MINIMUM OPEN SPACE: 95%  
SINGLE RESIDENCE B (SRB)  
MIN. LOT AREA: 15,000 S.F.  
FRONTAGE: 100 FEET  
SETBACKS:  
FRONT: 30 FEET  
SIDE: 10 FEET  
REAR: 30 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON A PORTION OF ASSESSOR'S MAP 255, LOT 5 IN THE CITY OF PORTSMOUTH.
  - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
  - 9) THIS PLAN DEPICTS THE PORTION OF ASSESSOR'S MAP 255 LOT 5 IDENTIFIED AS "PARCEL EXCEPTED FROM CONSERVATION RESTRICTION" AS SHOWN ON PLAN REFERENCE 1. THIS PORTION OF THE LOT IS LOCATED IN SINGLE RESIDENCE B (SRB) ZONING DISTRICT. THE REMAINDER OF THE LOT IS LOCATED IN THE NATURAL RESOURCES PROTECTION (NRP) DISTRICT.
  - 10) PARCEL PARTIALLY SUBJECT TO CONSERVATION RESTRICTIONS AS STATED IN RCRD 2794/683.

**REIS RESIDENCE  
305 PEVERLY ROAD  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	1/6/23
REVISIONS		

SCALE: 1"=30' DECEMBER 2022

EXISTING CONDITIONS PLAN **C1**

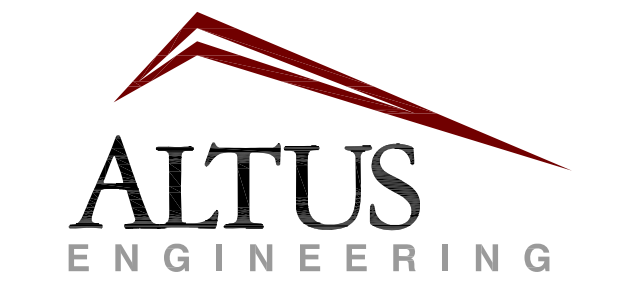


**SITE NOTES**

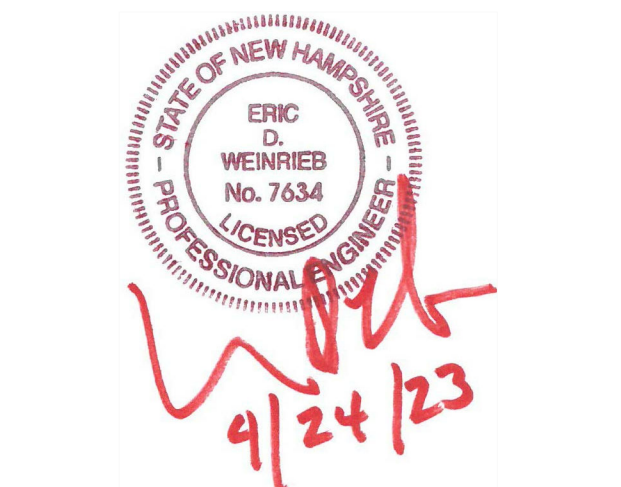
- DESIGN INTENT - THIS PLAN SET IS INTENDED TO DEPICT THE ADDITION OF TWO RESIDENTIAL UNITS TO THE SITE TOGETHER WITH ASSOCIATED SITE IMPROVEMENTS.
- APPROXIMATE LOT AREA: 1,690,603 S.F. (±38.81 AC.)
- ZONE: SINGLE RESIDENCE B (SRB) & NATURAL RESOURCE PROTECTION (NRP)
- DIMENSIONAL REQUIREMENTS (SRB):  
 MIN. LOT AREA: 15,000 S.F.  
 MIN. STREET FRONTAGE: 100'  
 FRONT SETBACK: 30'  
 SIDE SETBACK: 10'  
 REAR SETBACK: 30'  
 MAX. BUILDING HEIGHT: 35'  
 MAX. BLDG. COVERAGE: 20% (0.35% EXISTING, 0.43% PROPOSED)  
 MIN. OPEN SPACE: 40% (1.54% EXISTING, 1.65% PROPOSED)  
 WETLAND SETBACK: 100'
- PARKING REQUIREMENTS:  
 AGRICULTURAL USES: NO REQUIREMENT  
 DWELLING UNITS: <300 S.F. 0.5 SPACES/UNIT  
                           500-750 S.F. 1.0 SPACES/UNIT  
                           >750 S.F. 1.3 SPACES/UNIT  
 3 UNITS >750 S.F. x 1.3 SPACES = 3.9 SPACES  
 TOTAL PARKING REQUIRED = 4 SPACES  
 TOTAL PARKING PROVIDED = 8+ SPACES
- OVERALL AREA OF DISTURBANCE UNDER 100,000 S.F., NHDES ALTERATION OF TERRAIN PERMIT NOT REQUIRED.
- AREA OF DISTURBANCE UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT NOT REQUIRED (NOI, SWPPP AND INSPECTIONS NOT REQUIRED).
- THE FOLLOWING VARIANCES FROM THE PORTSMOUTH ZONING ORDINANCE WERE GRANTED BY THE PORTSMOUTH BOARD OF ADJUSTMENT ON JANUARY 24, 2023:  
 SECTION 10.440 USE #1.30 - TO ALLOW A TWO UNIT DWELLING IN THE SRB DISTRICT.  
 SECTION 10.513 - TO ALLOW MORE THAN ONE FREESTANDING DWELLING UNIT ON A LOT IN THE SRB DISTRICT.  
 ZBA APPROVAL CONDITIONED ON A MAXIMUM OF 3 DWELLING UNITS.
- NO WETLANDS OR FLOODPLAINS ARE LOCATED WITHIN THE PROJECT LIMITS.
- THE PROJECT AREA IS NOT IN A WELLHEAD OR AQUIFER PROTECTION AREA.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- BUILDING AREA SHOWN IS BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.
- SOLID WASTE IS DELIVERED TO THE MUNICIPAL TRANSFER/RECYCLING STATION ON A WEEKLY BASIS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- SNOW TO BE STORED AT THE EDGE OF DRIVEWAYS AND PARKING AREAS AND IN LOCATIONS SHOWN.
- TOPOGRAPHY SHOWN WAS OBTAINED FROM THE CITY OF PORTSMOUTH GIS DATABASE. CONTRACTOR TO VERIFY ELEVATIONS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO INITIATING WORK.
- STONE DRIP EDGES SHALL BE CONSTRUCTED AT ALL ROOF LINES THAT DIRECT RUNOFF TO ANY NON-IMPERVIOUS AREA SUCH AS LAWNS OR LANDSCAPING. GUTTERS INSTALLED OVER DOORWAYS, DECKS, DRIVEWAYS, ETC. SHALL DIRECT THEIR DOWNSPOUTS TO THE NEAREST STONE DRIP EDGE.
- AN INDIVIDUAL NUMBERED MAILBOX FOR EACH UNIT SHALL BE INSTALLED ON PEVERLY HILL ROAD.

RECORDING OF THIS PLAN IS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

FOR AMBIT ENGINEERING, INC.  
 DATE \_\_\_\_\_  
 APPROVED BY THE PORTSMOUTH PLANNING BOARD  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



133 Court Street Portsmouth, NH 03801  
 (603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION  
 ISSUED FOR: PLANNING BOARD  
 ISSUE DATE: APRIL 25, 2023

NO.	DESCRIPTION	BY	DATE
0	TAC	EBS	02/21/23
1	REVISED PER TAC	EBS	03/22/23
2	REVISED PER TAC	EBS	04/25/23

DRAWN BY: \_\_\_\_\_ EBS  
 APPROVED BY: \_\_\_\_\_ EBS  
 DRAWING FILE: 5411-SITE.dwg

SCALE:  
 22" x 34" - 1" = 20'  
 11" x 17" - 1" = 40'

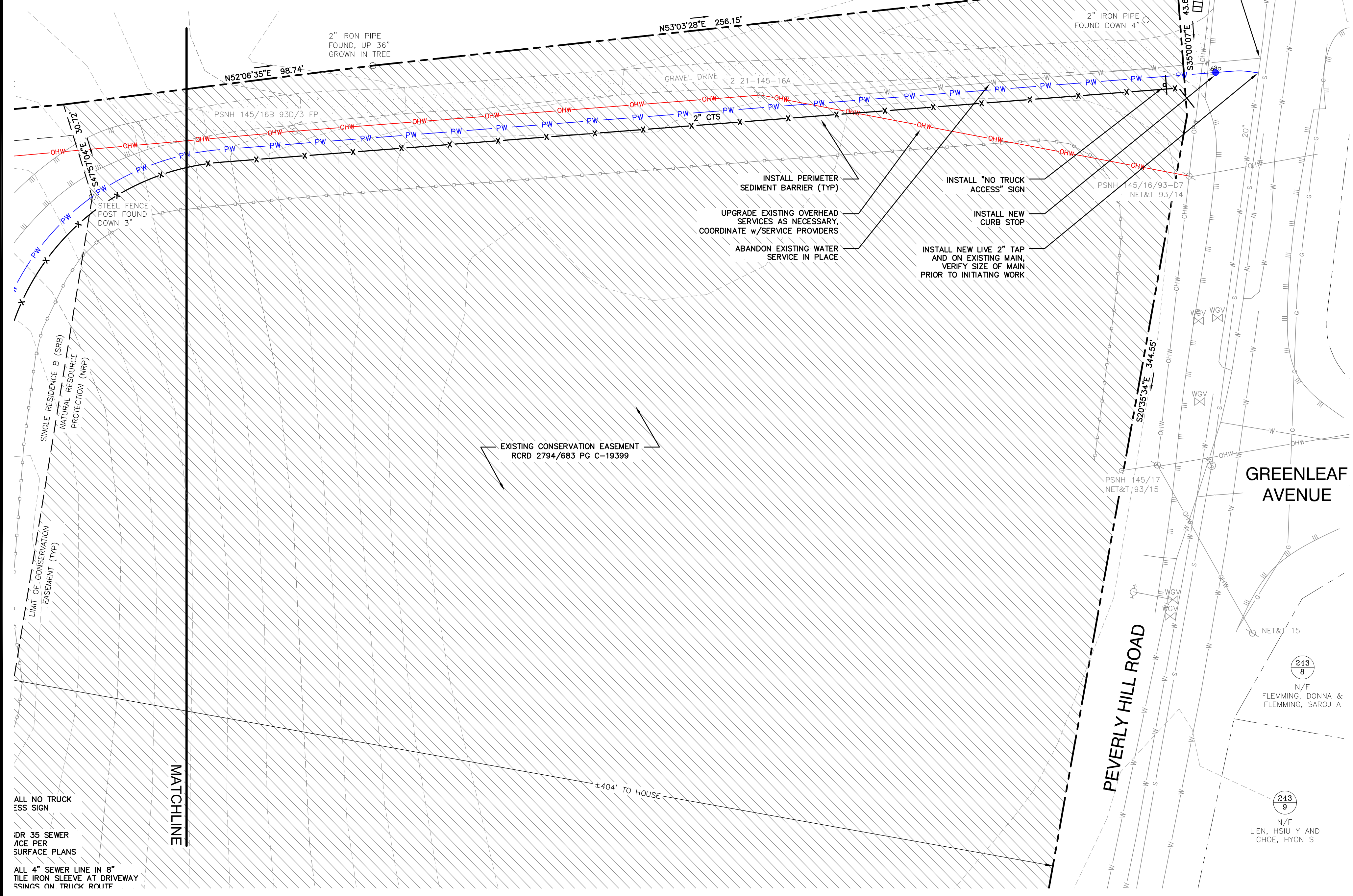
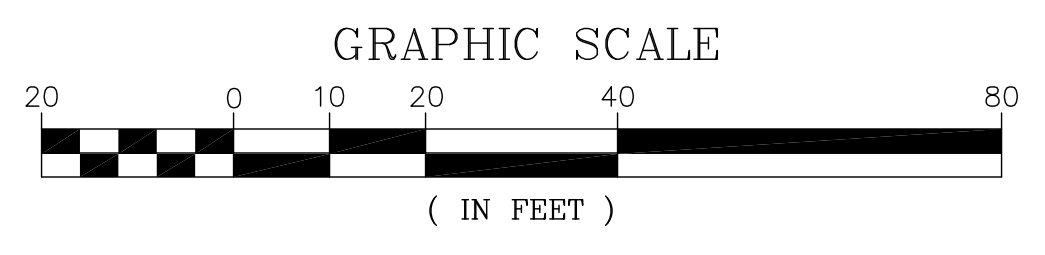
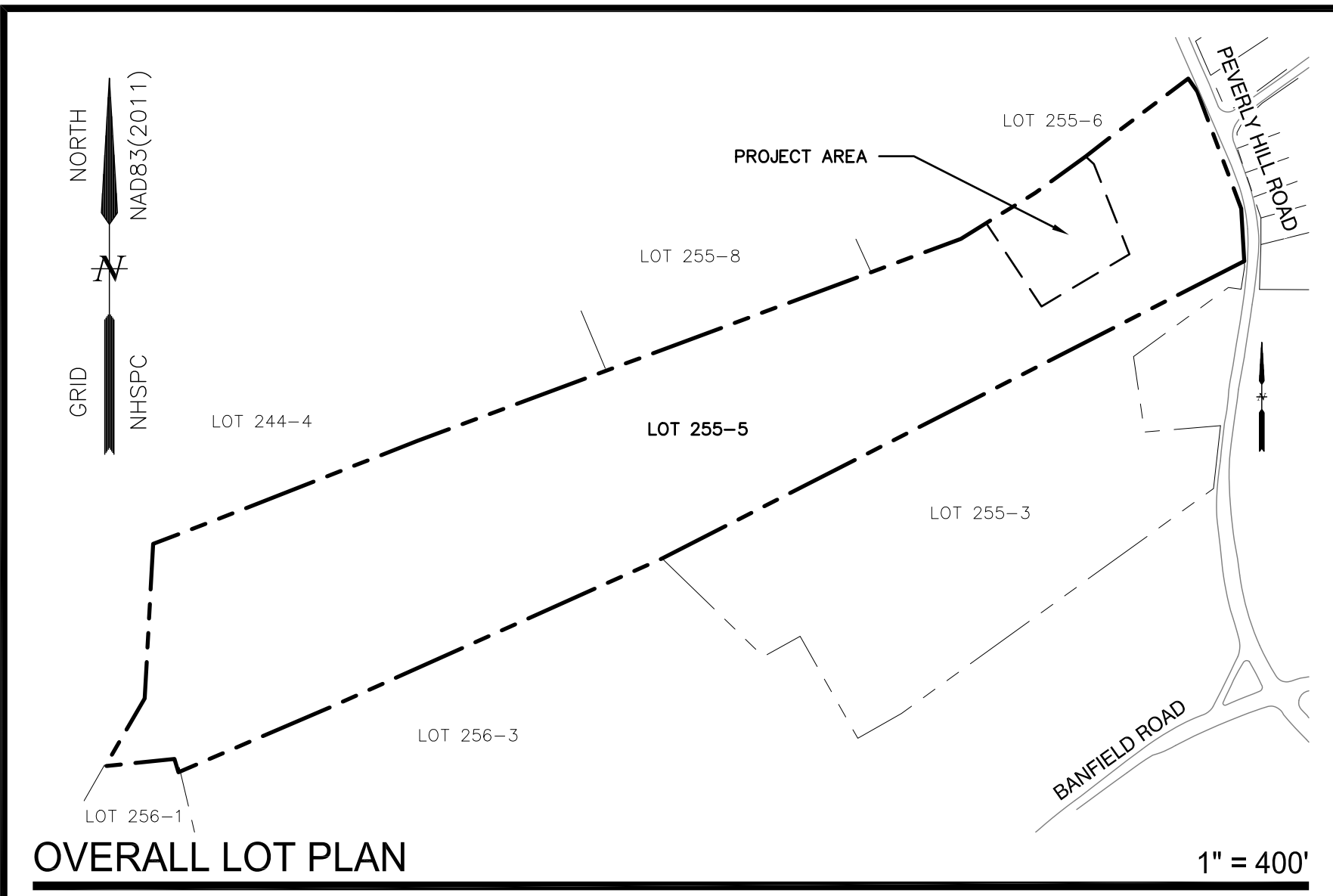
OWNER:  
 THOMAS E., MARYBETH B.,  
 JAMES B. AND MEEGAN C. REIS  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

APPLICANT:  
 THOMAS E., MARYBETH B.,  
 JAMES B. AND MEEGAN C. REIS  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

PROJECT:  
**REIS FARM**  
 TAX MAP 255 LOT 5  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

TITLE:  
**SITE AND UTILITIES PLAN**

SHEET NUMBER:  
**C-2**

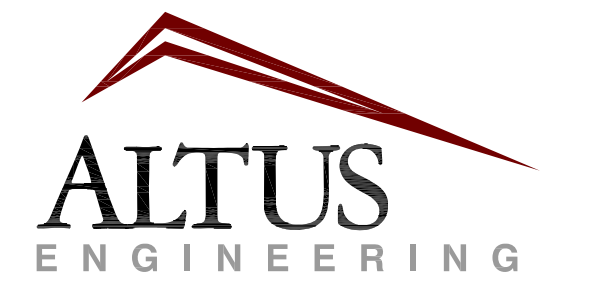


**UTILITY NOTES**

1. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE. CATCH BASINS, MANHOLES, WATER GATES, ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY PROVIDERS AND GOVERNMENTAL AGENCIES. AS SUCH, THEY ARE NOT INCLUSIVE AS OTHER UTILITIES AND UNDERGROUND STRUCTURES THAT ARE NOT SHOWN ON THE PLANS MAY EXIST. THE ENGINEER, SURVEYOR AND OWNER ACCEPT NO RESPONSIBILITY FOR POTENTIAL INACCURACIES IN THE PLAN AND/OR UNFORESEEN CONDITIONS. THE CONTRACTOR SHALL NOTIFY, IN WRITING, SAID AGENCIES, UTILITY PROVIDERS, CITY OF PORTSMOUTH DPW AND OWNER'S AUTHORIZED REPRESENTATIVE AND CALL DIG SAFE AT 1 (800) DIG-SAFE AT LEAST SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION WORK.
2. PRIOR TO CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING AND PROPOSED STORMWATER AND UTILITY LINES. CONFLICTS SHALL BE ANTICIPATED AND ALL EXISTING LINES TO BE RETAINED SHALL BE PROTECTED. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED AND, IF NECESSARY, EXISTING UTILITIES SHALL BE RELOCATED AT NO EXTRA COST TO THE OWNER. ALL CONFLICTS SHALL BE RESOLVED WITH THE INVOLVEMENT OF THE ENGINEER, DPW AND APPROPRIATE UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF ALL BONDS AND PAYMENT OF ALL TAP, TIE-IN AND CONNECTION FEES.
4. ALL ROAD/LANE CLOSURES OR OTHER TRAFFIC INTERRUPTIONS SHALL BE COORDINATED WITH THE PORTSMOUTH POLICE DEPARTMENT AND DPW AT LEAST TWO WEEKS PRIOR TO COMMENCING RELATED CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRENCHING, BEDDING, BACKFILL & COMPACTION FOR ALL UTILITY TRENCHING IN ADDITION TO ALL CONDUIT INSTALLATION AND COORDINATION OF ALL REQUIRED INSPECTIONS.
6. ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
7. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
8. DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES. COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
9. ALL WATER MAIN AND SERVICE INSTALLATIONS SHALL BE CONSTRUCTED AND TESTED PER PORTSMOUTH DPW STANDARDS AND SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE TO THE STANDARDS AND SPECIFICATIONS OF THE RESPECTIVE UTILITY PROVIDERS.
10. WHERE WATER LINES CROSS, RUN ADJACENT TO OR ARE WITHIN 5' OF STORM DRAINAGE PIPES OR STRUCTURES, 2"-THICK CLOSED CELL RIGID BOARD INSULATION SHALL BE INSTALLED FOR FROST PROTECTION.
11. WATER AND SANITARY SEWER LINES SHALL BE LOCATED AT LEAST 10' HORIZONTALLY FROM EACH OTHER. WHERE CROSSING, 18" MINIMUM VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER INSTALLED OVER SEWER.
12. ALL NEW WATER PIPING SHALL BE CTS OR K COPPER..
13. WATER/WASTEWATER DEMAND (USING NHDES SUBSURFACE CRITERIA):  
 (7 BEDROOMS x 150 GPD) + (1 ADU x 225 GPD) = 1,275 TOTAL FLOW (WASTEWATER TO BE DIRECTED TO ONSITE SUBSURFACE DISPOSAL SYSTEMS, ONE 5-BEDROOM SYSTEM CURRENTLY EXISTS (#CA1997005153), ONE NEW 4-BEDROOM SYSTEM TO BE CONSTRUCTED)
14. UTILITY PROVIDERS AND CONTACTS:  
 • WATER & SEWER: PORTSMOUTH DPW, JIM TOW, (603) 427-1530.  
 • GAS: UNITIL, DAVID BEAULIEU, (603) 294-5144.  
 • TELECOMMUNICATIONS: CONSOLIDATED, JOE CONSIDINE, (603) 427-5525.  
 • CABLE: COMCAST, MIKE COLLINS, (603) 679-5695, EXT. 1037.  
 • ELECTRICAL: EVERSOURCE, MICHAEL BUSBY, (603) 332-4227, EXT. 5555334. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
17. SEE ARCHITECTURAL/MECHANICAL DRAWINGS FOR EXACT LOCATIONS & ELEVATIONS OF UTILITY CONNECTIONS AT BUILDINGS. COORDINATE ALL WORK WITHIN FIVE (5) FEET OF BUILDINGS WITH BUILDING CONTRACTOR AND ARCHITECTURAL/MECHANICAL DRAWINGS. ALL CONFLICTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY PRIOR TO COMMENCING RELATED WORK.
16. FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE ARCHITECT, CONTRACTOR, APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DPW.
17. ASIDE FROM VISIBLE SURFACE FEATURES SUCH AS VALVES AND HYDRANTS, ALL WATER LINE INFORMATION IN THE PEVERLY HILL ROAD RIGHT OF WAY WAS OBTAINED FROM PORTSMOUTH DPW. ALTUS ENGINEERING DOES NOT WARRANT THE ACCURACY OF THIS DATA.

RECORDING OF THIS PLAN IS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

FOR AMBIT ENGINEERING, INC.  
 DATE \_\_\_\_\_  
 APPROVED BY THE PORTSMOUTH PLANNING BOARD  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



133 Court Street Portsmouth, NH 03801  
 (603) 433-2335 www.altus-eng.com

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ISSUED FOR: TAC

ISSUE DATE: MARCH 22, 2023

NO.	DESCRIPTION	BY	DATE
0	TAC	EBS	02/21/23
1	REVISED PER TAC	EBS	03/22/23

DRAWN BY: EBS  
 APPROVED BY: EBS  
 DRAWING FILE: 5411-SITE.dwg

SCALE:  
 22" x 34" - 1" = 20'  
 11" x 17" - 1" = 40'

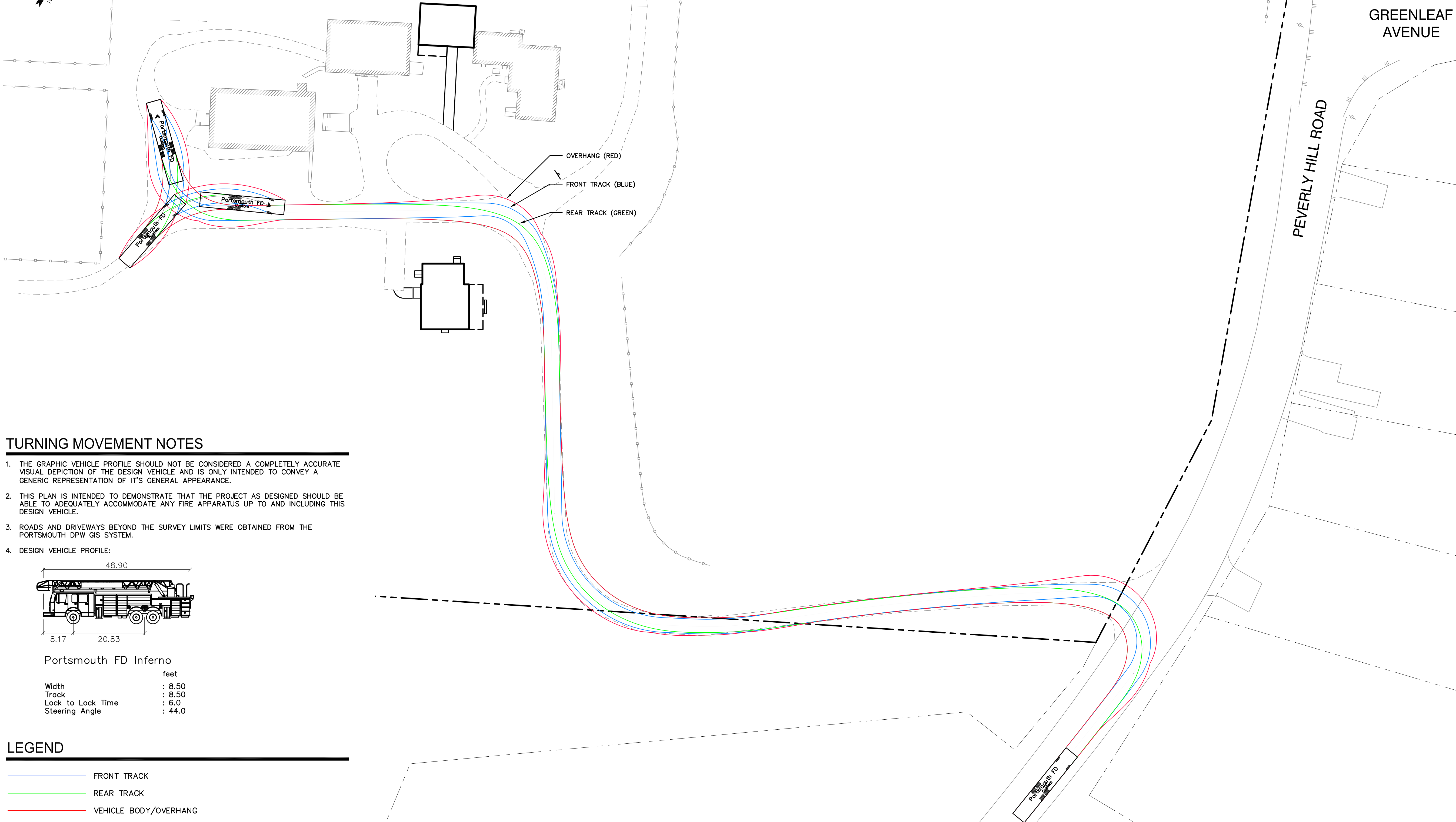
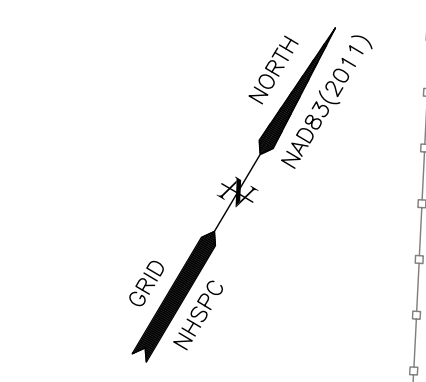
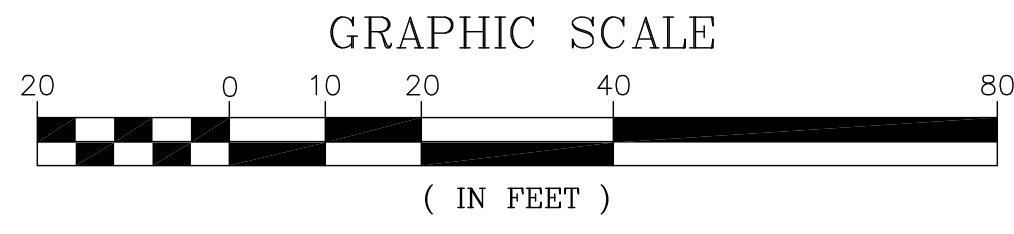
OWNER:  
 THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

APPLICANT:  
 THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

PROJECT:  
**REIS FARM**  
 TAX MAP 255 LOT 5  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

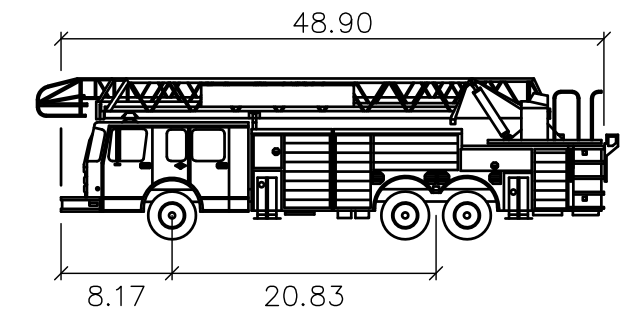
TITLE:  
**SITE AND UTILITIES PLAN**

SHEET NUMBER:  
**C-3**



**TURNING MOVEMENT NOTES**

1. THE GRAPHIC VEHICLE PROFILE SHOULD NOT BE CONSIDERED A COMPLETELY ACCURATE VISUAL DEPICTION OF THE DESIGN VEHICLE AND IS ONLY INTENDED TO CONVEY A GENERIC REPRESENTATION OF IT'S GENERAL APPEARANCE.
2. THIS PLAN IS INTENDED TO DEMONSTRATE THAT THE PROJECT AS DESIGNED SHOULD BE ABLE TO ADEQUATELY ACCOMMODATE ANY FIRE APPARATUS UP TO AND INCLUDING THIS DESIGN VEHICLE.
3. ROADS AND DRIVEWAYS BEYOND THE SURVEY LIMITS WERE OBTAINED FROM THE PORTSMOUTH DPW GIS SYSTEM.
4. DESIGN VEHICLE PROFILE:

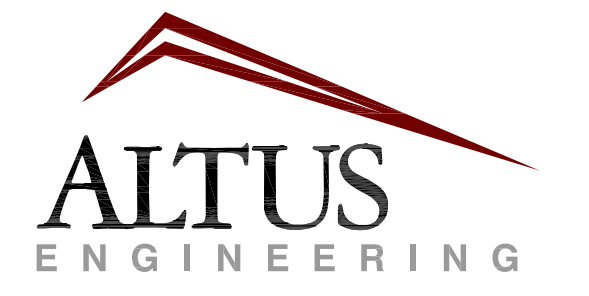


Portsmouth FD Inferno

	feet
Width	: 8.50
Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 44.0

**LEGEND**

- FRONT TRACK
- REAR TRACK
- VEHICLE BODY/OVERHANG



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ISSUE DATE: MARCH 22, 2023

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	TAC		EBS	03/22/23

DRAWN BY: \_\_\_\_\_ EBS  
 APPROVED BY: \_\_\_\_\_ EBS  
 DRAWING FILE: 5411-SITE.dwg

SCALE:  
 22" x 34" - 1" = 30'  
 11" x 17" - 1" = 60'

OWNER:  
 THOMAS E., MARYBETH B.,  
 JAMES B. AND MEEGAN C. REIS  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

APPLICANT:  
 THOMAS E., MARYBETH B.,  
 JAMES B. AND MEEGAN C. REIS  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

PROJECT:  
**REIS FARM**  
 TAX MAP 255 LOT 5  
 305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH 03801

TITLE:  
**TURNING  
 MOVEMENT  
 ANALYSIS**

SHEET NUMBER:  
**C-4**



# SEDIMENT AND EROSION CONTROL NOTES

## PROJECT NAME AND LOCATION

REIS FARM  
305 PEVERLY HILL ROAD  
PORTSMOUTH, NEW HAMPSHIRE  
TAX MAP 255 LOT 5

LATITUDE: 43°03'08" N  
LONGITUDE: 70°46'50" W

OWNER/APPLICANT:  
THOMAS E., MARYBETH B., JAMES B. AND MEEGAN C. REIS  
305 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801

## DESCRIPTION

The project consists of the renovation an expansion of an existing residence and the construction of a new detached residence together with associated site improvements.

## DISTURBED AREA

The total area to be disturbed for the development is ±8,025 S.F. (±0.18 acres).

## PROJECT PHASING

The proposed project will be completed in one phase.

## NAME OF RECEIVING WATER

The site drains over land to to Sagamore Creek.

## SEQUENCE OF MAJOR ACTIVITIES

1. Install temporary erosion control measures including perimeter controls, stabilized construction entrance and inlet sediment filters as noted on the plan. All temporary erosion control measures shall be maintained in good working condition for the duration of the project.
2. Remove landscaping and trees, strip loam and stockpile.
3. Demolish existing site features, buildings, utilities, etc. as shown on Demolition Plan.
4. Construct building foundations.
5. Construct new buildings and associated improvements.
6. Rough grade site including placement of borrow materials.
7. Construct utilities.
8. Loam (6" min) and seed on all disturbed areas not paved or otherwise stabilized.
9. When all construction activity is complete and site is stabilized, remove all temporary erosion control measures and any sediment that has been trapped by these devices.

## TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 - 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, perimeter controls shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area and permanent measures are established, perimeter controls shall be removed.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through appropriate perimeter controls. All storm drain inlets shall be provided with inlet protection measures.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

## INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

### A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

1. The smallest practical portion of the site shall be denuded at one time.
2. All control measures shall be inspected at least once each week and following any storm event of 0.5 inches or greater.
3. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
4. Built-up sediment shall be removed from perimeter barriers when it has reached one-third the height of the barrier or when "bulges" occur.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
8. An area shall be considered stable if one of the following has occurred:
  - a. Base coarse gravels have been installed in areas to be paved;
  - b. A minimum of 85% vegetated growth as been established;
  - c. A minimum of 3 inches of non-erosive material such as stone or riprap has been installed; - or -
  - d. Erosion control blankets have been properly installed.
9. The length of time of exposure of area disturbed during construction shall not exceed 45 days.

### B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

1. Timing - In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
  - a. Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
  - b. Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on a area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

### 2. Guidelines for Winter Mulch Application -

Type	Rate per 1,000 s.f.	Use and Comments
Hay or Straw	70 to 90 lbs.	Must be dry and free from mold. May be used with plantings.
Wood Chips or Bark Mulch	460 to 920 lbs.	Used mostly with trees and shrubs.

## INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CONTINUED)

Material	As per manufacturer Specifications	Used in slope areas, water courses and other Control areas.
Jute and Fibrous Matting (Erosion Blanket)		
Crushed Stone 1/4" to 1-1/2" dia.	Spread more than 1/2" thick	Effective in controlling wind and water erosion.
Erosion Control Mix	2" thick (min)	<ul style="list-style-type: none"> <li>* The organic matter content is between 80 and 100%, dry weight basis.</li> <li>* Particle size by weight is 100% passing a 6" screen and a minimum of 70 % maximum of 85%, passing a 0.75" screen.</li> <li>* The organic portion needs to be fibrous and elongated.</li> <li>* Large portions of silts, clays or fine sands are not acceptable in the mix.</li> <li>* Soluble salts content is less than 4.0 mmhos/cm.</li> <li>* The pH should fall between 5.0 and 8.0.</li> </ul>

3. Maintenance - All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

### C. PERMANENT SEEDING -

1. Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 5" to prepare a seedbed and mix fertilizer into the soil.
2. Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and organic fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
 

Agricultural Limestone @ 100 lbs. per 1,000 s.f.	10-20-20 organic fertilizer @ 12 lbs. per 1,000 s.f.
--	--
3. Seed Mixture (recommended):

Type	Lbs. / Acre	Lbs. / 1,000 sft
Tall Fescue	24	0.55
Creeping Red Fescue	24	0.55
Total	48	1.10

Type	Lbs. / Acre	Lbs. / 1,000 sft
Tall Fescue	24	0.55
Creeping Red Fescue	24	0.55
Total	48	1.10

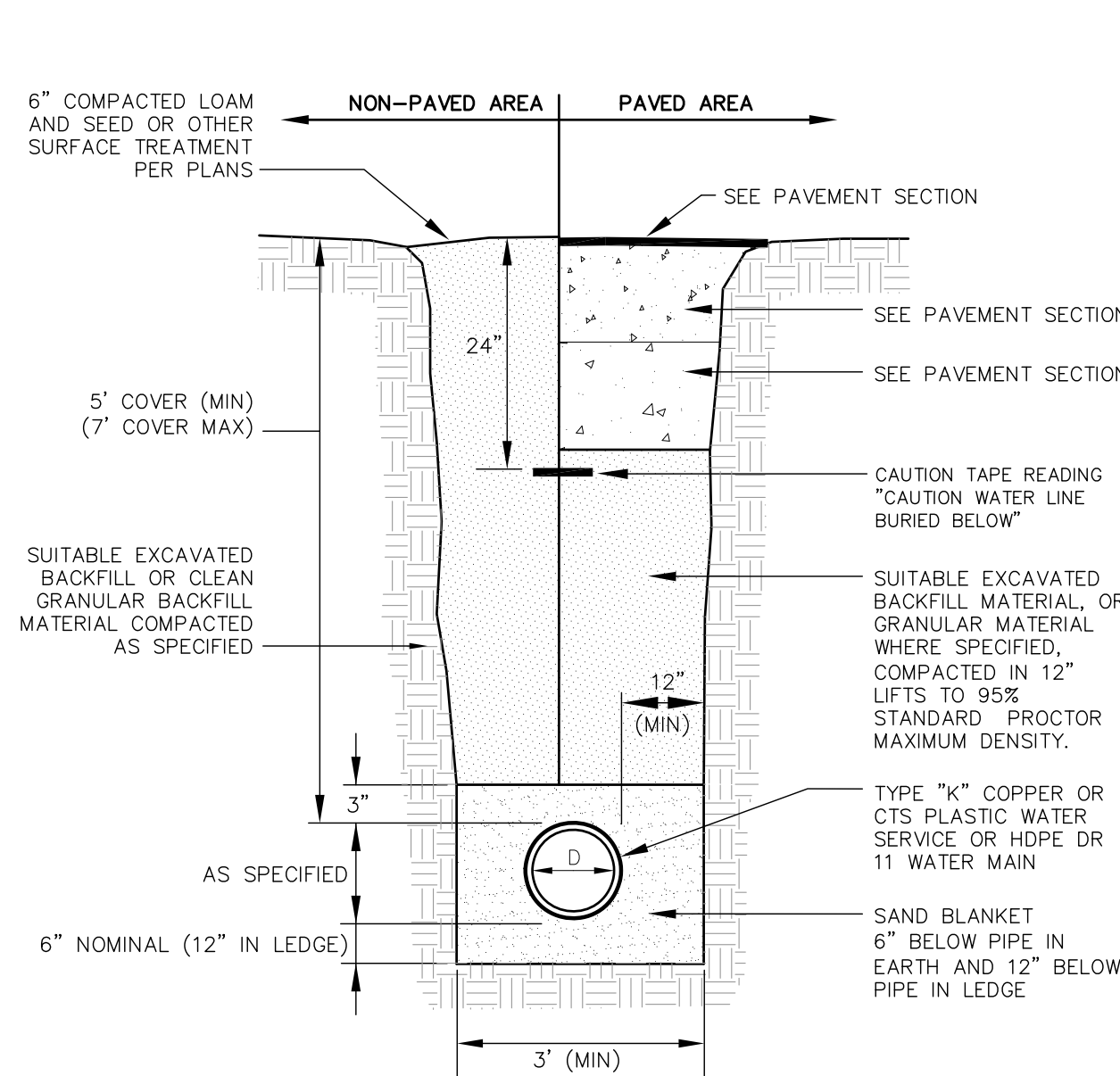
Seed Mixture (For slope embankments):  
Grass Seed - Provide fresh, clean, new-crop seed complying with tolerance for purity and germination established by Official Seed Analysis of North America. Provide seed mixture composed of grass species, proportions and minimum percentages of purity, germination, and maximum percentage of weed seed, as specified:

Type	Min. Purity (%)	Min. Germination (%)	Kg./Hectare (Lbs./Acre)
Creeping Red Fescue (c)	96	85	45 (40)
Perennial Rye Grass (a)	98	90	35 (30)
Redtop	95	80	5 (5)
Alsike Clover	97	90(e)	5 (5)
Total			90 (80)

- a. Ryegrass shall be a certified fine-textured variety such as Pennfine, Fiesta, Yorktown, Diplomat, or equal.
  - b. Fescue varieties shall include - Creeping Red and/or Hard Reliant, Scaldis, Koket, or Jarnewtown.
4. Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

### WINTER CONSTRUCTION NOTES

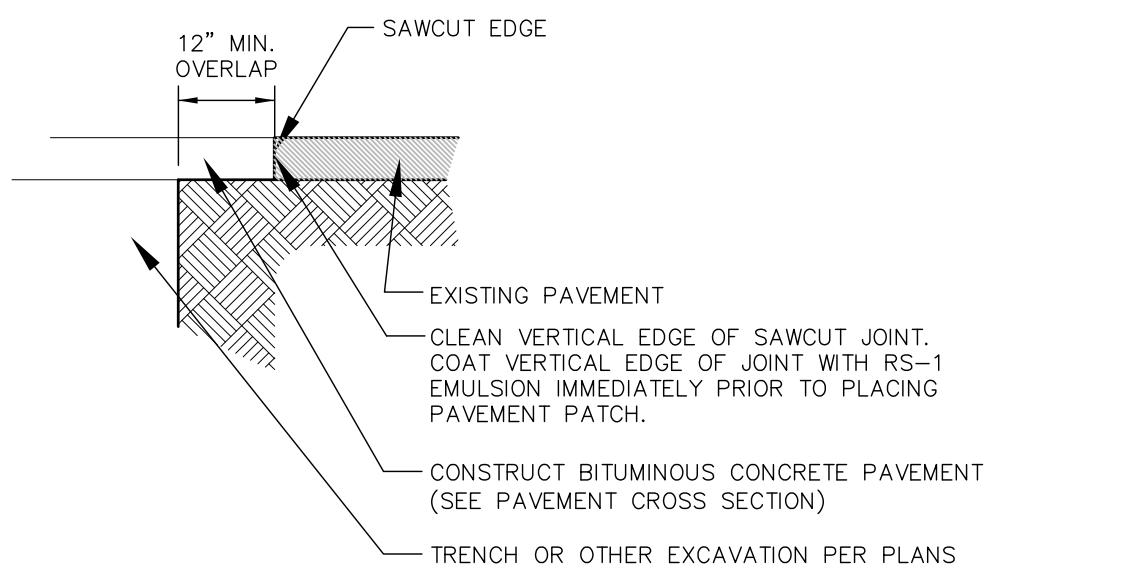
1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.



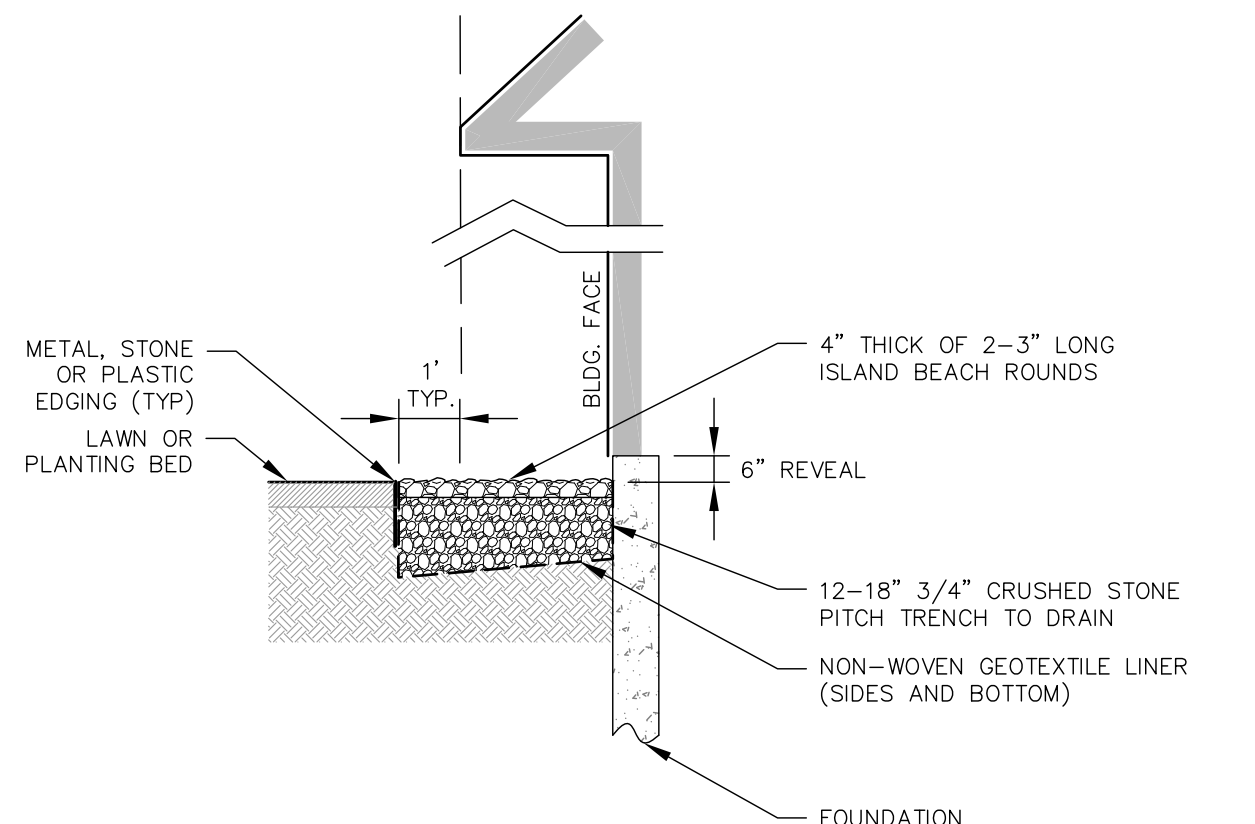
SAND BLANKET/BARRIER	SIEVE SIZE	% FINER BY WEIGHT
	1/2"	90 - 100
	200	0 - 15

- NOTES**
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
  2. ALL TRENCHING AND BACKFILL SHALL CONFORM WITH THE STANDARDS OF THE CITY OF PORTSMOUTH.

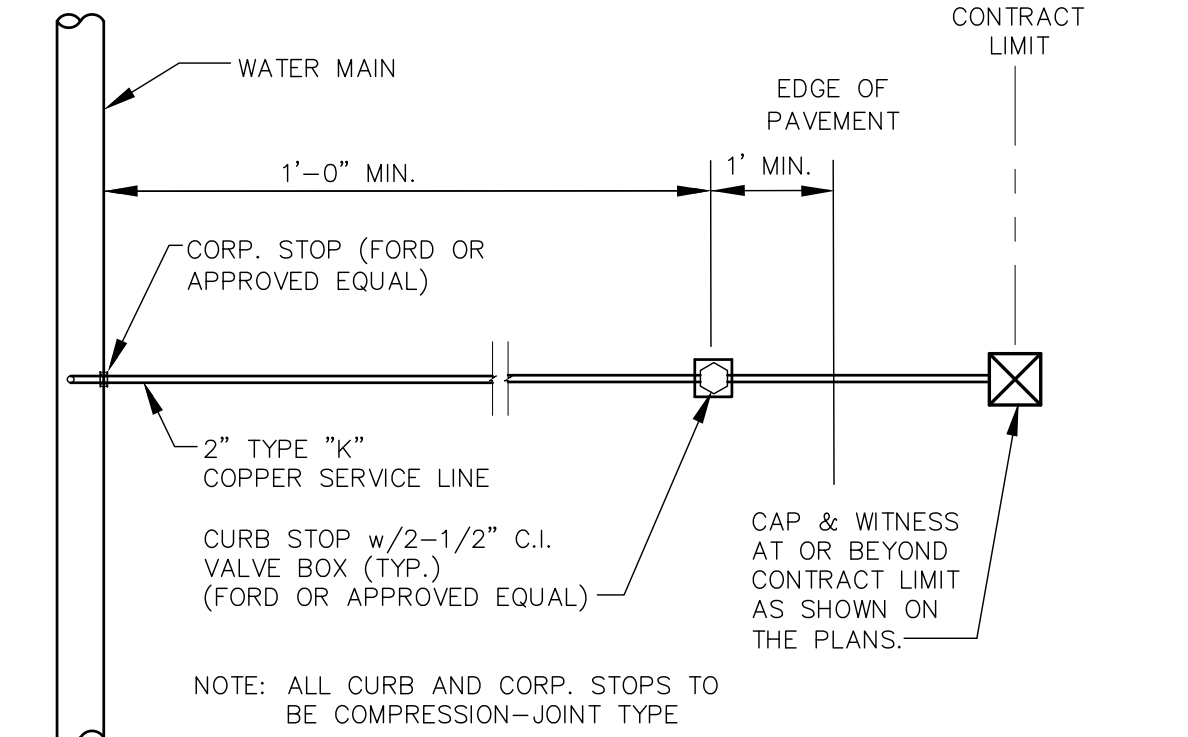
## WATER MAIN TRENCH NOT TO SCALE



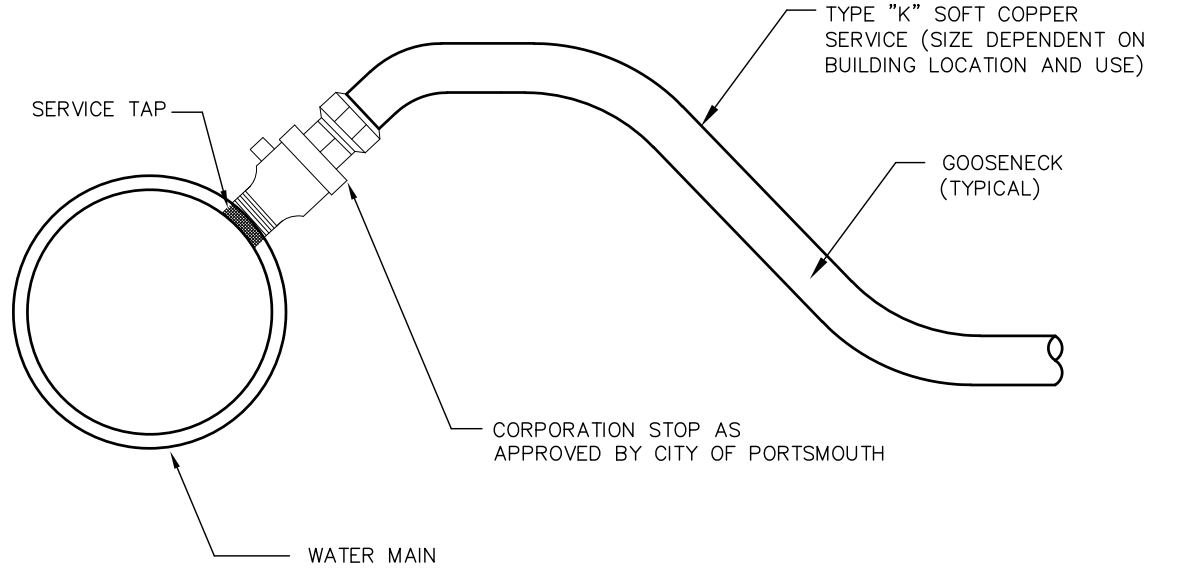
## TYPICAL PAVEMENT SAWCUT NOT TO SCALE



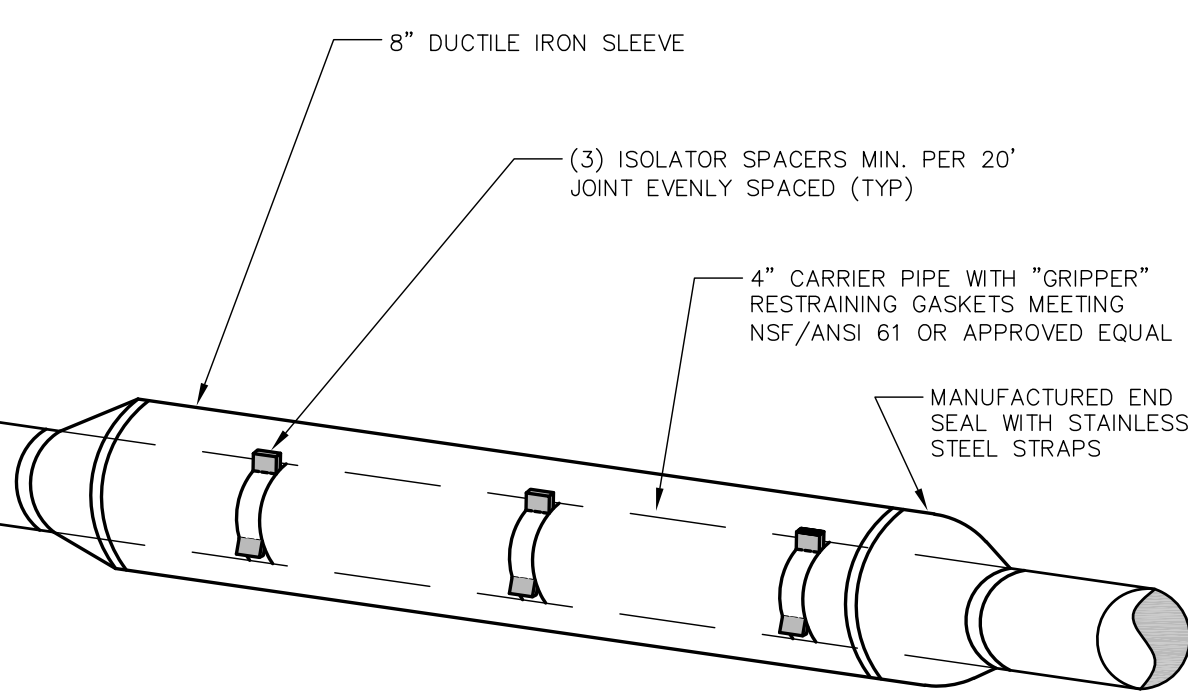
## STONE DRIP EDGE NOT TO SCALE



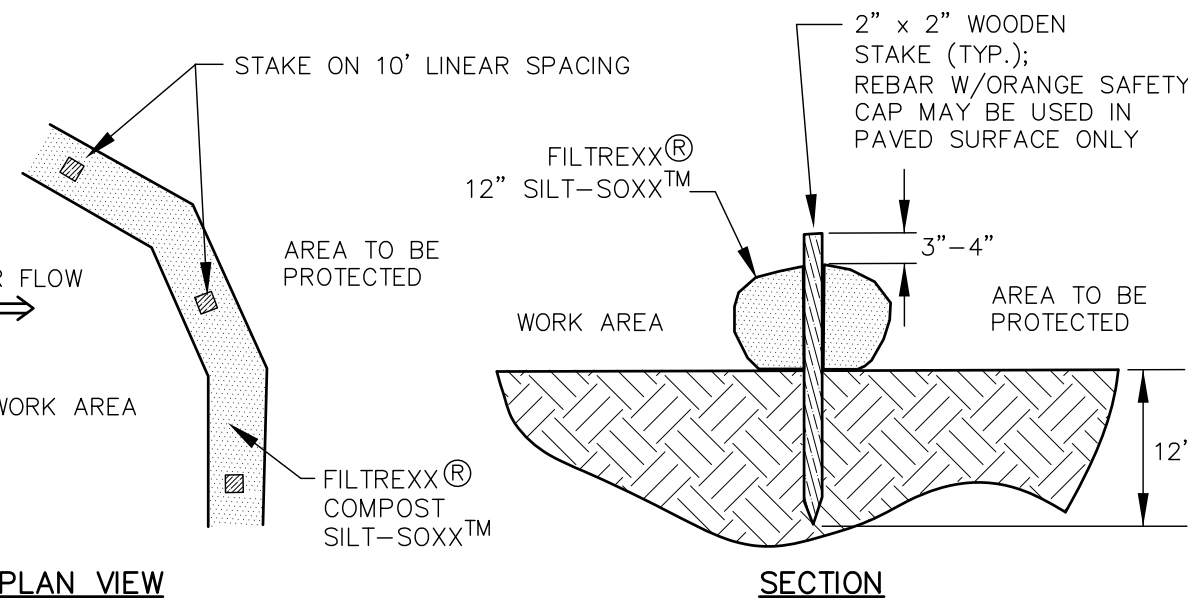
**NOTE:** ALL MATERIALS AND SPECIFICATIONS SHALL CONFORM TO CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS AND REQUIREMENTS. VERIFY PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES.



## WATER SERVICE CONNECTION NOT TO SCALE



## WATER SLEEVE DETAIL NOT TO SCALE



- NOTES:**
1. SILTSOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
  2. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
  3. SILTSOXX COMPOST/SOL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
  4. ALL SEDIMENT TRAPPED BY SILTSOXX SHALL BE DISPOSED OF PROPERLY.

## TUBULAR SEDIMENT BARRIER NOT TO SCALE

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ISSUED FOR: TAC

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NO.	DESCRIPTION	BY	DATE
0	TAC	EBS	02/21/23
1	REV. PER TAC/RENUMBERED	EBS	03/22/23

DRAWN BY: EBS

APPROVED BY: EBS

DRAWING FILE: 5411-SITE.dwg

SCALE:  
22" x 34" - 1" = XX'  
11" x 17" - 1" = XX'

OWNER:  
THOMAS E., MARYBETH B.,  
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PROJECT:  
REIS FARM  
TAX MAP 255 LOT 5  
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PORTSMOUTH, NH 03801

TITLE:

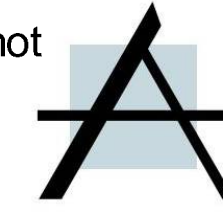
DETAIL SHEET

SHEET NUMBER:

C-5

12/13/2022  
**Alcott (Reis Res)**  
1124.500 EL (12/13/2022)

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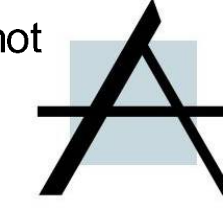
**Front Elevation**

Scale: 1/8" = 1'-0"

CRS 1124.500 EL Alcott

12/13/2022  
**Alcott (Reis Res)**  
1124.500 EL (12/13/2022)

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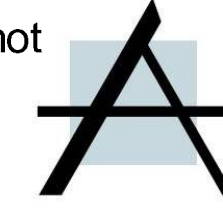
**Right Elevation**

Scale: 1/8" = 1'-0"

CRS 1124.500 EL Alcott

12/13/2022  
**Alcott (Reis Res)**  
1124.500 EL (12/13/2022)

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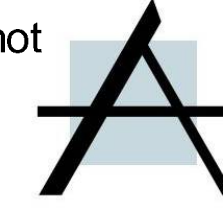
**Rear Elevation**

Scale: 1/8" = 1'-0"

CRS 1124.500 EL Alcott

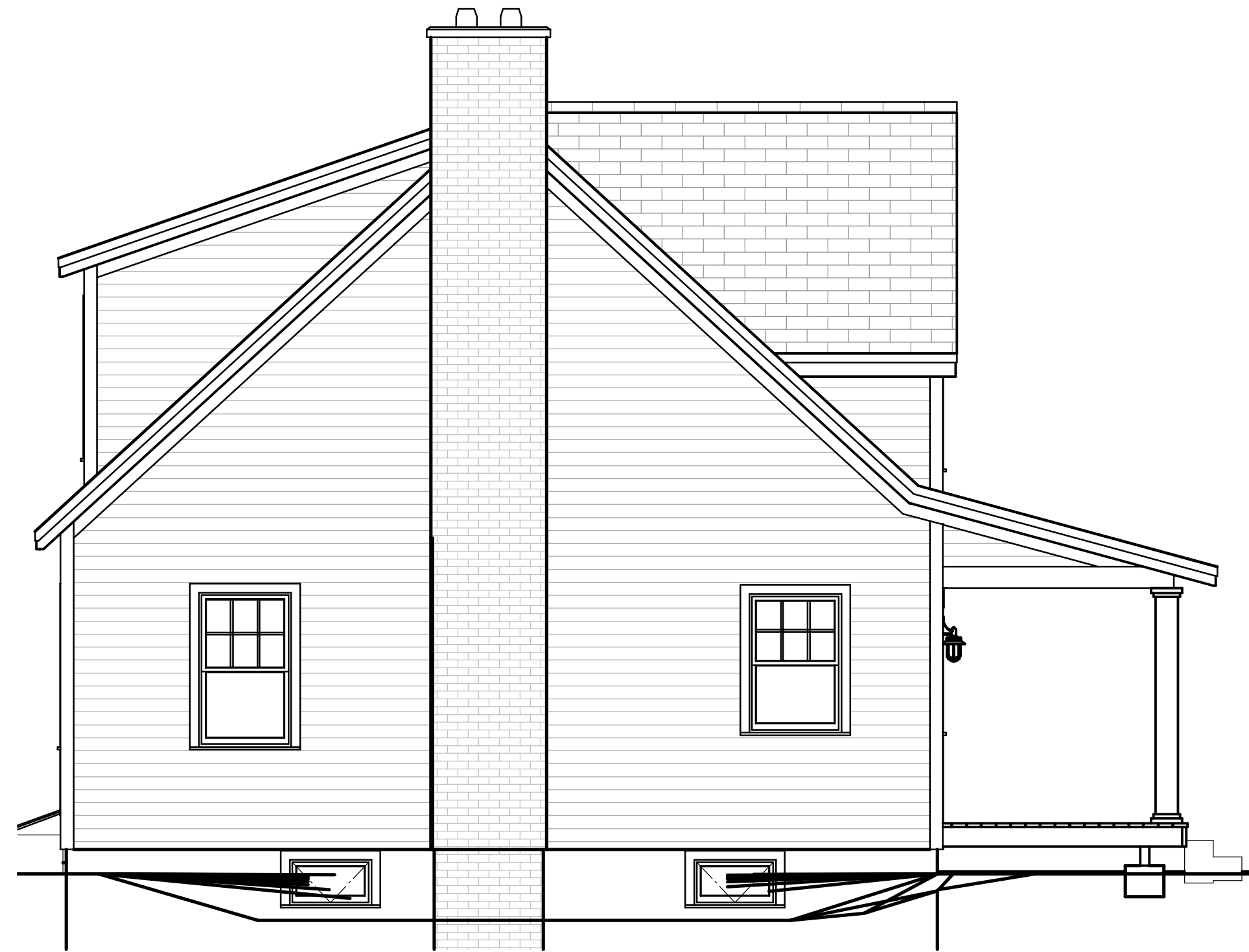
12/13/2022  
**Alcott (Reis Res)**  
1124.500 EL (12/13/2022)

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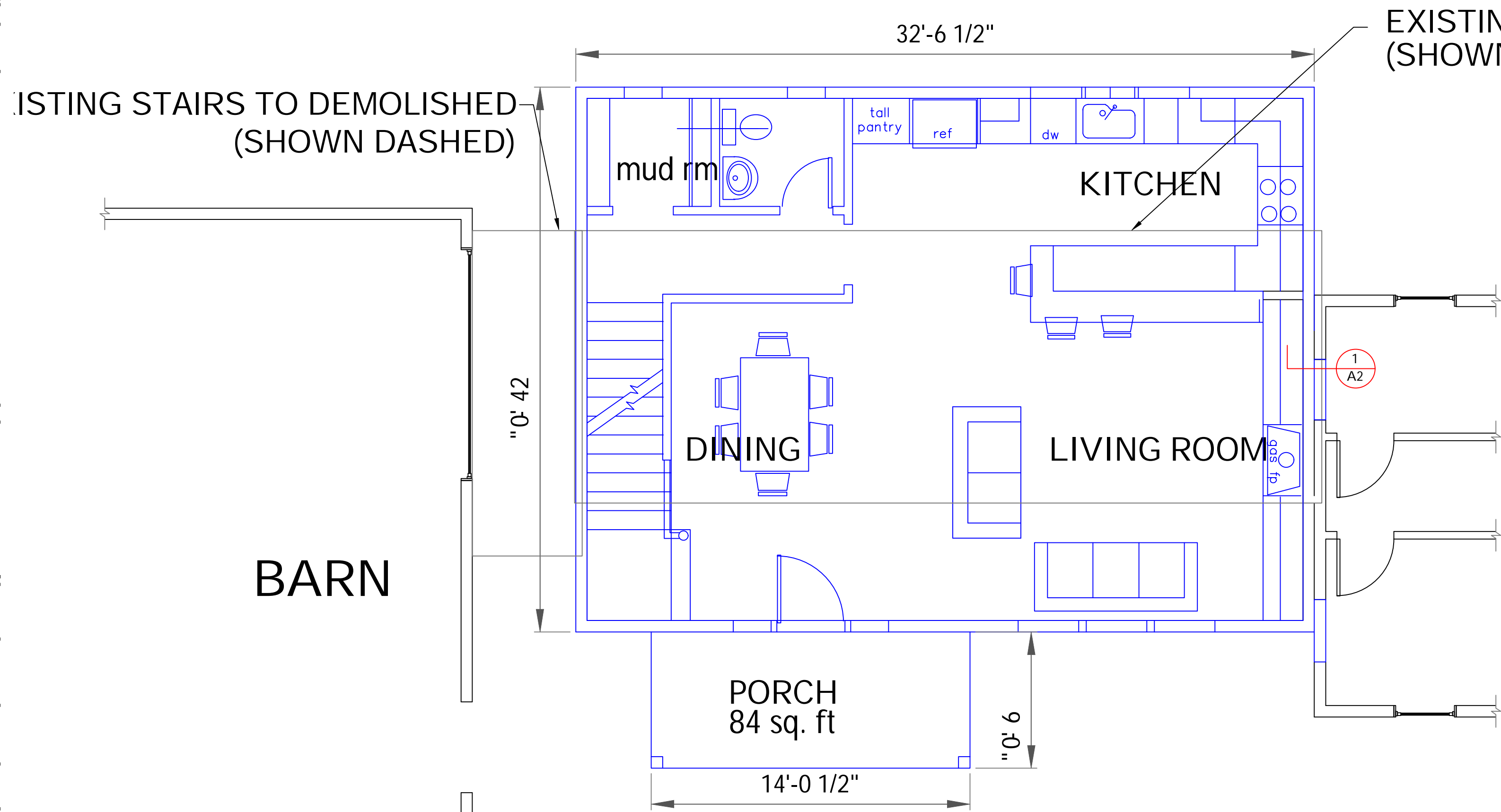
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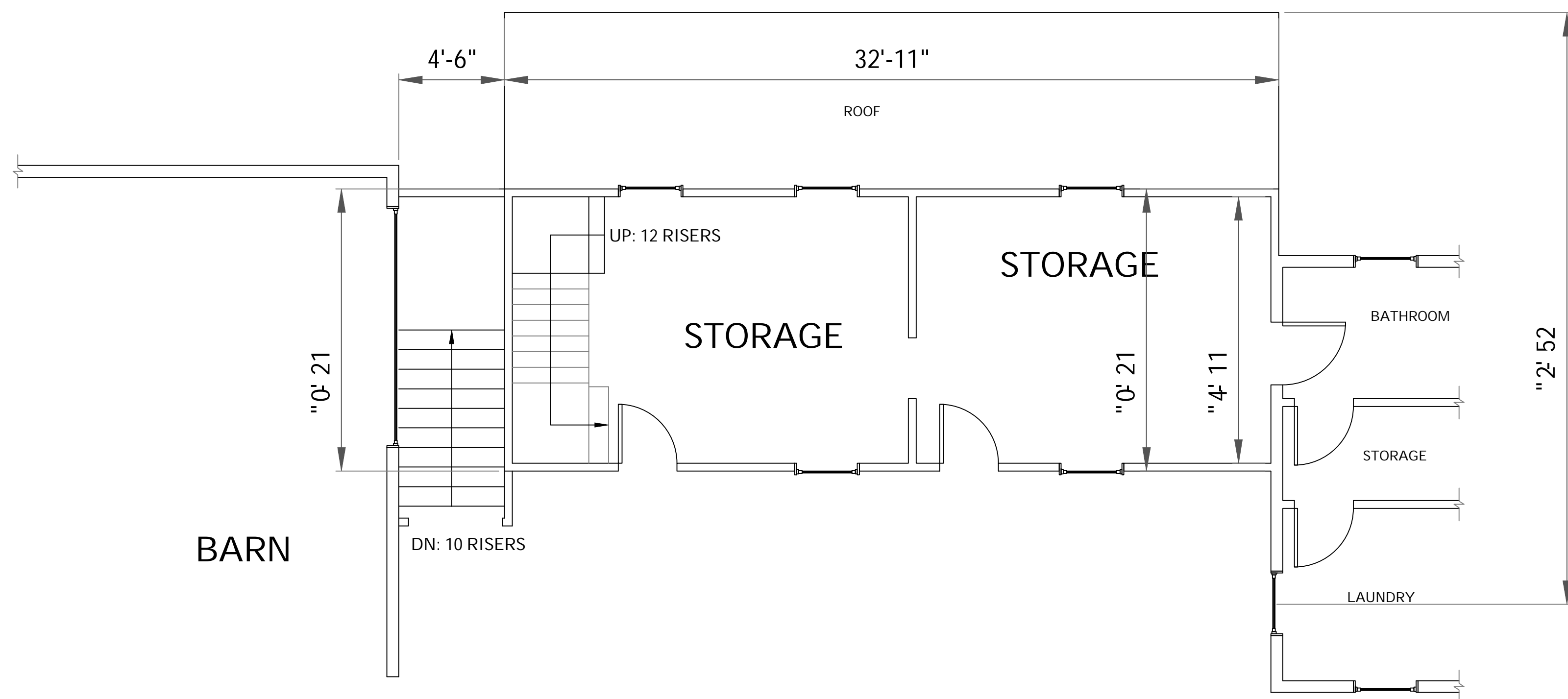


**Left Elevation**  
Scale: 1/8" = 1'-0"

CRS 1124.500 EL Alcott



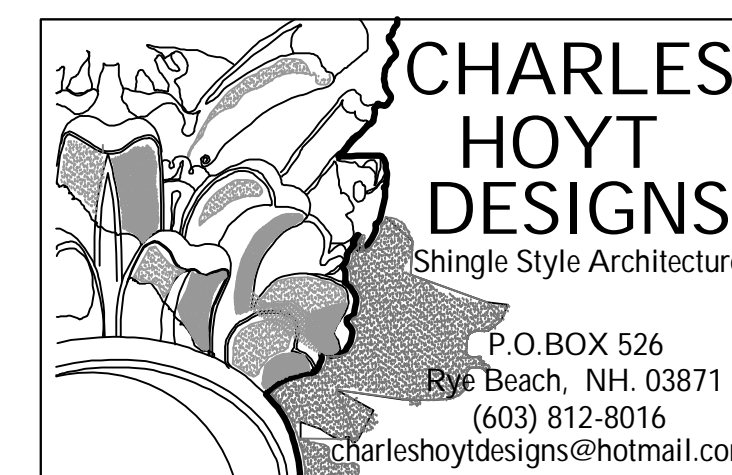
**PROPOSED FIRST FLOOR PLAN**



**EXISTING FIRST FLOOR PLAN**

**NOTES**

- 1: All Construction shall comply with the 2018 International Residential Code and all applicable regulations for a legal two-family structure in the city of Portsmouth.
- 2: The following sections are applicable: Section R302 Fire-Resistant Construction. R302.3 Two-family dwellings. Dwelling units in two-family dwellings shall be separated from each other by wall and floor assemblies having not less than a 1-hour fire-resistance rating where tested in accordance with ASTM E119 or UL U305. Fire-resistance-rated floor/ceiling and wall assemblies shall extend to and be tight against the exterior wall, and wall assemblies shall extend from the foundation to the underside of the roof sheathing.
  - R302.3.1 Supporting construction. Where floor assemblies are required to be fire-resistance rated by Section R302.3, the supporting construction of such assemblies shall have an equal or greater fire-resistance rating
  - R302.4 Dwelling unit rated penetrations. Penetrations of wall or floor-ceiling assemblies required to be fire-resistance rated in accordance with Section R302.2 or R302.3 shall be protected in accordance with this section.
    - R302.4.1 Through penetrations. Through penetrations of fire-resistance-rated wall or floor assemblies shall comply with Section R302.4.1.1 or R302.4.1.2
    - R302.4.1.2 Penetration firestop system. Penetrations shall be protected by an approved penetration firestop system installed as tested in accordance with ASTM E814 or UL 1479, with a positive pressure differential of not less than 0.01 inch of water (3 Pa) and shall have an F rating of not less than the required fire-resistance rating of the wall or floor/ceiling assembly penetrate.

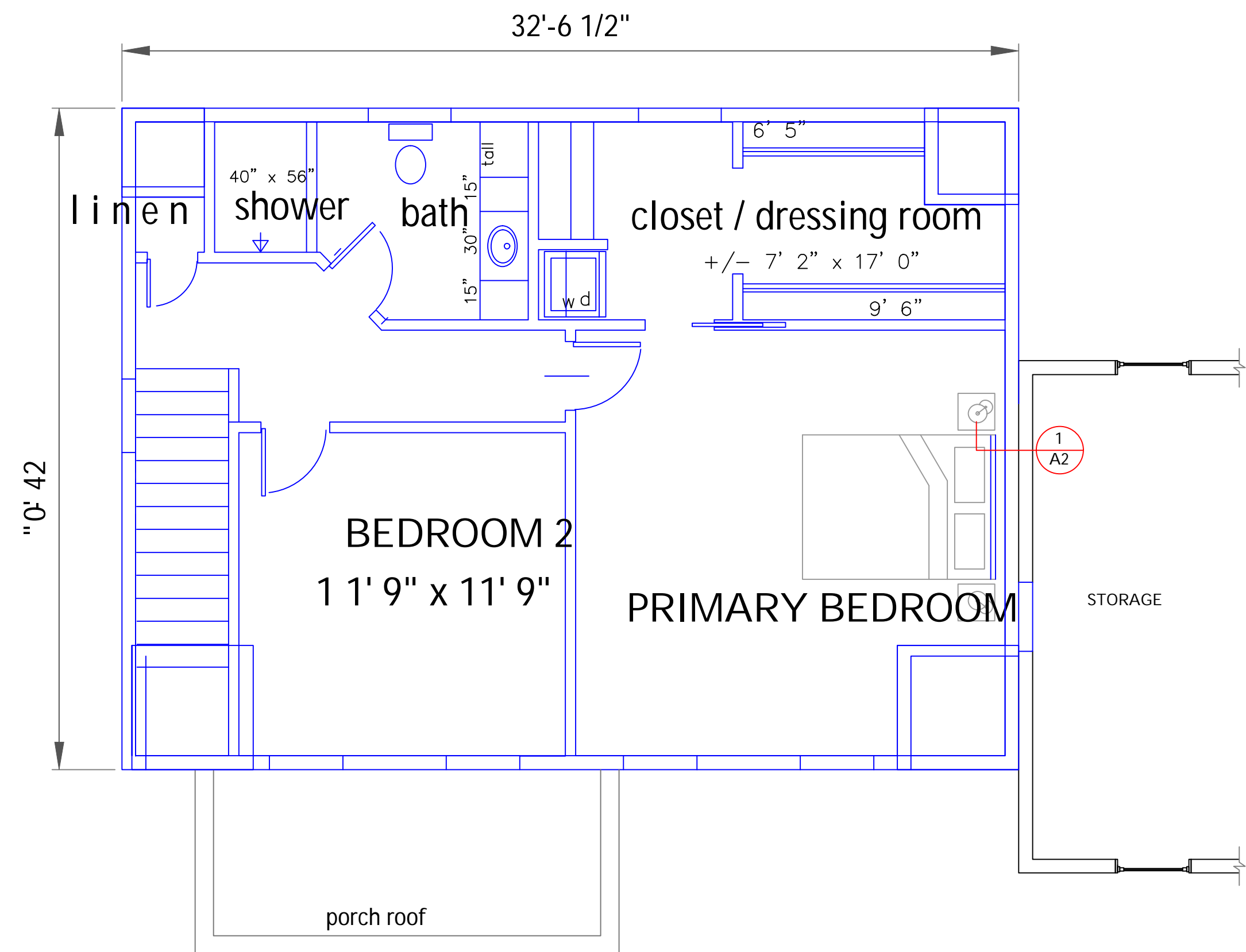


305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH

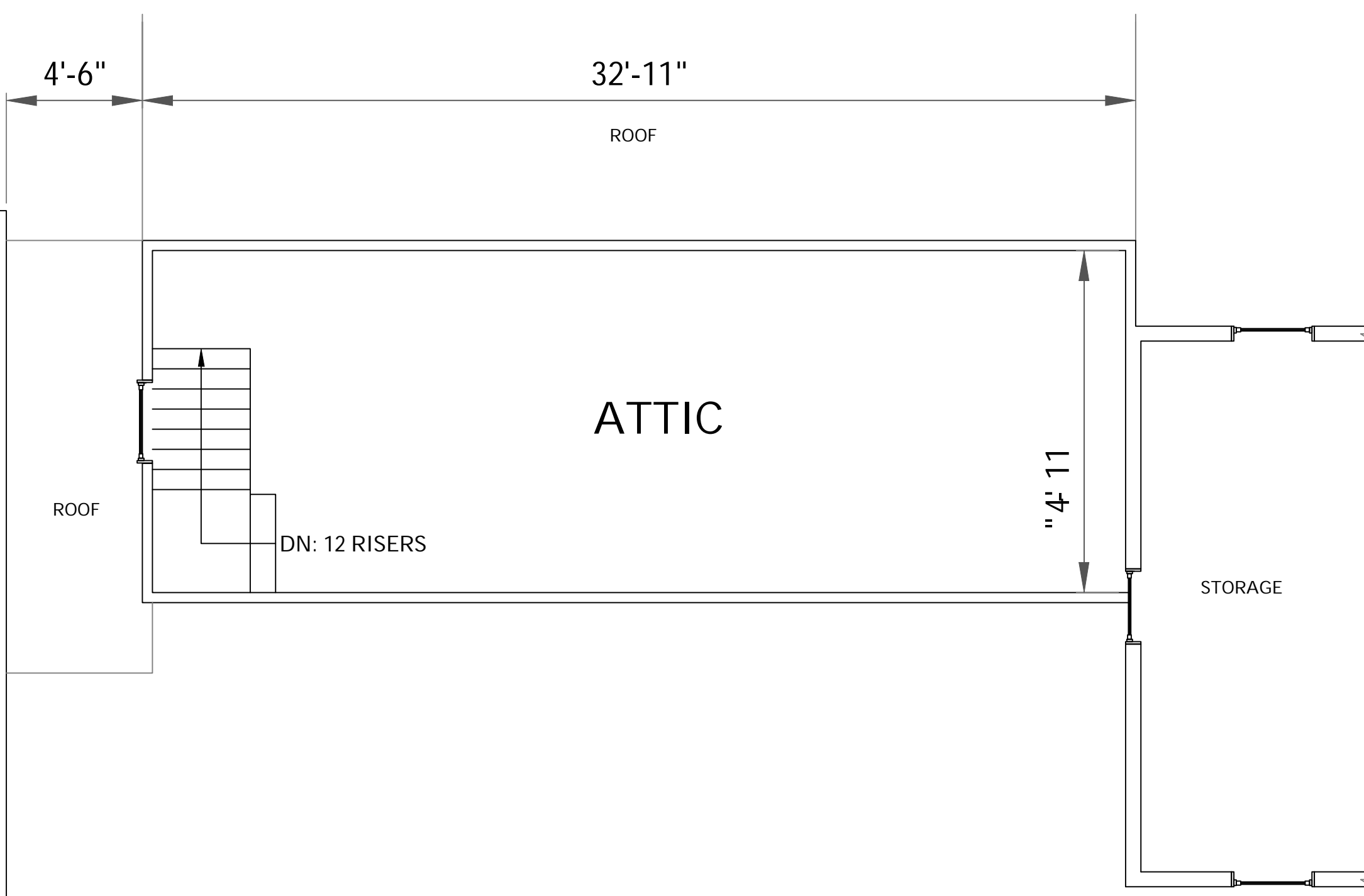
3-20-23  
 12-5-22

**A1**

PROPOSED & EXIST. 1ST FLOOR PLANS  
 SCALE: 1/4"=1'-0" on 24" x 36"  
 SCALE: 1/8"=1'-0" on 11" x 17"



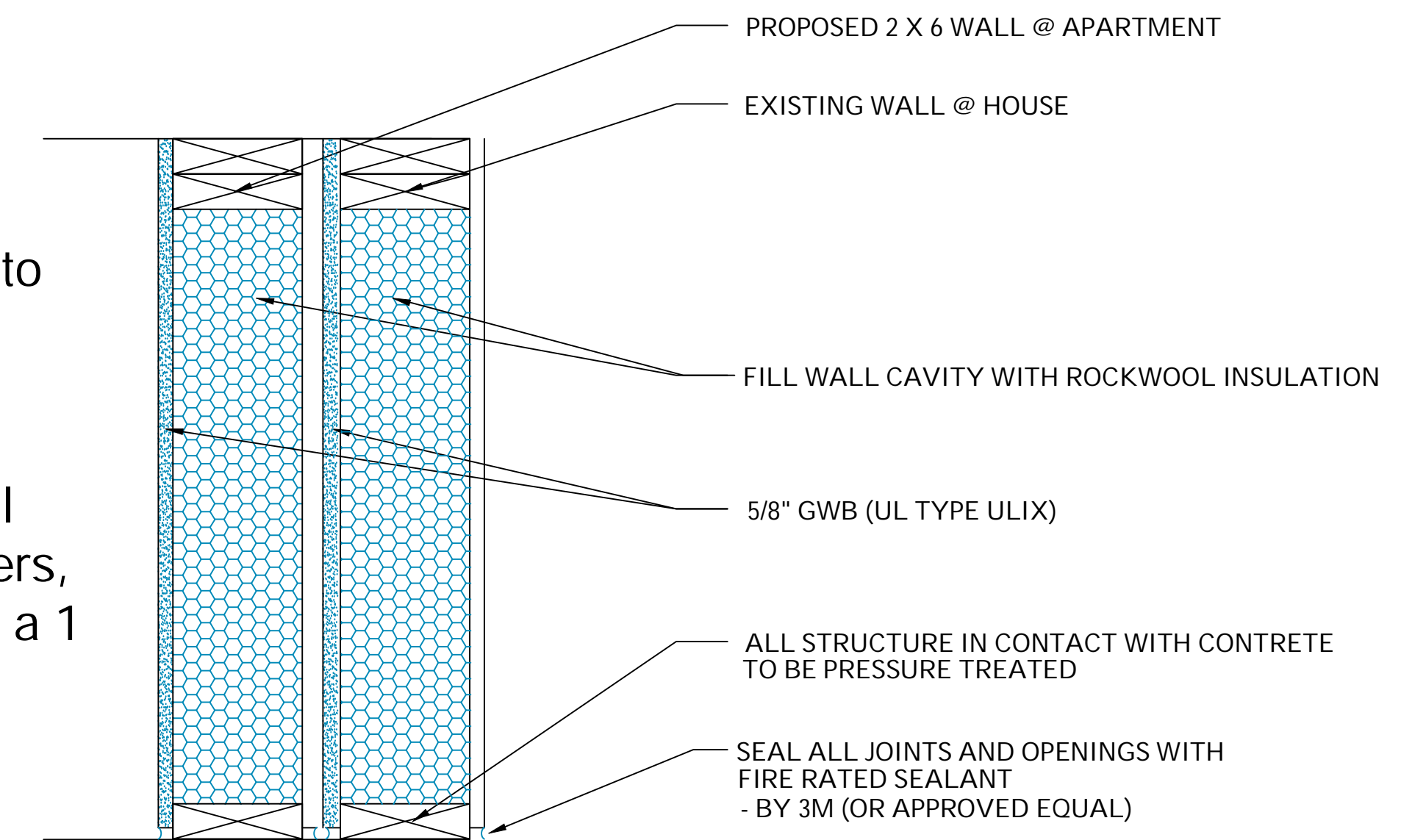
**PROPOSED SECOND FLOOR PLAN**



**EXISTING SECOND FLOOR PLAN**

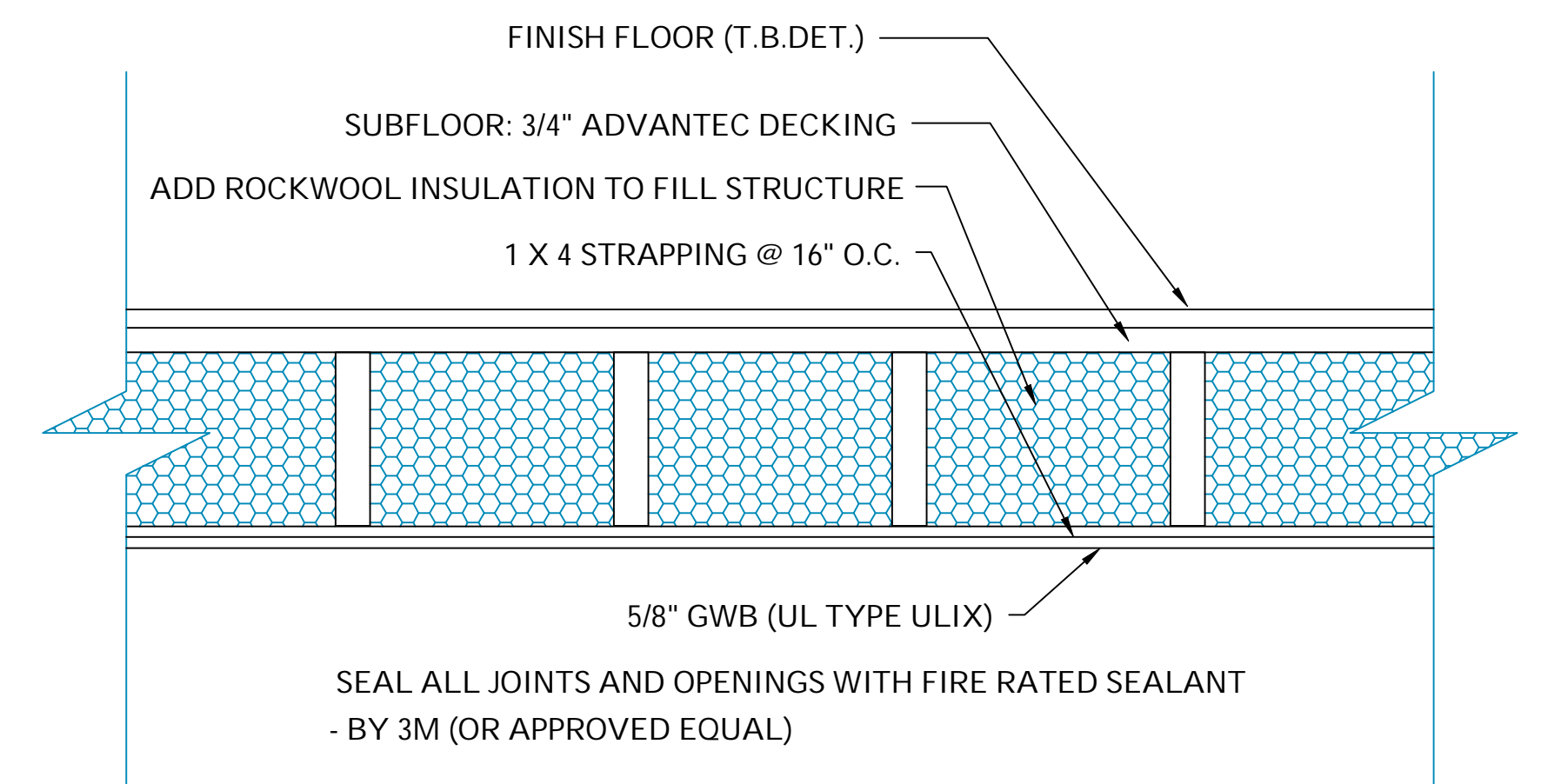
**NOTES:**

1. All penetrations in fire rated walls or ceiling are to be sealed to maintain continuous 1 hour fire rating.
2. All Outlets and Switches shall use 1 hour rated boxes and covers, or utilize other means to provide a 1 hour fire rating.



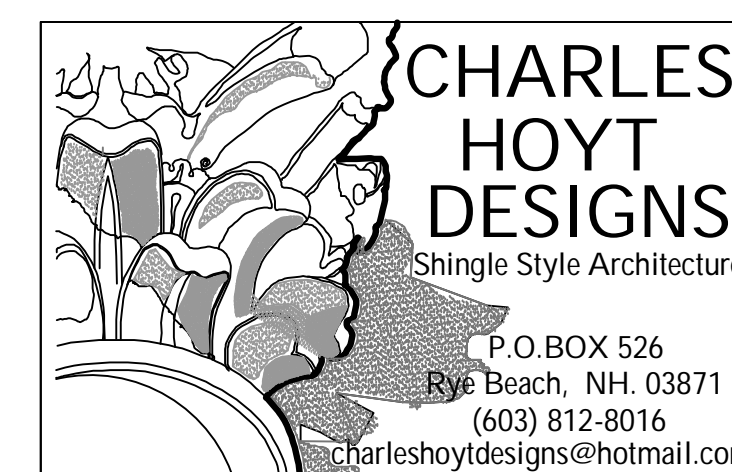
**1 HOUR FIRE RATED WALL**  
 BASED ON UL U305 - NOT TO SCALE

**DETAIL 1.**



**1 HOUR FLOOR**  
 BASED ON UL P522 - NOT TO SCALE  
 UNDERSIDE OF STAIR, & SEPERATION BTWN GARAGE & 1ST FLOOR

**DETAIL 2.**

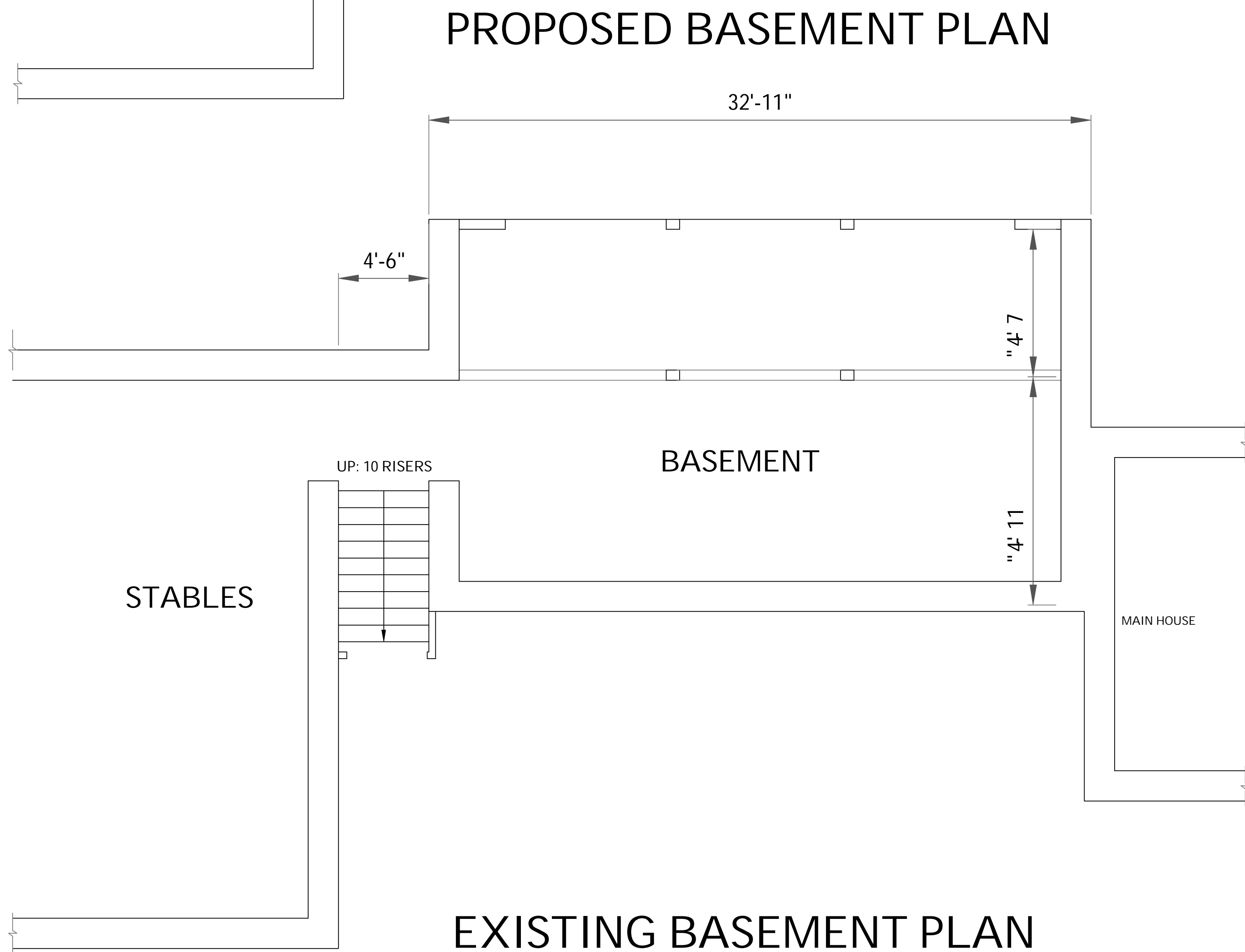
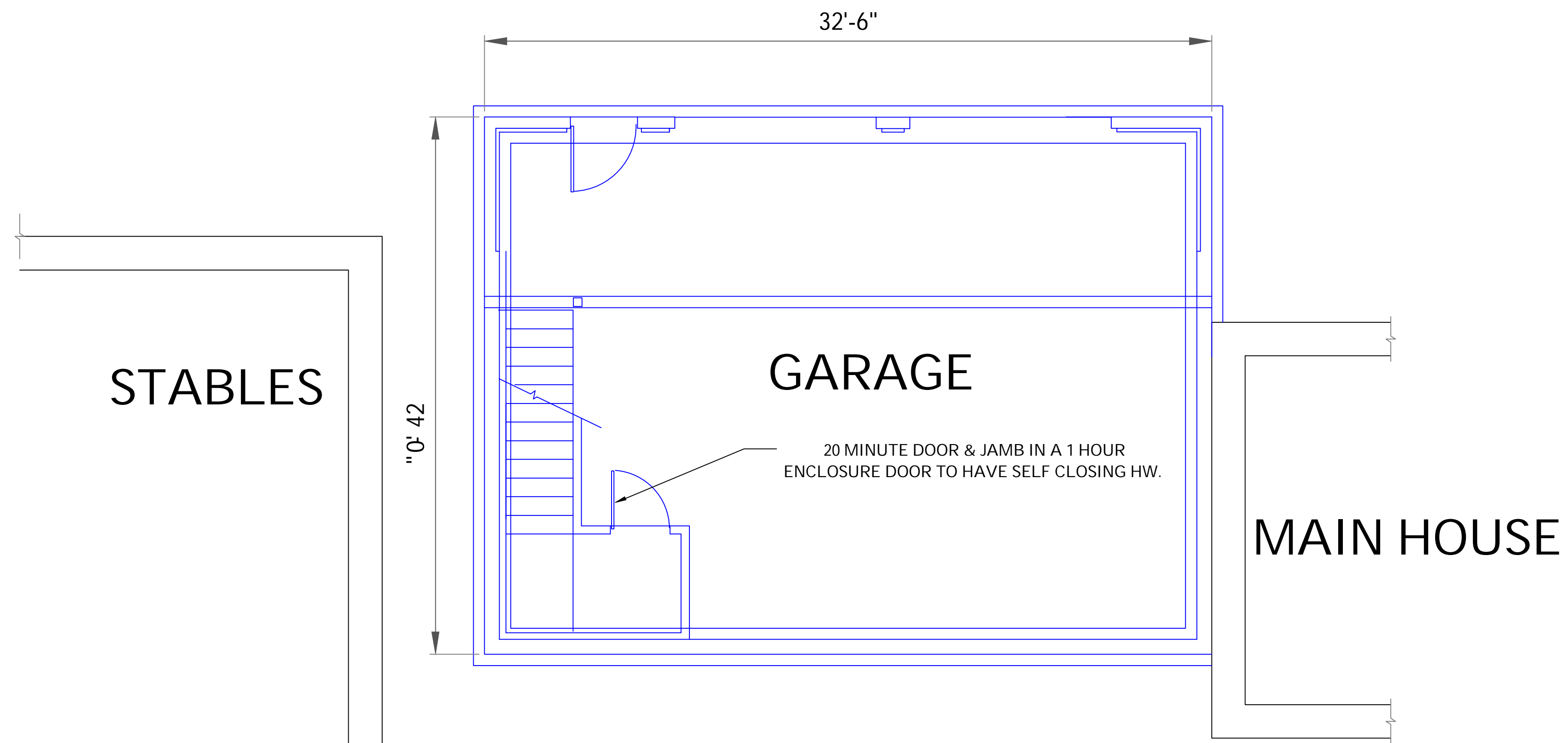


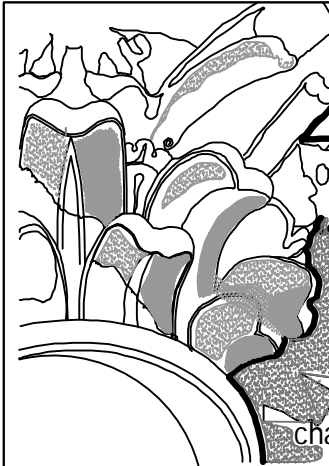
305 PEVERLY HILL ROAD  
 PORTSMOUTH, NH

3-20-23  
 12-5-22

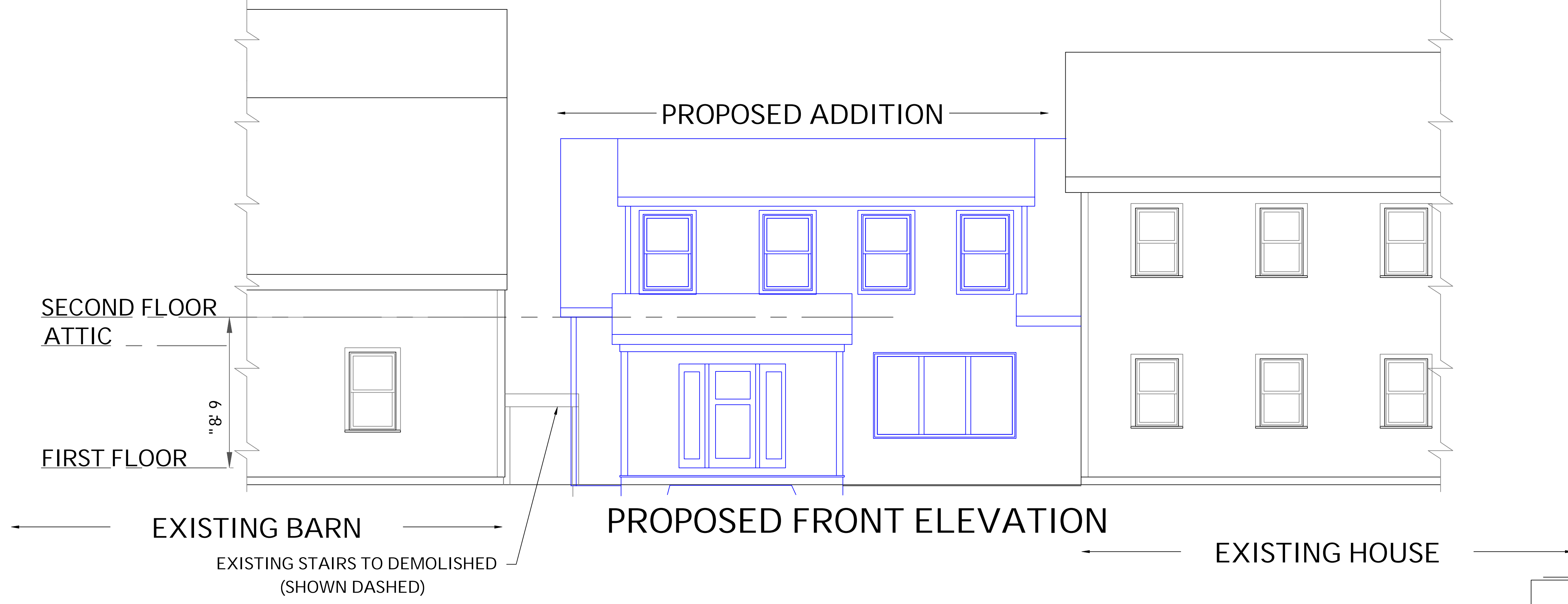
**A2**

PROPOSED & EXIST. 2ND FLOOR PLANS  
 SCALE: 1/4"=1'-0" on 24" x 36"  
 SCALE: 1/8"=1'-0" on 11" x 17"

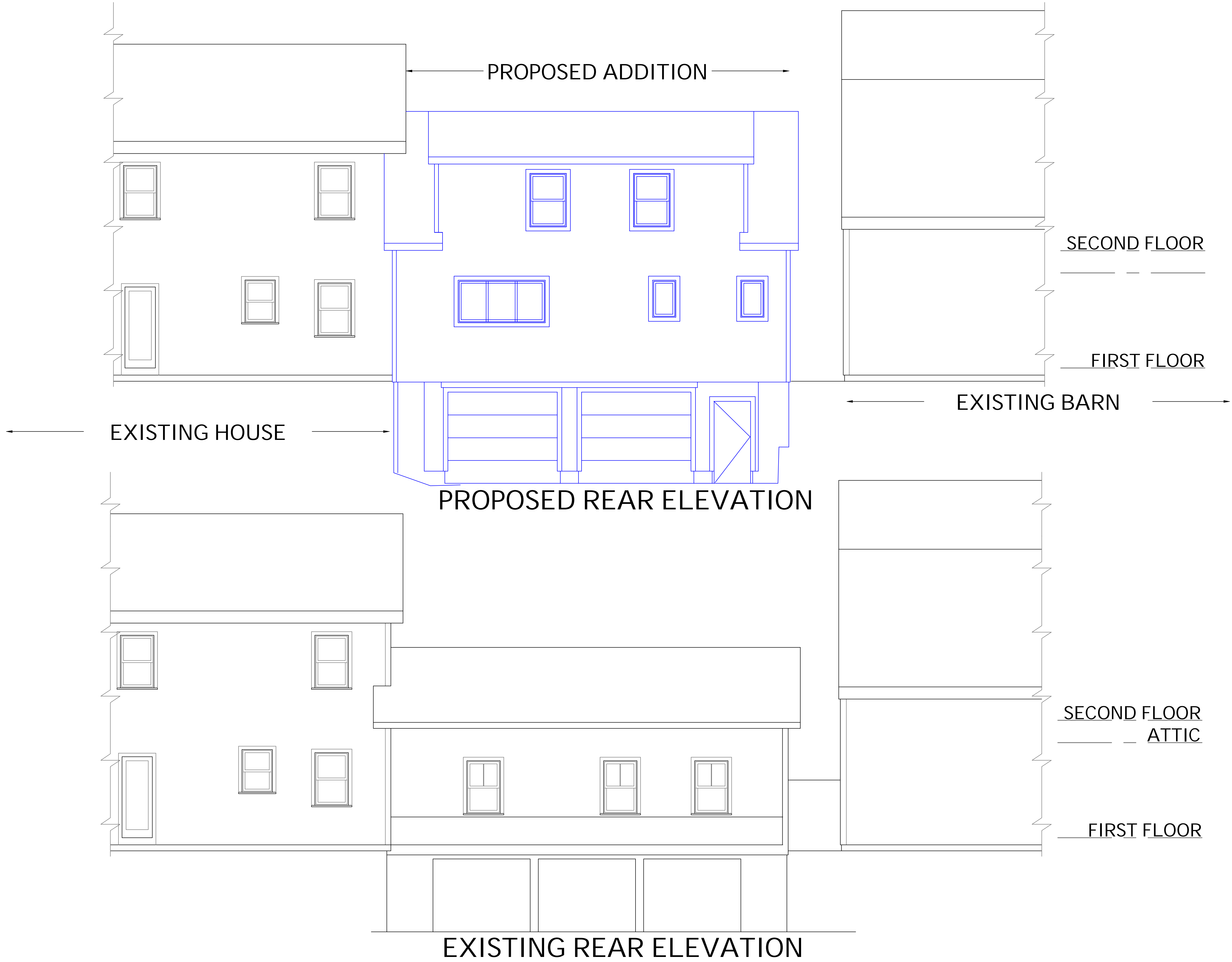


 <b>CHARLES HOYT DESIGNS</b> Shingle Style Architecture P.O. BOX 526 Rye Beach, NH. 03871 (603) 812-8016 charleshoytdesigns@hotmail.com	305 PEVERLY HILL ROAD PORTSMOUTH, NH	
	3-20-23 12-5-22	<b>A3</b> PROPOSED & EXIST. LOWER LEVEL SCALE: 1/4"=1'-0" on 24" x 36" SCALE: 1/8"=1'-0" on 11" x 17"





DAOR SET PLANNING ARCHITECTURE VEP 503  
LIVING STUDIO NESTROP  
NO. 219 300  
342 no "0" 1" = 4 1: EL ACS  
22-75 21 no "0" 1" = 4 1: EL ACS



DAOR/LIZOH/RE VEP 503  
 32-0233-42 no "0' 1="" 4' 1: EL ACS  
 22-5-21-11 no "5' 8' 1: EL ACS  
 MORE DETAILS DESIGNED BY  
 32-0233-42 no "0' 1="" 4' 1: EL ACS  
 22-5-21-11 no "5' 8' 1: EL ACS