

**Civil
Site Planning
Environmental
Engineering**

133 Court Street
Portsmouth, NH
03801-4413

October 21, 2024

Mr. Peter Britz
Director of Planning and Sustainability
City of Portsmouth Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Technical Advisory Committee (TAC) Submittal
Department of Public Works Building Additions
Altus Project #5421/5597**

Dear Mr. Britz,

On behalf of the City of Portsmouth Department of Public Works (DPW), Altus Engineering, LLC (Altus) respectfully submits the attached plans and supporting material for the proposed building additions at DPW Facility at 680 Peverly Hill Road for consideration at the November 5, 2024 Technical Advisory Committee (TAC) meeting. The property is identified as Tax Map 254, Lot 7 and is approximately 60.3 acres in size. The Department of Public Works facility building is located on the north portion of the site, adjacent to Peverly Hill Road. Altus and DPW met with the Technical Advisory Committee on October 8th for a Work Session to discuss the project and receive initial comments on the project. As discussed, this project is a municipal Design-Build project that has been awarded to Martini Northern, LLC for construction management. Therefore it is anticipated that minor revisions may be required during the Design-Build process and will be coordinated with the City of Portsmouth.

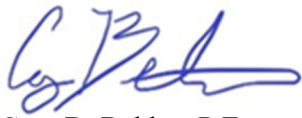
The proposed project will construct two separate building additions, identified as the Water Addition and Maintenance Addition on the plans. The Maintenance Addition is approximately 6,650 square feet in area (single story) and will provide four new maintenance bays on the north side of the facility near Peverly Hill Road. The building is located in existing paved areas and will not increase the impervious area draining to the Peverly Hill Road storm drainage system. The addition will provide access around the building for fire trucks with a new security gate and knock box. The existing police storage area will be relocated to the south portion of the site to allow access. Grading will require a retaining wall adjacent to Peverly Hill Road and a new transformer and Generator are proposed. The new wash bay will provide a 1,000 gallon oil-water separator that will connect to an e-one pump station and connect to the existing gravity sewer system on site.

The Water Addition is approximately 4,470 square feet in area with a second story above the garage bays for an expansion of DPW office space. The building is located on the south side of the facility near the new fuel station. The building will drain to the existing storm drain system that drains to the gravel wetlands located to the south. A parking area expansion will provide approximately 3,600 sf of impervious area that will drain to a new pre-text curb inlet for pre-treatment and a proposed raingarden. This system will also drain to the existing gravel wetland located to the south of the site for stormwater treatment.

Please do not hesitate to reach out to me if you have any questions or need additional information.

Sincerely,

ALTUS ENGINEERING, LLC

A handwritten signature in blue ink, appearing to read 'Cory Belden', is positioned above the printed name.

Cory D. Belden, P.E.
Project Engineer

Copy: Peter Rice, Director of Public Works
Joe Almeida, Facilities Manager
Peter Middleton, Martini Northern, LLC
Eric Weinrieb, Altus Engineering

cdb/5597-TAC-Ltr-102024.docx

City of Portsmouth, New Hampshire Department of Public Works Building Additions

City Project #16122

Issued for Technical Advisory Committee
(NOT FOR CONSTRUCTION)

ISSUED: OCTOBER 21, 2024

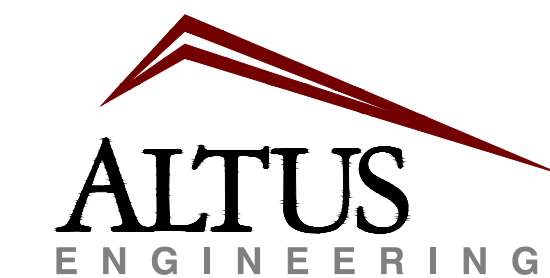
Prepared For:



DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

Prepared By:

Civil Engineer:



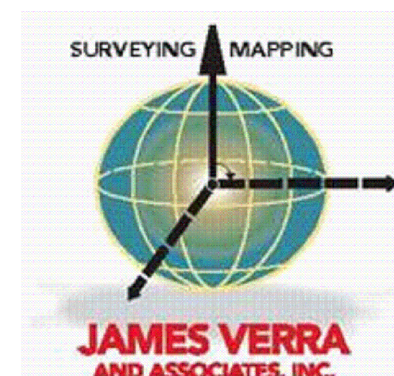
133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Construction Manager:



10 Main Street
Newfields, N.H. 03856
Phone: (603) 431-6664

Surveyor:

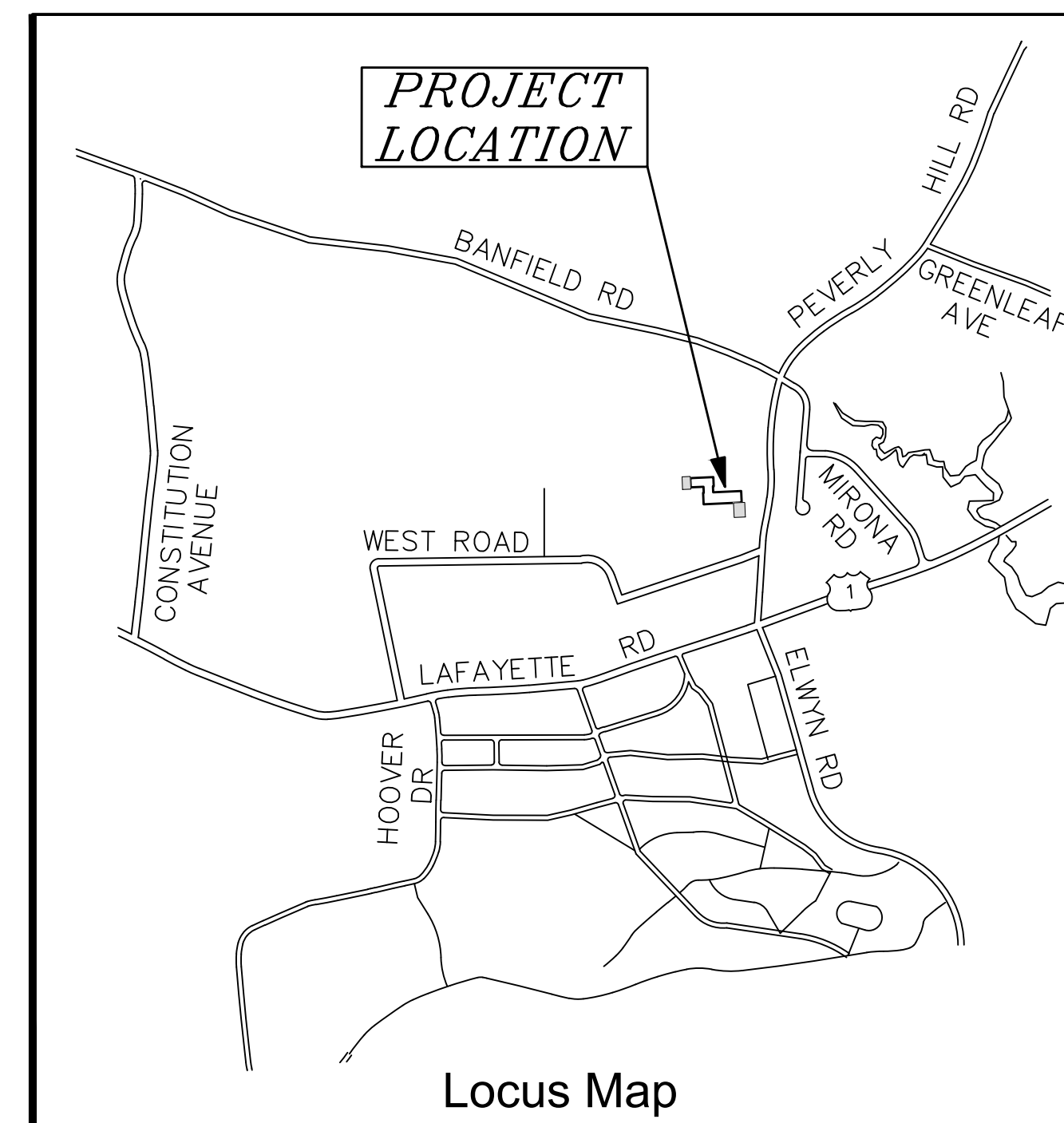


101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801 - 7876
603-436-3557

Architect:

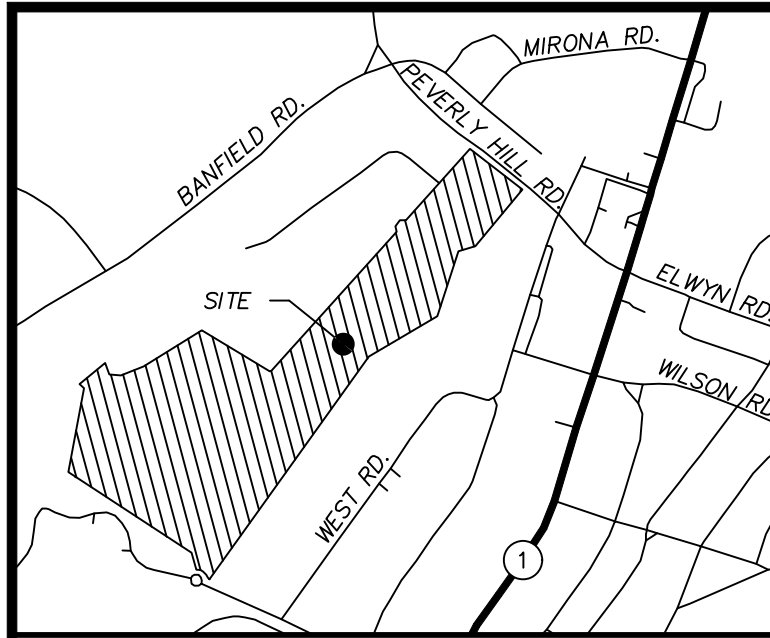


WARRENSTREET ARCHITECTS
PLANNERS, ARCHITECTS, LANDSCAPE ARCHITECTS, INTERIOR DESIGNERS
4 CRESCENT STREET, UNIT 2, CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET, MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640



SHEET INDEX

No.	Title	Date
1	Cover Sheet	10/21/24
2	S-1 Overall Plan (by JVA)	8/04/23
3	S-2 Limited Existing Conditions Site Plan (by JVA)	8/04/23
4	C-1 Demolition Plan	10/21/24
5	C-2 Overall Site Plan	10/21/24
6	C-3 Detailed Grading, Drainage, and Erosion Control Plan	10/21/24
7	C-4 Utilities Plan	10/21/24
8	T-1 Truck Turning Movements	10/21/24
9	D-1 Demolition Plan	10/21/24
10	D-2 Overall Site Plan	10/21/24
11	D-3 Detailed Grading, Drainage, and Erosion Control Plan	10/21/24
12	D-4 Utilities Plan	10/21/24
13	D-5 Truck Turning Movements	10/21/24
Architectural Plans (Warrenstreet)		
14	A111 Water Department Floor Plans	10/17/24
15	A112 Maintenance Department Floor Plans	10/17/24
16	A121 Water Department Dimension Plan	10/17/24
17	A122 Maintenance Department Dimension Plan	10/17/24
18	A201 Water Department Exterior Elevations	10/17/24
19	A202 Maintenance Department Exterior Elevations	10/17/24



LOCUS (N.T.S.)

REFERENCE PLAN:

- "LOT LINE REVISION PLAN, CAMPUS DRIVE, BANFIELD & PEVERLY HILL ROADS, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCELS 254-8, 266-4, 266-5, 266-6" DATED 10/24/2016. PREPARED FOR: THE CITY OF PORTSMOUTH, N.H. & FOUNDATION FOR SEACOAST HEALTH & PREPARED BY JAMES VERRA AND ASSOCIATES, INC. R.C.C.D. PLAN #039897.

APN 252-2-10
JMK REALTY LLC
PO BOX 971
PORTSMOUTH, NH 03802
3656/744

APN 252-2-11
HEG WEST ROAD LLC
2 INTERNATIONAL WAY
LAWRENCE, MA 01843
5835/67

APN 252-2-12
ONE HUNDRED WEST LLC
100 WEST ROAD
PORTSMOUTH, NH 03801
3589/1427

APN 252-2-14
LITCHFIELD PORTSMOUTH LLC
EATON PARTNERS INC
175 CANAL ST STE 401
MANCHESTER, NH 03101
4800/1185

APN 252-3
LIGHTHOUSE MANUFACTURING LLC
125 SOUTH SATELLITE RD
SOUTH WINDSOR, CT 06074
5229/2453

APN 254-7
PIKE INDUSTRIES INC
3 EASTGATE PARK RD
BELMONT, NH 03220
3192/1085

APN 253-4
DPH REALTY LLC
30 MIRONA ROAD
PORTSMOUTH, NH 03801
4258/2635

APN 253-5
GERALD REYNOLDS LLC
164 REASON ROAD
MILTON, NH 03851
6395/1948

ABUTTERS

APN 267-22
CIRRUS SYSTEMS INC
200 WEST ROAD
PORTSMOUTH, NH 03801
6134/2715

APN 267-20
AGNL PANE LLC
ANGELO GORDON & CO LP
245 PARK AVE 24TH FLOOR
NEW YORK, NY 10167
6050/101

APN 267-19
TWO HUNDRED SEVENTY WEST RD CONDOS
270 WEST ROAD
PORTSMOUTH, NH 03801
2649/2603

APN 267-17
THREE HUNDRED SEVENTY WEST RD CONDOS
300 WEST ROAD
PORTSMOUTH, NH 03801
2725/2408

APN 267-23
ENGEL FAMILY TRUST
ROBERT ENGEL TRUSTEE
PO BOX 6070
MANCHESTER, NH 03108
3459/1842

APN 273-5
BELLWOOD ASSOCIATES LTD PARTNERSHIP
FESTIVAL FUN PARK PROPERTY TAX SERVICE
PO BOX 543185
DALLAS, TX 75354
3471/2972

APN 273-7-1
FESTIVAL FUN PARKS LLC
PROPERTY TAX SERVICE CO
PO BOX 543185
DALLAS, TX 75354
3471/2972

APN 266-4
CITY OF PORTSMOUTH
1 JUNKINS AVE
PORTSMOUTH, NH 03801
6390/2501

APN 266-5
HOPE FOR TOMORROW FOUNDATION
315 BANFIELD ROAD
PORTSMOUTH, NH 03801
5783/602

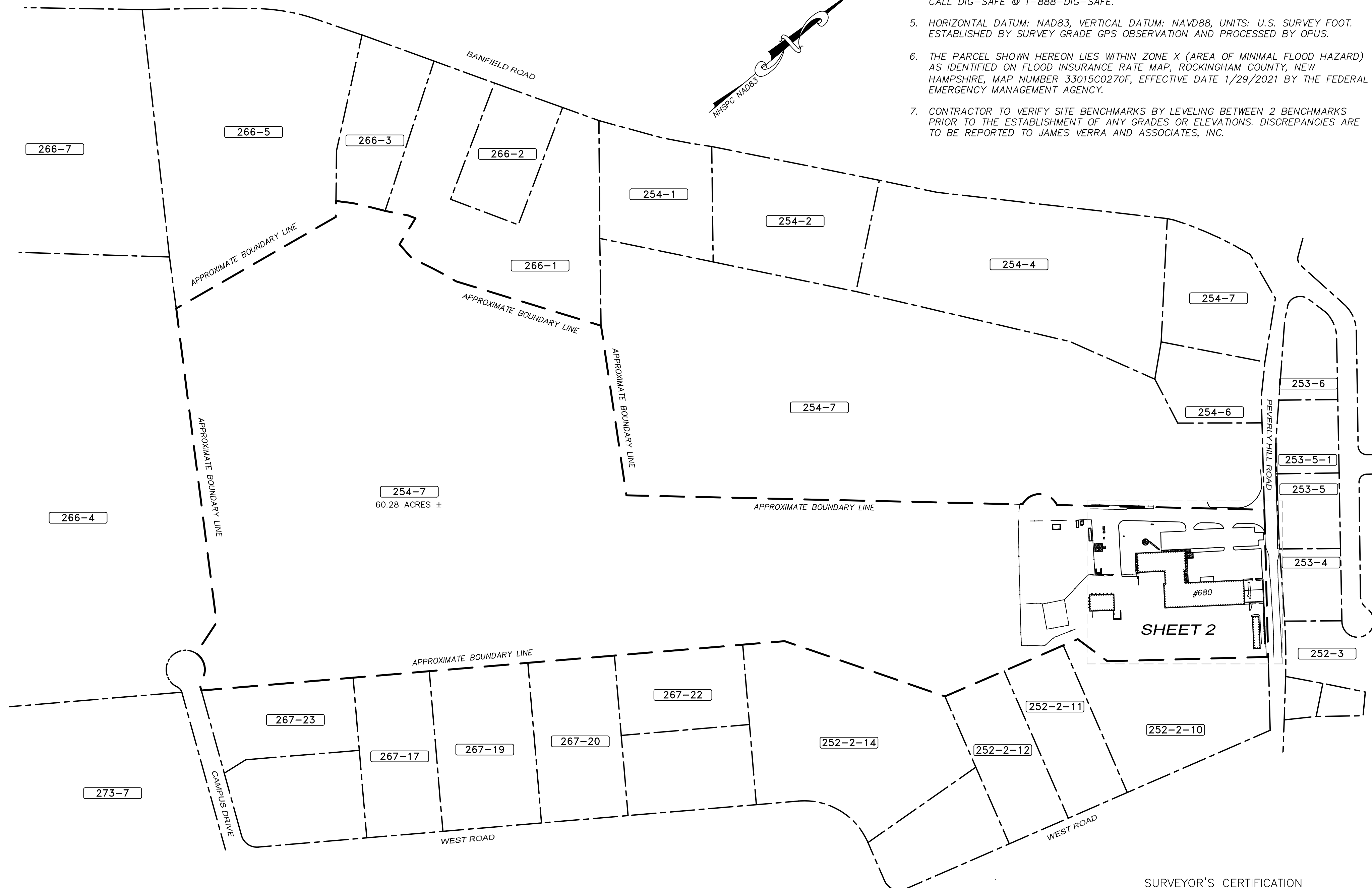
APN 266-3
ANDREW R. CROTEAU
CAROL ANN CROTEAU
285 BANFIELD ROAD
PORTSMOUTH, NH 03801
1843/336

APN 266-1
RCCI CONSTRUCTION CO INC
225 BANFIELD ROAD
PORTSMOUTH, NH 03801
2527/322

NOTES:

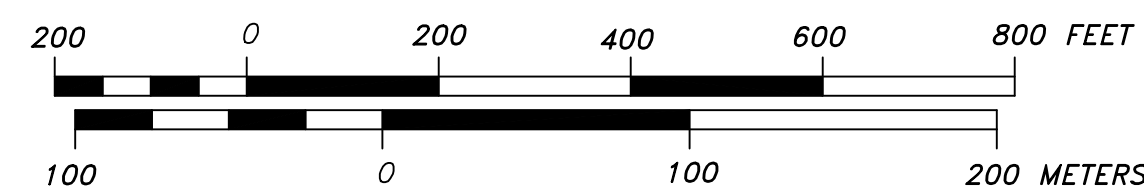
- OWNER OF RECORD.....CITY OF PORTSMOUTH
ADDRESS.....1 JUNKINS AVE PORTSMOUTH, NH 03801
DEED REFERENCE.....5819 / 2310
TAX SHEET / LOT.....254 / 8
PARCEL AREA.....60.28 ACRES ±
- ZONED:MUNICIPAL DISTRICT (M)

LOTS AND BUILDINGS IN THE MUNICIPAL DISTRICT ARE EXEMPT FROM ALL DIMENSIONAL AND INTENSITY REGULATIONS.
- THE INTENT OF THIS PLAN IS TO PROVIDE THE LIMITED EXISTING CONDITIONS OF THE SUBJECT PARCEL IN THE AREA(S) OF THE PROPOSED ADDITIONS TO PROVIDE INFORMATION FOR SITE DESIGN AND ENGINEERING. ONLY AREAS AROUND THE PROPOSED ADDITIONS WHERE FIELD LOCATED AND UPDATED. THE OVERALL BOUNDARY INFORMATION WAS TAKEN FROM THE REFERENCE PLAN.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD83, VERTICAL DATUM: NAVD88, UNITS: U.S. SURVEY FOOT. ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND PROCESSED BY OPUS.
- THE PARCEL SHOWN HEREON LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0270F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC.



LEGEND:

- IRON ROD
- CHAIN LINK FENCE
- STOCKADE FENCE
- CONCRETE
- HVAC UNIT
- ⊛ GROUND LIGHT
- ⊞ ELECTRICAL/UTILITY BOX
- UTILITY POLE
- ⊛ UTILITY POLE W/TRANSFORMER
- GUY
- OHV— OVERHEAD WIRES
- UTILITY POLE WITH ARM & LIGHT
- ⊞ ELECTRIC METER
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- 101-03 TAX SHEET / LOT NO.
- EOP EDGE OF PAVEMENT
- LA LANDSCAPED AREA
- CATCH BASIN
- ⊙ SEWER MANHOLE
- S— UNDERGROUND SEWER
- D— UNDERGROUND DRAIN
- C— UNDERGROUND COMMUNICATION
- G— UNDERGROUND GAS
- W— UNDERGROUND WATER
- P— PINK PAINT MARKINGS
- IRRIGATION BOX
- ⊕ HYDRANT
- ⊕ FIRE CONNECTION
- ⊕ MANHOLE
- SIGN
- ⊕ DECIDUOUS TREE
- ⊕ CONIFEROUS TREE
- ⊕ TEMPORARY BENCHMARK
- ⊕ STRUB
- ⊕ BORING
- VCG VERTICAL GRANITE CURB
- SCG SLOPED GRANITE CURB
- ⊕ GAS METER
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ BOLLARD
- 53.5' SPOT ELEVATION
- X SPOT ELEVATION



**PRELIMINARY
SUBJECT TO CHANGE**

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."

LICENSED LAND SURVEYOR _____ DATE _____

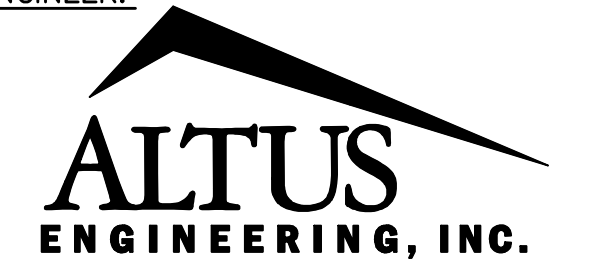
SURVEYOR:

James Verra
& Associates, Inc.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801 - 7876
603-436-3557

JOB NO: 23-2023

ENGINEER:



133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:

ENGINEERING REVIEW

ISSUE DATE:

6/22/2023

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	ADD SEWER INFO	RMF	8/4/23

DRAWN BY:

BJM/RMF

APPROVED BY:

RMF

DRAWING FILE: 23-2023_EXCON.DWG

SCALE:

22" x 34" - 1" = 200'

11" x 17" - 1" = 400'

APPLICANT:

PORTSMOUTH DEPARTMENT OF
PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:

CITY OF PORTSMOUTH
1 JUNKINS AVE
PORTSMOUTH, NH 03801

PROJECT:

**RPF #30-23
680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH**

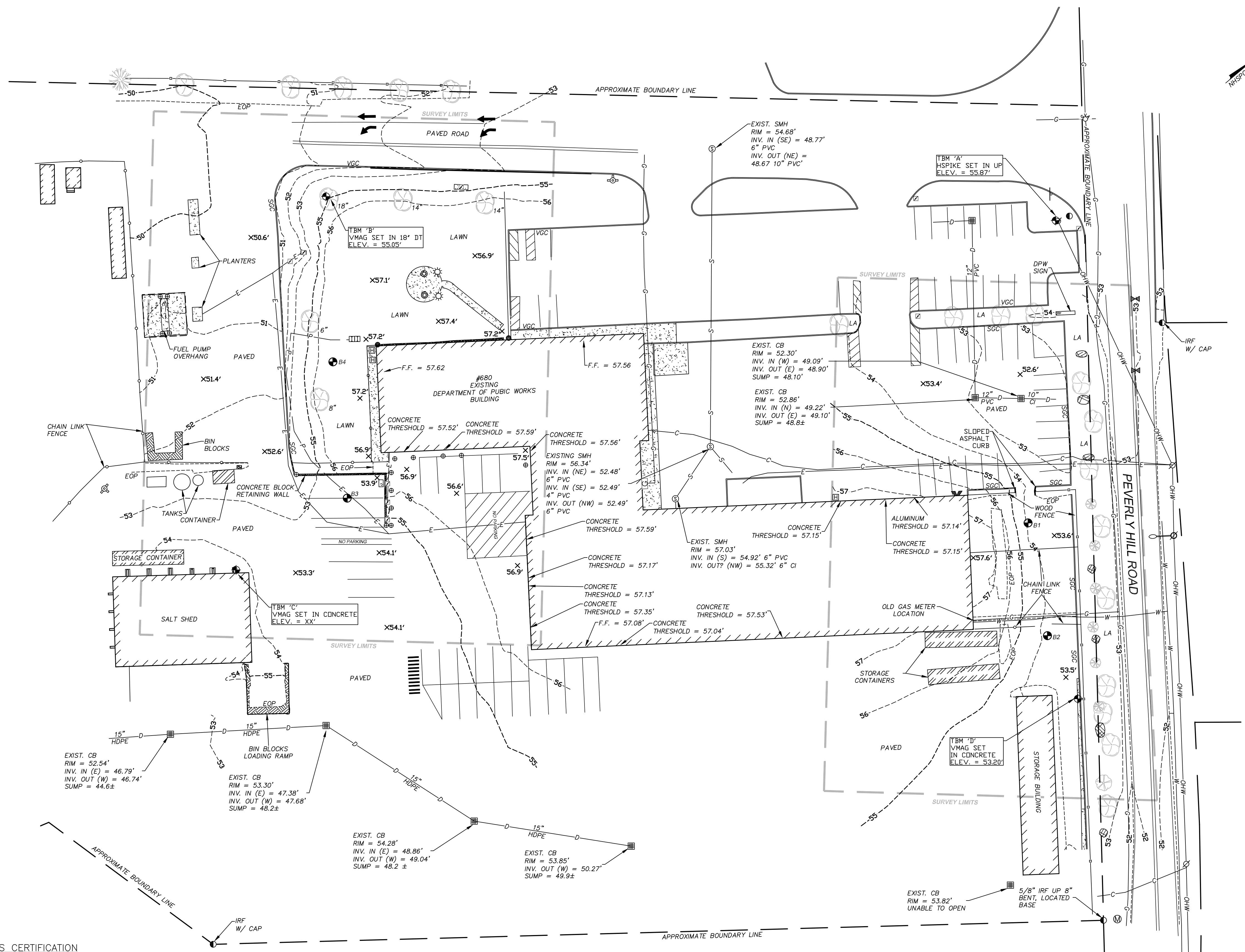
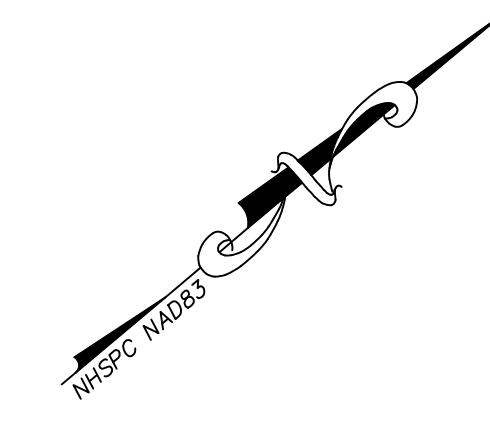
TITLE:

**OVERALL
PLAN**

SHEET NUMBER:

S-1

ALTUS JOB#



SURVEYOR:
James Verra & Associates, Inc.
 LAND SURVEYORS
 101 SHATTUCK WAY - SUITE 8
 NEWINGTON, N.H. 03801-7876
 603-436-3557
 JOB NO: 23-2023

ENGINEER:

 133 COURT STREET PORTSMOUTH, NH 03801
 (603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
ENGINEERING REVIEW
 ISSUE DATE:
6/22/2023

NO.	DESCRIPTION	BY	DATE
1	ADD SEWER INFO	RMF	8/4/23

DRAWN BY: BJM/RMF
 APPROVED BY: RMF
 DRAWING FILE: 23-2023_EXCON.DWG

SCALE:
 22" x 34" - 1" = 30'
 11" x 17" - 1" = 60'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
RPF #30-23
680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
LIMITED EXISTING CONDITIONS SITE PLAN

SHEET NUMBER:
S-2

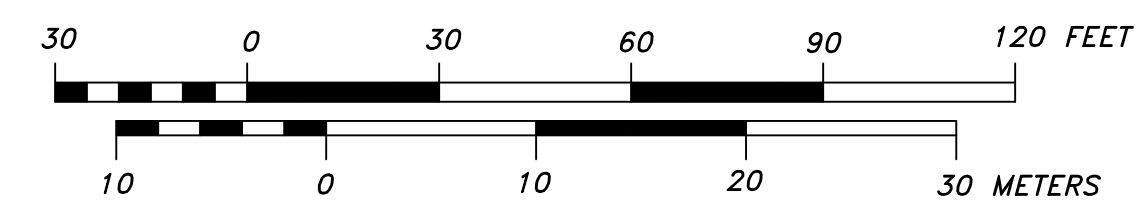
ALTUS JOB #

SURVEYOR'S CERTIFICATION

"I HEREBY CERTIFY THAT THIS SURVEY AND PLAT WERE PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN FIFTEEN THOUSAND (1:15,000)."

LICENSED LAND SURVEYOR _____ DATE _____

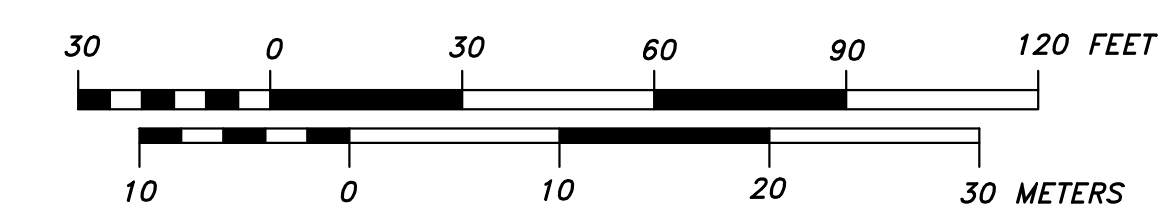
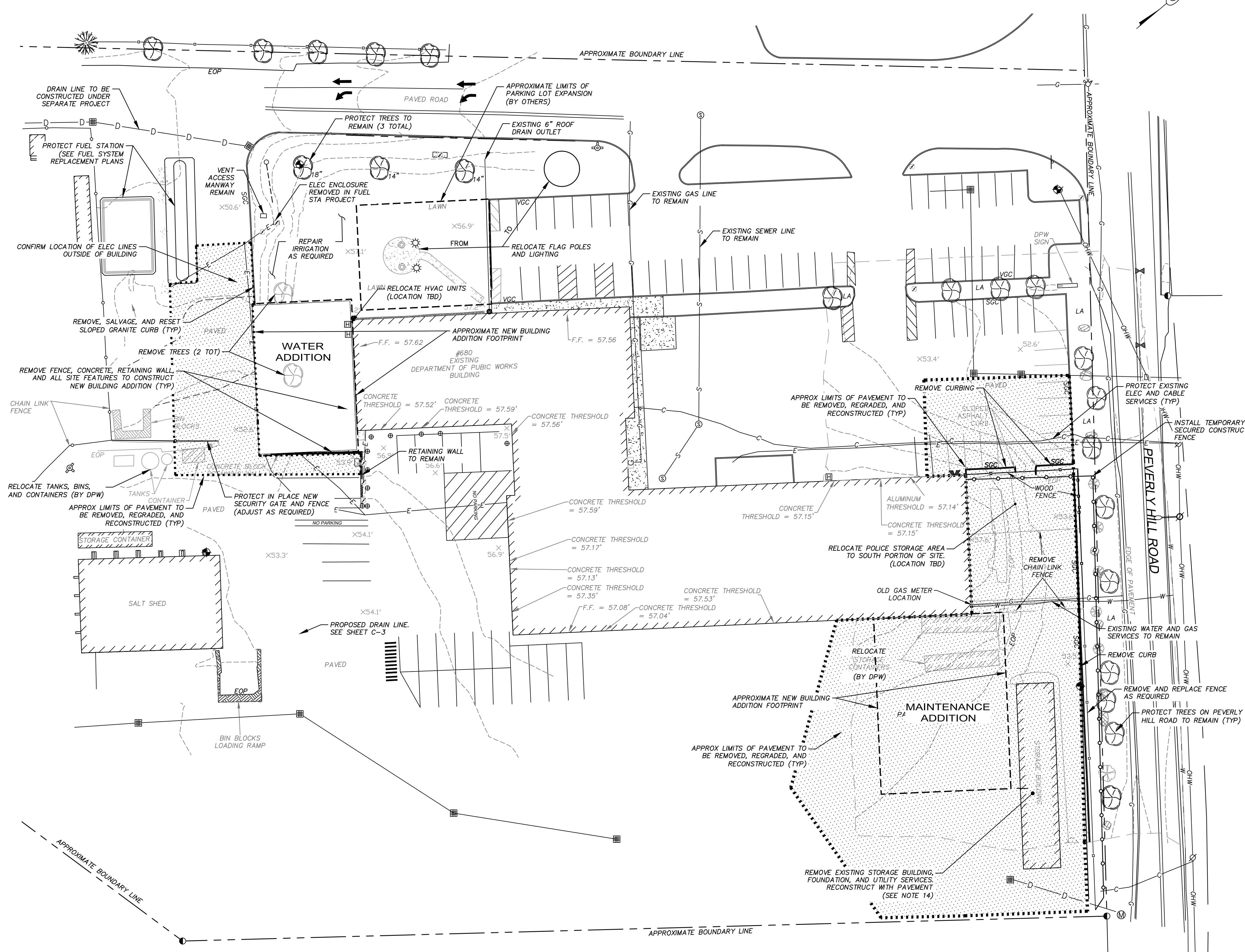
**PRELIMINARY
SUBJECT TO CHANGE**



SEE S-1 FOR LEGEND

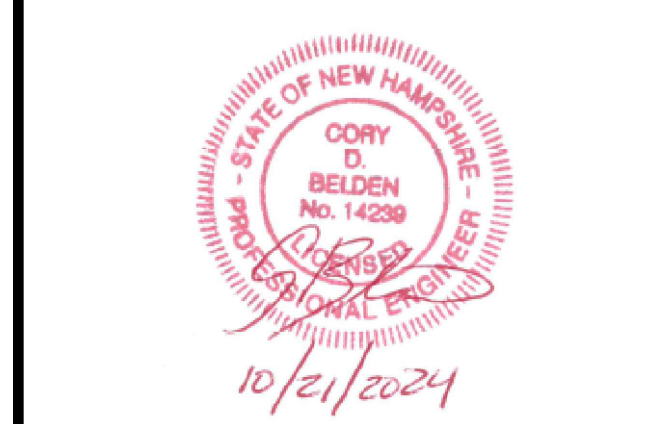
DEMOLITION NOTES

- THIS DEMOLITION PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR THE DEMOLITION OF EXISTING SITE FEATURES. UNLESS OTHERWISE NOTED TO REMAIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL PAVEMENT, CONCRETE, CURBING, SIGNS, POLES, UTILITIES, FENCES, VEGETATION AND OTHER EXISTING FEATURES AS NECESSARY TO FULLY CONSTRUCT THE PROJECT.
- CONTRACTOR SHALL SAFELY SECURE THE SITE WITH SECURITY FENCING. FENCING SHALL BE LOCKED DURING NON-WORK HOURS. COORDINATE WITH DPW.
- CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY NOTIFICATION OF ALL PARTIES, CORPORATIONS, COMPANIES, INDIVIDUALS AND STATE AND LOCAL AUTHORITIES OWNING AND/OR HAVING JURISDICTION OVER ANY UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION AND/OR CONSTRUCTION ACTIVITIES WHETHER OR NOT SAID UTILITIES ARE SUBJECT TO DEMOLITION, RELOCATION, MODIFICATION AND/OR CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS/DEMOLITIONS/RELOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELATED EXCAVATION, TRENCHING AND BACKFILLING.
- ALL STRUCTURES, CURBING, CONCRETE, PAVEMENT AND SUBBASE MATERIALS SHALL BE REMOVED FROM PROPOSED DEVELOPMENT AREAS AND REPLACED WITH SUITABLE MATERIALS SUITABLE MEETING THE PROJECT SPECIFICATIONS. REFERENCE GEOTECHNICAL REPORT BY SW COLE.
- WHERE SPECIFIED TO REMAIN, MANHOLE RIMS, CATCH BASIN GRATES, VALVE COVERS, ETC. SHALL BE ADJUSTED TO FINISH GRADE.
- HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ABATED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- IN AREAS WHERE CONSTRUCTION IS TO BE ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG THE PROPERTY LINE IN ALL AREAS WHERE SILT FENCING IS NOT OTHERWISE REQUIRED.
- SEE GRADING, DRAINAGE AND EROSION CONTROL PLANS FOR EROSION CONTROL REQUIREMENTS TO BE IN PLACE PRIOR TO START OF DEMOLITION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO; SILT BARRIERS, STABILIZED CONSTRUCTION SITE EXITS, AND STORM DRAIN INLET PROTECTION.
- ALL DEMOLISHED MATERIALS OR MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED TO BE SALVAGED BY THE OWNER.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BE LEGALLY DISPOSED IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS AND CODES.
- SEE GEOTECHNICAL REPORT FOR SOIL CONDITIONS AT BORING LOCATIONS.
- CONTRACTOR SHALL COORDINATE WITH DPW FOR DEMOLITION OF EXISTING STORAGE BUILDING AND POTENTIAL RELOCATION OF BUILDING.



ENGINEER:

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2024

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5421-SITE.DWG

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS
BUILDING ADDITIONS
City Prj. #16122

680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:

DEMOLITION
PLAN

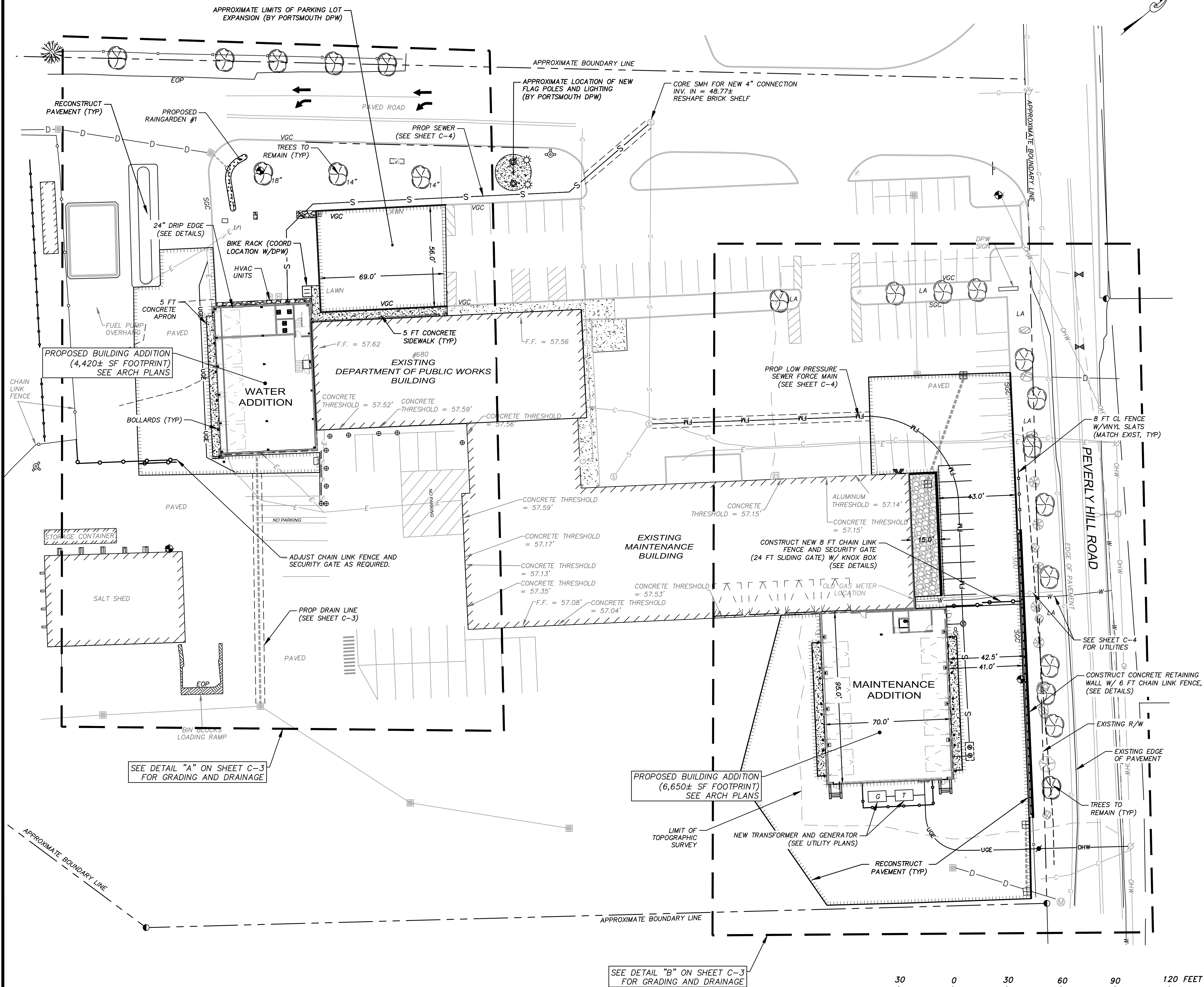
SHEET NUMBER:

C - 1

P5997

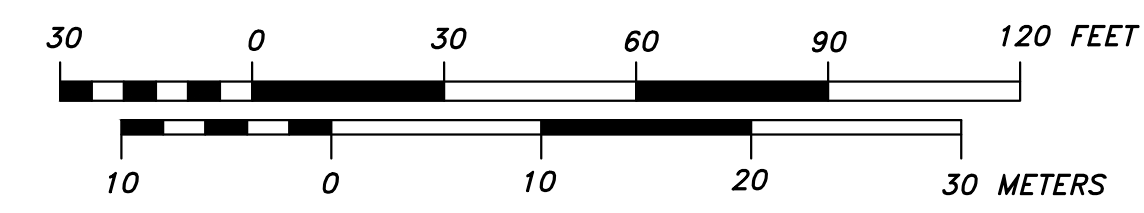
SITE NOTES

1. ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
2. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
3. THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
5. AREA OF DISTURBANCE IS UNDER 43,560 SF COVERAGE, THEREFORE EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED. CONTRACTOR SHALL MANAGE SITE STORMWATER RUNOFF PER CITY OF PORTSMOUTH REQUIREMENTS TO PREVENT SEDIMENT DISCHARGE TO THE MUNICIPAL STORM DRAIN SYSTEM.
6. PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
7. SITEWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.



LEGEND

- SEE SHEET S-1 FOR EXISTING FEATURES
- [Symbol] LIMITS OF NEW PAVEMENT
- [Symbol] CONSTRUCT CONCRETE SIDEWALK/APRON
- [Symbol] PROPOSED FENCE AND GATE



ENGINEER:

 133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com

Professional Engineer Seal for Cory D. Belden, No. 14259, State of New Hampshire. The seal is dated 10/21/2024.

NOT FOR CONSTRUCTION
 ISSUED FOR: TAC
 ISSUE DATE: OCTOBER 21, 2024

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24
1	TAC	CDB	10/21/24

DRAWN BY: CDB
 APPROVED BY: EDW
 DRAWING FILE: 5421-SITE.DWG

SCALE:
 22" x 34" - 1" = 30'
 11" x 17" - 1" = 60'

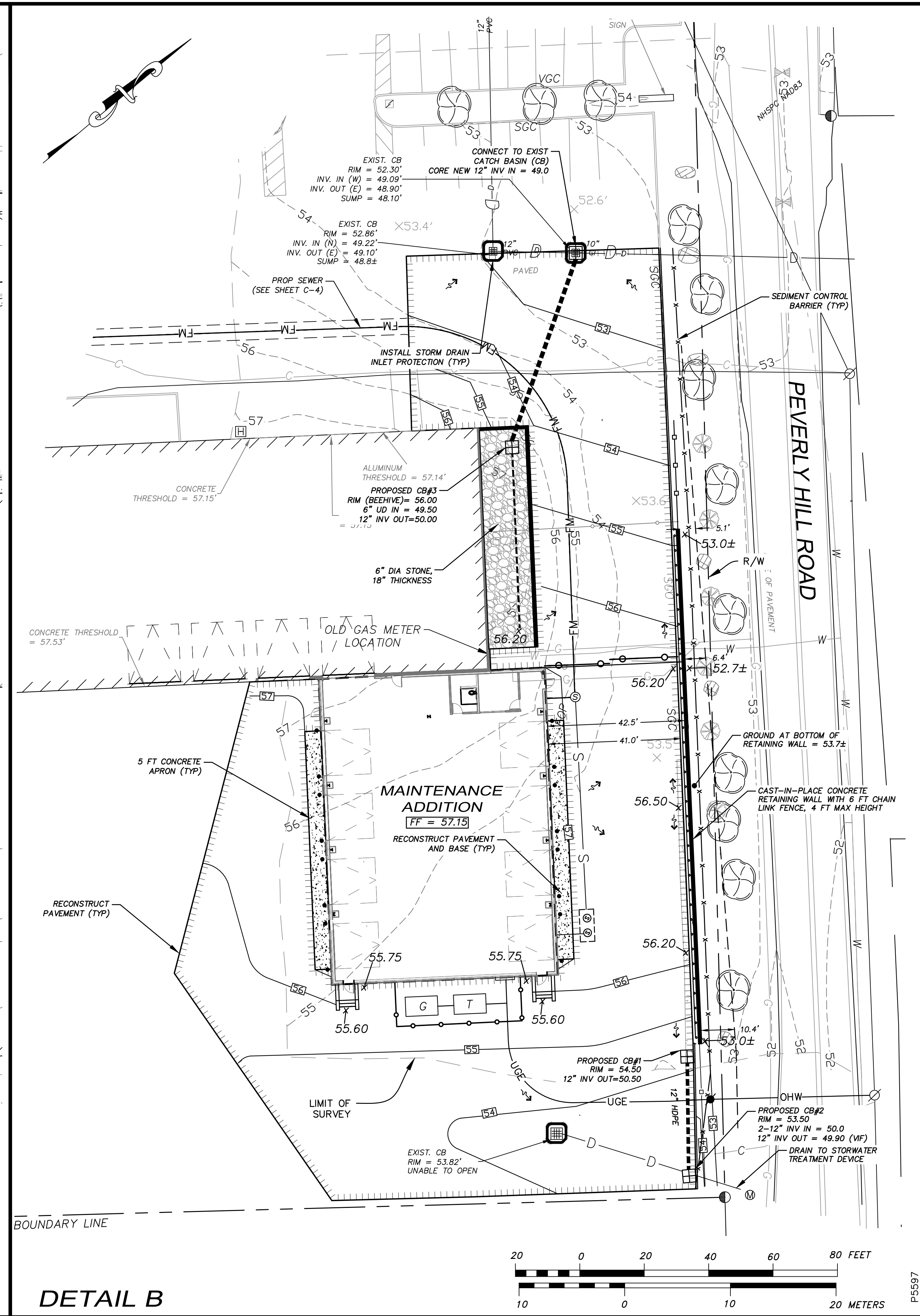
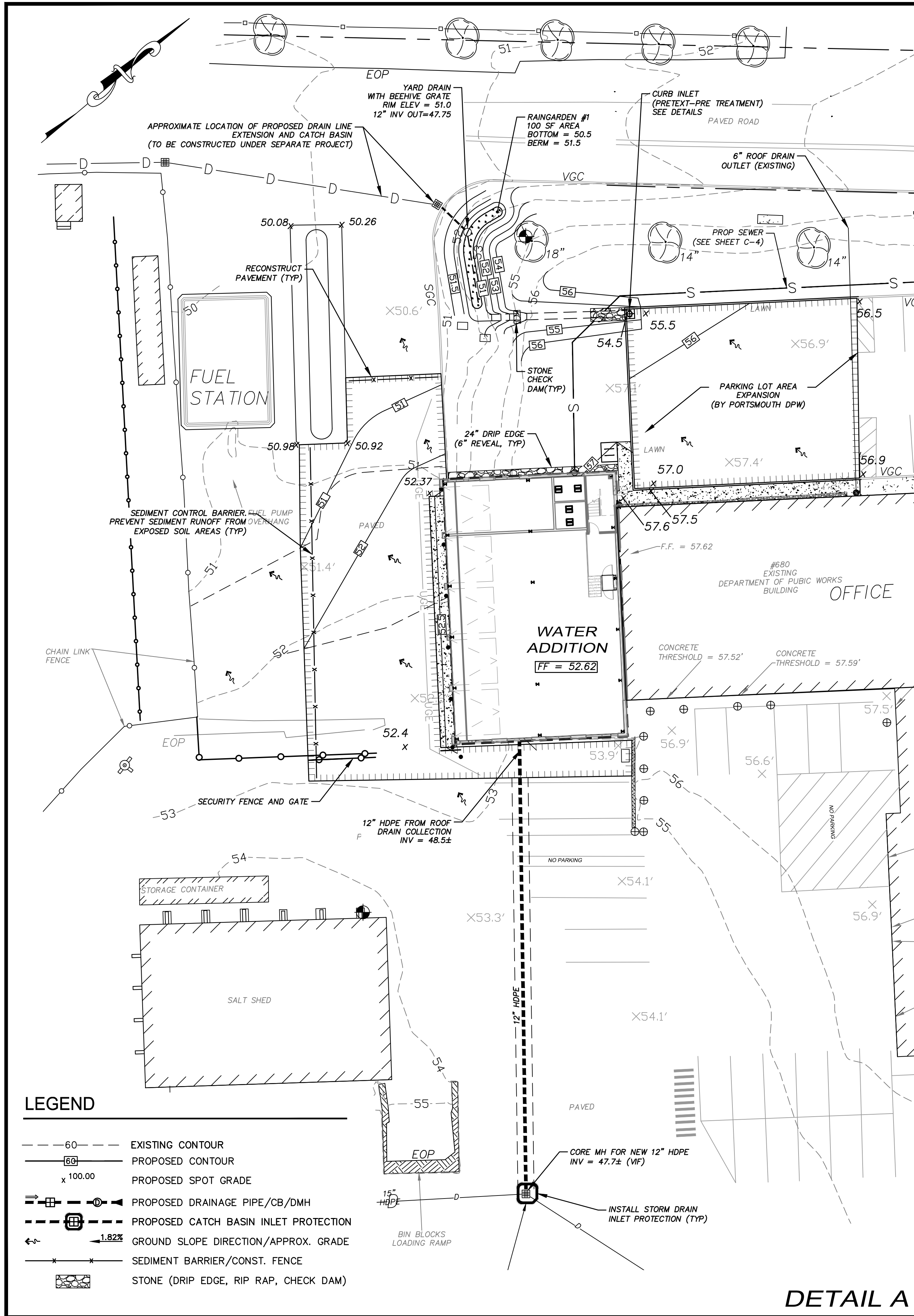
APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
C - 2

P5997



ENGINEER:

ALTUS ENGINEERING

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

STATE OF NEW HAMPSHIRE
CORY D. BELDEN
No. 14299
Professional Engineer
10/21/2024

NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2024

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL		CDB	10/01/24
1	TAC		CDB	10/21/24

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5421-SITE.DWG

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
City Prj. #16122

680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
DETAILED GRADING, DRAINAGE, AND EROSION CONTROL PLAN

SHEET NUMBER:
C - 3

P5997

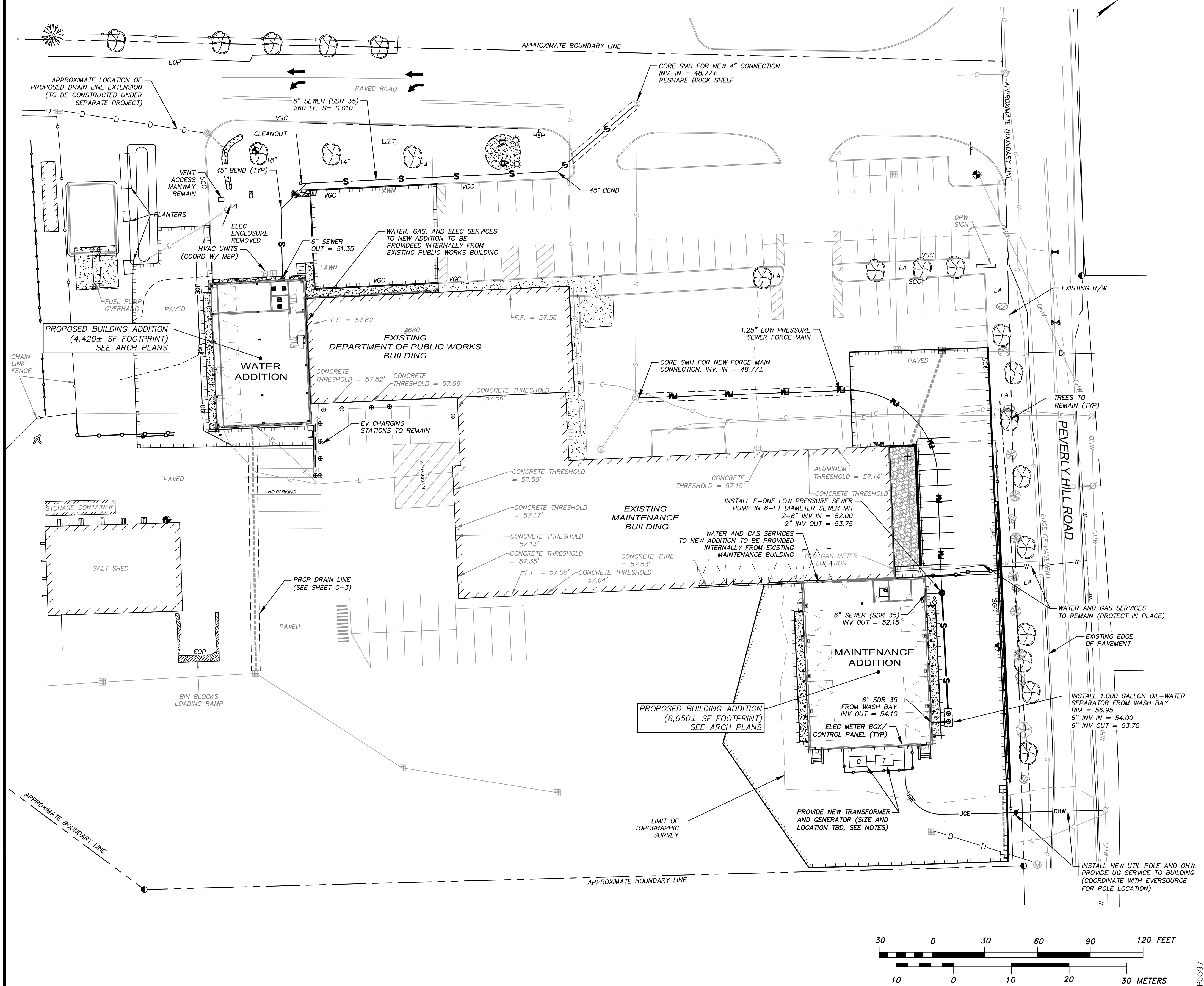
UTILITY NOTES

- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE, LOCAL, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL PERMIT CONDITIONS AND REQUIREMENTS.
- ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL CONFORM TO FEDERAL OSHA AND CITY REGULATIONS.
- SITWORK CONTRACTOR SHALL COORDINATE ALL WORK WITH ARCHITECTURAL, PLUMBING AND MECHANICAL DRAWINGS.
- FINAL UTILITY LOCATIONS TO BE COORDINATED BETWEEN THE CONTRACTOR, ALL APPROPRIATE UTILITY COMPANIES AND THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE ALL TELECOMMUNICATIONS INSTALLATIONS WITH CONSOLIDATED COMMUNICATIONS.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL INSTALLATIONS WITH EVERSOURCE. ALL ELECTRIC CONDUIT INSTALLATION SHALL BE INSPECTED BY EVERSOURCE PRIOR TO BACKFILL, 48-HOUR MINIMUM NOTICE REQUIRED.
- DETECTABLE WARNING TAPE SHALL BE PLACED OVER THE ENTIRE LENGTH OF ALL BURIED UTILITIES, COLORS PER THE RESPECTIVE UTILITY PROVIDERS.
- ELECTRICAL SERVICE LOCATION FROM PEVERLY HILL ROAD WILL BE COORDINATED WITH EVERSOURCE. POLE LOCATION MAY CHANGE DEPENDING ON EVERSOURCE REQUIREMENTS.
- NEW TRANSFORMER AND GENERATOR TO BE SIZED DURING DESIGN-BUILD PROCESS. INTERNAL EQUIPMENT SPECIFICATIONS ARE PENDING FOR DESIGN LOAD REQUIREMENTS. TRANSFORMER AND GENERATOR TO MEET OFFSET AND ACCESS REQUIREMENT. COORDINATE WITH EVERSOURCE.

LEGEND

SEE SHEET S-1 FOR EXISTING FEATURES

- BORING LOCATION (SEE GEOTECHNICAL RPT)
- PROPOSED THRUST BLOCK/WATER/CURB STOP/VALVE/HYDRANT
- PROPOSED SEWER/MANHOLE/CLEANOUT
- PROPOSED SEWER FORCEMAIN
- PROPOSED GAS
- PROPOSED OVERHEAD UTILITIES/UTILITY POLE
- PROPOSED UNDERGROUND ELEC/PHONE/TV
- SAWCUT PAVEMENT
- APPROX. LIMITS OF PAVEMENT REMOVAL
- BUILDING REMOVAL



ENGINEER:

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2024

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL		CDB	10/01/24
1	TAC		CDB	10/21/24

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5421-SITE.DWG

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
City Prj. #16122

680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:

UTILITIES PLAN

SHEET NUMBER:
C - 4

P5997

NOT FOR CONSTRUCTION

ISSUED FOR: **TAC**

ISSUE DATE: **OCTOBER 21, 2024**

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/01/24	
1	TAC	CDB	10/21/24	

DRAWN BY: _____ CDB
 APPROVED BY: _____ EDW
 DRAWING FILE: 5421-SITE.DWG

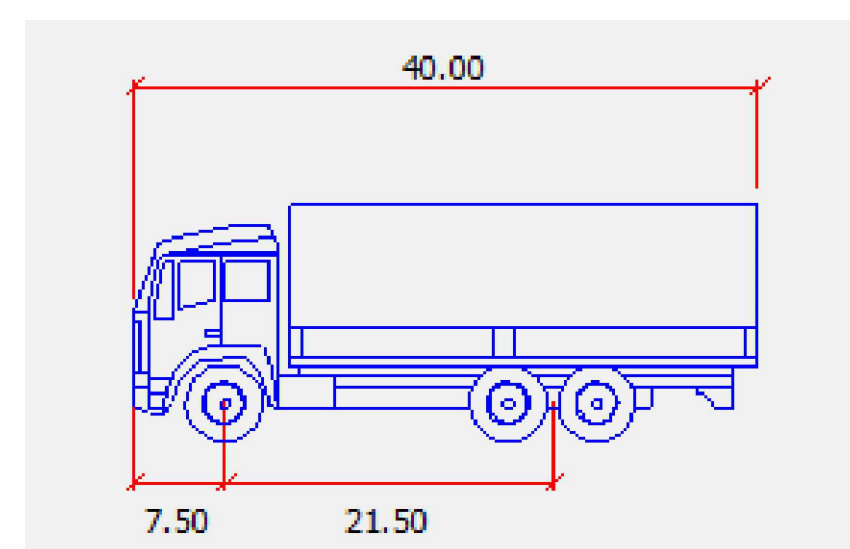
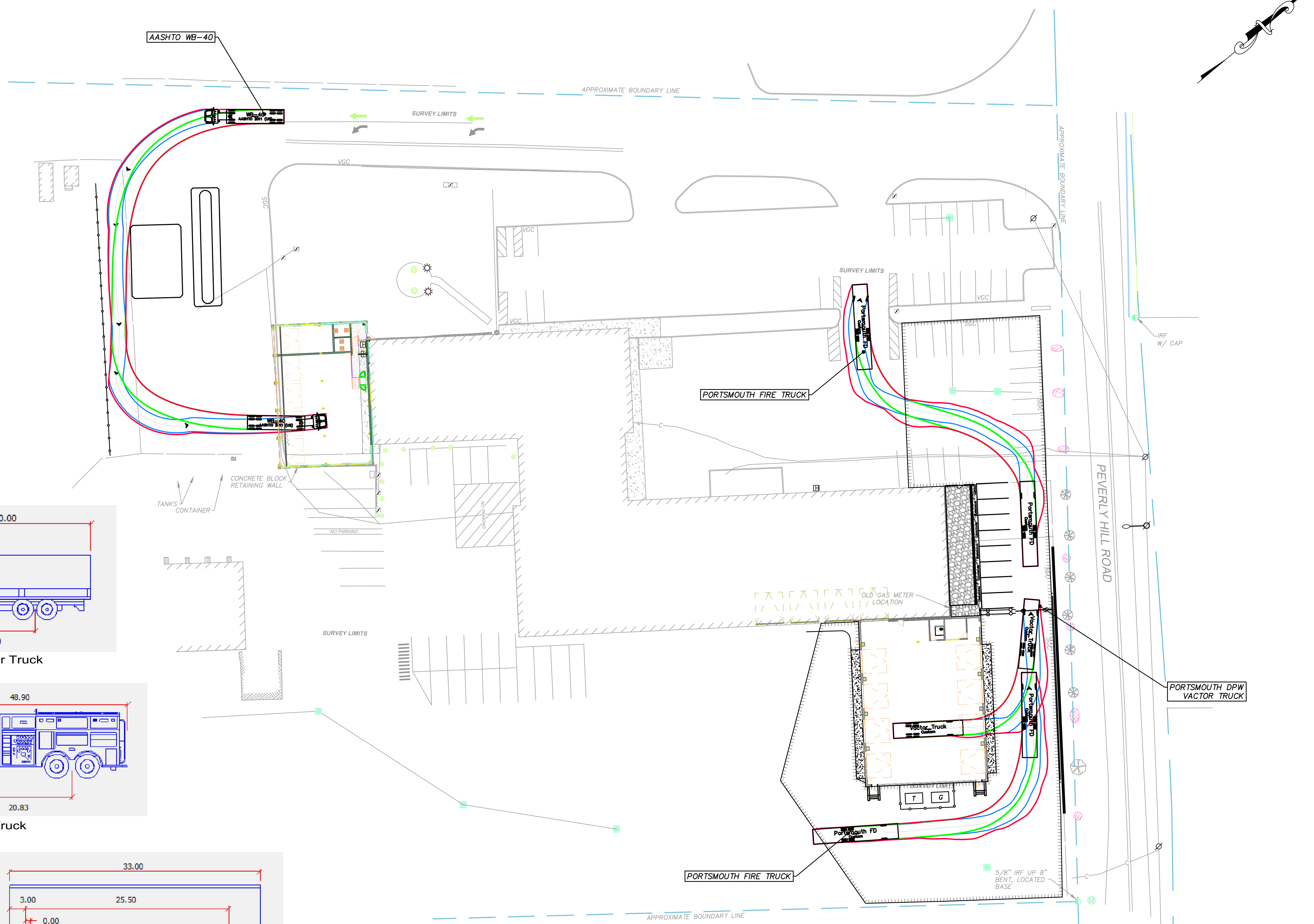
SCALE:
 22" x 34" - 1" = 30"
 11" x 17" - 1" = 60"

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

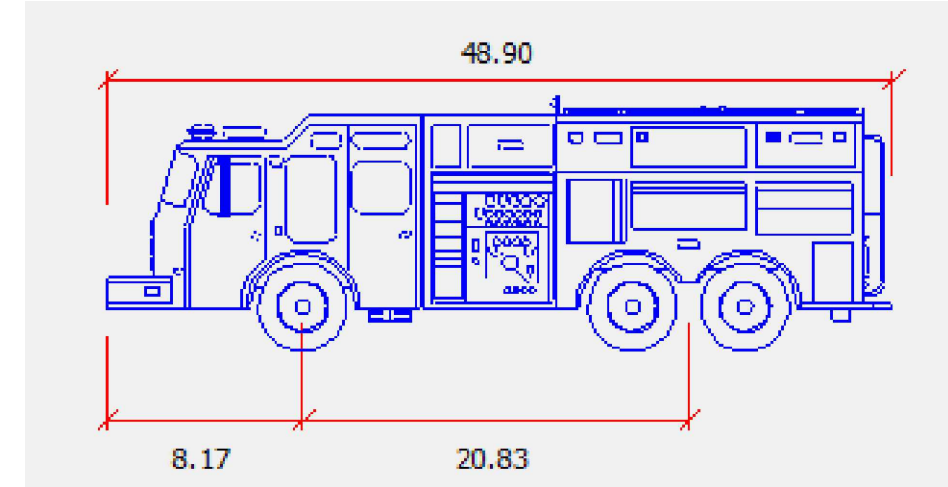
PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:
TRUCK TURNING MOVEMENTS

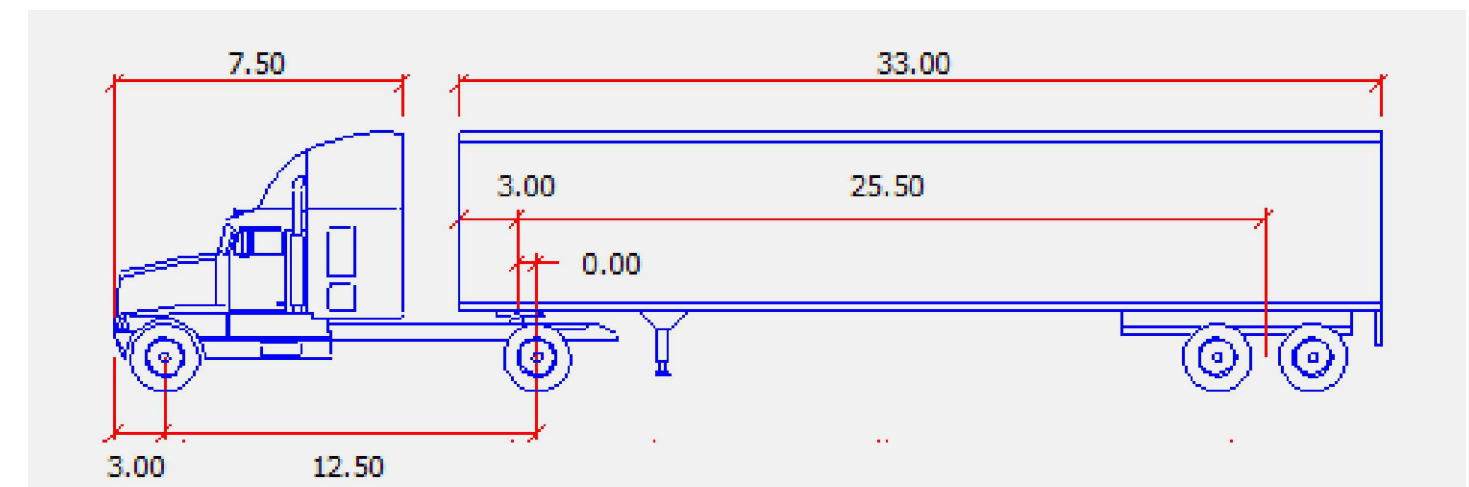
SHEET NUMBER:
T - 1



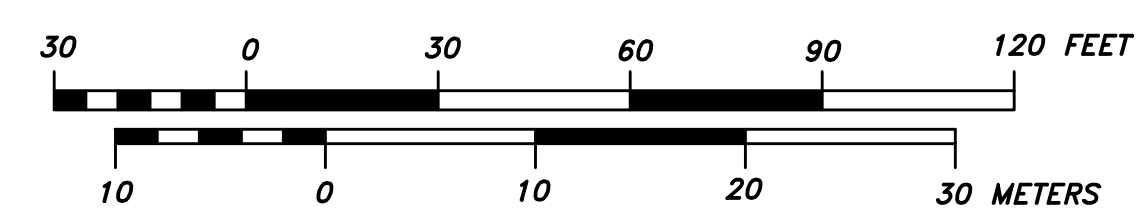
Portsmouth Vector Truck



Portsmouth Fire Truck



WB-40 (AASHTO 2011)



P5597

SEDIMENT AND EROSION CONTROL NOTES

PROJECT NAME AND LOCATION

PUBLIC WORKS BUILDING ADDITIONS (RFP #30-23)
CITY OF PORTSMOUTH, NH
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

DESCRIPTION

The project consists of two additions to the existing Department of Public Works facility on Peverly Hill Road. The existing building Public Works and maintenance building will remain. See architectural drawings for building related items adjacent to the additions. Site improvements include underground utilities and parking and access items.

DISTURBED AREA

The total area to be disturbed on the parcel and for the building additions, driveway, parking area, drainage, and utility construction is approximately 32,000 SF± (less than 1-acre). The combined disturbed area does NOT exceed 43,560 SF (1 acre), thus a SWPPP will NOT be required for compliance with the USEPA-NPDES Construction General Permit. All local requirements for stormwater and erosion control during construction are still required.

NPDES CONSTRUCTION GENERAL PERMIT- exempt

Site disturbance is less than one acre, therefore Contractor is NOT required to prepare a Stormwater Pollution Prevention Plan (SWPPP) or file an NOI (Notice of Intent) in accordance with federal storm water permit requirements under the USEPA-NPDES Construction General Permit.

SEQUENCE OF MAJOR ACTIVITIES

THE FOLLOWING PROVIDES AN ANTICIPATED SEQUENCE OF CONSTRUCTION ACTIVITIES. ACTUAL SEQUENCE WILL DEPEND ON CONTRACTOR MEANS AND METHODS AND PROPOSED WORK PLAN.

1. Hold a pre-construction meeting with City & stake holders.
2. Install temporary erosion control measures, including drain inlet protection, sediment barriers, and stabilized construction exit/entrance as necessary for the initial phase of construction. Erosion control measures shall be maintained throughout construction for various phases of work.
3. Remove pavement and structures intended to be removed within the work limits.
4. Construct utility infrastructure. Rough grade lot to prepare for site development.
5. Construct Foundations.
6. Construct building addition framing.
7. Construct pavement to binder course.
8. Complete building addition interiors.
9. Complete pavement wearing course.
8. Loam and seed disturbed areas.
9. When all construction activity is complete and site is stabilized, remove all temporary erosion and sediment devices and all sediment that has been trapped by these devices.

NAME OF RECEIVING WATER

The site drainage discharges into a municipal closed drainage system outletting to Sagamore Creek.

TEMPORARY EROSION & SEDIMENT CONTROL AND STABILIZATION PRACTICES

All work shall be in accordance with state and local permits. Work shall conform to the practices described in the "New Hampshire Stormwater Manual, Volumes 1 - 3", issued December 2008, as amended. As indicated in the sequence of Major Activities, the silt fences shall be installed prior to commencing any clearing or grading of the site. Structural controls shall be installed concurrently with the applicable activity. Once construction activity ceases permanently in an area, silt fences and any earth/dikes will be removed once permanent measures are established.

During construction, runoff will be diverted around the site with stabilized channels where possible. Sheet runoff from the site shall be filtered through hay bale barriers, stone check dams, and silt fences. All storm drain inlets shall be provided with hay bale filters or stone check dams. Stone rip rap shall be provided at the outlets of drain pipes and culverts where shown on the drawings.

Stabilize all ditches, swales, stormwater ponds, level spreaders and their contributing areas prior to directing flow to them.

Temporary and permanent vegetation and mulching is an integral component of the erosion and sedimentation control plan. All areas shall be inspected and maintained until vegetative cover is established. These control measures are essential to erosion prevention and also reduce costly rework of graded and shaped areas.

Temporary vegetation shall be maintained in these areas until permanent seeding is applied. Additionally, erosion and sediment control measures shall be maintained until permanent vegetation is established.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES

A. GENERAL

These are general inspection and maintenance practices that shall be used to implement the plan:

1. The smallest practical portion of the site shall be denuded at one time, but in no case shall it exceed 5 acres at one time.
2. All control measures shall be inspected at least once each week and following any storm event of 0.25 inches or greater.
3. All measures shall be maintained in good working order; if a repair is necessary, it will be initiated within 24 hours.
4. Built-up sediment shall be removed from silt fence or other barriers when it has reached one-third the height of the fence or bale, or when "bulges" occur.
5. All diversion dikes shall be inspected and any breaches promptly repaired.
6. Temporary seeding and planting shall be inspected for bare spots, washouts, and unhealthy growth.
7. The owner's authorized engineer shall inspect the site on a periodic basis to review compliance with the Plans.
8. All roadways and parking lots shall be stabilized within 72 hours of achieving finished grade.
9. All cut and fill slopes shall be seeded/loamed within 72 hours of achieving finished grade.
10. An area shall be considered stable if one of the following has occurred:
 - a. Base coarse gravels have been installed in areas to be paved;
 - b. A minimum of 85% vegetated growth as been established;
 - c. A minimum of 3 inches of non-erosive material such as stone or riprap has been installed;
 - d. Erosion control blankets have been properly installed.
11. The length of time of exposure of area disturbed during construction shall not exceed 45 days.

B. MULCHING

Mulch shall be used on highly erodible soils, on critically eroding areas, on areas where conservation of moisture will facilitate plant establishment, and where shown on the plans.

1. Timing - In order for mulch to be effective, it must be in place prior to major storm events. There are two (2) types of standards which shall be used to assure this:
 - a. Apply mulch prior to any storm event. This is applicable when working within 100 feet of wetlands. It will be necessary to closely monitor weather predictions, usually by contacting the National Weather Service in Concord, to have adequate warning of significant storms.
 - b. Required Mulching within a specified time period. The time period can range from 21 to 28 days of inactivity on a area, the length of time varying with site conditions. Professional judgment shall be used to evaluate the interaction of site conditions (soil erodibility, season of year, extent of disturbance, proximity to sensitive resources, etc.) and the potential impact of erosion on adjacent areas to choose an appropriate time restriction.

INSTALLATION, MAINTENANCE AND INSPECTION PROCEDURES FOR TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (CON'T)

2. Guidelines for Winter Mulch Application -

Type	Rate per 1,000 s.f.	Use and Comments
Hay or Straw	70 to 90 lbs.	Must be dry and free from mold. May be used with plantings.
Wood Chips or Bark Mulch	460 to 920 lbs.	Used mostly with trees and shrub plantings.
Jute and Fibrous Matting (Erosion Control Blanket)	As per manufacturer Specifications	Used in slope areas, water courses and other Control areas.
Crushed Stone 1/4" to 1-1/2" dia.	Spread more than 1/2" thick	Effective in controlling wind and water erosion.
Erosion Control Mix	2" thick (min)	<ul style="list-style-type: none"> * The organic matter content is between 80 and 100% dry weight basis. * Particle size by weight is 100% passing a #8 screen and a minimum of 70 % maximum of 85%, passing a 0.75" screen. * The organic portion needs to be fibrous and elongated. * Large portions of silts, clays or fine sands are not acceptable in the mix. * Soluble salts content is less than 4.0 mmhos/cm. * The pH should fall between 5.0 and 8.0.

3. Maintenance - All mulches must be inspected periodically, in particular after rainstorms, to check for rill erosion. If less than 90% of the soil surface is covered by mulch, additional mulch shall be immediately applied.

C. TEMPORARY GRASS COVER

1. Seedbed Preparation - Apply fertilizer at the rate of 600 pounds per acre of 10-10-10. Apply limestone (equivalent to 50 percent calcium plus magnesium oxide) at a rate of three (3) tons per acre.
2. Seeding -
 - a. Utilize annual rye grass at a rate of 40 lbs/acre.
 - b. Where the soil has been compacted by construction operations, loosen soil to a depth of two (2) inches before applying fertilizer, lime and seed.
 - c. Apply seed uniformly by hand, cyclone seeder, or hydroseeder (slurry including seed and fertilizer). Hydroseedings, which include mulch, may be left on soil surface. Seeding rates must be increased 10% when hydroseeding.
3. Maintenance -
 - a. Temporary seedings shall be periodically inspected. At a minimum, 95% of the soil surface should be covered by vegetation. If any evidence of erosion or sedimentation is apparent, repairs shall be made and other temporary measures used in the interim (mulch, filter barriers, check dams, etc.).

D. FILTERS

1. Tubular Sediment Barrier
 - a. See detail.
 - b. Install per manufacturer's requirements.
2. Silt Fence (if used)
 - a. Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester or ethylene yarn and shall be certified by the manufacturer or supplier as conforming to the following requirements:

Physical Property	Test	Requirements
Filtering Efficiency	VTM-51	75% minimum
Tensile Strength at 20% Maximum Elongation*	VTM-52	Extra Strength 50 lb/lin in (min) Standard Strength 30 lb/lin in (min)
Flow Rate	VTM-51	0.3 gal/sf/min (min)

 - * Requirements reduced by 50 percent after six (6) months of installation.
 Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizer to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120° F.

Synthetic filter fabric shall contain ultraviolet ray inhibitors and stabilizer to provide a minimum of six (6) months of expected usable construction life at a temperature range of 0 degrees F to 120° F.

- b. Posts shall be spaced a maximum of ten (10) feet apart at the barrier location or as recommended by the manufacturer and driven securely into the ground (minimum of 16 inches).
- c. A trench shall be excavated approximately six (6) inches wide and eight (8) inches deep along the line of posts and upslope from the barrier.
- d. When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least one (1) inch long, tie wires or hog rings. The wire shall extend no more than 36 inches above the original ground surfaces.
- e. The "standard strength" filter fabric shall be stapled or wired to the fence, and eight (8) inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
- f. When extra strength filter fabric and closer post spacing are used, the wire mesh support fence may be eliminated. In such a case, the filter fabric is stapled or wired directly to the posts with all other provisions of item (g) applying.
- g. The trench shall be backfilled and the soil compacted over the filter fabric.
- h. Silt fences shall be removed when they have served their useful purpose but not before the upslope areas has been permanently stabilized.

3. Sequence of Installation - Sediment barriers shall be installed prior to any soil disturbance of the contributing upslope drainage area.

4. Maintenance -
 - a. Silt fence barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. They shall be repaired if there are any signs of erosion or sedimentation below them. Any required repairs shall be made immediately. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water, the sediment barriers shall be replaced with a temporary stone check dam.
 - b. Should the fabric on a silt fence or filter barrier decompose or become ineffective prior to the end of the expected usable life and the barrier still is necessary, the fabric shall be replaced promptly.
 - c. Sediment deposits must be removed when deposits reach approximately one-third (1/3) the height of the barrier.
 - d. Any sediment deposits remaining in place after the silt fence or other barrier is no longer required shall be removed. The area shall be prepared and seeded.

- e. Additional stone may have to be added to the construction entrance, rock barrier and riprap lined swales, etc., periodically to maintain proper function of the erosion control structure.
- E. PERMANENT SEEDING -

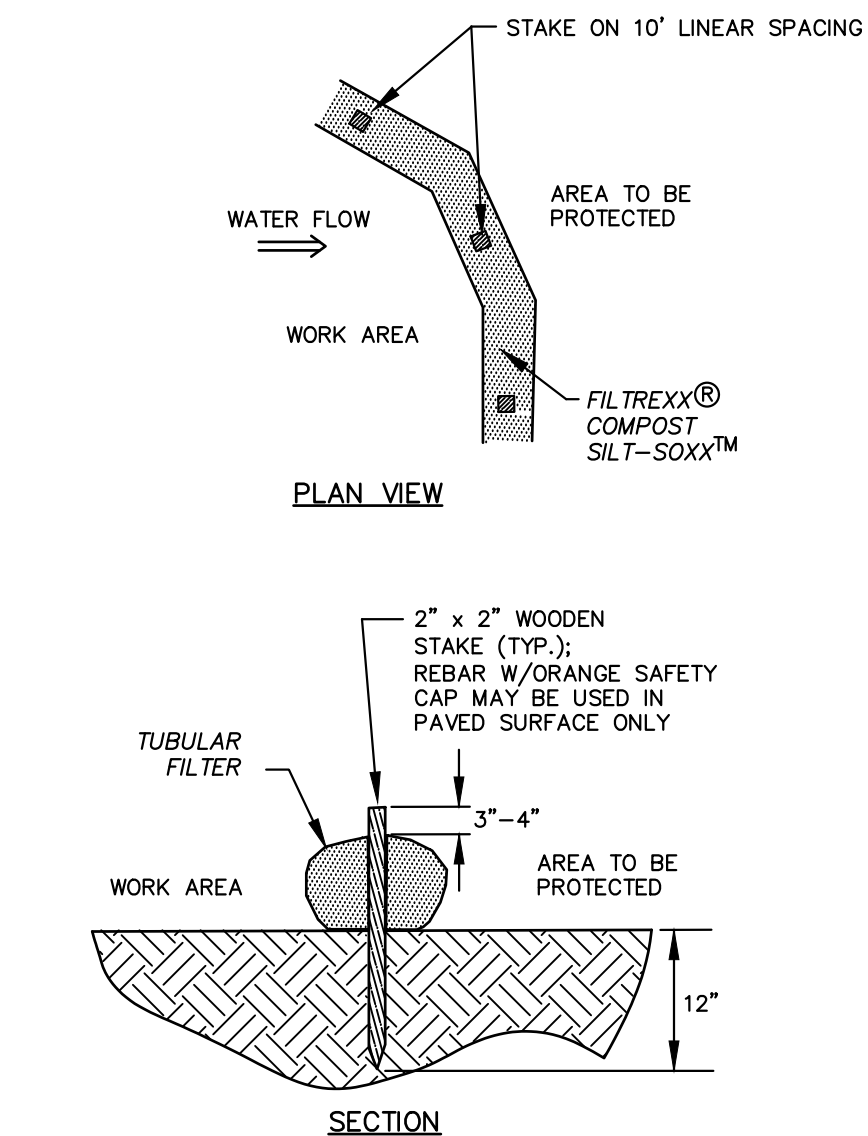
1. Bedding - stones larger than 1 1/2", trash, roots, and other debris that will interfere with seeding and future maintenance of the area should be removed. Where feasible, the soil should be tilled to a depth of 5" to prepare a seedbed and mix fertilizer into the soil.
2. Fertilizer - lime and fertilizer should be applied evenly over the area prior to or at the time of seeding and incorporated into the soil. Kinds and amounts of lime and fertilizer should be based on an evaluation of soil tests. When a soil test is not available, the following minimum amounts should be applied:
 - Agricultural Limestone @ 100 lbs. per 1,000 s.f.
 - 10-20-20 fertilizer @ 12 lbs. per 1,000 s.f.
3. Seed Mixture (See Landscape Drawings for additional information):
 - 3.1. Lawn seed mix shall be a fresh, clean new seed crop. The Contractor shall furnish a dealer's guaranteed statement of the composition of the mixture and the percentage of purity and germination of each variety.
 - 3.2. Seed mixture shall consist of
 - a. 1/3 Kentucky blue,
 - b. 1/3 perennial rye, and
 - c. 1/3 fine fescue.
 - 3.1. Turf type tall fescue is unacceptable.
4. Sodding - sodding is done where it is desirable to rapidly establish cover on a disturbed area. Sodding an area may be substituted for permanent seeding procedures anywhere on site. Bed preparation, fertilizing, and placement of sod shall be performed according to the S.C.S. Handbook. Sodding is recommended for steep sloped areas, areas immediately adjacent to sensitive water courses, easily erodible soils (fine sand/silt), etc.

WINTER CONSTRUCTION NOTES

1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.

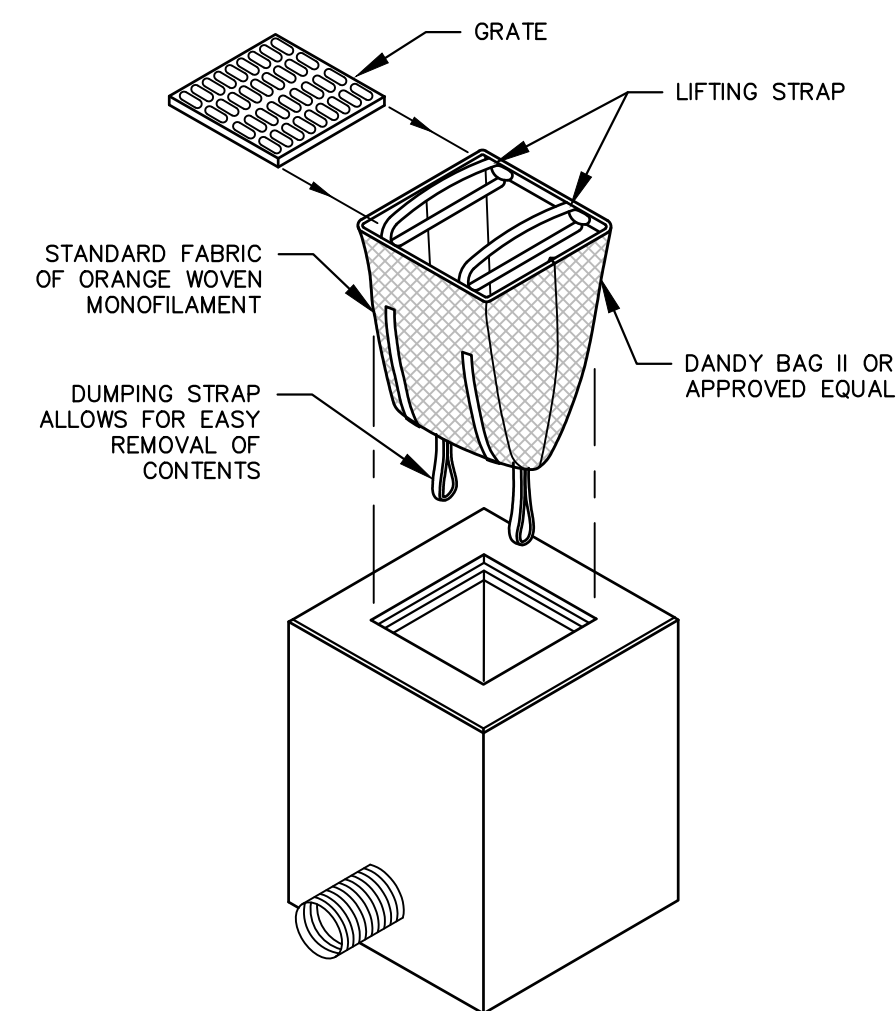
WINTER CONSTRUCTION NOTES

1. All proposed vegetated areas which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized by seeding and installing erosion control blankets on slopes greater than 3:1, and elsewhere seeding and placing 3 to 4 tons of mulch per acre, secured with anchored netting. The installation of erosion control blankets or mulch and netting shall not occur over accumulated snow or on frozen ground and shall be completed in advance of thaw or spring melt events;
2. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, shall be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions; and
3. After November 15th, incomplete road or parking surfaces where work has stopped for the winter season shall be protected with a minimum of 3 inches of crushed gravel per NHDOT Item 304.3.



- NOTES:
1. SILTSOXX OR APPROVED EQUAL SHALL BE USED FOR TUBULAR SEDIMENT BARRIERS.
 2. ALL MATERIAL TO MEET MANUFACTURER'S SPECIFICATIONS.
 3. COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
 4. ALL SEDIMENT TRAPPED BY BARRIER SHALL BE DISPOSED OF PROPERLY.

TUBULAR SEDIMENT BARRIER DETAIL NOT TO SCALE



INSTALLATION AND MAINTENANCE:

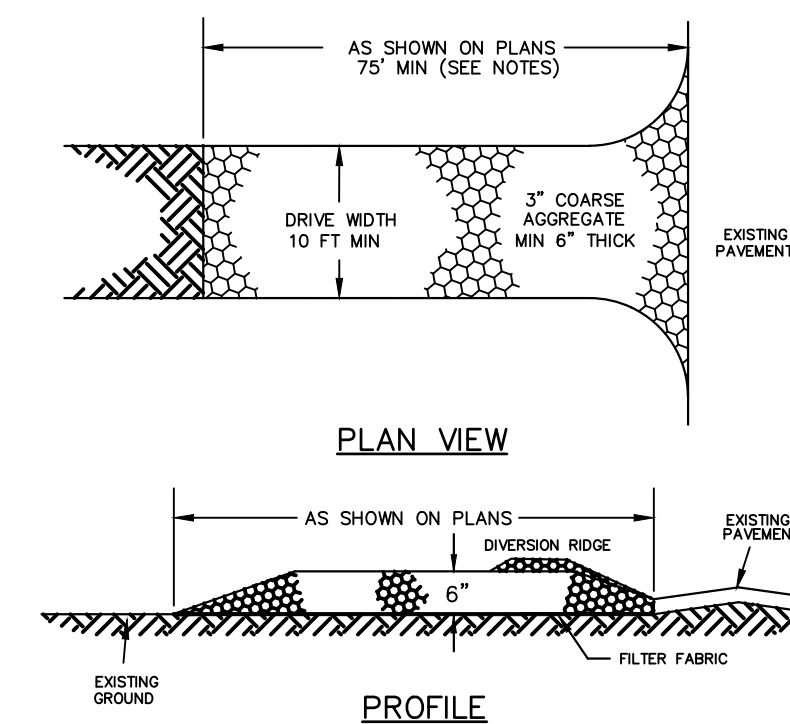
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO CATCH BASIN. INSERT SO THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET.

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF THE UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE CATCH BASIN. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY THE UNIT, LEFT THE UNIT OUT OF THE INLET USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL ABSORBENTS, REPLACE ABSORBENT WHEN NEAR SATURATION.

UNACCEPTABLE INLET PROTECTION METHOD:

A SIMPLE SHEET OF GEOTEXTILE UNDER THE GRATE IS NOT ACCEPTABLE.

STORM DRAIN INLET PROTECTION NOT TO SCALE

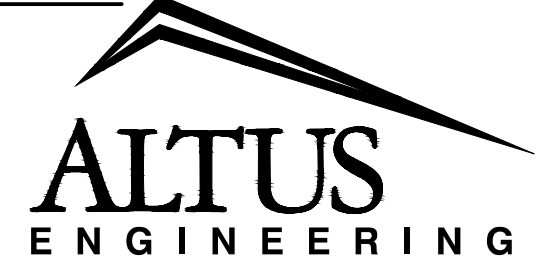


CONSTRUCTION SPECIFICATIONS

1. REFERENCE NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3 (LATEST EDITION), SECTION 4.2
2. "TEMPORARY CONSTRUCTION EXIT" REQUIREMENTS AND BMP DETAIL.
3. STONE SIZE - 3" COARSE AGGREGATE
4. THICKNESS - SIX (6) INCHES (MINIMUM).
5. LENGTH - 75 FOOT MINIMUM, OR 50 FOOT ALLOWED WHEN DIVERSION RIDGE IS PROVIDED.
6. WIDTH - 1/2 OF DRIVEWAY (10 FOOT MINIMUM).
7. FILTER FABRIC - MIRAFI 600X OR APPROVED EQUAL.
8. SURFACE WATER CONTROL - ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
10. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED CONSTRUCTION EXIT NOT TO SCALE

ENGINEER:



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



ISSUED FOR:

TAC

ISSUE DATE:

OCTOBER 21, 2024

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/21/24

DRAWN BY: CDB

APPROVED BY: EDW

DRAWING FILE: 5421-SITE.DWG

SCALE:

22" x 34" - NOT TO SCALE

11" x 17" - NOT TO SCALE

APPLICANT:

PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:

CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

PROJECT:

PUBLIC WORKS BUILDING ADDITIONS
City Prj. #16122

680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:

EROSION CONTROL NOTES & DETAILS

SHEET NUMBER:

D - 1

ALTUS JOB #5421



ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2024

REVISIONS	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/21/24

DRAWN BY: CDB
 APPROVED BY: EDW
 DRAWING FILE: 5421-SITE.DWG

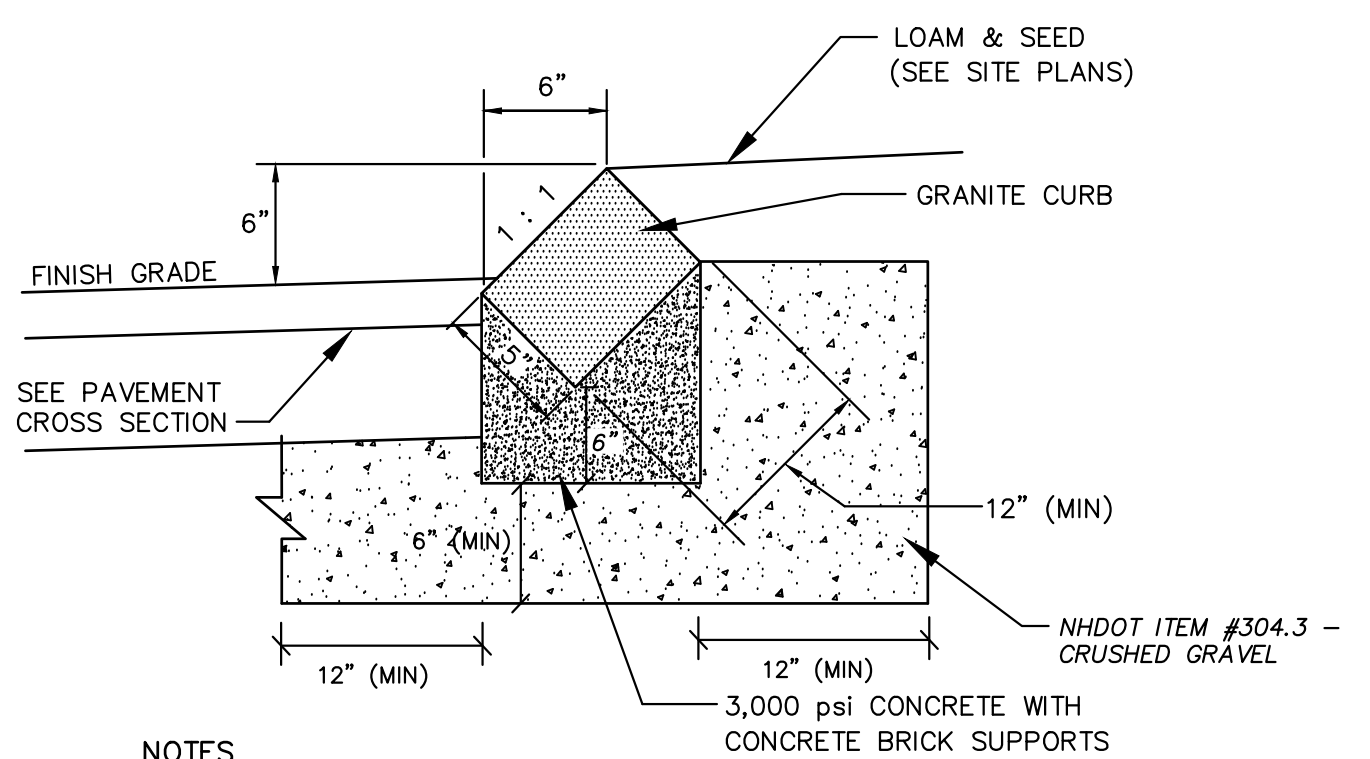
SCALE:
 2 1/2" x 34" - NOT TO SCALE
 11" x 17" - NOT TO SCALE

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122
 680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:

DETAIL SHEET
 SHEET NUMBER:
D - 2

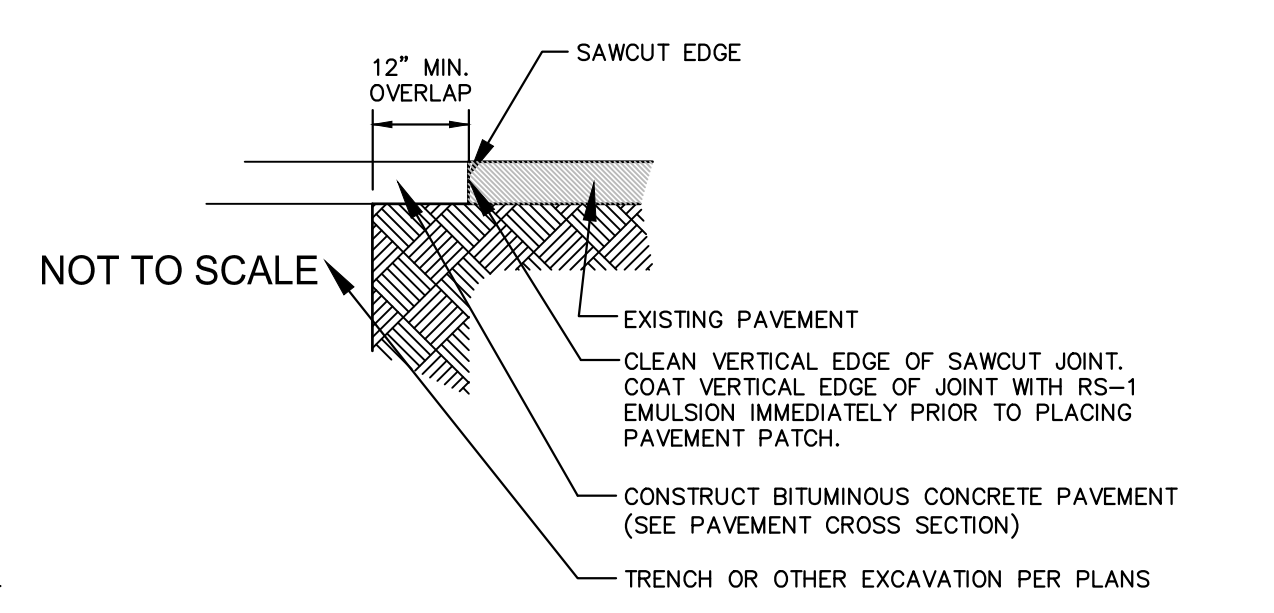


NOTES

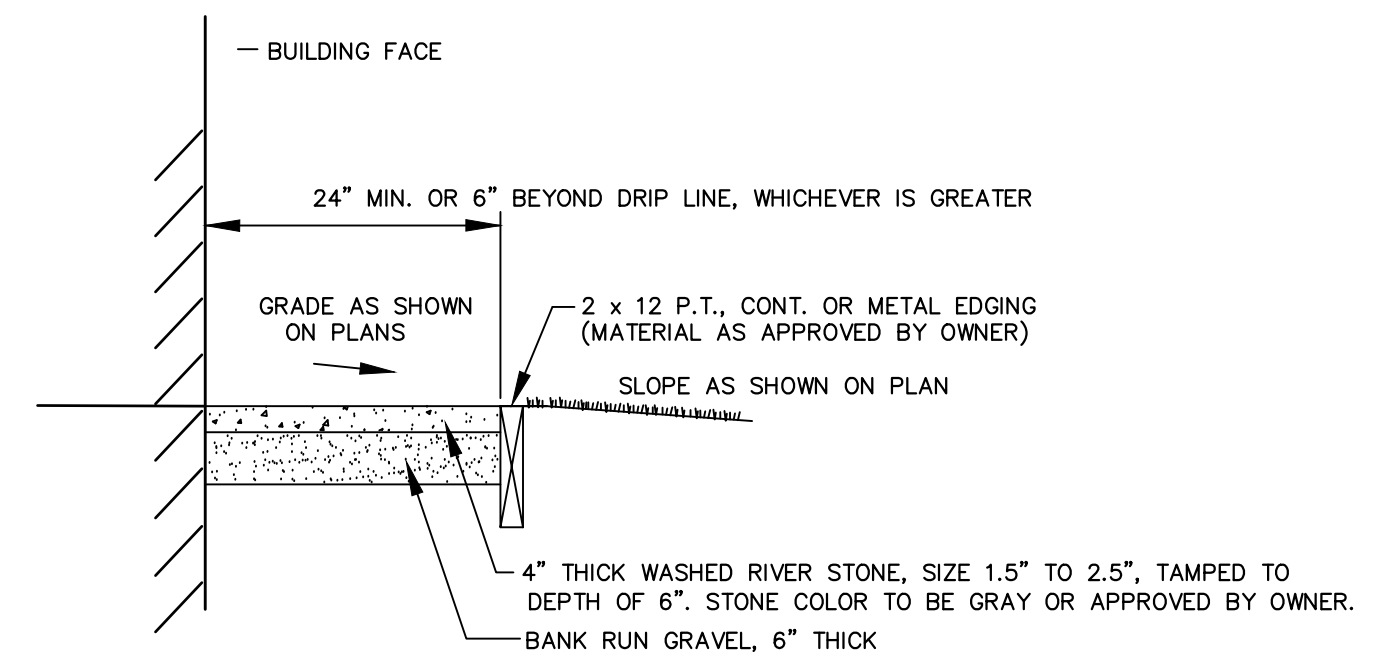
- SEE SITE PLAN FOR LIMITS OF CURBING
- ADJOINING STONES OF STRAIGHT CURB LAID ON CURVES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
- MINIMUM LENGTH OF STRAIGHT CURB STONES = 18"
- MAXIMUM LENGTH OF STRAIGHT CURB STONES = 8'
- MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART

RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
16'-28'	1'-6"
29'-41'	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
OVER 110'	8'

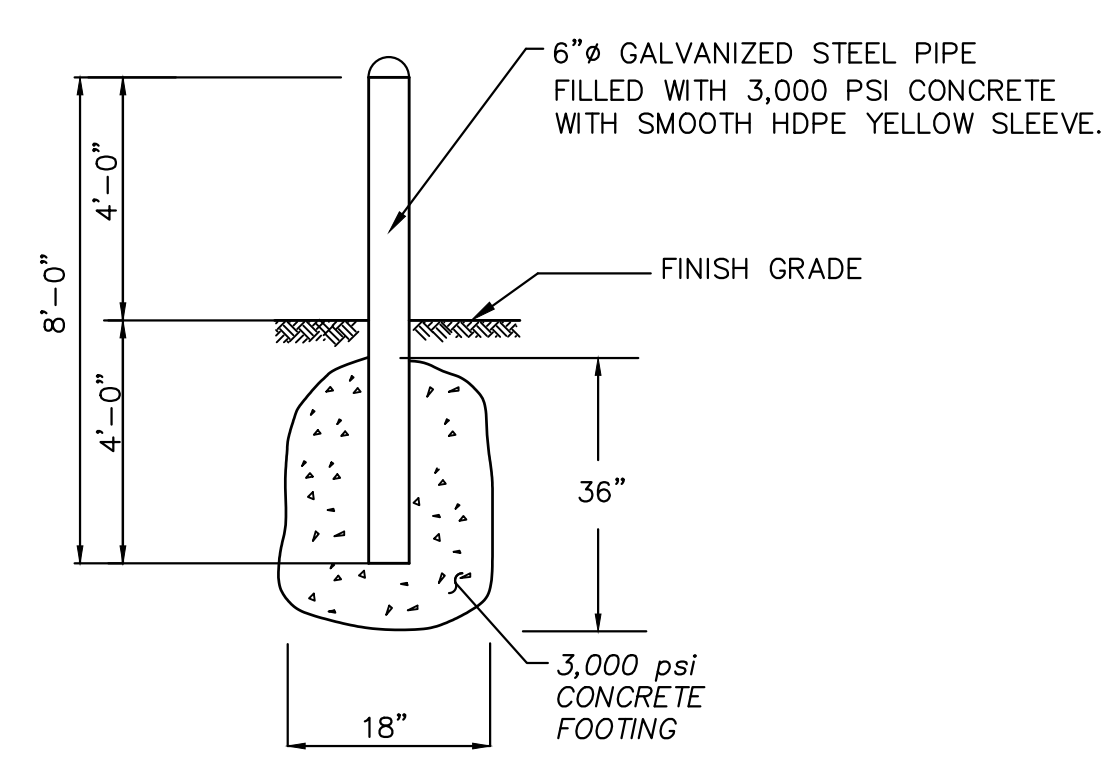
SLOPED GRANITE CURB NOT TO SCALE



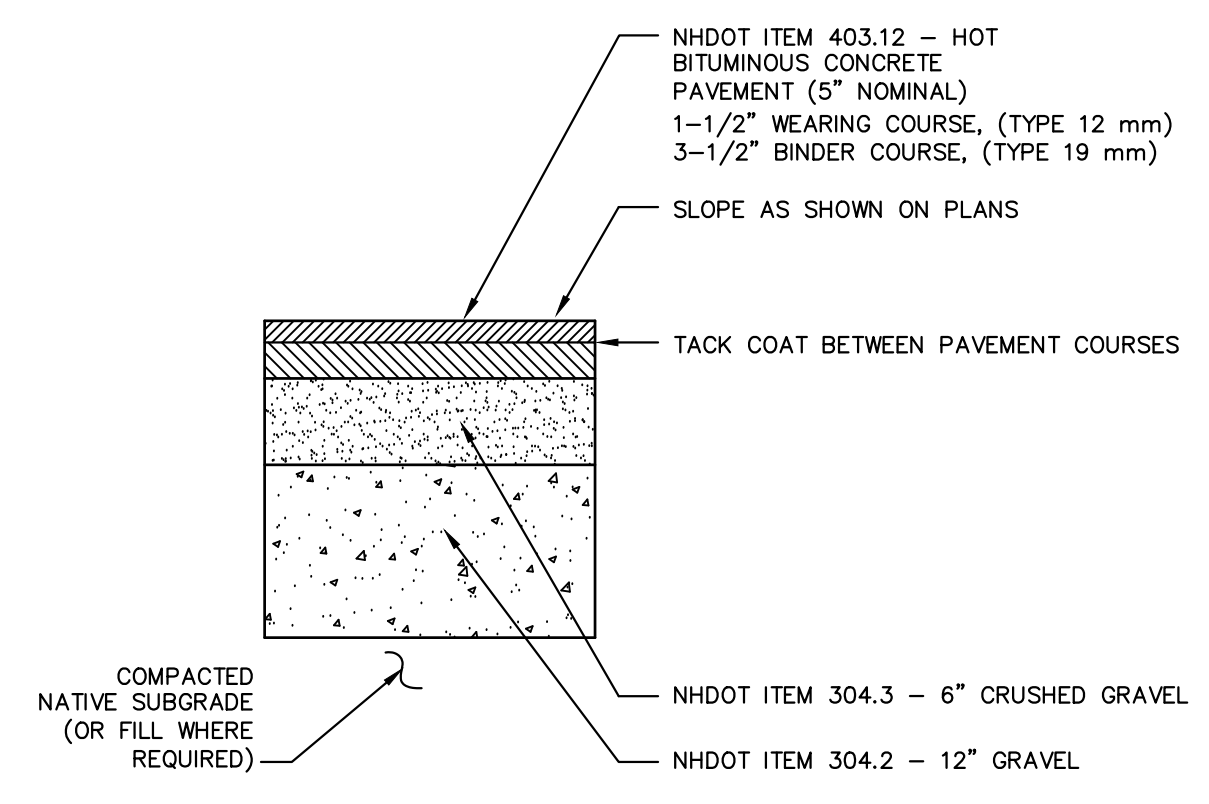
TYPICAL PAVEMENT SAWCUT NOT TO SCALE



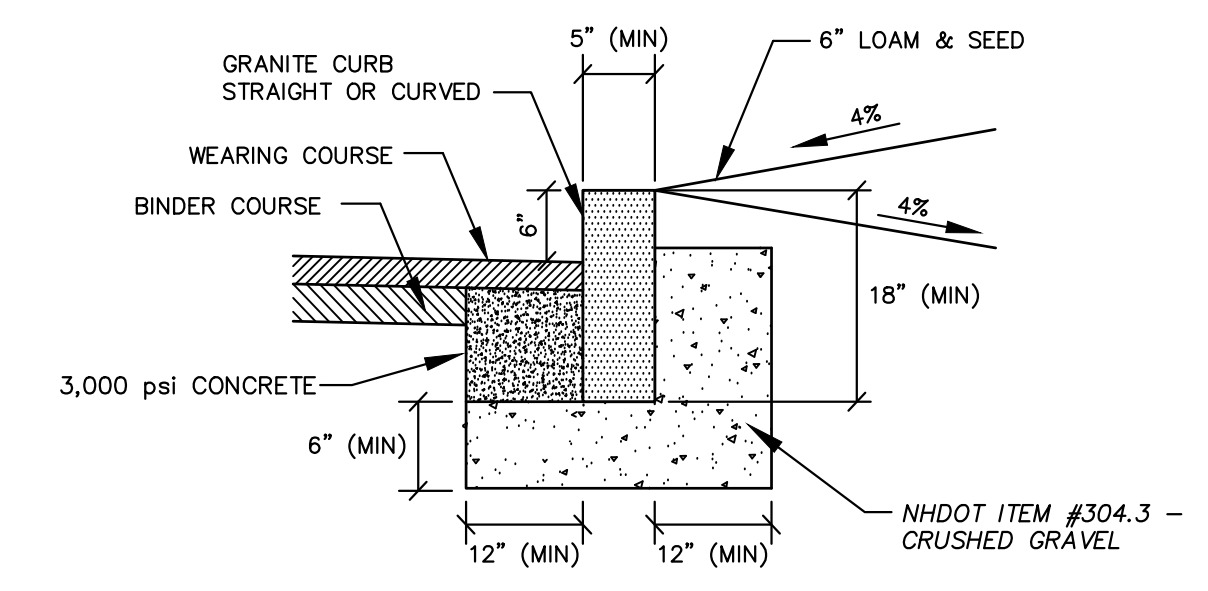
DRIP EDGE DETAIL NOT TO SCALE



BOLLARD NOT TO SCALE



PAVEMENT CROSS SECTION NOT TO SCALE PENDING GEOTECH REPORT

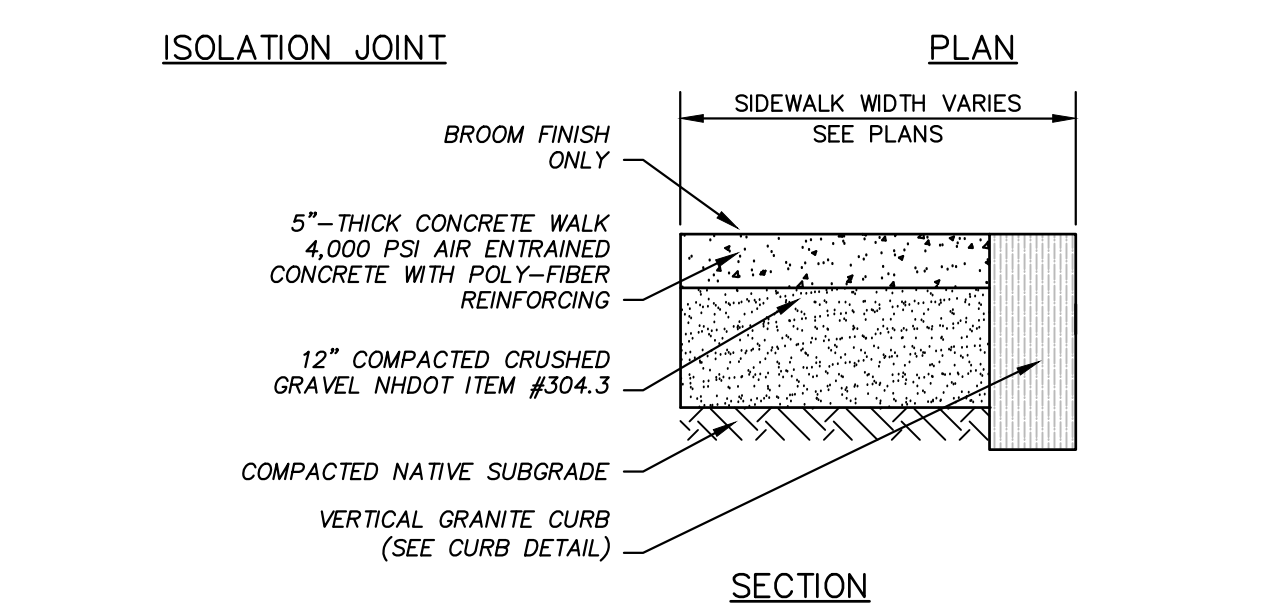
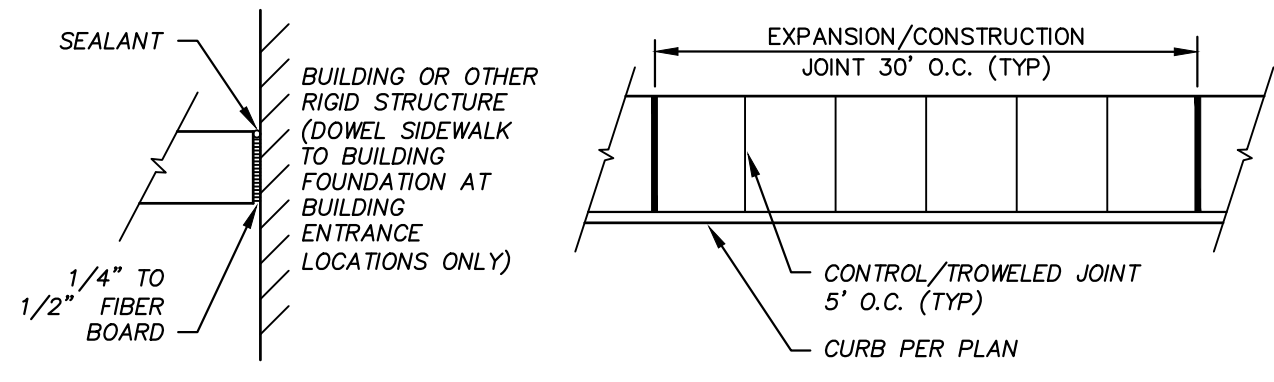
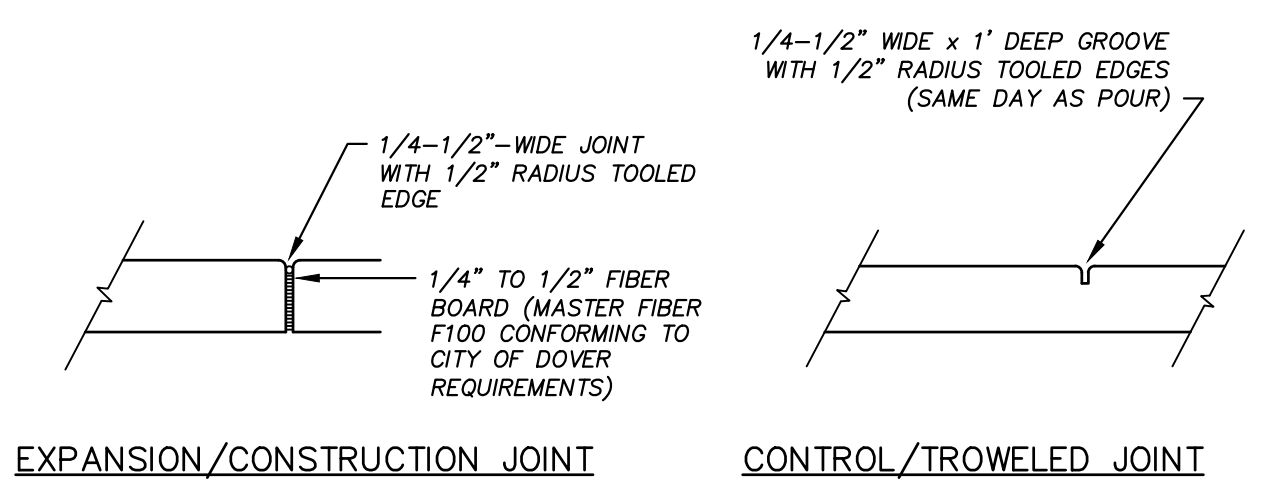


NOTES

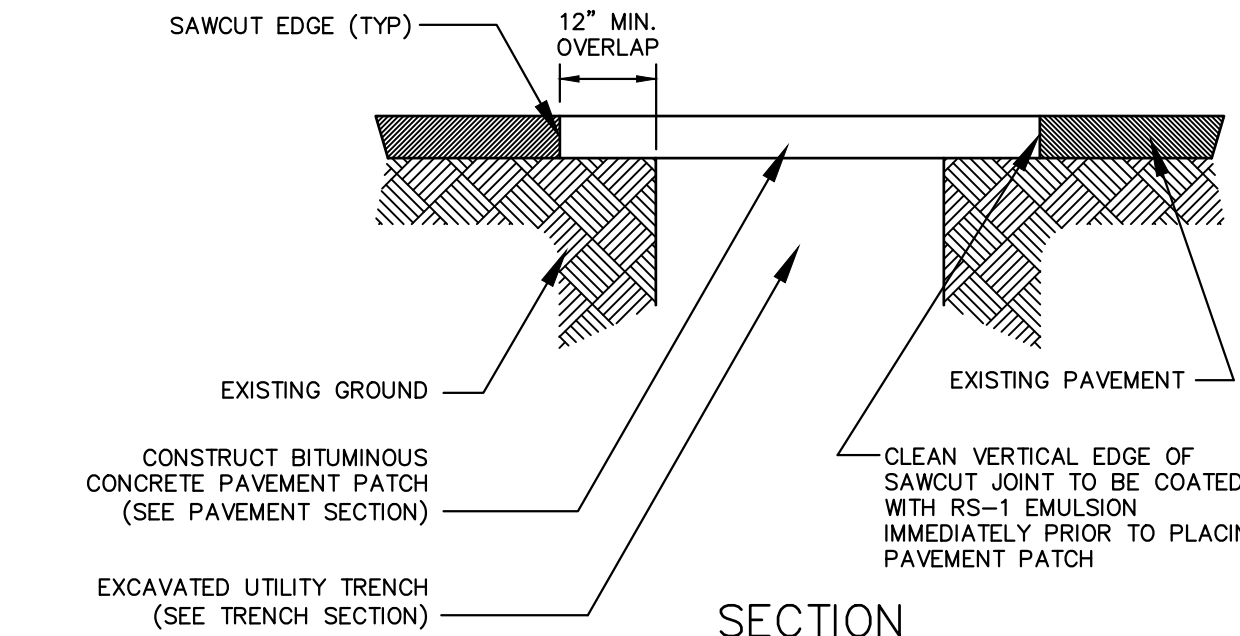
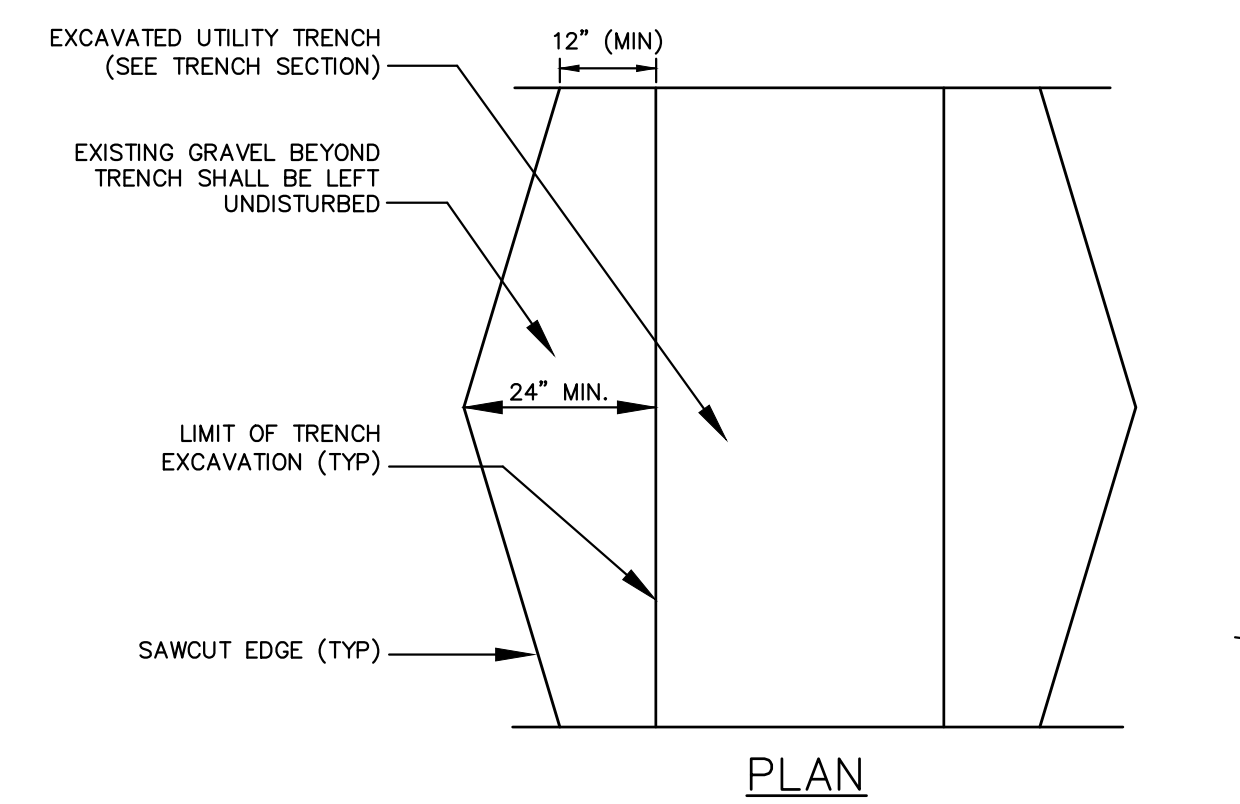
- SEE PLANS FOR CURB LOCATION.
- SEE PLANS FOR PAVEMENT CROSS SECTION.
- ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
- MINIMUM LENGTH OF CURB STONES = 4'.
- MAXIMUM LENGTH OF CURB STONES = 10'.
- MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART.
- CURB ENDS TO ROUNDED AND BATTERED FACES TO BE CUT WHEN CALL FOR ON THE PLANS.
- CURB SHALL BE INSTALLED PRIOR TO PLACEMENT OF TOP PAVEMENT COURSE.
- JOINTS BETWEEN CURB STONES SHALL BE MORTARED.

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

VERTICAL GRANITE CURB NOT TO SCALE



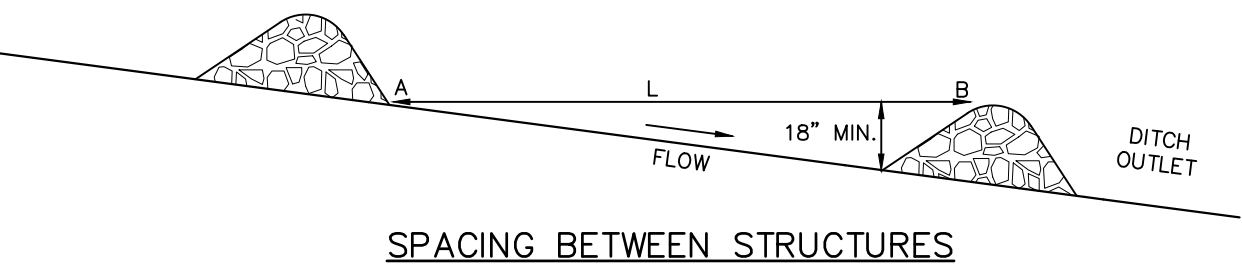
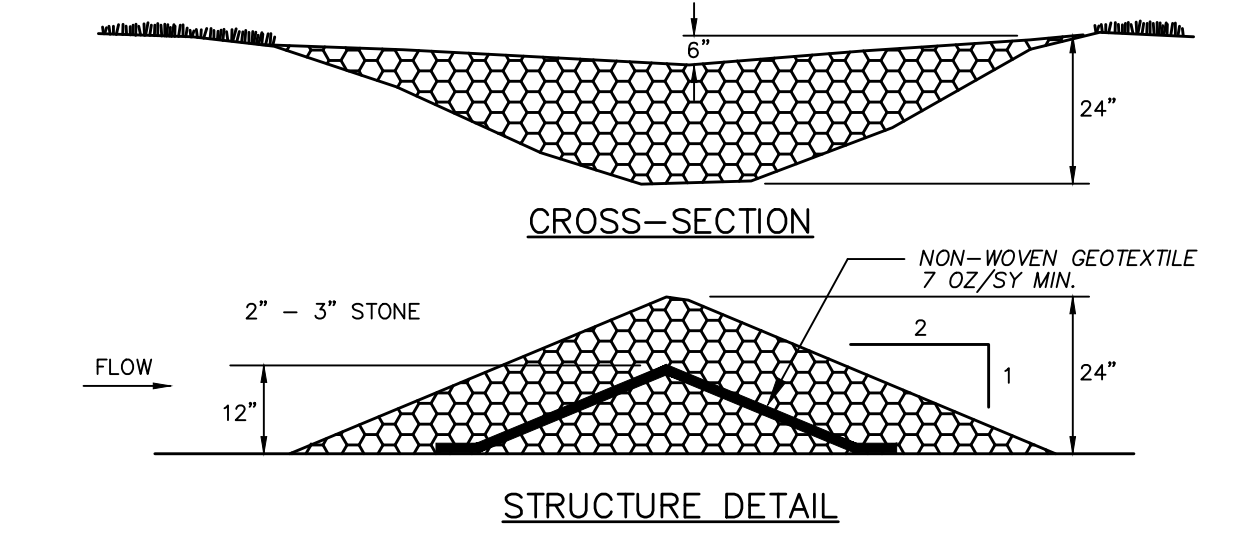
CONCRETE SIDEWALK DETAIL NOT TO SCALE



NOTES

- MACHINE CUT EXISTING PAVEMENT.
- ALL TEMPORARY, DAMAGED OR DEFECTIVE PAVEMENT SHALL BE REMOVED PRIOR TO PLACEMENT OF PERMANENT TRENCH REPAIRS.
- DIAMOND PATCHES, SHALL BE REQUIRED FOR ALL TRENCHES CROSSING ROADWAY. DIAMOND PATCHES SHALL MEET NHDOT REQUIREMENTS.

TYPICAL TRENCH PATCH NOT TO SCALE



- L = DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION
- CHECK DAM SHALL BE CONSTRUCTED OF 2" TO 3" STONE WITH COMPLETE COVERAGE OF DITCH OR SWALE TO INSURE THAT THE CENTER OF THE STRUCTURE IS LOWER THAN THE EDGES.

MAINTENANCE

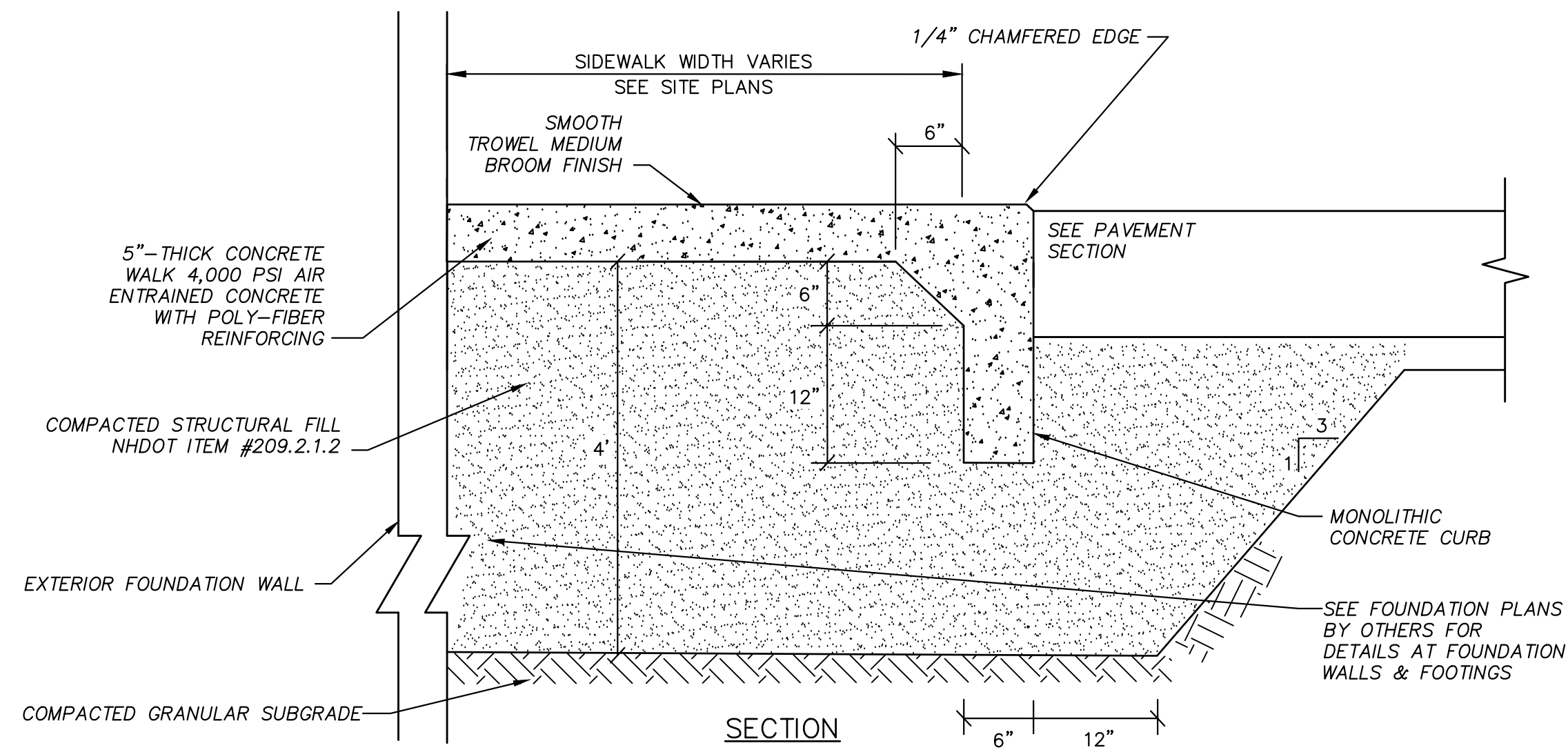
TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED STORMS. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEED, AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

CONSTRUCTION SPECIFICATIONS

- STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
- SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATE VEGETATIVE BMP.
- STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.

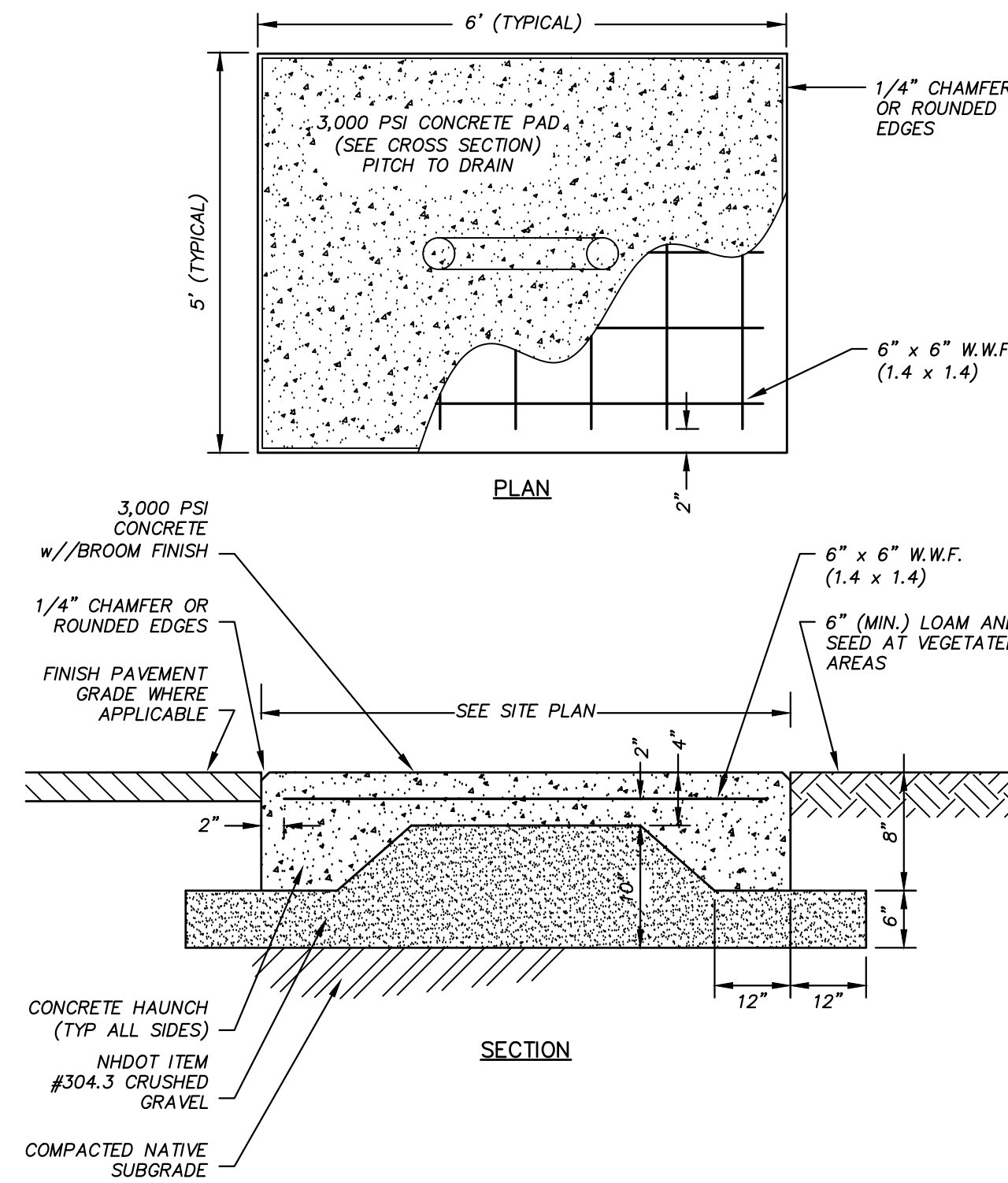
STONE CHECK DAM NOT TO SCALE

ALTUS JOB #5421



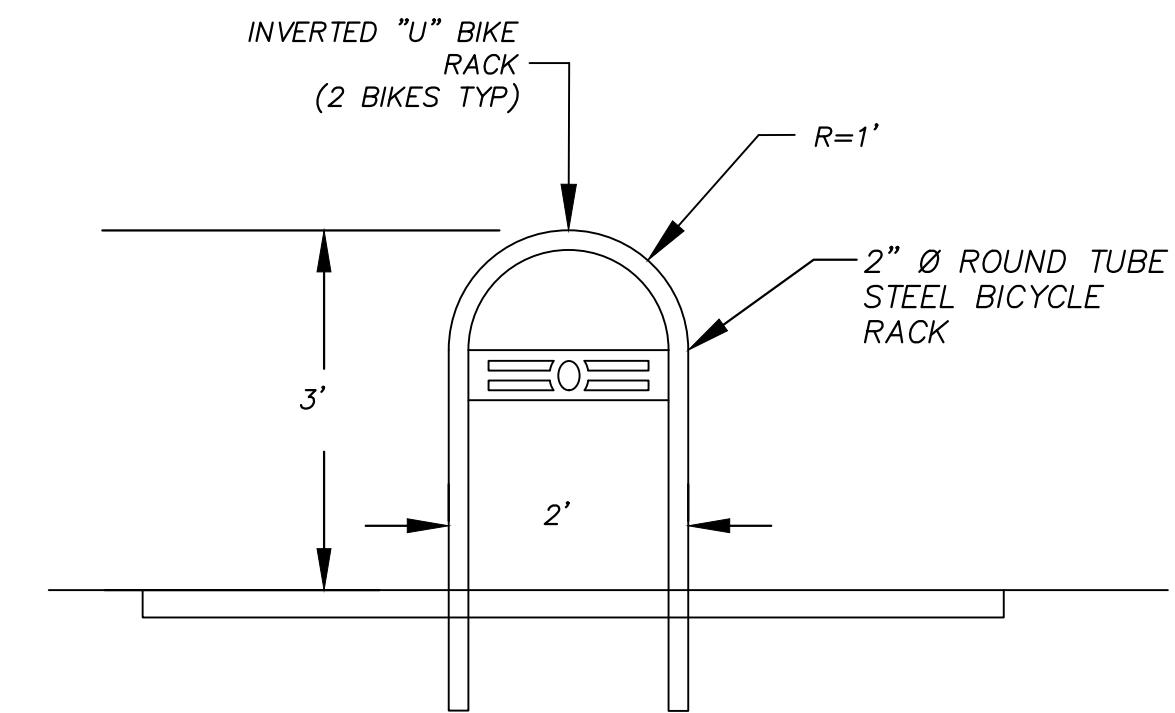
CONCRETE SLAB DETAILS @ BLDG. ENTRANCES

NOT TO SCALE



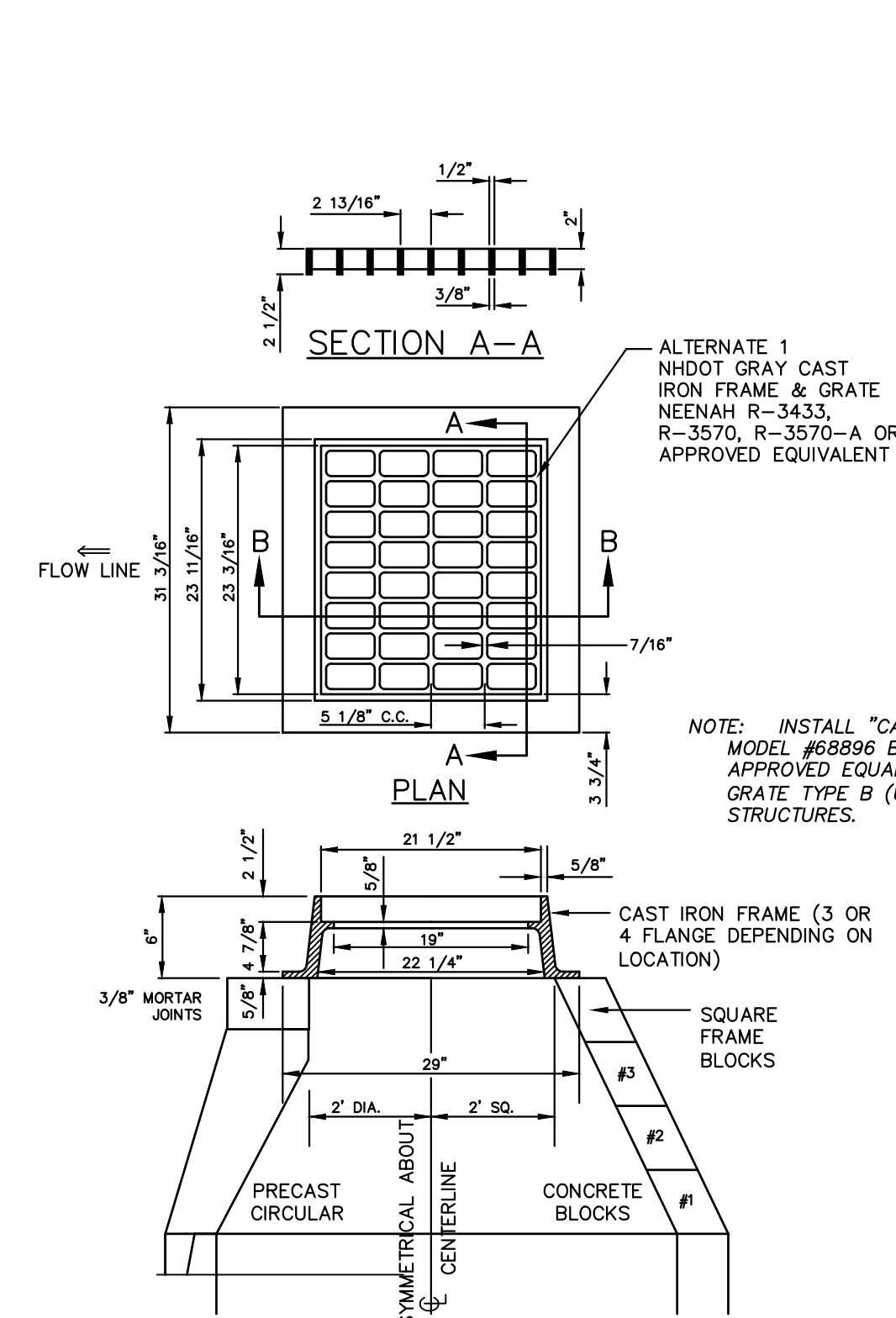
CONCRETE PAD

NOT TO SCALE



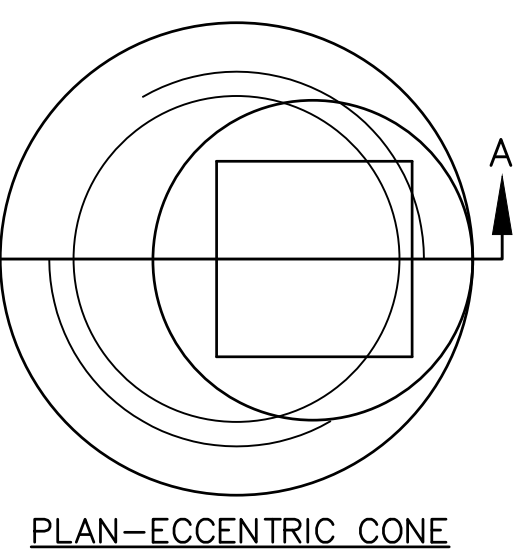
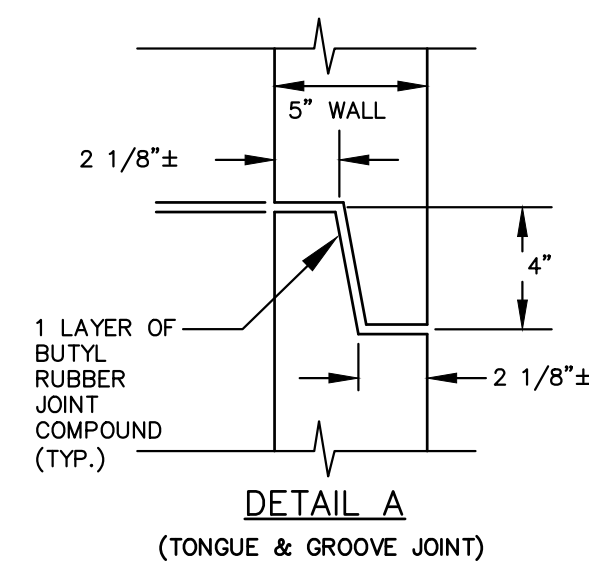
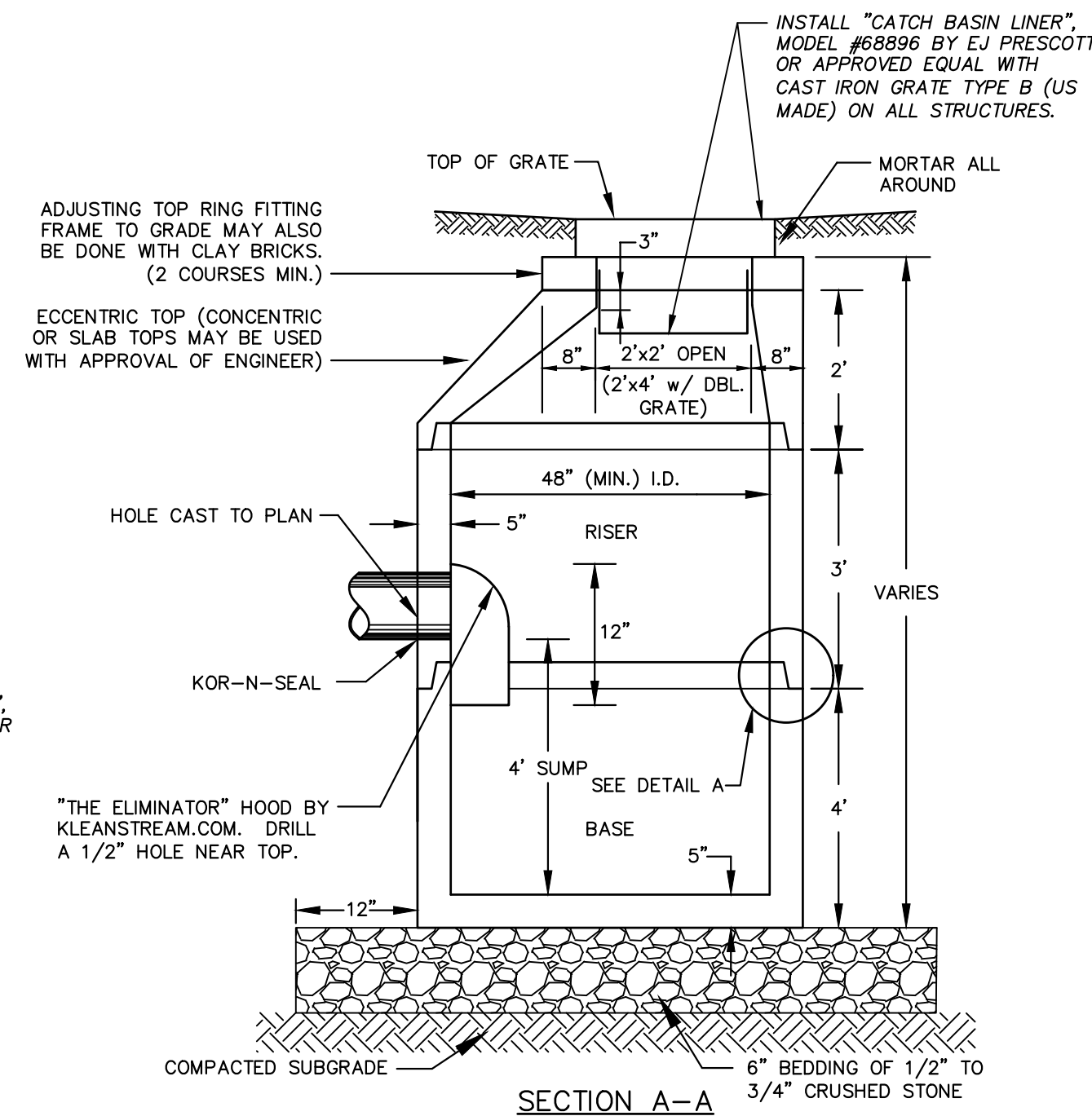
BICYCLE RACK DETAIL

NOT TO SCALE

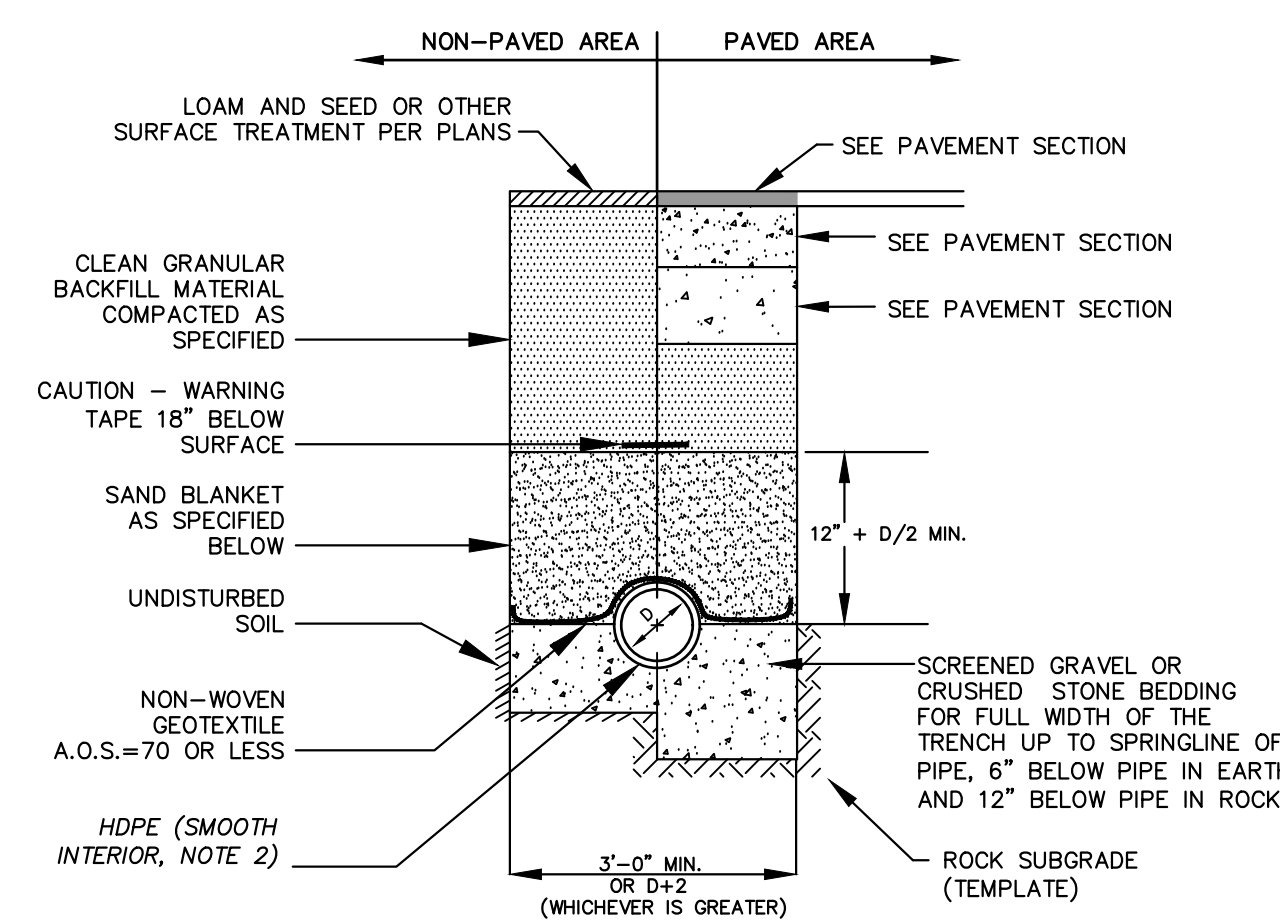


- NOTES**
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA (4000 PSI).
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE OR GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 4. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
 5. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
 6. USE H2O LOADING SLAB TOP SECTION IN LIEU OF ECCENTRIC TOP WHERE PIPE INVERT IS WITHIN 4' OF FINISH GRADE.
 7. FRAME AND GRATE DIMENSIONS ARE TYPICAL BUT MAY VARY BASED ON PRODUCT SELECTED OR EQUIVALENT APPROVED BY THE ENGINEER.

DEEP SUMP CATCH BASIN



NOT TO SCALE



- NOTES**
1. BACKFILL MATERIAL BELOW PAVED OR CONCRETE AREAS, BEDDING MATERIAL, AND SAND BLANKET SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T 99, METHOD C. SUITABLE BACKFILL MATERIAL BELOW LOAM AREAS SHALL BE COMPACTED TO NOT LESS THAN 90% OF AASHTO T 99, METHOD C.
 2. ALL PIPE SHALL BE HOPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR, ADS TYPE N-12 OR APPROVED EQUAL.

SAND BLANKET/BARRIER		SCREENED GRAVEL OR CRUSHED STONE BEDDING	
SIEVE SIZE	% FINER BY WEIGHT	SIEVE SIZE	% PASSING BY WEIGHT
1/2"	90 - 100	1"	100
200	0 - 15	3/4"	90 - 100
		3/8"	20 - 55
		# 4	0 - 10
		# 8	0 - 5

* EQUIVALENT TO STANDARD STONE SIZE #67 - SECTION 703 OF NHDOT STANDARD SPECIFICATIONS

STORM DRAIN TRENCH

NOT TO SCALE



ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2024

REVISIONS
 NO. DESCRIPTION BY DATE
 0 INITIAL SUBMITTAL CDB 10/21/24

DRAWN BY: CDB
 APPROVED BY: EDW
 DRAWING FILE: 5421-SITE.DWG

SCALE:
 22" x 34" - NOT TO SCALE
 11" x 17" - NOT TO SCALE

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.
 OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
 City Prj. #16122

680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

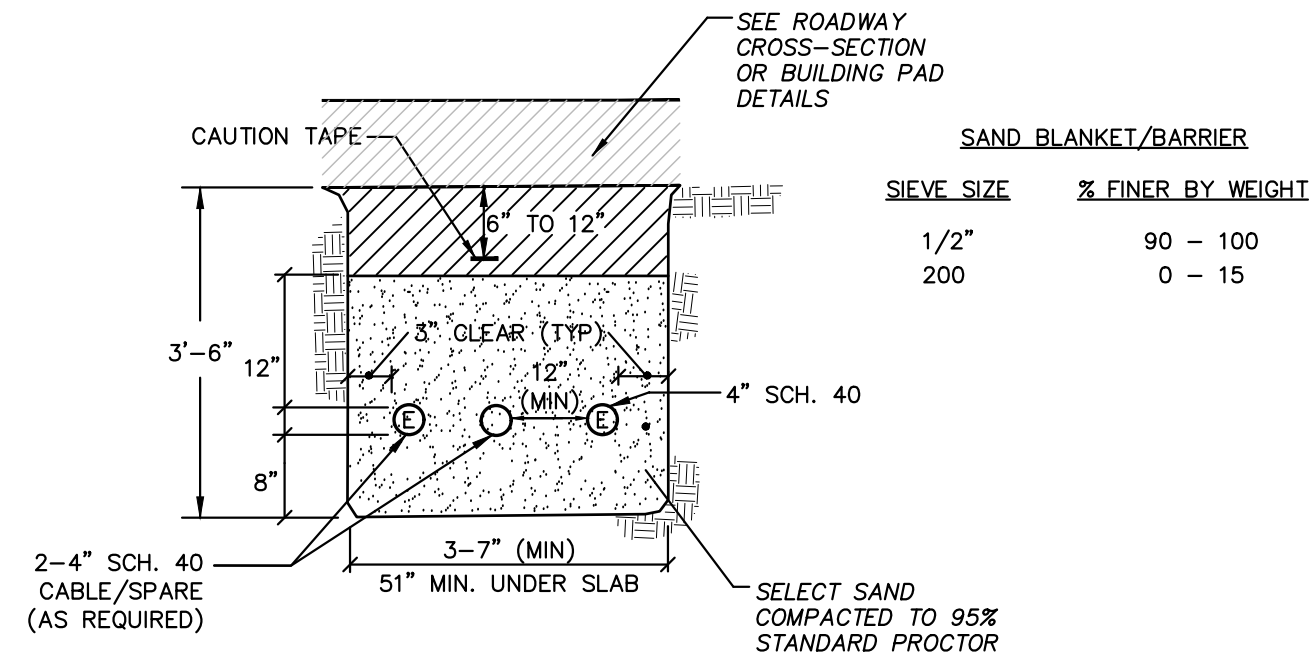
TITLE:

DETAIL SHEET

SHEET NUMBER:

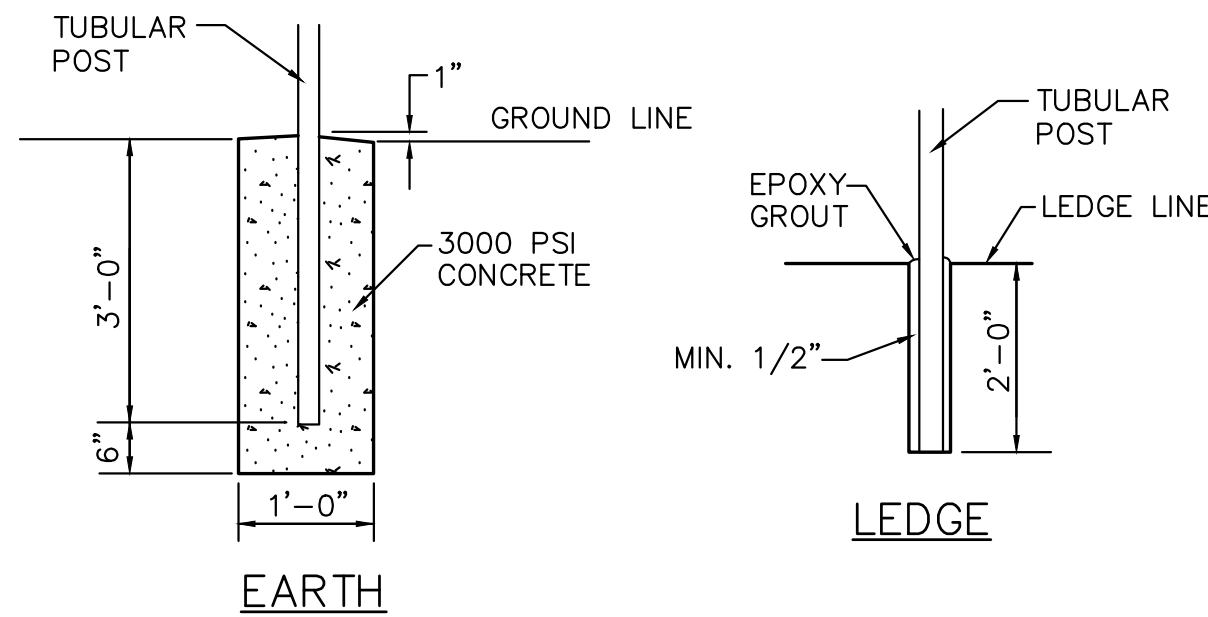
D - 3

ALTUS JOB #5421



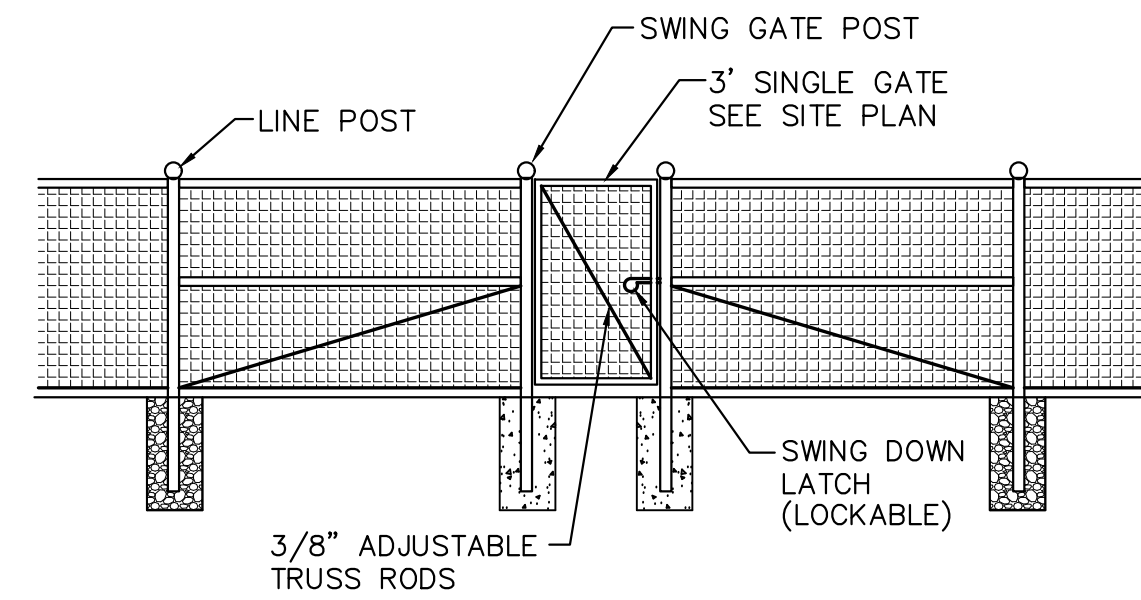
- NOTES**
1. ALL CONDUIT IS TO BE SCHEDULE 40 PVC, ELECTRICAL GRADE, GRAY IN COLOR AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. A 10-FOOT HORIZONTAL SECTION OF RIGID GALVANIZED STEEL CONDUIT WILL BE REQUIRED AT EACH SWEEP, UNLESS IN THE OPINION OF THE SERVICE PROVIDER DESIGNER, THE SWEEP-PVC JOINT IS NOT SUBJECT TO FAILURE DURING PULLING OF THE CABLE. ALL JOINTS ARE TO BE WATERTIGHT.
 2. ALL 90 DEGREE SWEEPS WILL BE MADE WITH RIGID GALVANIZED STEEL WITH A MINIMUM RADIUS OF 36 INCHES FOR PRIMARY CABLES AND 24 INCHES FOR SECONDARY CABLES.
 3. BACKFILL MAY BE MADE WITH EXCAVATED MATERIAL OR COMPARABLE, UNLESS MATERIAL IS DEEMED UNSUITABLE BY SERVICE PROVIDER. BACKFILL SHALL BE FREE OF FROZEN LUMPS, ROCKS, DEBRIS, AND RUBBISH. ORGANIC MATERIAL SHALL NOT BE USED AS BACKFILL. BACKFILL SHALL BE IN 6-INCH LAYERS AND THOROUGHLY COMPACTED.
 4. A SUITABLE PULLING STRING, CAPABLE OF 300 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE SERVICE PROVIDER IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT. A MINIMUM OF TWENTY-FOUR (24") INCHES OF ROPE SLACK SHALL REMAIN AT THE END OF EACH DUCT. PULL ROPE SHALL BE INSTALLED IN ALL CONDUIT FOR FUTURE PULLS. PULL ROPE SHALL BE NYLON ROPE HAVING A MINIMUM TENSILE STRENGTH OF THREE HUNDRED (300#) LBS.
 5. SERVICE PROVIDER SHALL BE GIVEN THE OPPORTUNITY TO INSPECT ALL CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD SERVICE PROVIDER BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
 6. TYPICAL CONDUIT SIZES ARE 3-INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4-INCH FOR THREE PHASE SECONDARY AND 5-INCH FOR THREE PHASE PRIMARY. HOWEVER, SERVICE PROVIDERS MAY REQUIRE DIFFERENT NUMBERS, TYPES AND SIZES OF CONDUIT THAN THOSE SHOWN HERE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDUIT SIZES, TYPES AND NUMBERS WITH EACH SERVICE PROVIDER PRIOR TO ORDERING THEM.
 7. ROUTING OF CONDUIT, LOCATION OF MANHOLES, TRANSFORMERS, CABINETS, HANDHOLES, ETC., SHALL BE DETERMINED BY SERVICE PROVIDER DESIGN PERSONNEL. THE CONTRACTOR SHALL COORDINATE WITH ALL SERVICE PROVIDERS PRIOR TO THE INSTALLATION OF ANY CONDUIT.
 8. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE. WHERE REQUIRED BY UTILITY PROVIDER, CONDUIT SHALL BE SUPPORTED IN PLACE USING PIPE STANCHIONS PLACED EVERY FIVE (5') FEET ALONG THE CONDUIT RUN.
 9. UNDER A BUILDING SLAB THE CONDUIT SHALL BE ENCASED IN 8" OF CONCRETE ON ALL SIDES.
 10. ALL CONDUIT TERMINATIONS SHALL BE CAPPED TO PREVENT DEBRIS FROM ENTERING CONDUIT.

ELECTRIC / COMMUNICATION TRENCH NOT TO SCALE



PROVIDE AT ALL TERMINAL POSTS, CORNER POSTS, GATE POSTS AND AT 50' MAXIMUM SPACING ON STRAIGHT FENCE RUNS

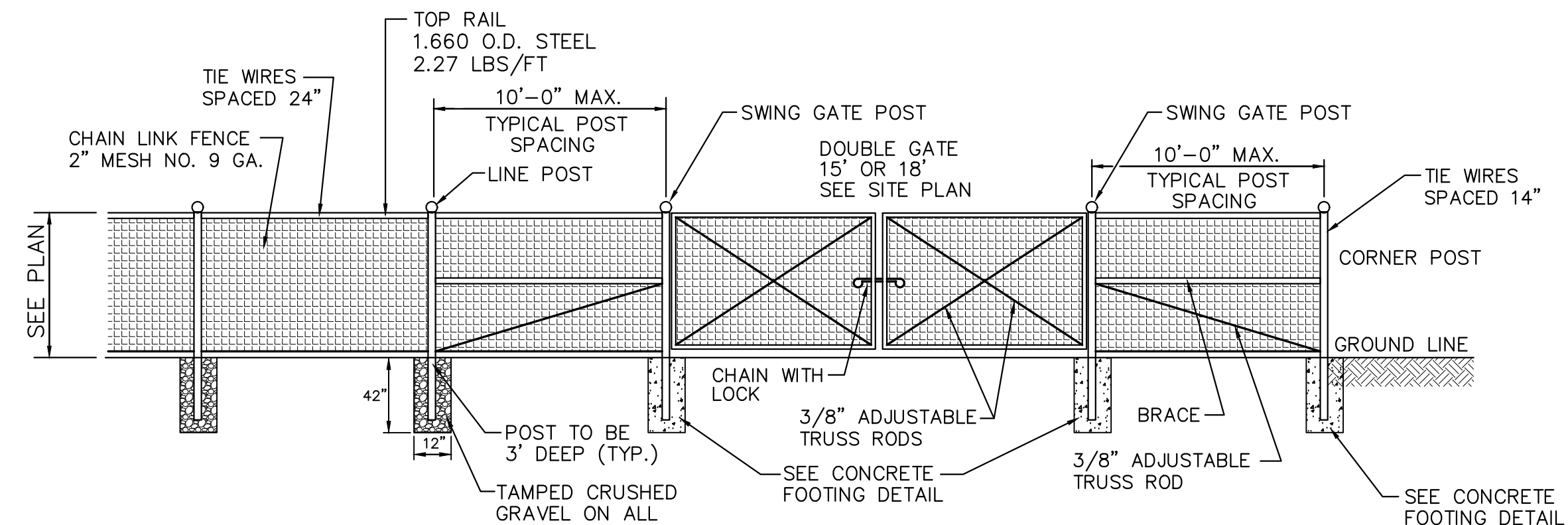
CONCRETE FOOTING DETAIL



NOTES:

1. WHERE GROUND CONDITION PERMITS, FORMS FOR FOOTINGS WILL NOT BE REQUIRED

CHAIEN LINK FENCE DETAIL



NOTES:

1. ALL SECTIONS OF FENCE ADJACENT TO GATES AND CORNER POSTS SHALL HAVE ONE BRACE AND ONE ADJUSTABLE TRUSS ROD.

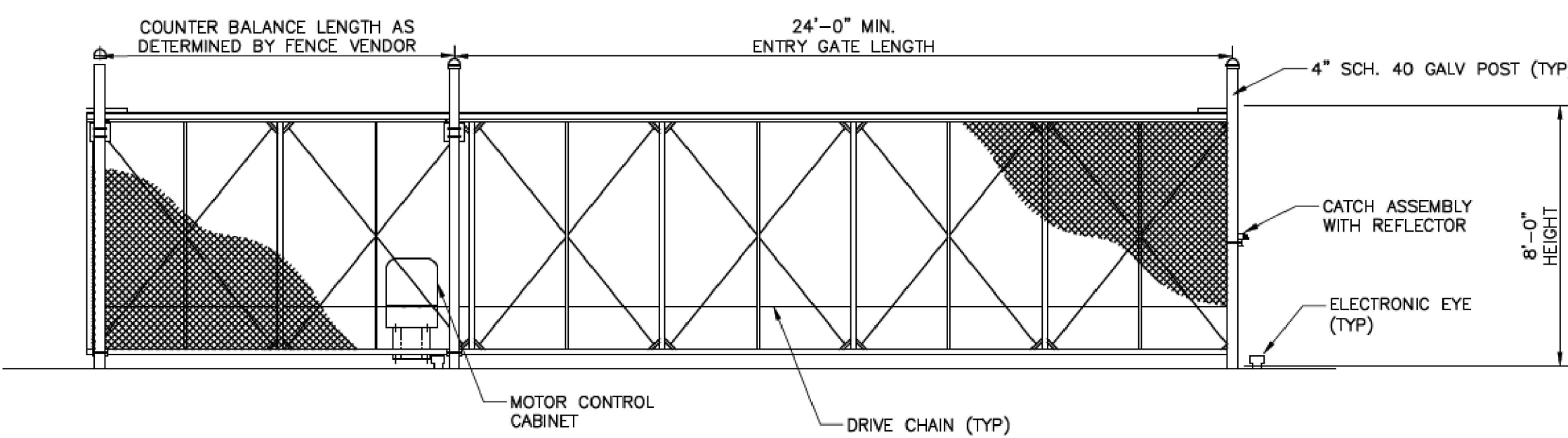
ELEVATION

NOT TO SCALE

STANDARD TRENCH NOTES:

1. ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: BACKFILL AS STATED IN THE TECHNICAL SPECIFICATIONS OR AS SHOWN ON THE DRAWING.
2. BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE NO. 67, PASSING 1 INCH SCREEN

90 - 100%	PASSING 3/4 INCH SCREEN
20 - 55%	PASSING 3/8 INCH SCREEN
0 - 10%	PASSING #4 SIEVE
0 - 5%	PASSING #8 SIEVE
3. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1-1/2 INCH TO 1/2 INCH SHALL BE USED.
4. SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90 - 100% PASSES 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON, AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
5. SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, FEAT, OR CLAY. ALL EXCAVATED LEDGE MATERIAL; ALL ROCKS OVER 6 INCHES IN LARGEST DIMENSION; AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
6. SHEETING, IF REQUIRED: WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION 1 FOOT ABOVE THE TOP OF PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
7. W = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES IN NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE OUTSIDE DIAMETER (O.D.) ALSO, W SHALL BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
8. FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
9. CONCRETE FOR ENCASEMENT SHALL CONFORM TO THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS STANDARD SPECIFICATION REQUIREMENTS FOR CLASS A (3000#) CONCRETE AS FOLLOWS:
 CEMENT: 6.0 BAGS PER CUBIC YARD WATER: 5.75 GALLONS PER BAG CEMENT
 MAXIMUM SIZE OF AGGREGATE: 1 INCH CONCRETE
 ENCASEMENT IS NOT ALLOWED FOR PVO PIPE.
10. CONCRETE FULL ENCASEMENT: IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MINIMUM). BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
11. NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STANDARDS REQUIRE TEN FEET (10') SEPARATION BETWEEN WATER AND SEWER. REFER TO CITY'S STANDARD SPECIFICATIONS FOR METHODS OF PROTECTION IN AREAS THAT CANNOT MEET THESE REQUIREMENTS.



IMPORTANT NOTE:
 CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF FENCING AND GATES FOR REVIEW. CONTRACTOR SHALL HIRE GC AAA FENCE AS MOTORIZED GATE VENDOR/INSTALLER. CONTRACTOR SHALL COORDINATE INSTALLATION OF FENCE AND MAN GATE WITH MOTORIZED GATE VENDOR. REFER TO ELECTRICAL SHEETS FOR ADDITIONAL WIRING REQUIREMENTS.

GATE VENDOR CONTACT INFORMATION:
 ATTN: MICHAEL CARPENTER
 GC/AAA FENCES, INC.
 294 DURHAM RD
 DOVER NH 03820
 1-800-660-0833

(FROM CITY OF PORTSMOUTH FUEL SYSTEM REPLACEMENT PROJECT, BY STANTEC)

SECURITY GATE DETAIL

NOT TO SCALE

ENGINEER:

133 Court Street Portsmouth, NH 03801
 (603) 433-2335 www.altus-eng.com



ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2024

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/21/24

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5421-SITE.DWG

SCALE:
 22" x 34" - NOT TO SCALE
 11" x 17" - NOT TO SCALE

APPLICANT:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H.

OWNER:
 CITY OF PORTSMOUTH
 1 JUNKINS AVE.
 PORTSMOUTH, N.H. 03801

PROJECT:
 PUBLIC WORKS
 BUILDING ADDITIONS
 City Prj. #16122

680 PEVERLY HILL RD.
 TAX MAP 254 LOT 8
 PORTSMOUTH, NH

TITLE:

DETAIL SHEET

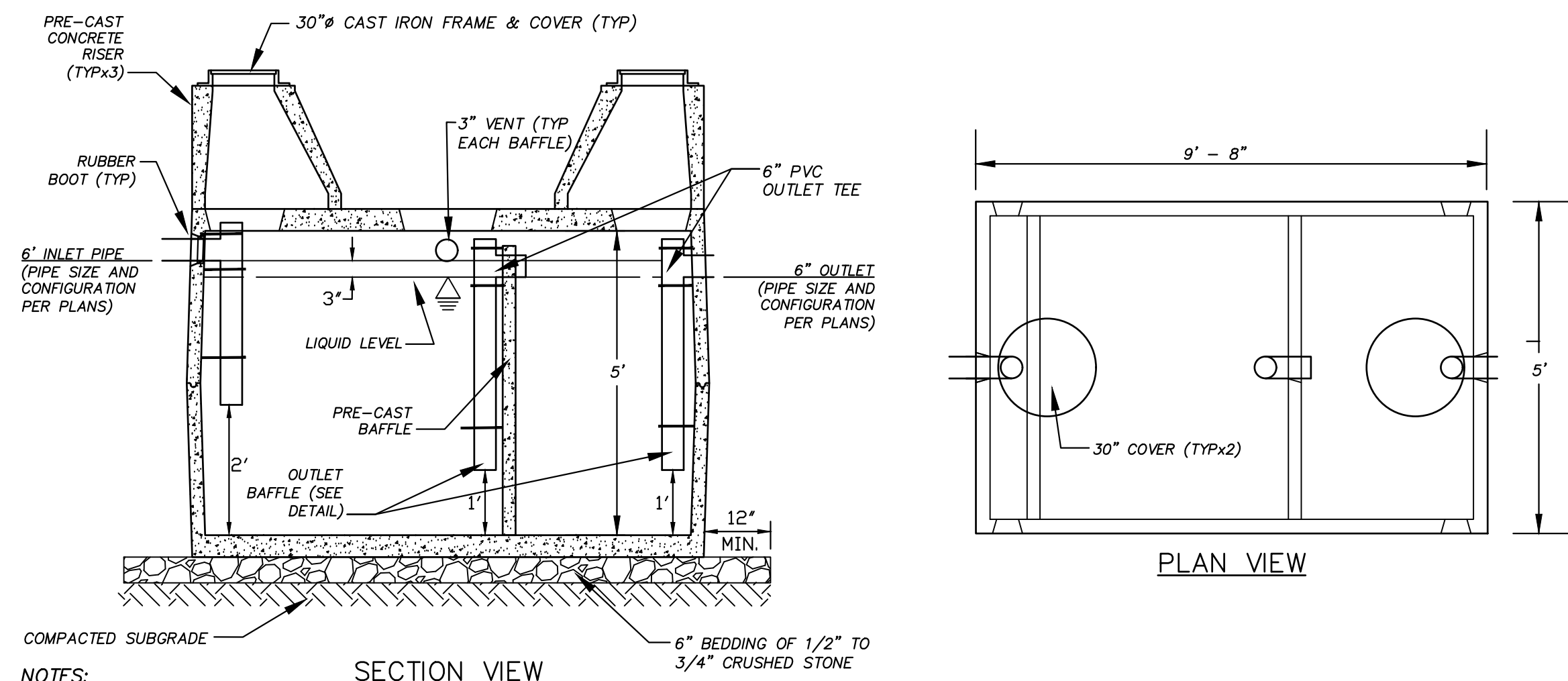
SHEET NUMBER:

D - 4

SEWER TRENCH SECTION

NOT TO SCALE

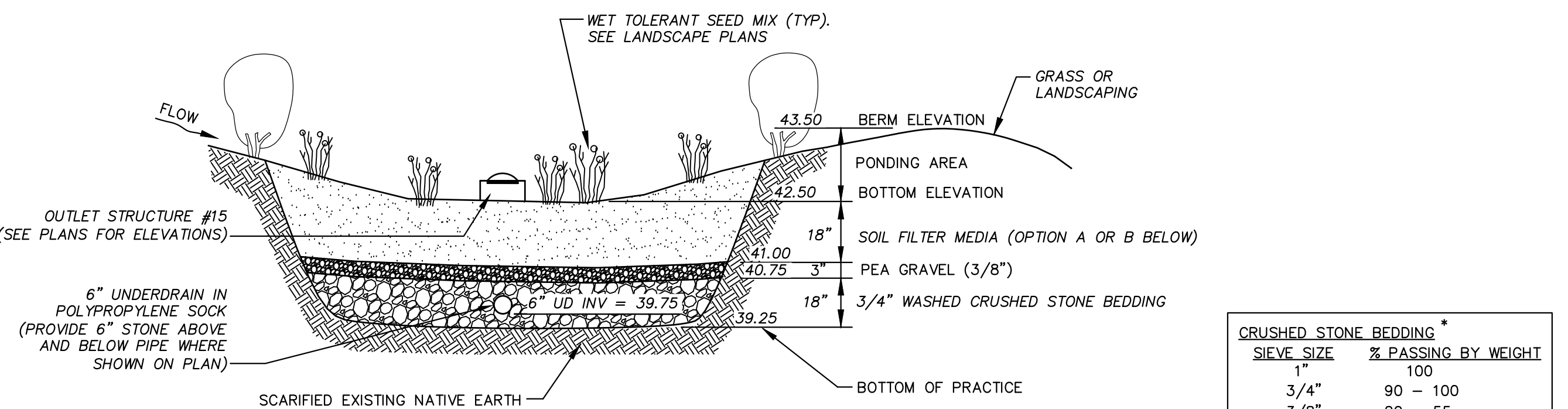
ALTUS JOB #5421



- NOTES:**
- TANK SHALL BE MULTI-COMPARTMENT 4,000 PSI (MIN.) STEEL REINFORCED CONCRETE.
 - KEYED TANK JOINTS SHALL BE SEALED WITH BUTYL RUBBER.
 - TANK SHALL BE MANUFACTURED BY E. F. SHEA OR APPROVED EQUAL TO THE CAPACITY SHOWN.
 - TANK DIMENSIONS MAY VARY DEPENDING ON THE MANUFACTURER.
 - INLET AND OUTLET PIPE SIZES AND CONFIGURATION SHALL BE CONSTRUCTED PER THE PLANS.

1,000 GALLON OIL SEPARATOR

NOT TO SCALE



- NOTES:**
- WHEN CONTRACTOR EXCAVATES RAINGARDEN AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
 - SOIL FILTER MEDIA SHALL BE EITHER OPTION A OR OPTION B AT CONTRACTOR'S DISCRETION.
 - DO NOT PLACE THE RAINGARDEN INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE RAINGARDEN AREA DURING ANY STAGE OF CONSTRUCTION.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS

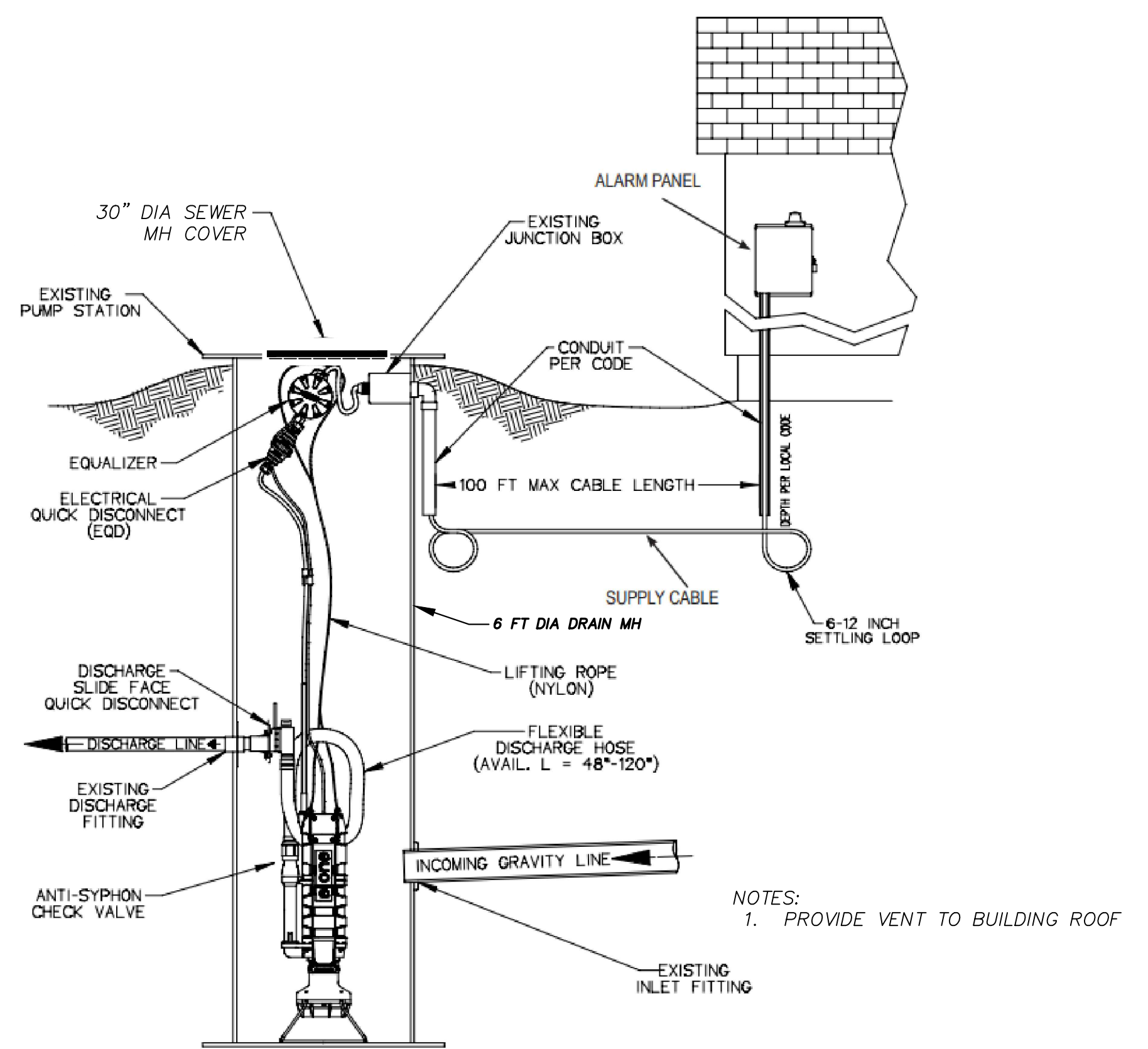
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIOTENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING, PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES

- UNH STORMWATER CENTER
- EPA (1999A)
- NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS AMENDED.

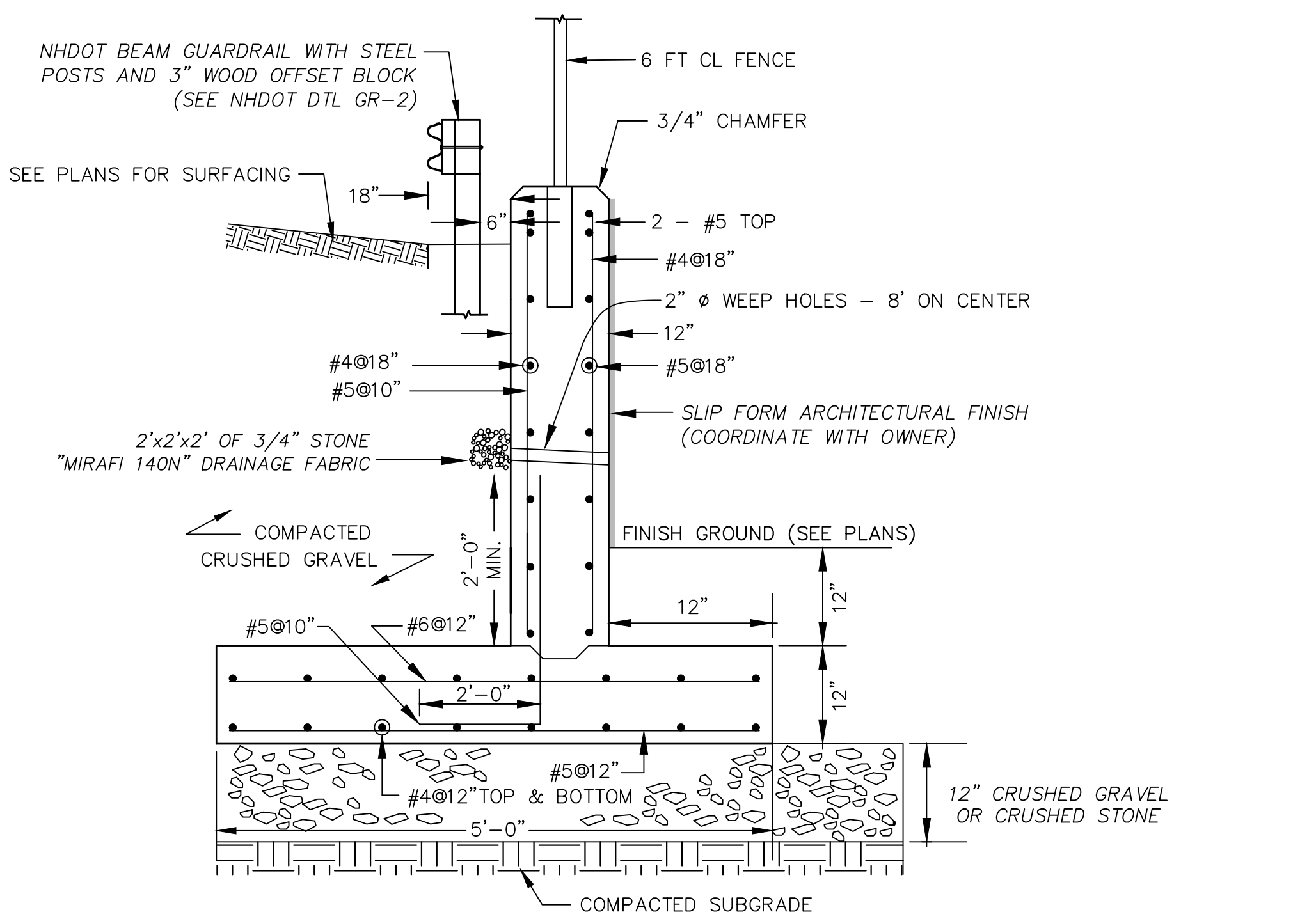
TYPICAL RAINGARDEN

NOT TO SCALE



E-ONE PUMP STATION (IN 6 FT DIA DRAIN MANHOLE)

NOT TO SCALE



- NOTES:**
- CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCY BETWEEN PLAN AND FIELD CONDITION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD CONTROL.
 - INSTALL 1/2 EXPANSION JOINT FILLER AT BUILDING.
 - CONTRACTOR SHALL HAVE A STRUCTURAL ENGINEER STAMP ALL RETAINING WALLS.

CONCRETE RETAINING WALL

NOT TO SCALE

ENGINEER:

ALTUS ENGINEERING

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



ISSUED FOR: TAC

ISSUE DATE: OCTOBER 21, 2024

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	INITIAL SUBMITTAL	CDB	10/21/24

DRAWN BY: CDB
APPROVED BY: EDW
DRAWING FILE: 5421-SITE.DWG

SCALE:
22" x 34" - NOT TO SCALE
11" x 17" - NOT TO SCALE

APPLICANT:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H.

OWNER:
CITY OF PORTSMOUTH
1 JUNKINS AVE.
PORTSMOUTH, N.H. 03801

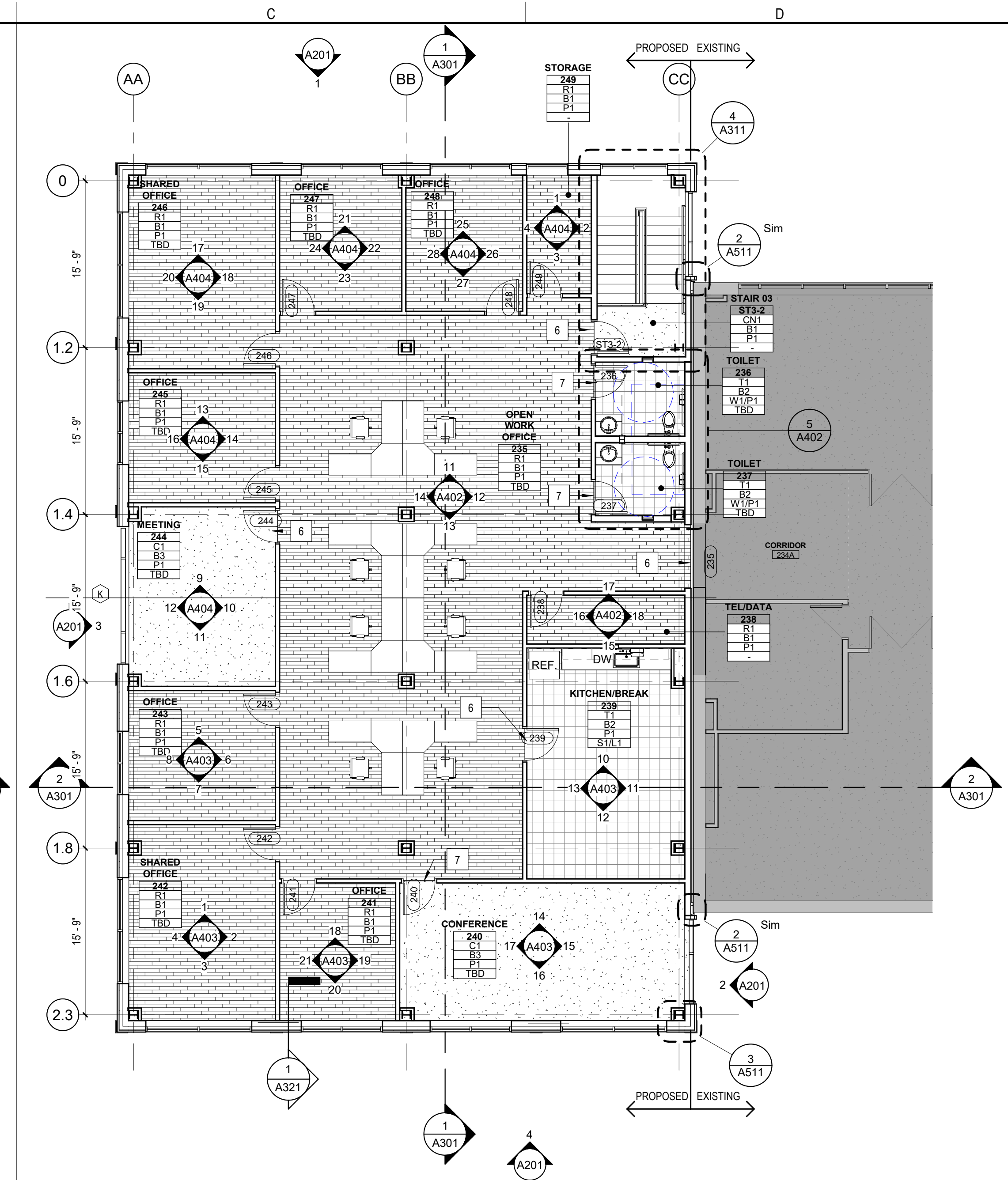
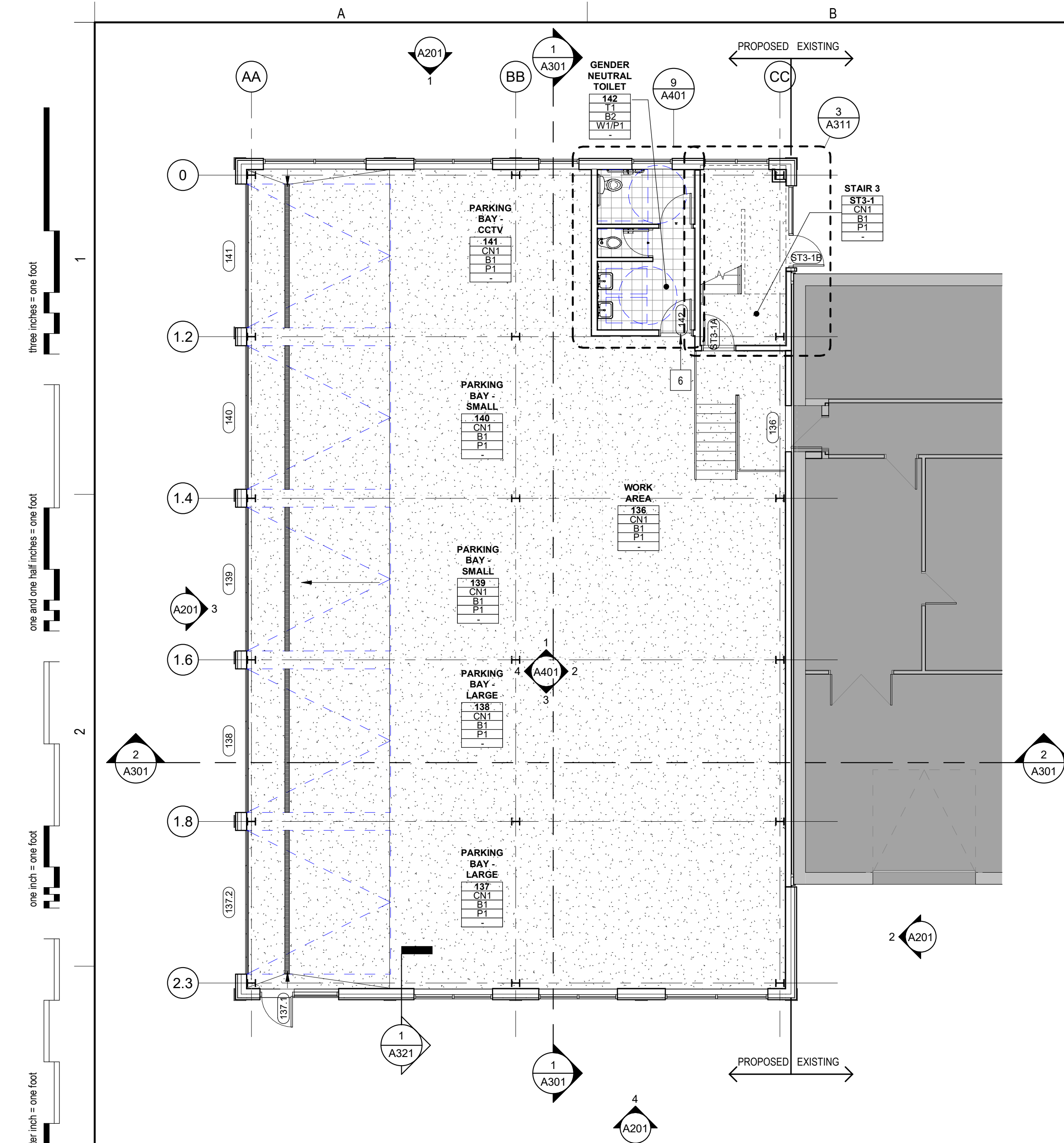
PROJECT:
PUBLIC WORKS BUILDING ADDITIONS
City Prj. #16122

680 PEVERLY HILL RD.
TAX MAP 254 LOT 8
PORTSMOUTH, NH

TITLE:
DETAIL SHEET

SHEET NUMBER:
D - 5

ALTUS JOB #5421



- ### GENERAL FINISH NOTES
- SEE INTERIOR MATERIALS LEGEND FOR FINISH DESIGNATIONS.
 - SEE DOOR SCHEDULE FOR DOOR & FRAME PAINT COLORS.
 - SEE INTERIOR ELEVATIONS ON 'A000' SERIES SHEETS.
 - RESILIENT FLOOR SHALL EXTEND UNDER ALL CASEWORK.
 - ALL ELECTRICAL FIXTURE PLATES AND COVERS SHALL BE U.O.
 - PAINT METAL STAIR GUARD, HANDRAILS & STRINGERS COLOR U.O.N.
 - UNDERSIDE GWB OF STAIR SHALL BE PAINTED WHITE, U.O.N.
 - TEST ALL EXISTING AND NEW CONCRETE SLABS FOR MOISTURE VAPOR EMISSIONS (ASTM F1869), INTERNAL RELATIVE HUMIDITY (ASTM F170), AND ALKALINITY (ASTM F710). IN THE EVENT THAT TEST VALUES EXCEED FLOORING MANUFACTURER'S LIMITS, NOTIFY ARCHITECT TO DETERMINE REMEDIATION METHOD.
- ### GENERAL PLAN NOTES
- ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
 - ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
 - DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
 - REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.
 - VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
 - ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLANS FOR WOOD STUD WALLS.
 - REVIEW PRIOR TO INSTALLATION, ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
 - PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
 - COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

- ### FLOORING INSTALLATION METHOD
- QUARTER TURN
 - MONOLITHIC
 - BRICK
 - ASHLAR
 - STAGGER
- ### FLOOR PLAN LEGEND
- DOOR TAG, SEE DOOR SCHEDULE
 - WINDOW TAG, SEE WINDOW SCHEDULE
 - ACCESSORY TAG, SEE INTERIOR ELEVATIONS
 - KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
 - STRUCTURAL GRID LINE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION
 - NEW DOOR
 - EXISTING DOOR

- ### FINISH PLAN LEGEND
- FINISH PLAN ROOM TAG
- ROOM NAME
 - FLOOR FINISH
 - BASE / CHAIR RAIL
 - WALL (ABOVE/BELOW)
 - MILLWORK / MISC.
- MATERIAL CALLOUT TAG
- MATERIAL TAG
 - ACCENT PAINT LOCATION IN PLAN
 - KEYNOTE, SEE KEYNOTE LEGEND BELOW
- ### EQUIPMENT PLAN LEGEND
- EQUIPMENT TAG
 - KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
 - STRUCTURAL GRID LINE
 - NEW CONSTRUCTION
 - EXISTING CONSTRUCTION

- ### GENERAL KEYNOTES
- | KEY # | DESCRIPTION |
|-------|---|
| 1 | TRENCH DRAIN |
| 2 | COORDINATE EQUIPMENT LOCATIONS WITH OWNER |
| 3 | PROVIDE EXPANSION JOINTS BETWEEN EXISTING BUILDING & NEW ADDITION, REFER TO DETAILS |
| 4 | OPENING TO MATCH EXISTING |
| 6 | FA1 FLOOR TO FLOOR TRANSITION |
| 7 | FA2 FLOOR TO FLOOR TRANSITION |

1 FIRST FLOOR 1/8" = 1'-0"
2 SECOND FLOOR 1/8" = 1'-0"

INTERIOR FINISH MATERIALS LEGEND

TAG	ITEM	SPEC NO.	MANUFACTURER	COLLECTION / MODEL	COLOR	SIZE	INSTALL	NOTES
FLOORING								
CN1	CONCRETE, SEALED	03 30 00						
T1	CERAMIC FLOOR TILE	09 30 13						
CEILINGS								
ACT1	ACOUSTICAL TILE CEILINGS	09 51 23						
WALL BASE								
B1	RESILIENT BASE & ACCESSORIES	09 65 00						
B2	TILE BASE	09 30 13						
WALL								
P1	PAINT	09 90 00						PROVIDE SEMI-GLOSS FINISH @ DOORS & FRAMES
W1	FRP	06 64 00						
MILLWORK								
S1	COUNTERS	12 36 00						
L1	PLASTIC LAMINATE	06 41 16						
MISCELLANEOUS								
FA1	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-U				
FA2	FLOOR TO FLOOR TRANSITION	09 30 13	SCHLUTER	RENO-T				

OWNER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSULTANTS:
CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE
OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PLAN KEY:
W

TRUE NORTH
PROJECT NORTH

SCALE: AS NOTED DWN BY: JT
PROJECT #: 3925 CHK BY: CHECKER
PRINT DATE: 10/17/2024 10:06:36 AM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

WARRENSTREET
Planning Landscapes Architecture
WARRENSTREET ARCHITECTS, INC.
4 CRESCENT STREET, UNIT 2
CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

WARRENSTREET
ARCHITECTS, INC.
1990 - 2024

WATER DEPARTMENT FLOOR PLANS

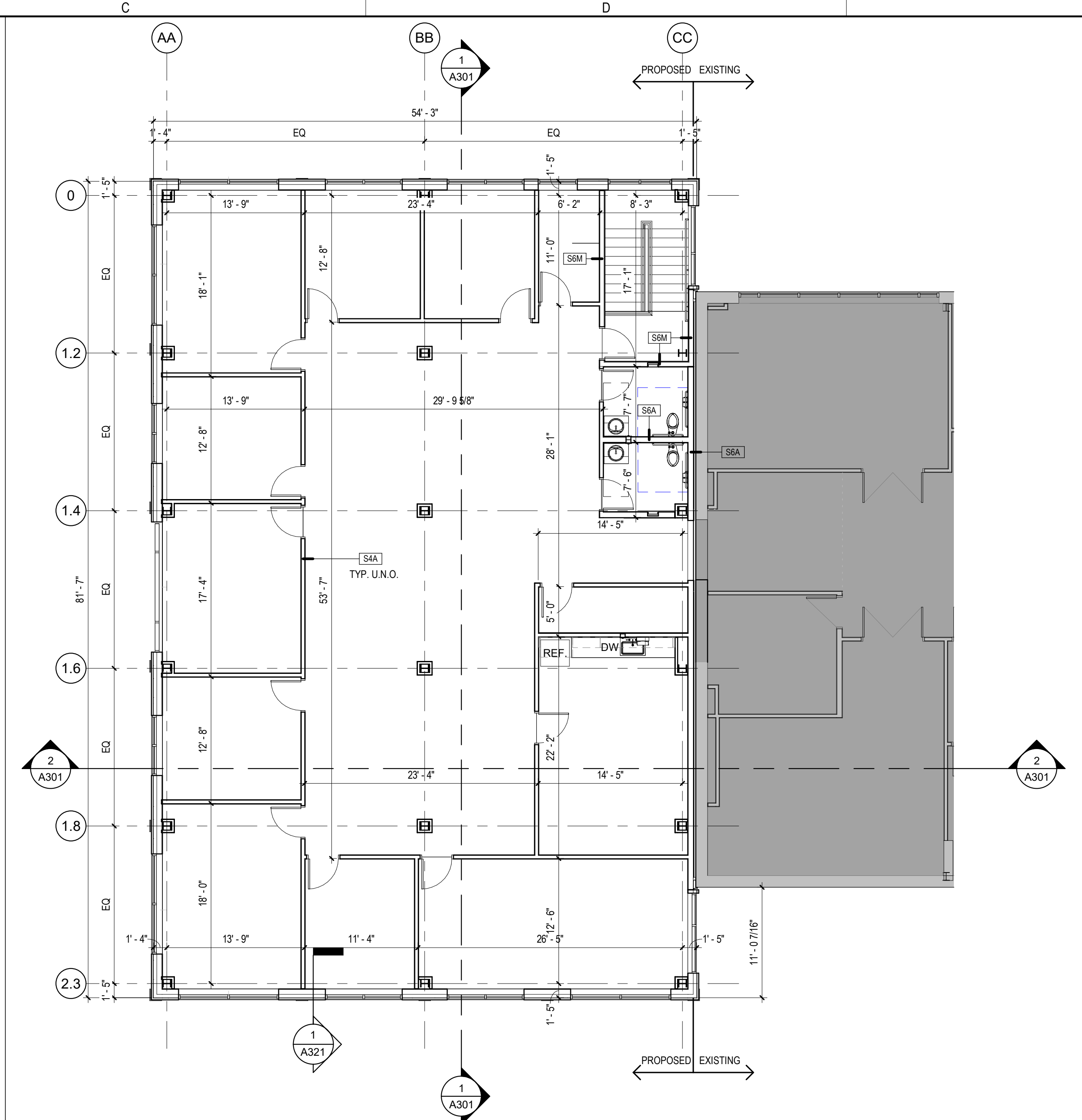
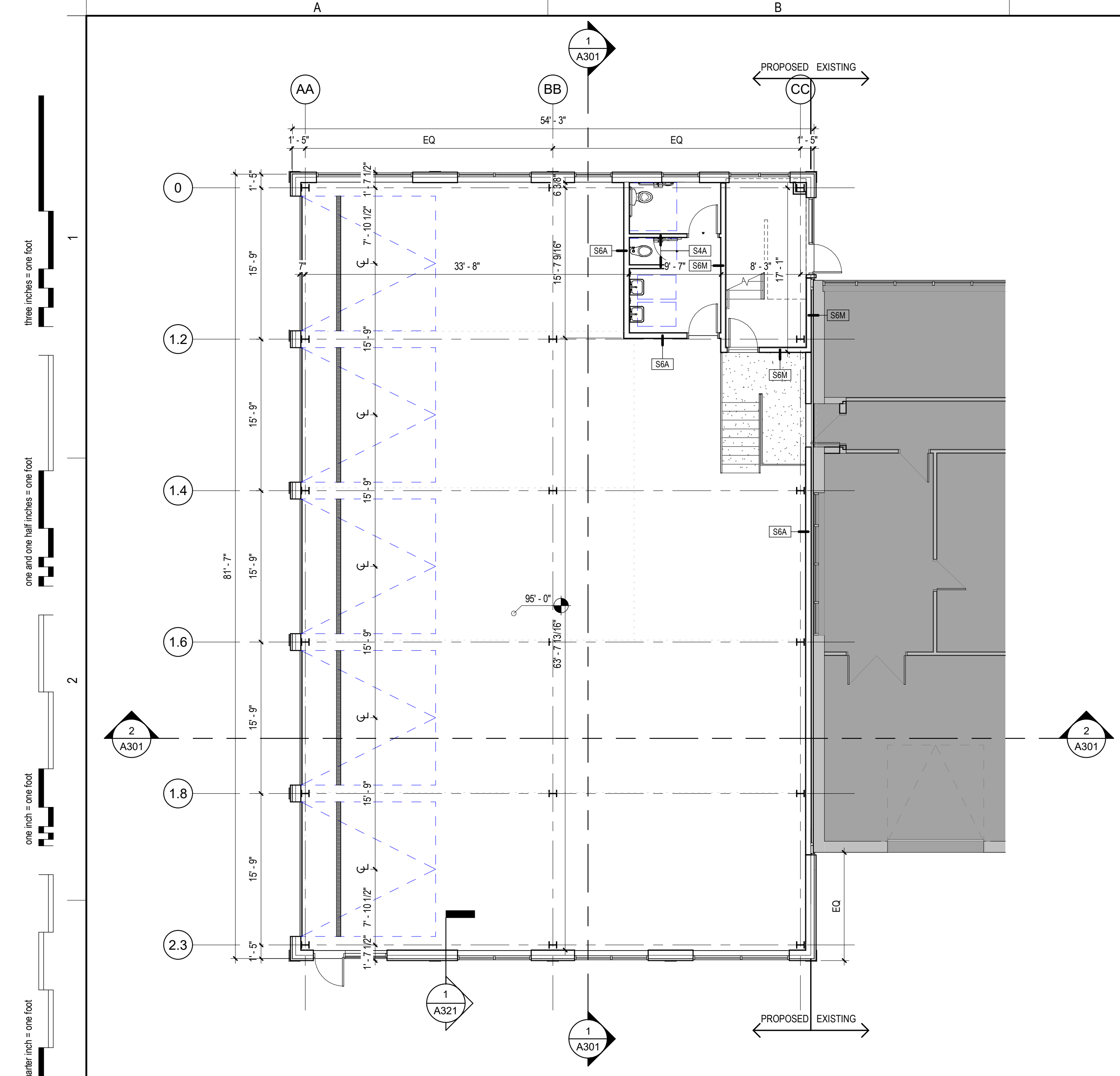
A111

SHEET NUMBER: 2 OF 6 ARCHITECTURAL

THE DRAWING AND ITS CONTENT ARE THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.

Copyright Warrenstreet Architects, Inc. © 1990 - 2024

Autodesk Docs/0305 PORTSMOUTH PUBLIC WORKS ADDITION/3925 PORTSMOUTH PUBLIC WORKS ADDITION - ALTERN08/11/2024/254L SW



1
A121 FIRST FLOOR DIMENSION PLAN
1/8" = 1'-0"

2
A121 SECOND FLOOR DIMENSION PLAN
1/8" = 1'-0"

DIMENSION PLAN NOTES

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
2. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
3. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.N.O. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
4. SEE A600 SERIES SHEETS FOR PARTITION TYPE DETAILS.
5. SEE A600 SERIES SHEETS AND SPECIFICATIONS FOR FIRESTOPPING REQUIREMENTS.
6. INSTALL GWB TIGHT TO EXTERIOR WALL SHEATHING AT ALL FIRE BARRIERS.
7. ELECTRICAL BOXES INSTALLED IN FIRE RATED PARTITIONS SHALL BE STAGGERED AS REQUIRED BY CODE OR PROVIDED WITH PUTTY PADS AND INSTALLED PER MANUFACTURER'S REQUIREMENTS AND BY CODE.
8. ELECTRICAL BOXES INSTALLED IN PARTITIONS INDICATED AS ACOUSTIC CONSTRUCTION SHALL BE STAGGERED SO THAT BOXES ON OPPOSING SIDES OF A PARTITION DO NOT OCCUR IN THE SAME STUD CAVITY. SECURELY FIT ACOUSTIC INSULATION AROUND ALL SIDES OF THE BOX AND PROVIDE ACOUSTIC SEALANT AT ALL HOLES IN AND AROUND THE PERIMETER OF THE BOX OPENING.
9. REVIEW, PRIOR TO ROUGH-IN, ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
10. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
11. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

DIMENSION PLAN LEGEND

- PARTITION TAG, SEE A601
- WINDOW TAG, SEE WINDOW SCHEDULE
- KEYNOTE, SEE DIMENSION PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION

DIMENSION PLAN KEYNOTES

KEY #	DESCRIPTION
1	A301
1	A321

OWNER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSULTANTS:
CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

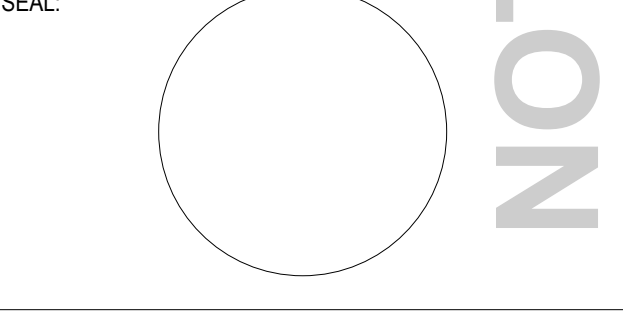
PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

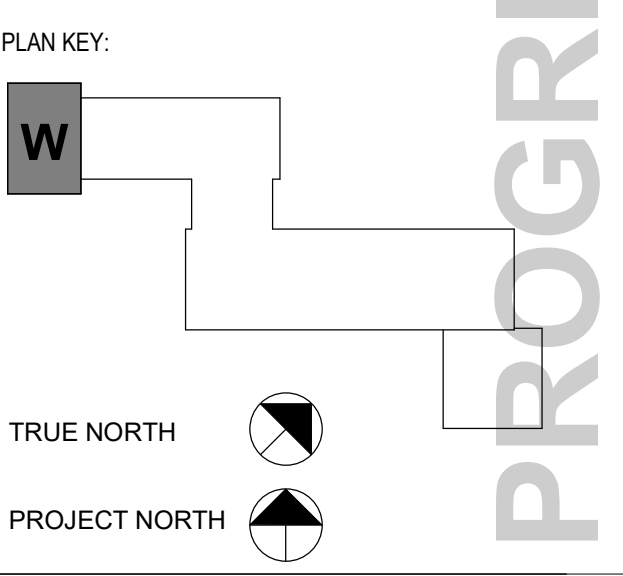
OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

Warrenstreet
Planning Landscapes Architecture

WARRENSTREET ARCHITECTS, INC.
4 CRESCENT STREET, UNIT 2
CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP



PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801



SCALE: AS NOTED DWN BY: JT
PROJECT #: 3925 CHK BY: SD
PRINT DATE: 10/17/2024 10:06:37 AM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

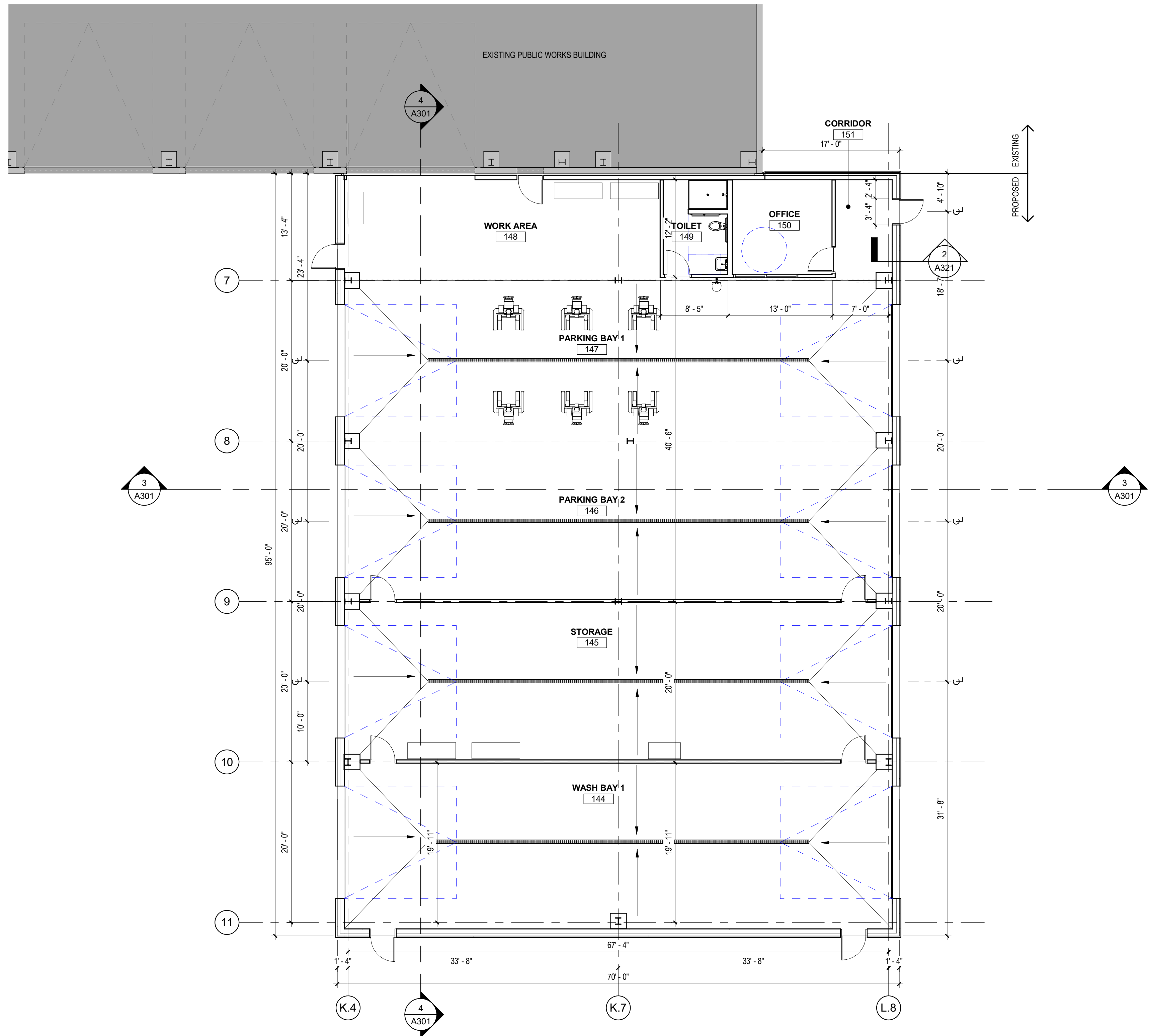
WATER DEPARTMENT
DIMENSION PLANS

A121

SHEET NUMBER: OF 6 ARCHITECTURAL

PROGRESS NOT FOR CONSTRUCTION

Autodesk Docs/0305 PORTSMOUTH
 PUBLIC WORKS ADDITION/3925
 PORTSMOUTH-PUBLIC WORKS
 ADDITION - ALTERN08/112022SSAL
 SHN



1 MAINTENANCE DEPARTMENT DIMENSION PLAN
 A122 1/8" = 1'-0"

DIMENSION PLAN NOTES

1. ARCHITECTURAL DATUM = 100'-0". THE ARCHITECTURAL DATUM IS INDEPENDENT OF ELEVATIONS SHOWN ON THE CIVIL DRAWINGS. SEE CIVIL DRAWINGS FOR CORRESPONDING DATUM IN HEIGHT ABOVE SEA LEVEL.
2. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY PRIOR TO COMMENCING WITH ANY WORK.
3. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, UNLESS NOTED OTHERWISE. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
4. SEE A600 SERIES SHEETS FOR PARTITION TYPE DETAILS.
5. SEE A600 SERIES SHEETS AND SPECIFICATIONS FOR FIRESTOPPING REQUIREMENTS.
6. INSTALL GWB TIGHT TO EXTERIOR WALL SHEATHING AT ALL FIRE BARRIERS.
7. ELECTRICAL BOXES INSTALLED IN FIRE RATED PARTITIONS SHALL BE STAGGERED AS REQUIRED BY CODE OR PROVIDED WITH PUTTY PADS AND INSTALLED PER MANUFACTURER'S REQUIREMENTS AND BY CODE.
8. ELECTRICAL BOXES INSTALLED IN PARTITIONS INDICATED AS ACOUSTIC CONSTRUCTION SHALL BE STAGGERED SO THAT BOXES ON OPPOSING SIDES OF A PARTITION DO NOT OCCUR IN THE SAME STUD CAVITY. SECURELY FIT ACOUSTIC INSULATION AROUND ALL SIDES OF THE BOX AND PROVIDE ACOUSTIC SEALANT AT ALL HOLES IN AND AROUND THE PERIMETER OF THE BOX OPENING.
9. REVIEW, PRIOR TO ROUGH-IN, ANY CONFLICT OF ENGINEERING TRADE DEVICES WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
10. PROVIDE BLOCKING FOR MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND OTHER ITEMS IDENTIFIED IN THE CONSTRUCTION DOCUMENTS.
11. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.

DIMENSION PLAN LEGEND

- 11 PARTITION TAG, SEE A601
- X WINDOW TAG, SEE WINDOW SCHEDULE
- KEYNOTE, SEE DIMENSION PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION

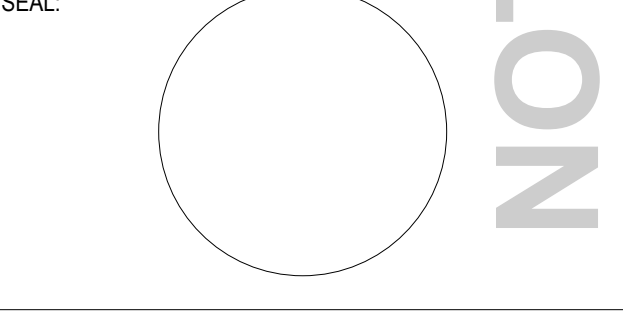
DIMENSION PLAN KEYNOTES

KEY #	DESCRIPTION

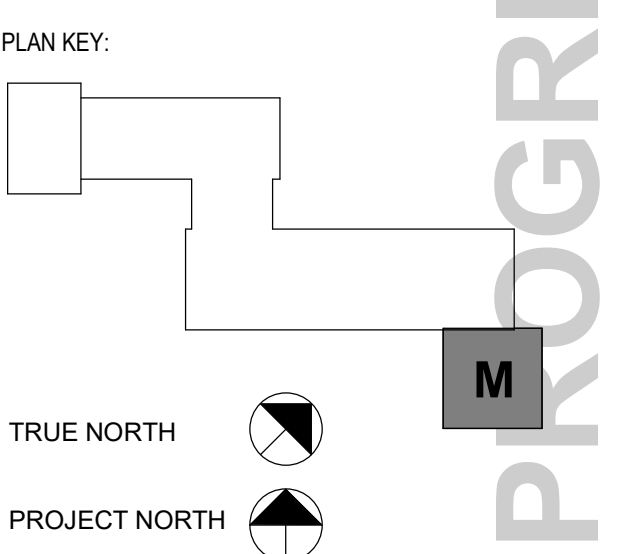
OWNER
TITLE 1 TITLE 2 STREET CITY, STATE, ZIP P. () F. ()
CONSTRUCTION MANAGER
TITLE 1 TITLE 2 STREET CITY, STATE, ZIP P. () F. ()
CONSULTANTS:
CIVIL
NAME STREET CITY, STATE, ZIP TELEPHONE
LANDSCAPE
NAME STREET CITY, STATE, ZIP TELEPHONE
STRUCTURAL
NAME STREET CITY, STATE, ZIP TELEPHONE
PLUMBING / MECHANICAL
NAME STREET CITY, STATE, ZIP TELEPHONE
ELECTRICAL
NAME STREET CITY, STATE, ZIP TELEPHONE
OTHER
NAME STREET CITY, STATE, ZIP TELEPHONE

Warrenstreet
Planning Landscapes Architecture

WARRENSTREET ARCHITECTS, INC.
4 CRESCENT STREET, UNIT 2
CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP



PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
 680 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801



SCALE: AS NOTED DWN BY: JT
 PROJECT #: 3925 CHK BY: CHECKER
 PRINT DATE: 10/17/2024 10:06:37 AM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

MAINTENANCE DEPARTMENT DIMENSION PLAN

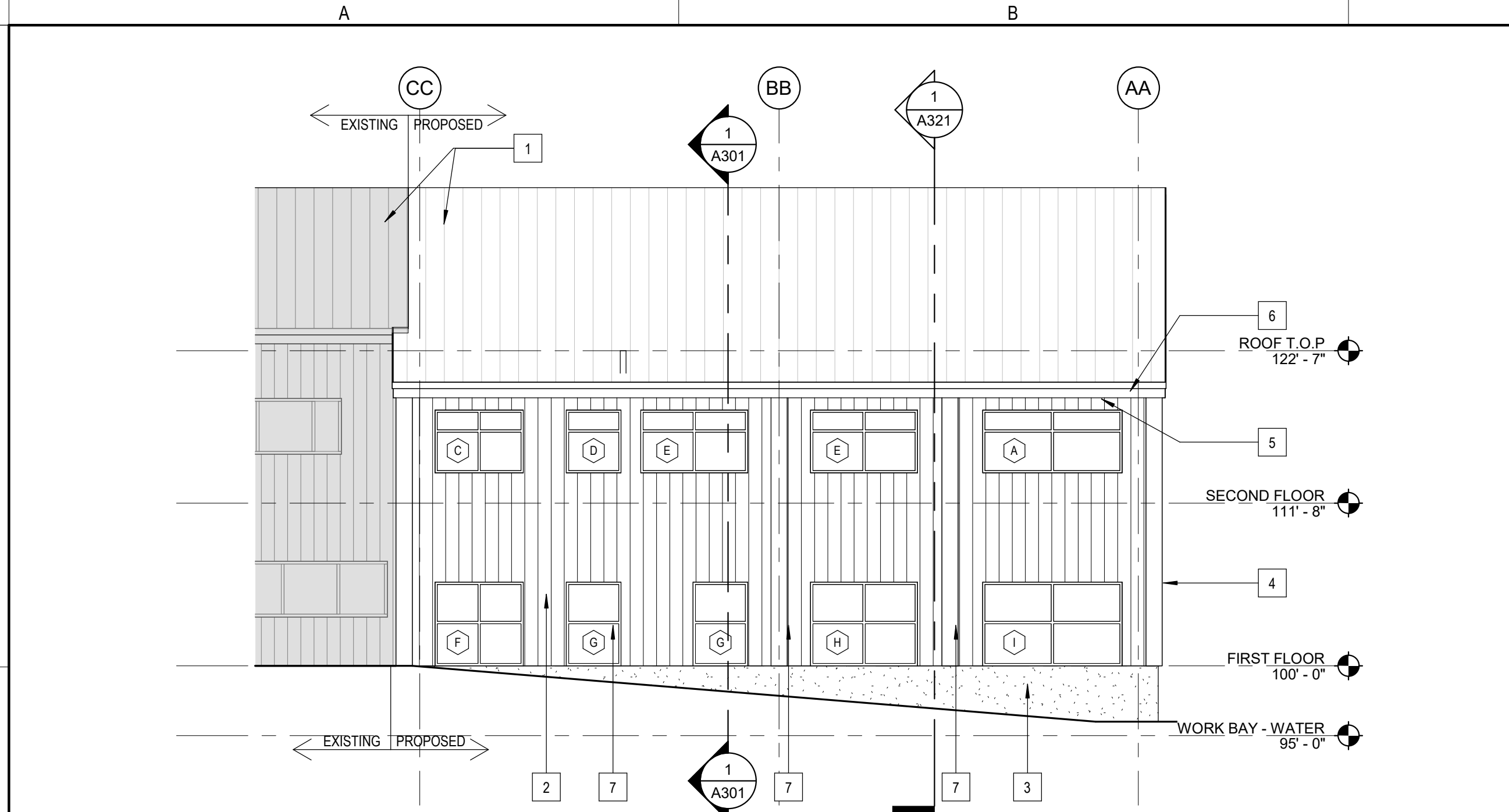
A122

SHEET NUMBER: OF 6 ARCHITECTURAL

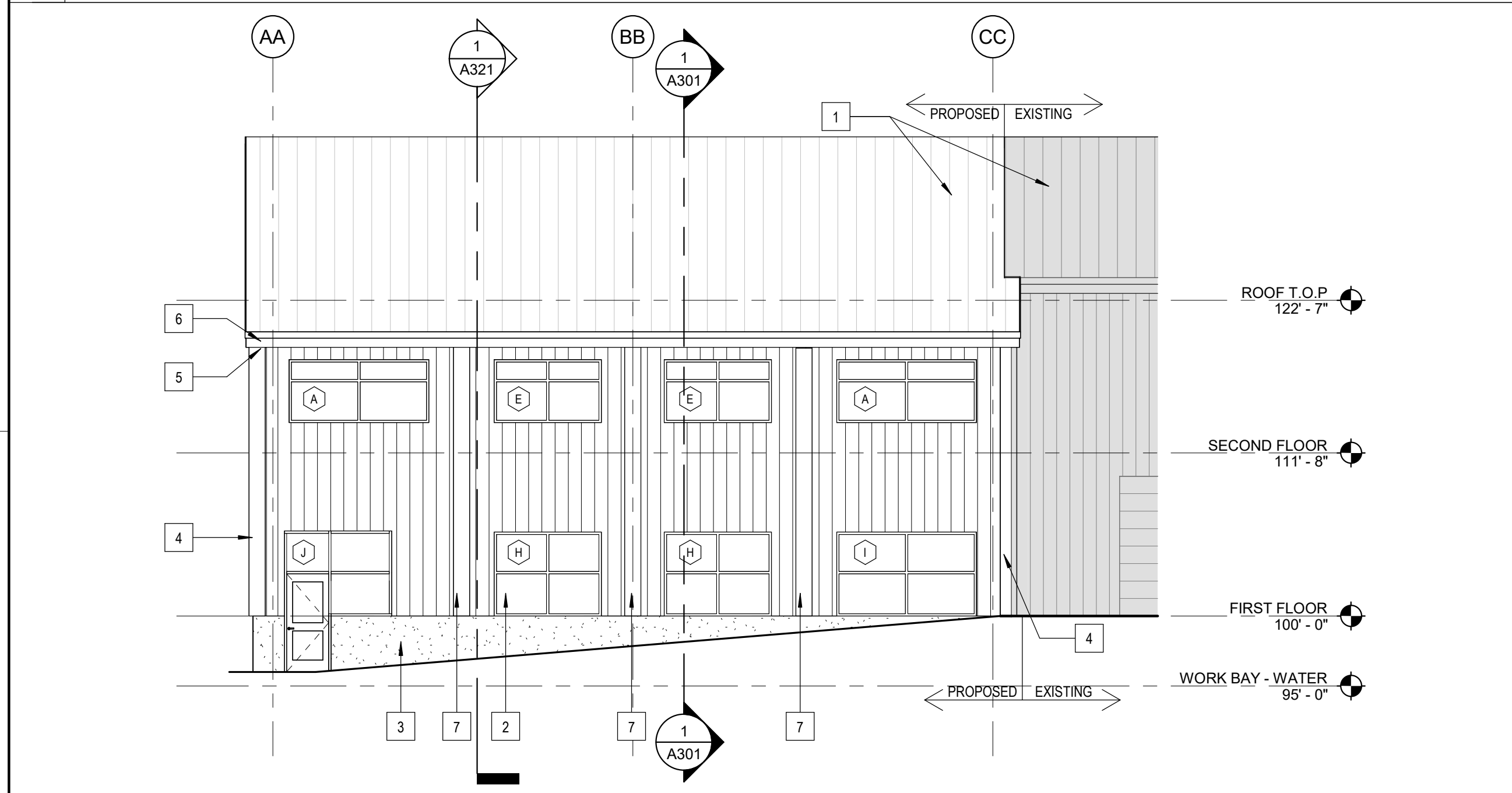
THE DRAWING AND ITS CONTENT ARE THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.

PROGRESS NOT FOR CONSTRUCTION

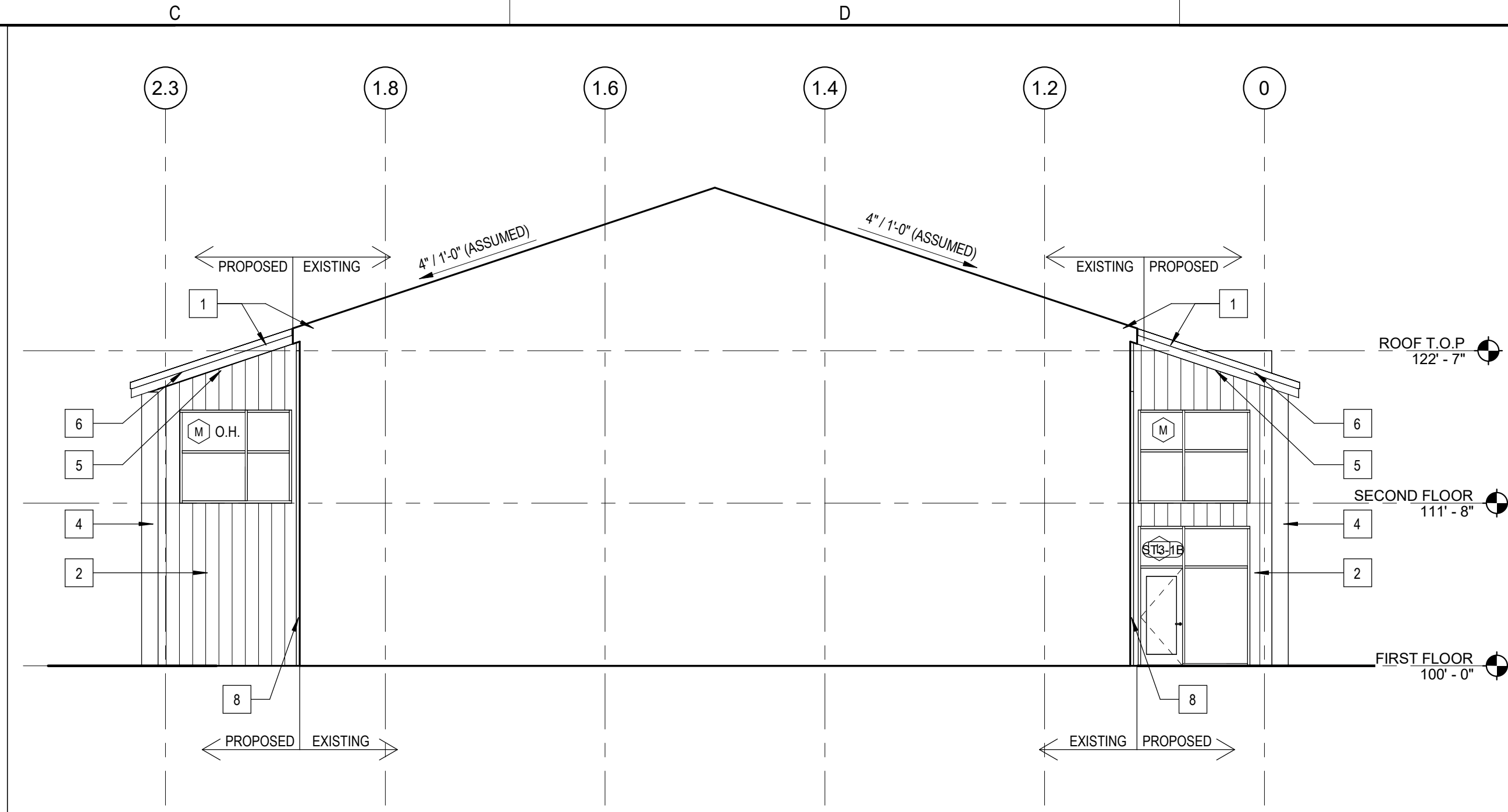
Autodesk Docs/0305 PORTSMOUTH
 PUBLIC WORKS ADDITION/3925
 PORTSMOUTH PUBLIC WORKS
 ADDITION - ALTERNATIVE 1/12/2024.S&L
 3/1/24



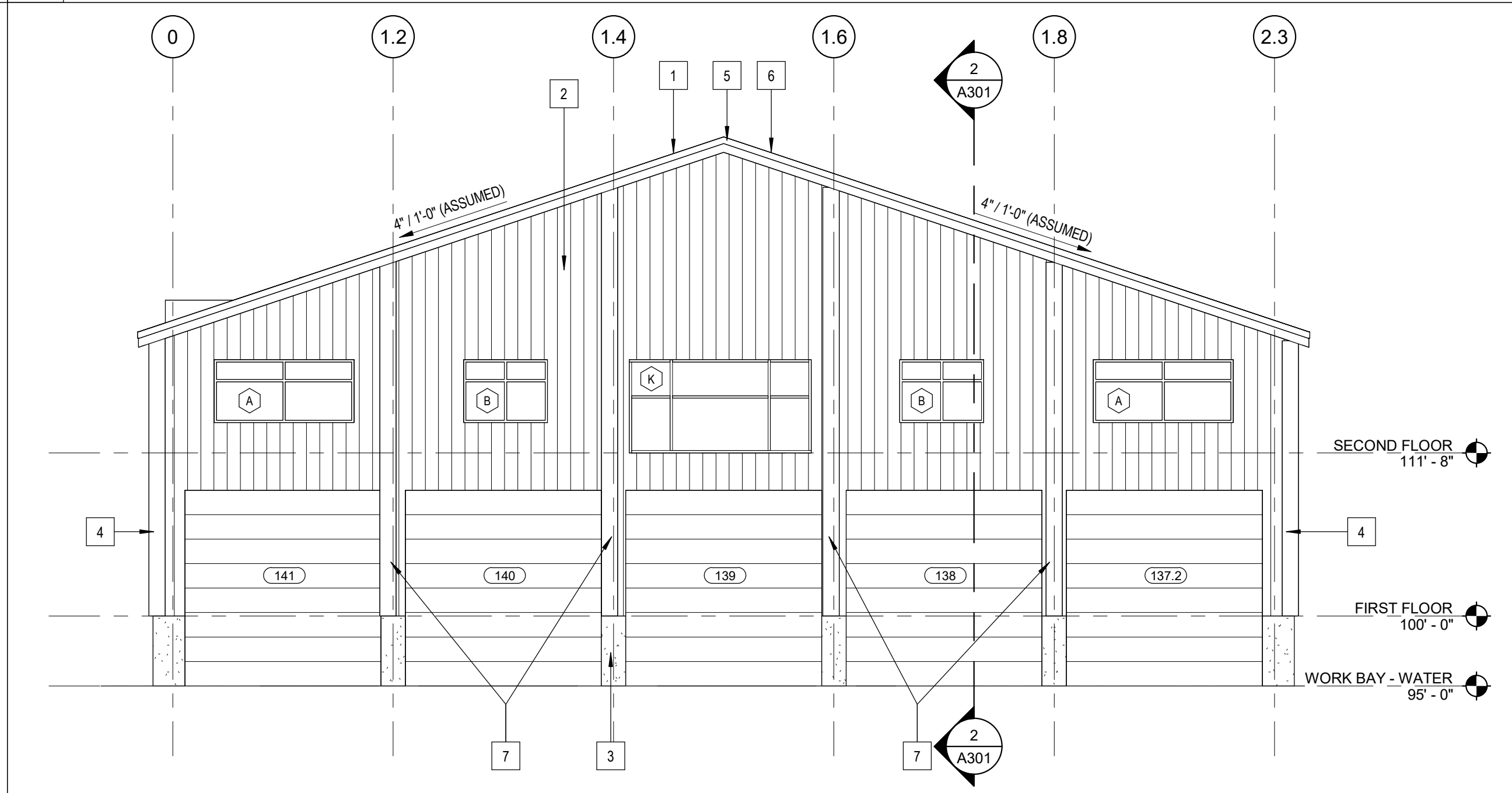
1 WATER DEPARTMENT - NORTH
A201
1/8" = 1'-0"



4 WATER DEPARTMENT - SOUTH
A201
1/8" = 1'-0"



2 WATER DEPARTMENT - EAST
A201
1/8" = 1'-0"



3 WATER DEPARTMENT - WEST
A201
1/8" = 1'-0"

GENERAL ELEVATION NOTES

- REFER TO MESH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A** KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- X** WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ** CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	SLOPE & ELEVATION OF ROOF TO MATCH EXISTING ADJACENT
2	FLUTED PANEL TO MATCH EXISTING, SEE WALL SECTIONS
3	CONCRETE FOUNDATION WALL
4	PVC CORNER, COLOR TBD
5	PVC FASCIA
6	6" ALUMINUM DRIP EDGE
7	EXTERIOR TRIM TBD
8	INPRO WALL TO CORNER EXPANSION JOINT

OWNER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSTRUCTION MANAGER
TITLE 1
TITLE 2
STREET
CITY, STATE ZIP
P. () F. ()

CONSULTANTS:

CIVIL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

LANDSCAPE
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

STRUCTURAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

PLUMBING / MECHANICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

ELECTRICAL
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

OTHER
NAME
STREET
CITY, STATE, ZIP
TELEPHONE

Warrenstreet
Planning Landscapes Architecture

WARRENSTREET ARCHITECTS, INC.
4 CRESCENT STREET, UNIT 2
CONCORD, NEW HAMPSHIRE 03303
40 STARK STREET
MANCHESTER, NEW HAMPSHIRE 03103
P. (603) 225-0640
WWW.WARRENSTREET.COOP

SEAL:

PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PLAN KEY:

SCALE: AS NOTED DWN BY: JT
PROJECT #: 3925 CHK BY: CHECKER
PRINT DATE: 10/17/2024 10:06:39 AM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

WATER DEPARTMENT EXTERIOR ELEVATIONS

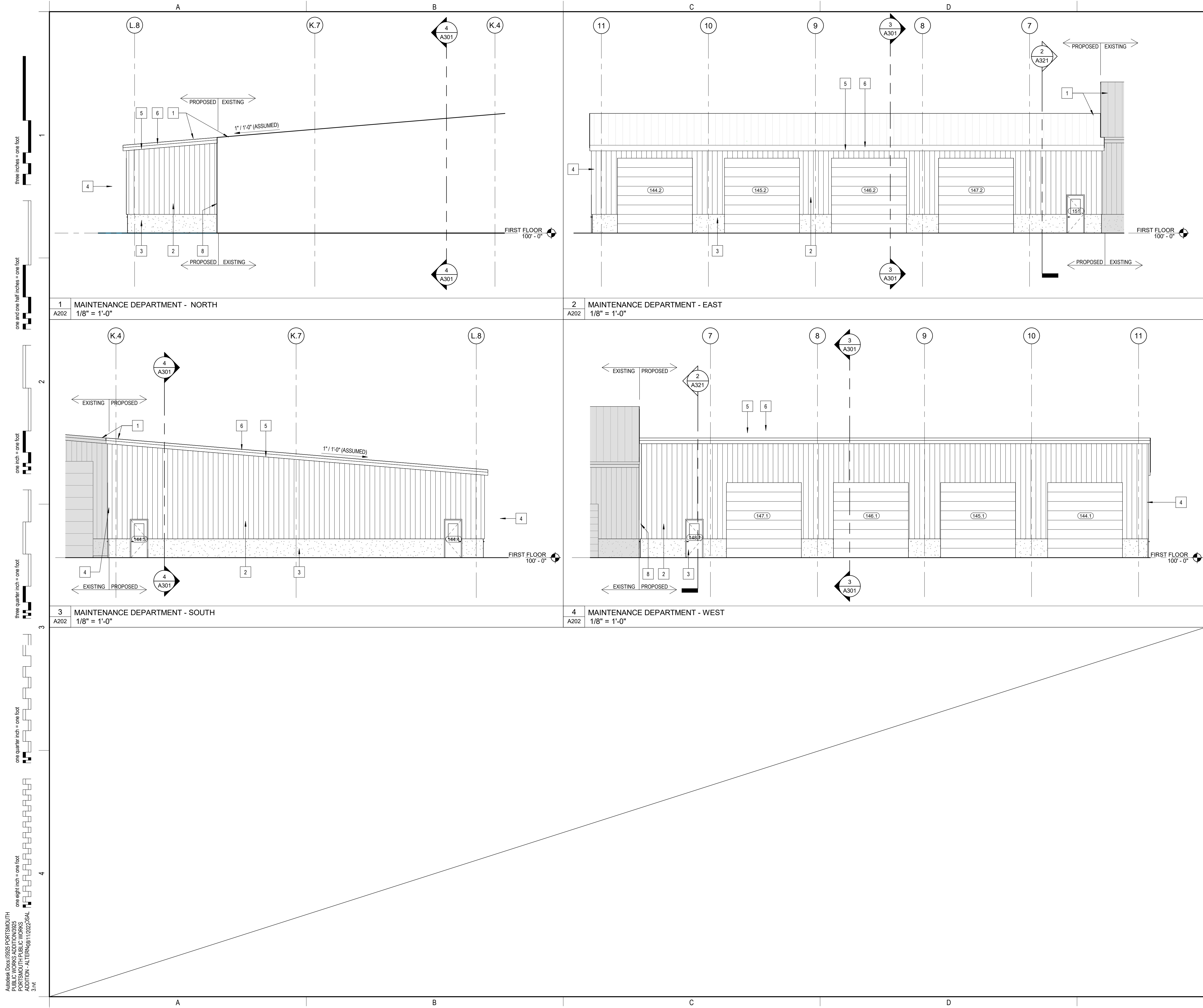
A201

SHEET NUMBER: 5 OF 6 ARCHITECTURAL

THE DRAWING AND ITS CONTENT ARE THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.

Copyright Warrenstreet Architects, Inc. © 1990 - 2024

PROGRESS NOT FOR CONSTRUCTION



GENERAL ELEVATION NOTES

1. REFER TO MESH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- A → KEYNOTE, SEE ELEVATION KEYNOTE LEGEND
- X WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CJ CONTROL JOINT

ELEVATION KEYNOTES

KEY #	DESCRIPTION
1	SLOPE & ELEVATION OF ROOF TO MATCH EXISTING ADJACENT
2	FLUTED PANEL TO MATCH EXISTING, SEE WALL SECTIONS
3	CONCRETE FOUNDATION WALL
4	PVC CORNER, COLOR TBD
5	PVC FASCIA
6	6" ALUMINUM DRIP EDGE
7	EXTERIOR TRIM TBD
8	INPRO WALL TO CORNER EXPANSION JOINT

OWNER
 TITLE 1
 TITLE 2
 STREET
 CITY, STATE, ZIP
 P. () F. ()

CONSTRUCTION MANAGER
 TITLE 1
 TITLE 2
 STREET
 CITY, STATE, ZIP
 P. () F. ()

CONSULTANTS:
CIVIL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

LANDSCAPE
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

STRUCTURAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

PLUMBING / MECHANICAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

ELECTRICAL
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

OTHER
 NAME
 STREET
 CITY, STATE, ZIP
 TELEPHONE

Warrenstreet
 Planning Landscapes Architecture

WARRENSTREET ARCHITECTS, INC.
 4 CRESCENT STREET, UNIT 2
 CONCORD, NEW HAMPSHIRE 03303
 40 STARK STREET
 MANCHESTER, NEW HAMPSHIRE 03103
 P. (603) 225-0640
 WWW.WARRENSTREET.COOP

SEAL:

PROJECT TITLE / ADDRESS:
PORTSMOUTH PUBLIC WORKS ADDITION
 680 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

PLAN KEY:

SCALE: AS NOTED DWN BY: JT
 PROJECT #: 3925 CHK BY: CHECKER
 PRINT DATE: 10/17/2024 10:06:39 AM

ISSUE DATE:
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

MAINTENANCE DEPARTMENT EXTERIOR ELEVATIONS

A202

SHEET NUMBER: 6 OF 6 ARCHITECTURAL
 THE DRAWING AND ITS CONTENT ARE THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.

Autodesk Docs/0305 PORTSMOUTH
 PUBLIC WORKS ADDITION/3925
 PORTSMOUTH-PUBLIC WORKS
 ADDITION - ALTERN08/11/2024/SAL
 3/11

three inches = one foot
 one and one half inches = one foot
 one inch = one foot
 one quarter inch = one foot
 one quarter inch = one foot
 one quarter inch = one foot

PROGRESS NOT FOR CONSTRUCTION



PUBLIC WORKS DEPARTMENT

CITY OF PORTSMOUTH

680 Peverly Hill Road
Portsmouth, NH 03801
(603) 427-1530

Letter of Authorization

Eric Weinrib, P.E.
Altus Engineering
133 Court Street
Portsmouth, New Hampshire

Eric

The City of Portsmouth, Department of Public Works, hereby authorizes Altus Engineering, LLC to represent the Department of Public Works as the Applicant in all matters concerning engineering and related permitting for the expansion of the Public Works facility on Tax Map 254, Lot 8 and located at 680 Peverly Hill Road in Portsmouth, New Hampshire. This authorization shall include representation at public hearings and other project-related meetings in addition to any signatures required for Federal, State and Municipal permit applications.

Signature Peter Rice,

Date

Witness Lori-Ann Dixey

Date