



Job #47388.11

August 4, 2021

HAND DELIVERED
Barbara McMillan, Chair
Portsmouth Conservation Commission
1 Junkins Avenue, 3rd Floor
Portsmouth, NH 03801

Re: Open Space Planned Unit Development, 83 Peverly Hill Road

Dear Ms. McMillan,

On behalf of the Applicant Green & Company, enclosed are $1-22 \times 34$ set and $9-11 \times 17$ sets of Site Development Plans, Overall Site Layout Colored Plans, and Overall Proposed Developed and Remaining Land plans for Parson Woods Condominium, located at 83 Peverly Hill Road.

This proposal is for an Open Space Planned Unit Development containing 56 single-family condominium dwelling units with 2,950 linear feet of public roadway. Associated improvements include underground utility installation, 2 recreational pocket parks, a public bike/pedestrian path to an existing rail trail, a multi-use path to Middle Road, landscaping, and open space.

The property contains 105 acres and is bounded by Peverly Hill Road on the East, the New Hope Baptist Church, conservation land and the Swift Water Girl Scout Council on the South, the Boston and Main Railroad on the West, and the Calvary Cemetery on the North.

The project proposes to dedicate 71 acres, in the form of a conservation easement, to the city. These 71 acres will abut Map 255 Lot 5, a property already in conservation which abuts the recently required 27.5 acre conservation easement on Map 256 Lot 2.

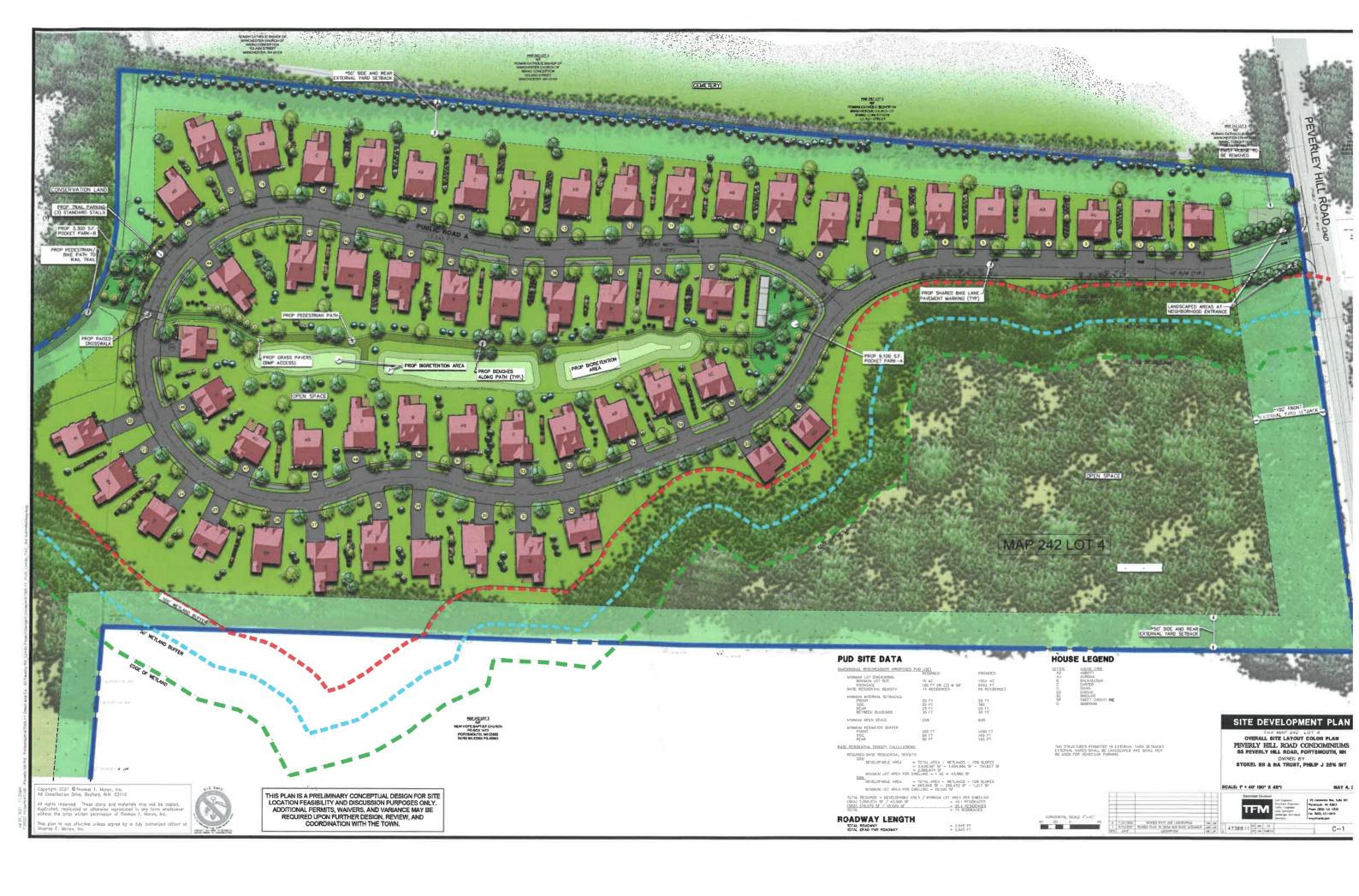
The project received Conditional Approval from the Technical Advisory Committee on August 3, 2021.

In accordance with Article 7 Section 10.727.22 of the Portsmouth Zoning Ordinance, "The Planning Board shall afford the Conservation Commission an opportunity to comment on the particulars of a proposed PUD, including but not limited to the natural features of the parcel and how these may be impacted by the proposed project". The purpose of this submittal is to review the project in the context of this section, prior to submitting to the Planning Board for approval.

TFMoran, Inc.
48 Constitution Drive, Bedford, NH 03110
T(603) 472-4488 www.tfmoran.com



TFMoran, Inc. Seacoast Division 170 Commerce Way–Suite 102, Portsmouth, NH 03801 T(603) 431-2222



ASSESSORS MAP AND LOT NUMBER

LINE TARLE

CHORD BEARING CHORD LENGTH

LEGEND:

INDUSTRIAL ZONE
LENGTH
NATURAL RESOURCE PROTECTION ZONE
NOW OR FORMERLY

RADIUS RURAL ZONE ROCKINGHAM COUNTY REGISTRY OF DEEDS CENTRAL ANGLE SQUARE FEET

SINGLE RESIDENCE A ZONE SINGLE RESIDENCE B ZONE TRANSPORTATION CORRIDOR ZONE

BOUNDARY LINE - EDGE OF WETLAND - WETLAND BUFFER **®**

L43 S69°37'42"W 88.49 S69*05'04"W 85 94 S68°46'51'W 56.81 S87°27'31"W 87.58 247.91 20,09 S02*20'46"W 96.94 L51 S04°10'09'W 71.99 L52 S02°55'30"W 60.89 L53 \$04°46'48"W 64.75 L54 S04*06*17*W 73 30 L55 S02°44"38"W 55.33 \$30°51'45'W 36.06 S29°37'18"W 72.38 108.68* 113.60 L60 S29°36'07"W 62.04 L61 S30°55'15"W 107.77 L62 S27°41'10'W 66.75 L63 S30°19'04"W 62.95 L64 \$28°10'44"W 90.88 S27*46'33*M 84.72 L66 S28*09'12"W 63.04 S29°23'48"W 74.83 94.54 S29°00'39"W 86.86 L70 S28°38'51"W 79.24 L71 S15°03'54°E 206.01 L72 S15°34'48"E 56,79 L73 S16°34'18°E 55 67 L74 S14°35'44°F 35.23* L34 L75 S15°16'42°E 66.01 L35

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L36

L38

L39

S23°02'43"E

S22°45'01"E

S67°19'43"W

S69°35'00"W

L40 S71°11'01"W

L41 S69°52'05"W

L42 S68°05'19"W

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

PLAN REFERENCES:

"PLAN OF A LOT OF LAND BELONGING TO CHARLES H. HAYES PORTSMOUTH, N.H." BY A.C. HOYT SURVEYOR, DATED JULY 1896. RCRD PLAN #0171.

"PLAN OF LAND FOR JOHN & MADD HETT PORTSMOUTH, N.H. SURVEY BY ME JENKINS, LEE, N.H.", DATED DEC, 1988. RCRD PLAN #0-19599.

"PROPERTY OF SWIFTWATER GIRL SCOUT COUNCIL CITY OF PORTSMOUTH N.H." SURVEYED BY JON MOORE, DATED DEC, 1972. RCRD PLAN #0-3206.

"SUBDIVISION OF LAND FOR ROBERT E. DOWD IN PORTSMOUTH, N.H." BY BRUCE L. POHOPEK LAND SURVEYORS DOVER, N.H., DATED MAY 31, 1978, REVISED OCT, 57.8 RCRD PLAN #0-8312.

"SUBDIVISION PLAN OF LAND FOR THEODORE C. BURTT BANFIELD ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY INCHARD P. MILLETTE AND ASSOCIATES, DATED DECEMBER 1981. WITH REVISION 2 DATED JANUARY, 1982. RCRD PLAN #0-10795.

"STANDARD BOUNDARY SURVEY MAP 242 - LOT 1 MAP 258 - LOT 54 MAP 265 - LOT 1-6 & 2 FOR THE NATURE CONSERVANCY N.H. ROUTE 33 GREENLAND ROAD COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC., DATED TERRURY 2006, WITH REVISION 1, DATED OF NEW HAMPSHIRE BY AMBIT ENGINEERING, INC., DATED TERRURY 2006, WITH REVISION 1, DATED LOT LAND HAMP SINCE BY LAND HAM MAP AS A LOT SATED AND LOT THE REVISION 1, DATED DEPARTMY 2006, WITH REVISION 1, DATED AMBIT ENGINEERING, INC., DATED TERRURY 2006, WITH REVISION 1, DATED LOT LAND HAMP SINCE BY LAND HAM MAP R-65 LOTS 2A & 2B FOR HAROLD & MARILYN ECKER AND ELIZABETH K. HURLEY 422 & 470 BANFIELD ROAD PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM BY AMBIT ENGINEERING, INC., DATED MAY 2000, WITH REVISION 0 DATED \$/26/00. RCRD PLAN #0-28209.

EASEMENTS AND RESTRICTIONS (E&R):

- THE RIGHT TO USE SAID DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM SAID GREENLAND ROAD, ALDNG BY SAID CRETERY, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF SAID PETER AND STELLA TO SAID RAILROAD, AND SUBJECT TO SAID PETER SIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).
- 2. RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF SAID WELL, SAID PUMP, THE PIPES AND ANY OTHER EQUIPMENT USED NOW OR HEREAFTER IN COMMON, CHARGES OF CARE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, WITH MUTUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SEE RCRO BK.#5066 PG.#1603).

MAP 232 LOT 92

MAP 232 LOT 88

MAP 232 LOT 93

MAP 232 LOT 87

MAP 232 LOT 95

MAP 243 LOT 50

MAP 243 LOT 51

MAP 243 LOT 52

ASRT, LLC 266 MIDDLE STREET

N/F AJEI REAL ESTATE LLC 163 SPINNEY ROAD PORTSMOUTH, NH 03801 RCRD BK.#5887 PG.#0463

CITY OF PORTSMOUTH DPV PO BOX 628

MAP 265 LOT 2D

CITY OF PORTSMOUTH DPW PO BOX 628

MAP 265 LOT 2E

N/F KENNETH T. BLACK 82 PEVERLY HILL ROAD PORTSMOUTH, NH 03801 RCRD BK.#3743 PG.#1942

N/F SUSAN L. DIXON 68 WIBIRD STREET PORTSMOUTH, NH 03801 RCRD BK.#2504 PG.#0028

N/F CITY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH, NH 03802 RCRD BK.#2247 PG.#0239



MAP 255 LOT 5 N/F

THOMAS E. & MARYBETH B, REIS AND JAMES B. & MEEGAN C. REIS 305 PEVERLY HILL ROAD

152

153

156 157

L60

-161

L58-1152

165

-167

169

-172

L79

-174

-L75

176

MAP 265 LOT 2A

N/F __ DAVID W. ECKER 875 BANFIELD ROAD PORTSMOUTH, NH 0380 RCRD BK.#6091 PG.#037

MAP 265 LOT 2B

N/F LEE ANN & RICHARD M, RILEY 470 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#3491 PG.#2344

MAP 265 LOT 2C

N/F
POSTOLIC CHURCH OF J CHRIST
500 BANFIELD ROAD
PORTSMOUTH, NH 03801
RCRD BK.#2739 PG.#0043

154

1.55

MAP 256 LOT 1

N/F SWIFT WATER GIRL SCOUT COUNCIL ONE COMMERCE DRIVE BEDFORD, NH 03110

MAP 242 LOT 1

CENTERLINE OF DRIVEWAY (SEE E&R #1)

(SEE E&R #2)

L=184.76' R=400.00' 4=26'27'54"

CHB=N64'52'18"E. CHL=183 12





NOTES:

PEVERLY HILL

ROAD

THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB)
ZONING DISTRICTS.

2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4.

THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270F, MAP REMSED JANUARY 29, 2021.

4.	DIMENSIONAL REQUIREMENTS:	REQU	JIRED:
	MINIMUM LOT AREA: LOT AREA PER DWELLING UNIT: CONTINUOUS STREET FRONTAGE: LOT DEPTH: MINIMUM YARD DIMENSIONS:	SRA 1 ACRE 1 ACRE 150' 200'	SRB 15,000 SI 15,000 SI 100' 100'
	FRONT: SIDE: REAR: MAXIMUM STRUCTURE DIMENSIONS: STRUCTURE HEIGHT:	30° 20' 40'	30° 10° 30°
	SLOPED ROOF FLAT ROOF BUILDING COVERAGE: MINIMUM OPEN SPACE: PER THE CITY OF PORTSMOUTH ZONING (35' 30' 10% 50% DRDINANCE SECTION	35' 30' 20% 40% 10.520.

UMMER OF RECURITY
MAP 242 LOT 4:
STELLA B. STOKEL 1993 TRUST,
NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
83 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK,#5066 PC,#1603

(105.7050 ACRES)

4.004-009 SJ.

(105.7050 ACRES)

THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS, IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHOOD ON DEFINE THE LIMITS OF TITLE.

THE REPROPORT OF DEFINE THE LIMITS OF TITLE.

THE REPROPORT OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPED & UNDEVELOPED AREAS OF MAP 242. LOT THIS PLAN IS TO SHOW THE PROPOSED DEVELOPED & UNDEVELOPED AREAS OF MAP 242. LOT THIS PLAN IS TO SHOW THE PROPOSED DEVELOPED & UNDEVELOPED AREAS OF MAP 242. LOT THIS PLAN IS TO SHOW THE PROPOSED THE DATE THAT OF THE VERTICAL DATUM IS TOPCON HIPER-SR, TOPCON HIPER-V AND A CARLSON RT4 DATA COLLECTOR.

I HORIZONTAL DATUM IS NADBS (2011) PER STATIC OPS DESERVATIONS. THE VERTICAL DATUM IS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIC OPS DESERVATIONS. THE VERTICAL DATUM IS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM IS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM HIS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM HIS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM HIS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM HIS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM HIS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM HIS NAVDBB (GEODIZE) PER STATIC OPS GESTRATIONS. THE VERTICAL DATUM HIS PER STATIC OPS DESERVED HIS NAVD RESTRICTIONS SHOWN AND TENDER CONTROL TO SEED STHE PROPORMATION ON STITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.

I THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

TAX MAP 242 LOT 4

OVERALL PROPOSED DEVELOPED & REMAINING LAND PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE

COUNTY OF ROCKINGHAM OWNED BY

STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL

SCALE: 1" = 300' (22x34)



170 Commerce Way, Suite 102 Portsmouth, NH 0380 Phone (603) 431-2222 Fax (603) 431-0910

APRIL 19, 2021

DR MVP FB
CK BMK CADPILE 47388-11 S-01

6/21/2021 CREATED THIS SHEET DR CK

\$16°55'11"E

L77 S15°41'57"E

L79 N60°22'36"E

L80 N60°02'43"E

L81 N61*36*13*E 1100.89*

L82 \$22°55'14"W 3930.00'

94.64

210,79

85.15

125,36*

L76

111.50

171,93

152.24

360.76

41.19

74,381

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BANFIELD ROAD

MAP 265 LOT 2

MARK H. ODIORNE 520 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#3353 PG.#2213

MAP 242 LOT 5 ROMAN CATHOLIC BISH

MANCHESTER CHURCH OF IMMAC CONCEPTION 153 ASH STREET MANCHESTER, NH 03104

-115

-129

25/28

MAP 242 LOT 3

L14-1 113

MAP 242 LOT 4

(S-03)

GENERAL INFORMATION

OWNER

MAP 242 LOT 4 STOKEL SB & NA TRUST 37.5% INT, PHILIP J 25% INT 83 PEVERLY HILL RD PORTSMOUTH, NH 03801

APPLICANT/PREPARED

GREEN AND COMPANY REAL ESTATE 11 LAFAYETTE RD NORTH HAMPTON, NH 03868

RESOURCE LIST

PLANNING/ZONING DEPARTMENT 1 JUNKINS AVE PORTSMOUTH, NH 03801 603-610-7216

BUILDING DEPARTMENT 1 JUNKINS AVE PORTSMOUTH, NH 03801 603-610-7243

ROBERT MARSILIA CHIEF BUILDING INSPECTOR PUBLIC WORKS

600 PEVERLY HILL RD PORTSMOUTH, NH 03801 603-472-1530 PETER RICE, PUBLIC WORKS DIRECTOR

POLICE DEPARTMENT 3 JUNKINS AVE PORTSMOUTH, NH 03801 603-427-1510 MARK NEWPORT, CHIEF

FIRE DEPARTMENT 170 COURT ST PORTSMOUTH, NH 03801 PATRICK HOWE, CHIEF

ASSOCIATED PROFESSIONALS

ENVIRONMENTAL SERVICES GOVE ENVIRONMENTAL SERVICES
8 CONTINENTAL DRIVE BUILDING 2 - UNIT H EXETER, NH 03833

SOIL SCIENTIST GOVE ENVIRONMENTAL SERVICES
8 CONTINENTAL DRIVE BUILDING 2 - UNIT H
EXETER, NH 03833
JIM GOVE, CERTIFIED SOIL SCIENTIST

TRAFFIC ENGINEER STEPHEN G. PERNAW & COMPANY, INC. PO BOX 1721 CONCORD, NH 03302 603-731-8500 STEPHEN G. PERNAW, PE. PTOE

PARSON WOODS CONDOMINIUM

83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE **APRIL 19, 2021** LAST REVISED JULY 21, 2021



ZONING MAP



INDEX OF SHEETS SHEET SHEET TITLE REVISION DATE COVER C-01 NOTES AND LEGEND S-01 OVERALL EXISTING CONDITIONS PLAN S-02 - S-04 EXISTING CONDITIONS PLAN S-05 TEST PIT LOGS 5-06 CONDOMINIUM SITE PLAN S-07 OVERALL EASEMENT PLAN EASEMENT PLAN C-02 SITE PREPARATION & DEMOLITION PLAN C-03 OVERALL SITE LAYOUT PLAN C-04 - C-11 SITE LAYOUT PLANS C-12 - C-15 ROAD-A PLAN & PROFILE C-16 OVERALL GRADING & DRAINAGE PLAN C-17 - C-25 GRADING & DRAINAGE PLANS C-26 OVERALL UTILITY PLAN C-27 - C-33 UTILITY PLANS C-34 OVERALL EROSION CONTROL PLAN C-35 - C-44 EROSION CONTROL PLANS C-45 OVERALL LANDSCAPE PLAN C-46 - C-54 LANDSCAPE PLANS C-55 OVERALL LIGHTING PLAN C-56 - C-63 LIGHTING PLANS C-64 - C-65 FIRE TRUCK MOVEMENT PLAN C-66 SITE DISTANCE PLAN & PROFILE C-67 PEDESTRIAN & BIKE PATH

WAIVERS

THE FOLLOWING WAIVERS FROM THE CITY OF PORTSMOUTH SITE REVIEW REGULATIONS ARE BEING REMEWED BY THE PLANNING BOARD:

1. PORTSMOUTH SUBDIVISION RULES AND REGULATIONS, RESIDENTIAL STREET MINIMUM STANDARDS (PG. 35). REQUIRING 32' OF PAVEMENT WIDTH.

2. PORTSMOUTH SUBDIVISION RULES AND REGULATIONS SECTION V(3)(B), MINIMUM RIGHT—OF—WAY FOR MAIN THOROLIGHTARES SHALL NOT BE LESS THAN 50 FEET.

3. PORTSMOUTH SITE PLAN REVIEW REGULATIONS SECTION 2.5.4.3(6), TRUCK TURNING MINIMUM VEHICLE ALLOWED BEING A WB-50.

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
CITY SITE PLAN REVIEW	PENDING	-	-
OPEN SPACE PLANED UNIT DEVELOPMENT CONDITIONAL USE PERMIT	PENDING	=	-
NHDES ALT. OF TERRAIN	PENDING	-	-
NHDES SEWER CONNECTION PERMIT	PENDING	_	-
EPA SWPPP	PENDING	-	-

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

COVER

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT GREEN & COMPANY REAL ESTATE

SCALE: NTS

C-68 - C-75

DETAILS

APRIL 19, 2021



Civil Engineers Structural Engineers Traffic Engineers Land Surveyors

Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910

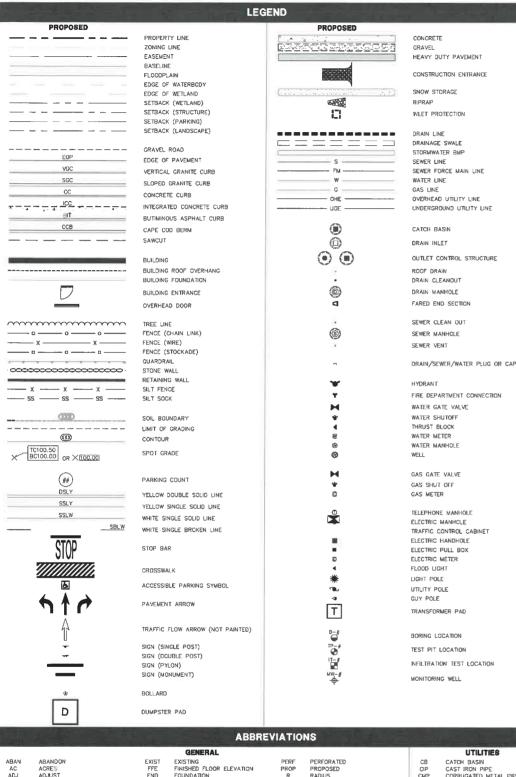
47388.11 DR JSM FB CK JJM CADFILE

47388-11_COVER

C-00

his plan is not effective unless signed by a duly authorized officer of





GENERAL NOTES

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TRMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WITTEN APPROVAL OF THE ENGINEER OF RECORD.
- 3. THE CONDOMINIUM SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 4. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PORTSMOUTH.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO COMPORT TO CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COOPDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- ALL INFRASTRUCTURE, INCLUDING CASTINGS, MANHOLES AND PIPES, AND METHODS OF INSTALLATION SHALL MEET CITY STANDARDS.
- 7. SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
- 8. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO
- 9. CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS. 10. PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE
- 11. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SFT.
- TEMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- 14. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND A OTHER ADJACENT OPERATING FACULTIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPH AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROJIES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/PEDERAL REGULATIONS.
- 15. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUIT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOOK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- 16. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- 17. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- 19. CONTRACTOR'S GENERAL RESPONSIBILITIES:
- A. BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
- B. NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
- C. EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
- E. TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS, CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS OF 7:00 AM AND 9:00 PM, MONEY THROUGH FRIDAY IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION, PORTSMOUTH, NEW HAMPSHIRE"
- F. MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
- COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- I. PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS.

 DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESS PLANS, PREPARED BY THMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERIANING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, ACENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- K. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARRICATIONS.
- OMDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR
- N. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVARIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
- 1. ADVANCE WRITTEN NOTICE AT LEAST ONE WEEK PRIOR TO COMMENCING ANY WORK UNDER
- THE PERMIT.
 2. IF ANY UNDERGROUND DETENTION SYSTEMS, INFLITRATION SYSTEMS, OR FILTERING SYSTEMS WERE INSTALL, FOR EACH SUCH SYSTEM:
 A. REPRESENTATIVE PHOTOGRAPHS OF THE SYSTEM, AFTER COMPLETION BUT PRIOR TO BACKTILLING; AND
- B. A LETTER SIGNED BY A QUALIFIED ENGINEER WHO OBSERVED THE SYSTEM PRIOR TO BACKFILLING. THAT THE SYSTEM CONFORMS TO THE APPROVED PLANS AND SPECIFICATIONS
- 3. UPON COMPLETION OF CONSTRUCTION, WRITTEN CERTIFICATION THAT:

GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHOES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN GNO! AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATI ABOUT SOIL AND GROUNDWATER CONDITIONS, THE CONTRACTOR SHALL FOLLOW GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- 8: COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINA ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEWENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- 10. THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINA SHALL NOT POND WATER DEEPER THAN $1/4^\circ$ FOR A PERIOD OF MORE THEN 15 MINUTES A FER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- 13. ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT. 16. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- 17. STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHODT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHODE STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 18. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- 20. ALL DISTURBED AREAS NOT TO BE PAYED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- - LOCATION
 BELOW PAVED OR CONCRETE AREAS
 TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
 BELOW LOAM AND SEED AREAS

BILLOW LOAM AND SEED AREAS

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE
OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH
ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH
ASTM D-1555 OR ASTM D-5939.

22. THE DESIGN OF THE BLOCK RETAINING WALL SYSTEM TO BE USED FROM ROUGHLY STATION 11-25 TO 3-10 SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION. THE WALL IS TO BE PERMITTED BY THE BUILDING INSPECTOR'S OFFICE AND NEEDS T BE INSPECTED BY THE CITY DURING CONSTRUCTION. THE P.E. OF RECORD WILL ALSO NEED TO SIGN OFF THAT THE WALL IS CONSTRUCTED PROPERLY BEFORE THE CITY WILL ACCEPT THE RINAL PRODUCT.

UTILITY NOTES

- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, COMPINCTIONS, AND CONSTRUCTION SHALL BE CORDENIATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, COUES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIGHT TO THE STRAT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCESIONS WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DISSAFE" (BIT) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWNGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- 5. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINA AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED THREE TO CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWNOS TO RENDER THE UTILITY INSTALLATION COMPLETE AND
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PV. AND SHALL CONFORM TO ASTME F 579 (SBR 35 MINIMUM). ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV—WO 700. SANITARY MANHOLES SHALL CONFORM TO NHOES WATER DINSION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- 10. ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF PORTSMOUTH STANDARDS AND SPECIFICATIONS, WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER, WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18' VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED, HORIZONTAL SEPARATION BETWEEN WATER AND OUTSIDE PIPE WALLS SHALL BE OBSERVED, HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE WHEN SANITARY LINES PASS BELLOW MATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
- 11. INSTALLATION OF ALL WATER AND SEWER TO BE WITNESSED BY A THIRD-PARTY INSPECTORS.
- 12. EACH CONDO WILL HAVE A SEPARATE IRRIGATION METER AND IRRIGATION SYSTEM.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- 14. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH CRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- 16. THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- 17. PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUIT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- 18 UNITES OTHERWISE SPECIFIED ALL LINDERCROLLING STRUCTURES SIDES CHAMBERS FTO SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- 19. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
 DRAINAGE MUNICIPAL
 SEWER MUNICIPAL
 WATER MUNICIPAL

UNITIL
EVERSOURCE
CONSCUDATED COMMUNICATIONS FKA FAIRPOINT COMMUNICATIONS
COMCAST



SITE DEVELOPMENT PLANS

AX MAP 242

NOTES AND LEGEND PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

1'=40' (11'X17') SCALE: MT20' (22'X34')

APRIL 19, 2021





Traffic Engineers
Land Surveyors

Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910

47388.11 DR JSM FB CK JJM CADFILE 47388-11 NOTES

BOTTOM OF CORB
BITUMINOUS
BOOK & PAGE
BUILDING
BOTTOM OF SLOPE
BOTTOM OF WALL
CONCRETE
COORDINATE DIAMETER ELEVATION EDGE OF PAVEMENT Copyright 2021 ©Thomas F. Moran, Inc. 48 Constitution Drive, Bedford, N.H. 03110 All rights reserved. These plans and materials may not be cop duplicated, replicated or otherwise reproduced in any form whols without the prior written permission of Thamas F. Moran, Inc. This plan is not effective unless signed by a duly authorized afficer of Thomas F. Moron, Inc.

BOTTOM OF CURB



HIGH POINT

REMOVE AND RESET RÉMOVE SLOPE SQUARE FEET SQUARE FEET
SIDEWALK
TEMPORARY BENCHMARK
TOP OF CURB
TEST PIT
TOP OF WALL
TYPICAL

ACCESSIBLE WHEELCHAIR RAME

CLEANOUT COND DCB DIP DMH F&C F&G FES GT HDPE HH HW HYD CONDUIT DOUBLE CATCH BASIN DUOBLE CATCH BASIN DUCTILE IRON PIPE DRAIN MANHOLE FRAME AND COVER FRAME AND GRATE FLARED END SECTION GREASE TRAP ORCASE IMAP
HIGH DENSITY POLYETHYLENE PIPE
HANDHOLE
HEADWALL
HANDHAMT HYDRANT LIGHT POLE

CATCH BASIN CAST IRON PIPE CORRUGATED METAL PIPE

OUTLET CONTROL STRUCTURE

DUTLET CONTROL STRUCTURE
POLYVINYL CHLORIDE PIPE
REINFORCED CONCRETE PIPE
ROOF DRAIN
SEWER MANHOLE
SEDIMENT OIL SEPARATOR
TAPPING SLEEVE, VALVE, AND BOX

A. ALL WORK UNDER THE PERMIT HA BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

B. IF ANY DEVIATIONS FRO THE APPROVED PLANS WERE MADE, WRITTEN DESCRIPTIONS AND AS-BUILT DRAWNIGS F ALL SUCH DEVIATION, STAMPED BY A QUALIFIED ENGINEER, SHALL BE PROVIDED.

accest Division

C - 01

NDUSTRIAL ZONE NATURAL RESOURCE PROTECTION ZONE

RADIUS RURAL ZONE ROCKINGHAM COUNTY REGISTRY OF DEEDS CENTRAL ANGLE SQUARE FEET

LINE # BEARING DISTANCE

L43 S69*37'42"W 88.49'

LINE # BEARING DISTANCE

85.87

544.02

N78°08'44"E

N51*37'18'E

"PLAN OF A LOT OF LAND BELONGING TO CHARLES H. HAYES PORTSMOUTH, N.H." BY A.C. HOYT SURVEYOR, DATED JULY 1896. RORD PLAN #0171.

"PLAN OF LAND FOR JOHN & MAUD HETT PORTSMOUTH, N.H. SURVEY BY ME JENKINS, LEE, N.H.", DATED DEC, 1898. RORD PLAN #C-1939.

"PROPERTY OF SWIFTWATER GIRL SCOUT COUNCIL CITY OF PORTSMOUTH N.H." SURVEYED BY JON MOORE, DATED DAY 31.

"SUBDIVISION OF LAND FOR ROBERT E. DOWD IN PORTSMOUTH, N.H." BY BRUCE L. POHOPEK LAND SURVEYORS DOVER, N.H., DATED MAY 31, 1978. REVISED OCT 5, 78. RORD PLAN #0-8312.

"SUBDIVISION PLAN OF LAND FOR THEODORE C. BURTT BANHELD ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY RICHARD P. MILLETTE AND ASSOCIATES, DATED DECEMBER 1951, WITH REMISION 2 DATED JANUARY, 1892. RORD PLAN #0-10795.

"STANDARD BOUNDARY SURVEY MAP 242 — LOT1 1 MAP 258 — LOT 54 MAP 253 — LOT 1-6 & 2 FOR THE NATURE CONSERVANCY N.H. ROUTE 33 GREENLAND ROAD COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC., DATED FEBRUARY 2008, WITH REVISION 1, DATED 4/13/06. RORD PLAN #0-33859.

"LOT LINE RELOCATION PLAN MAP R-65 LOTS 2A & 2B FOR HAROLD & MARILYN ECKER AND ELIZABETH K. HURLEY 422 & 470 BANFIELD ROAD PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM" BY AMBIT ENGINEERING, INC., DATED 5/26/00. RCRD PLAN #9-33859.

EASEMENTS AND RESTRICTIONS (E&R):

PLAN REFERENCES:

THE RIGHT TO USE SAID DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM SAID GREENLAND ROAD, ALONG BY SAID CEMETERY, AND ALONG THE ROUNDARY BETWEEN THE LANDS OF SAID PETER AND STELLA TO SAID RAILROAD, AND SUBJECT TO SAID PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).

(SEE ROLD SK.#5006 PG.#1603).

RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUIAL RIGHTS TO THE WATER OF SAID MELL SAID PUMP, THE PIPPS AND ANY OTHER EQUIPMENT USED NOW OR HEREAFTER IN COMMON, CHARGES OF CARE, URKEP, REPARKS OR REPLACEMENT TO SE BORNE EQUALLY, WITH MUITUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES, (SEE RCRD BK.#5066 PG.#1603).

100' WIDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY. (SEE RCRD 8K.#1052 PG.#321).

ABUTTERS ACROSS PEVERLY HILL ROAD:

NATHAN M. & SHERRI M. TARLETON 74 LEAVITT AVENUE

MAP 232 LOT 92

MAP 232 LOT 88

MAP 232 LOT 93

MAP 232 LOT 87

SUSAN L, DIXON

MAP 232 LOT 95

N/F CITY OF PORTSMOUTH DPW PO BOX 828 PORTSMOUTH, NH 03802 RCRD BK#2247 PG.#0239

MAP 265 LOT 2D N/F

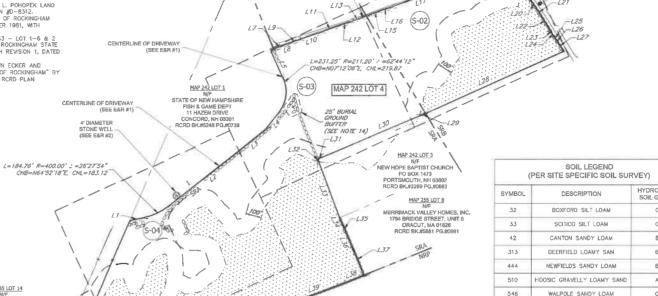
CITY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH, NH 03802

MAP 265 LOT 2E

PORTSMOUTH, NH 03801 RCRD RK #5885 PG #1471

KENNETH T. BLACK 82 PEVERLY HILL ROAD

PORTSMOUTH, NH 0380* RCRD BK.#3743 PG.#194



SOIL LEGEND (PER USDA NRCS WEB SOIL SURVEY)							
SYMBOL	DESCRIPTION	HYDROLOGIC SOIL GROUP					
33A	SCITICO SILT LOAM, 0% - 5% SLOPES	C/D					
38A	ELDRIDGE FINE SANDY LOAM, 0% - 3% SLOPES	C/D					
134	MAYBID SILT LOAM	C/D					
140C	CHATFIELD-HOLLIS-CANTON COMPLEX, ROCKY 8 TO 15 PERCENT SLOPES	В					
313A	DEERFIELD LOAMY FINE SAND, 0% - 3% SLOPES	A					
460C	PENNICHUCK CHANNERY VERY FINE SAND LOAM, 8% - 15% SLOPES	С					
495	NATCHAUG MUCKY PEAT, 0% 2% SLOPES-	B/D					
510B	HOOSIC GRAVELLY FINE SANDY LOAM, 3% - 8% SLOPES	A					
510C	HOOSIC GRAVELLY FINE SANDY LOAM, 8% - 15% SLOPES	A					
538A	SQUAMSCOTT FINE SANDY LOAM, 0% - 5% SLOPES	C/D					

SOIL NOTE:

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INHILITATION REQUIREMENTS BY THE INI DES ALTERATION OF TERRAIN BURSEAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.

THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED 04-17-2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, GOVE ENVIRONMENTAL SERVICES, INC., FOR SITE LOCATED OF PEVERLY HILL ROAD, PORTSMOUTH, NH. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH. ISSUE # 10, JANUARY 2011.

HIGH INTENSITY SOIL SURVEY (HISS) CONVERSION IS DETERMINED BY THE SOIL PROPERTIES IDENTIFIED IN "HIGH INTENSITY SOIL MAPPING STANDARD FOR NH", SSSNNE SPECIAL PUBLICATION NUMBER 1, DECEMBER, 2017.

HYDROLOGIC SOIL GROUPS ARE DETERMINED FROM SSSNNE SPECIAL PUBLICATION NUMBER 5, "KSAT

ANTOTO LOK LITER III	MIET STITLE SOILS , SET TENEDER, 2025.	
SOIL SYMBOL	SOIL MAP UNIT	HYDROLOGIC GROUP
32	BOXFORD SILT LOAM	С
33	SCITICO SILT LOAM	C
42	CANTON SANDY LOAM	В
313	DEERFIELD LOAMY SAND	В
444	NEWFIELDS SANDY LOAM	В
510	HOOSIC GRAVELLY LOAMY SAND	A
546	WALPOLE SANDY LOAM	C
B SLOPE = 0-8%		
C SLOPE = 8-15%		



		or opine besie in the		
2	7/21/2021	UPDATED NOTES	BMK	1¢¢
1	6/21/2021	NO REVISIONS THIS SHEET	IID	BMK
REV.	DATE	DESCRIPTION	DR	CK



PEVERLY HILL

ROAD

- THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.
- 2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4. 3. THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270F, MAP REVISED JANUARY 20, 2021

LOCATION PLAN

	LU, LULI.		
4.	DIMENSIONAL REQUIREMENTS:		UIRED:
	MINIMUM LOT AREA:	SRA 1 ACRE	SRB 15.000 SF
	LOT AREA PER DWELLING UNIT:	1 ACRE	15,000 SF
	CONTINUOUS STREET FRONTAGE:	150"	100°
	LOT DEPTH:	200"	100°
	MINIMUM YARD DIMENSIONS:		
	FRONT:	30"	30'
	SIDE:	20"	10"
	REAR:	40"	30'
	MAXIMUM STRUCTURE DIMENSIONS:		
	STRUCTURE HEIGHT:		
	SLOPED ROOF	35"	35'
	FLAT ROOF	30"	30°
	BUILDING COVERAGE:	10%	20%
	MINIMUM OPEN SPACE:	50%	40%
	PER THE CITY OF PORTSMOUTH ZONIN	IG ORDINANCE SECTION	10.520.

- 5. OWNER OF RECORD:

 MAP 242 LOT 4:

 STELLA B. STOKEL 1993 TRUST,

 NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL

 83 PEVERLY HILL ROAD

 PORTSMOUTH, NH 03801

 RCRD BK.#5056 PG.#1603
- PARCEL AREA: MAP. 242 LOT 4: 4,604,509 S.F.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS, IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TILE. THE PURPOSE OF THIS PLAN IS TO SHOW THE OVERALL BOUNDARY LINES OF MAP 242

- MILITARY OF OWNERSHIP OR DEFINE THE LIMITS OF TIRLE

 1. THE MERGES OF THIS PLAN IS TO SHOW THE OVERALL BOUNDARY LINES OF MAP 242

 1. THE MERGES OF THIS PLAN IS TO SHOW THE OVERALL BOUNDARY LINES OF MAP 242

 1. THE MERGES OF THIS PLAN IS TO SHOW THE OVERALL BOUNDARY LINES OF MAP 242

 1. THE MERGES OF THIS PLAN IS TO SHOW THE OVERALL BOUNDARY LINES OF MAP 242

 1. THE MERGES OF THE SHOW THE OWNER OF THE MERGES OF THE WESTICAL DATUM IS NAVDBS (GEOIDIZB) PER STATIC OPS OBSERVATIONS. THE CONTOUR INTERVAL IS 2 FEET.

 1. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINCHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.

 1. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS CONTRACTOR SHALL CONTACT DIG SAFE.

 3. WEILAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENDINEERS WEILAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON ROPHELED BY CORP OF ENDINEERS WEILAND DEALDRAID WAS IN AD THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENDINEERS WEILAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON THE PROPERTY THE REGIONAL SUPPLEMENT TO THE CORPS OF ENDINEERS WEILAND DELINEATION MANUAL: NORTHELESTRELD. PLED LOCATED BY THRORAM, INC.

 1. THE NEGLECTED BURBLE ORDING SHOWN ON SHEET SELEVED TO BE THE ACKNOWLEDGE THAT ALL BOOKS HAVE BEEN EXHLURD FROM THIS LOCATION. NO GRAVESTONES EXIST AT THIS BURBLE GROUND. THE 26' BUFFER TO THE BURBLE GROUND IS SHOWN AS AN A BAUNDANCE OF CAUTION.

 1. SEE SHEETS S-02 THRU S-04 FOR DETAILS.

TAX MAP 242 LOT 4

OVERALL EXISTING CONDITIONS PLAN PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE

COUNTY OF ROCKINGHAM

OWNED BY STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL

8CALE: 1' = 300' (22x34) 1' = 600' (11x17)

47388-11



tural Engineers offic Engineers

170 Commerce Way, Suite 102 Phone (603) 431-2222 Fox (603) 431-0910 www.tfmoran.com

APRIL 19, 2021

\$-01

L3	N50"33'19"E	248.37"	L45	S68°46'51"W	56,811
L4	N38°55'51°E	136.50'	L48	S67*27'31"W	81.81'
L5	N24°30'55"W	199.99'	L47	S67°26'04"W	67,58
L7	N69*17*23*E	56.05	L48	S68*24'11"W	247,91
L8	N69°46'08"E	65.15'	L49	S70°35'06"W	20,09
L9	N70*28'21"E	57.22"	L50	S02°20'46"W	96,94
L10	N70"58'09"E	146.93'	L51	S04°10'09"W	71.99
L11	N69"38"29"E	122.30'	L52	502°55'30"W	60.89*
L12	N71°01'01°E	69.20'	L53	504"46'48"W	64.75
L13	N70"36"35"E	73.15	L54	S04"06'17"W	73.30
L14	N70*09*53*E	65,99*	L55	S02°44'38"W	55.33°
L15	N68*45*39*E	56,30°	L56	S30°51'45"W	36.06*
L16	N71°22'53"E	90.32*	L57	S29"37"18"W	72.38°
L17	N69"46"51"E	792,39	L58	S30°17'36"W	108,68
£18	N33"28'11"W	253,491	L59	S29°36′04″W	113,60
L19	N30°43'03"W	25.87	L60	S29°36'07"W	62.04*
L20	N34"50"10"W	64.05	L61	\$30°55'15"W	107,77
L21	N32*23'37"W	59,66	L62	S27°41'10"W	68.75°
L22	N32°36'14"W	75.31'	L63	S30°19′04°W	62.95'
L23	N32°30'33"W	44.57	L64	S28° 10'44"W	90.88'
L24	N31°38'38"W	14,39'	L65	\$27°46'33"W	84,72
L25	N33°17'28'W	36.28	L66	S28°09'12"W	63.04'
L26	N33"32'47"W	33.10°	L67	S29°23'48' W	74.83
1.27	N32°28'55"W	58.19	L68	\$29"32"16"W	94,54
L28	\$65°32'22"W	961,06'	L69	\$29°00'39"W	86,86'
L29	S69*39'32"W	39.37	L70	\$28*38'51"W	79.24'
L30	S68°43'10"W	699.69*	L71	S15"03'54"E	206.01
L31	\$61°50'59"W	21.03'	L72	S15°34'48"E	56,79"
L32	\$21°45′52°E	10.17'	L73	\$16*34'18"E	55.67"
L33	S20°39'30"E	392.22'	L74	S14"35'44"E	35.23'
L34	S24°19'08°E	65.84*	L75	S15°16'42"E	66.01
L35	S22*34'53*E	52.86*	L76	S16*55'11*E	94.84'
L36	S23°02'43"E	111.50'	L77	S15°41′57°E	93,63'
L37	S22°45'01"E	171.93'	L78	N62°33'20"E	210.79
L38	S87°19'43"W	152,24'	L79	N60°22'36"E	85,15'
L39	\$69"35'00"W	360.76	L80	N60°02'43"E	125.36
L40	S71*11'01"W	41.19'	L81	N61°36'13"E	1100.89
L41	S69°52'05"W	74,38	L82	\$22°55'14"W	3930,00
L42	\$68°05'19"W	38.26		-	

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

APOSTOLIC CHURCH OF J CHRIST 500 BANFIELD ROAD

NO. 4544 844 J. COREY COLVELL

ACCTOD.

-150

-151 L52

153 L54

-155

MAP 255 LOT 1 N/F

N/F SWIFT WATER GIRL SCOUT COUNCIL ONE COMMERCE DRIVE BEDFORD, NH 03110

L57-L58-

L61

-/63

159-

2021-07-21

MAP 243 LOT 50 N/F ASRT, LLC 266 MIDDLE STREET PORTSMOUTH, NH 03801 RCRD BK,#6184 PG,#1176 -169 MAP 243 LOT 51 N/F AJE! REAL ESTATE ILC 163 SPINNEY ROAD PORTSMOUTH, NH 03801 RCRD BK.#5887 PG.#0463 MAP 243 LOT 52 -175 CITY OF PORTSMOUTH DPW PO BOX 628 179-

MAP 265 LOT 2

P. GOVE

MAP 265 LOT 2A

DAVID W. ECKER 875 BANFIELD ROAD PORTSMOUTH, NH 0380 RCRD BK,#6091 PG,#0374

MAP 265 LOT 2B

MAP 265 LOT 2C

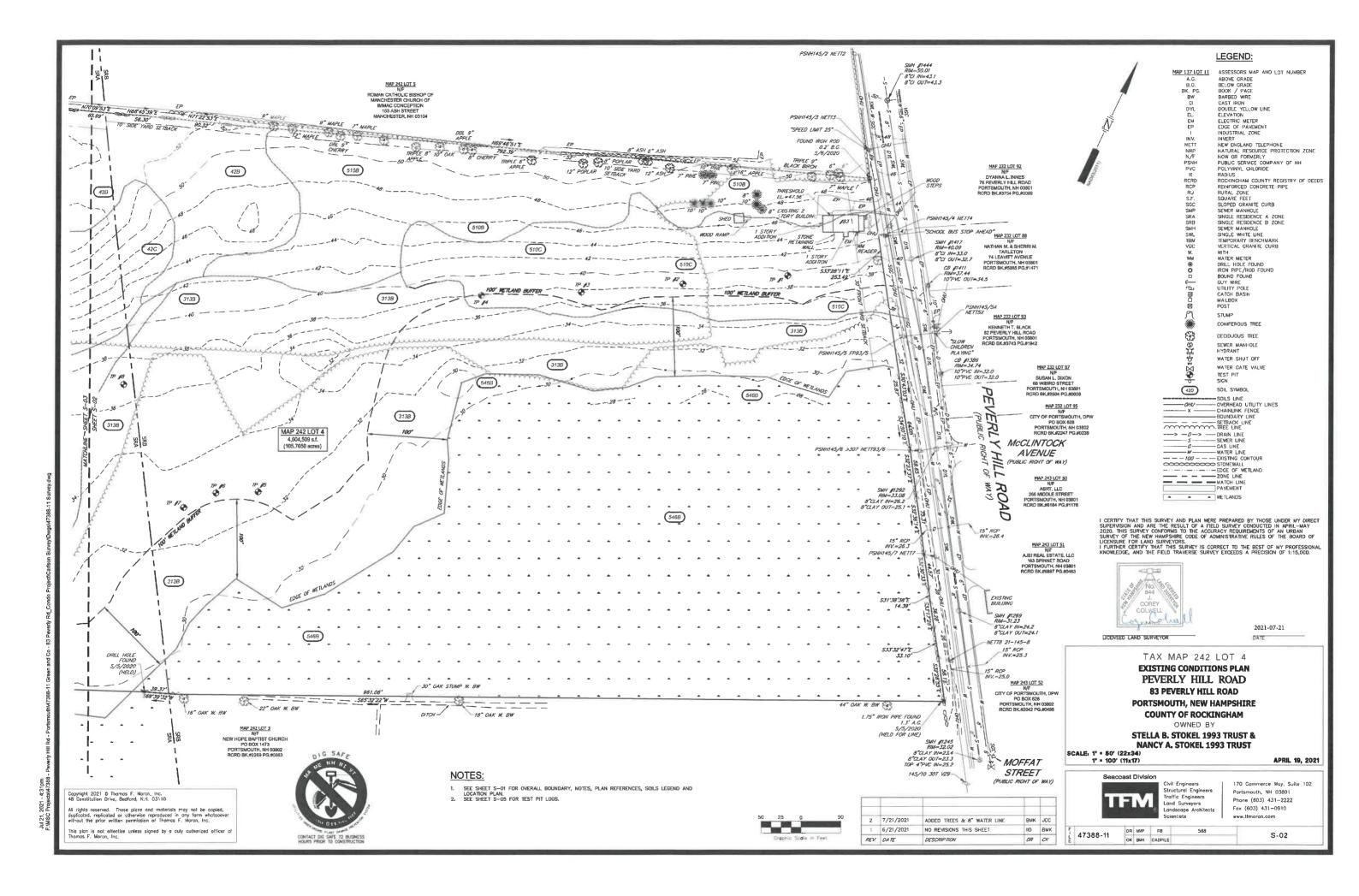
MAP 165 LOT 14

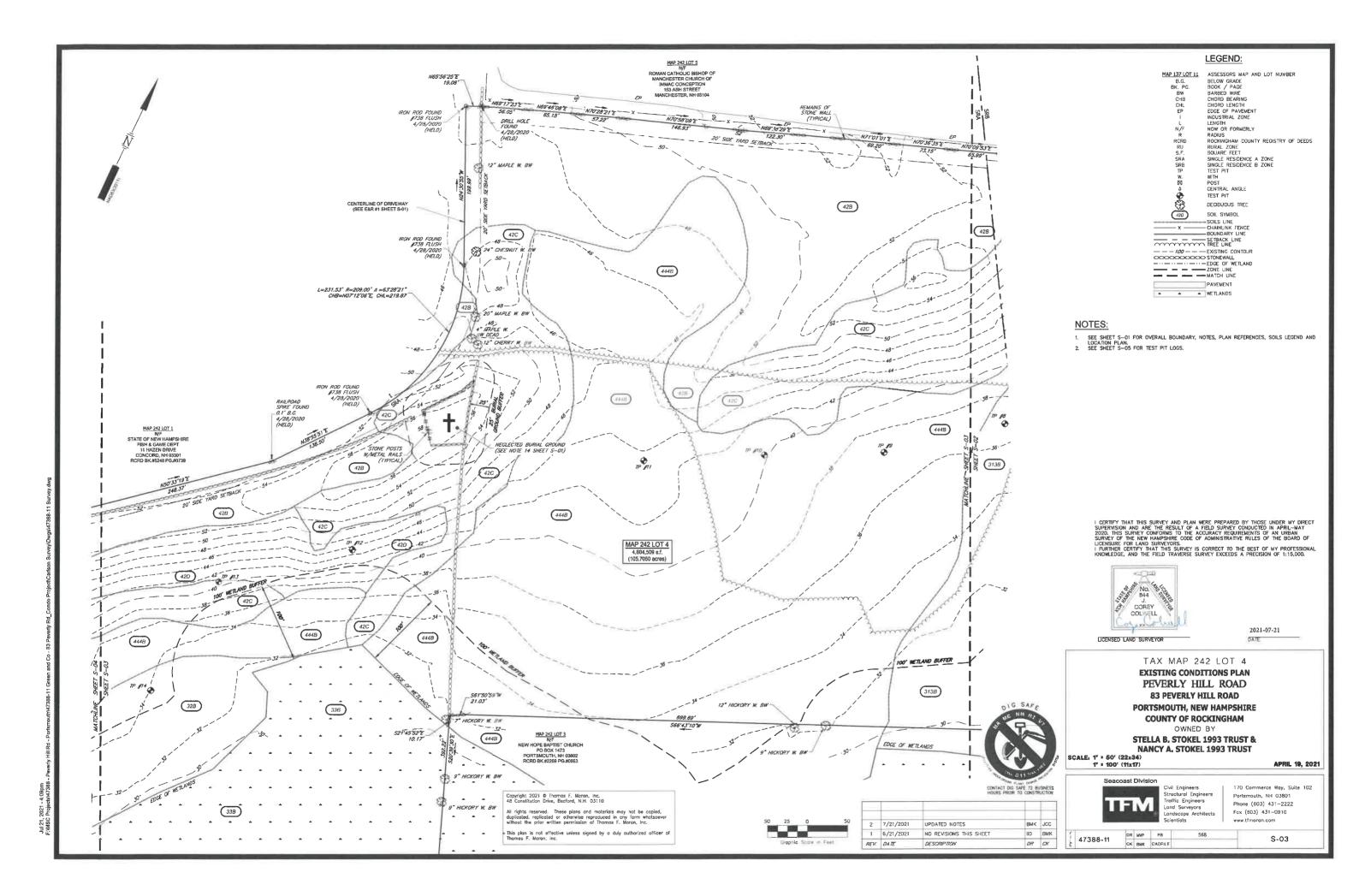
N/F BOSTON & MAINE CORPORATION IRÔN HORSE PARK HIGH STREET NORTH BILLERICA, MA 01862

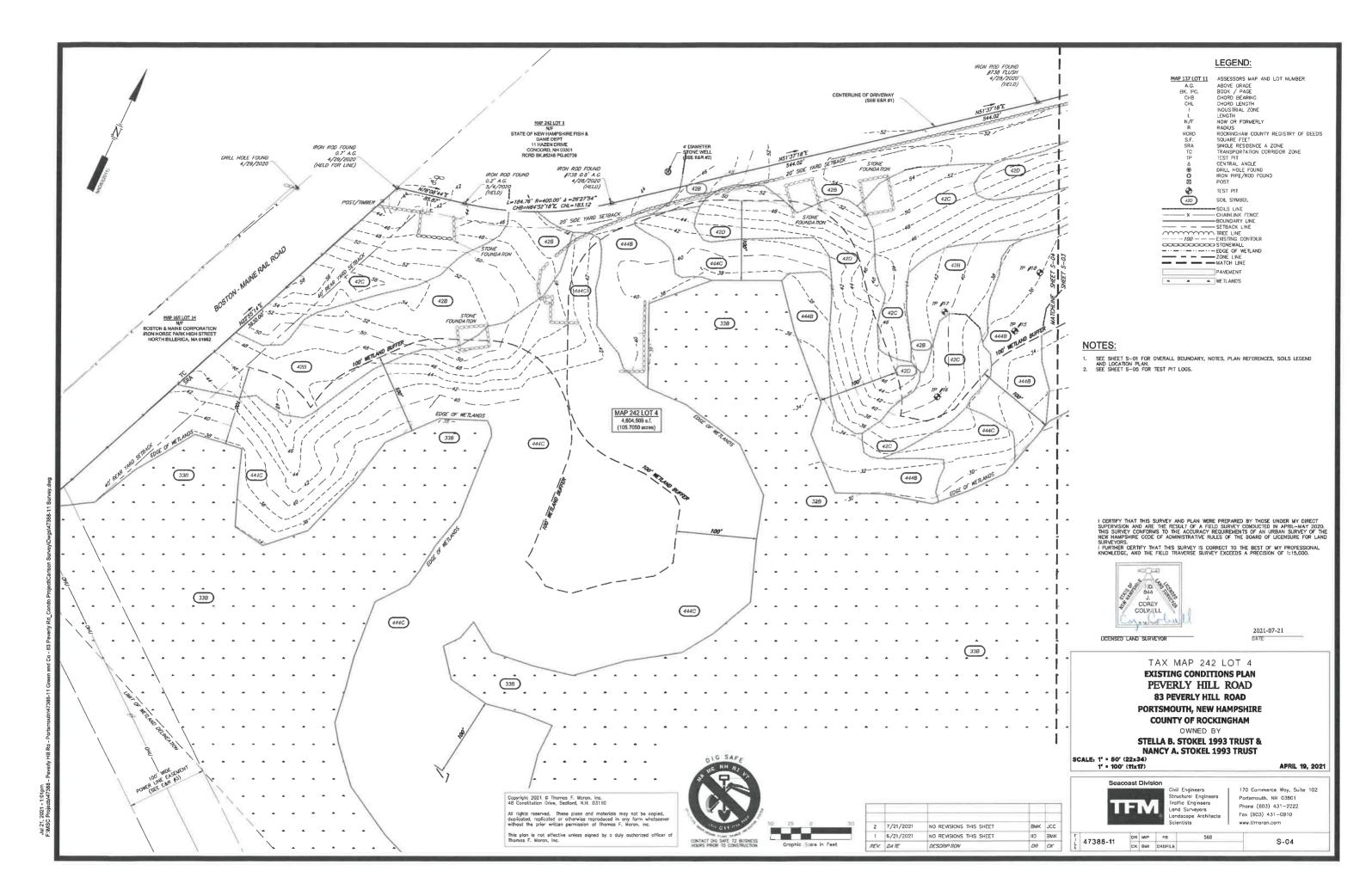
POWER LINE EASEMENT (SEE E&R #3)

MAP 255 LOT 5 N/F

NF
THOMAS E, & MARYBETH B, REIS AND
JAMES B, & MEEGAN C, REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801







TEST PIT LOGS:

			601					
ESHWT:			49"					
Termination @			95"					
			No					
Obs. Water:			None					
	Depth	c	olor	Texture	Structure	Consistenc	REDO	X; Quantity/Contrast
	0-7"	103	/R3/3	GRLS	GR	FR		NONE
	7-49"	103	'R4/6	GRLS	GR	FR		NONE
	49-95"	10YR4/4	T	GRS	OM	FR	10YR2/1,	
	49-93	101 R4/4	-	UKS	OM	- FR	C/P	
			1,	_				
Test Ptt No.			602			-	-	
ESHWT:			11"					
Termination	@		96"					
Refusal:			No					
Obs. Water:			None					
	Depth	C	olor	Texture	Structure	Consistenc	REDO	X; Quantity/Contrast
	0=9"		'R3/3	GRLS	GR	FR		NONE
	9-44"		R3/3	GRLS	GR	FR		NONE
			K4/6	_			7.5YR5/8,	NONE
	44-96"	IOYR4/4		GRS	ОМ	FR	7.5 Y K5/8, C/P	
Test Pit No.			603					
ESHWT:			36"					
Termination	a		109"					
Refusal:	·		No.					
Refusal; Obs. Water;		_	None					
ODS, Water;	Depth	^	None	Texture	Structure	Consistenc	REDO	X; Quantity/Contrast
	0-12"		R3/2	GRSL	GR	FR		NONE
	12-36"	IOY	R4/6	GRSL	GR	FR	a sumar	NONE
	36-109"	2.5Y5/4		GRLS	PL	FI	7.5YR5/8, C/P	
	104							
Test Pit No.	- 6		604					
Test Pit No.			604 55"					
	@							
ESHWT: Termination	@		55"					
ESHWT: Termination Refusal:	@		55" 95"					
ESHWT: Termination Refusal:			55" 95" No None	Tentura	Sprinters	Consistenc	8500	X: Described Contract
ESHWT: Termination Refusal:	Depth		55" 95" No None	Texture	Structure	e	REDO	X; Quantity/Contrast
ESHWT:	Depth 0-14"	IOY	55" 95" No None blor	GRSL	GR	e FR	REDO	NONE
ESHWT: Termination Refusal:	Depth	IOY	55" 95" No None			e		
ESHWT: Termination Refusal:	Depth 0-14"	IOY	55" 95" No None blor	GRSL	GR	e FR	REDO:	NONE
ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55"	10Y	55" 95" No None blor R3/3 R4/6	GRSL GRSL	GR GR	e FR FR	7 5YR5/8	NONE
ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55"	10Y	55" 95" No None blor R3/3 R4/6	GRSL GRSL	GR GR	e FR FR	7 5YR5/8	NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT:	Depth 0-14" 14-55" 55-95"	10Y	55" 95" No None None 605 37"	GRSL GRSL	GR GR	e FR FR	7 5YR5/8	NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination	Depth 0-14" 14-55" 55-95"	10Y	55" 95" No None None 1010r R3/3 R4/6 605 37" 102"	GRSL GRSL	GR GR	e FR FR	7 5YR5/8	NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination Refusal:	Depth 0-14" 14-55" 55-95"	10Y	55" 95" No None None 605 37" 162" No	GRSL GRSL	GR GR	e FR FR	7 5YR5/8	NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination Refusal:	Depth 0-14" 14-55" 55-95"	10Y	55" 95" No None None 1010r R3/3 R4/6 605 37" 102"	GRSL GRSL	GR GR	e FR FR FI	7 5YR5/8	NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination Refusal:	Depth 0-14" 14-55" 55-95"	10Y 10Y 2.5Y5/4	55" 95" No None None 100 R3/3 R4/6 605 37" 102" No None	GRSL GRSL	GR GR	e FR FR	7.5YR5/8, C/P	NONE NONE NONE NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination Refusal:	Depth 0-14" 14-55" 55-95" @ Depth 0-7"	10Y 10Y 2.5Y5/4	55" 95" No None None 10or R3/3 R4/6 605 37" 102" No None	GRSL GRSL GRLS Texture LS	GR GR PL Structure	e FR FR FR FI Consistence o FR	7.5YR5/8, C/P	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination Refusal:	Depth 0-14" 14-55" 55-95"	10Y 10Y 2.5Y5/4	55" 95" No None None 100 R3/3 R4/6 605 37" 102" No None	GRSL GRSL GRLS	GR GR PL	e FR FR FI Consistence	7.5YR5/8, C/P	NONE NONE NONE NONE
ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" @ Depth 0-7"	10Y 10Y 2.5Y5/4	55" 95" No None None 10or R3/3 R4/6 605 37" 102" No None	GRSL GRSL GRLS Texture LS	GR GR PL Structure	e FR FR FR FI Consistence o FR	7.5YR5/8, C/P	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37"	10Y 10Y 2.5Y5/4 Cc 10Y	55" 95" No None None 10r R3/3 R4/6 605 37" 102" No None 100r R3/3 R5/6	GRSL GRSL GRLS Texture LS LS	GR GR PL Shuchure GR GR	e FR FR FR FR FR FR FR FR FR	7.5YR5/8, CP	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. Test Pit No. Refusal: Obs. Water: Termination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37"	10Y 10Y 2.5Y5/4 Cc 10Y	55" 95" No None None 10or R3/3 R4/6 605 37" 102" No None 1048 R5/6 606	GRSL GRSL GRLS Texture LS LS	GR GR PL Shuchure GR GR	e FR FR FR FR FR FR FR FR FR	7.5YR5/8, CP	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test PH No. ESHWT: Tormination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Cc 10Y	55" 95" No None lolor R3/3 R4/6 605 30" None 606 30"	GRSL GRSL GRLS Texture LS LS	GR GR PL Shuchure GR GR	e FR FR FR FR FR FR FR FR FR	7.5YR5/8, CP	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Obs. Water: Test PH No. ESHWT: Termination Refusal: Obs. Water: Test PH No. ESHWT: Termination Test PH No. ESHWT: Termination	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Cc 10Y	55" 95" No None 1010or 123/3 R4/6 605 37" 102" No None 102" 873/3 875/6	GRSL GRSL GRLS Texture LS LS	GR GR PL Shuchure GR GR	e FR FR FR FR FR FR FR FR FR	7.5YR5/8, CP	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test PH No. ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Cc 10Y	55" 95" No None lolor R3/3 R4/6 605 30" None 606 30"	GRSL GRSL GRLS Texture LS LS	GR GR PL Shuchure GR GR	e FR FR FR FR FR FR FR FR FR	7.5YR5/8, CP	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test PH No. ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Cc 10Y	55" 95" No None 1010or 123/3 R4/6 605 37" 102" No None 102" 873/3 875/6	GRSL GRSL GRLS Texture LS LS	GR GR PL Shuchure GR GR	e FR FR FR FR FR FR FR FR FR	7.5YR5/8, CP	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test PH No. ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Co 10Y 10Y 2.5Y5/3	55" 95" No N	GRSL GRSL GRLS Texture LS LS	GR GR PL Shuchure GR GR	e FR FR FR FR FR FR FR FR FR	7.5YR5/8, C/P REDO:	NONE NONE **Country/Contrast NONE
ESHWT: Termination Refusal: Obs. Water: Test PH No. ESHWT: Termination Refusal: Obs. Water:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Cc 10Y 10Y 2.5Y5/3	55" 95" No None lor RR3/3 R4/6 605 37" 102" No None 606 606 39" 7" No None None	GRSL GRSL GRLS Texture LS LS S	GR GR PL Structure GR GR OM	e FR FR FI Consistence FR FR FR Consistence Consistence FR	7.5YR5/8, C/P REDO:	NONE NONE NONE N: Quantity/Contrast NONE NONE
ESHWT: Termination Refusal: Obs. Water: Test Pit No. ESHWT: Termination Refusal:	Depth 0-14" 14-55" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Cc 10Y 10Y 2.5Y5/3	55" 95" 95" No None None 605 37" 102" No None 606 30" 606 30" No None 606 None 607 8873	GRSL GRSL GRLS Texture LS LS S	GR GR PL Structure GR GR OM	E FR FR FR FR FR Consistence	7.5YR5/8, C/P REDO:	NONE NONE St. Quantity/Contrast NONE NONE NONE Xt. Quantity/Contrast
ESHWT: Termination Test Pit No. ESHWT: Torraination Refusal: Obs. Water: Test Pit No. ESHWT: Test Pit No. ESHWT: Test Pit No. Refusal: Test Pit No. Refusal: Test Pit No. Refusal: Refusal: Test Pit No. Refusal: Refusal:	Depth 0-14" 1-455" 55-95" Depth 0-7" 7-37" 37-102"	10Y 10Y 2.5Y5/4 Cc 10Y 10Y 2.5Y5/3	55" 95" No None None REV3 605 605 None 102" No None 606 606 30" 97" No None 606 606 30" 97" No None 606 606 83/3	GRSL GRSL GRLS Texture I.S I.S S Texture LS	GR GR PL Shuchure GR GR OM Shuchure	Consistence Consistence FR	7.5YR5/8, C/P REDO:	NONE NONE NONE St. Quantity/Contrast NONE NONE NONE NONE NONE NONE NONE

			907						
ESHWT:			30"						
Termination @	9		146						
Refusal:			No.						_
Obs. Water:			None						
	Depth	_	olor	Texture	Structure	Consistenc	DEINY	X; Quantity/Co	on treet
						e	REDU		Atm mak
	0-9"		/R3/3	LS	GR	FR		NONE	
	9-30"	107	'R5/6	LS	GR	FR		NONE	
	30-96"	2,5Y3/3		S	OM	FR	2.5Y6/6, C/D		
-	_	_	-	_		_	CD		_
Test Plt No.		_	608	-	_	_			-
ESHWT:			23"						_
Termination @			97						
Refusal:	3		_		_				_
			No						_
Obs. Water;	_		None	-		To .			_
	Depth	C	olor	Texture	Structure	Consistenc	REDO	X; Quantity/Co	ntrasi
	0-8"	101	(R3/3	LS	GR	FR		NONE	
	8-23"		R4/6	LS	GR	FR		NONE	
				_			7.5YR5/8,		
	23-97"	2.5Y5/3		S	ОМ	FR	C/P		
Test Pit No.			609						
ESHWT:			35"						
Termination @)		111"						
Refusal;			No						
Obs. Water.			None						
	Depth	-	olor	Texture	Structure	Consistenc	perv	X; Quantity/Co	n lres
	- 1			11		0	ABDO.		-su est
	0-12"		R3/3	GRSL	GR	FR		NONE	
	12-35"	101	R4/6	GRSL	GR	FR		NONE	
	35-111"	2,5Y5/3		VFS	ОМ	FR	7.5YR5/8, C/P		
_	_			-		-	OP		
									-
Test Pit No.			610						_
ESHWT:			30"						
ESHWT: Termination @			30° 107°						
ESHWT: Termination @ Refusal:)		30° 107°						
ESHWT: Termination @ Refusal:			30° 107°						
ESHWT: Termination @ Refusal:	Depth	C	30° 107°	Texture	Structure	Consistenc	REDO	X; Quantity/Co	ntrast
ESHWT: Termination @ Refusal:			30° 107° No. None	Texture ORSL	Structure GR	Consistenc c	REDO	X, Quantity/Co	ntrast
ESHWT: Termination @ Refusal:	Depth	101	30° 107° No. Nom	*******	• *************************************	c	REDO		ntrast
ESHWT: Termination @ Refusal:	Depth 0-12" 12-30"	107	30° 107° No. None	ORSL GRSL	GR GR	FR FR		NONE	ntrast
ESHWT: Termination @ Refusal:	Depth	101	30° 107° No. None	ORSL	GR	e FR	REDOX	NONE	ntrast
ESHWT: Termination @ Refusal:	Depth 0-12" 12-30"	107	30° 107° No. None	ORSL GRSL	GR GR	FR FR	7.5YR5/8,	NONE	ntrast
ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 12-30"	107	30° 107° No. None	ORSL GRSL	GR GR	FR FR	7.5YR5/8,	NONE	ntrast
ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 12-30"	107	30° 107° No No Non Polor R3/3 R5/6	ORSL GRSL	GR GR	FR FR	7.5YR5/8,	NONE	ntrest
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT:	Depth 0-12" 12-30" 30-107"	107	30° 107" No No Nom: color R3/3 R5/6	ORSL GRSL	GR GR	FR FR	7.5YR5/8,	NONE	ntrest
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @	Depth 0-12" 12-30" 30-107"	107	30° 107° No Note: Note: 107° 107° 100 100 100 100 100 100 100 100 100 10	ORSL GRSL	GR GR	FR FR	7.5YR5/8,	NONE	ntrast
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal:	Depth 0-12" 12-30" 30-107"	107	30° 107° No Note: Note: 107° 107° No 107° 101° 101° 101° 101° 101° 101° 101°	ORSL GRSL	GR GR	FR FR	7.5YR5/8,	NONE	ntrasi
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal:	Depth 0-12" 12-30" 30-107"	10Y 10Y 2.5Y5/4	30" 107" No None 107" No None 107" No None 107" 107" 107" 107" 107" No None	ORSL GRSL VFS	GR GR OM	FR FR	7.5YR5/8, C/P	NONE	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal:	Depth 0-12" 12-30" 30-107"	10Y 10Y 2.5Y5/4	30° 107° No None Slor R3/3 R5/6 611 29° No None	ORSL ORSL VFS Texture	GR GR OM	FR FR FR Consistence	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal:	Depth 0-12" 12-30" 30-107"	2.5Y5/4 Co	30° 107° No Note: clor R3/3 R5/6 611 29° No None clor R3/2	ORSL ORSL VFS Texture GRFSL	GR GR OM	FR FR Consistence	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal:	Depth 0-12" 12-30" 30-107"	2.5Y5/4 Co	30° 107° No None Slor R3/3 R5/6 611 29° No None	ORSL ORSL VFS Texture	GR GR OM	FR FR FR Consistence	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	
Test Pit No. ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 12-30" 30-107"	10Y 10Y 2.5Y5/4 Co 10Y	30° 107° No Note: clor R3/3 R5/6 611 29° No None clor R3/2	GRSL VFS Texture GRFSL GRLS	GR GR OM	c FR FR FR FR FR Consistenc o FR FR	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal:	Depth 0-12" 12-30" 30-107"	2.5Y5/4 Co	30° 107° No Note: clor R3/3 R5/6 611 29° No None clor R3/2	ORSL ORSL VFS Texture GRFSL	GR GR OM	FR FR Consistence	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 12-30" 30-107"	10Y 10Y 2.5Y5/4 Co 10Y	30° 107" No Nome solor R3/3 R5/6 611 29" 105" No None solor R3/2 R4/6	GRSL VFS Texture GRFSL GRLS	GR GR OM	c FR FR FR FR FR Consistenc o FR FR	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 12-30" 30-107"	10Y 10Y 2.5Y5/4 Co 10Y	30° 107° No No No No No R3/3 R5/6 611 29° 105° No None clor R3/2 R4/6	GRSL VFS Texture GRFSL GRLS	GR GR OM	c FR FR FR FR FR Consistenc o FR FR	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 30-107" Depth 0-12" 12-29" 29-105"	10Y 10Y 2.5Y5/4 Co 10Y	30° 107° No Nome blor R3/3 R5/6 611 29° No None clor R3/2 R4/6 612 38°	GRSL VFS Texture GRFSL GRLS	GR GR OM	c FR FR FR FR FR Consistenc o FR FR	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Plt No. ESHWT: Test Plt No. ESHWT: Termination @ Refusal:	Depth 0-12" 30-107" Depth 0-12" 12-29" 29-105"	10Y 10Y 2.5Y5/4 Co 10Y	30° 107° No No No R3/3 R5/6 611 29° 105° No None 100lor R3/2 R4/6	GRSL VFS Texture GRFSL GRLS	GR GR OM	c FR FR FR FR FR Consistenc o FR FR	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Plt No. ESHWT: Test Plt No. ESHWT: Termination @	Depth 0-12" 30-107" Depth 0-12" 12-29" 29-105"	10Y 10Y 2.5Y5/4 Co 10Y	30° 107° No Nome blor R3/3 R5/6 611 29° No None clor R3/2 R4/6 612 38°	GRSL VFS Texture GRFSL GRLS	GR GR OM	c FR FR FR FR FR Consistenc o FR FR	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 30-107" Depth 0-12" 12-29" 29-105"	10Y 10Y 2.5Y5/4 Co 10Y	30° 107° No No No R3/3 R5/6 611 29° 105° No None 100lor R3/2 R4/6	GRSL VFS Texture GRFSL GRLS	GR GR OM	c FR FR FR FR FR Consistenc o FR FR	7.5YR5/8, C/P	NONE NONE *Comparing the comparing the comp	
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 30-107" Depth 0-12" 12-29" 29-105"	10Y 10Y 2.5Y5/4 Cc 10Y 10Y 2.5Y5/4	30" 107" 107" 107" No N	ORSL ORSL VFS Texture GRFSL GRLS VFS	GR GR OM	PR FR FR Consistence FR FR Consistence FR FR Consistence	7.5YR5/8, OP REDOX	NONE NONE NONE K; Quantity/Co NONE NONE	ntest
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 30-107" Depth 0-12" 12-29" 39-105"	10Y 10Y 2.5Y5/4 Cc 10Y 10Y 2.5Y5/4	30" 107" 107" 107" No	ORSL ORSL VFS Texture GRFSL GRLS VFS	GR GR OM Structure GR GR OM Structure	Consistenc	7.5YR5/8, OP REDOX	NONE NONE NONE K; Quantity/Co NONE NONE X; Quantity/Co	ntest
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal:	Depth Depth Depth Depth Depth Depth Depth Depth Depth	10Y 10Y 2.5Y5/4 Ct 10Y 10Y 2.5Y5/4	30" 107" 107" None None R33 611 611 29" No None 612 38" 92" No None 612 8846	ORSL ORSL VFS Texture GRFSL GRLS VFS Texture GRSLS VFS	GR GR OM Structure GR GR OM Structure GR GR	Consistence o FR	7.5YR5/8, OP REDOX	NONE NONE NONE (C. Quantity/Co NONE NONE NONE NONE NONE	ntast
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth 0-12" 30-107" Depth 0-12" 12-29" 39-105"	10Y 10Y 2.5Y5/4 Ct 10Y 10Y 2.5Y5/4	30" 107" 107" 107" No	ORSL ORSL VFS Texture GRFSL GRLS VFS	GR GR OM Structure GR GR OM Structure	Consistenc	7.5YR5/8, OP REDOX	NONE NONE NONE K; Quantity/Co NONE NONE X; Quantity/Co	ntast
ESHWT: Termination @ Refusal: Obs. Water: Test Pit No. ESHWT: Termination @ Refusal: Obs. Water:	Depth Depth Depth Depth Depth Depth Depth Depth Depth	10Y 10Y 2.5Y5/4 Ct 10Y 10Y 2.5Y5/4	30" 107" 107" None None R33 611 611 29" No None 612 38" 92" No None 612 8846	ORSL ORSL VFS Texture GRFSL GRLS VFS Texture GRSLS VFS	GR GR OM Structure GR GR OM Structure GR GR	Consistence o FR	7.5YR5/8, OP REDOX	NONE NONE NONE (C. Quantity/Co NONE NONE NONE NONE NONE	ntest

	Test Pit No.							-	
ESH WT			33"						
			110"						
Refusal;			No						
Obs. Water			None			0			
	Depth	C	olor	Texture	Structure	Consistanc	REDO	X; Quantity/C	on tres
	9-12"	10%	R3/2	GRSL	GR	FR		NONE	
	12-33"		R4/6	GRSL	GR	FR		NONE	
	33-110"	2.5Y5/3		GRFSL	PL.	FI	7.5YR5/6,		
			-				C/P	_	
Test Pit No.			614						
Test Pit No. ESHWT:			12"						_
Termanation	26		105"						
Refusal			No		_				
Obs, Water:			None						
72, 3244	Depth	_	olor	Texture	Structure	Consistenc	BEING	X; Quantity/C	onless
	-					e	REDU		Unitras
	0-12"		R3/2	FSL	GR	FR		NONE	
	12-40"		y5/2	SIL	PL	FI	7.5YR5/8,	7.5YR5/8, C/P	_
	40-73"	10YR5/6		FS	ОМ	FR	7.5 Y R 5/8, C/P		
	73-105"	2.5Y4/2		GRFSL	PL.	FI	2.5Y6/6,		
	2,5-107	2.5142		UAFab			C/D		_
Total IIIa a			C1.F		_				
Test Pie No.			615						_
ESHWT: Termination @	9		17"						_
Refusal	9		108"						_
Obs. Water,			None						-
ova. water.	P 4		-	1. 1	-	Consistenc	pen -	V. O	
	Depth		lor	Texture	Structure	c	REDO	X; Quantity/Co	лив
	0-8"		R3/2	FSL	GR	FR		NONE	
	8-17"		R4/6	FSL	GR	FR		NONE	
	17-44"		Y 5/2	SIL	PL	FI		7.5YR5/8, C/P	
	44-66*		R4/4	FS	OM	FR		7.5YR5/8, C/P	
108" - BED	66-108"	2.5	Y3/3	GRFSL	PL	FI		2.5Y6/6,C/D	
ROCK									
			li .						
Test Pit No.			616	10					
ESHWT:			267						
Termination @	3		80°						
Refusal:			No						
OI 111			None						
Obs. Water.					Structure	Consistenc			entras
Obs. Water:	Depth	Co	lor	Texture	Sucime		REDO:	X; Quantity/Co	
Gos. Water.	Depth 0-9"			Texture FSL	GR	e FR	REDO	X; Quantity/Co	
Oos. Water:	_	10Y	lor R3/2 R4/6			e	REDO		
Obs. Water:	0-9" 9-26"	10Y	R3/2	FSL FSL	GR GR	FR FR	7.5YR5/8,	NONE	
Oos. Water:	0-9"	10Y	R3/2	FSL	GR	e FR		NONE	
	0-9" 9-26"	10Y	R3/2 R4/6	FSL FSL	GR GR	FR FR	7.5YR5/8,	NONE	
Test Pis No.	0-9" 9-26"	10Y	R3/2 R4/6	FSL FSL	GR GR	FR FR	7.5YR5/8,	NONE	
Test Pit No.	0-9" 9-26" 26-80"	10Y	R3/2 R4/6	FSL FSL	GR GR	FR FR	7.5YR5/8,	NONE	
Test Pis No. ESHTAT	0-9" 9-26" 26-80"	10Y	R3/2 R4/6	FSL FSL	GR GR	FR FR	7.5YR5/8,	NONE	
Test Pu No. ESH'AT Termination @	0-9" 9-26" 26-80"	10Y	R3/2 R4/6	FSL FSL	GR GR	FR FR	7.5YR5/8,	NONE	
Test Pu No. ESH'AT Termination @	0-5" 9-26" 26-80"	10Y 10Y 2.5Y5/4	R3/2 R4/6	FSL FSL GRFSL	GR GR PL	e FR FR FI	7.5YR5/8, C/P	NONE	
Test Pu No. ESH'AT Termination @	0-9" 9-26" 26-80"	10Y 10Y 2.5Y5/4	R3/2 R4/6	FSL FSL	GR GR	FR FR	7.5YR5/8, C/P	NONE	ontras
Test Pu No. ESH'AT Termination @	0-5" 9-26" 26-80"	10Y 10Y 2.5Y5/4	R3/2 R4/6	FSL FSL GRFSL	GR GR PL	e FR FR FI Consistenc	7.5YR5/8, C/P	NONE	ontras
Test Pu No. ESH'AT Termination @	0-9" 9-26" 26-80"	10Y 10Y 2.5Y5/4 Co	R3/2 R4/6 #ET 35* 80** None	FSL FSL GRF\$L	GR GR PL	e FR FR FI Consistence	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Test Pu No. ESH'AT Termination @	0-5" 9-26" 26-80"	10Y 10Y 2.5Y5/4 Co	R3/2 R4/6 817 155 80° None lor	FSL FSL GRFSL Texture GRFSL	GR GR PL Structure GR	e FR FR FI Consistence e FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	mtras
Test Pu No. ESHFAT Termination @	0-9" 9-26" 26-80" Depth 0-9" 9-35"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 817 155 80° None lor	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Obs. Water. Test Pis No. BSFFAT Termination @ Refusal: Obs. Water.	0-9" 9-26" 26-80" Depth 0-9" 9-35"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 817 155 80° None lor	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	oniras
Test Pa No. RSH'AT. Termination @ Refural: Obs. Water:	0-9" 9-26" 26-80" Depth 0-9" 9-35"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 817 155 80° None lor	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Test Pu No. ESHFAT Termination @	0-9" 9-26" 26-80" Depth 0-9" 9-35"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 *IIT *IS** 80" None llor R3/3 R4/6	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Test Fit No. ESHAT Termination @ Refusal: Obs. Water: 80" – BED ROCK	0-9" 9-26" 26-80" Depth 0-9" 9-35"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 #IT 35" 80" None ilor R3/3 R4/6	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Test Pis No. BSHAT Termination @ Refusit Obs. Water: 80"—BED ROCK Test Pis No. BSHAT.	0-5" 9-26" 26-80" Depth 0-9" 9-35" 35-80"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 #ET 15 80" 80" None Nore 618 22"	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Tesl Fit No. RSFPAT Termination @ Refusal: Obs. Water: 80" - BED ROCK Tesl Fit No. RSFPAT Termination @	0-5" 9-26" 26-80" Depth 0-9" 9-35" 35-80"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 ###################################	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Test Pit No. ESHVAT Termination @ Refusit: Obs. Water: 80" – BED ROCK Test Pit No. BSHVAT Termination @ Refused:	0-5" 9-26" 26-80" Depth 0-9" 9-35" 35-80"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 #ET #51 #51 #50 #80 None #618 #618 #622 #57 #57	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistenc e FR FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Test Fit No. RSHAT Termination @ Refinal: Obs. Water: 80" – BED ROCK Test Pit No. BSHAT: Termination @ Refinal:	0-5" 9-26" 26-80" Depth 0-9" 9-35" 35-80"	10Y 10Y 2.5Y5/4 Co 10Y	R3/2 R4/6 ###################################	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	Coesistence of FR	7.5YR5/8, C/P	NONE NONE X; Quantity/Co	ontras
Test Fit No. RSFFAT Termination @ Reference Obs. Water: 86" - BED ROCK Test Fit No. BSFFAT Termination @	0-5" 9-26" 26-80" Depth 0-9" 9-35" 35-80"	10Y 10Y 2.5Y5/4 Co 10Y 10Y 2.5Y5/4	R3/2 R4/6 #ET #51 #51 #50 #80 None #618 #618 #622 #57 #57	FSL FSL GRFSL Texture GRFSL GRFSL	GR GR PL Structure GR GR	e FR FR FI Consistence	7.5YR5/8, C/P REDO:	NONE NONE X; Quantity/Co	
Test Pit No. ESHVAT Termination @ Refusit: Obs. Water: 80" – BED ROCK Test Pit No. BSHVAT Termination @ Refused:	0.5° 9-26° 26-80° Depth 0.9° 9-35° 35-80°	10Y 10Y 2.5Y5/4 Cc 10Y 10Y 2.5Y5/4	R3/2 R4/6 687 80° 80° None lor R3/3 R4/6 618 22° 57' None	FSL FSL ORFSL Texture ORFSL ORFSL GRESL GRESL	GR GR FL Structure GR GR PL	Consistence e	7.5YR5/8, C/P REDO:	NONE NONE X; Quantity/C. NONE NONE	
Test Pit No. ESHVAT Termination @ Refusit: Obs. Water: 80" – BED ROCK Test Pit No. BSHVAT Termination @ Refused:	0.5° 9-26" 26-80" Depth 0.5° 9-35" 35-80"	10Y 10Y 2.5Y5/4 Co 10Y 10Y 2.5Y5/4 Co 10Y	80" 80" None elor 22" 57" None elor	FSL FSL ORFSL Tedure GRFSL ORFSL GRFSL GRFSL TExture	GR GR PL Structure GR GR PL	e FR FR FI Consistence	7.5YR5/8, C/P REDO:	NONE NONE XX; Quantity/CX NONE NONE XX; Quantity/CX	
Test Fit No. RSHAT Termination @ Refinal: Obs. Water: 80" – BED ROCK Test Pit No. BSHAT: Termination @ Refinal:	0.5° 9-26° 26-80° Depth 0.5° 9-35° 35-80°	10Y 10Y 2.5Y5/4 Co 10Y 10Y 2.5Y5/4 Co 10Y	80" None None ST ST None None None None R3/3 ST ST None None None None R3/3 R4/6 ST ST None None None None None None None None	FSL FSL ORFSL Tendure ORFSL GRFSL GRFSL Texture GRFSL	GR GR FL Structure GR GR PL	Consistence of FR	7.5YR5/8, C/P REDO:	NONE NONE X; Quantity/Co NONE NONE NONE NONE	

NOTES:

- TEST PITS DATA WAS PROVIDED BY JP GOVE, CSS #004 OF GOVE ENVIRONMENTAL SERVICES, INC. AND DATED 11-19-2020.
- 2. SEE SHEETS S-02 THRU S-04 FOR TEST PIT LOCATIONS.

TAX MAP 242 LOT 4

TEST PIT LOGS PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM

OWNED BY STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST
SCALE: 1" = 50' (22x34)
1" = 100' (11x17)

APRIL 19, 2021

1 7/21/2021 ADDED THIS SHEET REV. DATE



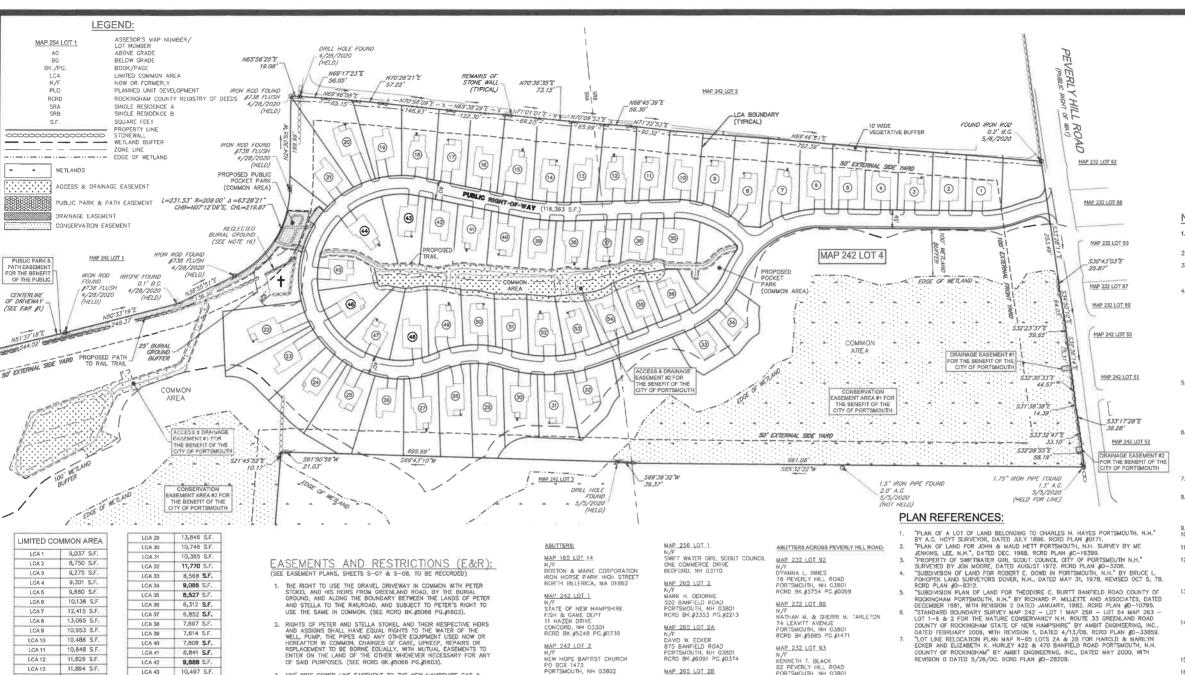
Civil Engineers
Structural Engineers
Troffic Engineers
Land Surveyors
Landscape Architects
Scientists 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

DR MVP FB

S-05

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This plan is not effective unless signed by a duty authorized officer of Thomas F. Maran, Inc.



		LCA 29	13,846 S.F.
TIMITED CO	DMMON AREA	LCA 30	10,746 S.F.
LCA 1	9,037 S.F.	LCA 31	10,365 S.F.
LCA 2	8,750 S.F.	LCA 32	11,770 S.F.
LCA 3	9,275 S.F.	LGA 33	8,568 S.F.
LCA 4	9,301 S.F.	LCA 34	9,085 S.F.
LCA 5	9,680 S.F.	LCA 35	8,527 S.F.
LCA 6	10,136 S.F	LCA 36	6,312 S.F.
LCA 7	12,415 S.F.	LCA 37	6,852 S.F.
LCA 8	13,065 S.F.	LCA 38	7,697 S.F.
LCA 9	10,953 S.F.	LCA 39	7,614 S.F.
LCA 10	10,486 S.F.	LCA 40	7.806 S.F.
LCA 11	10,848 S.F.	LCA 40	8,841 S.F.
LCA 12	11,829 S.F.	LCA 42	9,888 S.F.
LCA 13	11,864 S.F.	LCA 42	10,497 S.F.
LCA 14	12.399 S.F.	LCA 43	13,137 S.F.
LCA 15	12.651 S.F.		
LCA 16	11.751 S.F.	LCA 45	7,333 S.F.
LCA 17	10.773 S.F.	LCA 46	10,341 S.F.
LCA 1B	11,325 S.F.	LCA 47	10,138 S.F.
LCA 19	12,780 S.F.	LCA 48	10,065 S.F.
LCA 20	16,654 S.F.	LCA 49	9,944 S.F.
LCA 21	15.081 S.F.	LCA 50	8,226 S.F.
LCA 22	16,670 S.F.	LCA 51	8,568 S.F.
	14,535 S.F.	LCA 52	8,993 S.F.
LCA 23		LCA 53	8,568 S.F.
LCA 24	13,868 S.F.	LCA 54	8,034 S.F.
LCA 25	15,778 S.F.	LCA 55	7,875 S.F.
LCA 26	14,407 S.F.	LCA 56	7,539 S.F.
LCA 27	13,124 S.F.		-
LCA 28	13,408 S.F.		

EASEMENTS AND RESTRICTIONS (E&R): (SEE EASEMENT PLANS, SHEETS S-07 & S-08, TO BE RECORDED)

 THE RIGHT TO USE THE GRAVEL DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM GREENLAND ROAD, BY THE BURIAL GROUND, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF PETER AND STELLA TO THE RAILROAD, AND SUBJECT TO PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).

2. RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HORS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF THE WELL, PUMP, THE PIPES AND NAY OTHER EQUIPMENT USED NOW OR HEREAFTER IN COMMON, CHARGES OF CARE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, WITH MUTUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SEE RORD BIK,#5066 PG.#1603).

100' WIDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY. (SEE RCRD BK.#1052 PG.#321).

4. PROPOSED 40' WIDE RIGHT OF WAY TO BE CONVEYED TO CITY OF PORTSMOUTH.

PROPOSED PUBLIC POCKET PARK AND PATH EASEMENT FOR THE BENEFIT OF PUBLIC.

PROPOSED ACCESS AND DRAINAGE EASEMENT #1 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.

PROPOSED ACCESS AND DRAINAGE EASEMENT #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.

PROPOSED CONSERVATION EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.

9. PROPOSED DRAINAGE EASEMENTS #1 & #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.

BOSTON & MAINE CORPORATION IRON HORSE PARK HIGH STREE NORTH BILLERICA, MA 01862

MAP 242 LOT 1

N/F STATE OF NEW HAMPSHIRE FISH & GAME DEPT 11 HAZEN DRIVE CONCORD, NH 03301 RCRD BK.#5248 PG.#0739 MAP 242 LOT 3

N/F NEW HOPE BAPTIST CHURCH PO BOX 1473 PORTSMOUTH, NH 03802 RCRD BK.#2269 PG.#0663

MAP 242 LOT 5 N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF IMMAC
CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 255 LOT 5 N/F THOMAS E. & MARYBETH B. REIS AND JAMES B. & MEEGAN C. REIS 305 PEVERLY HILL ROAD PORTSMOUTH, NH 03801 RCRD BK.#5560 PC.#2148

MAP 255 LOT 8 N/F MERRIMAC VALLEY HOMES, INC. 1794 BRIDGE STREET, UNIT 6 DRACUT, MA 01826 RCRD BK.#5881 PC.#0981 MAP 265 LOT 2 N/F MARK H. ODIORNE 520 BANFIELD RO PORTSMOUTH NH

N/F DYANNA L. INNES 78 PEVERLY HILL ROAD PORTSMOUTH, NH 03801 RCRD BK.#3754 PG.#0099 520 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#3353 PG.#2213 MAP 232 LOT 88

MAP 265 LOT 2A N/F N/F DAVID W. ECKER 875 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#6091 PG.#0374

MAP 265 LOT 2B LEE ANN & RICHARD M. RILEY 470 BANFIELD ROAD

PORTSMOUTH, NH 03801 RCRD BK.#3491 PG.#2344 MAP 265 LOT 2C APOSTOLIC CHURCH OF J CHRIST 500 BANFIELD ROAD

RCRD BK.#2739 PG.#0043

MAP 265 LOT 2D N/F CITY OF PORTSMOUTH DPW PO BOX 528 PORTSMOUTH, NH 03802 RCRD BK.#2413 PG.#0222

MAP 265 LOT ZE N/F CITY OF PORTSMOUTH 1 JUNKINS AVENUE PORTSMOUTH, NH 03801 RCRD BK.#5077 PG.#1943

N/F AJEI REAL ESTATE LLC 163 SPINNEY ROAD PORTSMOUTH, NH 03801 RCRD BK.#5887 PG.#0463 MAP 243 LOT 52

MAP 232 LOT 93

MAP 232 LOT 87

MAP 232 LOT 95

KENNETH T. BLACK 82 PEVERLY HILL ROAD

PORTSMOUTH, NH 03801 RCRD BK.#3743 PG.#1942

N/F SUSAN L. DIXON 68 MBIRD STREET PORTSMOUTH, NH 03801 RCRD BK.#2504 PG.#0028

N/F CITY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH, NH 03802 RCRD BK.#2247 PG.#0239

MAP 243 LOT 50 N/F ASRT, LLC 266 MIDDLE STREET PORTSMOUTH, NH 03801 RCRD BK.#6184 PG.#1176

MAP 243 LOT 51

N/F CITY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH, NH 03802 RCRD BK.#2042 PG.#6498

I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND COMPLIES WITH NHRSA 358-B: 20(1). ALL UNITS OR PORTIONS THEREOF DEPICTED ON ANY PORTION OF THE SUBMITTED LAND OTHER THAN WITHIN THE BOUNDARIES OF ANY CONVERTIBLE LAND HAVE NOT YET BEGUN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY IS AN URBAN SURVEY AS CLASSIFIED IN THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDES AND BELIEF. THE TRAVERSE WAS COMPLETED BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.



LICENSED LAND SURVEYOR

2021-07-21

DATE

2	7/21/2021	REVISE PER REGULATORY COMMENTS	IID	ВМК
1	6/21/2021	REVISE PER REGULATORY COMMENTS	HD	ВМК
REV.	DATE	DESCRIP TION	DR	CK



FIRM

THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB)
ZONING DISTRICTS.

2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4.

THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NIPP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015022076, MAP REVISED JANUARY 29, 2021.

4.	DIMENSIONAL REQUIREMENT OF OPEN SPACE RESIDENTIAL PUD (OS—PUD). MINIMUM LOT AREA: MINIMUM STREET FRONTAGE: MINIMUM STREET FRONTAGE: MINIMUM STREET FRONTAGE:	REQUIRED: 10 ACRES 100'	PROPOSED: 105.705 ACRES 665'
	FRONT: SIDE & REAR: MINIMUM INTERNAL YARDS:	100° 50°	100' 50'
	FRONT: SIDE & REAR: MINUMUM SEPARATION BETWEEN STRUCTURES: COMMON OPEN SPACE: PER THE CITY OF PORTSMOUTH ZONING ORDINANCE	20' 25' 30' 25% E SECTION 10.725	20.9° 30.0° 30.0° 83%

OWNER OF RECORD:

MAP 242 LOT 4:
STELLA 8. STOKEL 1993 TRUST,
NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
83 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
KCRD BK. \$5068 P 0.91603

PARCEL AREA: MAP 242 LOT 4:	SUBMITTED AREA:	COMMON AREA:	LIMITED COMMON AREA
4,604,509 S.F. (105.7050 ACRES)	4,488,146 S.F. (103.0337 ACRES)	4,488,146 S.F. (103.0337 ACRES)	(SEE CHART)
	(EVOLUDING DUDING	(EVOLUDINO DUBLIO	

RIGHT OF WAY) RIGHT OF WAY)

THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LUMINS OF THIE.

B. THE PURPOSE OF THIS PLAN IS TO DEPICT THE COMMON AREAS AND LIMITED COMMON AREAS OF MAP 242 LOT 4. CONSTRUCTION OF UNITS NOT YET BEGUN. THE FINAL METES AND BOUNDS OF THE UNITS AND THEIR ASSIGNED LIMITED COMMON AREAS SHALL BE DETERMINED BY AS-BULLT PLANS WITH AN AMENDED CONDOMINUM SITE PLAN TO BE RECORDED UPON COMPLETION OF EACH UNIT.

THESE UNITS ARE FOR RESIDENTIAL USE ONLY.

FIELD SURVEY COMPLETED BY TCE, MYP & PUT IN APRIL—MAY 2020 USING A TOPCON DISIO3, TOPCON HIPER—SR, TOPCON HIPER—VAND A CARLSON RT4 DATA COLLECTOR.

HORIZONTAL DATUM IS NADB3 (2011) PER STATIC GPS OBSERVATIONS.

12. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT

THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TEMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR CONTACT DIS SAFE.

WEITAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENCINEERS WEITAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENCINEERS WEITAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION. FIELD LOCATED BY THORDAY, INC.

15. THE UNITS SHOWN HERE TO BE SERVICED BY MUNICIPAL SEWER AND WATER

16. THE NEGLECTED BURIAL GROUND SHOWN ON SHEET S-O3 IS BELIEVED TO BE THE FORMER HAYES FAMILY BURIAL, GROUND. CURRENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN DEFUNED HIS LOCATION. NO GRAVESTONES EXIST AT THIS BURIAL, GROUND. THE 25' BUFFER TO THE BURIAL GROUND IS SHOWN AS AN ABUNDANCE OF CAUTION.

17. SEE SHEETS S-08 & S-09 FOR EASEMENT PLANS.

TAX MAP 242 LOT 4

CONDOMINIUM SITE PLAN PEVERLY HILL ROAD **83 PEVERLY HILL ROAD** PORTSMOUTH, NEW HAMPSHIRE **COUNTY OF ROCKINGHAM** OWNED BY

STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST &

SCALE, T = 100' (22x34) T = 200' (11x17)

PHILIP J. STOKEL **APRIL 19, 2021**

Seacoast Division HM

1 170 Commerce Way, Suite 102 Phone (603) 431-2222 Fox (603) 431-0910

DR IID F8
CK BMK CADFILE 47388-11 S-06

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON

DATE

E NH P





CHB

LENGTH
NATURAL RESOURCE PROTECTION ZONE
NOW OR FORMERLY
RADIUS

RURAL TONE RU RCRD RURAL ZONE

ROCKINGHAM COUNTY REGISTRY OF DEEDS
CENTRAL ANGLE
SQUARE FEET

SINGLE RESIDENCE A ZONE
SINGLE RESIDENCE B ZONE
TRANSPORTATION CORRIDOR ZONE

- WETLAND BUFFER WETLANDS

PARK & PATH FASEMENT CONSERVATION EASEMENT

LINE TABLE LINE TABLE LINE # BEARING DISTANCE LINE # BEARING DISTANCE N78°08'44"F 85.87 SR9"37"42"W 88 49 L2 N51°37'18"E 544.02 S69°05'04'W 85.94 L3 N50°33'19*E 248.37 \$68*46'51"W 56.81 N38°55'51"E 136.50 S67*27'3:1'W R1 R1* N24°30′55°W 199 991 \$67°26'04"W R7 58' L7 N69°17'23"E 56.05 S68°24'11"W 247.91 L8 N69°46'08"E 65,15 \$70°35'06'7W 20.09* L9 N70"28"21"E 57.22 S02*20'4/1"W 96 94 1.10 N70*58'09*F 146 93' L11 NRQ*3R'2Q"E 122 301 L52 60.89 L12 N71"01'01"E 89.20 64.75 1 13 NZ0°36'35"E 73.15 L54 73.30 L 14 N70*09'53'E 65.99 L15 N88*45'39*E 56 30 L16 N71*22'53*E 90.32 72.36 L17 N69*46'51*E 792.39 L58 108.68 L18 N33°28'11"W 253.49 L19 N30°43'03"W 25 87 L20 N34°50'10"W 64.05 L21 N32°23'37"W 1.22 N32*38'14"W 75.31 L23 N32°30'33"A 44.57 124 N31°38'38"W 14 39 L25 N33°17'28"W 36.28 L26 N33*32'47*W 33.10 L27 N32*28'55*W 58 19 1.28 \$65*37*27*W 981.08* L29 S69*39'32"W 39.37 1.30 S66*43'10"W 699 69* L31 S61°50'59"W 21.03 L32 S21*45'52*E 10 17 L33 \$20*39*30*E 392.22 35.23 L34 S24°19'06°E 65.84 L35 52.86 S22"34'53"E L76 L36 \$23°02'43"E 111 502 1.37 171.93 \$22"45"01"F 210.79 L38 567*19'43"W 152.24 L39 360.76 L80 N60"02'43"E 125,36 871°11'01'W N61*36'13*E

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74.38

L82 \$22°55'14"W

L83

S69°52'05"W

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

PLAN REFERENCES:

"PLAN OF A LOT OF LAND BELONGING TO CHARLES H. HAYES PORTSMOUTH, N.H." BY A.C. HOYT SURVEYOR, DATED JULY 1896. RCRD PLAN #0171.
"PLAN OF LAND FOR JOHN & MAJU HEIT PORTSMOUTH, N.H. SURVEY BY ME JENKINS, LEE, N.H.", DATED DEC. 1988. RCRD PLAN #C-19399.
"PROPERTY OF SWITWAITER GIRL SCOUT COUNCIL CITY OF PORTSMOUTH N.H." SURVEYED BY JON MOORE, DATED AUGUST 1972. RCRD PLAN #0-320.
"SUBDIVISION OF LAND FOR THEODORE C. BURTT SMOUTH, N.H." BY SPRUCE L. POHOPEK LAND SURVEYORS DOVER, N.H., DATED MAY 31, 1978, REMSED OCT 5, 78. RCRD PLAN #0-8312.
"SUBDIVISION PLAN OF LAND FOR THEODORE C. BURTT SMAIRELD ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY RCHARD P. MILLETTE AND ASSOCIATES, DATED DECEMBER 1981, WITH REMSION 2 DATED JANUARY, 1982. RCRD PLAN #0-10795.
"STANDARD BOUNDARY SURVEY MAP 242 - LOT 1 MAP 258 - LOT 54 MAP 265 - LOT 1-6 & 2 FOR THE NATURE CONSERVANCY N.H. ROUTE 33 GREENLAND ROAD COUNTY OF ROCKINGHAM STATE.

FOR THE NATURE CONSERVANCY N.H. ROULE 33 GREENLAND RODO COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE "BY AMBIT ENGINERING, INC., DATED FEBRUARY 2006, WITH REVISION 1, DATED 4/13/06. RCRD PILAN #D-33859.

"LOT LINE RELOCATION PILAN MAP R-65 LOTS 2A & 2B FOR HAROLD & MARILYN ECKER AND ELIZABETH K. HURLEY 422 & 470 BAMPIELD ROAD PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM BY AMBIT ENGINERING, INC., DATED MAY 2000, WITH REVISION 0 DATED 5/26/00. RORD PLAN

EASEMENTS AND RESTRICTIONS (E&R):

1. THE RIGHT TO USE THE GRAVEL DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HERS FROM GREENLAND ROAD, BY THE BUNDARY BY THE PROPERTY OF THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).

2. RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF THE MELL, PUMP, THE PIPES AND ANY OTHER EQUIPMENT USED MOW OF HEREAFTER IN COMMON, CHARGES OF CARE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, MI MUTUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SEE RCRD BK.#5066 PG.#1603).

100' WIDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY. (SEE RCRD BK.#1052 PG.#321).

PROPOSED 40' WIDE RIGHT OF WAY TO BE CONVEYED TO CITY OF PORTSMOUTH

PROPOSED PUBLIC POCKET PARK AND PATH EASEMENT FOR THE BENEFIT OF PUBLIC.

PROPOSED ACCESS AND DRAINAGE EASEMENT #1 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.

PROPOSED DRAINAGE EASEMENTS #1 & #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.

PROPOSED 3' WIDE RIGHT OF WAY MAINTENANCE AND UTILITY
EASEMENT FOR ROADWAY MAINTENANCE AND FUTURE UTILITIES.

MAP 265 LOT 2D

MAP 265 LOT 2E N/F

CITY OF PORTS! 1 JUNKINS AVE PORTSMOUTH, N RCRD BK.#5077 P

POWER LINE EASEMENT (SEE E&R #3)

MAP 265 LOT 2 N/F

MARK H. ODIORNE

N/F ROMAN CATHOLIC BISHOP OF MANCHESTER CHURCH OF IMMAC CONCEPTION 163 ASH STREET 114-1 L13-L15 · L20 -. 122= 17-119-CENTERLINE OF DRIVEWAY (SEE E&R #1) L112 183-L24 PUBLIC PARK & PATH EASEMENT FOR THE BENEFIT OF THE PUBLIC 289,609 S.F. (6.6485 AC) MAP 242 LOT 4 MAP 242 LOT 1 N/F STATE OF NEW HAMPSI FISH & GAME DEPT 11 HAZEN DRIVE CONCORD, NH 0330 CENTERLINE OF DRIVEWAY (SEE E&R #1) - 58 129 - 58 129 GROUND
BUFFER
(SEE NOTE 13) SHEET S.O. SEE SUR! PARK & PATH EASEMENT EASEMENT LINE TABLE L32-MAP 242 LOT 3 N/F LINE# BEARING DISTANCE NEW HOPE BAPTIST CHURCH PO BOX 1473 EL1 S22*55'14"W 18.26' EL2 N78*08'44*E 96.28' 128 95 EL3 N51°37'18"E 544.03' MAP 255 LOT 8 EL4 N50°33'19"E 248.37" MERRIMACK VALLEY HOMES, INC 1794 BRIDGE STREET, UNIT 6 DRACUT, MA 01826 RCRD BK,#5881 PG,#0981 ELS N38*55'51"E 136.50" EL6 N75*23'43"E 52.51' LFI 2 FL7 N74*16*25*W 16.53* EL8 S66°40'18"W 64.41' MAP 165 LOT 14 BOSTON & MAINE CORPORATIO IRON HORSE PARK HIGH STREE NORTH BILL FRICA MA 01862

MAP 255 LOT 5

JAMES B. & MEEGAN C. REIS 305 PEVERLY HILL ROAD

VF YRETH B. REIS AND

THOMAS F. & MAR

-L51

L52

-/53

-L55

MAP 256 LOT 1

L56

-160

-L61

-L63

-165

-L69

-L72

-174

-L75

-L76

-177

MAP 265 LOT 2A N/F

DAVID W, ECKER 875 BANFIELD RÓAD PORTSMOUTH, NH 03801 RCRD BK,#6091 PG,#0374

MAP 265 LOT 28

LEE ANN & RICHARD M. RILEY 470 BANFIELD ROAD

PORTSMOUTH, NH 0380 PORD BK #3491 PG #234

MAP 265 LOT 2C

APOSTOLIC CHURCH OF J CHRIST 500 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#2739 PG.#0043

158

159

PARK & PATH EASEMENT CURVE # LENGTH RADIUS DELTA CHORD DIRECTION CHORD LENGTH EC1 191.70' 415.02' 026*27'54* N64°52'21"E 190.00" 112,88" EC2 114.11' 224.00' 029°11'16" N24°20'38"E EC3 102.72' 219.00' 026°52'24" N02°44'13"E 101.78 191.27 EC4 198.67' 209.00' 054"27"47" \$11"42"23"W

-118

PEVERLY HILL ROAD

ABUTTERS:

MAP 242 LOT 5

MAP 165 LOT 14

N/F BOSTON & MAINE CORPORATION IRON HORSE PARK HIGH STREE NORTH BILLERICA, MA 01862

MAP 242 LOT 1 N/F STATE OF NEW HAMPSHIRE FISH & GAME DEPT 11 HAZEN DRIVE CONCORD, NH 03301 RCRD BK.#5248 PG.#0739

MAP 242 LOT 3 N/F NEW HOPE BAPTIST CHURCH PORTSMOUTH, NH 03802 RCRD BK.#2269 PG.#0663

MAP 242 LOT 5 ROMAN CATHOLIC BISHOP OF MANCHESTER CHURCH OF IMMAC CONCEPTION 153 ASH STREET MANCHESTER, NH 03104

MAP 255 LOT 5 N/F
THOMAS E. & MARYBETH B. REIS
AND JAMES B. & MEEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK.#5560 PG.#2148

MAP 255 LOT 8 MERRIMAC VALLEY HOMES, INC. 1794 BRIDGE STREET, UNIT 6 DRACUT MA 01826

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY IS AN URBAN SURVEY AS CLASSIFED IN THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE TRAVERSE WAS COMPLETED BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ARE ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE AIRCADY.

A COPY OF THIS PLAN HAS BEEN FILED WITH THE LOCAL PLANNING BOARD.



2021-07-21

MAP 256 LOT 1

N/F SWIFT WATER GIRL SO ONE COMMERCE DRIV BEDFORD, NH 03110 MAP 265 LOT 2

N/F MARK H. ODIORNE 520 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#3353 PG.#2213 MAP 265 LOT 2A

N/F DAVID W. ECKER 875 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#6091 PG.#0374

MAP 265 LOT 28 N/F LEE ANN & RICHARD M. RILEY 470 BANFIELD ROAD PORTSMOUTH, NH 03801

MAP 265 LOT 2C APOSTOLIC CHURCH OF J CHRIST 500 BANFIELD ROAD PORTSMOUTH, NH 03801 RCRD BK.#2739 PG.#0043

MAP 265 LOT 2D N/F CITY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH, NH 03802 RCRD BK.#2413 PG.#0222

MAP 265 LOT 2E I/F ITY OF PORTSMOUTH JUNKINS AVENUE

ABUTTERS ACROSS PEVERLY HILL ROAD:

MAP 232 LOT 92

MAP 232 LOT 88 N/F NATHAN M. & SHERRI M. TARLÉTON 74 LEAVITT AVENUE

MAP 232 LOT 93 N/F KENNETH T. BLACK 82 PEVERLY HILL ROAD PORTSMOUTH, NH 03801 RCRD BK.#3743 PG.#1942

MAP 232 LOT 87 N/F SUSAN L. DIXON 68 WIBIRD STREET PORTSMOUTH, NH 03801 RCRD BK.#2504 PG.#0028

MAP 232 LOT 95 OTY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH, NH 03802 RCRD BK.#2247 PG.#0239

MAP 243 LOT 50 N/F ASRT, LLC 266 MIDDLE STREET PORTSMOUTH, NH 03801 RCRD BK.#6184 PG.#1176

MAP 243 LOT 51 N/F
AJEI REAL ESTATE LLC
163 SPINNEY ROAD
PORTSMOUTH, NH 03801
RCRD BK.#5887 PG.#0463

MAP 243 LOT 52 CITY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH, NH 03802 RCRD BK.#2042 PG.#0498



NOTES:

THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.

THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT

LOCATION PLAN

3. THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270F, MAP REVISED JANUA 29, 2021.

DIMENSIONAL PROLIBEMENT OF OPEN SPACE RESIDENTIAL PUD (OS-PUD)
MINIMUM LOT AREA: MINIMUM STREET FRONTAGE MINIMUM EXTERNAL YARDS: 100° 100° 50' SIDE & REAR;
MINIMUM INTERNAL YARDS:
FRONT;
SIDE & REAR; 20.9 30.0 30.0 83% ATION BETWEEN STRUCTURES: COMMON OPEN SPACE: 25%
PER THE CITY OF PORTSMOUTH ZONING ORDINANCE SECTION 10.725

OWNER OF RECORD: MAP 242 LOT 4: STELLA B. STOKEL 1993 TRUST. NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL 83 PEVERLY HILL ROAD PORTSMOUTH, NH 03801

PARCEL AREA: MAP 242 LOT 4; 4 RO4 509 S.F. (105.7050 ACRES)

THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS, IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE UNITS OF TILLS.

THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS ON MAP 242 LOT

FIELD SURVEY COMPLETED BY TCE, MVP & PJT IN APRIL-MAY 2020 USING A TOPCON DS103, TOPCON HIPER-SR, TOPCON HIPER-Y AND A CARLSON RT4 DATA COLLECTOR.

10. HORIZONTAL DATUM IS NADB3 (2011) PER STATIC GPS OBSERVATIONS.

EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKNICHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.

12. WETLAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENCINEERS WETLAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENCINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION. FIELD LOCACED BY THORORAN, INC.

13. THE NEGLECTED BURIAL GROUND SHOWN ON SHEET S-0.3 IS BELIEVED TO BE THE FORMER HAYES FAMILY BURIAL GROUND, CURRENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN EXHUMED FROM THIS LOCATION. NO GRAVESTONES EXIST AT THIS BURIAL GROUND. THE 25' BUFFER TO THE BURIAL GROUND IS SHOWN AS AN ABUNDANCE OF CAUTION.

14. SEE SHEET S-OB FOR ADDITIONAL EASEMENTS.

TAX MAP 242 LOT 4

OVERALL EASEMENT PLAN PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM

OWNED BY

STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL

1" = 600' (11x17)

JULY 21, 2021



Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 ww.tfmoran.com

47388-11

OR MVP FB
CK BMK CADFILE

S-07

051

EASEMENTS AND RESTRICTIONS (E&R): (SEE EASEMENT PLANS, SHEETS S-07 & S-08, TO BE RECORDED)

- THE RIGHT TO USE THE GRAVEL DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM GREENLAND ROAD, BY THE BURIAL GROUND, AND ALONG THE BOUNDAR'S BETWEEN THE LANDS OF PETER AND STELLA TO THE RAILROAD, AND SUBJECT TO PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).
- RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF THE WELL, PUMP, THE PIPES AND ANY OTHER COLUMENT USED NOW OR HEREATER IN COMMON, CHARGES OF CASE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, WITH MUTUAL EASEMENTS TO ENTEY ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SE RCKD BK.#5068 PG.#1503).
- . 100' WIDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY (SEE RCRD BK.#1052 PG.#321).
- 4. PROPOSED 40' WIDE RIGHT OF WAY TO BE CONVEYED TO CITY OF PORTSMOUTH.
- PROPOSED ACCESS AND DRAINAGE EASEMENT #1 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
- PROPOSED ACCESS AND DRAINAGE EASEMENT #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
- PROPOSED DRAINAGE EASEMENTS #1 & #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
- PROPOSED 3' WIDE RIGHT OF WAY MAINTENANCE AND UTILITY EASEMENT FOR ROADWAY MAINTENANCE AND FUTURE UTILITIES.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY IS AN URBAN SURVEY AS CLASSIFED IN THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE TRAVERSE WAS COMPLETED BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE. THAT THE LINES OF STREETS AND WAY'S SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAY'S ARE ALREADY ESTABLISHED AND THAT NO NEW WAY'S ARE SHOWN

A COPY OF THIS PLAN HAS BEEN FILED WITH THE LOCAL PLANNING BOARD



202	1 07 2	1

EASEMENT LINE TABLE EL44 N50'44'00.60"W 21.92 EL45 N04"1"12.38"W 148,61" EL46 N45'22'38.96"E 153.44' EL47 N00'04'18.56"W 83.35 EL48 S89°55'41.44"W 41.09" EL49 N33'01'55.28"E 74.35' EL51 N37'37'57.33"E 140.01' EL52 SB3*29*19.22*E 39.79* EL53 S0417'00.65"E 130.12 EL54 S45"12'17.22"W 209.76 EL56 S47'06'36.84"W 20.00 EL57 N42'53'23.16"W 20.50 EL58 \$47'06'36.84"W 102.16' EL59 \$21'27'42.23"W 10.82' EL60 S04'11'12.38"E 117.74 EL61 550'44'00.60"E 19.06"

EASEMENT LIN	EASEMENT CURVE TABLE						
LINE # BEARING	DISTANCE	CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
EL70 N76'36'49.24	E 215.94'	EC15	672.20	179.00'	215'09'43"	N30"58'02"W	341.28'
EL71 N63'29'53.04	E 215.94	EC16	119.26'	521.00'	013'06'56"	N70'03'21"E	119.00'
EL72 S7015'40.67	*E 5.50°	EC17	144.46	179.00'	04614'26"	N86'37'06"E	140.57
EL73 S43'38'44.95	"W 194.02"	EC18	17.78	12.50	081"28"29"	S29'31'26"E	16.31*
EL74 N46°06'30.10	"E 34.71"	EC19	48.29*	223.50*	012"22"46"	S05'01'26"W	48.20"
EL75 N65'44'02.07	"E 343.37"	EC20	138.04	176.50	044'48'42"	52174'24"W	134.55'
EL76 N70'03'21.14	"E 36.45"	EC21	190.56	279.00°	039'07'58"	S63'12'44"W	186.87
EL77 N63'29'53.04	E 215.94°	EC22	161.21	223.50	04119'37"	S62'06'55"W	157.74'
EL78 N76'36'49.24	"E 215,94"	EC23	37.34'	25.00	085'34'25"	N09"19"01"E	33.96'
EL79 \$43'38'44.95	"W 194.02"	EC24	23.39	223.50	005'59'43"	N49"06"22"E	23.38'
EL80 S65'44'02.07	"₩ 343.37"	EC25	60.46	176.50	019"37"32"	N55'55'16"E	60.16'
EL81 S46'06'30.10	"W 44.36"	EC26	138.58	223.50	035'31'38"	N47'58'13"E	136.38'
EL82 N33'28'11.00	"W 253.49"	EC27	167.80'	219.00'	043'54'00"	N85'26'53"E	163.72'
		EC28	110.11"	481.00	013'06'56"	N70"03'21"E	109.87
		EC29	822.41	219.00'	215'09'43"	N30'58'02"W	417.54
		EC30	132.36'	183.50'	04119'37"	\$62'06'55"W	129.51
		EC31	217.88	319.00'	039'07'58"	S63"12"44"W	213.67
		EC32	169.33	216.50	044'48'42"	S21"14'24"W	185.04
		EC33	214.26	183.50'	066'53'59"	S32'17'03"W	202.29'
		EC34	74.16	216.50	019'37'32"	S55'55'16"W	73.80
		EC35	43.82	25.00'	100°25'19°	N83'40'50"W	38.42'





				-
				-
REV.	DATE	DESCRIPTION	0R	CK

N32'36'14'W 75.31'

(PUBLIC

Y HILL RIGHT OF

ROAD

_N32*28*55*W 58.19*

1.75" IRON PIPE FOUND 1.3" A.G. 5/5/2020 (HELD FOR LINE)

S5516'14"W

\$34'43'46"E

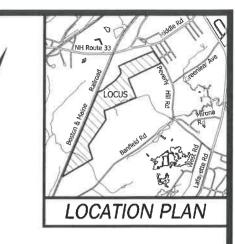
MAP 242 LOT 4

N5576'14"E

531°38'38°E 14.39'

S56'41'58"W 12.50

533"18"02"E 10.00"



NOTES:

- THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.
- THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIKE, PANEL 270 OF 681, MAP NUMBER 33015C0270F, MAP REVISED JANUARY 29, 2021.

4.	DIMENSIONAL REQUIREMENT OF O	OPFN		
	SPACE RESIDENTIAL PUD (OS-PI		REQUIRED:	PROPOSED:
	MINIMUM LOT AREA:		10 ACRES	105.705 ACRES
	MINIMUM STREET FRONTAGE:		100'	665"
	MINIMUM EXTERNAL YARDS:			
	FRONT:		100'	11.3.9*
	SIDE & REAR:		50'	50.2': 1,191.4'
	MINIMUM INTERNAL YARDS:			
	FRONT:		20'	20.9'
	SIDE & REAR:		25'	30.0'
	MINIMUM SEPARATION BETWEEN	STRUCTURES:	30'	30.0'
	COMMON OPEN SPACE:		25%	83%
	PER THE CITY OF PORTSMOUTH	ZONING ORDINANC	E SECTION 10.725	
_				

WHER OF NEODERS AND A STOKEL 1993 TRUST,
NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
83 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801

PARCEL AREA: MAP 242 LOT 4: (105,7050 ACRES)

- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE HIMTS OF TITLE.
- 8. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED EASEMENTS ON MAP 242 LOT 4.
- FIELD SURVEY COMPLETED BY TCE, MVP & PJT IN APRIL-MAY 2020 USING A TOPCON DS103, TOPCON HIPER-SR, TOPCON HIPER-V AND A CARLSON RT4 DATA COLLECTOR.
- 10. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS WAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- 12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. IFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- 13. WETLAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENGINEERS WETLAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL. NORTHCENTRAL AND NORTHCENTS REGION. FIELD LOCACED BY THRORAN, INC.
- 14. SEE SHEET S-07 FOR OVERALL EASEMENT PLAN.
- THE NEGLECTED BURIAL GROUND SHOWN ON SHEET S-0.3 IS BELIEVED TO BE THE FORMER HAVES FAMILY BURIAL GROUND, CURENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN EXHUBLE FROM THIS LOCATION. NO GRAVESTONES EXIST AT THIS BURIAL GROUND, THE 25' BUFFER TO THE BURIAL GROUND THE 25' BUFFER TO THE BURIAL GROUND.

TAX MAP 242 LOT 4 **EASEMENT PLAN**

PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE **COUNTY OF ROCKINGHAM**

OWNED BY

STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL

SCALE: 1" = 100' (22x34) 1" = 200' (11x17)

JULY 21, 2021

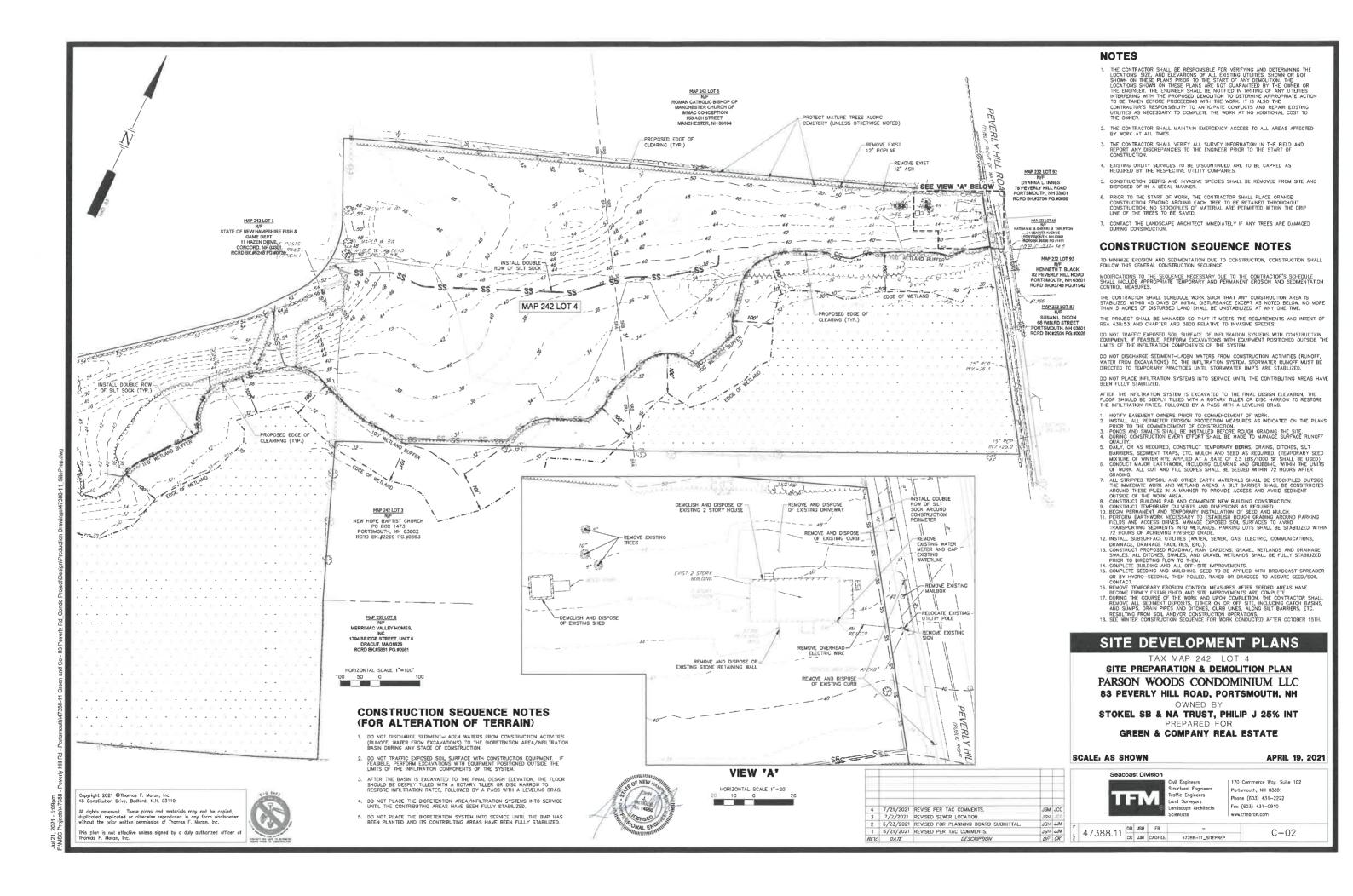


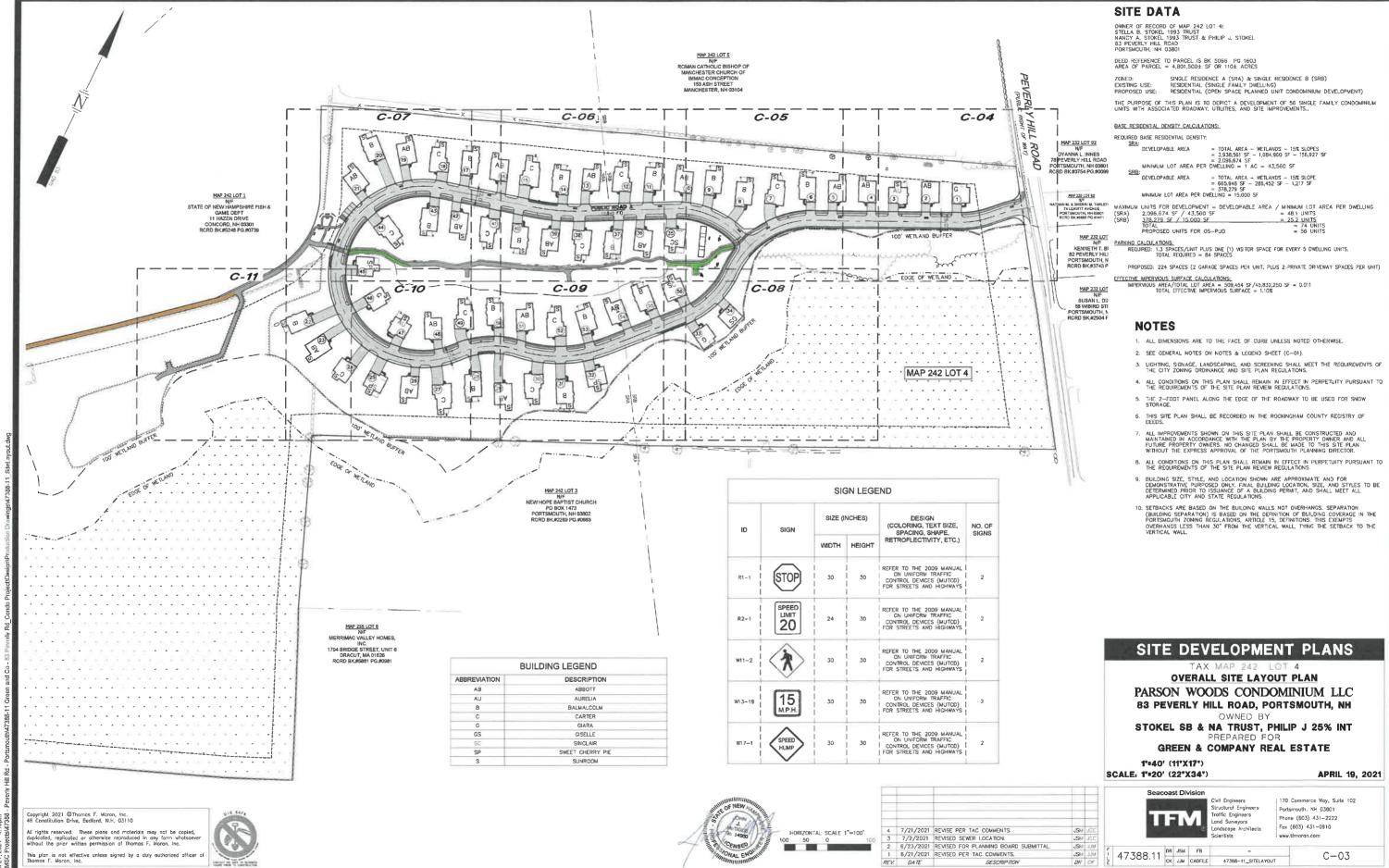
I 170 Commerce Way, Suite 102 Phone (603) 431-2222 Fax (603) 431-0910

47388-11

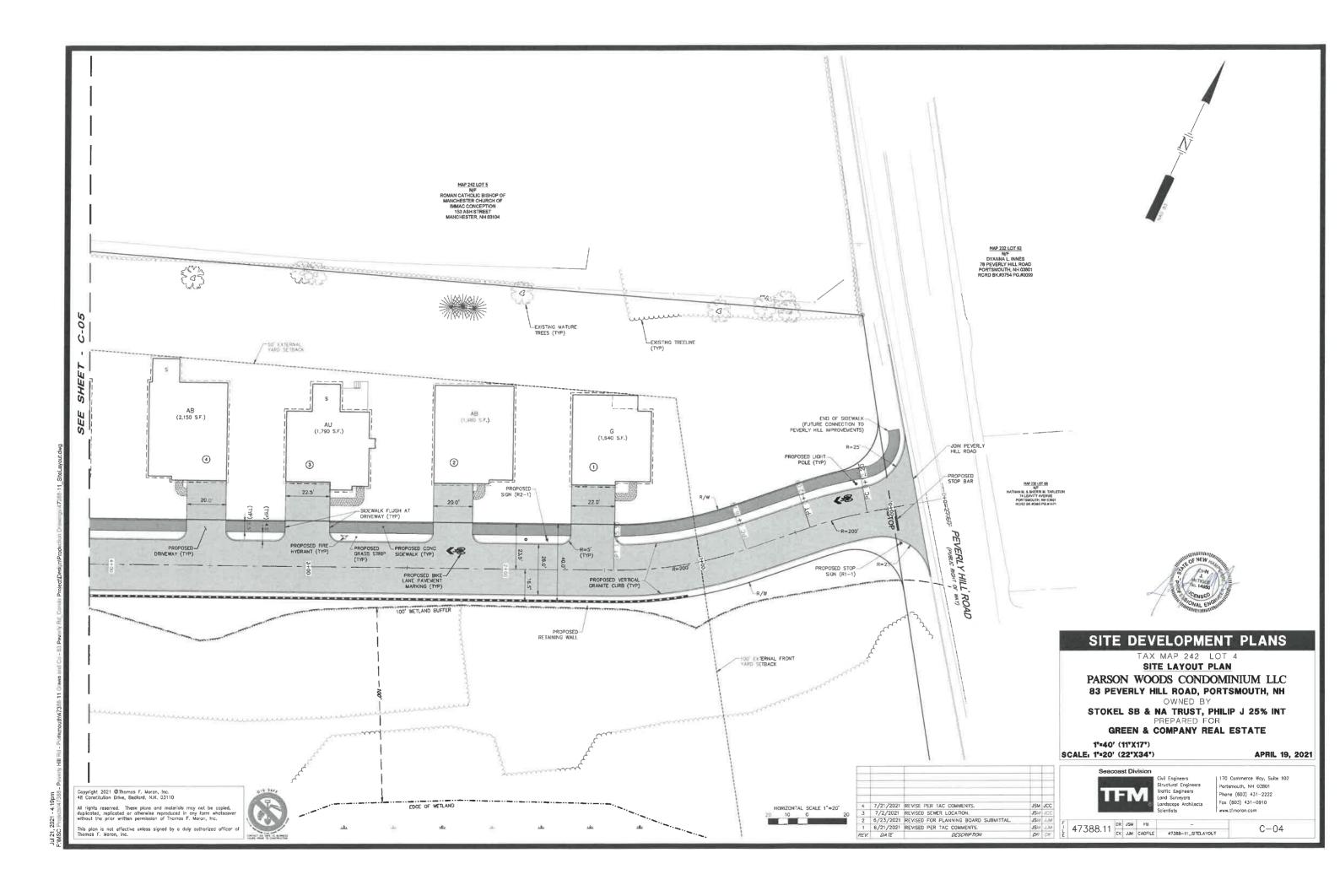
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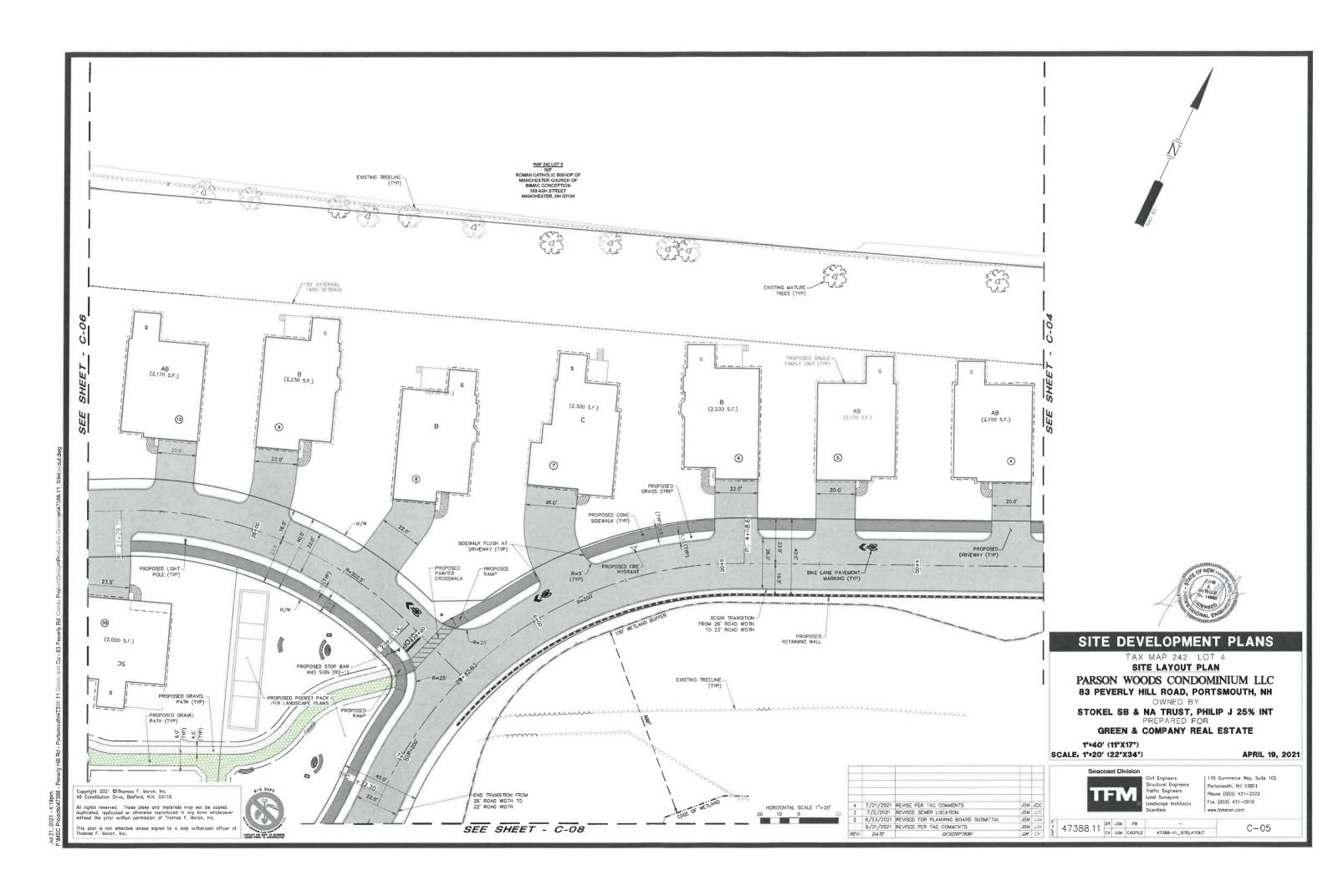
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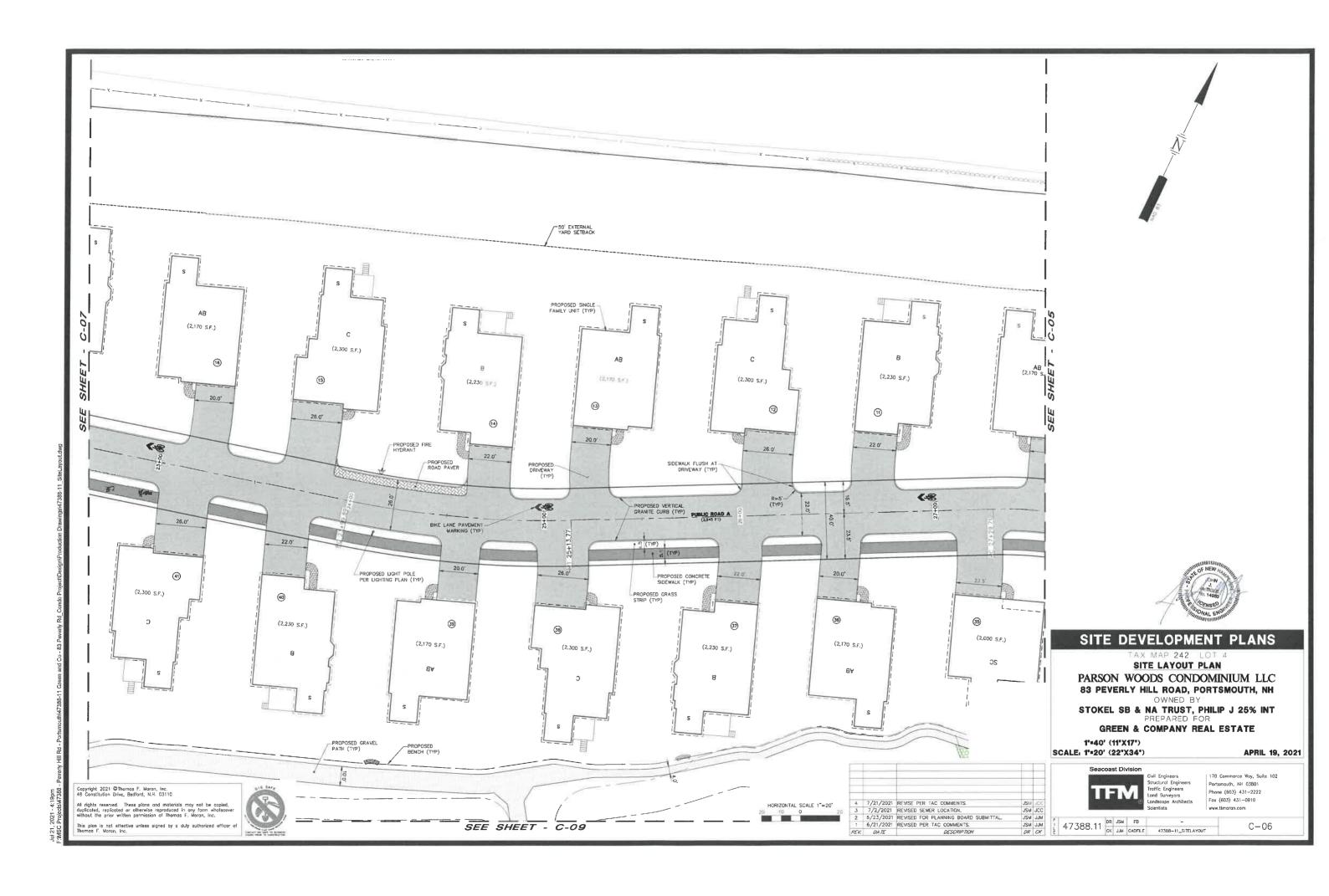


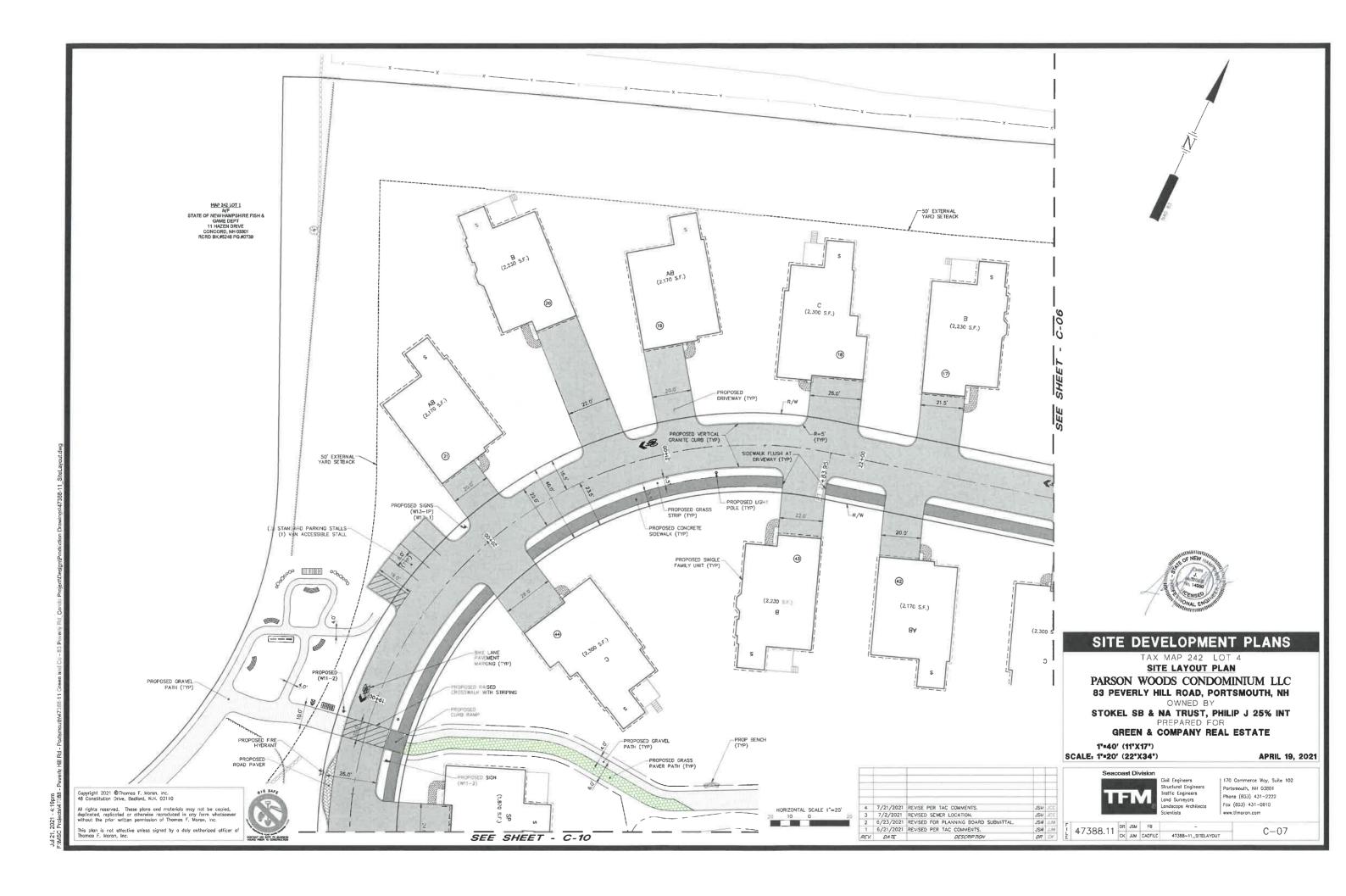


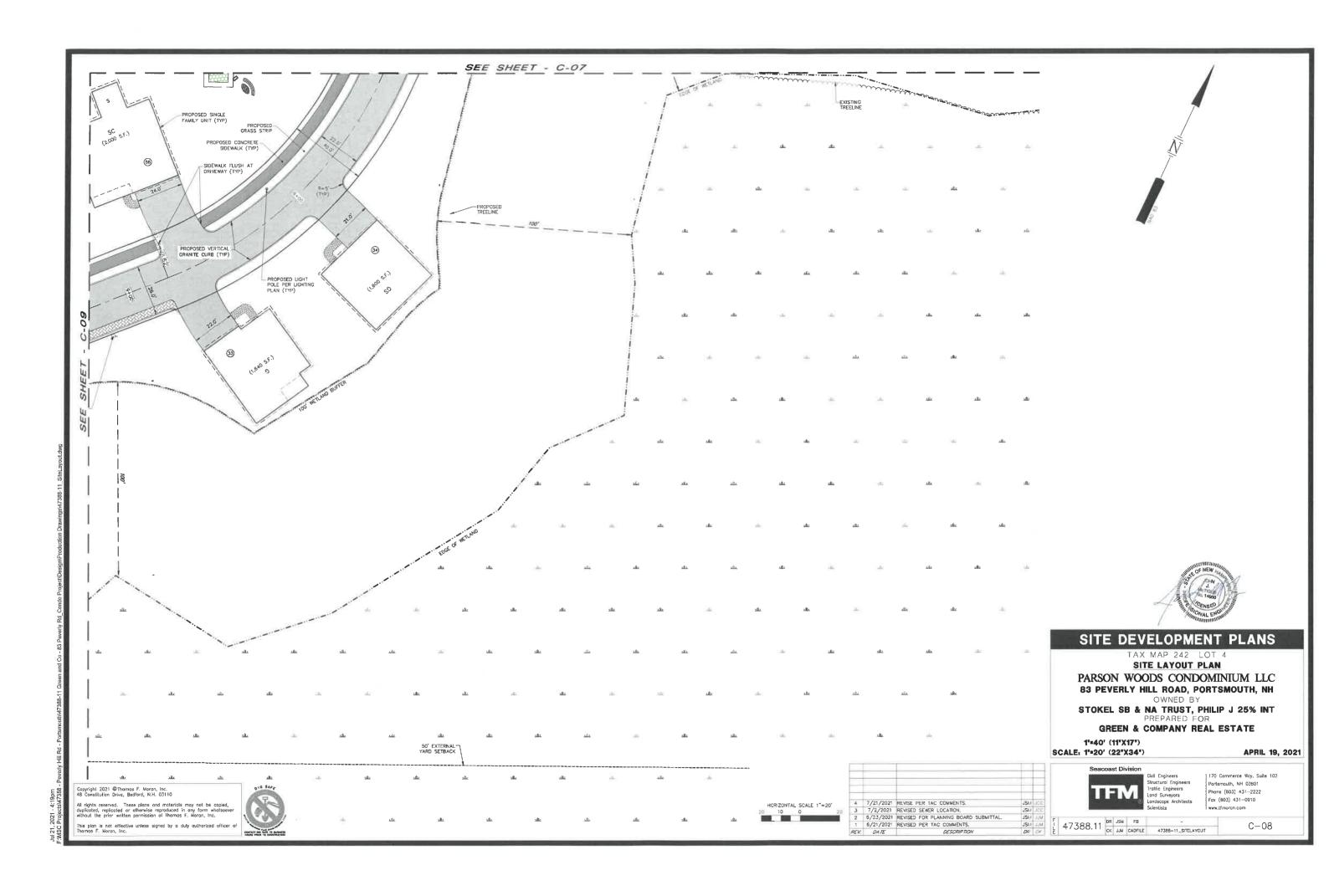
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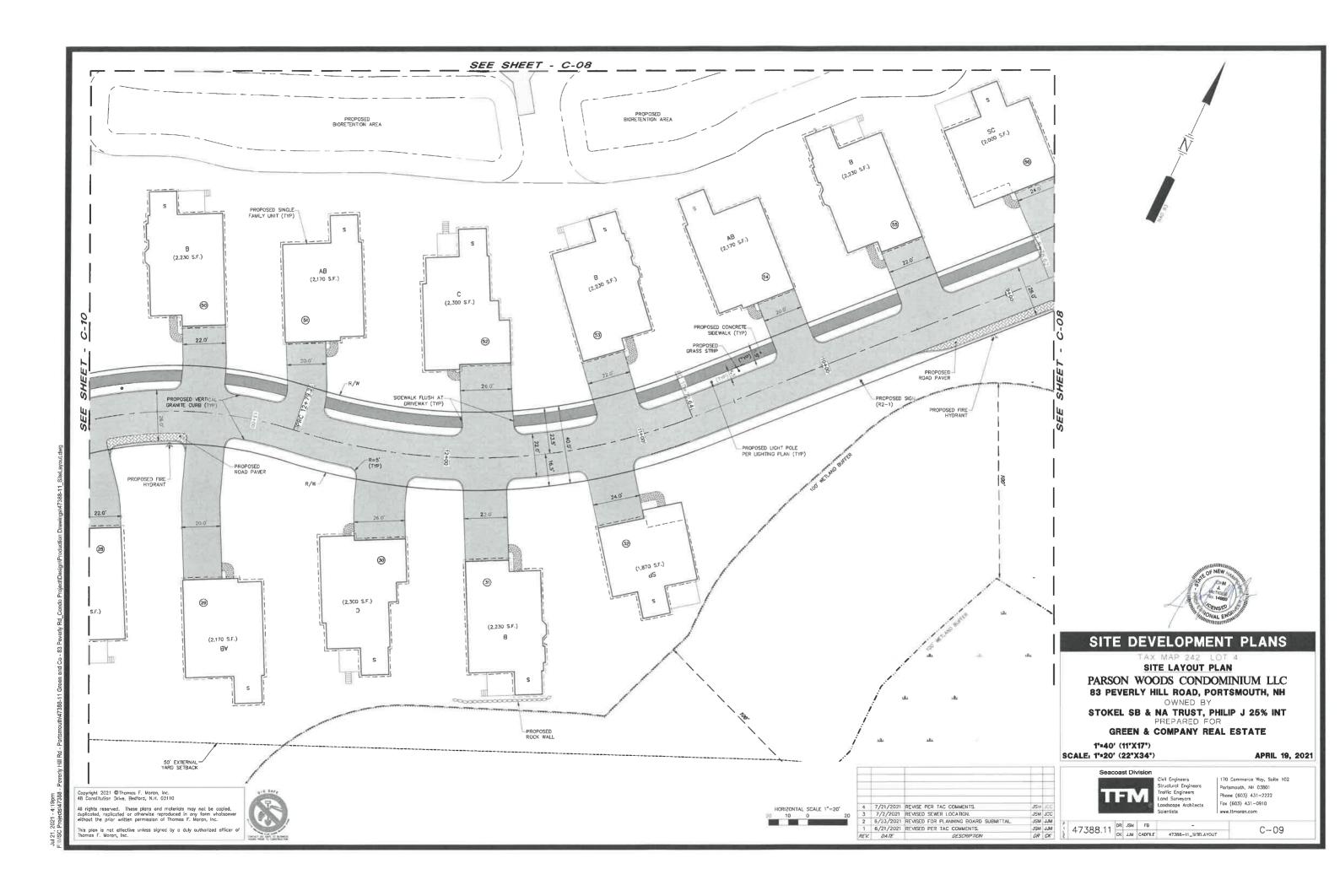


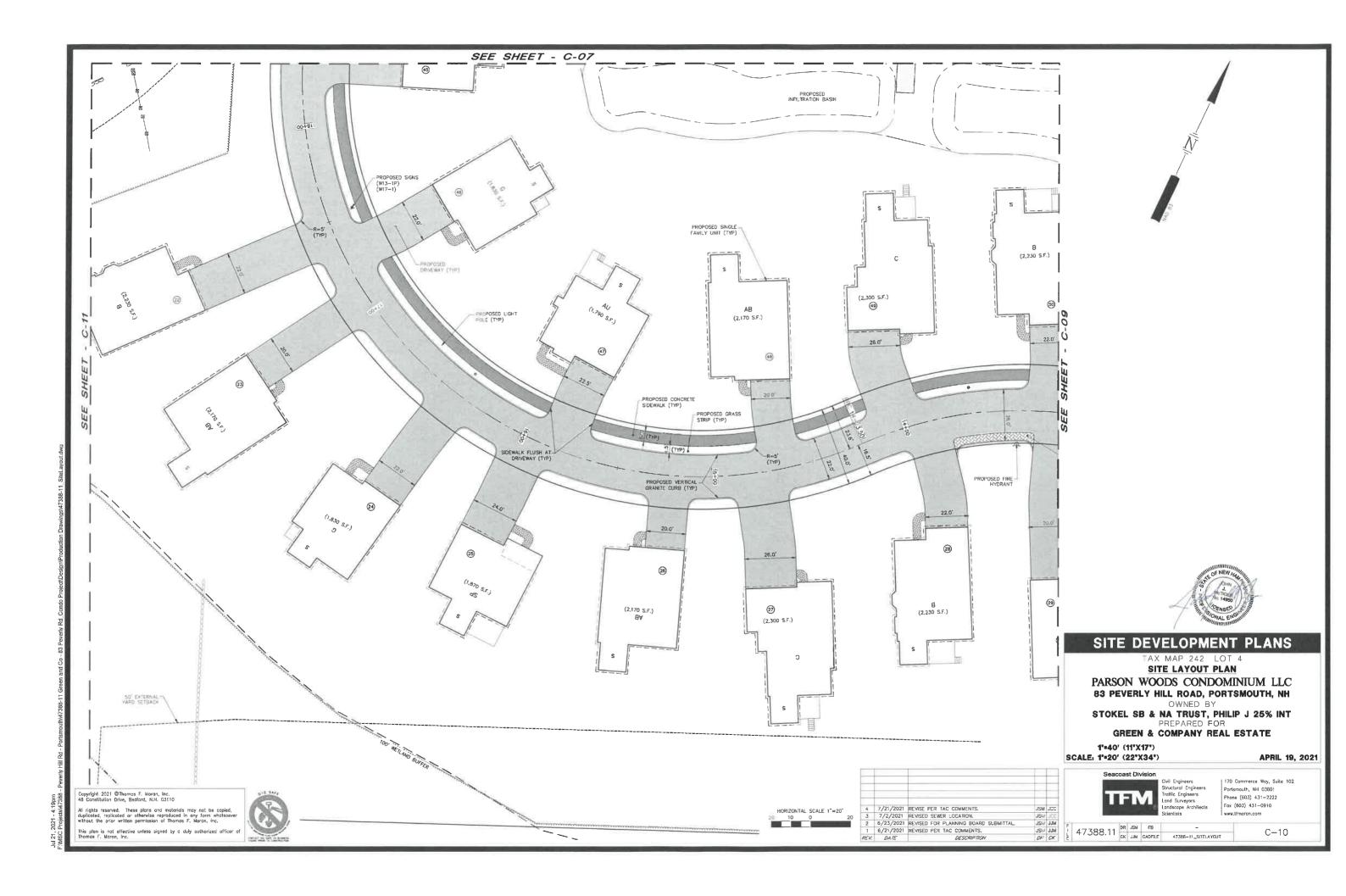


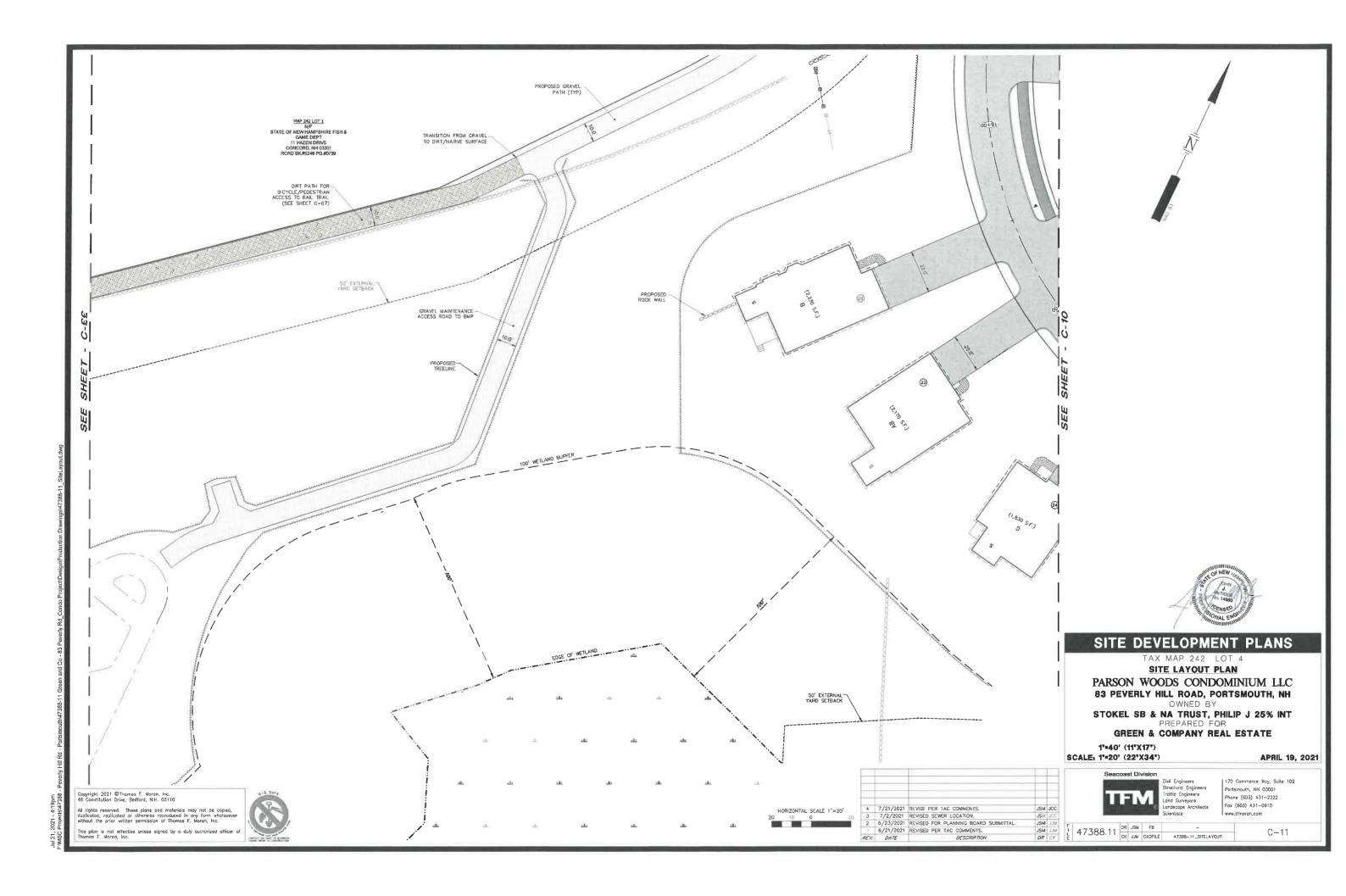


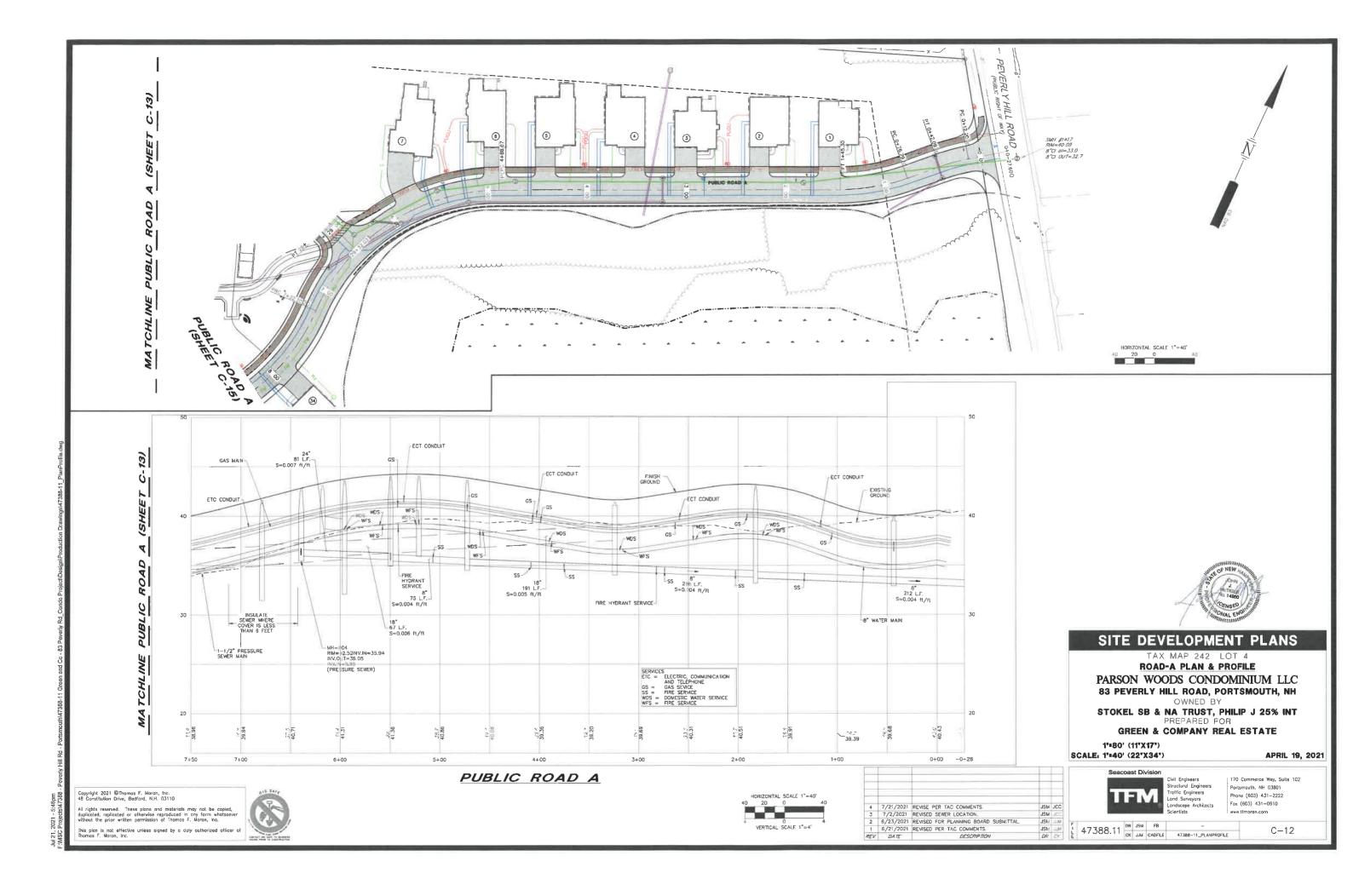


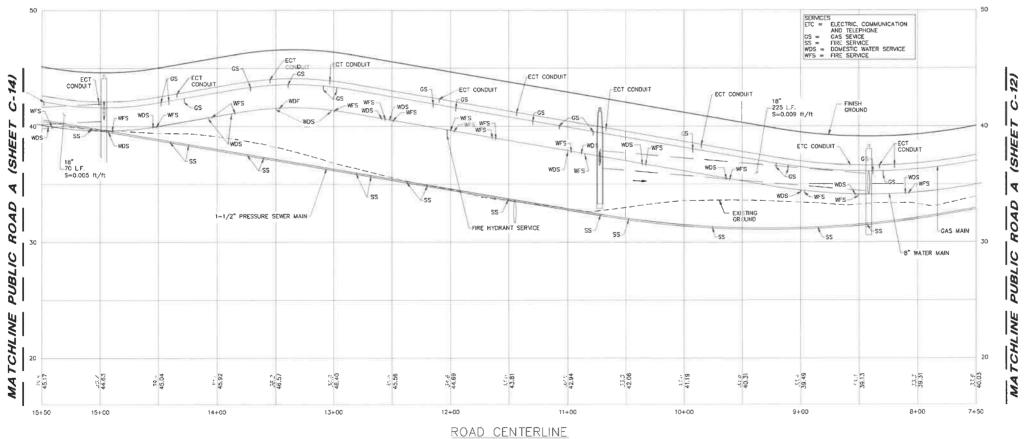












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SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

1'=80' (11'X17') SCALE: 1'=40' (22'X34')

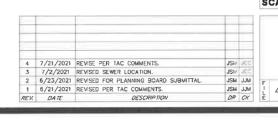
APRIL 19, 2021

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PUBLIC ROAD A





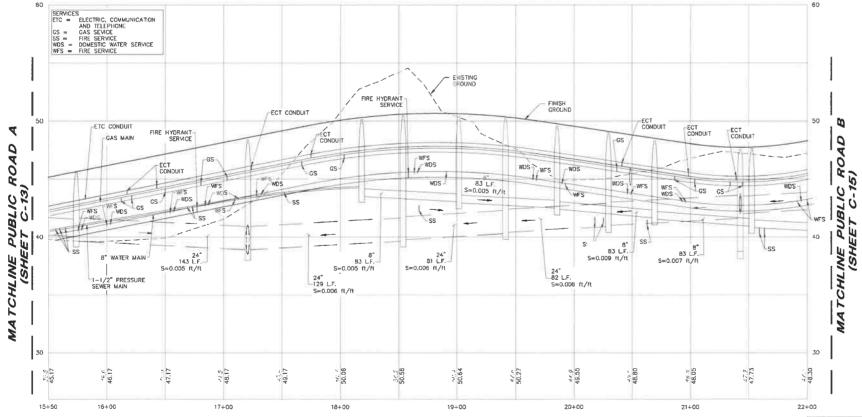
rgineers 170 Commerce Way, Suite 102
Portsmouth, NH 0,3901
Engineers Phone (603) 431–2222
Universors page Architects Fox (603) 431–0910
Way (fragrang com

Landscape Architects
Scientists

Fax (803) 431–0910
www.tfmoran.com

47388.11 DR JSM FB - CK JJM CADFILE 47388-11_PLANPROFILE

C-13



PUBLIC ROAD A



SITE DEVELOPMENT PLANS

AX MAP 242 LOT

ROAD-A PLAN & PROFILE
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

1'=80' (11'X17') SCALE: 1'=40' (22'X34')

APRIL 19, 2021

170 Commerce Way, Suite 102 Portsmouth, NH 03801

Phone (603) 431-2222 Fox (603) 431-0910

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4	7/21/2021	REVISE PER TAC COMMENTS.	JSIM	JICS
3	7/2/2021	REVISED SEWER LOCATION.	JSI√	JC.
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JU
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	N
REV.	DATE	DESCRIPTION	DR	ČX.

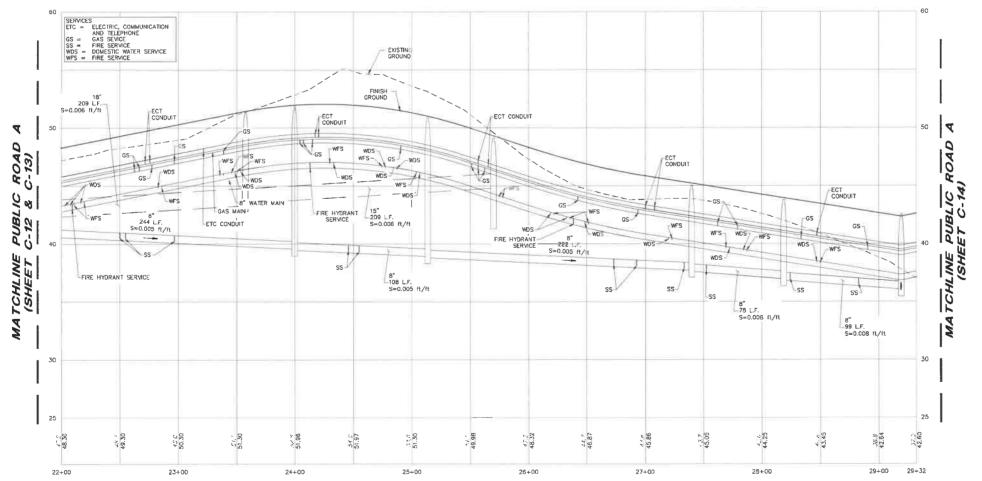


Civil Engineers
Structural Engineers
Fraffic Engineers
Land Surveyors
Landscape Architects
Scientists

E 47388.11 DR JSM FB
CK JJM CAOPILE 47388-11_PLANPROFILE

C-14

Jul 21, 2021 - 5:48pm F-VMSC Projects/47388 - Peverty Hill Rd - Port



PUBLIC ROAD A



SITE DEVELOPMENT PLANS

ROAD-A PLAN & PROFILE PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT

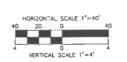
GREEN & COMPANY REAL ESTATE

1'=80' (11'X17")

SCALE: 1'=40' (22'X34')

APRIL 19, 2021





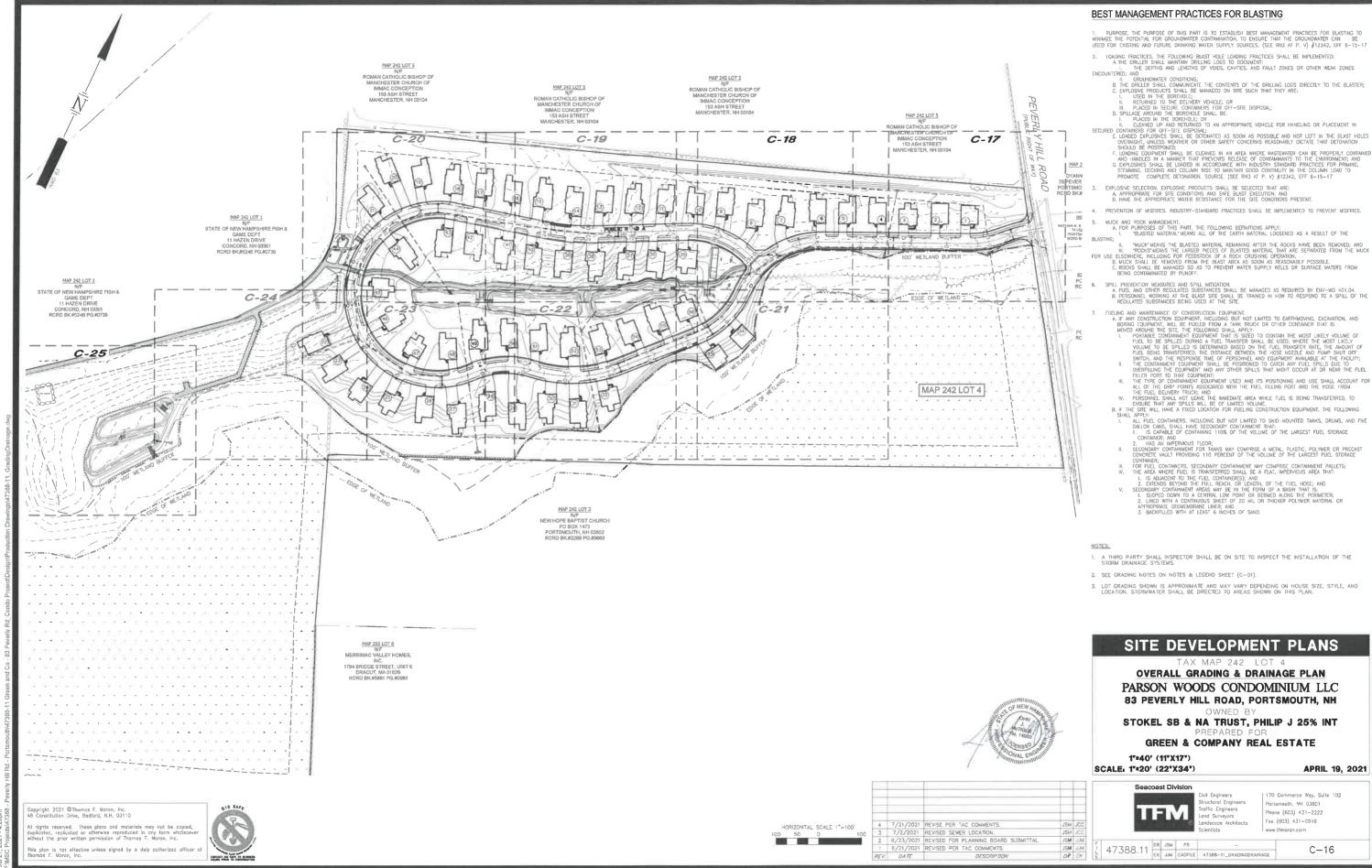
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3	7/2/2021	REVISED SEWER LOCATION.	JSW	100
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
ı	692212021	RESESSEDPERT REASONNE STORED COMMENTS	72861	4083
REV.	DATE	DESCRIPTION	DR	CK



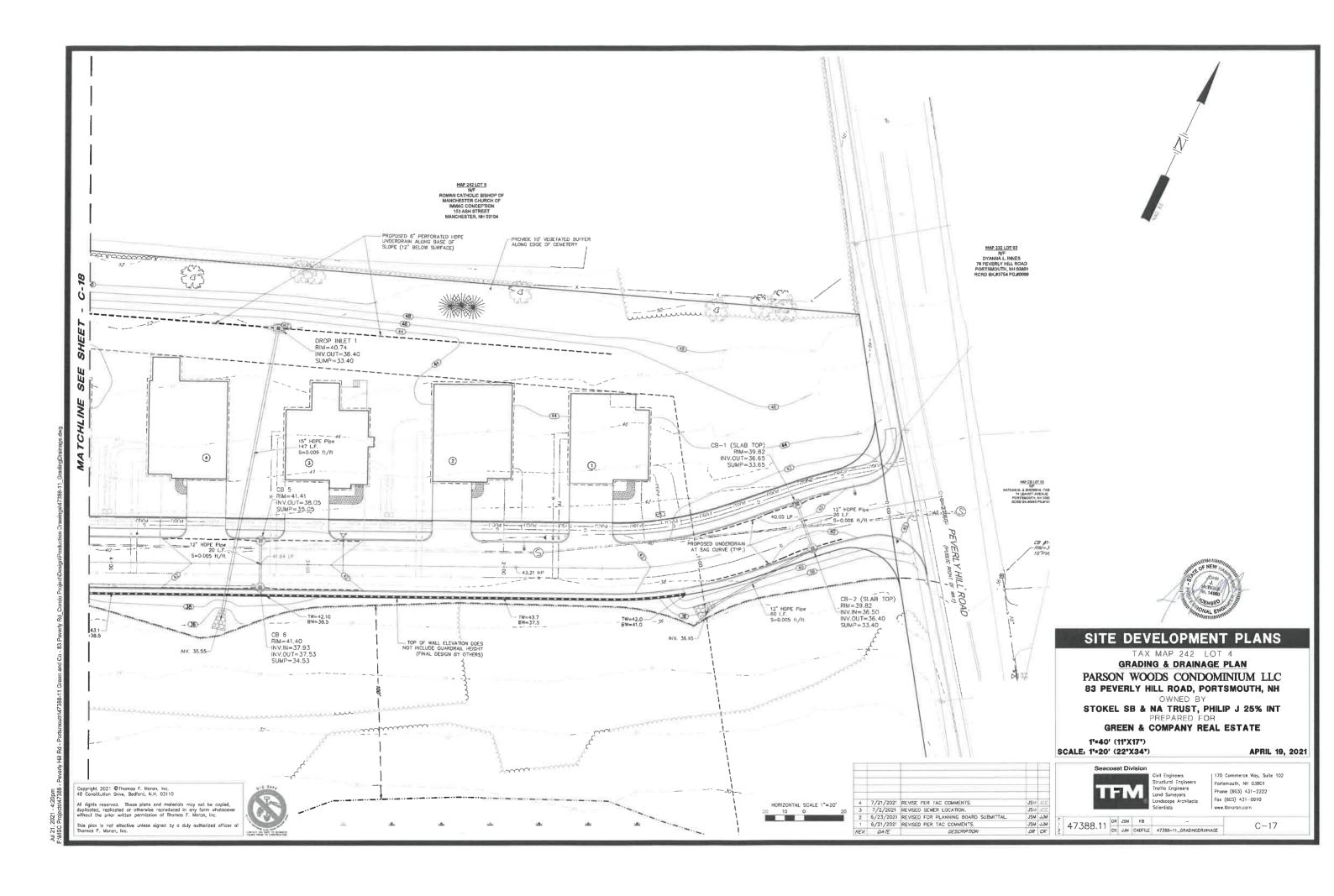
170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910

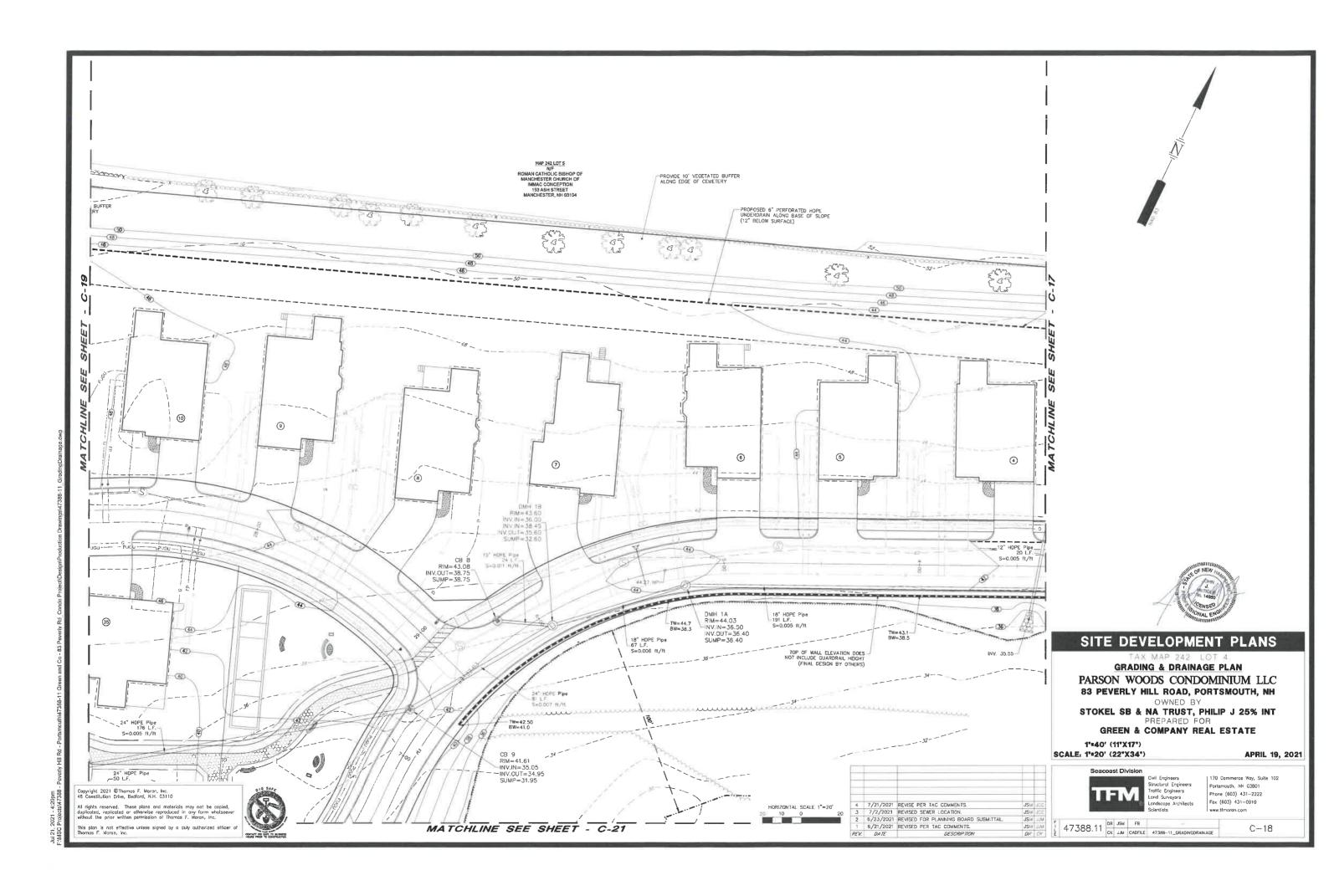
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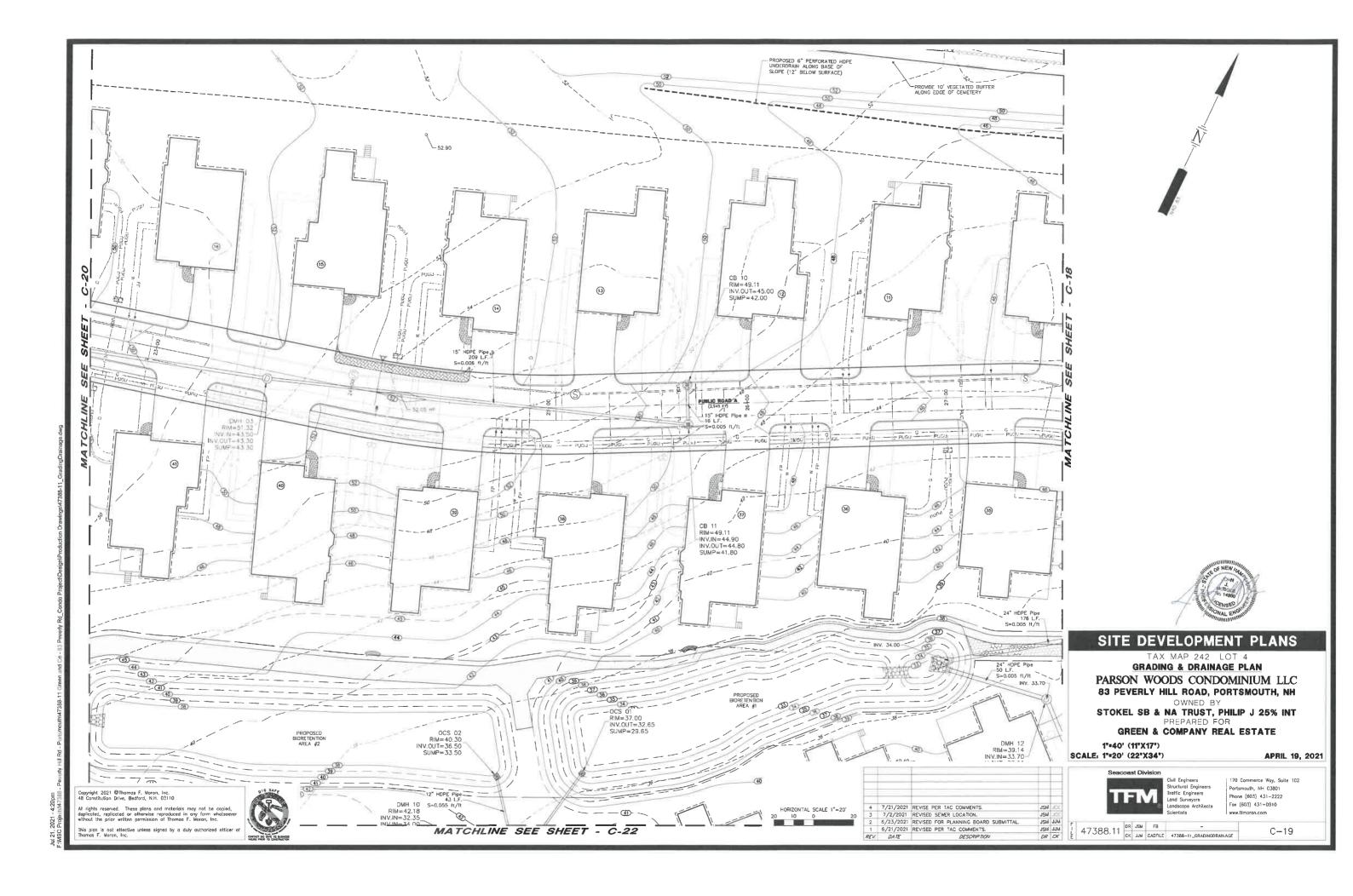
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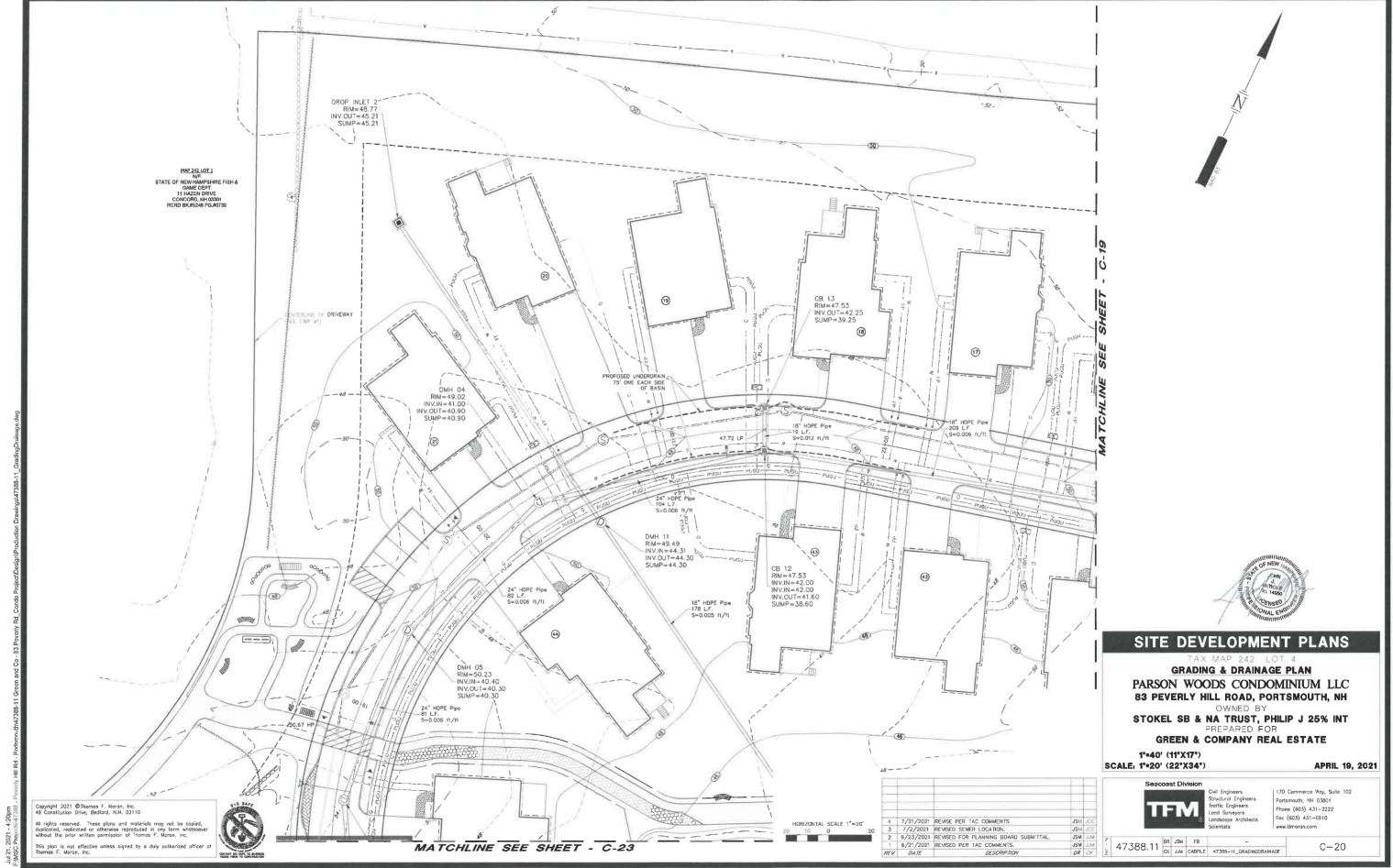


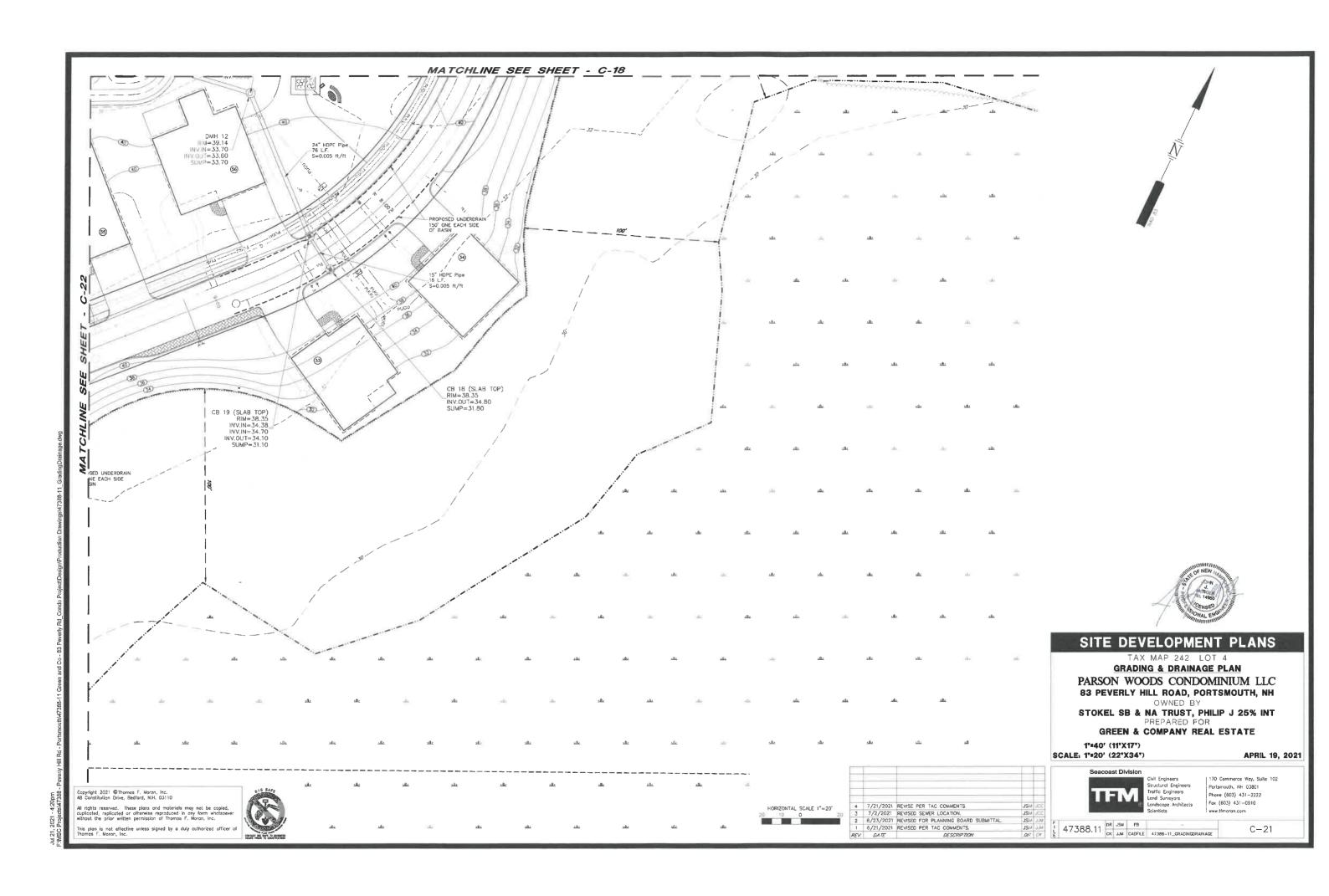
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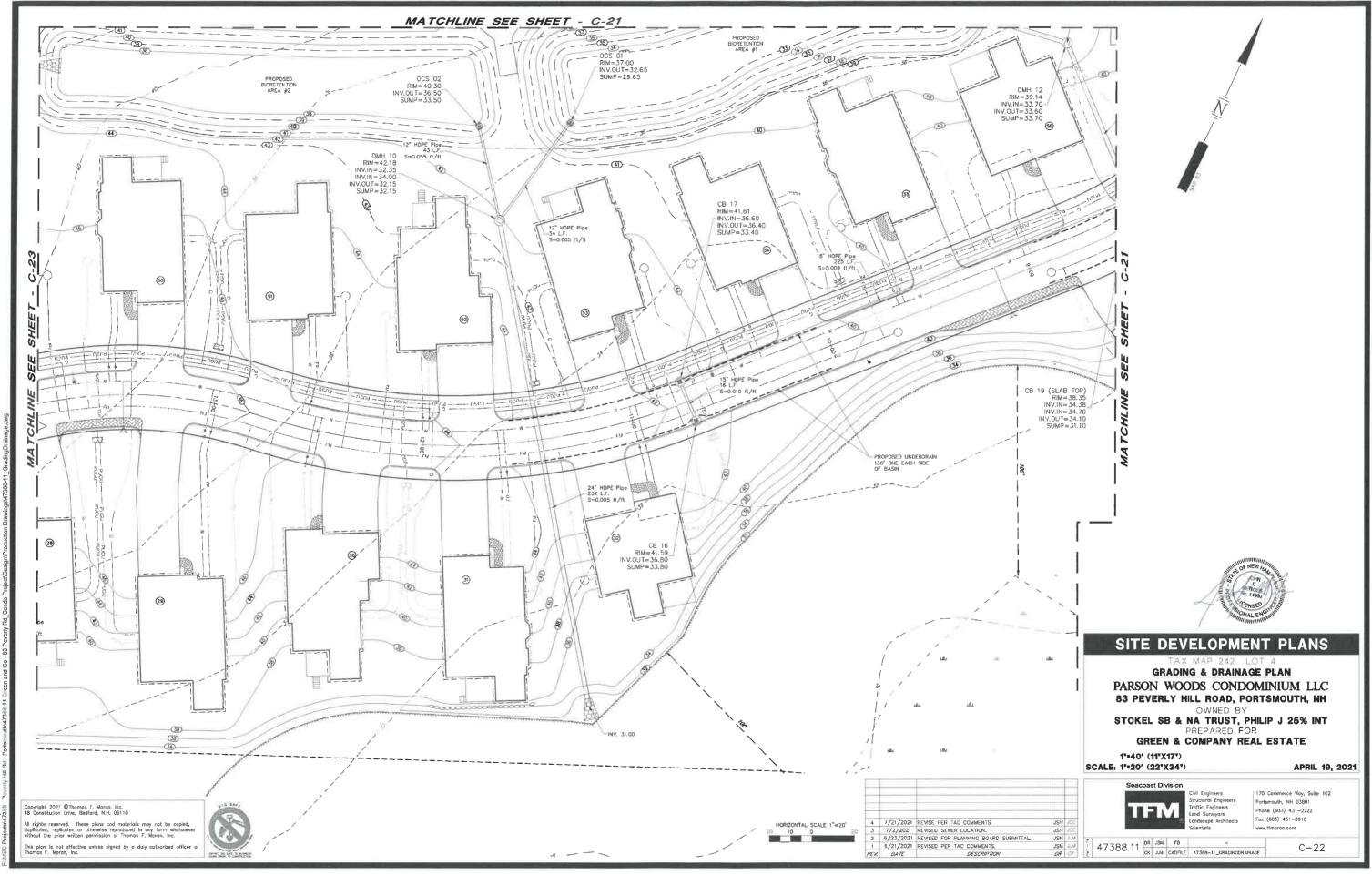




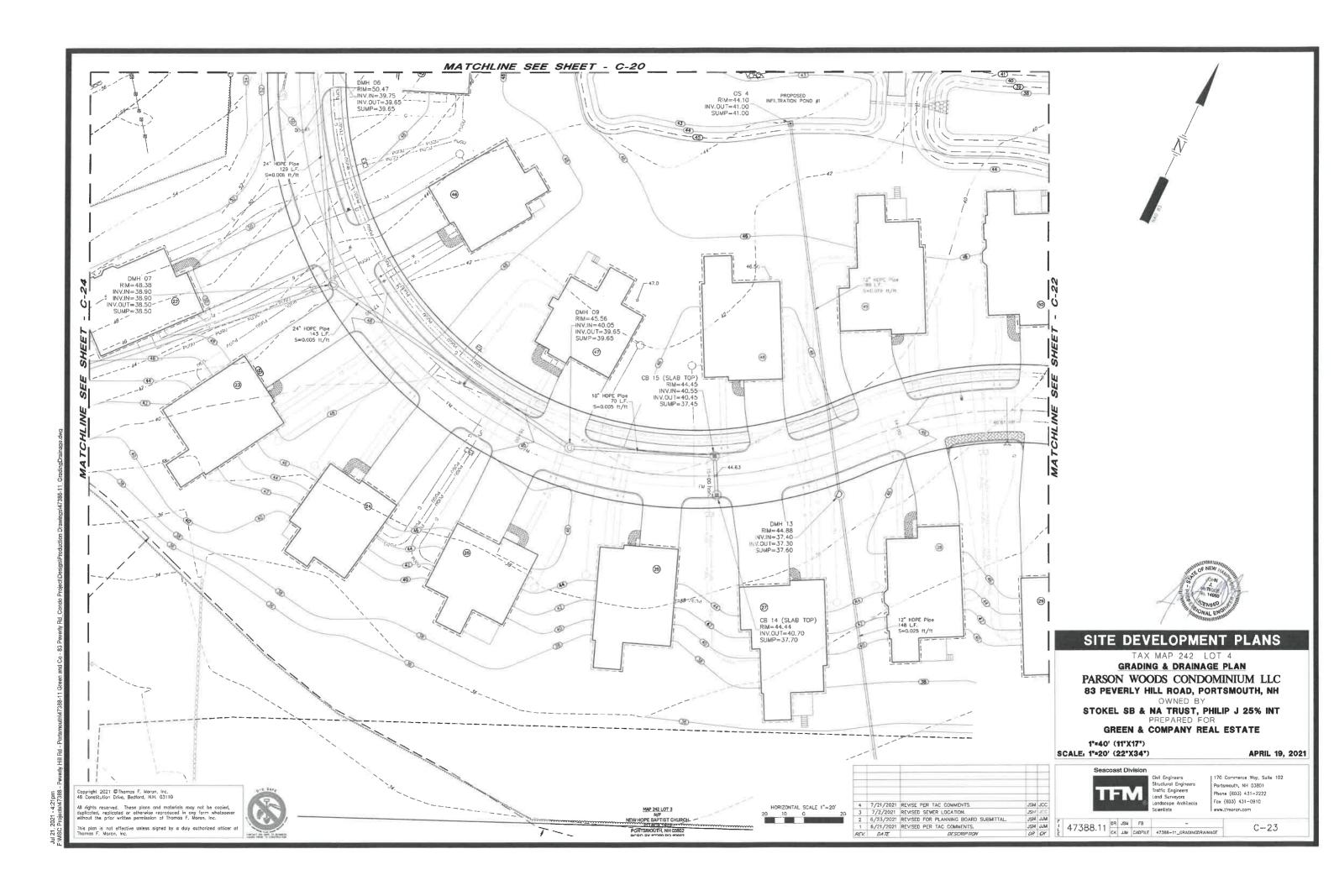


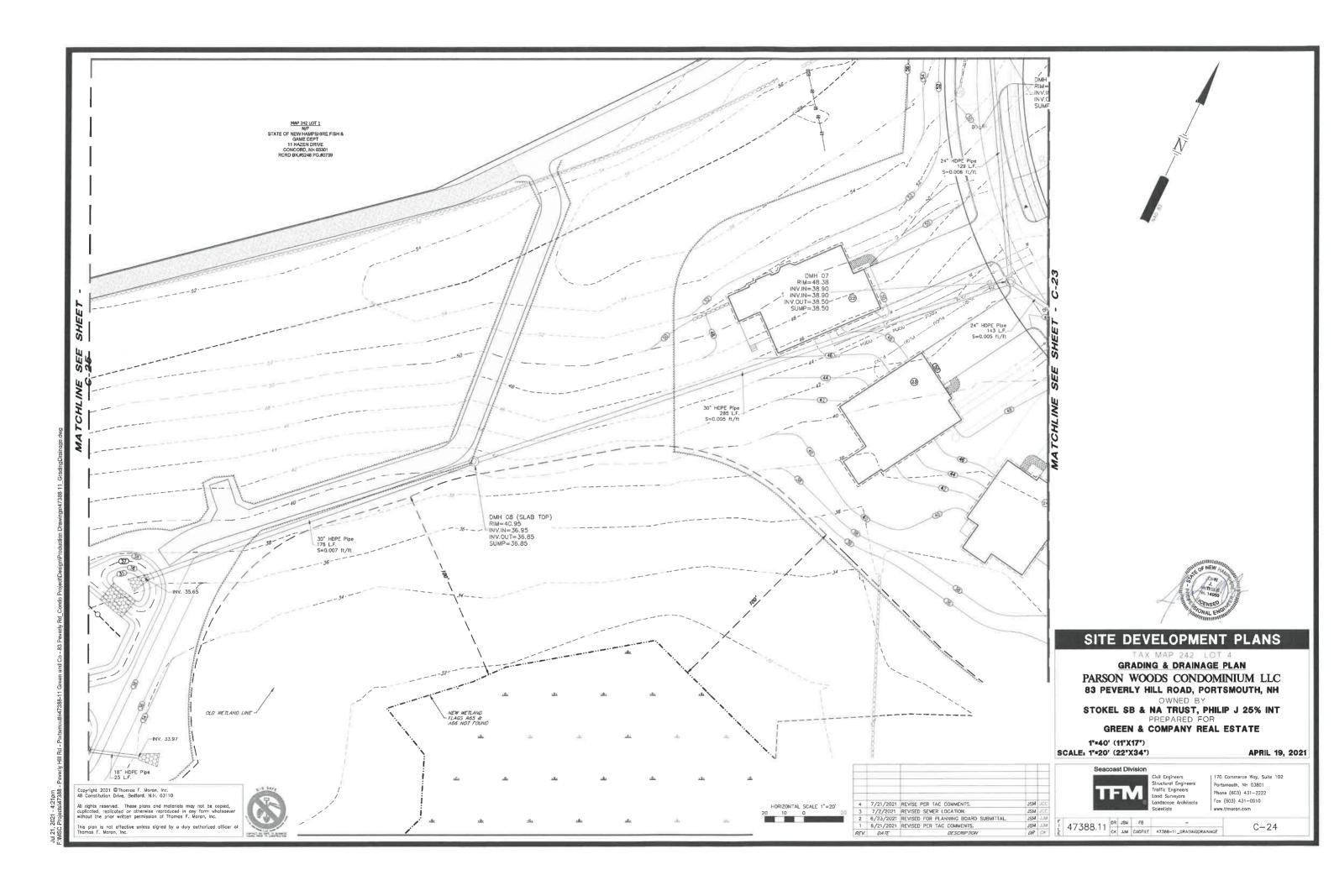


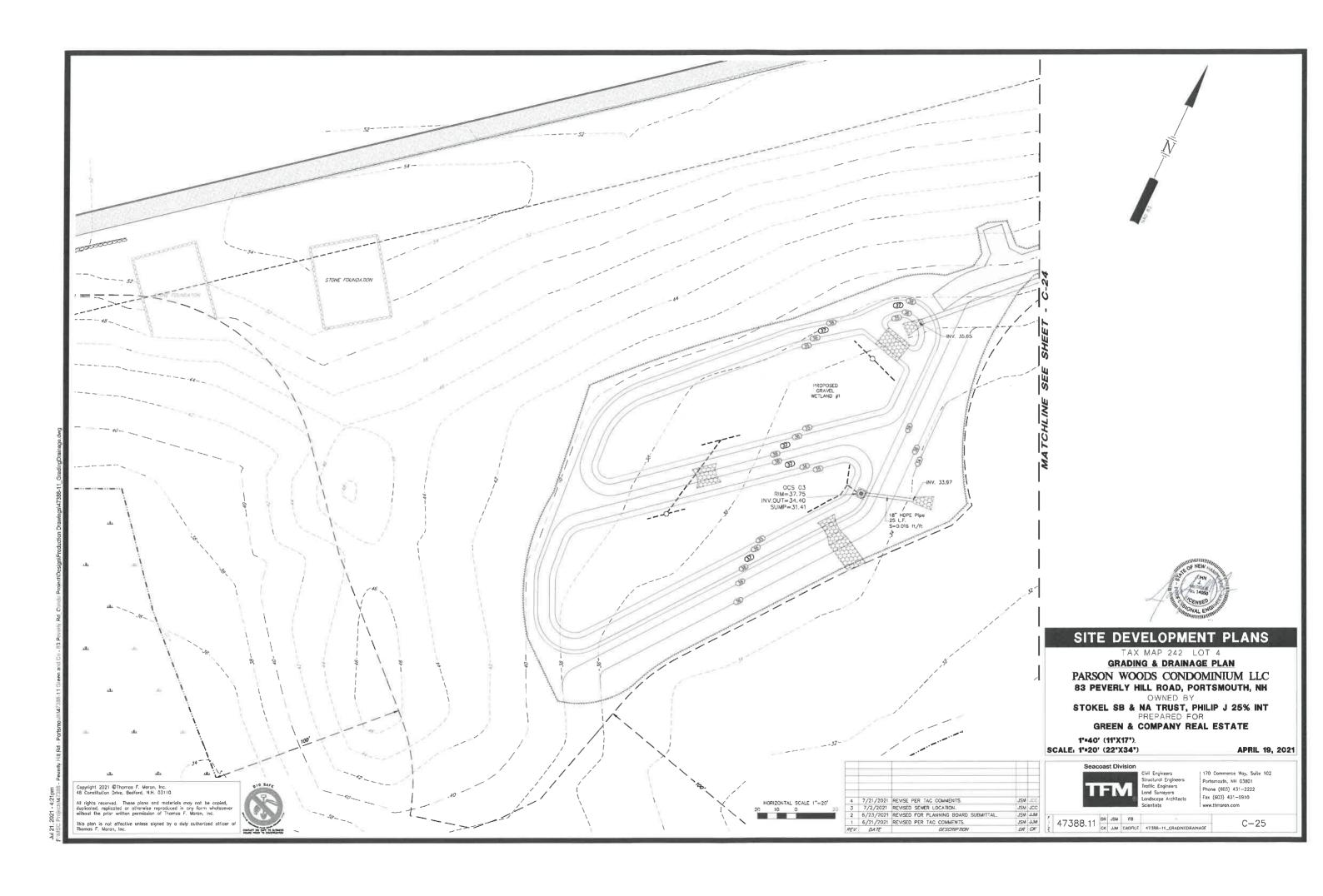


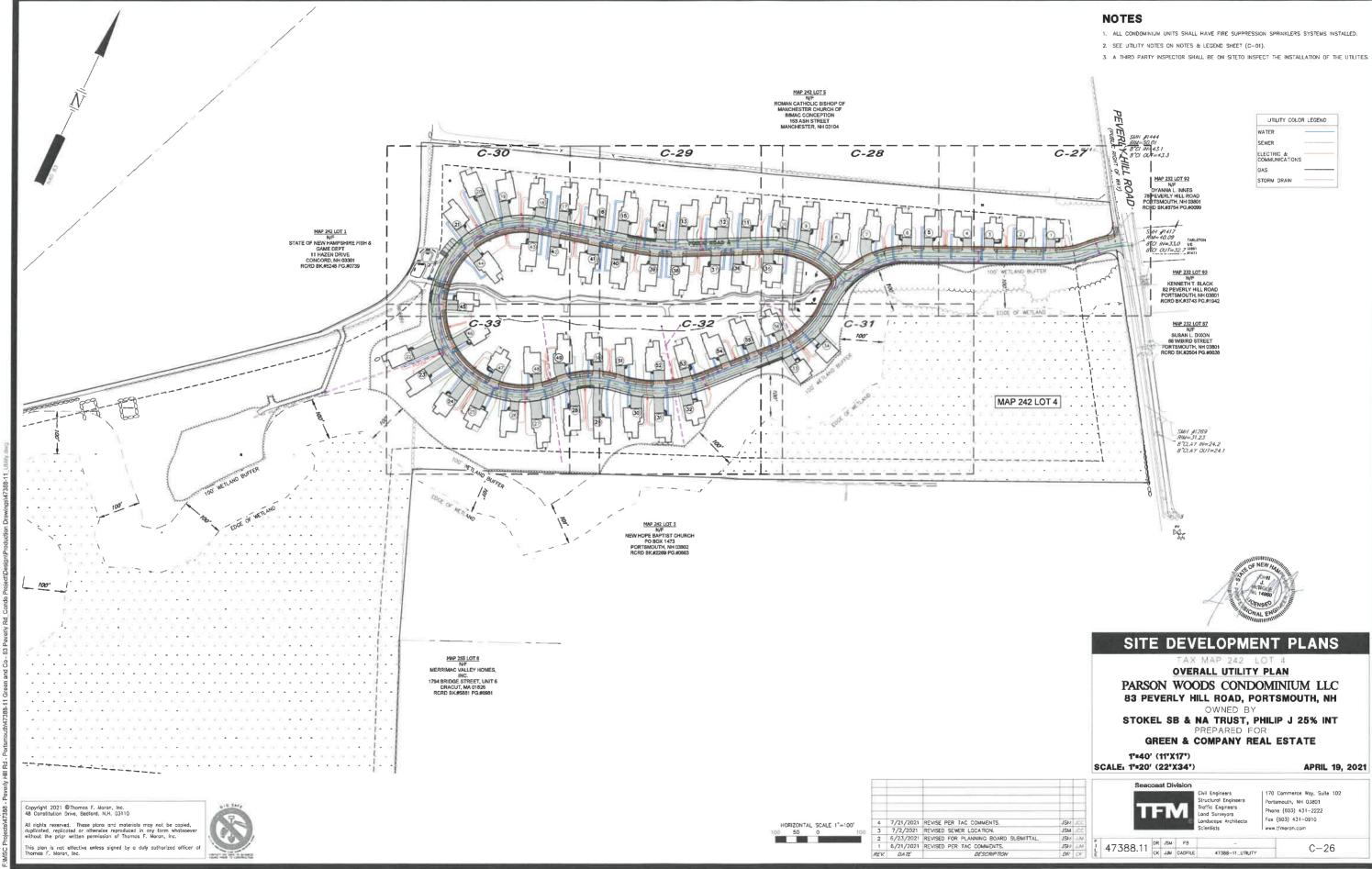


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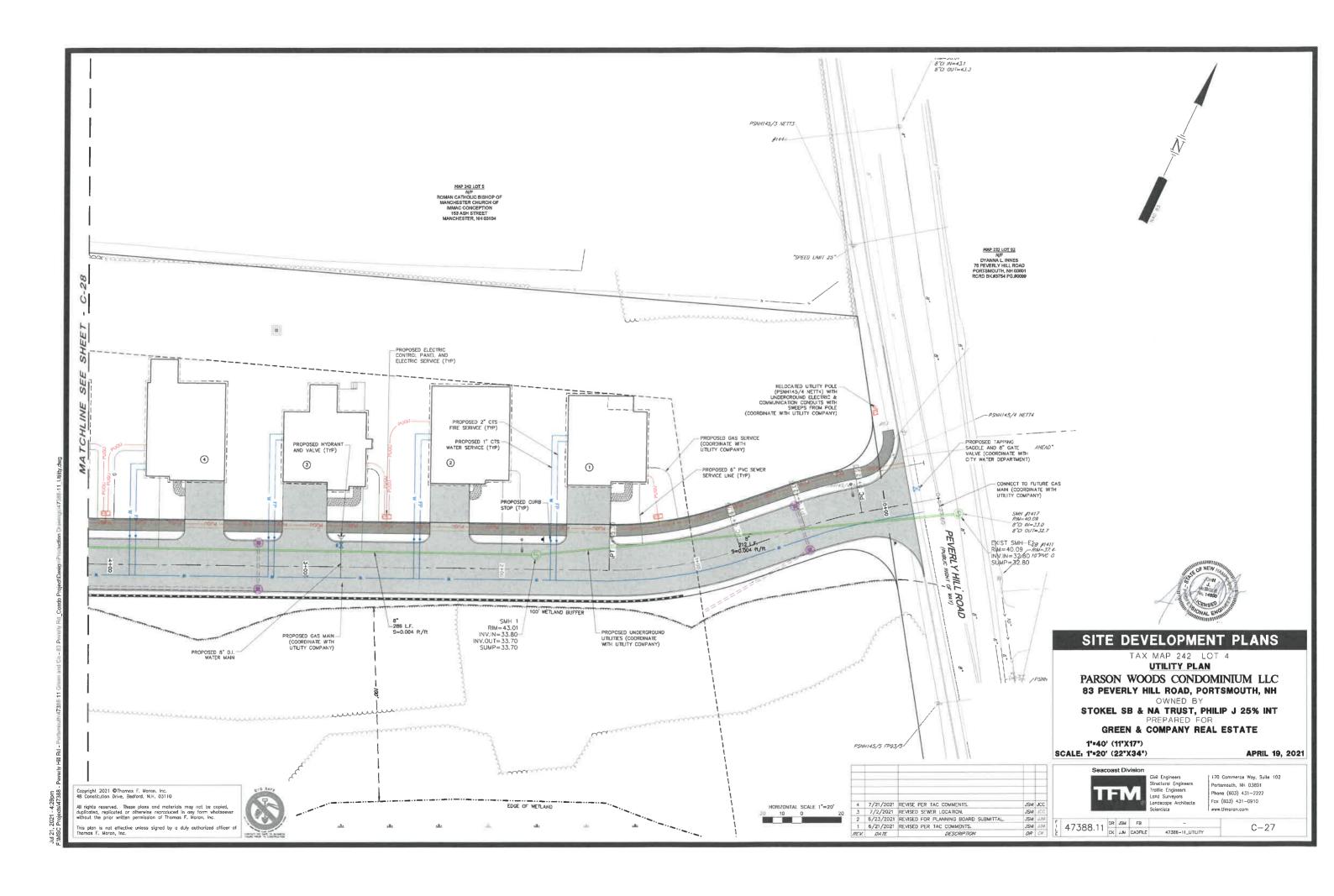


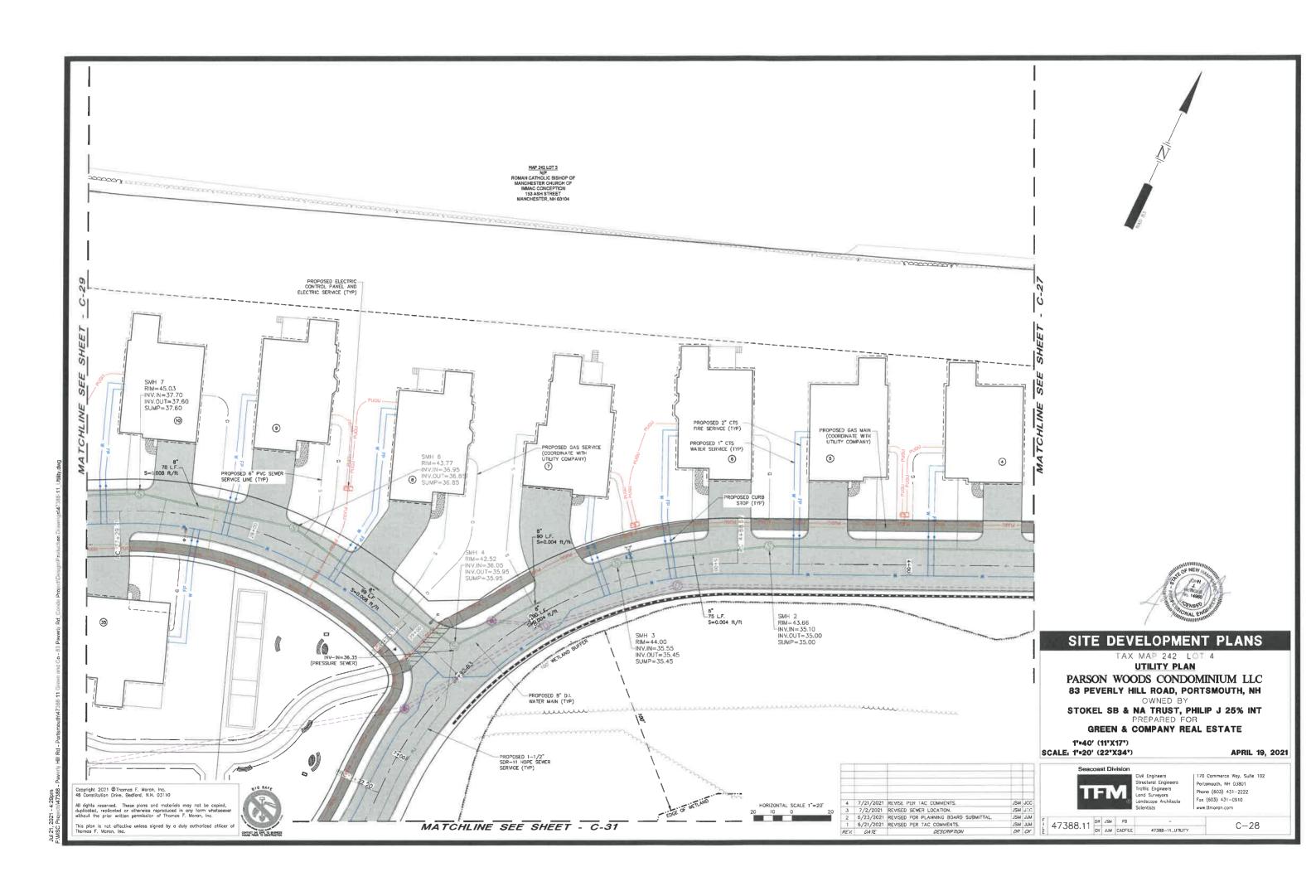


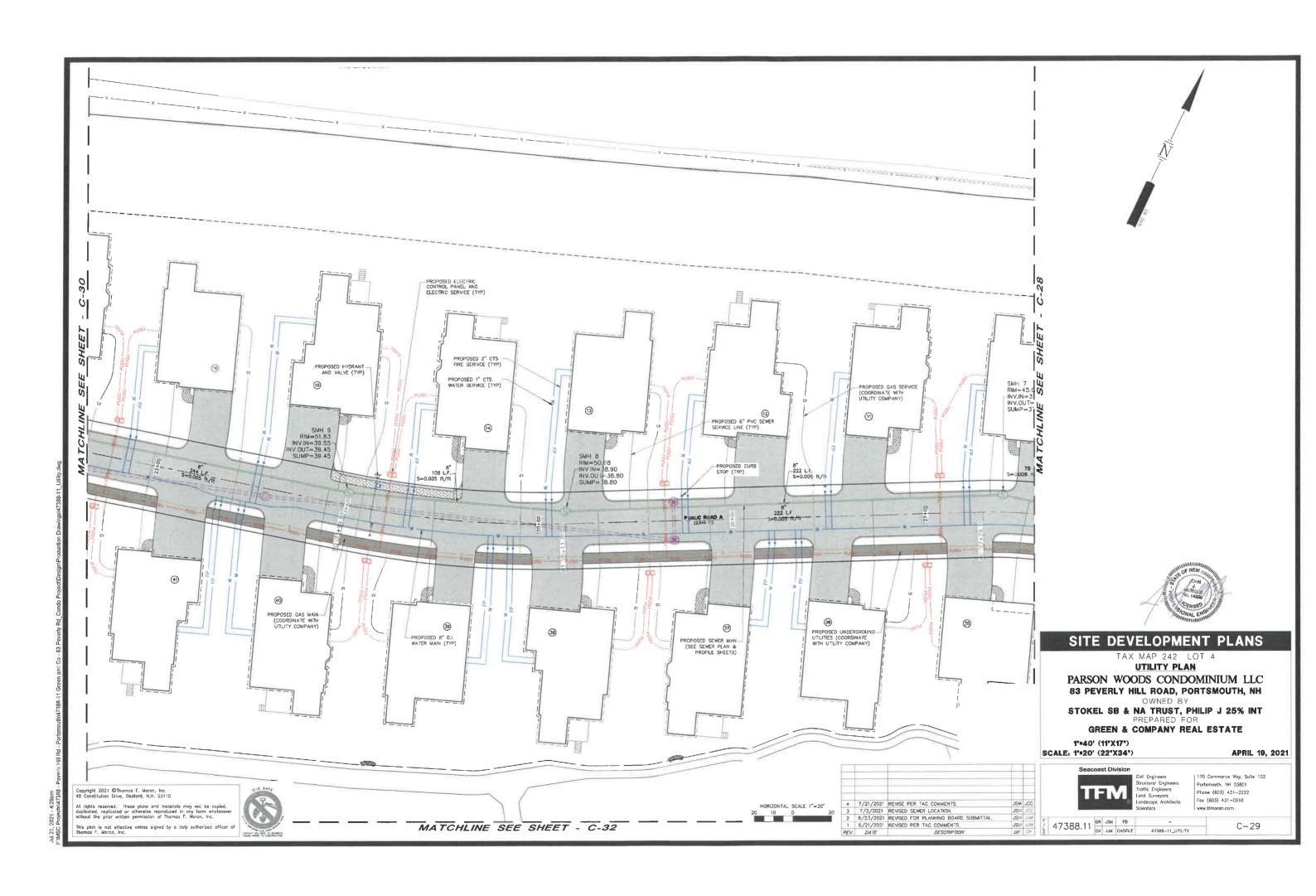


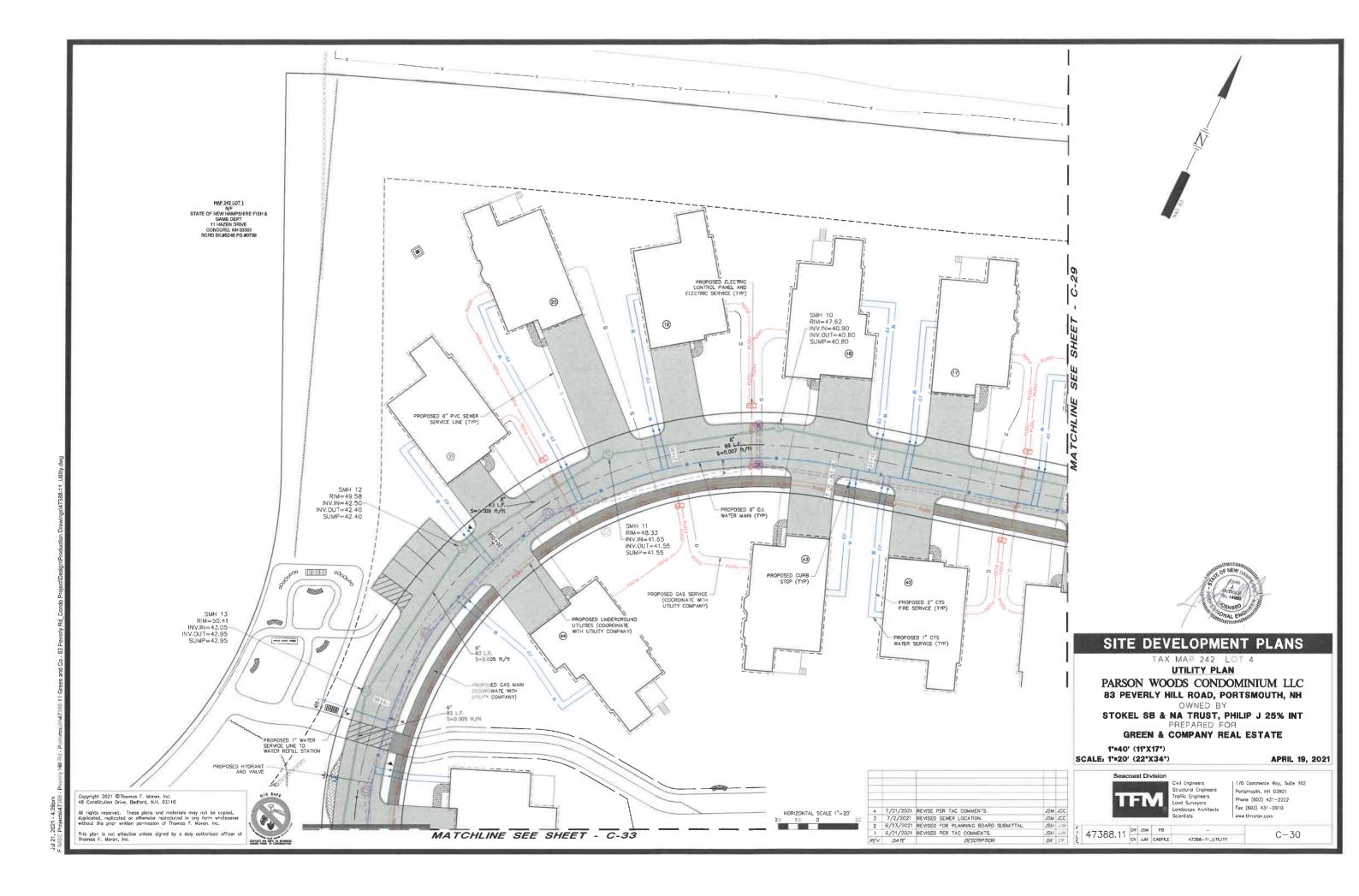


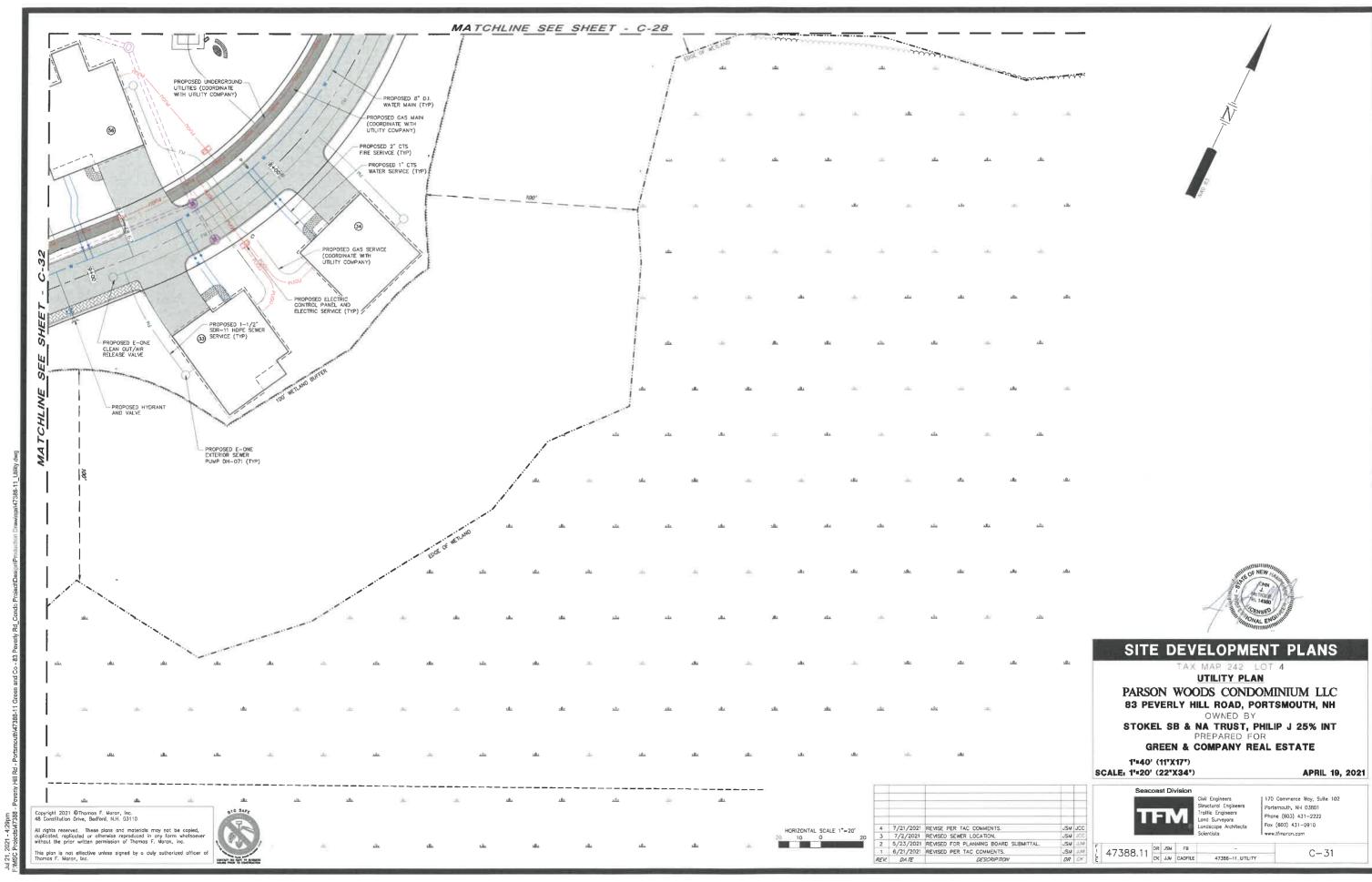
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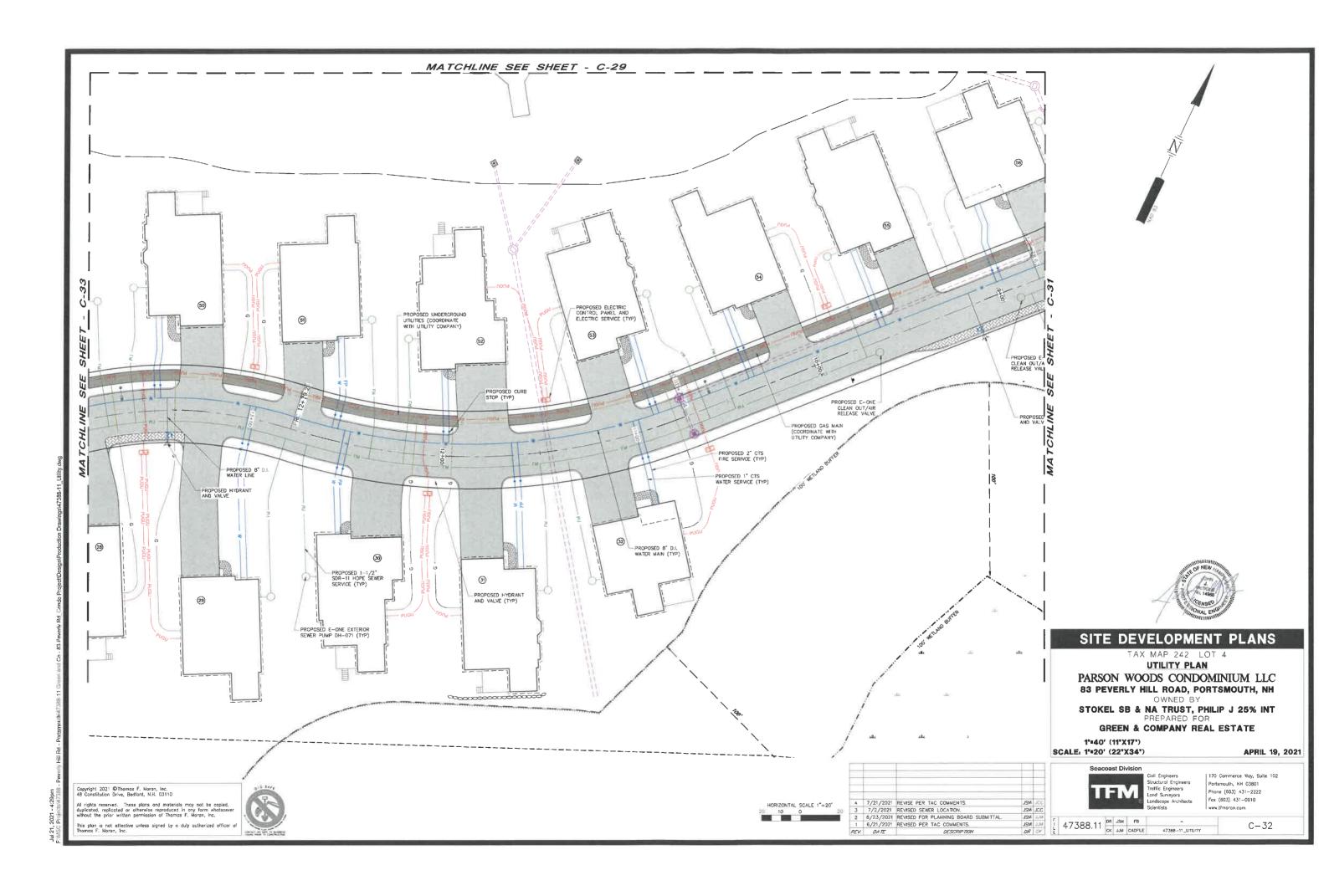


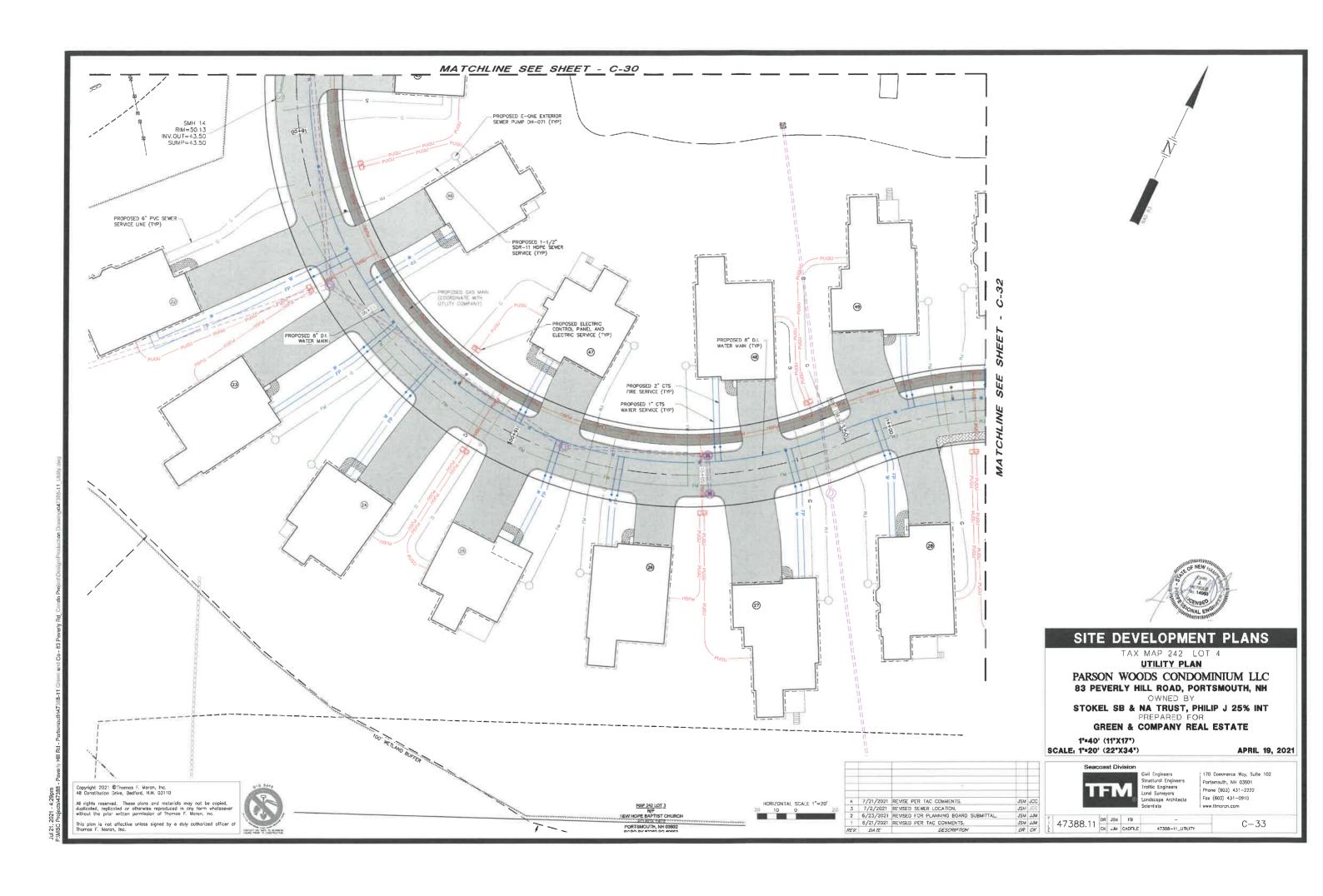


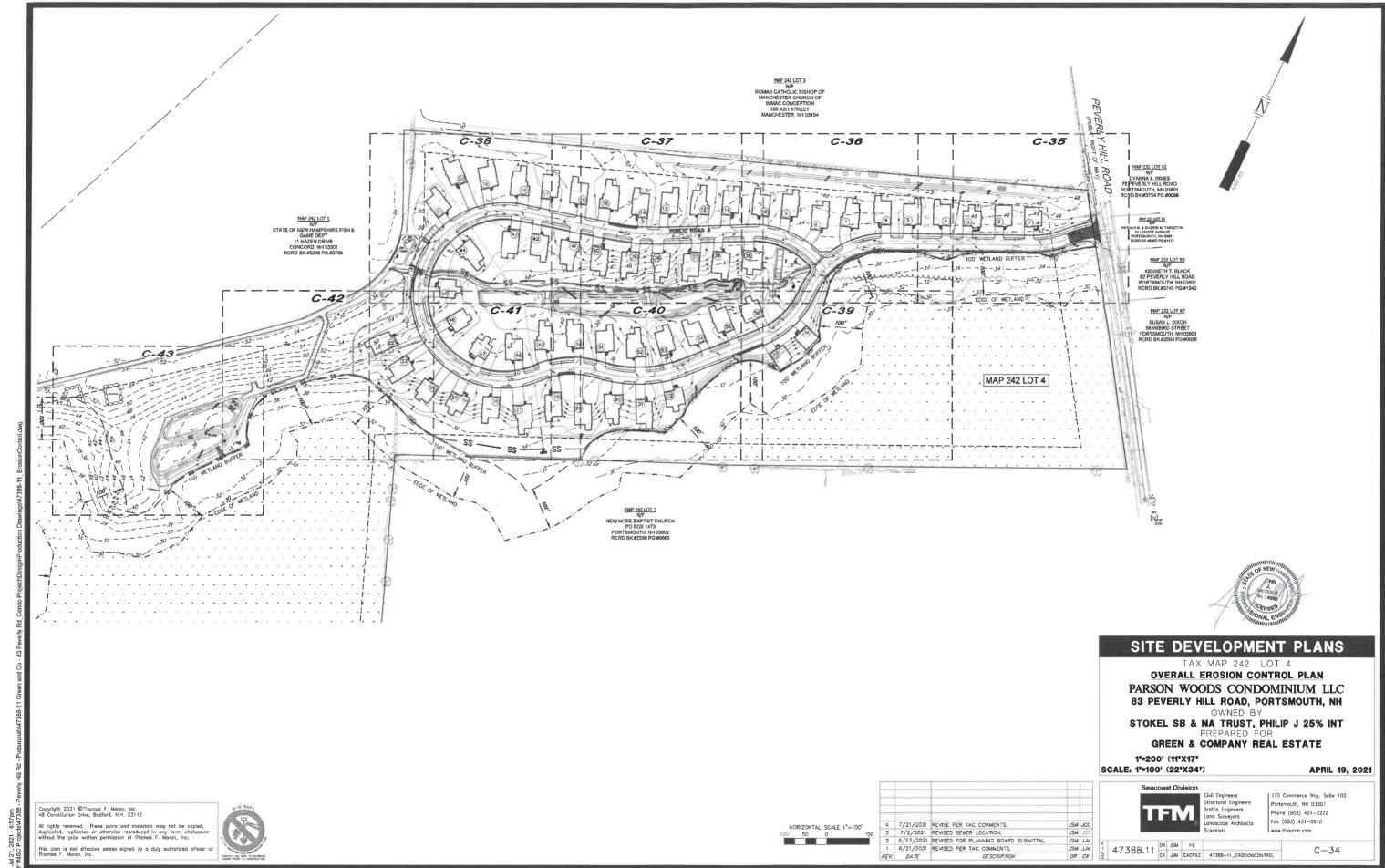


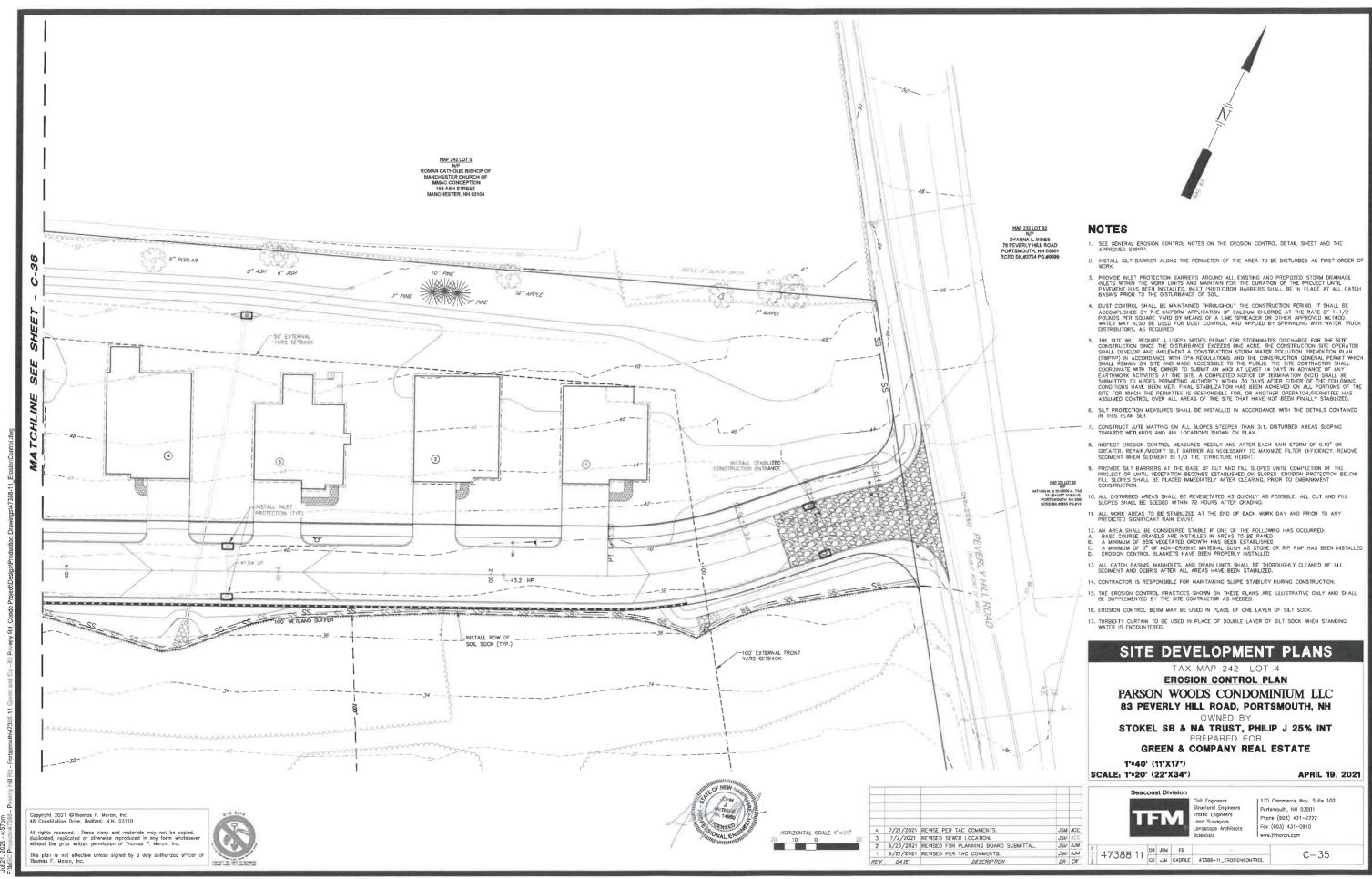


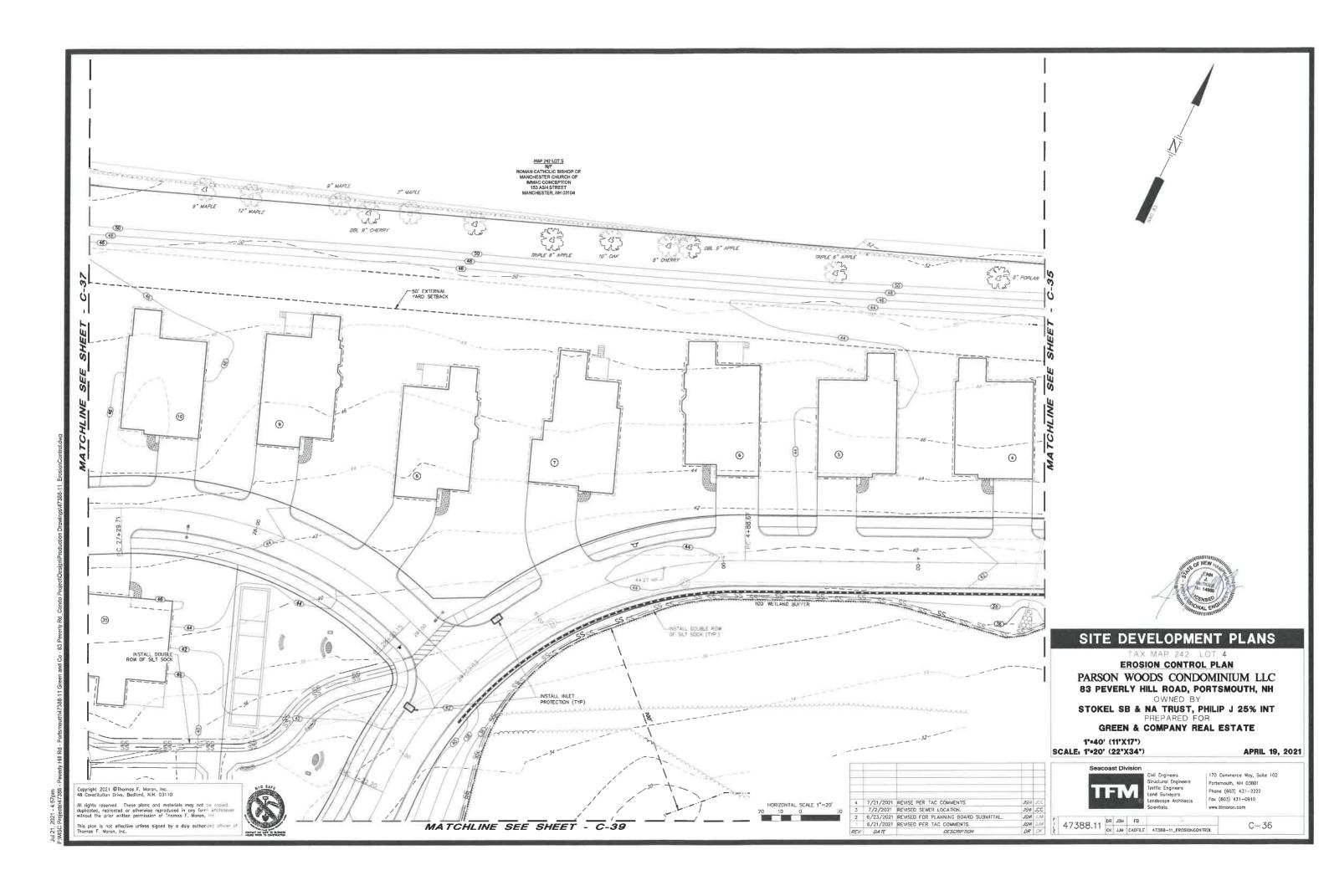


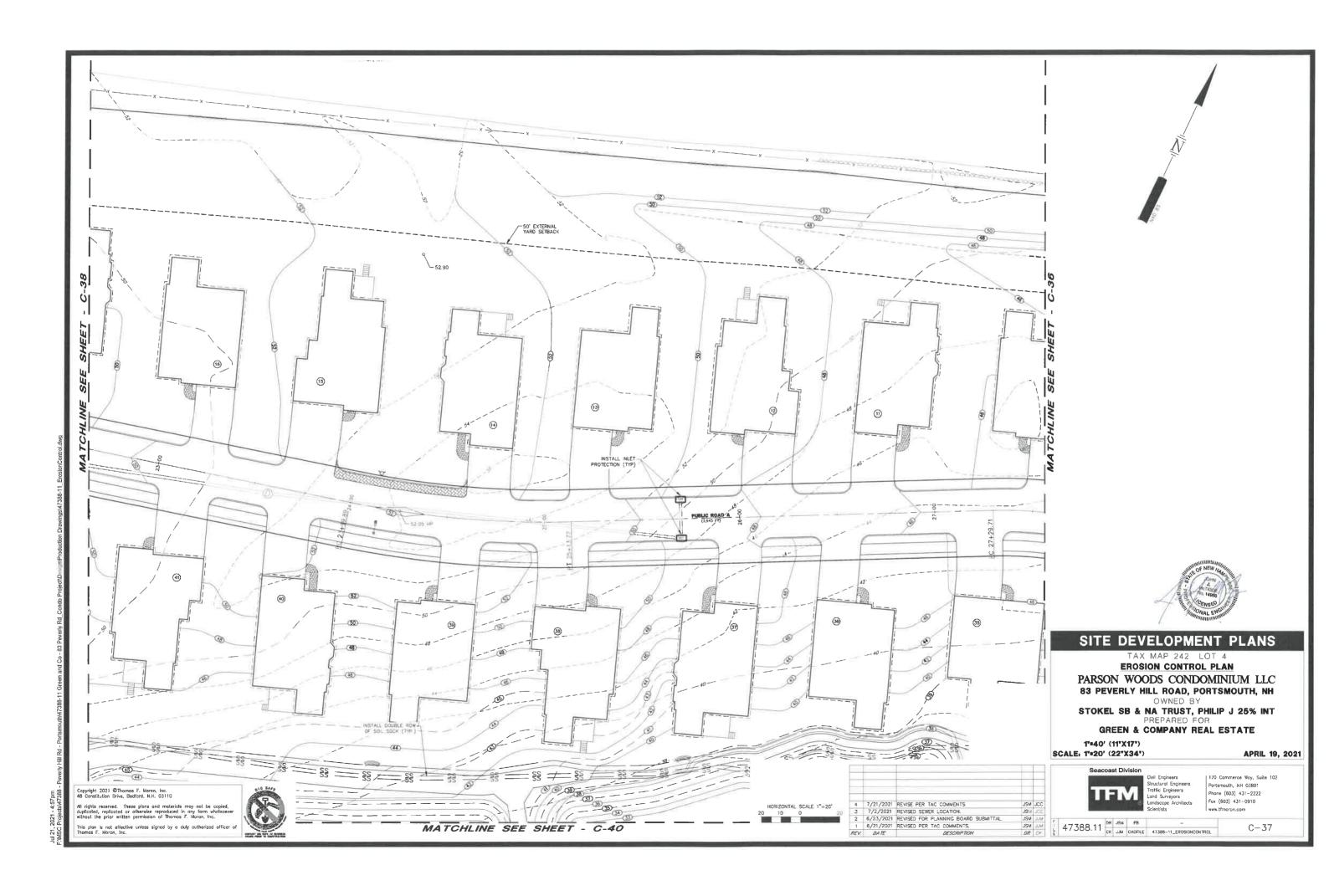


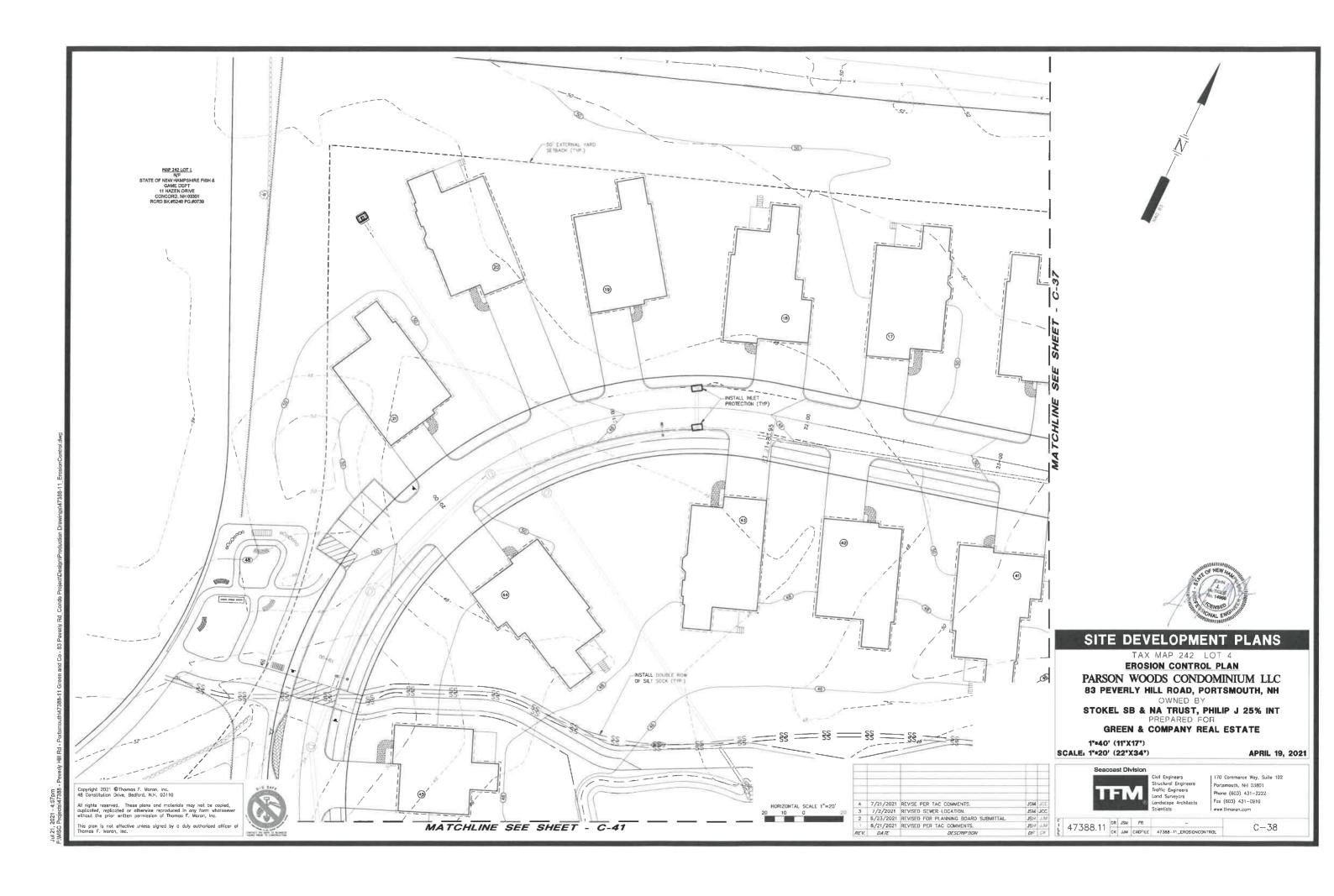


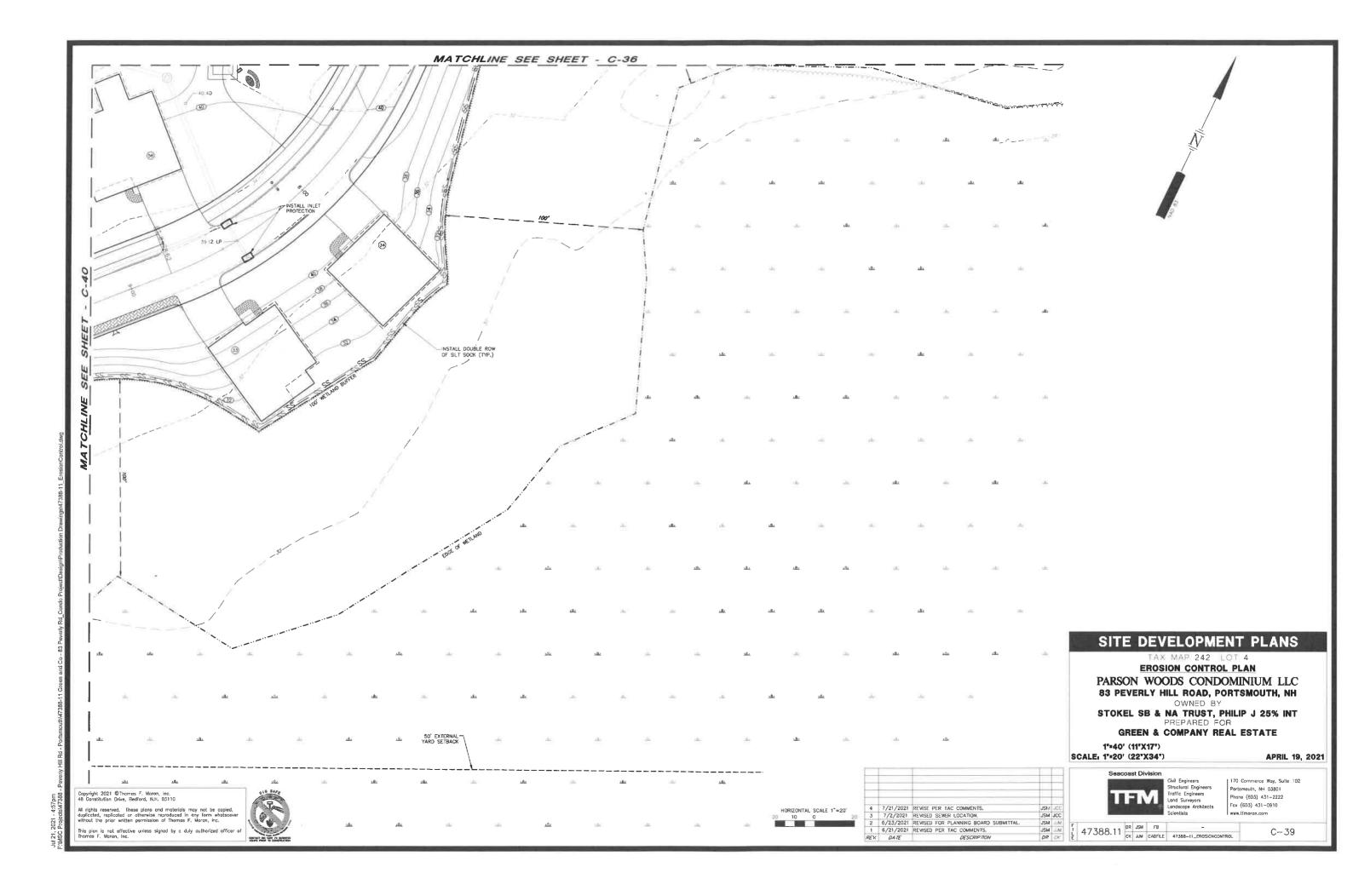


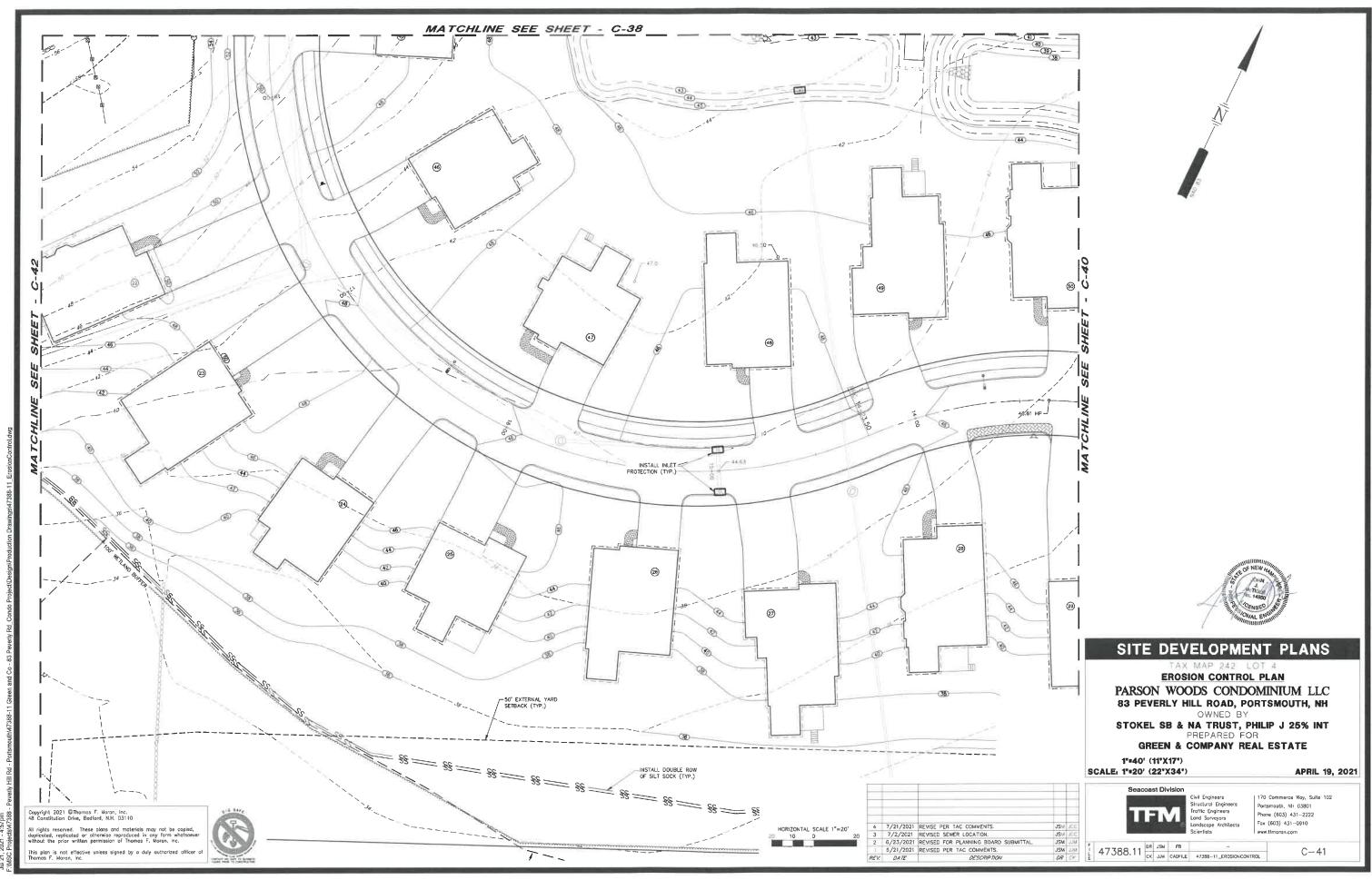


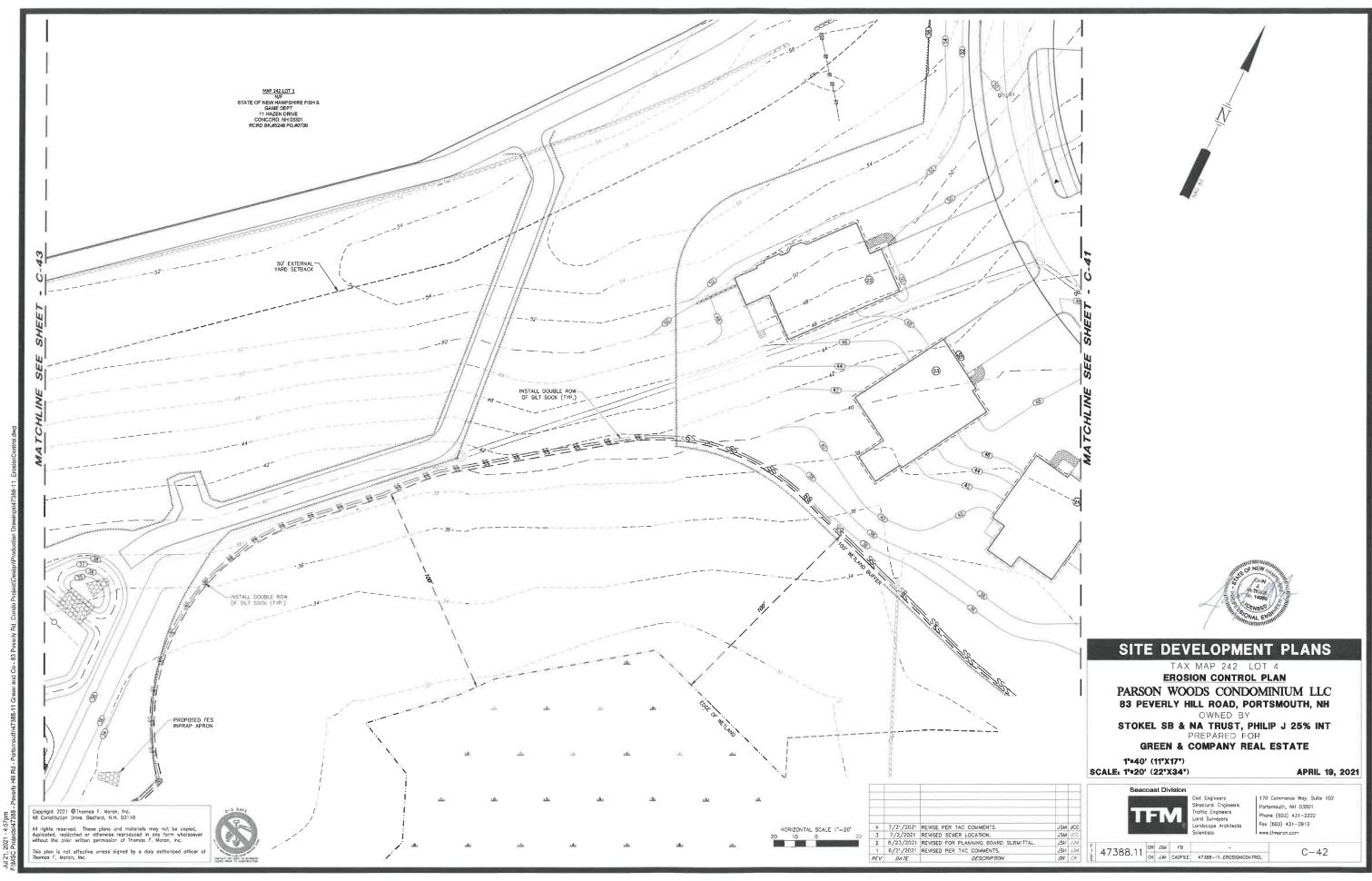


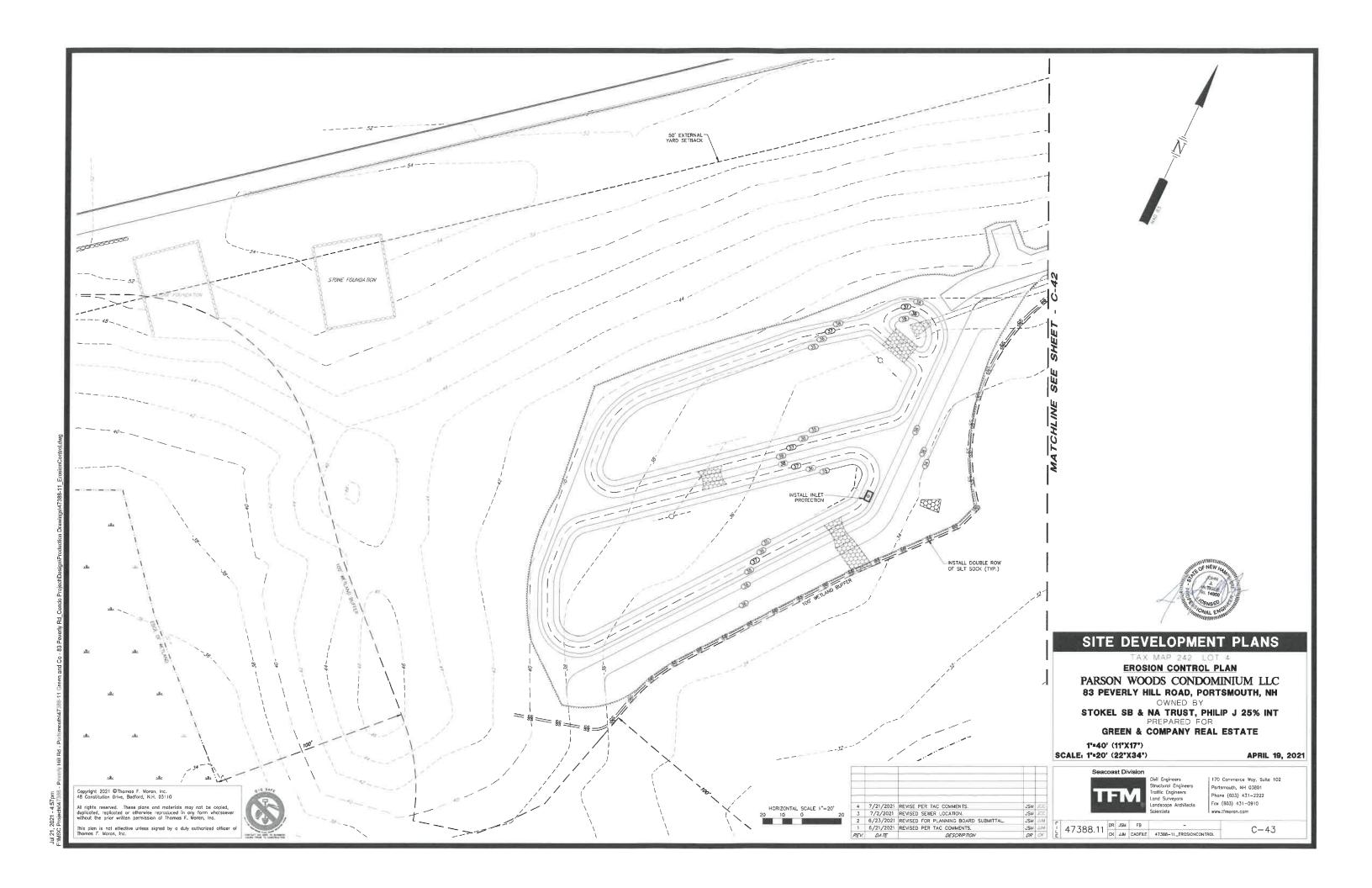












DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 775,000 SQUARE FEET (17.80 ACRES).

SEQUENCE OF MAJOR ACTIVITIES

- 1. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND TEMPORARY EROSION CONTROL MEASURES PER APPROVED INSTALL STANDLED CONSTRUCTION CHARACTERS (SMPP) I REQUIRED.

 2. DEMOUSH EXISTING STE WORK DESIGNATED FOR REMOVAL.

 3. COMPLETE MAJOR GRADING OF SITE.

 4. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.

 5. CONSTRUCT PARKING LOT.

 6. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.

 7. CONSULT APPROVED SWPPP FOR CONDITIONS RELATED TO NOTICE OF TERMINATION, IF REQUIRED.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE

- BASE COURSE GRAVELS, WHICH MEET THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2; HAVE BEEN INSTALLED IN AREAS TO BE PAVEC;
 A MINIMUM OF 85% VECETATED GROWTH HAS BEEN ESTABLISHED.
- 3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR 4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS. ALL STORM DRAIN INLETS SHALL BE PROVIDED WITH BARRIER FILTERS. STONE RIPRAP SHALL BE PROVIDED AT THE OUTLETS OF DRAINAGE PIPES WHERE EROSIVE VELOCITIES ARE ENCOUNTERED.

OFF SITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.

INSTALLATION, MAINTENANCE AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE CENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

- 1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM
- 2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
- ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.10" OR GREATER.
- ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- 5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF
- 6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED
- TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY
 GROWTH.
- 8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
- THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

B. FILTERS / BARRIERS

SILT SOCKS

A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:

PHYSICAL PROPERTY	TEST	REQUIREMENTS
PH	TMECC 04.11-A	5.0 TO 8.0
PARTICLE SIZE	TMECC 02.02-B	2" SIEVE AND MIN. 60% GREATER THAN THE "SIEVE

STND TESTING < 60% MOISTURE CONTENT

MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS

MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

- B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
- C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE E. CATCH BASIN INLET PROTECTION UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.

2. SEQUENCE OF INSTALLATION

SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.

- A. SILT BARRIERS SHALL BE INSPECTED WERKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY, IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
- C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT, THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
- D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:

A. APPLY MULCH PRIOR TO ANY STORM EVENT.

THIS IS APPLICABLE WHEN WORKING WITHIN 100' OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARRING OF SIGNIFICANT STORMS.

B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIMITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS, PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH,

ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION, IF LESS THAN 90% OF THE SOL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

VEGETATIVE PRACTICE

- 1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB-GRADE SURFACE AFTER TWO GRADEN OF THE SUBSKAPLE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SUBFACE SHALL BE SCARFIED TO A DEPTH OF 4". THEN, FURNISH AND INSTALL A LAYER OF I.CDAM PROVIDING A ROLLED 2. THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REFOLLED UNITL THE SUBFACE IS TRUE TO THE THEMED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE STEE SUBCONTRACTOR.
- ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER 1" IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
- THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED, FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SUFFACES WITHOUT IRREGULARITIES TO LOW POINTS.
- 4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS, IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
- ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAYEMENT, OR MULCH SHALL BE LOAMED AND SEEDED.
- LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
- 7, FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE, FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
- 8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FIRELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.
- 9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPT NOT OVER 104 ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF
- 11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESECEDED, AND ALL NOXIOUS WEEDS REMOVED.
- 12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
- 13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK, IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT, ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS.
- A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
 B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 500 POUNDS PER ACRE.
- MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:

- 1. INLET BASKET STRUCTURE
- A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE
- C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
 - GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682) MULLEN BURST STRENGTH: MIN. 80PSI (ASTM D774)
- D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVÉ AND A MINIMUM PERMEABILITY OF 120 GPM.
- E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOCKED

F. WINTER CONSTRUCTION SEQUENCE

- 1. ALL PROPOSED POST—DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANOHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMILATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE CROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESCEN FLOW CONDITIONS.
- 3. AFTER OCTOBER 15TH, INCOMPLETE PARKING AREAS WHERE ACTIVE CONSTRUCTION HAS STOPPED FOR WINTER ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NIHODT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW-BLL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. REARCS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (2!) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

WASTE DISPOSAL

1. WASTE MATERIALS
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND
CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS
BE BURNED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISP
BY THE SUB-ENTINENDENT.

- HAZARDOUS WASTE
 ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION
 OR BY THE MANUFACTURER, SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE
 ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF
SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO
STORMWATER RUNOFF:

GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

- A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
- ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
- C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
- E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- HAZARDOUS PRODUCTS:
 THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
- A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT
- SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.

PRODUCT SPECIFICATION PRACTICES THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PLIROLUM PRODUCTS:
ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO
REDUCE LEAKAGE, PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE
CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

EERTILIZERS.

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERCD SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVIOL SPILLS. PAINTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

<u>CONCRETE TRUCKS</u>.

CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.

SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTFANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE AND THE CLEANUP SHE BUINCLUED.
- G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANING COORDINATOR

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY WILLCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.



SITE DEVELOPMENT PLANS

EROSION CONTROL NOTES PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH OWNED BY

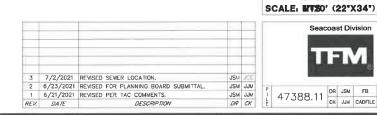
STOKEL SB & NA TRUST, PHILIP J 25% INT

GREEN & COMPANY REAL ESTATE 1'=40' (11'X17')

APRIL 19, 2021

170 Commerce Way, Suite 102

Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910



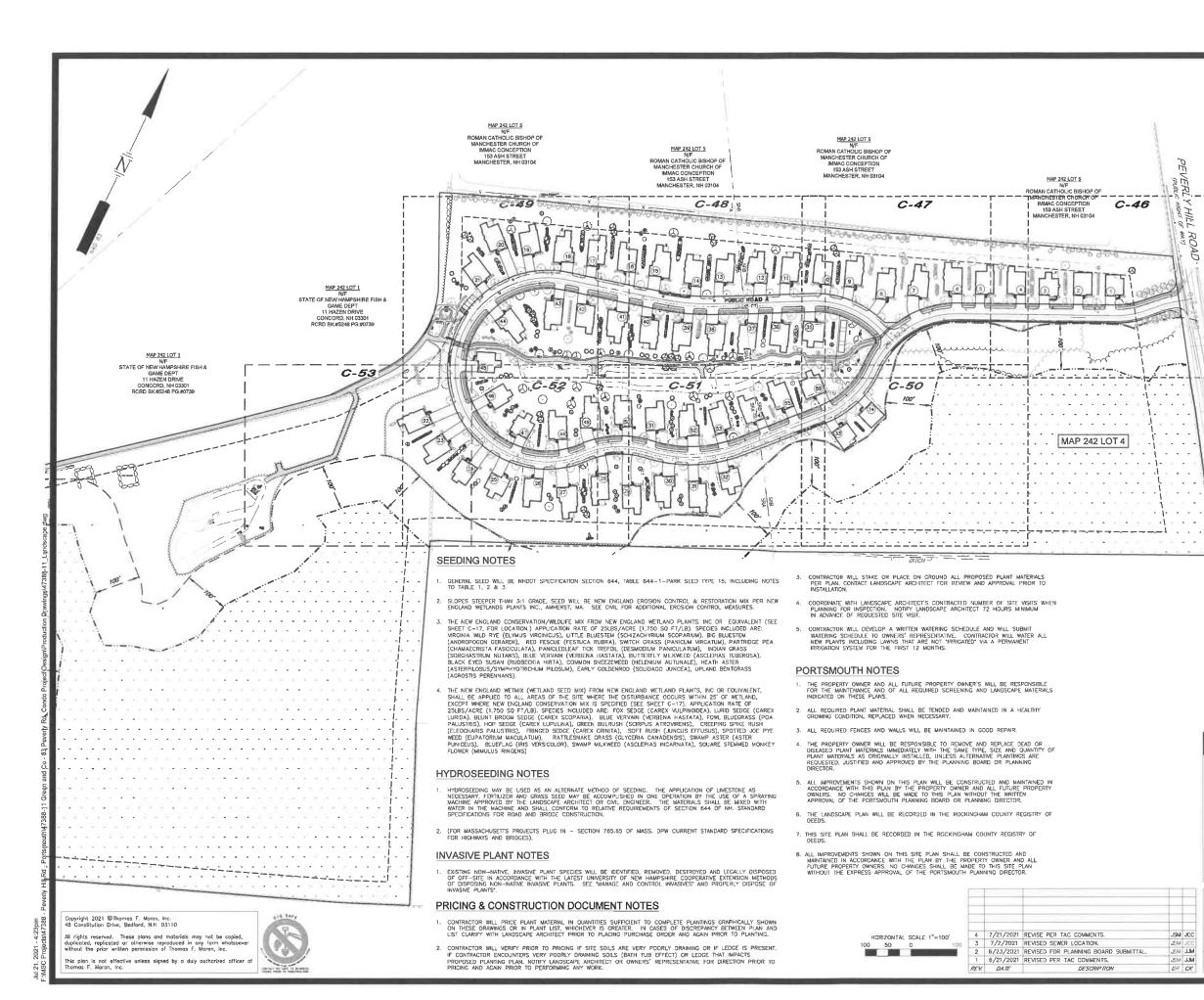


Civil Engineers Structuret Engineers

www.tfmoran.com 47388.11 DR JSM FB C - 4447388-11_NOTES







LANDSCAPE NOTES

- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- 3. SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
- 7. ALL PLANTS WILL BE NURSERY GROWN.
- . PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTR ASSOCIATION.
- "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".

- NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
- 14. MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
- 15. PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIPLINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTILLATION.

LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF
- CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
- WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
- 4. ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE RECUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNIT. ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
- 5. THE CONTRACTOR WILL MAINTAIN AND CUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OF OWNER'S REPRESENTATIVE SHOWING LESS THAN BOX HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
- 6. DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY, THIS PLANT MATERIAL WILL NOT BE REVIEWED UNIT, FOLLOWING, GROWING SEASON, GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR
- . EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWITH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOR WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

OVERALL LANDSCAPE PLAN

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

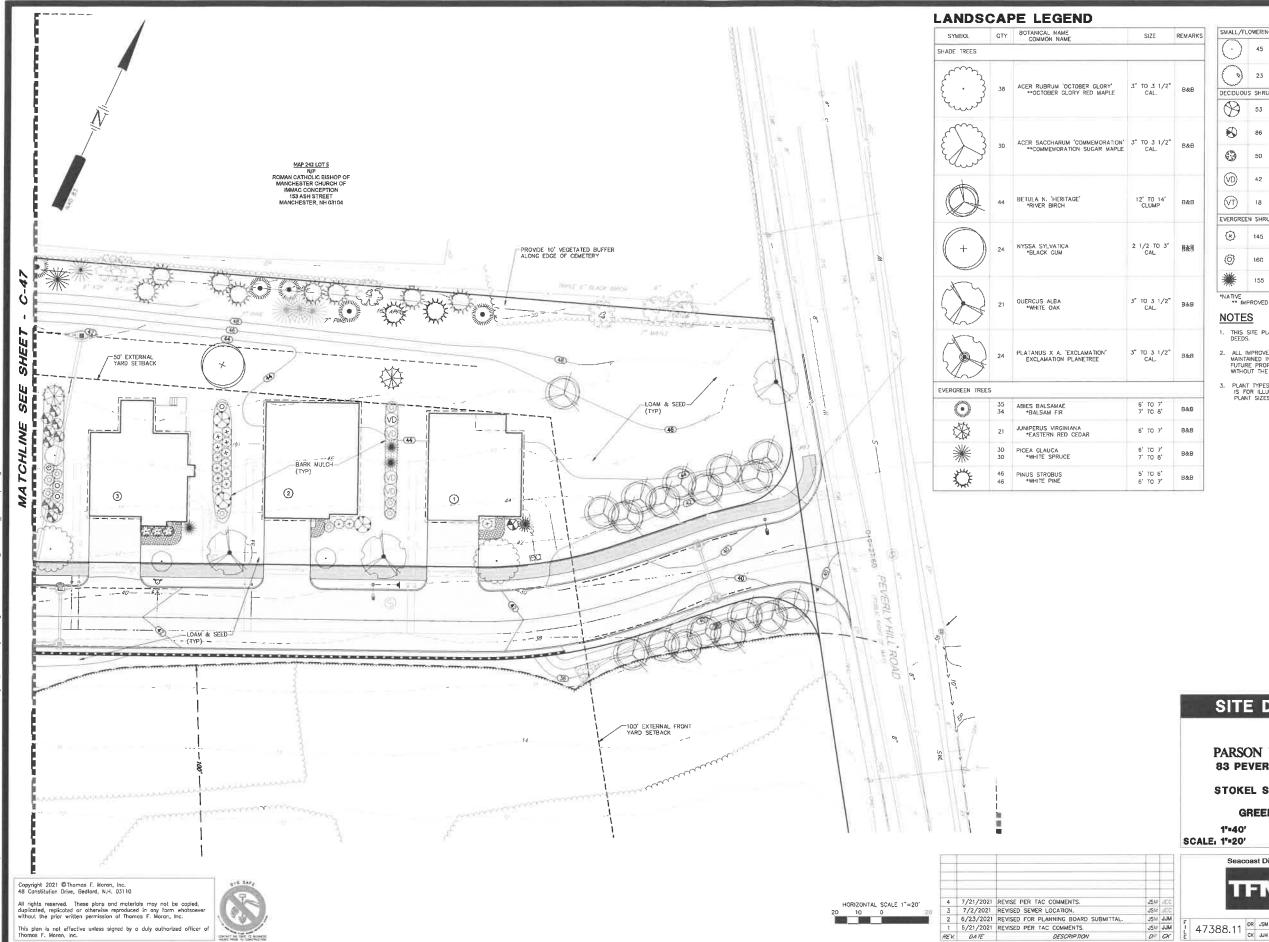
1'*200'(11'x17') SCALE: 1'=100'(22'x34')

APRIL 19, 2021

Civil Engineers Structural Engineers Traffic Engineers
Land Surveyors

170 Commerce Way, Suite 102 Phone (603) 431-2222 Fox (603) 431-0910

47388.11 DR JSM FB CK JJM CADFILE C-45 47388-11 LANDSCAPE



his plan is not effective unless signed by a duly authorized officer of

SMALL/FLOWERING TREES 2" TO 2 1/2" B&B 45 CRATAEGUS CRUSGALLI INERMIS
4*THORNLESS COCKSPUR HAWTHORN 2" TO 2 1/2" B&B DECIDUOUS SHRUB AMELANCHEIR CANADENSIS
*SHADBLOW SERVICEBERRY S' TO 6' B&B 53 50 CORNUS SERICEA 'ALLEMAN'S COMPACTA'
**ALLEMAN'S COMPACT RED-OSIER DOGWOOD 3' TO 4' CON 42 VIBURNUM DENTATUM
*ARROWWOOD VIBURNUM 4' TO 5' B&B 18 VIBURNUM TRIŁOBUM
*AMERICAN CRANBERRY VIBURNUM 4' TO 5' B&B EVERGREEN SHRUB 145 ILEX GLABRA 'COMPACTA'
**COMPACT INKBERRY 3 GAL. CONT 3 GAL. CONT. 5' TO 6' B&B

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS THE INTENT, BUT PLANT SIZES, SPECIES, AND AMOUNTS MAY VARY.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

LANDSCAPE PLAN PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT

GREEN & COMPANY REAL ESTATE

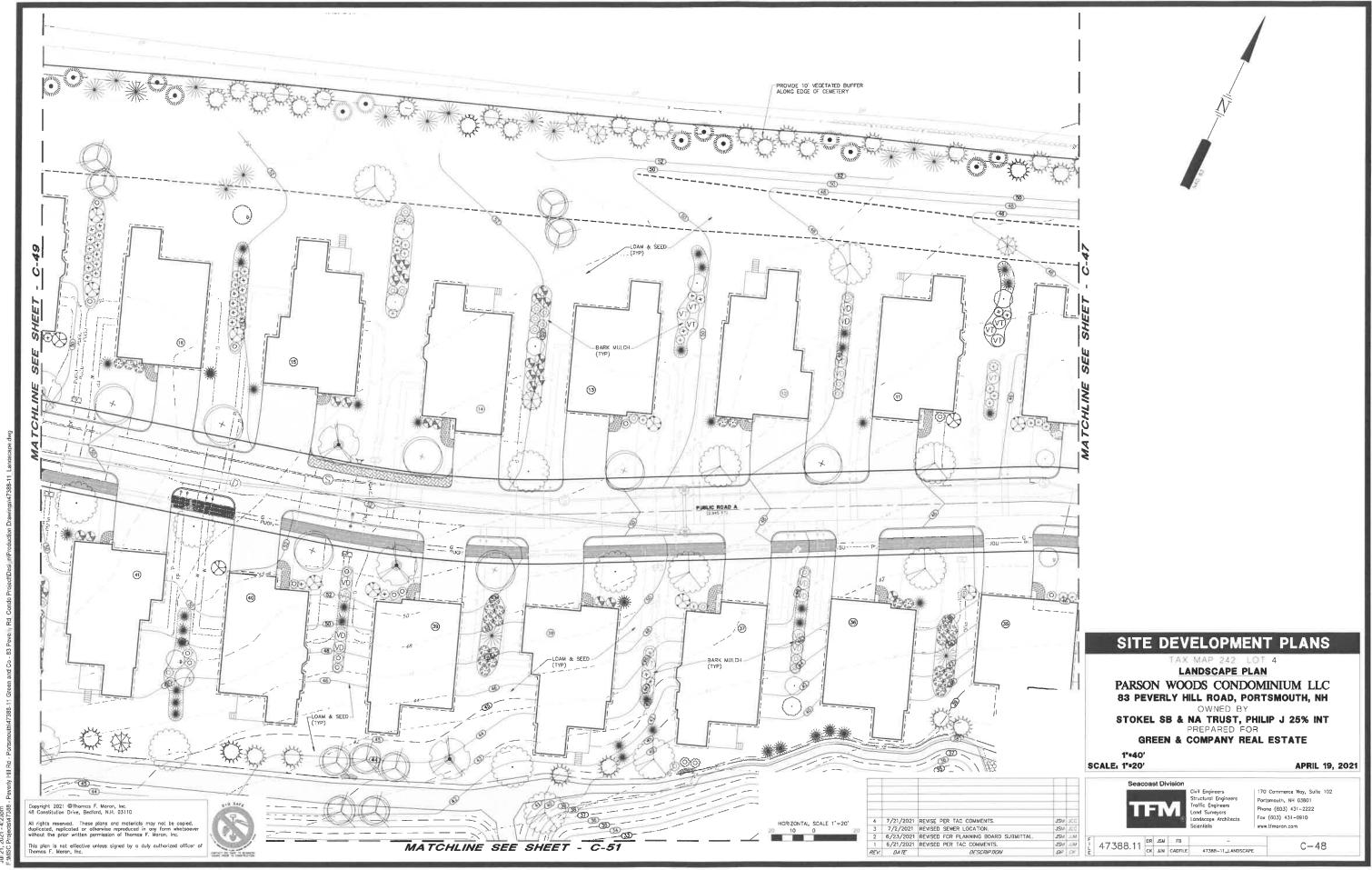
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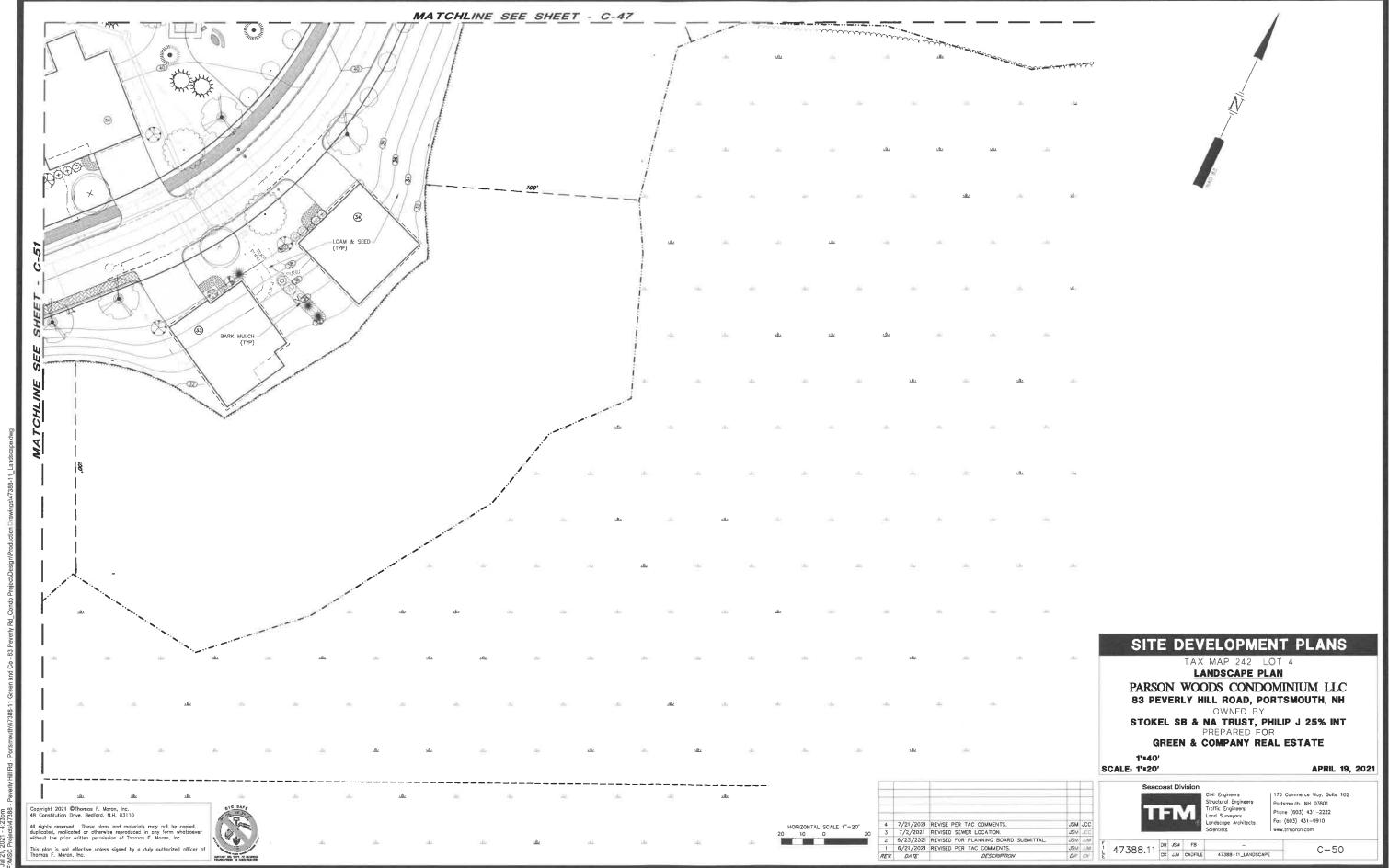
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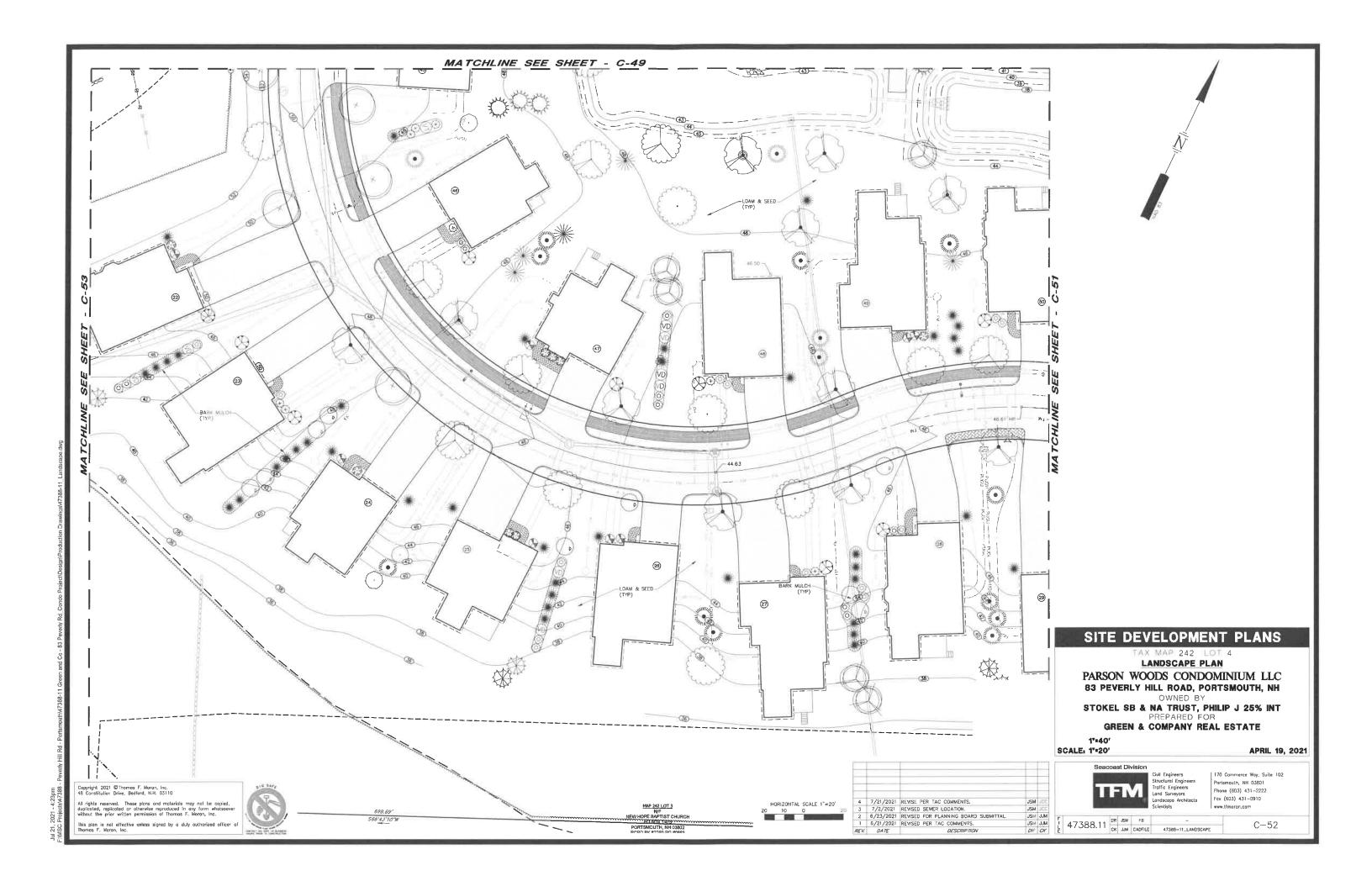
Civil Engineers Structural Engineers Traffic Engineers
Land Surveyors
Landscape Architects 170 Commerce Way, Suite 102 Phone (603) 431-2222 Fax (603) 431-0910

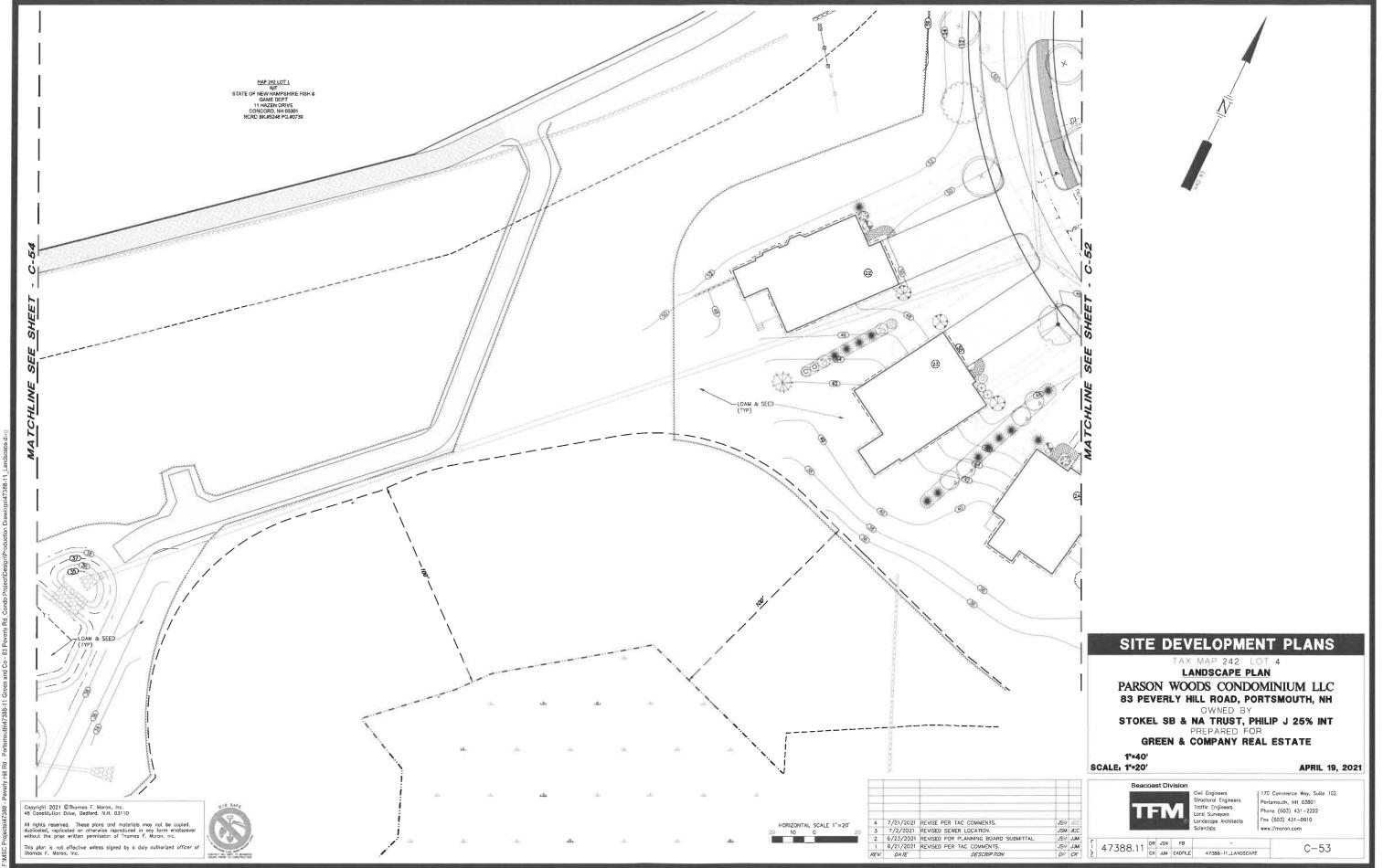
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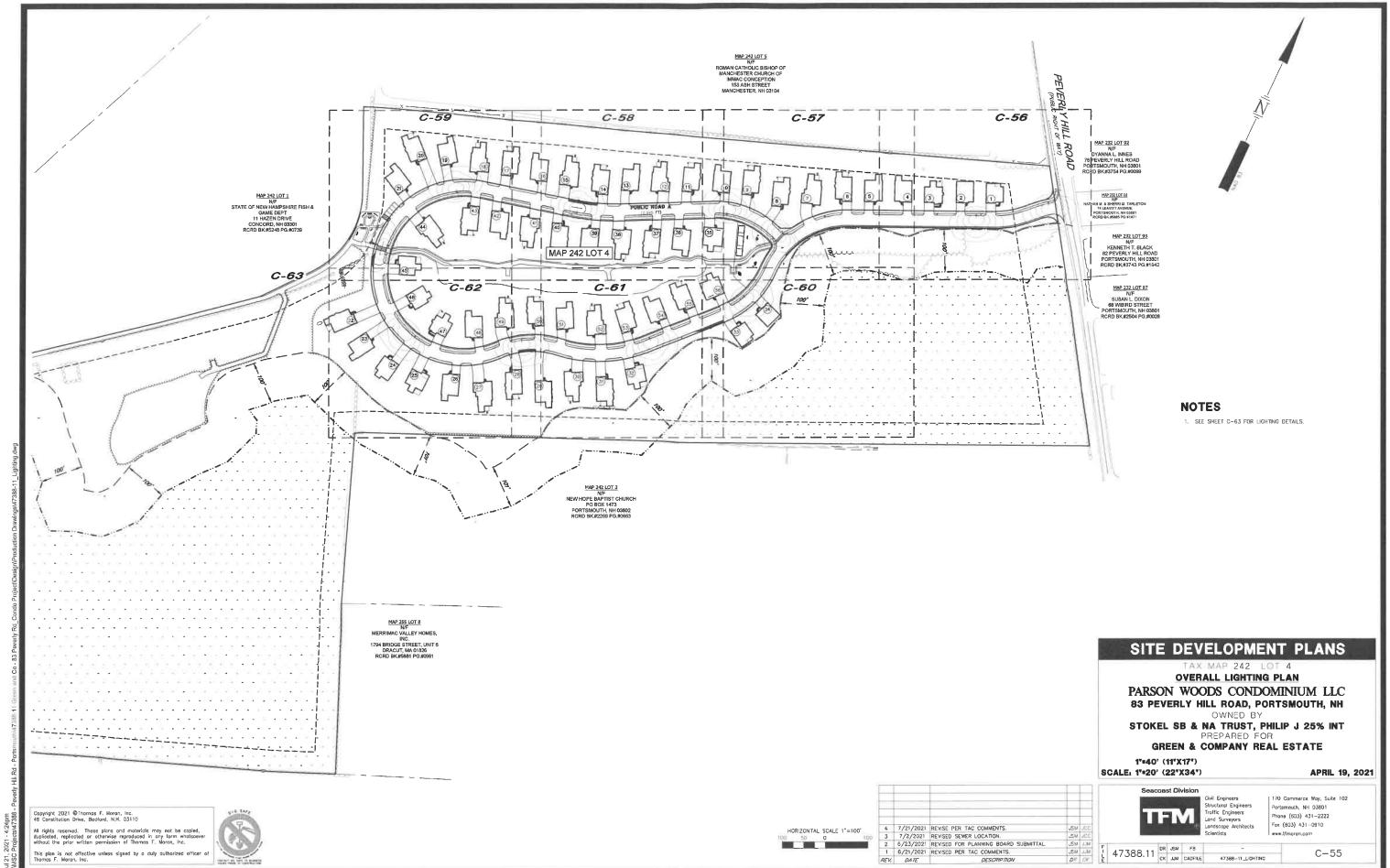
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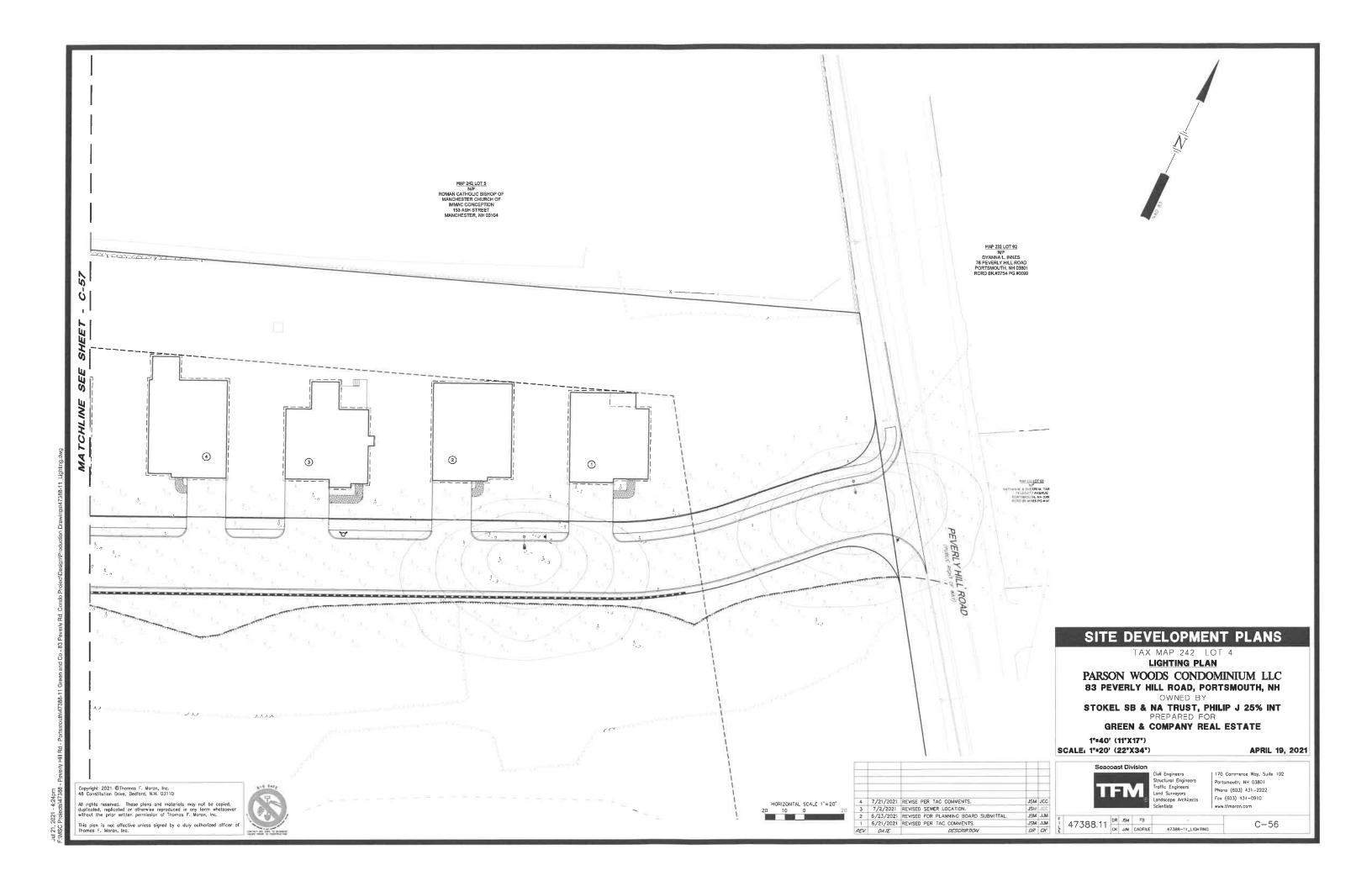


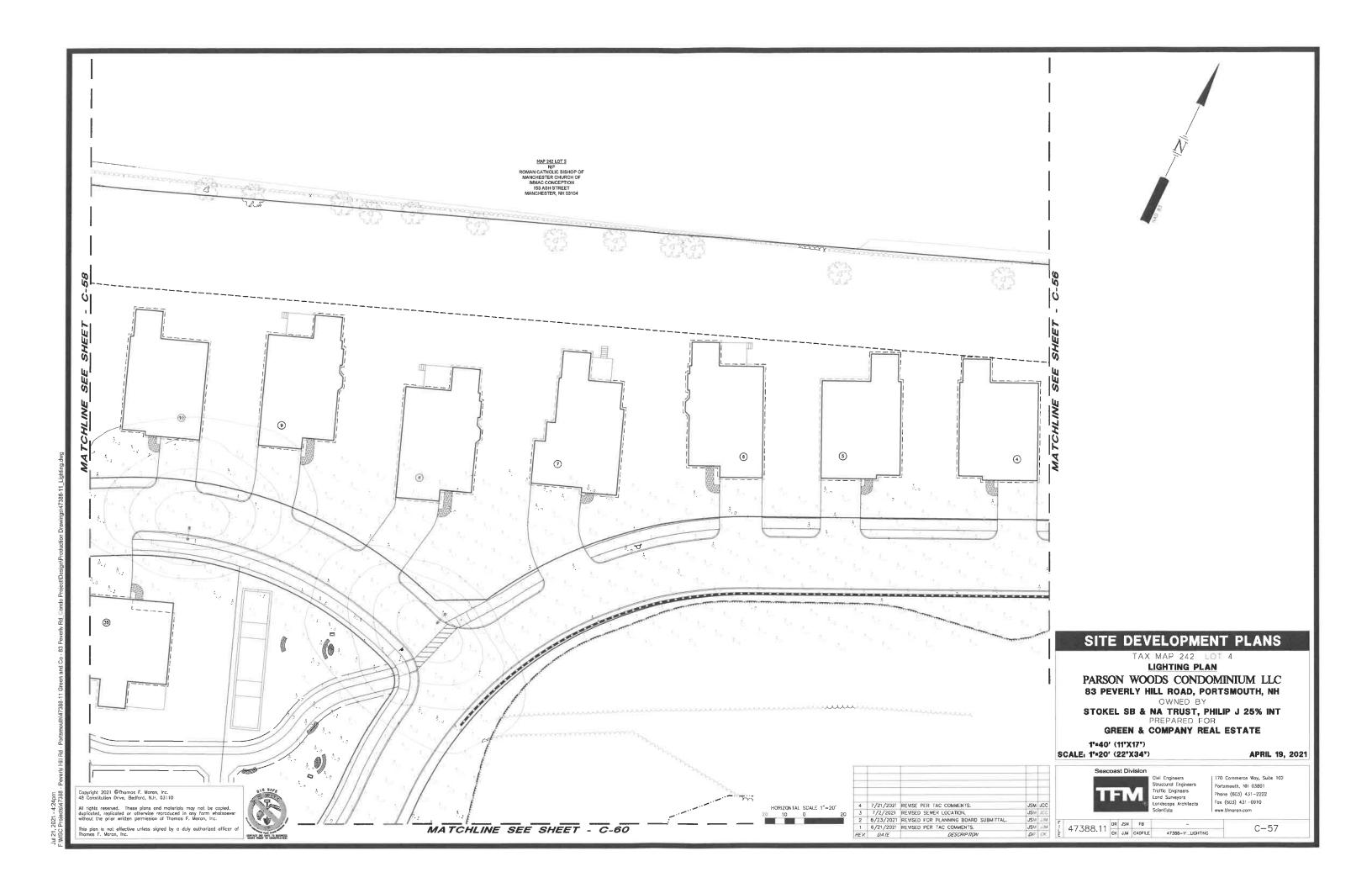


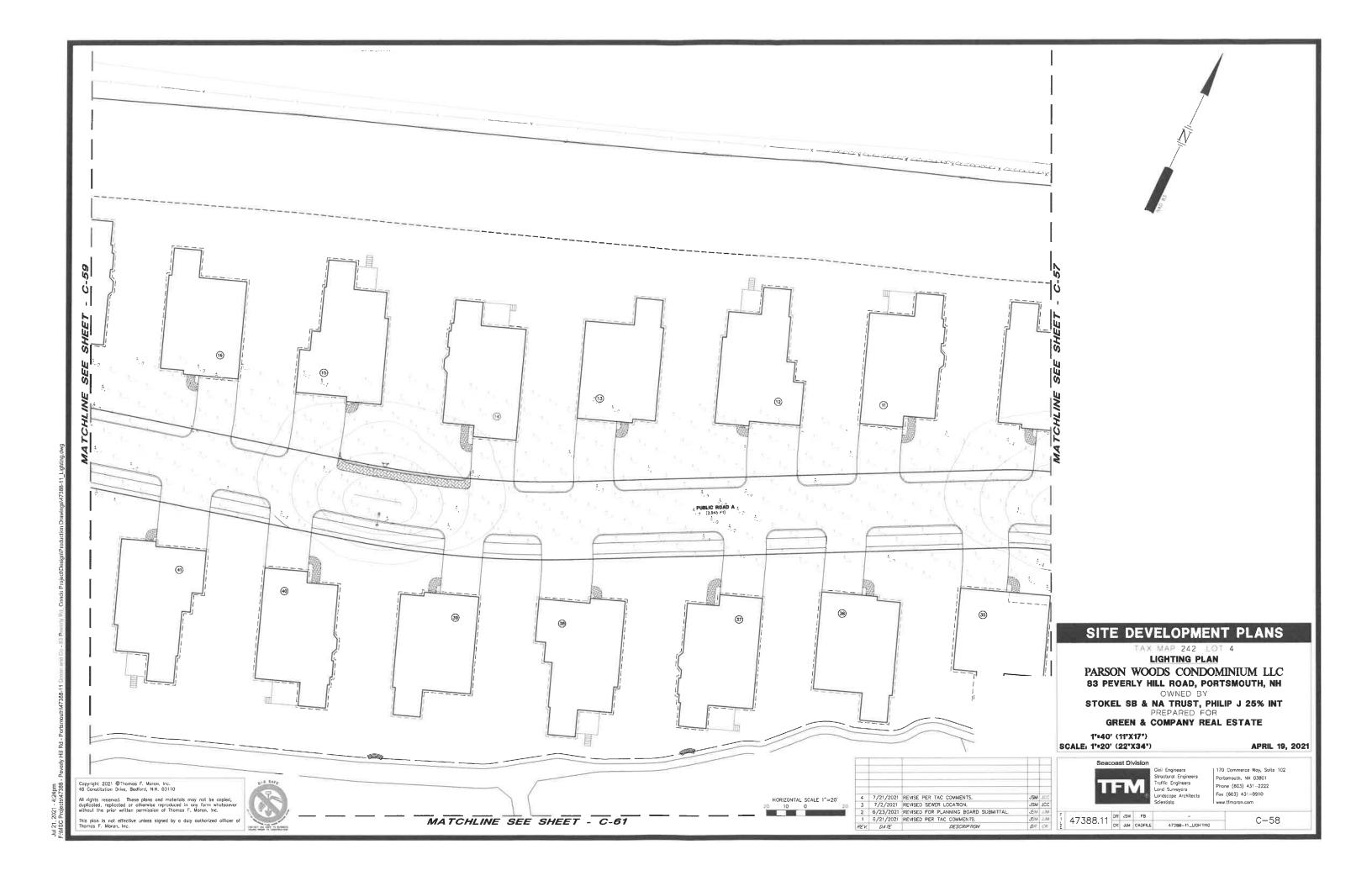


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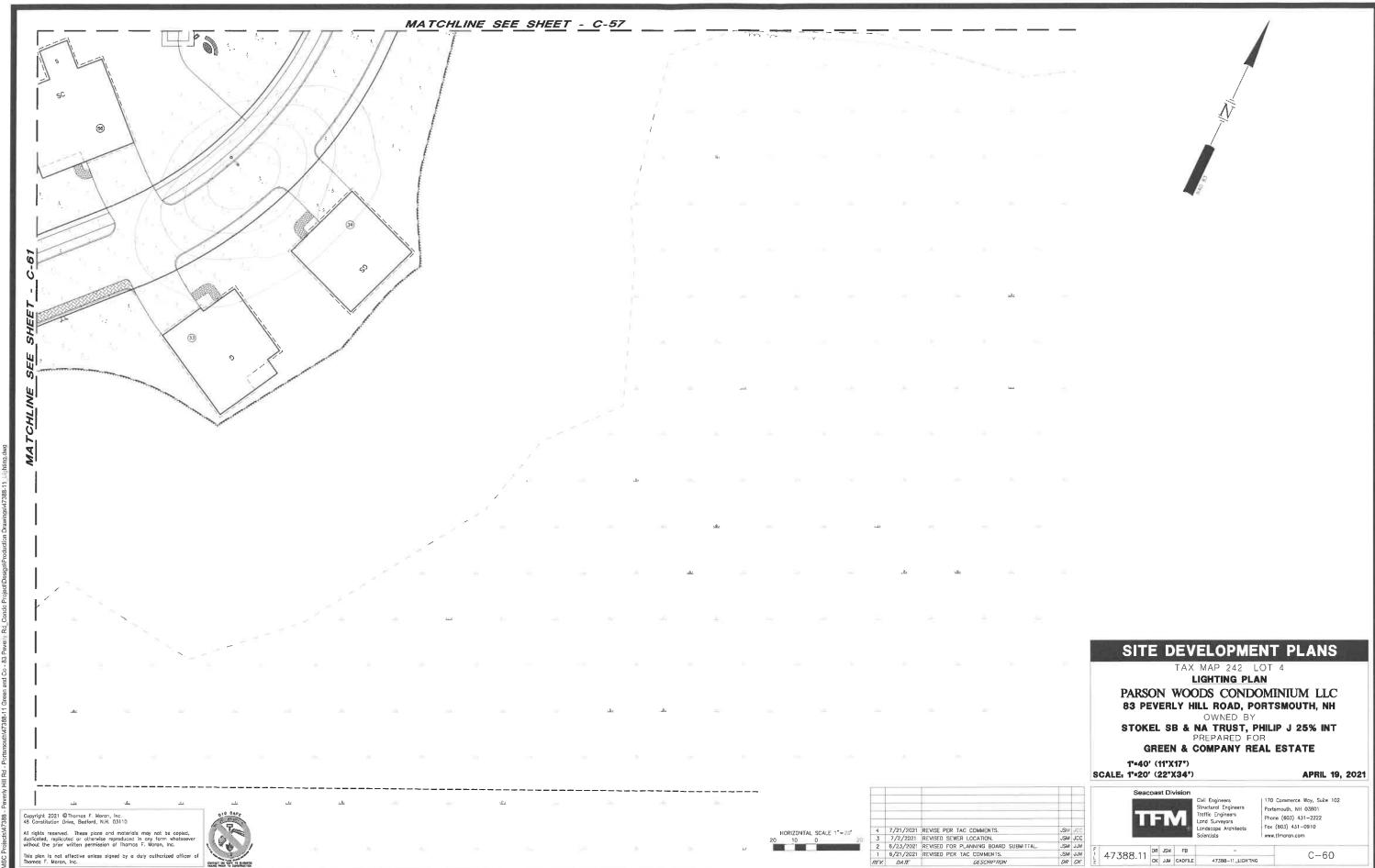






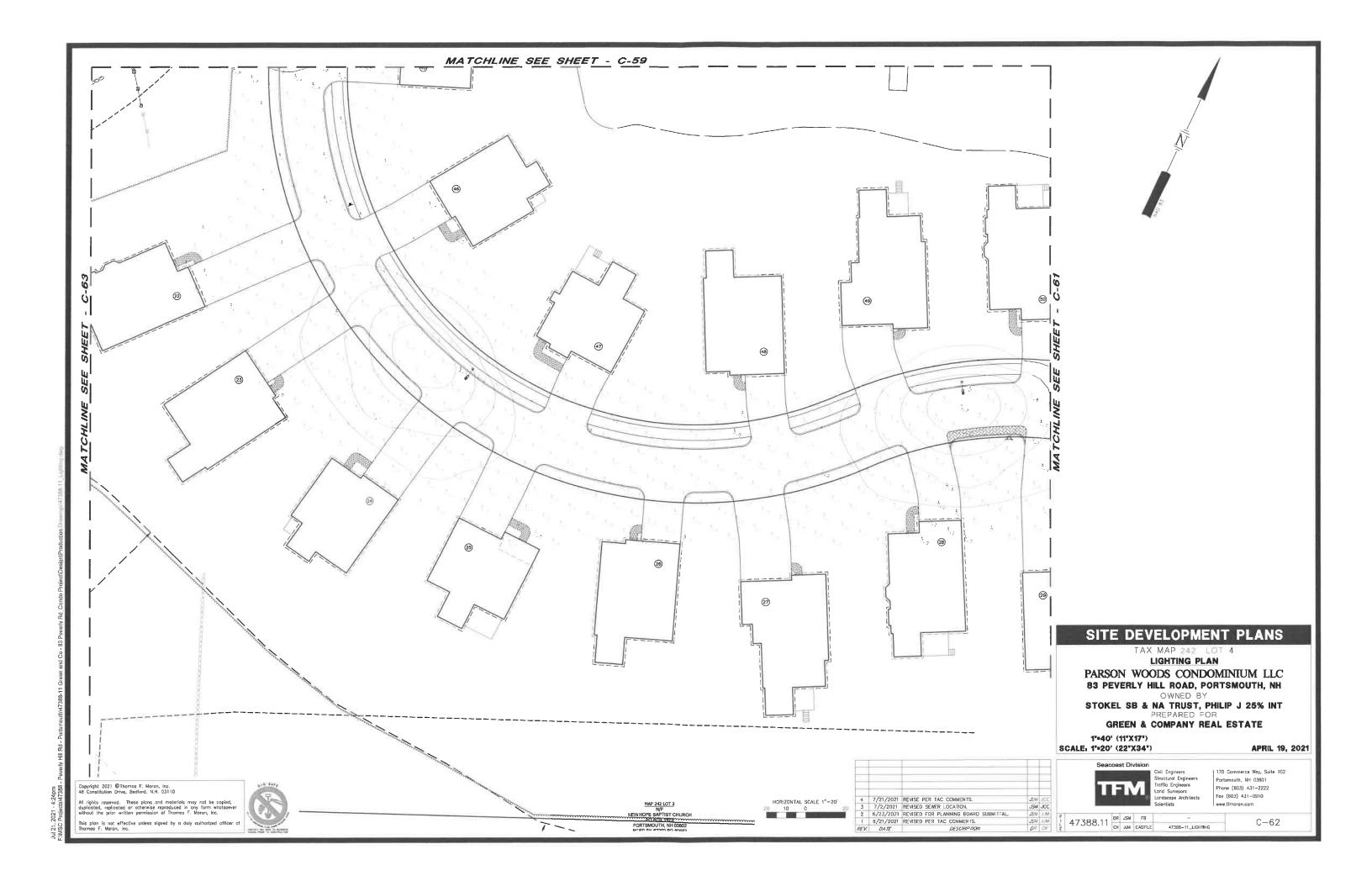


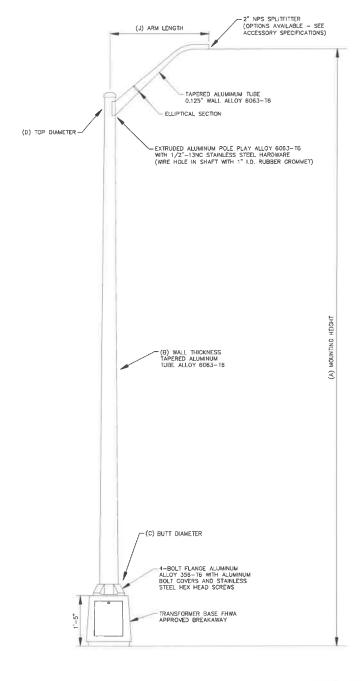


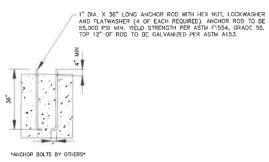


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A MTG. HGT.	B WALL THICKNESS	C BUTT DIA.	J ARM LENGTH		MAX	(IMUM	EPA		OLD CAT. Number	CAT. NUMBER
24'	0.156"	-7"	e'	90	100	110	120	130	23-365	RTA25C7BFM16-**
24	0.156		0	8.6	6.8	6.2	5.2	4.4	25-365	KTA2567BI MT6

Lum. Lumens Label Arrangement Description
T3 SINGLE GCM2-30H-MV-WW-3R-BK-850-PCR7-CR-CF-PTB-LLPC/ 24 RTA POLE 13283

StatArea_1 ROADWAY Illuminance (Fc) Average = 0.61 Maximum = 3.2 Minimum = 0.0

Max/Min Ratio = N.A.

LEOTEK° GreenCobra™ Midsize LED Street Light GCM H-Series Specification Data Sheet Luminaire Data Weight 10 lbs [4.6 kg] EPA 0.44 ft²

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

LIGHTING PLAN

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT

GREEN & COMPANY REAL ESTATE

SCALE: NTS

APRIL 19, 2021

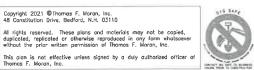
			_	
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	453
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJA
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	334
REV.	DATE	DESCRIPTION	DR	CK

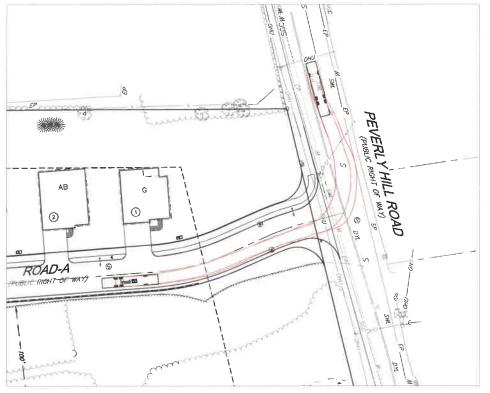


Civil Engineers
Structural Engineers
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Scientiste 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

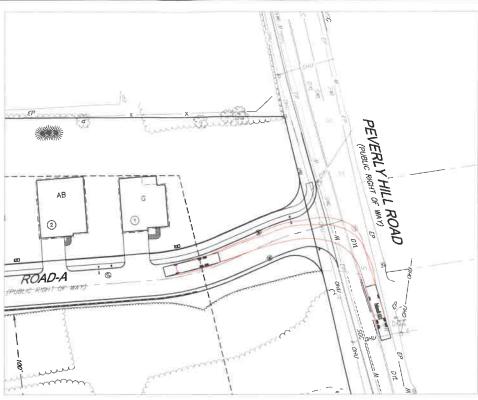
E 47388.11 OR JSM FB - CK JJM CADFILE 47388-11_LIGHTING C-63

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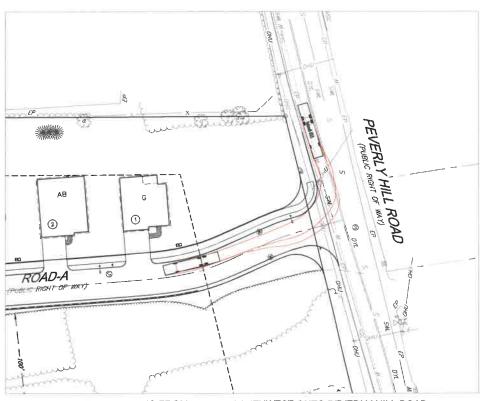




FIRE TUCK TURNING FROM ROAD-A NORTHEAST ONTO PEVERLY HILL ROAD



FIRE TUCK TURNING FROM PEVERLY HILL ROAD NORTHWEST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A SOUTHWEST ONTO PEVERLY HILL ROAD





PORTSMOUTH FIRE TRUCK NTS



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

FIRE TRUCK MOVEMENT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

1'=80' (11'X17') SCALE: 1'=40' (22'X34')

APRIL 19, 2021

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200	HORIZONTAL	SCALE 1"=40"	án
Ĩ			

		REVISE PER TAC COMMENTS.	JSM	
3	7/2/2021	REVISED SEWER LOCATION.	JSM	1CC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	1994
1	6/21/2021	REVISED PER TAC COMMENTS.	J\$M	3.84
REV.	DATE	DESCRIPTION	DR	CX

TFM

Civil Engineers 170 Comm Structural Engineers Portsmouth Traffic Engineers Phone (601)

Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

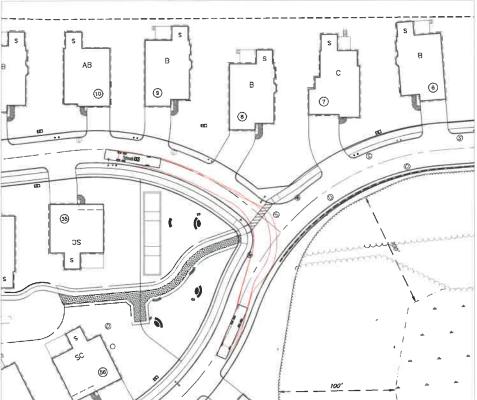
47388.11 DR JSM FB CK JJM CADFILE 47

E 47388-11_TRUCKMOVEMEN

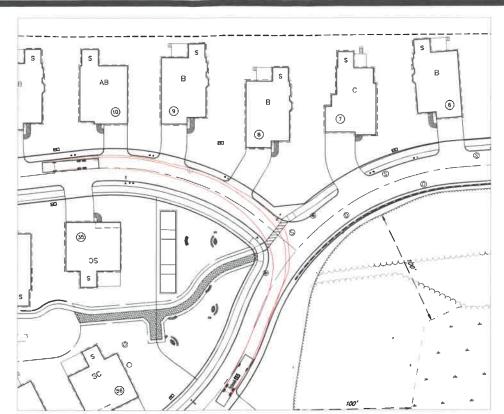
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Jul 21, 2021 - 4:25pm

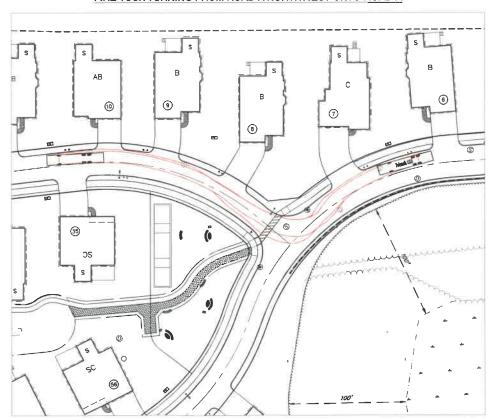
FIRE TUCK TURNING FROM ROAD-A SOUTHEAST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A SOUTHWEST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A NORTHWEST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A NORTHEAST ONTO ROAD-A







PORTSMOUTH FIRE TRUCK

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

FIRE TRUCK MOVEMENT PLAN PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT

GREEN & COMPANY REAL ESTATE

1"80' (11"X17") SCALE: 1"40' (22"X34")

APRIL 19, 2021



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170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910

JSM JCC

JSM JCC

JSM JCC

JSM JM

Londscope Architects Scientists

FC
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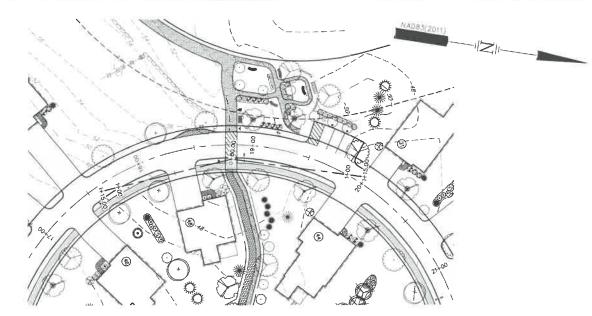
RT 47388.11 DR JSM FB
CK JJM CADFILE 47388-11_TRUCKMOVEMENT

C-65



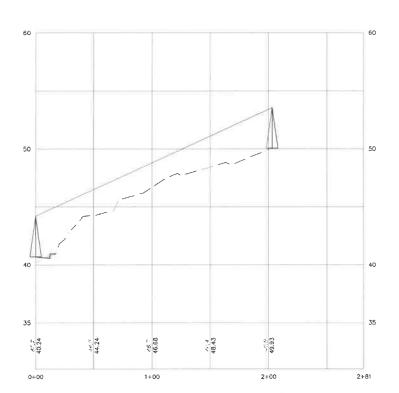
PEVERLY HILL ROAD INTERSECTION SITE DISTANCE



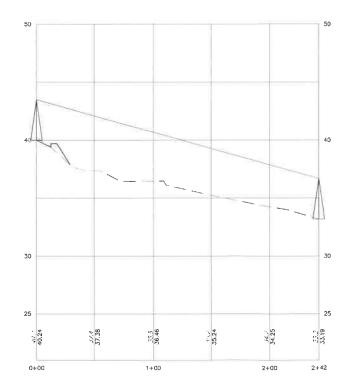


PEVERLY HILL ROAD INTERSECTION
SITE DISTANCE

HORIZONTAL SCALE 1"=40" 40 20 0 40



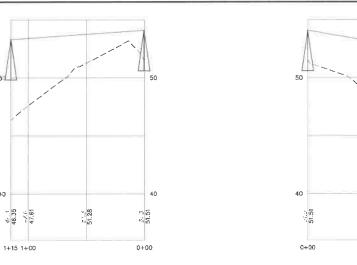
LOOKING LEFT (NORTH)
ONTO PEVERLY HILL ROAD



LOOKING RIGHT (SOUTH)
ONTO PEVERLY HILL ROAD



HORIZONTAL SCALE 1"=40"



FROM CROSSWALK, FROM CROSSWALK,
LOOKING LEFT LOOKING RIGHT

SITE DEVELOPMENT PLANS

1+00 1+15

TAX MAP 242 LOT 4

SITE DISTANCE PLAN & PROFILE
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

(11'X17') SCALE: AS SHŒMX34')

APRIL 19, 2021





Civil Engineers
Structural Engineers
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Land Surveyors
Landscape Architects
Scientists

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Phone (603) 431-2222
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JSM JGC JSM JAM F 47388.11 DR JSM FB GK JAM CADRILE 47388-11_SITEDISTANCE

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Thomas F. Moran, Inc.



Jul 21, 2021 - 5:24pm

C-66

EASEMENTS AND RESTRICTIONS (E&R)

THE RIGHT TO USE SAID DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM SAID GREENLAND ROAD, ALONG BY SAID CEMETERY, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF SAID PETER AND STELLA TO SAID RAILROAD, AND SUBJECT TO SAID PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PC.#1603).



4 7/21/2021 REVISE PER TAC COMMENTS.
3 7/2/2021 REVISED SEWER LOCATION.
2 6/23/2021 REVISED FOR PLANNING BOARD SUBMITTAL.
1 6/21/2021 REVISED PER TAC COMMENTS.

REV. DATE DESCRIPTION

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

PEDESTRIAN & BIKE PATH PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

1'=100'(11'X17') SCALE: 1'=50' (22'X34')

APRIL 19, 2021

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47388.11 DR JSM FB CK JJW CADFILE

47388-11_PATH

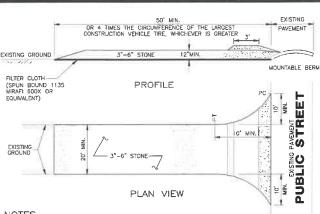
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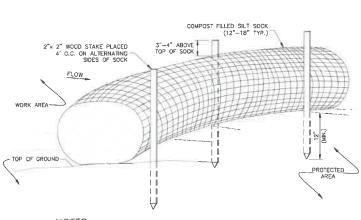
HORIZONTAL SCALE 1"=50"



NOTES

- 1. FILTER CLOTH WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
- WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING
 OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP
 ORESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY
 MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO
 PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- 4. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY, WHEEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT

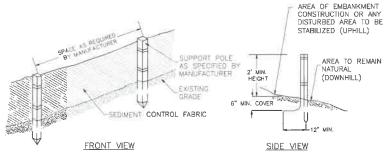
STABILIZED CONSTRUCTION **ENTRANCE**



- . SILT SOCK SHALL BE FILTREXXTM SILTSOXXTM OR APPROVED EQUIVALENT.
- SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL

- COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

SILT FENCE NOT TO SCALE



NOTES

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR BEST MANAGEMENT PRACTICE FOR SILT FENCES, OF THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2008.
 THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES.
 WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH

- 2. INC. HOLDING ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATIONS.

 POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET PARRY AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL BE AS MANUFACTURER RECOMMENDS.

 A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH RECOMMENDATIONS.

 THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE, AND WILL EXTEND TO A MINIMUM OF 8 INCHES INTO THE TRENCH, FILTER FABRIC SHALL NOT BE STAPLED INTO STAPLED WITHOUT STAPLED INTO BE STAPLED INTO THE STRENCH, FILTER FABRIC.

 THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.

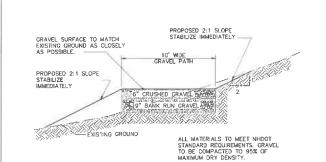
 FILTER BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE USEFUL PURPOSE.

 PROLONGED RAINELA, NOW SESSION BECOMES INFEFECTIVE PURPOSE TO THE EXPECTED USABLE LIFE BARBIERS.

 ANY SCHALLED APPOSITS FURNALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE—THIRD THE HEIGHT OF THE BARBIERS.

- BARRIER.

 12. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.



GRAVEL PATH CROSS-SECTION (FOR DRAINAGE MAINTENANCE ACCESS)

SILT FENCE NOT TO SCALE

MAINTENANCE:

MAINTENANT:

THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER ENERY MAJOR STORM. FIRST ANNUALLY AND AFTER ENERY MAJOR STORM. FIRST ANNUALLY AND AFTER ENERGY MAJOR STORM. FIRST AND ASSETT AND

CONSTRUCTION SPECIFICATIONS:

- THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OF TOWER OVER THE TOWN REPAIR OF THE FABRIC. ALL OVERLIAS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12°
- EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SECREGATION OF THE STONE SIZES.
- ADD ANIMAL SCREEN TO FLARED END SECTION OUTLET.

RIPRAP DIMENSIONS

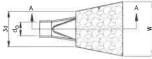
LOCATION	FES01	FESD2	FES03	FES04	FES05	FES06	FES07	FES08
d50 STONE SIZE (IN)								
L- LENGTH OF APRON (F1)								
W-WIDTH OF APRON (FT)								
T-DEPTH OF APRON IN								

RIP RAP AND FLARED END SECTION WITH OUTLET PROTECTION

NOT TO SCALE

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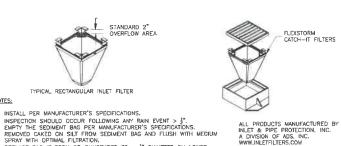
NOT TO SCALE

TYPICAL RECTANGULAR INLET FILTER

5. REPLACE BAG IF TORN OR PUNCTURED TO > }* DIAMETER ON LOWER HALF OF BAG.

1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

NOTES:

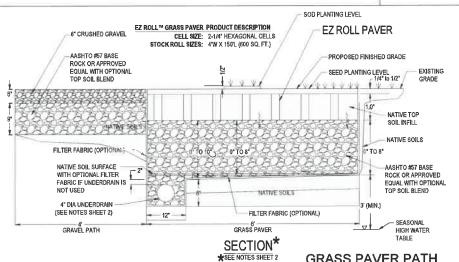


TOP OF HUMP (FLAT)

SECTION A-A

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287–8655 INCOGNILETFILTERS.COM

INLET PROTECTION



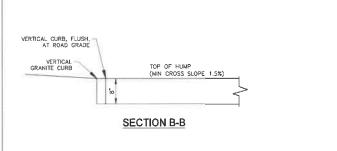
7/21/2021 REVISE PER TAC COMMENTS

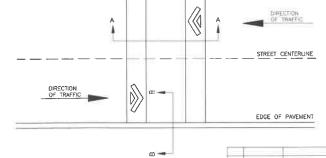
7/2/2021 REVISED SEWER LOCATION.

6/21/2021 REVISED PER TAC COMMENTS.

LATERAL SNAP LOCKS EZ ROLL GRASS PAVER -

GRASS PAVER PATH NOT TO SCALE









SITE DEVELOPMENT PLANS

PLAN VIEW

TAX MAP 242 LOT 4

DETAILS

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN

APRIL 19. 2021



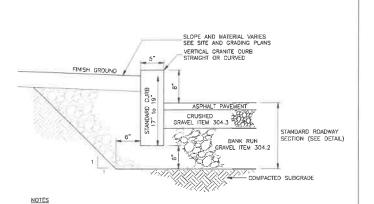
Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910 www.tfmoran.com

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47388.11 CK JJM CADFILE

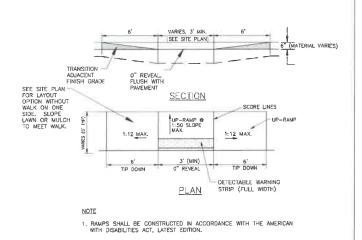
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170 Commerce Way, Suite 102

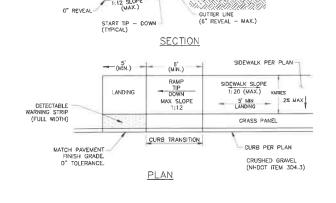


MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH. PROVIDE TRANSITIONS & RAMPS FER A.D.A.

VERTICAL GRANITE CURB



SIDEWALK TIP DOWN RAMP (TYPE D) NOT TO SCALE

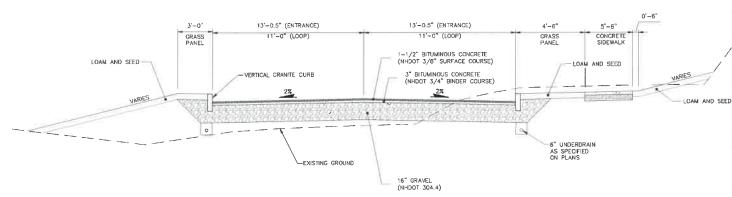


SIDEWALK SLOPE 1: 20 (MAX.)

SIDEWALK TIP DOWN RAMP

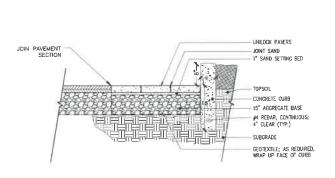
(TYPE E)

NOT TO SCALE



ROADWAY TYPCIAL SECTION NOT TO SCALE

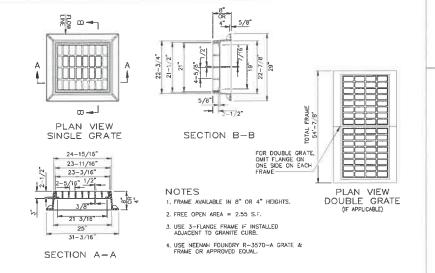
- 1. SEE GRADING & DRAINAGE PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- PROVIDE CLEAN BUTT TO EXISTING PAYEMENT— USE TACK COAT. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAYEMENT PRIOR TO PLACING THE WEARING COURSE.
- 3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
- 4. ALL ROADWAY TO CONFORM TO THE STREET DESIGN AND CONSTRUCTION REQUIREMENTS IN THE TOWN OF PORTSMOUTH, NH SUBDIVISION REGULATIONS.
- BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR ASSHTO 1209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
- PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.4 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
- PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
- THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.



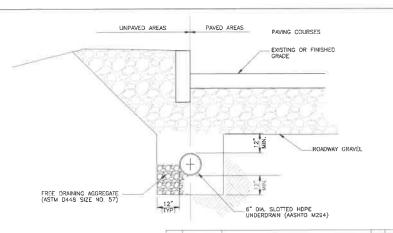
1. PAVER TO BE UNILOCK COMMERCIAL APPLICATION DESIGN OR APPROVED EQUAL

ROADWAY PAVER DETAIL NOT TO SCALE



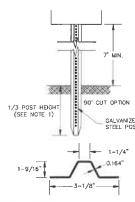


FRAME & GRATE (TYPE B)



UNDERDRAIN TRENCH DETAIL NOT TO SCALE

4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	100
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJN
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM
REV.	DATE	DESCRIPTION	DR.	OK.



LENGTH: AS REQUIRED

WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN) HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR

STIME A-576 (GRADE 1070 - 1080) GRADE 007 OIL

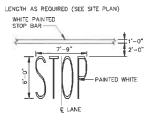
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED
MEDIUM GREEN BAKED-ON OR AIR-DRED PAINT OF
WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL
BE COMPLETE BEFORE PAINTING.

 $\frac{\text{NOTE:}}{1.}$ WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A

- STANDARUS.

 SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHOOT STANDARD SPECIFICATIONS.

SIGN POST



- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
- SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT,

STOP BAR & LEGEND NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

DETAILS

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN

APRIL 19, 2021

C-69



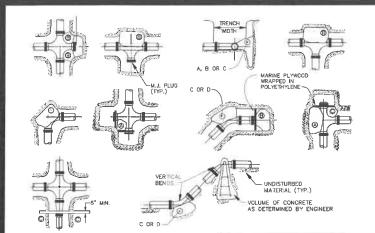
Civil Engineers Structural Engineer Traffic Engineers Land Surveyors

I 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910 www.tfmoran.com

47388.11 DR JSM FB
CK JJM CADFILE 47388-11_DETAILS

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NOTES

- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL WHERE TRENCH WALL HAS BEEN DISTURBED. EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO PIPE JOINTS SHALL BE COVERED WITH CONCRETE.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- WHERE MECHANICAL JOINT PIPE IS USED, MECHANICAL JOINT PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.

-6" C.I. GATE VALVE WITH BOX AND COVER MIN 2'x2'y4' PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL OR CONCRETE THRUST BLOCK POURCE AGAINST UNDISTURBED EARTH — SIZE TO BE BASED ON SIZE OF ITTIMG AND PRESSURE IN WATERMAIN VALVE WATER MAIN NOTES:

BURIED GATE VALVE

THREE-WAY HYDRANT KENNEDY SPECIFICATIONS 1. 150 PSI WORKING PRESSURE 3. HYDRANT DRAIN SHALL BE PLUGGED DRY TOP DESIGN VALVE SHALL OPEN WHEN OPERATING NUT IS TURNED CLOCKWISE AND BE SO INDICATED ON HYDRANT OPERATING NUT SHALL BE STANDARD AWWA PENTAGON OPERATING NUT WITH 1 1/2" POINT TO FLAT DIMENSION দান্ত দা দুৰ্ 6. THREADS SHALL BE NATIONAL STANDARD HOSE THREAD NOZZLES 7. HYDRANT TO OPEN RIGHT.

PORTSMOUTH FIRE HYDRANT

NOT TO SCALE

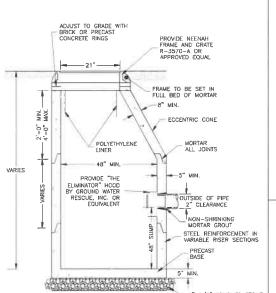
THRUST BLOCKS NOT TO SCALE

SQUARE FEET OF CONCRETE THRUST

BLOCKING BEARING ON UNDISTURBED MATERIAL

90' 0.89 2.19 3.82 11.14 17.24 180' 0.65 1.55 2.78 8.38 12.00 45' 0.48 1.19 2.12 6.02 9.32 22-1/2' 0.25 0.60 1.06 3.08 4.74 11-1/4' 0.13 0.30 0.54 1.54 2.38

PIPE SIZE



NOTES

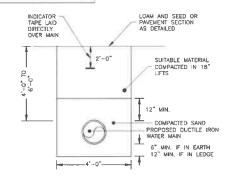
- ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
 ALL COMPONENTS OF CATCH BASINS SHALL MEET NHDOT SPOCIFICATIONS.
 ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 I. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT ITHE STRUCTURE.
 ALL CASINASS SHALL BE MADE IN THE USED.
 ALL CASINASS SHALL BE MADE IN THE USED.
 SHALL BE EXTRUSTED FLICT WELDED TO THE STRUCTURE.
 THE POLYSTHYLENE SHEET A MAXIMUM OF A" OUTSIDE THE FLANCE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).

ECCENTRIC CATCH BASIN WITH HOODED OUTLET

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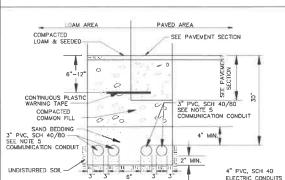
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.





WATER MAIN TRENCH

NOT TO SCALE



NOTES

- ELECTRIC SERVICE INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
 COMMUNICATION SERVICE INSTALLATION SHALL MEET ALL
- CONSTRUCTION SERVICE INSTALLATION SHALL MEET ALL CONSTRUCTION REQUIREMENTS.
 ACTUAL NUMBER OF CONDUITS TO BE DETERMINED BY RESPECTIVE COMPANIES.

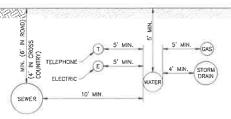
- COMPANIES.

 4. VERIFY INSTALLATION REQUIREMENTS WITH RESPECTIVE COMPANIES.

 5. SCHEDULE 80 CONDUIT TO BE USED UNDER TRAFFIC SITUATIONS (PRIMARY AND SECONDARY LINES).

 6. ALL 90 DEGREE SWEEPS MUST 8E STEEL AND THE FIRST 10' STICK OUT OF THE 90 MUST 8E STEEL ON ALL PRIMARY CONDUIT RUNS

ELECTRIC/COMMUNICATIONS CONDUIT



NOTES:

CORPORATION -STOP

- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO EXETER DPW TECHNICAL SPECIFICATIONS.
- ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
- GAS MAIN SHALL HAVE A TYPICAL DEPTH OF 3' FROM THE TOP OF PIPE TO FINISH GRADE
- DETAIL REPRESENTS LATERAL SEPARATION ONLY UNLESS OTHERWISE NOTED CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY FOR DEPTHS FOR GAS, TELEPHONE, AND ELECTRIC.

TYPICAL UTILITY LATERAL SEPARATION

SET TO FINISH GROUND PAVEMENT

CURB STOP

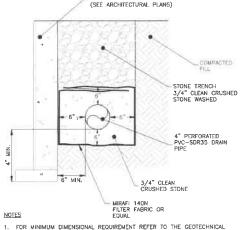
DOUBLE STRAP STAINLESS STEEL SADDLE, TAPPED WITH C.C. THREADS

WATER SERVICE CONNECTION

1. CURB STOPS TO OPEN TO THE RICHT.

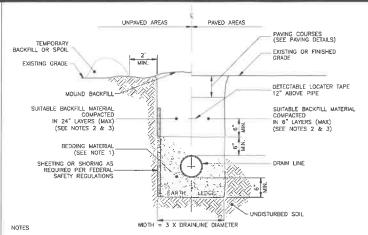
(ONLY REQUIRED FOR SERVICE PIPE 2" OR LARGER)

INDICATOR TAPE LAID DIRECTLY OVER CTS WATER SERVICE



FOUNDATION DRAIN LINES

FOR MINIMUM DIMENSIONAL REQUIREMENT REFER TO THE GEOTECHNICAL REPORT PREPARED BY JOHN TURNER COUNSULTING, INC. ON JULY 3, 2013. NOT TO SCALE



BEDDING — BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT 1A UNIFORM SLOPE AND ALIGNMENT. CRUSHED STONE SHALL BE USED TO BE THE PIPE TO THE BLEVATION SHOWN ON THE DRAWINGS. NORMAL PIPE BEDDING IS CRUSHED STONE TO THE HAUNCH OF THE PIPE AND SAND BEDDING 6" ABOVE THE CROWN. IF THE TOP OF THE PIPE IS LESS THAN 30" FROW PINISH GRADE, BED PIPE COMPLETELY IN STONE UP TO 6" ABOVE PIPE CROWN. UNDERDRAIN TO HAVE 4" MINIMUM OF STONE OVER PIPE OR AS NECESSARY TO BE IN CONTACT WITH GRAVEL LAYER OF SELECTS ABOVE.

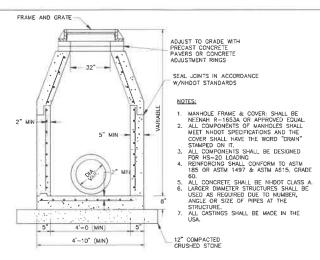
COMPACTION — ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATIORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COMPACTED TO NOT LESS THAN 95% OF ASSINT 099, METHOD C.

SUITABLE MATERIAL — IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT WICK, PPAT, OR CLAY, ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6" IN LARGEST DIVENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.

BASE COURSE AND PAVEMENT - SHALL MEET THE REQUIREMENT OF THE NHDOT LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES DIVISION 300 AND 400 RESPECTIVELY.

TRENCH FOR DRAIN LINE

NOT TO SCALE



SITE DEVELOPMENT PLANS

DRAIN MANHOLE

TAX MAP 242 LOT 4

DETAILS

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

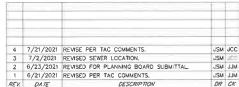
OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN

APRIL 19, 2021



Civil Engineers

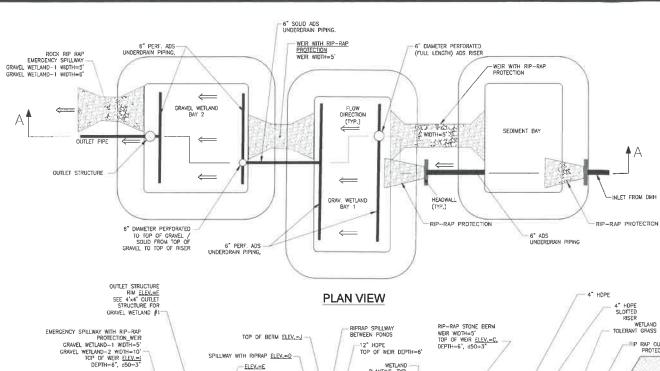
Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910 www.tfmaran.com

47388.11 DR JSM FB CK JJM CADFILE

C-70



2021



STRUCTURE FOR				/ /	4" HDPE	
GRAVEL WETLAND #1				1 /	SLOTTED RISER	
EMERGENCY SPILLWAY WITH RIP-RAP PROTECTION_WEIR	TOP OF BERM <u>ELEV.=J</u>	RIPRAP SPILLWAY BETWEEN PONDS	RIP-RAP STONE BERM WEIR WIDTH=5' TOP OF WEIR ELEV.=C.	1//	WETLAND TOLERANT GRASS	
GRAVEL WETLAND-1 WIDTH=5	1	12" HDPE	DEPTH=6", d50=3"		PIP RAP OUTLET	
GRAVEL WETLAND-2 WIDTH=10' TOP OF WEIR ELEV.=1	SPILLWAY WITH RIPRAP ELEV.=0	TOP OF WEIR DEPTH=6'	1		PROTECTION	
DEPTH=6", d50=3"	ELEV.=E	WETLAND	/	1 / /	/ P30000	
1	V	PLANTING, TYP.		1 1 1 1	- F. C.	
TOP OF BERM	4" PEA STONE	8" WETLAND SOIL	BERM	/ / /	1000000000	
ELEV.=J	\ /// *********************************	4" PEA STONE	7	/ / /	100000000	
1	8" WETLAND SOIL	/ \	INV. H	1 / /	10000000	
/		GRAV.	/2/	1 1 1 1		T FLOW FF
<u> </u>	GRAV. PYSO	WETLAND	A AN	/ / _/		1 DMH
- FICE CONTRACTOR (NA	WETLAND BAY 2 6"	BAY 1		4411	000-2000/00/00/00/2000/	3:
### (1000 to the to the total)	A Fath for the street of the Section	0.0		(CL)		
/// NV.+B		(CL)		Action Control of the		
Mark Contract Contract N	\$ F.	(CL) 114 00	1			
GRAVEL WETLAND #1 A CONTRICE PLATE CONTRICE PLATE		1 1		JNV.=A		
DOUBLE BARREL FUSED OR GLUED !!				MW		
8" HDPE OUTLET PIPE // ///////////////////////////////	- O-A O •			CLAY LINE	ER REQUIRED	
GRAVEL WETLAND #2 INV.=G	The state of the s	Part Towns		RAULIC INLET 5'X10"		
		EXISTING SOIL		RAP IN PLACE OF LAND SOIL.		
ESHWT INV.≡L — EXISTING SOIL		EXISTING SOIL	SING	GLE LAYER OR WOVEN		
	. 1 1 . SHANNY 14 1.4	MY MININI	GEO'	TEXTILE BETWEEN RAP AND PEA STONE		
A STATE OF THE PARTY OF THE PAR	/ / /	ANS -2' OF				
	2' OF 3/4" 0N	IDERORAIN PIPING STONE				
	SIGNE	4" ABOVE BOT	TOM 3" DIAMETER PERFORATE	.D		
1	- DOTTON	OF STONE OF 3/4" STONE	(FULL LENGTH OF RISER)			
6" ADS UNDERDRAIN	ELEV. K					
UNDERDRAIN		-				

ELEVA	TION TABLE
INV. ID	GRAVEL WETLAND 1
A	37.85
В	34.41
С	38.25
D	37.75
E	35.00
F	37.00
G	INV.=32.33 (1.75" ORIFICE INV=32.53)
- 1	37.75
J	38.25
K	32.00
L	33.00

SECTION A-A

INSPECTION AND MAINTENANCE.

FOREBAYS: INSPECT FOREBAYS FOR SEDIMENT ACCUMULATION TWICE PER YEAR MINIMUM AND REMOVE WHEN LEVEL REACHES 4 INCHES OR MORE, INSPECT FOR AND REMOVE ACCUMULATED DEBRIS TWICE PER YEAR MINIMUM. MOW FOREBAY SIDES AND BOTTOM WEEKLY TO PREVENT WOODY GROWTH AND PROMOTE GRASS GROWTH.

WETLANDS: INSPECT WETLANDS FOR AREAS OF DEAD OR STRESSED WETLAND GRASSES, REEDS, HERBACEOUS PLANTS, OR SHRUBS A MINIMUM OF TWICE PER YEAR AND REPLANT AS NECESSARY. WOW GRASSED SIDESLOPES ON A REGULAR BASIS TO KEEP HEIGHT OF VEGETATION BELOW 4 NICHES. INSPECT FOR AND REMOVE ACCUMULATED DEBRIST WINCE YER YEAR MINIMUM.

DESIGN LIFE: FOLLOWING THE MINIMAL MAINTENANCE PROCEDURES ABOVE, STUDIES CONDUCTED AT UNH INDICATE THE SYSTEM WILL CONTINUE TO DEVELOP INTO A HEALTHY DIVERSE WETLAND WITH NO QUANTIFIABLE DESIGN LIFE EXTENT.

NOTE:

GRAVEL WETLAND TO BE SEEDED WITH NEW ENGLAND WETMIX. APPLICATION RATE: 18 LBS PER ACRE OR 1 LB PER 2.500 S.F.

CONTACT DO SAFE TO ANDRESS

NOT TO SCALE

SUBSURFACE CRAVIL WETLAND MATERIAL LATERS

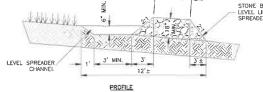
THE SURFACE INFLITATION RATES OF THE GRAVEL WETLAND SOIL SHOULD BE SIMILAR TO A LOW HYDRAULIC CONDUCTIVITY WETLAND SOIL (0.1—0.0) FT/QAY = 3.5, 1.0—5 CM/SEC TO 3.5, 3.1—5 CM/SEC). THIS SOIL MAY BE WANDFACTURED USING A COMBINATION OF 1.0—8, SAND, AND SOME FINE SOILS BLENDED TO A HIGH-PERCENT ORGANIC MATTER CONTENT SOIL (5.15% ORGANIC MATTER CONTENT SOIL ORGANIC MATTER CONTENT SO

THE PROPOSED PARTICLE SIZE DISTRIBUTION (PSD) FOR WETLAND SOIL IS PROVIDED IN THE TABLE BELOW AND REFLECTS A POORLY DRAINED SOIL WITH A MEDIAN PARTICLE SIZE (DSD) OF 0.15 MM AND IS A CLAY OR SILT LOAM IN THE USDA SOIL TEXTURAL TRIANGLE. THIS WETLAND SOIL MUST EXCLUDE ANY STICKS, ROOTS, STONES, ETC. THAT WOLATE THE SUGGESTED PSD. ONSITE MATERIALS SHOULD BE EVALUATED BY THE CONSTRUCTION EXGINEER TO ENSURE APPLICABILITY.

PARTICLE SIZE DIS		
SIEVE SIZE	% PASSING BY WEIGHT	Z PASSING TESTING
TOLERANCE		
(in/mm)		
0.5/12.5	100%	± 10.0%
#10/2.00	90-75%	± 5.0%
#100/0.15	40-50%	± 5.0%
#200 /0 1E	OF FOR	1 E 000

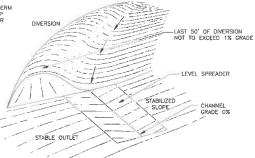
SEE UNHSC SUBSURFACE GRAVEL WETLAND DESIGN SPECIFICATIONS, JUNE 2016 FOR MORE DETAIL.





CONSTRUCTION SPECIFICATIONS

- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
- LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
- 3. AN EROSION STOP SHALL BE PLACED VERTICALLY A MINIMUM OF SIX INCHES DEEP IN A SILT TRENCH ONE FOOT BACK OF THE LEVEL UP AND PARALLEL TO THE U.P. EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL U.P.
- THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING TWO STRIPS OF JUTE OR EXCELSIOR MATTING ALONG THE LIP, EACH STRIP SHALL OVERLAP THE EROSION STOP AT LEAST SIX INCHES.
- THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.



NOTES:

- 1. GRADE ALONG PROFILE OF BOTTOM OF SPREADER TO BE 0%.
- SLOPES DOWN GRADIENT OF LEVEL SPREADER TO BE FULLY STABILIZED BEFORE DIRECTING STORM WATER FLOWS ONTO IT.
- 3. STONE TO BE 3/4" TO 3" IN DIAMETER, SIZE GRADIENT.

LEVEL SPREADER NOT TO SCALE



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

DETAILS

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN

APRIL 19, 2021

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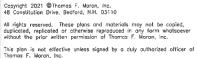
| 170 Commerce Way, Suite 102

4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	HE	
3	7/2/2021	REVISED SEWER LOCATION,	JSM	300	
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM	-
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM	- 13
REV.	DATE	DESCRIPTION	DR	CK	Ē



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20-30

- MULES

 WHEN CONTRACTOR EXCAVATES BIORETENTION AREA TO SUBGRADE, DESIGN ENGINEER SHALL
 PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR
 OTHER BACKFILL.

 SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO-MEDIA" MEANS BIORETENTION
 FILTER MEDIA,
 DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED
 AND ITS CONTRIBUTIONS AREAS HAVE BEEN FULLY STABILIZED.
 DO NOT INSCRIPTION OF THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION,
 DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION ECUPMENT: FEASIBLE, PERFORM
 EXCAVATION, TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION COUPMENT: FEASIBLE, PERFORM
 EXCAVATIONS WITH COUPMENT POSITIONED OUTSIDE THE LIMITS OF INFLITATION COMPONENTS OF
 THE SYSTEM.

 A PROFESSIONAL ENGINEER SHALL BE PRESENT DURING THE CONSTRUCTION OF THE RAIN
 GARDENS TO ENSURE THAT ALL OF THE CRITERIA ARE MET AND THAT AT REPORT BE SUBMITTED
 TO NHOES WHEN CONSTRUCTION OF THE BIORETENTION AREAS ARE COMPLETED.

STONE.	MA	INTENANCE REQUIREMENTS
ING BY WIGHT	1.	SYSTEMS SHOULD BE INS EXCEEDING 2.5 INCHES IN
5-55 -5	2.	CONDUCTED AS A WARRAI PRETREATMENT MEASURES CLEANED OF ACCUMULATE
RO WASHED	l .	ONCE ANNUALLY.

% PASSING BY WIGHT SIEVE_SIZE *EQUIVALENT TO STANDARD WAS STONE-SECTION 702 OF MHDO STANDARD SPECIFICATIONS

3 4" WASH D CRUSHED

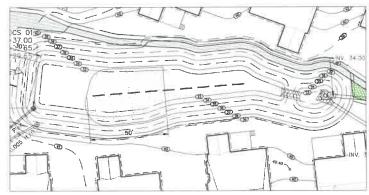
STANDARD SPECIFICATIONS

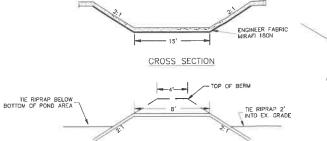
13/8" WASHED CRUSHED STONE*

THE GRASS THAT IS FLANTED WITHIN A BIO-FILTRATION SYSTEM WITHIN THE 4. BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED AND COLD SEASON GRASS SEED AND COLD FOR THE GRASS TO START GROWNE FOR STABILIZATION AND CONTINUE GROWNEG IN THE SANDY WELL-DRAINED SEMPROMENT. PLANTING SPECIFICATION WILL MEET REQUIREMENTS AS OUTLINED IN "VECETATION NEW HAMPSHIRE SAND AND GRAVEL PITS" MX. 1 (WARM SEASON GRASSES) (IS LBS/AC) AND INCLUIDE ANNUAL AND PETENNIAL RYE GRASS SEED (IS LBS/AC), THE NEW ENGLAND MATIVE WARM SEASON GRASS MIX (23 LBS/AC) SY NEW ENGLAND WETAND PLANTS, INC.; RAIN GARDEM MIX 180 (15 LBS/AC) AT LBS/AC SEASON GRASS MIX (26 (21 LBS/AC) CONTINUED AND METAND PLANTS, INC.) FAIN GARDEM MIX 180 (15 LBS/AC) FOR LBS/AC) SY NEW ENGLAND WETAND PLANTS, INC.; RAIN GARDEM MIX 180 (15 LBS/AC) FOR SEASON GRASS MIX (20 LBS/AC) & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

ENHANCED 810-FILTRATION WITH INTERNAL STORAGE RESERVOIR (ISR);

. THE INTERNAL STORAGE RESERVOIR (ISR) WILL PROVIDE A RETENTION TIME OF AT LEAST 24 HOURS IN THE SYSTEM TO ALLOW FOR SUFFICIENT TIME FOR DEMITRIPICATION AND NITROCEN REDUCTION TO OCCUR PRIOR TO DISCHARGE, THE FILTER MEDIA HAS BEEN AUGMENTED WITH MATERIALS DESIGNED AND/OR KNOW TO BE EFFECTIVE AT CAPTURING PROSPHOROUS. THE TOP TWELVE INCHES OF THE BIO-MEDIA WILL BE AMENDED WITH STHER 5% BY VOLUME ELEMENTAL IRON FILMOS. SR BY COLUME CONTROL HISRUIM SOFTWAY MEDIA, AD AMERICAL SHOWAY MEDIA, OR APPROVED EQUAL OR 5% BY WEIGHT WATER TREATMENT RESIDUALS (WTR). THE COLUME OF THE ISR WILL EXCEED 25% OF THE WATER QUALITY VOLUME (WOV).





EMERGENCY	SPILLWAY	PROFILE
	NOT TO SCALE	

FLF/	/AHON	IABLE
INV.	BIO-01	BIO-02
IIN V.	ELEV	ELEV
А	32.75	35.00
В	31.25	33.50
С	30.25	32.50
D	29.25	31.50
Е	36.00	37.00
F	35.00	36.00
G	NA	NA
Н	32.70	34.00
J	29.58	31.83

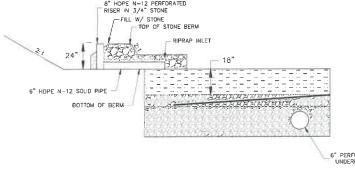
INV.OUT=33035

<1 15€

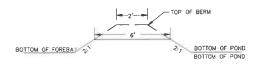
RIM=42.18 INV.IN=32.35

INV.IN=34.00 INV.OUT=32.15

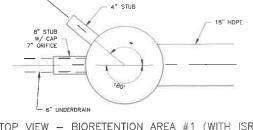
SUMP=32.15



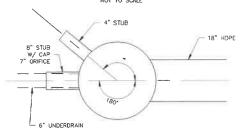
STONE BERM FOR FOREBAY



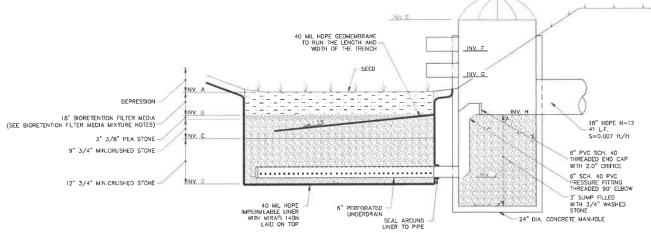
RIPRAP SEDIMENT FOREBAY SPILLWAY PROFILE NOT TO SCALE

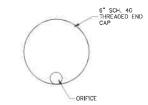


TOP VIEW - BIORETENTION AREA #1 (WITH ISR) NOT TO SCALE



TOP VIEW - BIORETENTION AREA #2 (WITH ISR)





CAP W/ CONTROL ORIFICE NOT TO SCALE

BIORETENTION AREA (WITH ISR)

LINER NOTES

ACCEPTABLE OPTIONS INCLUDE:

A. 6-12" IN CLAY SOIL (MINIMUM 15% PASSING #200 SIEVE AND A

MAXIMUM PERMEABILITY OF IX10" CW/S)

* A.0 MIL. PVC LINER WITH SAND BEDDING AND NON-WOVEN

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

DETAILS

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SCALE: AS SHOWN

APRIL 19, 2021

			-	
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JC
3	7/2/2021	REVISED SEWER LOCATION.	JSŁ	JC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSI	2.8
1	6/21/2021	REVISED PER TAC COMMENTS.	JSI.	4.0
REV.	DATE	DESCRIPTION	DR	GH



Civil Engineers Structural Engineers

170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910 www.tfmoran.com

47388.11 DR JSM FB CADFILE

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This plan is not effective unless signed by a duly authorized officer of



PLAN VIEW - BIORETENTION AREA #1 (WITH ISR)

RIM=40.30 JNV OUT= 36, 50

AMTERANCE REQUIREMENTS

SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY PAINFALL EXCEEDING 2.5 INCHES IN A 25-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED SUCH INSPECTION.

PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEAMED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.

AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAW WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THAN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO PURCHON, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED OF SEDIMENTS OR RECONSTRUCTION OF FILTER MEDIA.

VEGETATION SHOULD BE INSPECTED AS LEST ANNUALLY AND MAINTAINED IN HEALTHY CONDITION, INCLUDING REMOVAL OF INVASINE SPECIES.

UNH STORMWATER CENTER
 New Hampshire Stormwater Management Manual, Volume 2, December 2008 AS UHSC - WWW.UNH.EDU/UNHSC/NEWS/UNHSC-HNOVATIVE—BIORETENTION—TEMPLATE—POLLUTION—REDUCTIONS—GREATBAY—ESTUARY—WATERSHEDS

PLAN VIEW - BIORETENTION AREA #1 (WITH ISR) NOT TO SCALE

PIPE AND JOINT MATERIALS:

A. PLASTIC SEWER PIPE.

 PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034 F679 F789 F794 D2680	*PVC (SOLID WALL) PVC (SOLID WALL) PVC (SOLID WALL) PVC (RIBBED WALL) *ABS (COMPOSITES WALL)	8" THROUGH 15" (SDR 35) 18" THROUGH 27" (T-1 & T-2) 4" THROUGH 18" (T-1 TO T-3 8" THROUGH 15"

*PVC: POLY VINYL CHLORIDE *ABS: ACRYLONITRILE—BUTADIENE—STYRENE

JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOWERS MATERIAL CONFORMING TO ASTM D—3212 AND SHALL BE PUSH—ON, BELL AND SHOOT TYPE.

ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).

B. DUCTILE-IRON PIPE. FITTINGS AND JOINTS.

DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
 A21.50 THICKNIESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
 A21.51 DUCTILE IRON PIPE, CENTRIFUCALLY CAST IN METAL MOLDS OR SMOLLINED MOLDS FOR WATER OF THE LOUDING AND CAST IN METAL MOLDS OR SMOLLINED MOLDS FOR WATER OF THE LOUDING AND GASKETS SHALL ONCORPORED.

SHALL CONFORM TO:
A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS

- DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERC GASKET FOR WATER-TIGHTNESS, ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYS OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.
- TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CHAMPEO OR FEDVA-CHEMENTES SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CIOTH OR DOTHER SUCH MATERIAL AROUND THE GOUNT, OR APPLYING MOSTRAT TO HOLD THE CONNECTION, AND DAY OTHER SMILLAR CRUDE PRACTICES OR INEPT OR HASTY MAPROMISSITIONS WILL NOT BE FERMITICE. THE CONNECTION SHALL BE CONNECTION SHALL BE CONNECTION. AS SHOWN IN THE ESTIMATION HAVE CONNECTION SHALL BE CONNECTION. UP TO AND INCLUDING 15" DIAMETER.
- SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION CUIDES OF THE APPROPRINTE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 6 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN MOTE 10. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THROROGENTY TAMPED BY HAND OR WITH APPORPHATE MEADING. DEVICES.

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A CRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.

- TESTING: THE COMPLETED SEWER SERVICE SHALL BE SUBJECTED TO A THIRD PARTY LEAKAGE TEST IN ANY OF THE FOLLOWING MANNERS: (PRIOR TO BACKFILLING)
- A. AN OBSERVATION TEE SHALL BE INSTALLED AS SHOWN AND WHEN READY FOR TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE TEE. AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 5 FEET ABOVE THE LEVEL OF THE PLUG.
- B. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSEO WITH WATER. TO SIMULATE, AS MARLY AS POSSBUE, WIT TRENCH CONDITIONS OR, IF TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
- 3. DRY FLUORESCENE DYE SHALL BE SPRINKLED INTO THE TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER, OR IF THE TRENCH IS WET, GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATION FOR LEAKS SHALL BE MADE IN THE TRIST DOWN—STREAM MANHOLE.

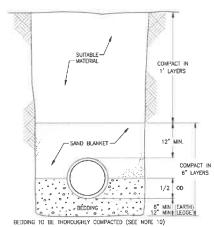
LEARAGE OBSERVED IN ANY ONE OF THE ABOVE ALTERNATE TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE DUG-UP IF NECESSARY AND RE-LAID SO AS TO ASSURE WATER TICHTNESS.

- ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC, SHALL BE PERMITTED. ROOF LEADERS, FOOTING DEARNS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRINGS RAIN WATER, DEARNAGE OR ROUND, WATER SHALL NOT BE PERMITTED.
- WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.
- 10. REDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, DRGANIC MATERIAL

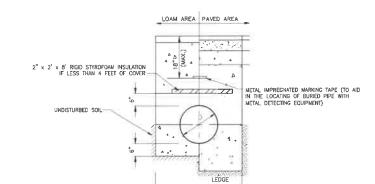
100% PASSING 1 INCH SCREEN 100% PASSING 3/4 INCH SCREEN 20%-55% PASSING 3/4 INCH SCREEN 0%-10% PASSING #4 SIEVE 0%-5% PASSING #8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.

- , location: the location of the tee or wye shall be recorded and filed in the municipal records, in addition, a ferrous metal rod or pipe shall be placed over the tee or wye AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.
- CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.



BACKFILLING TO BE BROUGHT UP EVENLY ON ALL SIDES TRENCH CROSS-SECTION CHIMNEY (SEE NOTE 12)



PLUG -

6" MIN ALL AROUND

1/2 00

(SEE NOTE 11)

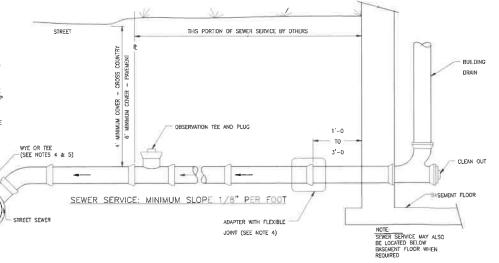
TEE OR WYE

NOT TO SCALE

1. GAPS RETWEEN SECTIONS OF INSULATION TO BE COVERED WITH 2" x

OR D + 2'(WHICHEVER IS GREATER)

SEWER TRENCH WITH INSULATION







SEWER SERVICE DETAILS

GRAVITY SEWER NOTES

- 2. PIPE AND JOINT MATERIALS FOR PLASTIC SEWER PIPE SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS

GENERIC PIPE PVC (SOLID WALL)
 PVC (SOLID WALL)
 PVC (RIBBED WALL)
 PVC, RECYCLED 8" THROUGH 15" (SDR 35) 18" THROUGH 27" (T-1 & T-2) 8" THROUGH 36" D3034-04a F1760-01(2005)e1 ALL DIAMETERS

*PVC: POLY VINYL CHLORIDE

- PLASTIC SEWER PIPE SHALL HAVE A PIPE STIFFNESS RATING OF AT LEAST 46 POUNDS PER SQUARE INCH AT 5 PERCENT PIPE DIAMETER DEFLECTION, AS MEASURED IN ACCORDANCE WITH ASTM 02412-02 DURING MANUFACTURE.
- JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212-96(a)(2003)∉1 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.
- 5 DUCTHE-IRON PIPE FITTINGS AND JOINTS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN WATER

AWWA C151/A21.51-D2 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536-84 (2004) DUCTILE IRON CASTINGS.

AWWA C151/A21.51-02 DUCTILE IRON PIPE, CENTRIFUCALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.

JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO AWAY C151/A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.

6. CONCRETE PIPE SHALL CONFORM TO AWWA C302-04.

7 PRESTRESSED CONCRETE CYLINDER PIPE AND FITTINGS SHALL CONFORM TO AWWA C301-99.

JOINTS SEALS FOR CONCRETE CYLINDER PIPE SHALL BE OIL RESISTANT ELASTOMERIC MATERIAL CONFORMING TO ASWWA C301-99 SPECIFICATIONS.

- B. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE
- 9. GRAVITY SEWER PIPE TESTING SHALL BE AS FOLLOWS:

ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR

LOW PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH:

ASTM F1417-92(2005) "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW PRESSURE AIR".

UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW PRESSURE AIR TESTING OF INSTALLED SEWER PIPE".

- ALL NEW GRAVITY SEWERS SHALL BE CLEANED AND VISUALLY INSPECTED AND SHALL BE TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE AND VISUALLY INSPECT USING LAMP TEST.
- ALL PLASTIC SEWER PIPE SHALL BE DEFLECTION TESTED NOT LESS THAN 30 DAYS AND NO MORE THAN 90 DAYS FOLLOWING INSTALLATION.
- 12. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5 PERCENT OF THE AVERAGE INSIDE DIAMETER.
- 13. TRENCH CONSTUCTION SHALL CONFORM TO THE FOLLOWING:

SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6' BELOW GRADE IN ALL ROADWAY LOCATIONS AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS COUNTRY LOCATIONS.

WHERE SEWER LINES CROSS WATER PIPES, A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. AT SEWER/WATER INTERSECTIONS, A MINIMUM OF 6 FEET SHALL BE PROVIDED FROM THE WATER LINE TO THE SEWER PIPE JOINT, 12" SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE REQUIRED BETWEEN SEWER LINES AND ALL OTHER PIPES.

TRENCH DIMENSIONS FOR SEWER PIPE LESS THAN 15 INCHES IN DIAMETER, THE ALLOWABLE TRENCH WIDTH AT A PLANE IZ INCHES ABOVE THE PIPE SHALL BE NO MORE THAN 36 INCHES AND FOR PIPE 15 INCHES AND LARGER, THE ALLOWABLE WIDTH SHALL BE COULD. IT THE PIPES OUTSIDE DWARTER PLUS 24 INCHES.

PIPE TRENCH BEDDING MATERIAL AND FILL MATERIAL FOR EXCAVATION BELOW GRADE SHALL BE SCREENED GRAVEL OR CRUSHED STONE TO ASTAU C33—OS STONE SIZE NO. 67. THE PIPE SAND BLAVNET MATERIAL SHALL BE GRADED SAND FREE FROM ANY ORGANIC MATERIALS, GRADED SUCH THAT 100 PERCENT PASSED THE 1/2—INCH SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A [200 SIEVE. N LIEU OF A SAND BLAVKET, A STONE ENVELOPE 6 INCHES THICK COMPLETELY AROUND THE PIPE USING 3/4—INCH STONE MAY BE USED.

FIPE BEDDING MATERIAL SHALL EXTEND FROM A HORIZONTAL PLANE THROUGH THE PIPE AXIS TO 6-INCHES BELOW THE BOTTOM OF THE OUTSIDE SURFACE OF THE PIPE.

PIPE SAND BLANKET MATERIAL SHALL COVER THE PIPE A MINIMUM OF 12 INCHES ABOVE THE CROWN OF THE

COMPACTION SHALL BE IN 12-INCH LAYERS FOR BEDDING AND BLANKET MATERIALS

BACKFILL MATERIAL SHALL BE IN 3-FOOT LAYERS TO THE GROUND SURFACE EXCEPT FOR ROAD CONSTRUCTION WHERE THE FINAL 3-FEET SHALL BE COMPACTED IN 12-INCH LAYERS TO THE ROAD BASE SURFACE.

TRENCH BACKFILL MATERIAL IN ROADWAY LOCATIONS SHALL BE NATURAL MATERIALS EXCAVATED FROM THE TRENCH DURING CONSTRUCTION, EXCLUDING DEBRIS, PAYEMENT PIECES, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT, CLAY, EXCAVATED LEDGE, ROCKS OVER 6 INCHES IN THE LARGEST DIMENSION, OR ANY OTHER UNSUITABLE MATERIAL NOT APPROVED BY THE ENGINEER.

TRENCH BACKFILL AT CROSS-COUNTRY LOCATIONS SHALL BE AS DESCRIBED ABOVE EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSBILE RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED. BACKFILL SHALL BE MOUNDED 5-INCHES ABOVE ORIGINAL ROOMS AND POSSBILE TO THE PRESERVED BACKFILL SHALL BE MOUNDED 5-INCHES ABOVE ORIGINAL ROOMS.

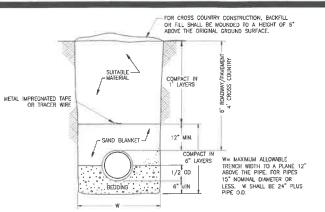
"STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

WHERE SHEETING IS PLACED ALONG SIDE OF THE PIPE AND EXTENDS BELOW MID-DAMETER, THE SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE AND AT LEAST 3 TEET BELOW FINISH GRADE.

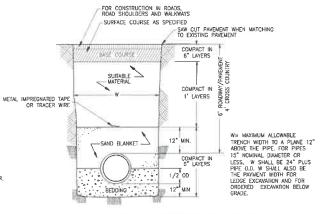
TRENCHES FOR SEWER PIPES WITH SLOPES OVER 0.08 FEET PER FOOT AND TRENCHES FOR SEWER PIPES BELOW THE SEASONAL HIGH GROUND WATER LEVEL SHALL HAVE IMPERVATUOS TRENCH DAMS CONSTRUCTED EVERY 300 FEET TO PREVENT POTENTIAL DISTURBANCE TO PIPE BEDDING AND BLANKET MATERIALS.



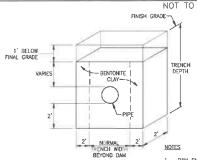




EARTH CONSTRUCTION



LEDGE CONSTRUCTION



DAM SHALL BE LOCATED EVERY 300' OF SEWER PIPE RUN.

SEWER TRENCH DAM

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4 DETAILS

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY STOKEL SB & NA TRUST, PHILIP J 25% INT

PREPARED FOR GREEN & COMPANY REAL ESTATE

1"=40' (11"X17") SCALE: 1'=20' (22'X34')

APRIL 19, 2021



tructural Engineer roffic Engineers

Portsmouth, NH 03801 Phone (603) 431-2222 Fox (603) 431-0910 www.tfmaran.com

47388.11 DR JSM FB CADFILE Sewer Details.dwg

C - 73

GENERAL NOTES

IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, TRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE, SPACE COURSUMENTS AND CONSIDERATIONS, SHALL BE AS SHORN ON THE DRINNING, MANHOLES SHALL BE AS SHORN ON THE PRECAST SECTIONS, WITH STEEL REPROFECHENT, WITH ADEQUATE JOINTING, OR COUNCRIE AST MONOCUTHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE TRICTURE SHALL BE OF SUCH MARFIRM, AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 DADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL OOT OF MANHOLE, CONTINUOUSLY FOR THE UPE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS F 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.

BARRELS, CONE SECTIONS AND CONCRETE GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE AND SHALL CONFORM ENV-WQ 704.12 & 704.13.

PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478-06.

BASE SECTIONS SHALL BE OF MONDLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.

MANHOLE CONE SECTIONS SHALL BE ECCENTRIC IN SHAPE

ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL.

ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.

SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.

HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT. APPROVED ELASTOMERIC SEALANTS ARE:

SIKAFLEX-12-SL

SONNEBORN BUILING PRODUCTS-SONOLASTIC SL-1

IMUM INTERNAL DIAMETER OF MANHOLES SHALL BE 48 INCHES. FOR SEWERS LARGER THAN DIAMETER. MANHOLE DIAMETERS SHALL BE INCREASED SO AS TO PROVIDE AT LEAST 12-INCHES OF SHELF ON EACH SIDE OF THE SEWER.

EAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE TO ENV-WQ 704.17.

- (a) ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STARNDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
- (b) THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
- 1. THE INITIAL VACUUM GUAGE TEST PRESSURE SHALL BE 10 INCHES HG
- 2. THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH Hg PRESSURE DROP TO 9 INCHES SHALL BE:
- A. NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
- B. NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
- C. NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.
- (c) THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
- (d) INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
- (e) FOLLOWING COMPLETION OF THE LEAVAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.

ERICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL COMPLY WITH ASTM C32-05, CLAY OR SHALE, FOR GRADE SS HARD BRICK.

MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LINE ADDITION. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE: (0) 4.5 PARTS SAND AND 1.5 PARTS CEMENT OR (b) 4.5 PARTS SAND, 1 PART CEMENT AND 0.5 PART HYDRATED LIME

CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05. HYDRATED LIME SHALL BE TYPE'S CONFORMING TO ASTM C207-06 "STANDARD SPECHICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES". SAND SHALL CONSIST OF INCRET NATURAL SAND CONFORMING TO ASTM C33-03 "STANDARD III. SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES".

INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW, AT CHANGES IN DIRECTIONS, THE MINERTS SHALL BE LAD CUT IN CLIPRES OF THE LONGEST RADIUS POSSIBLE TANCENT TO THE CENTER LINE OF THE SEWER PIPES, SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN, CLASS 30, CONFORMING TO ASTM. ABB/ABM AND PROVIDE A 30-INCH CLEAR DEPAINIG. 3-INCH WORD (MINIMUM HEIGHT) LETTERS "SEVER" SHALL BE FRAMILY CLAST HINTO THE TOP SUFFACE. THE CASTING SHALL BE OF EVEN GRAMED CAST IRON, SMOOTH, AND FREE FROM SCALE, LUMPS, BLISTERS, SAND HOLES AND DEFECTS. CONTROL SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PRODUCT ASTMER. SHALL BE MACHINED AT THE FOUNDRY TO

BEDDING: PRECAST BASES SHALL BE PLACED ON A 6-INCH LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO, 67 STONE AND FREE FROM CLAY, LOAM AND ORGANNIC MATTER. THE EXCAMATION SHALL BE PROPERTY DEMETED WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE. WATER-STOPS SHALL BE USED AT THE HORIZONTAL JOINT OF THE

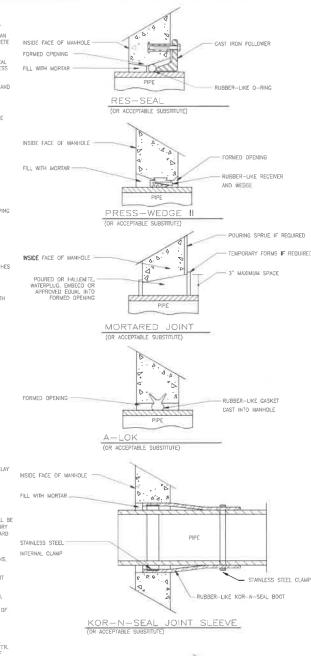
100% PASSING 1" SCREEN 90-100% PASSING 3/4" SCREEN 3/4" SCREEN 0-10% PASSING #4 SIEVE #4 SIEVE

FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WIGHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION: (6) WITHIN 48 INCHES FOR RENFORCED CONCRETE PIPE (RCP), (b) WITHIN 60 INCHES FOR PICE PIPE LARGET THAN 15° DIMETER.

NO FLEXIBLE JOINT SHALL BE REQUIRED FOR DUCTILE IRON PIPE OR PVC PIPE UP THROUGH 15-INCH

INTERNAL STEPS ARE PROHIBITED PER EXETER DPW STANDARDS.

REFERENCE NHDES ENV-WQ 700 IN PLACE OF ASTM STANDARDS



BED OF MORTAR FRAME AND COVER 30" GRADE -MORTAR SHALL BE FINISHED SMOOTH. ADJUST TO GRADE WITH BRICK OR PRECAST CONCRETE RINGS MAXIMUM 12" ADJUSTMENT. BRICK OR CONCRETE RINGS SHALL BE INSTALLED WITH NO OVERHANG. MAX. SEE DETAIL "B" FOR APPROVED JOINTING METHODS PIPE SEE DETAIL "A" FOR APPROVED JOINTING METHODS 6" BEDDING (SEE NOTE) 5 BEDDING (SEE NOIL).
PRECAST BASES SHALL BE
PLACED ON A 6-NOH LAYER
OF COMPACTED BEDDING
MATERIAL THAT CONFORMS TO
ASTM C33-O3 NO 67 STONE
AND FREE FROM CLAY, LOAM
AND ORGANNIC MATTER. THE
EXCAVATION SHALL BE
PROPERLY DEWATERED WHILE
PLACING BEDDING MATERIAL
PLACING BEDDING MATERIAL PIPE 77777777 TYPICAL SECTION NOTES: INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST. TOP OF SHELF SHALL BE 1" 12" MIN. EACH SIDE

SECTION "B-B

PIPE

SECTION "A-A"

2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH

POINT 6" ABOVE THE PIPE CRO

UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

NO STEPS ARE ALLOWED PER EXETER DPW STANDARDS.

3" MAXIMUM PROJECTION

OF PIPE INTO MANHOLE

PVC PIPE OR DIP ELASTOMERIC SEALANT
HORIZONTAL JOINTS BETWEEN SECTIONS
OF PRECAST CONCRETE BARRELS
SHALL BE OF AN OVERLAPPING TYPE,
SEALED FOR WATERTICHTNESS USING A
DOUBLE ROW OF AN ELASTOMERIC OR
MASTIC-LIVE SEALANT. ELASTOMERIC SEALANT (WITH BELL REMOVED) STATE OF NEW HAMPSHIRE APPROVED PRODUCTS

SONNEBORN BUILDING PRODUCTS
 SONOLASTIC SL-1

MAXIMUM DISTANCE TO FLEXIBLE JOINT

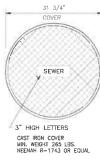
MAXIMUM DISTANCE TO FLEXIBLE JOIN FLEXIBLE JOINT: A FLEXIBLE JOINT: SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION: (a) WITHIN 4 INCHES FOR REINFORCED CONCRETE PIPE (RCP), (b) WITHIN 60 INCHES FOR PUC PIPE LARGER THAN 15"

NO FLEXIBLE JOINT SHALL BE REQUIRED FOR DUCTILE IRON PIPE OR PVC PIPE UP THROUGH 15—INCH DIAMETER.

ABOVE CROWN OF HIGHEST PIPE

DETAIL "B" - HORIZONTAL JOINTS

CAST IRON FRAME



-U-CUT PIPE DEPTH

CALDER STYLE

COUPLING

S.S. ANCHOR

SIZE GUIDE:

1- 8" OR 10" DROP: 4'-0" DIA

2- 8" OR 10" DROP: 5'-0" DIA

1- 12" DROP: 5'-0" DIA

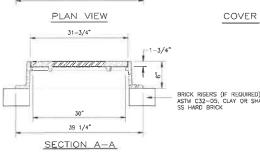
DROP: 5'-0" DIA

INSIDE DROP MANHOLE

REMOVABLE BAND

PVC BELL (REMOVE T

CLEAN HORIZ, LINE)



MANHOLE FRAME & COVER

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4 **DETAILS**

PARSON WOODS CONDOMINIUM LLC 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT PREPARED FOR

GREEN & COMPANY REAL ESTATE

1"40' (11"X17") SCALE: 1'=20' (22'X34')

APRIL 19, 2021

Seacoast Division

Structural Engineers Traffic Engineers

170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910

47388.11 DR JJM CADFILE Sewer Details.dwg C-74

FILL WITH MORTAR ALL GASKETS, SEALANTS, MORTAR, ETC... SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS -STAINLESS STEEL STRAP LOCK-JOINT FLEXIBLE MANHOLE SLEEVE

> (OR ACCEPTABLE SUBSTITUTE) DETAIL "A" - PIPE TO MANHOLE JOINTS

INSIDE FACE OF MANHOLE

- A. FLASTOMERIC, RUBBER SLEEVE WITH WATERTIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
- B. CAST INTO WALL OR SECUREED WITH STAINLESS STEEL CLAMPS.
- C. ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH THE SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING.

20. THE INVERT OF THE INCOMING PIPE SHALL BE NO MORE THAN 6 INCHES ABOVE THE OUTGOING PIPE UNLESS A DROP ENTRY IS USED

his plan is not effective unless signed by a duly authorized officer of homas F. Moran, Inc.

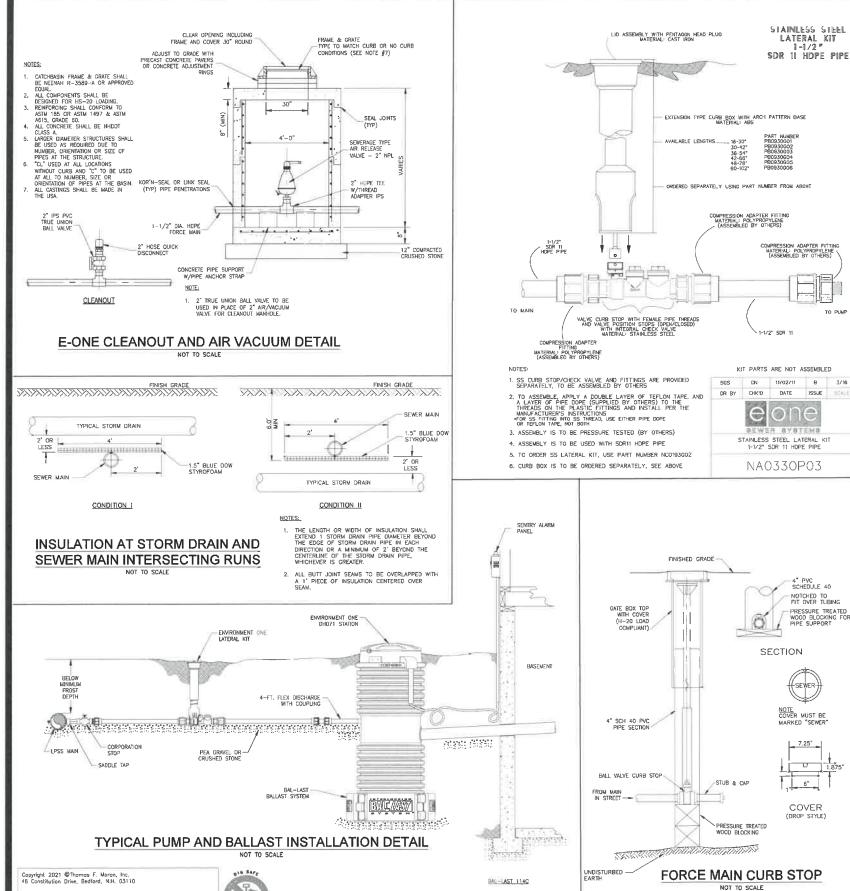


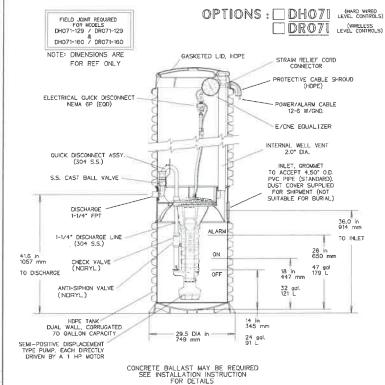
TYPICAL MANHOLE - PLAN VIEW STANDARD MANHOLE

BRICK MASONR

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4 7/21/2021 REVISE PER TAC COMMENTS. JSM JCC 3 7/2/2021 REVISED SEWER LOCATION JSM JCC 2 6/23/2021 REVISED FOR PLANNING BOARD SUBMITTAL. 6/21/2021 REVISED PER TAC COMMENTS.





- THE PUMP CORE CONTAINS BUILT IN CHECK AND ANTI--SIPHON VALYES, IN ADDITION, THERE IS A REDUNDANT UNILATERAL CHECK AND ISOLATION VALVE AT THE LOT LINE WITH THE STAINLESS STEEL ASSEMBLY.
- THE STATION MONITOR CONTAINS A HIGH LEVEL ALARM. THE HIGH LEVEL ALARM IS RUN OFF A REDUNDANT RUN SWITCH THAT OVERRIDES THE RUN SWITCH IF IT SHOULD SEE A POWER FAILURE.
- THE ALARM PANEL HAS THE OPTION TO CONNECT A PORTABLE GENERATOR WITH A 20 AMP, 240 VOLT SUPPLY, POWER TRANSFERS AUTOMATICALLY IF THE PUMP IS CALLING TO RUN.
- THE PUMP IS RATED TO CONTINUOUS DUTY HEADS OF 185-FEET. THE SYSTEM AS DESIGNED WILL OPERATE AT 14,92 GPM AT 5.64-FEET TDH.
- 5. THE PUMP RATED TO 700 GPD.
- THE TANK HAS A 70-GAL VOLUME AND ALLOWS FOR 43 GALLONS ABOVE THE "ON" LEVEL.
- 7. A BACKUP GENERATOR WILL BE PROVIDED THAT SHALL BE AMPLE ENDUGH TO SUPPLY POWER TO RIN THE GRINDER PUMP AND ALARM STSTEM. THERE SHALL BE ENDUGH FUSL ON SITE TO RUN THE GENERATOR FOR A MINIMUM OF 6 HDS
- IN CASE OF A POWER FAILURE, A BATTERY BACKUP REMOTE SENTRY ALARM PANEL SHALL BE USED IN CONJUCTION WITH THE E-ONE PUMP SYSTEM.



E-ONE GRINDER PUMP

NOT TO SCALE

FRAME & GRATE TYPE TO MATCH CURB OR NO CURB CONDITIONS (SEE NOTE #7) ADJUST TO GRADE WITH PRECAST CONCRETE PAVERS OR CONCRETE ADJUSTMENT CATCHBASIN FRAME & GRATE SHALL BE NEENAH R-3589-A OR APPROVED BE NERNAH R-3589-A OR APPROVED EQUAL 2. ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING. 3. REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60. 4. ALL COMPORTEE SHALL BE HIDDOT CLASS A 6. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ORIENTATION OR SIZE OF PIPES AT THE STRUCTURE. 6. "C". "USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL LOCATIONS TO BE USED AT ALL CASTINGS SHALL BE MADE IN (I'VP) PIPE PENETRATIONS THE USA. 8. MISTALL PIPE SUPPORTS ON THE SEAL JOINTS 1-1/2" HOSE THE USA. 8. INSTALL PIPE SUPPORTS ON THE SWEEP ELBOW. 9. ALL PIPE FITTINGS ARE TO BE RESTRAINED JOINT STYLE. A. HOPE TO BE FUSION, ELECTROFUSION OR MECHANICAL JOINT. 1-1/2" DIA. HOPE FORCE MAIN

PRESSURE SEWER **TESTING NOTES**

FORCE MAINS AND PRESSURE SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 5 OF THE AWAY CEOD.

"INSTALLATION OF CAST IRON WATER MAINS AND THEIR APPURITENANCES" STANDARD IN EFFECT WHEN THE TEST IS CONDUCTED, AVAILABLE AS NOTED IN APPENDIX D, AT A PRESSURE COUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATION TOTAL DYNAMIC HEAD OR AT LEAST 100 PS.

E-ONE TERMINAL FLUSHING MANHOLE

CONCRETE PIPE SUPPORT W/PIPE ANCHOR STRAP

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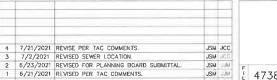
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Jul 21,

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B. PVC WOULD BE SOLVENT GLUE,
C. ALL JOINTS TO BE THREADED AND
PRESSURE RATED TO 200 PSI

MOTES:

JSM AM JSM AM DR CK DESCRIPTION