



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists



July 21, 2021

TFM Project No: 47388.11

Juliet Walker, Planning Director
 Portsmouth Planning Department
 City Hall, 3rd Floor
 1 Junkins Avenue
 Portsmouth, NH 03801

Re: Response to Comments Prior to and During the July 6, 2021 TAC Review Meeting for Condominium Development, Peverly Hill Road, Tax Map 242, Lot 4

Dear Juliet,

On behalf of our client, Green & Company, TF Moran, Inc. (TFM) respectfully submits the following revised plans and letter in response to the comments made by the Technical Advisory Committee (TAC) at our May meeting.

Parson Woods Condominium Plans REC Review of the Revised Plans. Green Energy Statement.

Included with this Response to Comments Letter are the following items:

- A copy of a letter to Michael Green from GDS Associates, Inc. Engineers & Consultants
- Traffic Peer Review Memorandum by TEC – Dated July 20, 2021
- Peverly Hill Road Future Improvement Overlay Plan – Dated April 19, 2021
- Overall Site Layout Color Plan – Dated May 4, 2021, Last Revised July 20, 2021
- Concept – Conventional Subdivision Plan
- Parson Woods Condominium, 83 Peaverly Hill Road, Portsmouth, New Hampshire Dated April 19, 2021, Last Revised July 21, 2021 (1-Full Sized Plan Set)

To facilitate your review of the plans, we have provided TAC and the staff comments along with our responses which are shown in ***bold blue italics***.

Comments Prior to the July 6, 2021 TAC Meeting

Response to July 6, 2021 email prior to TAC meeting.

- 1) **The applicant should be required to construct the multiuse path along the frontage of their property and up to the already existing Middle Road pedestrian sidewalks system in accordance with the McFarland Johnson preliminary plan.**

The proposed construction of the shared use path is still not in its final stage and the scope of work in this work may change. It also encompasses the property along the abutting properties road frontage and may have some impact to their land. Due to



these reasons, we feel that the work should be done by the City.

We propose setting up an escrow that would cover this future work, the amount to be agreed upon with the City.

The future shared path has been taken into account in our plans. The profile has been designed to account for the path as it crosses the entrance to the development. The land adjacent to the Peverly Hill Road frontage is not being developed in a way to interfere with the future path. We have designed our road to take into account the work that is to be done for the path. The future shared use path overlaid onto the entrance of this project is shown on an exhibit included in this submittal.

- 2) Sewer Extension Permit and Alteration of Terrain Permits must be approved by DES
Noted.
- 3) Please provide an additional roadway and ancillary use easement to the City on both sides of the proposed 40' ROW in case additional room is needed in the future for road or sidewalk repairs or utility expansions.
Per our discussion at the July TAC meeting, a 3' easement on either side of the ROW was added to the easement plan.
- 4) The design of the block retaining wall system to be used from roughly station 1+25 to 3+10 shall be approved by the City prior to installation. The wall is to be permitted by the building inspector's office and needs to be inspected by the City during construction. The PE of record will also need to sign off that the wall is constructed properly before the City will accept the final product.
Noted. This will be provided prior to the commencement of work on the retaining wall. Note 18 was added to the Grading Notes on the Notes and Legend Sheet (Sheet C-01).
- 5) Please add a vegetated buffer of at least 10' along the cemetery edge.
This was added and is shown on the Condominium Site Plan (S-06).
- 6) The sewer main should not be located within 5' from the back edge of the retaining wall.
The Sewer was moved to the North side of the road and the Drainage was kept on the South side of the road near the retaining wall to avoid additional crossing.
- 7) The lighting standards should have breakaway 'transformer' type bases.
This Detail was added to the Lighting Details.
- 8) Where is the grass paver path?
This is shown on the Site Layout Sheets and is colored green (Sheets C03, C-05 and C-07).
- 9) Light pole base detail shown is not appropriate. Use Eversource standard details.
The Lighting Detail was revised. We are waiting on Eversource concrete base detail to add to our plans.
- 10) All catch basins in the roadway shall have poly liners.

This note has been added to the General Notes sheet as well as a detail has been added to our details. (Sheet C-01).

- 11) All castings, manholes, pipe and methods of installation shall meet City standards.
Note 6 was added to the General Notes on the Notes and Legend Sheet (C-01).
- 12) All water services shall be 1" minimum size. All curb boxes shall be per City standard, not 'buffalo' as currently depicted. Only 2" services require tapping saddles please fix detail.
This Detail has been revised.
- 13) Gravity sewer service and main details should be changed to State standard details.
The Gravity Sewer Details are the standard details used when submitting to the State. The E-One details that are included have also been used on projects approved by the NHDES Wastewater Engineering Bureau.
- 14) Please provide a response to the TEC peer review memo dated June 22, 2021.
This was addressed at the last meeting. An additional memo was received on July 20, 2021. The only outstanding issue is the inclusion of the future shared use path along Peverly Road. Note one discusses our approach to this.
- 15) The final plan set will need to have a final review by TEC prior to Planning Board review.
See Note 14 above.
- 16) ConCom review of this plan is required prior to PB review per Section 10.727.22 of the Zoning Ordinance
The project is going before the ConCom meeting in August. Their review and input will be sought prior to filing with the Planning Board.
- 17) A conventional subdivision plan should be provided as part of the submission to PB in order for the PB to determine compliance with Section 10.727.312
See Note 16 above.
- 18) Please provide a draft development agreement as required by the zoning ordinance. A template is available from the Planning Department.
A draft developer's agreement is nearly complete and will be filed prior to the August TAC meeting.
- 19) Has the recommendation from Weston & Sampson's review been incorporated into the plan set?
Water line has been revised to connect to the 8" water line on the westerly side of Peverly Road, per their recommendations. Their report indicated they feel there is adequate supply to meet the demands of this project.
- 20) Please review for consistency with the City's Peverly Hill Road improvement project and show how the project will tie into the proposed improvements.
An exhibit has been included in this project showing the Peverly Hill Road improvement project overlaid onto the entrance to this development.

- 21) Public access easements shall be required for the proposed ped/bike path connection.**
This shall be a public road and an easement has been provided for the parking for the bike path and the use of the bike path.
- 22) Please provide construction details of the proposed ped/bike path connection.**
Details for the gravel portion of the path are included (Sheet C-68). The path from the end of the maintenance road to the bike path will travel along an existing access road that runs along the northern edge of the property as shown on the Easement Plan, (Sheet S-07).
- 23) The site drainage is still being reviewed by City staff. It would be helpful if the applicant could provide detailed written confirmation that the application meets all of the requirements of Article 7 of the Site Plan Review regulations as these relate to stormwater management, with particular emphasis on sections 7.4 and 7.6.**
The post-development flows all meet or decrease the pre-development stormwater flows. A statement detailing this will be provided with the Planning Board submittal. Per our discussion at the July TAC meeting, an additional access was added through the pocket park to the forebay of Bioretention Area #1.
- 24) The proposed gravel maintenance access road to the stormwater system should provide a turn around for vehicles.**
Turn arounds have been added. See the Site Layout Sheets (Sheets C03, C-05, C-07 and C-11).
- 25) The addition of the trail and open space is a community benefit from this project. Is there maintenance longterm/shortterm anticipated for the trail from the site to the former railroad right-of-way?**
The maintenance of the trail will be the responsibility of the holder of the Conservation Easement. The stewardship of this Conservation Easement is still to be worked out by the developer.
- 26) Please provide a statement listing the green building components planned for this project.**
A paragraph has been included in the cover sheet as well as a statement from GDS Associates on the efficiency of these homes.
- 27) The termination of the proposed grass paver should provide for a turnaround of maintenance vehicles.**
A turn around has been provided for the maintenance easements. See the Site Layout Sheets (Sheets C03, C-05, C-07 and C-11).
- 28) The proposed landscaping along the cemetery buffer should be staggered within the required setback zone.**
The landscaping has been revised. Also, per our discussion at the meeting, existing trees along the cemetery were located and shown on the plan. We feel the majority of the trees near the existing wall will be able to be save and used in the proposed 10' wide vegetated buffer. See Easement Plans and Landscape Plans (S-07 through S-08 and C-45 through C-49).

29) The sidewalk should be concrete.

Noted, See the Site Layout Sheets (Sheets C03 through C-10) and the Roadway Typical Section Detail (Sheet C-69).

30) One of the proposed 4 parking spaces at the pocket park/ trailhead should be accessible given public access is encouraged.

A Handicap parking space has been added (Sheet C-07).

Response to additional comments from July 6, 2021 TAC Meeting

31) Widen 22' road at fire hydrants.

Pat Howe, Deputy Fire Chief, requested that where fire hydrants were proposed in the 22' roadway section, the road be widened an additional 4'. Per our discussion, a 4' section of roadway was widened between abutting driveways where the fire hydrants were located. Pavers were proposed at these widenings. See the Site Layout Sheets (Sheets C03 through C-10).

32) Fire Hydrants to be located at high points.

The location of the fire hydrants were revised to be located at high points. An additional fire hydrant was located where the spacing of the hydrants was over 500'.

33) Easement Plans to be provided.

Easement Plans were added to the plan set (Sheets S-07 through S-08).

34) Location of Utilities

Per discussion with DPW, electric and gas lines were relocated under the sidewalks and sewer was moved under the north lane. The water main was located in the lane opposite of the Sewer.

35) Include a vegetated buffer along the cemetery.

See Easement Plans and Landscape Plans (S-07 through S-08 and C-45 through C-49).

We trust that the above responses satisfy the concerns expressed in the August meeting at the Technical Advisory Committee. We look forward to discussing these at the next TAC meeting.

Respectfully,
TFMoran, Inc.



Jack McTigue, PE
Senior Project Manager

JJM/ sdr

cc: Rick Green, Michael Green and Jenna Green



Bruce A. Bennett, Principal
Manager Building Energy Services
bruce.bennett@gdsassociates.com
direct 603-391-.0052
cell 603-860-0968

Green & Co
Attn: Michael Green
11 Lafayette Road, P.O. Box 1297
North Hampton, NH 03862

RE: 83 Peaverly Hill Rd, Portsmouth, New Hampshire

Hello Michael:

Thank you for your continued commitment to NH Saves. We look forward to working with you on the energy ratings for the home being constructed at 83 Peaverly Hill Rd. Our team here at GDS is happy to be working with Green and Company on another NH Saves project.

For the benefit of others not familiar with the NH Saves and the Home Energy Rating System index (HERS index) and what it means for homes receiving the label, these units are modeled and analyzed to estimate annual energy consumption but are more than just energy efficient. The program also includes an element of building durability and healthy building environments. The process includes energy modeling and performance-based testing as well as on-site inspections to confirm the modeling inputs, to identify opportunities to improve insulation and air-sealing prior to drywall, duct leakage testing, and blower door testing.

These homes are by design at least 30% more efficient than code built home (IECC 2015) and include high efficient HVAC and water heating equipment, insulation installed to attain an installation grading of grade, excellent window efficiencies (u-value ≤ 0.30) and high efficacy lighting and ENERGY STAR appliances.

Because NH Saves encourages tight, well insulated buildings, the program does not want to create any issues with indoor air quality. Therefore, the program requires some means of whole-house ventilation (compliant with ASHRAE Standard 62.2) and includes a moisture management checklist. All of this adds a non-energy benefit to constructing a home that is energy efficiency, healthy and durable.

Our plan is to utilize the NHSaves program (sponsored by Eversource, Unutil, Liberty and NHEC) to provide support for modeling and inspections.

Once we receive a set of plans we can begin the take-off and energy modeling. In the meantime, as always, please contact me with any questions or design changes that may impact the HERS index.

Thank you,



Bruce Bennett, Principal

GDS-Home Energy Ratings of New England is a RESNET-accredited Home Energy Rating Provider and registered ENERGY STAR Partner



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Juliet T.H. Walker, AICP
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City Hall, 3rd Floor
1 Junkins Avenue
Portsmouth, NH 03801

July 20, 2021

Ref. T1118

Re: Peverly Hill Road Residential Development
Transportation Peer Review #2
Response to Comments Review

Dear Ms. Walker:

On behalf of the City of Portsmouth, TEC, Inc. (TEC) has reviewed additional documents as part of the transportation engineering peer review of a proposed residential development located at 83 Peverly Hill Road in Portsmouth, NH.

The following additional documents were received as part of our review:

- *Response to Comments Memorandum*, prepared by Stephen G. Pernaw & Co., Inc, dated July 3, 2021
- *Parson Woods Condominium Site Development Plans*, prepared by TFM, revision dated June 23, 2021

Comments 1 thru 14 have been retained from the most recent TEC review letter dated June 22, 2021, originally issued as part of the project review. The Applicant's response to comments is shown as **bold**; TEC responses are shown as *italic*.

TEC completed a review of these documents for the City of Portsmouth, and the following provides a summary of the comments that were compiled during our review:

1. In order to be consistent with the Traffic Evaluation, Peverly Hill Road is designated as a north/south roadway within this letter.

SGP Response: Comment acknowledged.

TEC: No response required.

2. The Traffic Evaluation presents a study area including one intersection of the site roadway with Peverly Hill Road. TEC concurs with the scope of the study area and does not find that additional intersections are warranted based upon the documented trip generation levels.

SGP Response: Comment acknowledged.

TEC: No response required.

3. Traffic counts utilized within the Traffic Evaluation were conducted along Peverly Hill Road in September 2020, when vehicular traffic volumes were impacted by the Covid-19 pandemic. The 2020 volumes were compared with June 2019 traffic volumes recorded by NHDOT in the same location. In order to project future traffic volumes along Peverly Hill Road for the design year of 2032, the September 2020 volumes were increased by a seasonal adjustment factor, a background growth rate, and a Covid-19 adjustment factor. TEC concurs with this methodology and the use of a 2032 horizon year.

The weekday morning and evening peak commuter hours were studied to determine the project's overall effect on the adjacent roadway system. TEC concurs that these time periods are generally appropriate to study the impact for a residential development.

SGP Response: Comment acknowledged.

TEC: No response required.

4. The Traffic Evaluation uses data published in the industry standard Institute of Transportation Engineers (ITE) publication, *Trip Generation, 10th Edition* to estimate the traffic generated by the proposed development. The Traffic Evaluation uses a combination of data found under Land Use Code (LUC) 221 – Multi-Family Housing (Mid-Rise) and LUC 210 – Single Family Detached Housing to project future traffic volumes associated with the proposed residential units. The information provided in the TAC Submission, dated April 19, 2021, illustrates the units as three-bedroom detached dwellings averaging 2,400 square feet of living space. No age restriction is proposed for the development. The units appear to be intended to be sold as condominium units, however, the traffic generation characteristics may more closely resemble single family dwellings due to the size, separation, and number of bedrooms in each unit.

The Traffic Evaluation projects 29 vehicle trips during the weekday morning peak hour and 42 vehicle trips during the weekday evening peak hour using the combined methodology. TEC recommends the use of only LUC 210 - Single Family Detached Housing to reflect the trip generation characteristics of the proposed residential units more accurately. For the 56 proposed units as shown on the Site Plan, LUC 210 projects 41 vehicle trips during the weekday morning peak hour and 55 vehicle trips during the weekday evening peak hour. TEC understands that the increase likely will not change the impact of the site on the adjacent roadway system. However, the Applicant should discuss whether these additional trips can be accommodated safely and efficiently at the site roadway intersection onto Peverly Hill Road.

SGP Response: The trip generation estimates contained in the traffic evaluation are intended to reflect the type of housing that is proposed, and the fact that Green & Company's experience with similar development projects is

that these types of units are occupied by approximately two persons per unit. We believe that using LUC 210 only, as recommended by TEC, would not accurately reflect the fact that these are condominium units with approximately two persons per unit. It should be noted that the ITE LUC 210 trip rates reflect approximately 3.5 persons per unit, well above the 2.0 persons per unit that Green & Company anticipates. Nevertheless, supplemental traffic projections utilizing LUC 210, as recommended by TEC, show that during the worst-case weekday PM peak hour the projected number of southbound right turn arrivals would increase from 22 to 29 vehicle over the course of the one-hour period. This particular traffic movement is not capacity-constrained as it is a Rank 1 Movement that does not encounter a conflicting traffic stream, nor does it have a Level of Service associated with it. The remaining traffic movements at this intersection would increase by 1-3 vehicles during the PM peak hour using LUC 210, which is an inconsequential amount in terms of traffic operations, capacity, and safety.

TEC: TEC concurs with this clarification. No further response necessary.

5. The vehicular traffic generated by the proposed project was distributed onto the adjacent roadway system based upon available Journey-to-Work data published by the US Census Bureau for persons residing in the City of Portsmouth. TEC notes that there are significant employment opportunities within the City of Portsmouth along the Route 1 corridor to the south of the site, which can be accessed directly via Peverly Hill Road. The Applicant should discuss if these employment opportunities were considered when preparing the vehicular traffic distribution, as only 22% of the site generated traffic is projected to travel to/from this direction. The Applicant should review the site distributions and revise the analyses at the intersection of the site roadway with Peverly Hill Road, as necessary.

SGP Response: While it was recognized that there are significant employment opportunities along US1 south of the site, it important to recognize that there are even more employment opportunities at Pease International Tradeport and in downtown Portsmouth. As a sensitivity analysis, doubling of the site traffic to/from the south would add only +6 left-turn arrivals and +3 right-turn departures to the subject intersection during the worst-case weekday PM peak hour period. Again, dealing with changes of this order of magnitude will not significantly alter the prevailing traffic operations and safety aspects at the subject intersection.

TEC: TEC concurs with the assessment of the site generated traffic distribution. No further response necessary.

6. TEC generally concurs with the use of the Highway Capacity Manual 2010 methodology as used within the Synchro version 10 software.

SGP Response: Comment acknowledged.

TEC: No response required.

7. The Traffic Evaluation indicates that the site traffic is expected to increase the two-way traffic volume along Peverly Hill Road by 2% north of the site and 1% south of the site in the 2032 future conditions, which is unlikely to be noticeable. The intersection of the site roadway with Peverly Hill Road is projected to operate with available capacity, minimal queues, and typical delays for intersecting side streets under stop control. No off-site mitigation is proposed to be implemented.

SGP Response: We concur; a standard three-leg T-intersection with one general-purpose travel lane on each approach is appropriate for the size and type of development that is proposed at this location.

TEC: No response required.

8. The comments as noted above may result in modifications to the results of the capacity and queue analysis and therefore TEC reserves the right to provide additional comments and improvement recommendations upon completion of the peer review comment responses.

SGP Response: Our responses to Comments 4 & 5 noted above do not warrant re-analysis given the magnitudes involved.

TEC: TEC concurs. No response required.

9. The site roadway approach to its intersection with Peverly Hill Road is shown with one exiting lane to accommodate left turning and right turning vehicles. Provision of two lanes on this approach may not significantly improve the operation of this approach and maintaining a minimum crossing distance for pedestrians is preferred.

SGP Response: We concur.

TEC: No response required.

10. Peverly Hill Road provides one travel lane in each direction along most of its length. The northbound approach of Peverly Hill Road widens at its intersection with Middle Road, just to the north of the site, to provide an exclusive left turn lane and a shared left/right turn lane. The taper area for this widening occurs along the site frontage. No dedicated left turn lane is required or provided for northbound left turns into the site roadway. The Applicant should discuss whether any conflicts are anticipated between northbound left turns accessing the site roadway and northbound vehicles wishing to enter the exclusive left turn lane at Middle Road.

SGP Response: As is the case when approaching any intersection while traveling along a major street, there is always the potential need to temporarily slow or brake for another vehicle that is decelerating with its turn signal flashing. In this particular case, only six vehicles are expected to turn left into the site during the weekday PM peak hour (one vehicle every 10-minutes, on average), thus the potential conflict exists, but is totally manageable.

Decelerating northbound vehicles on this section of Peeverly Hill Road is a frequent occurrence given the proximity of the nearby traffic signal at NH33.

TEC: TEC concurs with this clarification. No further response necessary.

11. Provision of a multi-use path along the west side of Peeverly Hill Road, extending between Middle Road and West Road is under design by the City of Portsmouth to increase safety for pedestrians and bicyclists and provide infrastructure to accommodate alternative modes of transportation between residential areas and commercial areas along Route 1. The multi-use path will directly benefit the residents of the proposed development by providing the opportunity for multi-modal travel along Peeverly Hill Road as well as safe and uninterrupted access to the Portsmouth Plains Playground and recreational area at the intersection of Peeverly Hill Road with Middle Road. The Applicant should provide any necessary easements identified by the City in order to facilitate the construction of this path. The site roadway approach at its intersection with Peeverly Hill Road should be designed and constructed in anticipation of the multi-use path by including a crosswalk with ADA-compliant curb ramps across the site roadway approach. The City should consider requiring the Applicant to construct the multi-use path along the site frontage and extending north 500 feet toward Middle Road in accordance with the City's design plans to provide a direct connect between the residential development and the recreation area and pedestrian facilities along Middle Road.

SGP Response: This comment is best addressed by Green & Company and TFM, Inc.

TEC: Further discussion between the City and the Applicant on this recommendation is recommended.

12. Sidewalk is provided along one side of the site roadway throughout the site, creating a pedestrian network. Further, connection to the planned Seacoast Greenway Rail Trail is proposed, along with a pocket park and four parking spaces for visitor access. The Applicant should discuss the volume of vehicular traffic that may access the site daily and the anticipated volume of pedestrian and bicycle traffic that are anticipated to use the site roadway between the Rail Trail and the proposed multi-use path along Peeverly Hill Road.

SGP Response: We are not familiar the details of the Rail Trail or proposed multi-use path, and will defer to others.

TEC: The proposed multi-use path has been provided between Peeverly Hill Road and the Seacoast Greenway Rail Trail access within the site. The proposed crossings of Public Road A as shown in the June 23, 2021 Site Plan have been designed to be safely navigated by pedestrians and bicyclists. No further response required.

13. The site roadway has been designed in accordance with the City of Portsmouth Complete Streets Design Guidelines for a Neighborhood Slow Street. The roadway is 26 feet wide, which allows for parking along one side of the roadway and two 9-foot travel lanes. Sidewalk along one side of the roadway creates a pedestrian network facility. Bicycles will be accommodated within the roadway. However, in order to experience the benefit of

a Complete Streets design along the site roadway, residents should be encouraged to park along at least one side of the roadway.

Should residents not park on-street, the traffic calming nature of the roadway will be reduced, as the entire 26-foot width would be useable by vehicle traffic. While the circular curvature of the roadway will aid in reducing vehicle speeds, alternative forms of traffic calming, such as raising the proposed crosswalks or the addition of speed humps, can be considered along the straight portion of the roadway to keep both resident and visitor vehicular speeds low.

SGP Response: This comment has been previously addressed by utilizing a combination of 22-foot and 26-foot pavement widths within the development, along with a curvilinear roadway alignment that includes several horizontal curves and reverse curves.

TEC: The June 23, 2021 Site Plan shows reduced roadway widths of 22 feet and additional curvature within the roadway alignment, which will aid in maintaining low vehicle speeds within the development. A raised crosswalk is proposed at the multi-use path crossing to the Seacoast Greenway Rail Trail and pocket park for the safety of residents and visitors. Comment addressed. No further response required.

14. The Pernaw memorandum discussing traffic calming opportunities, dated April 5, 2021, recommends additional signage around the proposed crosswalk located at the internal T-intersection to alert vehicles to potential crossing pedestrians. TEC concurs with these recommendations. Similar additional signage is recommended for the proposed crosswalk across the site roadway at the pocket park/Rail Trail connection.

SGP Response: Comment acknowledged; this comment is best addressed by TFM. Inc.

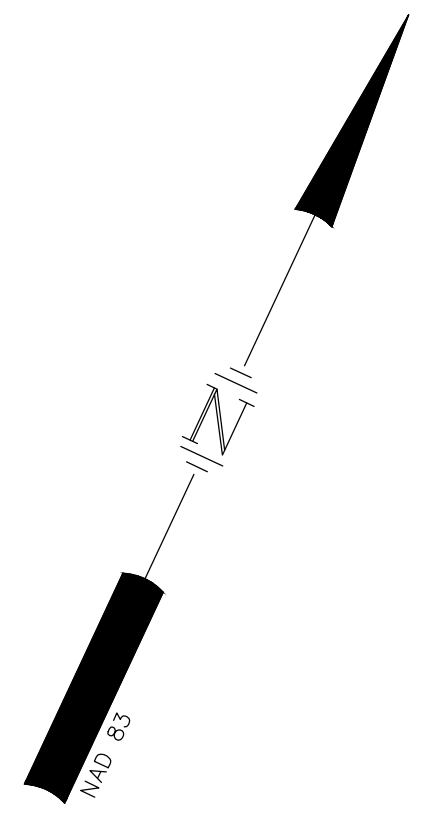
TEC: Additional signage has been added at the raised crosswalk for the multi-use path crossing to the Seacoast Greenway Rail Trail and pocket park. The eastern crosswalk for the multi-use path has been relocated to the internal T-intersection of Public Road A, which is a more visible and appropriate location for pedestrians to cross. Comment addressed. No further response required.

Please do not hesitate to contact me directly if you have any questions concerning this peer review at 978-794-1792. Thank you for your consideration.

Sincerely,
TEC, Inc.
"The Engineering Corporation"



Elizabeth Oldman, PE
Director of Transportation Planning



SEE SHEET - C-05

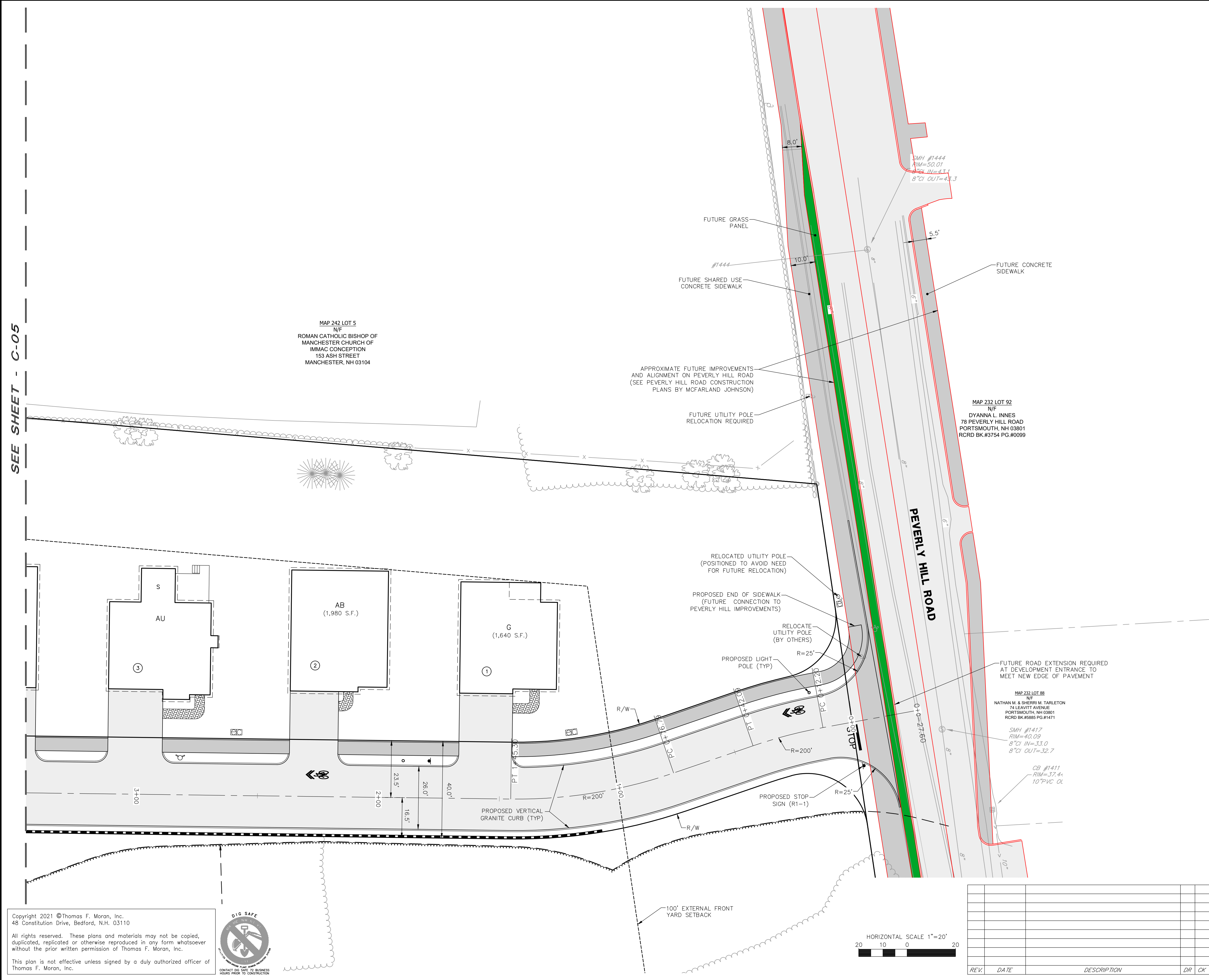
MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/F
DYANNA L INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK.#3754 PG.#0099

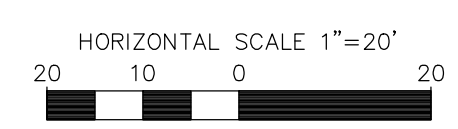
MAP 232 LOT 88
N/F
NATHAN M & SHERRI M TARLETON
74 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK.#0885 PG.#1471

SMH #1417
RIM=40.09
8"CI IN=33.0
8"CI OUT=32.7

CB #1411
RIM=37.4
10" PVC OL



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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV	DATE	DESCRIPTION	DR	CK

SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
PEVERLY HILL ROAD FUTURE IMPROVEMENT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11'X17')
SCALE: 1"=20' (22'X34') **APRIL 19, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
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47388.11	DR	JSM	FB	-
	CK	JJM	CADFILE	PEVERLY IMPROVEMENTS

EXHIBIT

Jul 21, 2021 - 2:45pm
F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Portsmouth\Design\Production Drawings\47388-11_Peverly Improvements.dwg



MAP 242 LOT 4

PUD SITE DATA

DIMENSIONAL REQUIREMENTS (PROPOSED PUD USE)		PROVIDED:
MINIMUM LOT DIMENSIONS:	10 AC	100± AC
MINIMUM LOT SIZE:	100 FT OR (2) 50'	665± FT
FRONTAGE:	74 RESIDENCES	56 RESIDENCES
BASE RESIDENTIAL DENSITY:		
MINIMUM INTERNAL SETBACKS:		
FRONT	20 FT	20 FT
SIDE	25 FT	TBD
REAR	25 FT	25 FT
BETWEEN BUILDINGS	30 FT	30 FT
MINIMUM OPEN SPACE:	25%	83%
MINIMUM PERIMETER BUFFER:		
FRONT	100 FT	>100 FT
SIDE	50 FT	>50 FT
REAR	50 FT	>50 FT
BASE RESIDENTIAL DENSITY CALCULATIONS:		
REQUIRED BASE RESIDENTIAL DENSITY:		
SRA	DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPES = 3,938,561 SF - 1,684,960 SF - 156,927 SF = 2,096,674 SF	
	MINIMUM LOT AREA PER DWELLING = 1 AC = 43,560 SF	
SRL	DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPES = 3,938,561 SF - 1,684,960 SF - 1,217 SF = 2,252,384 SF	
	MINIMUM LOT AREA PER DWELLING = 15,000 SF	
TOTAL REQUIRED = DEVELOPABLE AREA / MINIMUM LOT AREA PER DWELLING = 48.1 RESIDENCES		
(SRA) 2,096,674 SF / 43,560 SF = 48.1 RESIDENCES		
(SRL) 2,252,384 SF / 15,000 SF = 150.8 RESIDENCES		
TOTAL = 74 RESIDENCES		

ROADWAY LENGTH

TOTAL ROADWAY	= 2,945 FT
TOTAL DEAD END ROADWAY	= 2,945 FT

HOUSE LEGEND

LETTER	HOUSE TYPE
AB	ABBOTT
AU	AURELIA
B	BALMORAL
C	CARTER
CS	CHARLES
CS	OSWELL
SC	SINCLAIR
SP	SWEET CHEERY PIE
S	SUNROOM

NO STRUCTURES PERMITTED IN EXTERNAL YARD SETBACKS. EXTERNAL YARDS SHALL BE LANDSCAPED AND SHALL NOT BE USED FOR VEHICULAR PARKING.

HORIZONTAL SCALE 1"=40'



SITE DEVELOPMENT PLAN

TAX MAP 242 LOT 4
OVERALL SITE LAYOUT COLOR PLAN
PEVERLY HILL ROAD CONDOMINIUMS
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT

SCALE: 1" = 40' (30" X 48") MAY 4, 2021

Seacoast Division
TFM
 Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Planners

170 Commerce Bldg, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0912
 www.tfm.com

47388.11
 C-1

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J:\2021_05_11_154am - Peverly Hill Rd - Portsmouth\7388-11 Green and Co - 83 Peverly Hill Rd - Condo Project\Design\Concepts\7388-11_PUD_Color_TAC_3rd_Submittal.dwg
 TFM:SP:KJ:2388 - Peverly Hill Rd - Portsmouth\7388-11 Green and Co - 83 Peverly Hill Rd - Condo Project\Design\Concepts\7388-11_PUD_Color_TAC_3rd_Submittal.dwg

ABUTTERS ACROSS PEVERLY HILL ROAD:

MAP 232 LOT 92
N/F
DYANNA L. INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK #3754 PG #0059

MAP 232 LOT 88
N/F
NATHAN M. & SHERRI M. TARLETON
74 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK #5885 PG #1471

MAP 232 LOT 93
N/F
KENNETH T. BLACK
82 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK #3743 PG #1942

MAP 232 LOT 87
N/F
SUSAN L. DIXON
68 WIBIRD STREET
PORTSMOUTH, NH 03801
RCRD BK #2504 PG #0028

MAP 243 LOT 50
N/F
DOUGLAS E. DOOLITTLE TRUST - 2015
138 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK #5820 PG #2121

MAP 243 LOT 51
N/F
AJEI REAL ESTATE LLC
163 SPINNEY ROAD
PORTSMOUTH, NH 03801
RCRD BK #5887 PG #0463

MAP 243 LOT 52
N/F
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH, NH 03802
RCRD BK #2042 PG #0498

MAP 165 LOT 14
N/F
& MAINE CORPORATION
RSE PARK HIGH STREET
BILLERICA, MA 01862

MAP 242 LOT 1
N/F
STATE OF NEW HAMPSHIRE FISH & GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK #5248 PG #0739

MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF MANCHESTER CHURCH OF IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 242 LOT 3
N/F
NEW HOPE BAPTIST CHURCH
PO BOX 1473
PORTSMOUTH, NH 03802
RCRD BK #2269 PG #0663

MAP 255 LOT 8
N/F
MERRIMAC VALLEY HOMES, INC.
1794 BRIDGE STREET, UNIT 6
DRACUT, MA 01826
RCRD BK #5881 PG #0981

MAP 255 LOT 5
N/F
THOMAS E. & MARYBETH B. REIS AND JAMES B. & MEGAN C. REIS
305 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK #5560 PG #2148

MATCHLINE - SEE SHEET C-02

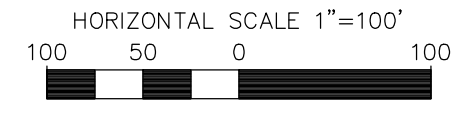
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CONVENTIONAL SUBDIVISION

DIMENSIONAL REQUIREMENTS (PROPOSED PUD USE)

	SRA REQUIRED:	SRA PROVIDED:	SRB REQUIRED:	SRB PROVIDED:
MINIMUM LOT DIMENSIONS:				
MINIMUM LOT SIZE	1 AC	1± AC	15,000 S.F.	15,000± S.F.
FRONTAGE	150 FT	150± FT	100 FT	100± FT
BASE RESIDENTIAL DENSITY:	48 RESIDENCES	38 RESIDENCES	25 RESIDENCES	13 RESIDENCES
MINIMUM INTERNAL SETBACKS:				
FRONT	30 FT	30 FT	30 FT	30 FT
SIDE	20 FT	20 FT	10 FT	10 FT
REAR	40 FT	40 FT	30 FT	30 FT
BETWEEN BUILDINGS	40 FT	40 FT	20 FT	20 FT
MINIMUM OPEN SPACE	50%	TBD	40%	TBD

BASE RESIDENTIAL DENSITY CALCULATIONS

REQUIRED BASE RESIDENTIAL DENSITY:

SRA: DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPES
= 3,938,561 SF - 1,684,960 SF - 156,927 SF
= 2,096,674 SF
MINIMUM LOT AREA PER DWELLING = 1 AC = 43,560 SF

SRB: DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPES
= 665,948 SF - 286,452 SF - 1,217 SF
MINIMUM LOT AREA PER DWELLING = 15,000 SF

TOTAL REQUIRED = DEVELOPABLE AREA / MINIMUM LOT AREA PER DWELLING
(SRA) 2,096,674 SF / 43,560 SF = 48.1 RESIDENCES
(SRB) 378,279 SF / 15,000 SF = 25.2 RESIDENCES
TOTAL = 74 RESIDENCES

ROADWAY LENGTH

TOTAL ROADWAY = 7,332 FT
TOTAL DEAD END ROADWAY = 4,376 FT

REV.	DATE	DESCRIPTION	DR	CK

CONCEPTUAL DESIGN

TAX MAP 242 LOT 4
CONCEPT - CONVENTIONAL SUBDIVISION PLAN
PROPOSED OPEN SPACE RESIDENTIAL PUD
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT

1"=200' (11X17")
SCALE: 1"=100' (22"X34") **JULY 19, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE: 47388.11
DR: JSM
CK: JUM
FB: CADRELL
11 CONCEPT_CONVENTIONAL SUBDIVISION
C-01

CONVENTIONAL SUBDIVISION

DIMENSIONAL REQUIREMENTS (PROPOSED PUD USE)

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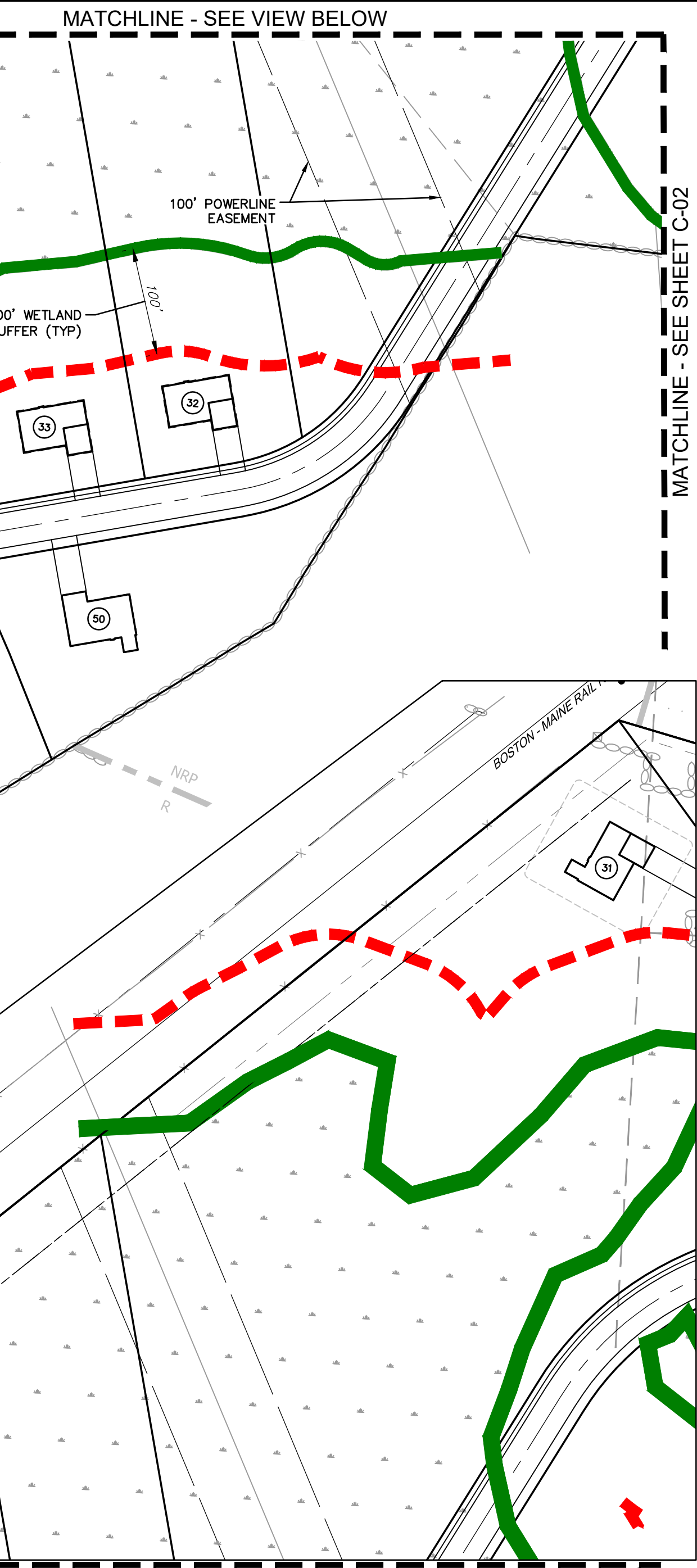
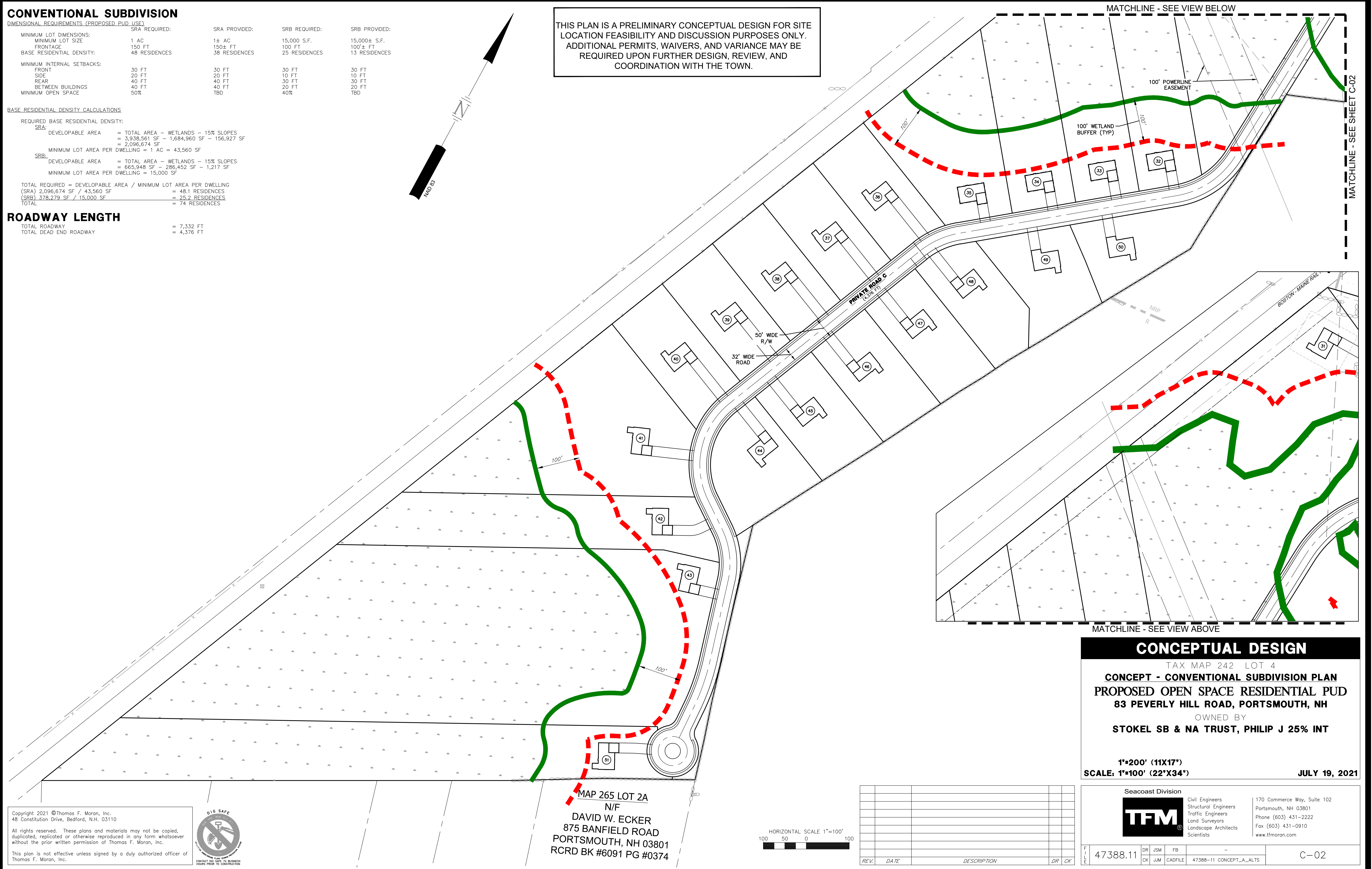
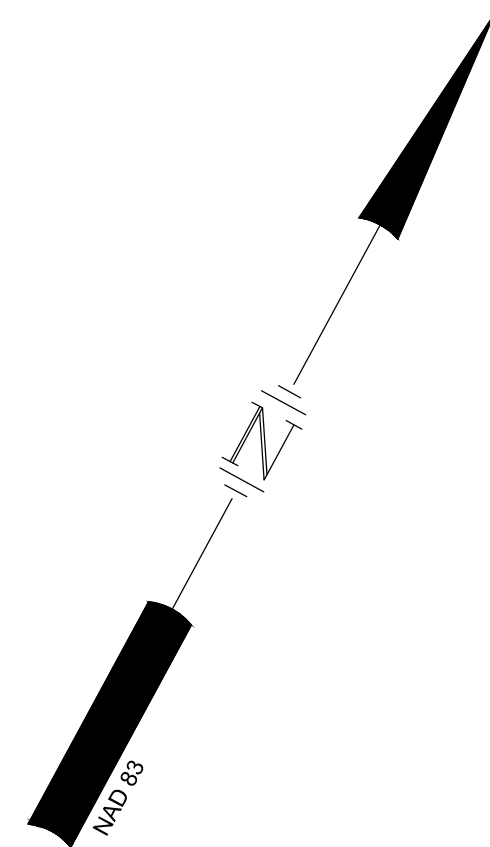
TOTAL = 74 RESIDENCES

ROADWAY LENGTH

TOTAL ROADWAY = 7,332 FT

TOTAL DEAD END ROADWAY = 4,376 FT

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CONCEPTUAL DESIGN

TAX MAP 242 LOT 4

CONCEPT - CONVENTIONAL SUBDIVISION PLAN

PROPOSED OPEN SPACE RESIDENTIAL PUD

83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

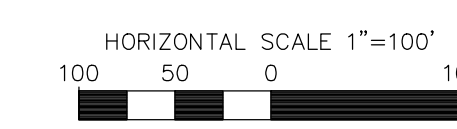
STOKEL SB & NA TRUST, PHILIP J 25% INT

1"=200' (11X17")

SCALE: 1"=100' (22"X34")

JULY 19, 2021

MAP 265 LOT 2A
 N/F
 DAVID W. ECKER
 875 BANFIELD ROAD
 PORTSMOUTH, NH 03801
 RCRD BK #6091 PG #0374



REV	DATE	DESCRIPTION	DR	CK

Seacoast Division

TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

47388.11 DR JSM FB
 CK JUM CADFILE 47388-11 CONCEPT_ALTS

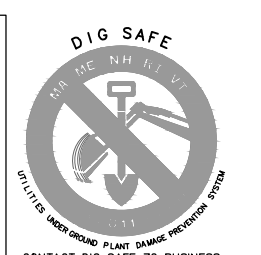
C-02

Jul 19, 2021 - 8:42am
 F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Portsmouth\47388-11 Concept\A_Altis.dwg

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GENERAL INFORMATION

OWNER
 MAP 242 LOT 4
 STOKEL SB & NA TRUST 37.5% INT,
 PHILIP J 25% INT
 83 PEVERLY HILL RD
 PORTSMOUTH, NH 03801

APPLICANT/PREPARED FOR

GREEN AND COMPANY REAL ESTATE
 11 LAFAYETTE RD
 NORTH HAMPTON, NH 03868

RESOURCE LIST

PLANNING/ZONING DEPARTMENT
 1 JUNKINS AVE
 PORTSMOUTH, NH 03801
 603-610-7216

BUILDING DEPARTMENT
 1 JUNKINS AVE
 PORTSMOUTH, NH 03801
 603-610-7243
 ROBERT MARSILIA,
 CHIEF BUILDING INSPECTOR

PUBLIC WORKS
 600 PEVERLY HILL RD
 PORTSMOUTH, NH 03801
 603-472-1530
 PETER RICE, PUBLIC WORKS DIRECTOR

POLICE DEPARTMENT
 3 JUNKINS AVE
 PORTSMOUTH, NH 03801
 603-427-1510
 MARK NEWPORT, CHIEF

FIRE DEPARTMENT
 170 COURT ST
 PORTSMOUTH, NH 03801
 603-427-1515
 PATRICK HOWE, CHIEF

ASSOCIATED PROFESSIONALS

ENVIRONMENTAL SERVICES
 GOVE ENVIRONMENTAL SERVICES
 8 CONTINENTAL DRIVE
 BUILDING 2 - UNIT H
 EXETER, NH 03833

SOIL SCIENTIST
 GOVE ENVIRONMENTAL SERVICES
 8 CONTINENTAL DRIVE
 BUILDING 2 - UNIT H
 EXETER, NH 03833
 JIM GOVE, CERTIFIED SOIL SCIENTIST

TRAFFIC ENGINEER
 STEPHEN G. PERNAW & COMPANY, INC.
 PO BOX 1721
 CONCORD, NH 03302
 603-731-8500
 STEPHEN G. PERNAW, PE, PTOE

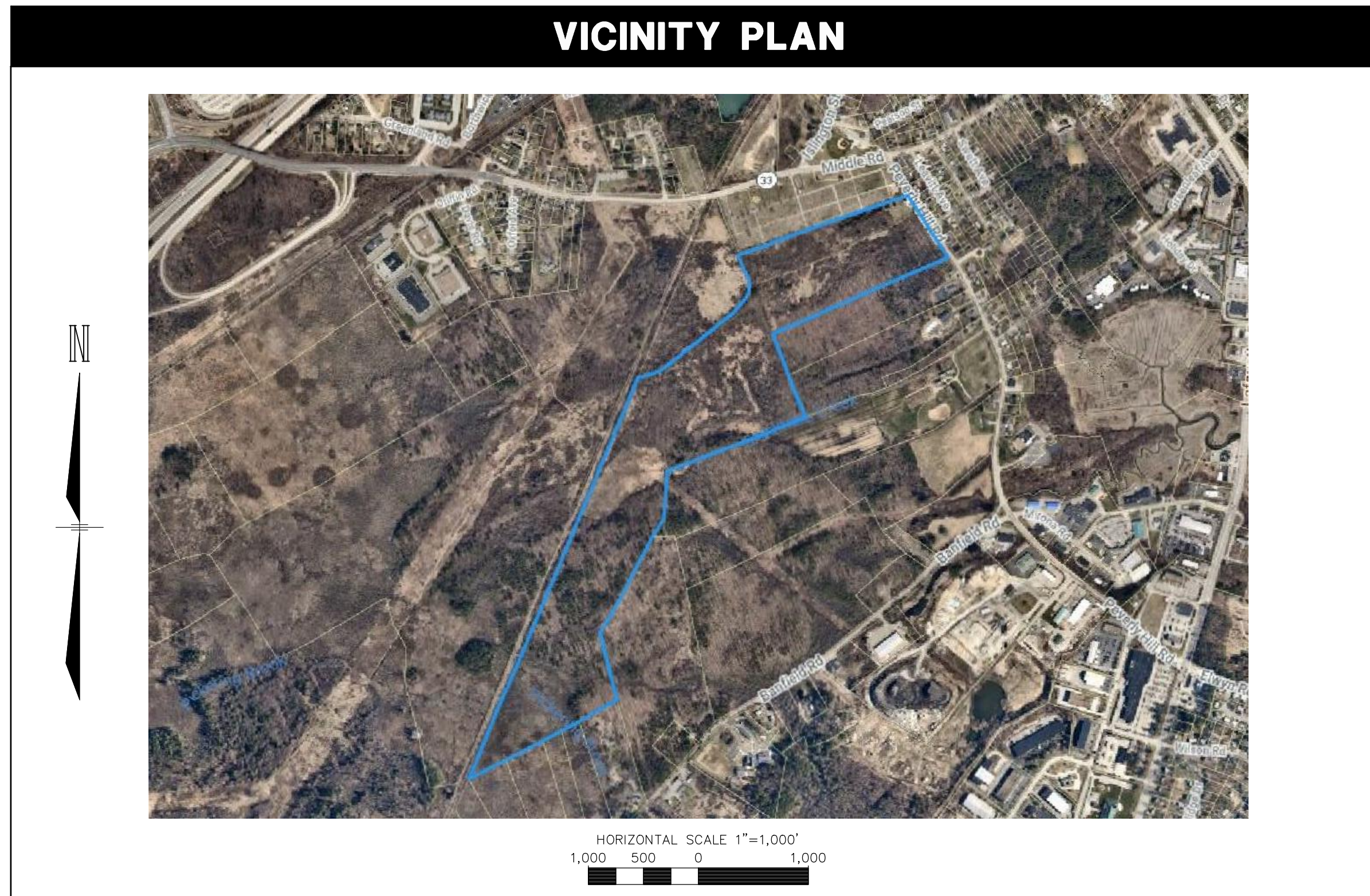
PARSON WOODS CONDOMINIUM

83 PEVERLY HILL ROAD
 PORTSMOUTH, NEW HAMPSHIRE

APRIL 19, 2021

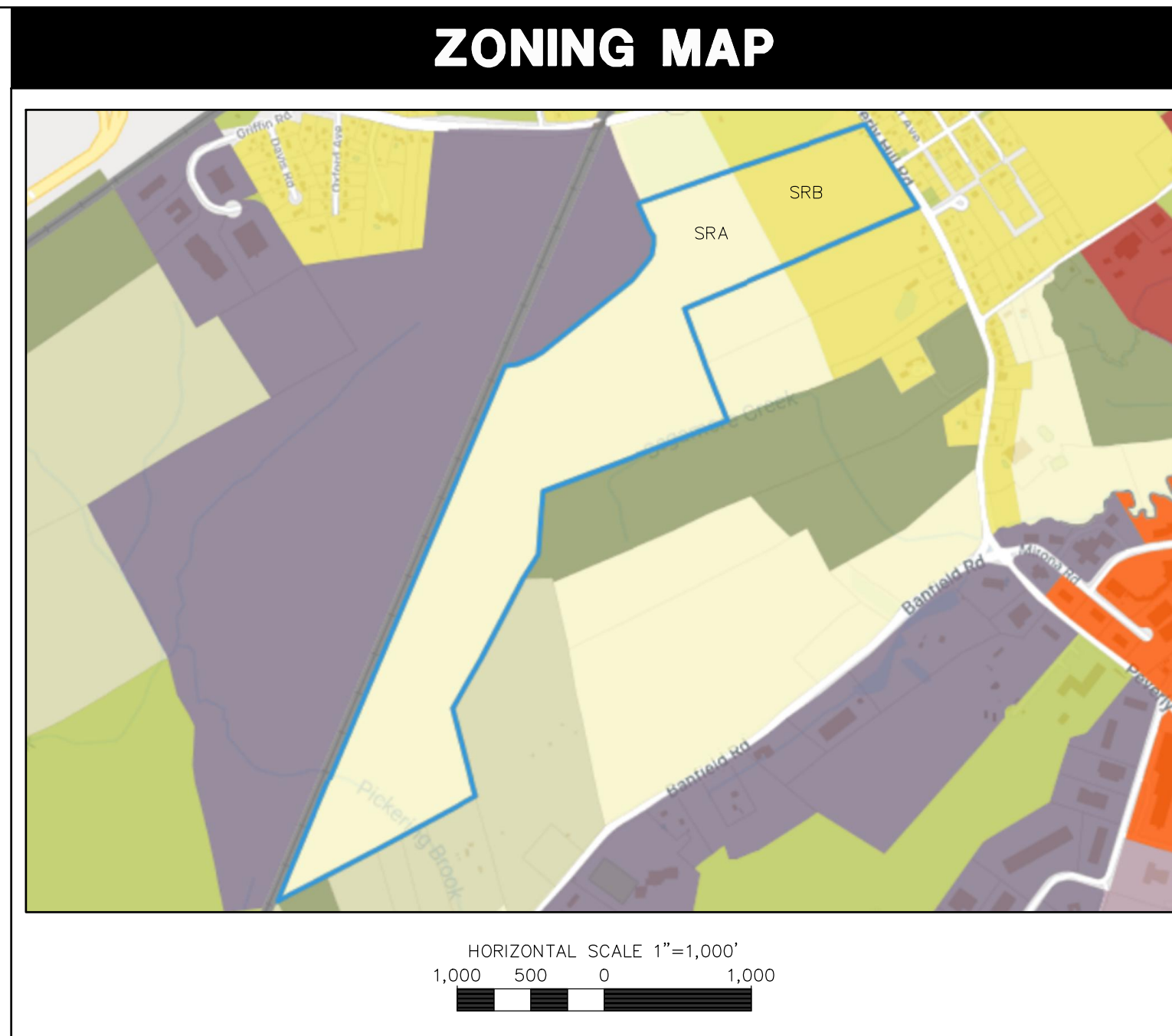
LAST REVISED JULY 21, 2021

VICINITY PLAN



HORIZONTAL SCALE 1"=1,000'
 1,000 500 0 1,000

ZONING MAP



HORIZONTAL SCALE 1"=1,000'
 1,000 500 0 1,000

INDEX OF SHEETS

SHEET	SHEET TITLE	REVISION DATE
C-00	COVER	
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S-02 - S-04	EXISTING CONDITIONS PLAN	
S-05	TEST PIT LOGS	
S-06	CONDOMINIUM SITE PLAN	
S-07	OVERALL EASEMENT PLAN	
S-08	EASEMENT PLAN	
C-02	SITE PREPARATION & DEMOLITION PLAN	
C-03	OVERALL SITE LAYOUT PLAN	
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C-12 - C-15	ROAD-A PLAN & PROFILE	
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C-56 - C-63	LIGHTING PLANS	
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C-67	PEDESTRIAN & BIKE PATH	
C-68 - C-75	DETAILS	

WAIVERS

THE FOLLOWING WAIVERS FROM THE CITY OF PORTSMOUTH SITE REVIEW REGULATIONS ARE BEING REVIEWED BY THE PLANNING BOARD:

1. PORTSMOUTH SUBDIVISION RULES AND REGULATIONS, RESIDENTIAL STREET MINIMUM STANDARDS (PG. 36), REQUIRING 32' OF PAVEMENT WIDTH.
2. PORTSMOUTH SUBDIVISION RULES AND REGULATIONS SECTION VI(3)(B), MINIMUM RIGHT-OF-WAY FOR MAIN THOROUGHFARES SHALL NOT BE LESS THAN 50 FEET.
3. PORTSMOUTH SITE PLAN REVIEW REGULATIONS SECTION 2.5.4.3(c), TRUCK TURNING MINIMUM VEHICLE ALLOWED BEING A WB-50.

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
CITY SITE PLAN REVIEW	PENDING	-	-
OPEN SPACE PLANED UNIT DEVELOPMENT CONDITIONAL USE PERMIT	PENDING	-	-
NHDES ALT. OF TERRAIN	PENDING	-	-
NHDES SEWER CONNECTION PERMIT	PENDING	-	-
EPA SWPPP	PENDING	-	-

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

COVER

PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR

GREEN & COMPANY REAL ESTATE

SCALE: NTS

APRIL 19, 2021

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

FILE #	47388.11	DR	JSM	FB	-	REV	-	SHEET	C-00
CK	JJM	CADFILE	47388-11_COVER						

Jul 21, 2021 - 4:18pm F:\MSC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Portsmouth\Design\Production Drawings\47388-11_Cover.dwg

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

LEGEND

PROPOSED	
[Symbol]	PROPERTY LINE
[Symbol]	ZONING LINE
[Symbol]	EASEMENT
[Symbol]	BASELINE
[Symbol]	FLOODPLAIN
[Symbol]	EDGE OF WATERBODY
[Symbol]	EDGE OF WETLAND
[Symbol]	SETBACK (WETLAND)
[Symbol]	SETBACK (STRUCTURE)
[Symbol]	SETBACK (PARKING)
[Symbol]	SETBACK (LANDSCAPE)
[Symbol]	GRAVEL ROAD
[Symbol]	EDGE OF PAVEMENT
[Symbol]	VERTICAL GRANITE CURB
[Symbol]	SLOPED GRANITE CURB
[Symbol]	CONCRETE CURB
[Symbol]	INTEGRATED CONCRETE CURB
[Symbol]	BUTIMINOUS ASPHALT CURB
[Symbol]	CAPE COD BERM
[Symbol]	SAWCUT
[Symbol]	BUILDING
[Symbol]	BUILDING ROOF OVERHANG
[Symbol]	BUILDING FOUNDATION
[Symbol]	BUILDING ENTRANCE
[Symbol]	OVERHEAD DOOR
[Symbol]	TREE LINE
[Symbol]	FENCE (CHAIN LINK)
[Symbol]	FENCE (WIRE)
[Symbol]	FENCE (STOCKADE)
[Symbol]	GUARDRAIL
[Symbol]	STONE WALL
[Symbol]	RETAINING WALL
[Symbol]	SILT FENCE
[Symbol]	SILT SOCK
[Symbol]	SOIL BOUNDARY
[Symbol]	LIMIT OF GRADING CONTOUR
[Symbol]	SPOT GRADE
[Symbol]	PARKING COUNT
[Symbol]	YELLOW DOUBLE SOLID LINE
[Symbol]	YELLOW SINGLE SOLID LINE
[Symbol]	WHITE SINGLE SOLID LINE
[Symbol]	WHITE SINGLE BROKEN LINE
[Symbol]	STOP BAR
[Symbol]	CROSSWALK
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	PAVEMENT ARROW
[Symbol]	TRAFFIC FLOW ARROW (NOT PAINTED)
[Symbol]	SIGN (SINGLE POST)
[Symbol]	SIGN (DOUBLE POST)
[Symbol]	SIGN (Pylon)
[Symbol]	SIGN (MONUMENT)
[Symbol]	BOLLARD
[Symbol]	DUMPSTER PAD

PROPOSED	
[Symbol]	CONCRETE
[Symbol]	GRAVEL
[Symbol]	HEAVY DUTY PAVEMENT
[Symbol]	CONSTRUCTION ENTRANCE
[Symbol]	SNOW STORAGE
[Symbol]	RIPRAP
[Symbol]	INLET PROTECTION
[Symbol]	DRAIN LINE
[Symbol]	DRAINAGE SWALE
[Symbol]	STORMWATER BMP
[Symbol]	SEWER LINE
[Symbol]	SEWER FORCE MAIN LINE
[Symbol]	WATER LINE
[Symbol]	GAS LINE
[Symbol]	OVERHEAD UTILITY LINE
[Symbol]	UNDERGROUND UTILITY LINE
[Symbol]	CATCH BASIN
[Symbol]	DRAIN INLET
[Symbol]	OUTLET CONTROL STRUCTURE
[Symbol]	ROOF DRAIN
[Symbol]	DRAIN CLEANOUT
[Symbol]	DRAIN MANHOLE
[Symbol]	FARED END SECTION
[Symbol]	SEWER CLEAN OUT
[Symbol]	SEWER MANHOLE
[Symbol]	SEWER VENT
[Symbol]	DRAIN/SEWER/WATER PLUG OR CAP
[Symbol]	HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	WATER GATE VALVE
[Symbol]	WATER SHUTOFF
[Symbol]	THRUST BLOCK
[Symbol]	WATER METER
[Symbol]	WATER MANHOLE
[Symbol]	WELL
[Symbol]	GAS GATE VALVE
[Symbol]	GAS SHUT OFF
[Symbol]	GAS METER
[Symbol]	TELEPHONE MANHOLE
[Symbol]	ELECTRIC MANHOLE
[Symbol]	TRAFFIC CONTROL CABINET
[Symbol]	ELECTRIC HANDHOLE
[Symbol]	ELECTRIC PULL BOX
[Symbol]	ELECTRIC METER
[Symbol]	FLOOD LIGHT
[Symbol]	LIGHT POLE
[Symbol]	UTILITY POLE
[Symbol]	GUY POLE
[Symbol]	TRANSFORMER PAD
[Symbol]	BORING LOCATION
[Symbol]	TEST PIT LOCATION
[Symbol]	INFILTRATION TEST LOCATION
[Symbol]	MONITORING WELL

ABBREVIATIONS

GENERAL				UTILITIES			
ABAN	ABANDON	EXIST	EXISTING	PERF	PERFORATED	CB	CATCH BASIN
AC	ACRES	FFE	FINISHED FLOOR ELEVATION	PROP	PROPOSED	CIP	CAST IRON PIPE
ADJ	ADJUST	FND	FOUNDATION	R	RADIUS	CMP	CORRUGATED METAL PIPE
APPROX	APPROXIMATE	HP	HIGH POINT	R&D	REMOVE AND DISPOSE	CO	CLEANOUT
BC	BOTTOM OF CURB	INV	INVERT ELEVATION	R&R	REMOVE AND RESET	COND	CONDUIT
BIT	BUTIMINOUS	IT	INFILTRATION TEST	REM	REMOVE	DCB	DOUBLE CATCH BASIN
BK/Pg	BOOK & PAGE	L	LENGTH	RET	RETAIN	DIP	DUCTILE IRON PIPE
BLDG	BUILDING	LF	LINEAR FEET	DMH	DRAIN MANHOLE	F&C	FRAME AND COVER
BS	BOTTOM OF SLOPE	LSA	LANDSCAPE AREA	ROW	RIGHT OF WAY	F&G	FRAME AND GRATE
BW	BOTTOM OF WALL	MAX	MAXIMUM	S	SLOPE	FES	FLARED END SECTION
CONC	CONCRETE	MIN	MINIMUM	SF	SQUARE FEET	GT	GREASE TRAP
COORD	COORDINATE	N/F	NOW OR FORMERLY	SW	SIDEWALK	HDPE	HIGH DENSITY POLYETHYLENE PIPE
DIA	DIAMETER	NTS	NOT TO SCALE	TBM	TEMPORARY BENCHMARK	HH	HANDHOLE
ELEV	ELEVATION	OC	ON CENTER	TC	TOP OF CURB	HW	HEADWALL
EP	EDGE OF PAVEMENT	PAVE	PAVEMENT	TP	TEST PIT	HYD	HYDRANT
				TW	TOP OF WALL	LP	LIGHT POLE
				UG	UNDERGROUND	OCS	OUTLET CONTROL STRUCTURE
				WCR	ACCESSIBLE WHEELCHAIR RAMP	PVC	POLYVINYL CHLORIDE PIPE
				W/	WITH	RCP	REINFORCED CONCRETE PIPE
						RD	ROOF DRAIN
						SMH	SEWER MANHOLE
						SOS	SEDIMENT OIL SEPARATOR
						TSV	TAPPING SLEEVE, VALVE, AND BOX
						UP	UTILITY POLE

GENERAL NOTES

- THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THE CONDOMINIUM SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY OF PORTSMOUTH.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- ALL INFRASTRUCTURE, INCLUDING CASTINGS, MANHOLES AND PIPES, AND METHODS OF INSTALLATION SHALL MEET CITY STANDARDS.
- SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABOUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- ALL CATCH BASINS TO HAVE POLYETHYLENE LINERS.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
 - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS.
 - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS. CONSTRUCTION ACTIVITIES SHALL BE CARRIED OUT BETWEEN THE HOURS OF 7:00 AM AND 9:00 PM, MONDAY THROUGH FRIDAY IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION, PORTSMOUTH, NEW HAMPSHIRE"
 - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
 - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
 - PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
- THIS PROJECT IS SUBJECT TO THE AOT PERMIT LISTED ON THE COVER SHEET. THE CONTRACTOR SHALL CONFORM TO ALL CONDITIONS OF THE PERMIT AND PROVIDE THE FOLLOWING DOCUMENTATION TO OWNER AND ENGINEER:
 - ADVANCE WRITTEN NOTICE AT LEAST ONE WEEK PRIOR TO COMMENCING ANY WORK UNDER THE PERMIT.
 - IF ANY UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS WERE INSTALLED, FOR EACH SUCH SYSTEM:
 - REPRESENTATIVE PHOTOGRAPHS OF THE SYSTEM, AFTER COMPLETION BUT PRIOR TO BACKFILLING; AND
 - A LETTER SIGNED BY A QUALIFIED ENGINEER WHO OBSERVED THE SYSTEM PRIOR TO BACKFILLING, THAT THE SYSTEM CONFORMS TO THE APPROVED PLANS AND SPECIFICATIONS
 - UPON COMPLETION OF CONSTRUCTION, WRITTEN CERTIFICATION THAT:
 - ALL WORK UNDER THE PERMIT HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS
 - IF ANY DEVIATIONS FROM THE APPROVED PLANS WERE MADE, WRITTEN DESCRIPTIONS AND AS-BUILT DRAWINGS F ALL SUCH DEVIATION, STAMPED BY A QUALIFIED ENGINEER, SHALL BE PROVIDED.

GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN ENOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVED SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THEN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- DENSITY REQUIREMENTS:

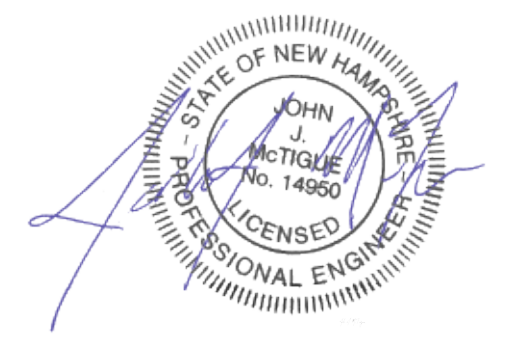
MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.
- THE DESIGN OF THE BLOCK RETAINING WALL SYSTEM TO BE USED FROM ROUGHLY STATION 1+25 TO 3+10 SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION. THE WALL IS TO BE PERMITTED BY THE BUILDING INSPECTOR'S OFFICE AND NEEDS TO BE INSPECTED BY THE CITY DURING CONSTRUCTION. THE P.E. OF RECORD WILL ALSO NEED TO SIGN OFF THAT THE WALL IS CONSTRUCTED PROPERLY BEFORE THE CITY WILL ACCEPT THE FINAL PRODUCT.

UTILITY NOTES

- LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF PORTSMOUTH STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
- INSTALLATION OF ALL WATER AND SEWER TO BE WITNESSED BY A THIRD-PARTY INSPECTORS.
- EACH CONDO WILL HAVE A SEPARATE IRRIGATION METER AND IRRIGATION SYSTEM.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH. PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

DRAINAGE	MUNICIPAL
SEWER	MUNICIPAL
WATER	MUNICIPAL
GAS	UNITIL
ELECTRIC	EVERSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS FKA FAIRPOINT COMMUNICATIONS
CABLE	COMCAST



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
NOTES AND LEGEND
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17')
SCALE: N780' (22"X34') **APRIL 19, 2021**

REV	DATE	DESCRIPTION	DR	CK
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

Seacoast Division				
TFM		Civil Engineers	170 Commerce Way, Suite 102	
		Structural Engineers	Portsmouth, NH 03801	
		Traffic Engineers	Phone (603) 431-2222	
		Land Surveyors	Fax (603) 431-0910	
		Landscape Architects	www.tfmoran.com	
		Scientists		
FILE NO.	47388.11	DR	JSM	FB
		CK	JJM	CADFILE
				47388-11 NOTES
				C-01

Jul 21, 2021 - 4:18pm F:\MISC\Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11_Notes.dwg

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LEGEND:

Table with 2 columns: MAP 137 LOT 11 and ASSASSORS MAP AND LOT NUMBER. Lists various symbols for bearings, lengths, zones, and boundaries.

PLAN REFERENCES:

- List of 7 plan references including 'PLAN OF A LOT OF LAND BELONGING TO CHARLES H. HAYES PORTSMOUTH, N.H.' and 'STANDARD BOUNDARY SURVEY MAP 242'.

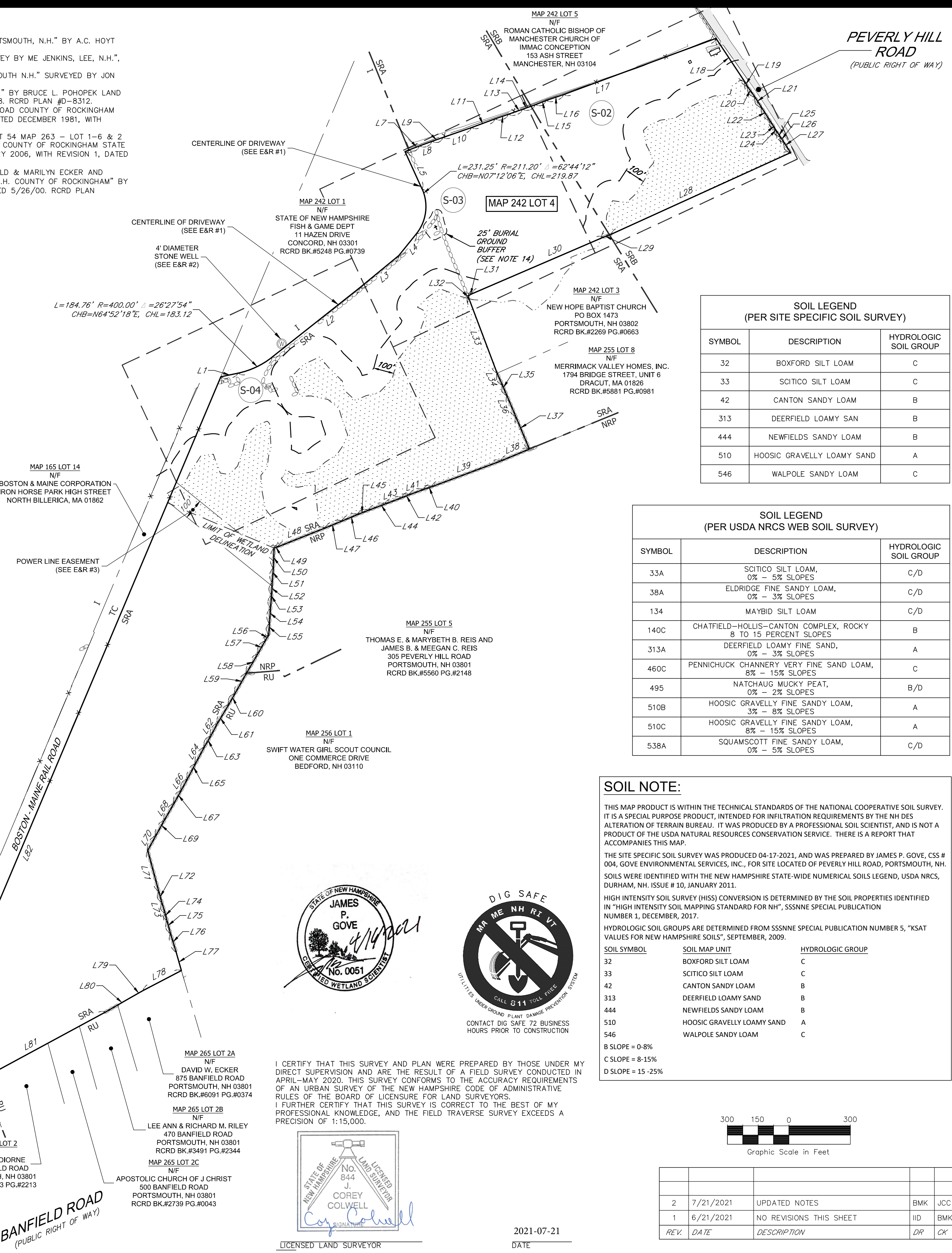
EASEMENTS AND RESTRICTIONS (E&R):

- List of 3 easements and restrictions, including 'THE RIGHT TO USE SAID DRIVEWAY IN COMMON WITH PETER STOKEL' and 'RIGHTS OF PETER AND STELLA STOKEL'.

LINE TABLE with columns: LINE #, BEARING, DISTANCE. Lists 42 line segments for the survey.

LINE TABLE with columns: LINE #, BEARING, DISTANCE. Lists 42 line segments for the survey.

ABUTTERS ACROSS PEVERLY HILL ROAD: MAP 232 LOT 92, MAP 232 LOT 88, MAP 232 LOT 93, MAP 232 LOT 87, MAP 232 LOT 95, MAP 243 LOT 50, MAP 243 LOT 51, MAP 243 LOT 52, MAP 265 LOT 2D, MAP 265 LOT 2E, MAP 265 LOT 2, MAP 265 LOT 2C.



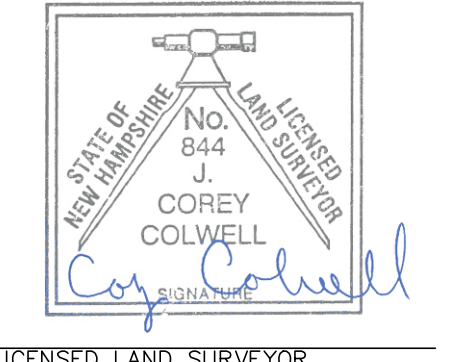
SOIL LEGEND (PER SITE SPECIFIC SOIL SURVEY). Table with columns: SYMBOL, DESCRIPTION, HYDROLOGIC SOIL GROUP. Lists soil types like BOXFORD SILT LOAM and SCITICO SILT LOAM.

SOIL LEGEND (PER USDA NRCS WEB SOIL SURVEY). Table with columns: SYMBOL, DESCRIPTION, HYDROLOGIC SOIL GROUP. Lists soil types like SCITICO SILT LOAM and ELDRIDGE FINE SANDY LOAM.

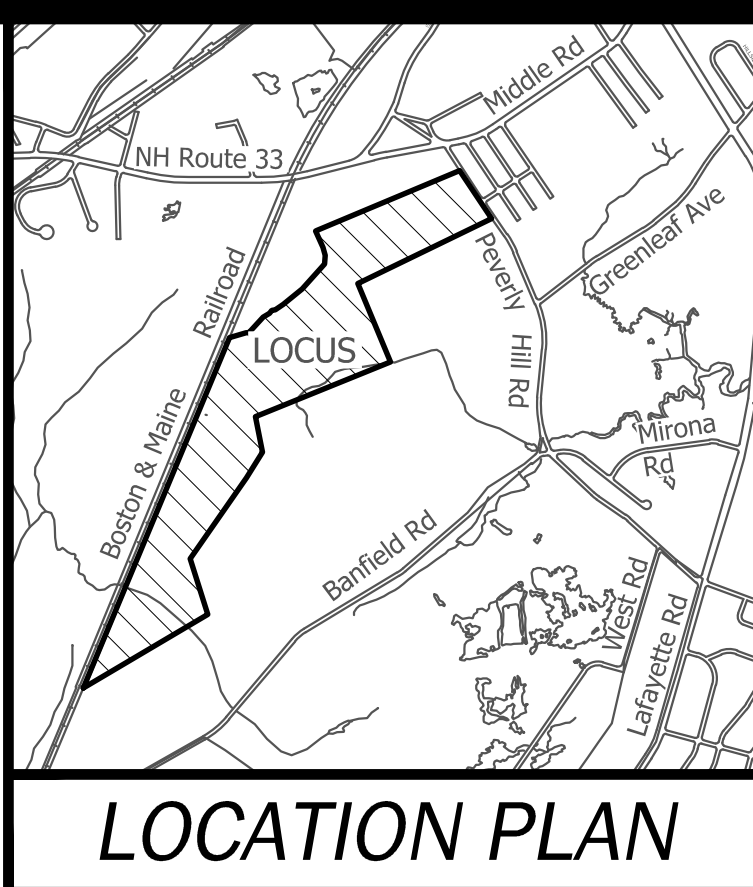
SOIL NOTE: THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU.



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL-MAY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.



2021-07-21 DATE



NOTES:

- List of 15 notes including 'THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.' and 'THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS.'

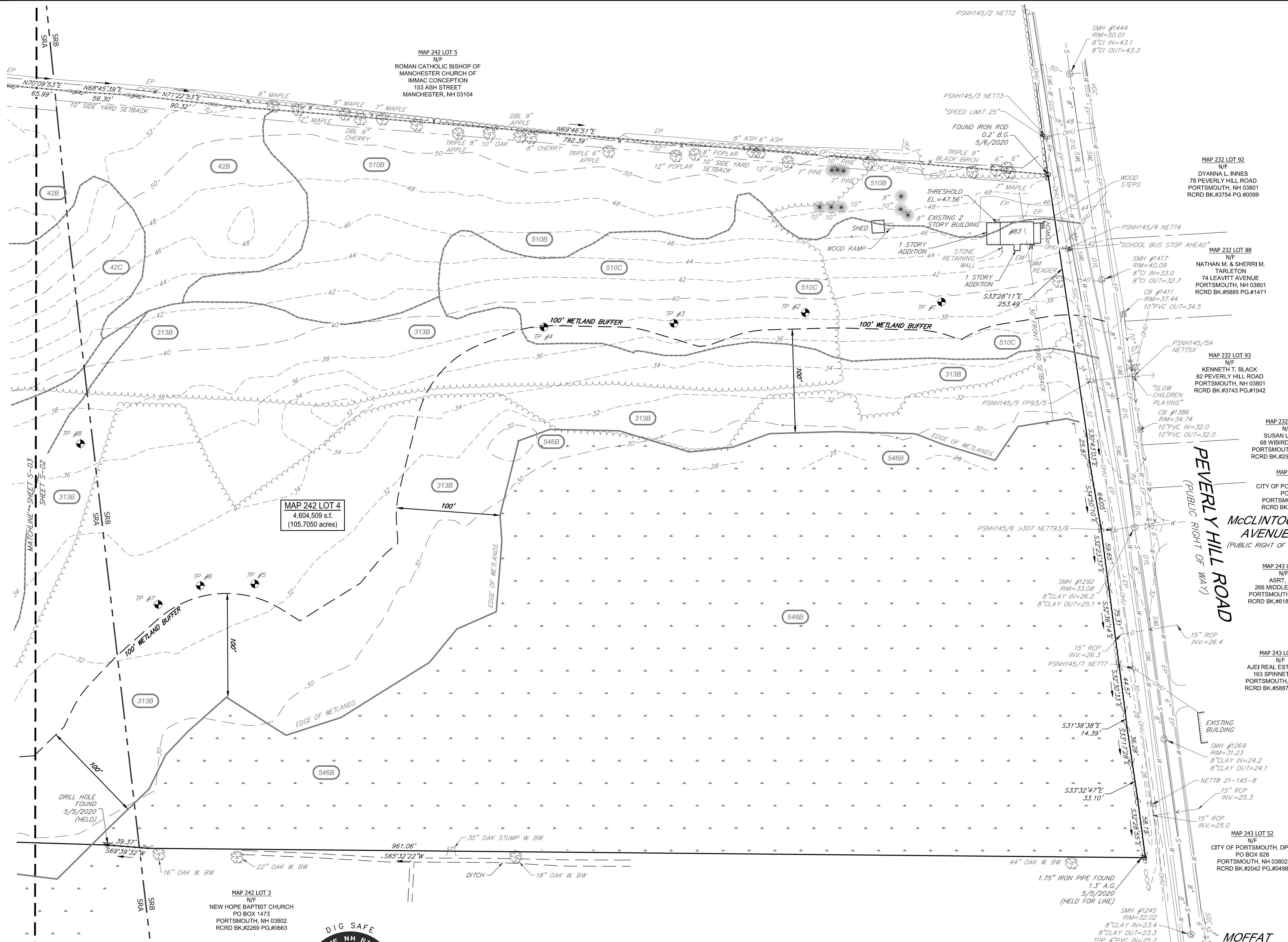
TAX MAP 242 LOT 4 OVERALL EXISTING CONDITIONS PLAN PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM OWNED BY STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL SCALE: 1" = 300' (22x34) 1" = 600' (11x17) APRIL 19, 2021

Seacoast Division TFM Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

Table with columns: REV., DATE, DESCRIPTION, BMK, JCC, IID, BMK, DR, CK. Lists revision dates and descriptions.

Jul 21, 2021 - 4:07pm F:\MSC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co. - 83 Peverly Hill Rd - Condo Project\Carlson Survey\Drawings\47388-11 Overall.dwg

Jul 21, 2021 - 4:31 PM
 F:\MSC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co. - 83 Peverly Hill Rd - Condo Project\Carlson Survey\Drawings\47388-11 Survey.dwg



LEGEND:

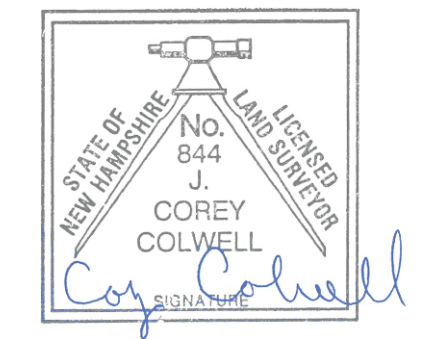
MAP 137 LOT 11

ASSASSORS MAP AND LOT NUMBER
 A.G. ABOVE GRADE
 B.G. BELOW GRADE
 BK. PG. BOOK / PAGE
 BW BARBED WIRE
 CI CAST IRON
 DYL DOUBLE YELLOW LINE
 EM ELEVATION
 EM ELECTRIC METER
 EP EDGE OF PAVEMENT
 I INDUSTRIAL ZONE
 INV. INVERT
 NETT NEW ENGLAND TELEPHONE
 NRP NATURAL RESOURCE PROTECTION ZONE
 N/F NOW OR FORMERLY
 PSNH PUBLIC SERVICE COMPANY OF NH
 PVC POLYVINYL CHLORIDE
 R RADIUS
 RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 RCP REINFORCED CONCRETE PIPE
 RU RURAL ZONE
 S.F. SQUARE FEET
 SGC SLOPED GRANITE CURB
 SMP SEWER MANHOLE
 SRA SINGLE RESIDENCE A ZONE
 SRB SINGLE RESIDENCE B ZONE
 SMH SEWER MANHOLE
 SWL SINGLE WHITE LINE
 TBM TEMPORARY BENCHMARK
 VGC TEMPORAL GRANITE CURB
 W WITH
 WM WATER METER
 DRILL HOLE FOUND
 IRON PIPE/ROD FOUND
 BOUND FOUND
 GUY WIRE
 UTILITY POLE
 CATCH BASIN
 MAILBOX
 POST
 STUMP
 CONIFEROUS TREE
 DECIDUOUS TREE
 SEWER MANHOLE
 HYDRANT
 WATER SHUT OFF
 WATER GATE VALVE
 TEST PIT
 SIGN

SOIL SYMBOL
 42D

SOILS LINE
 OHU OVERHEAD UTILITY LINES
 X CHAINLINK FENCE
 BOUNDARY LINE
 SETBACK LINE
 TREE LINE
 DRAIN LINE
 SEWER LINE
 GAS LINE
 WATER LINE
 EXISTING CONTOUR
 STONEMALL
 EDGE OF WETLAND
 ZONE LINE
 MATCH LINE
 PAVEMENT
 WETLANDS

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL-MAY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



2021-07-21
 DATE

TAX MAP 242 LOT 4
EXISTING CONDITIONS PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST

SCALE: 1" = 50' (22x34)
 1" = 100' (11x17)

APRIL 19, 2021

Seacoast Division

TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

47388-11

DR MYP FB 568
 CK BMK CADFILE

S-02

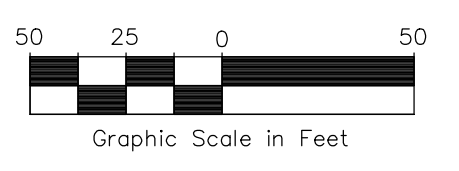
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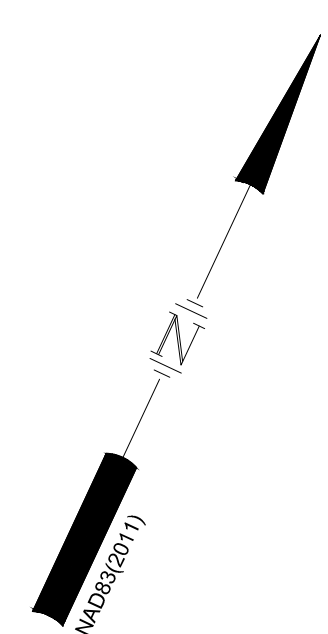
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- NOTES:**
- SEE SHEET S-01 FOR OVERALL BOUNDARY, NOTES, PLAN REFERENCES, SOILS LEGEND AND LOCATION PLAN.
 - SEE SHEET S-05 FOR TEST PIT LOGS.



REV.	DATE	DESCRIPTION	ID	BMK	DR	CK
2	7/21/2021	ADDED TREES & 8" WATER LINE	BMK	JCC		
1	6/21/2021	NO REVISIONS THIS SHEET	ID	BMK		



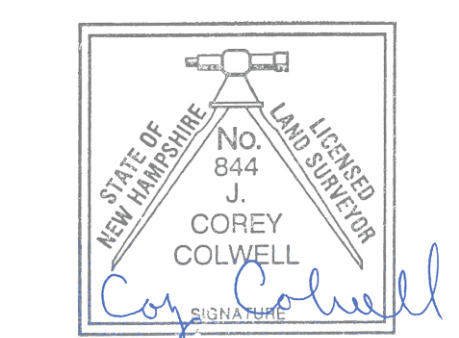
LEGEND:

MAP 137 LOT 11	ASSESSORS MAP AND LOT NUMBER
B.G.	BELOW GRADE
BK. PG.	BOOK / PAGE
BW	BARBED WIRE
CHL	CHORD BEARING
EP	EDGE OF PAVEMENT
I	INDUSTRIAL ZONE
L	LENGTH
N/F	NOW OR FORMERLY
R	RADIUS
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
RU	RURAL ZONE
S.F.	SQUARE FEET
SRA	SINGLE RESIDENCE A ZONE
SRB	SINGLE RESIDENCE B ZONE
TP	TEST PIT
W.	WITH
⊕	POST
∠	CENTRAL ANGLE
⊙	TEST PIT
⊕	DECIDUOUS TREE
⊙	SOIL SYMBOL
---	SOILS LINE
X	CHAINLINK FENCE
---	BOUNDARY LINE
---	SETBACK LINE
---	TREE LINE
---	EXISTING CONTOUR
---	STONEWALL
---	EDGE OF WETLAND
---	ZONE LINE
---	MATCH LINE
---	PAVEMENT
---	WETLANDS

NOTES:

- SEE SHEET S-01 FOR OVERALL BOUNDARY, NOTES, PLAN REFERENCES, SOILS LEGEND AND LOCATION PLAN.
- SEE SHEET S-05 FOR TEST PIT LOGS.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL-MAY 2021. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



LICENSED LAND SURVEYOR DATE 2021-07-21

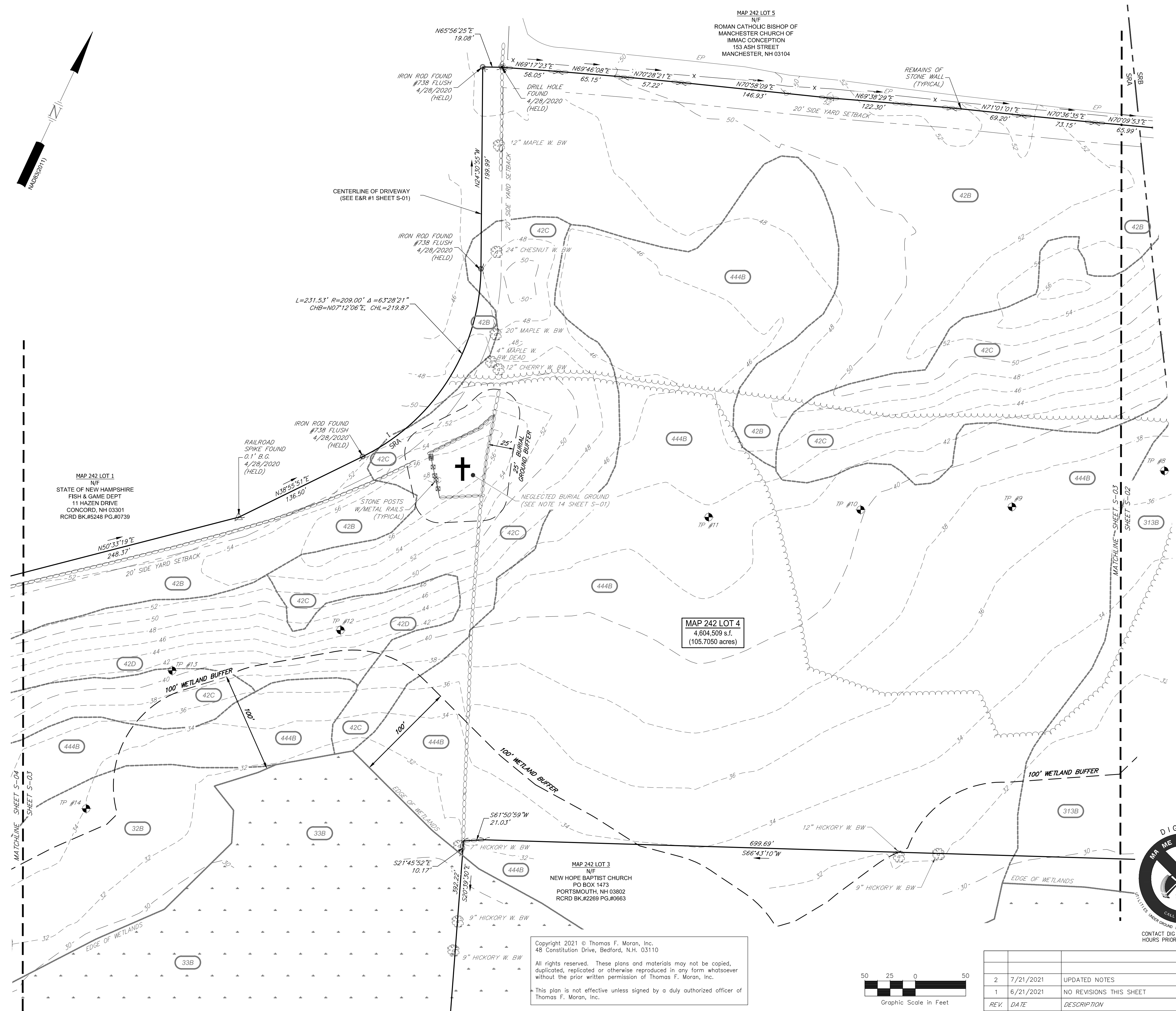
TAX MAP 242 LOT 4
EXISTING CONDITIONS PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST

SCALE: 1" = 50' (22x34)
 1" = 100' (11x17)

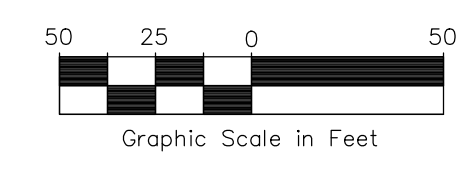
APRIL 19, 2021



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



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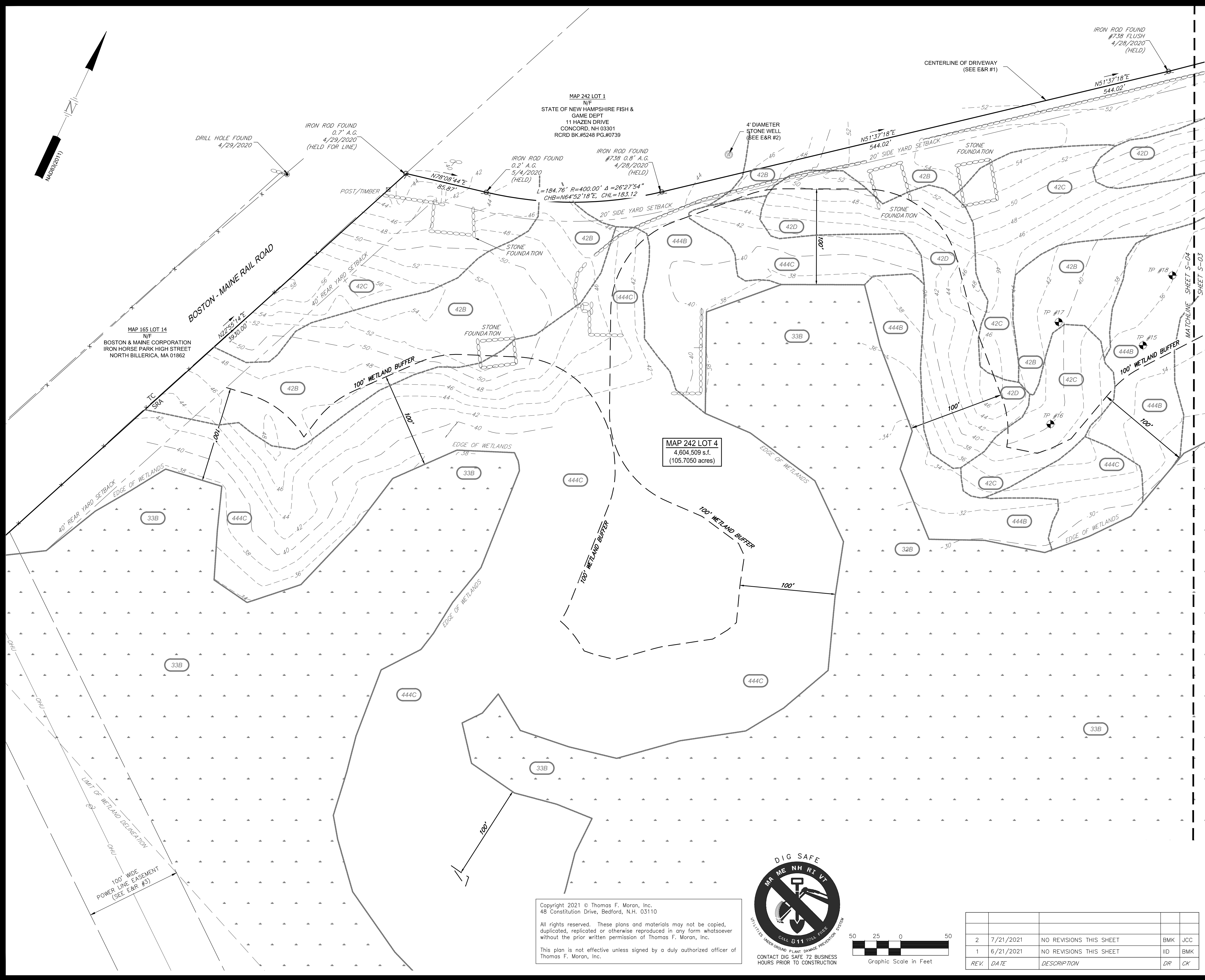
REV.	DATE	DESCRIPTION	DR	CK
2	7/21/2021	UPDATED NOTES	BMK	JCC
1	6/21/2021	NO REVISIONS THIS SHEET	ID	BMK

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47388-11 DR MYP FB 568 S-03
 CK BMK CADFILE

Jul 21, 2021 - 1:01pm
 F:\MSC Projects\47388 - Pevery Hill Rd - Portsmouth\VT388-11 Green and Co - 83 Pevery Hill Rd - Portsmouth\VT388-11 Survey.dwg



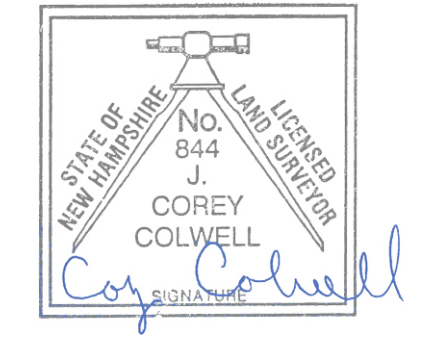
LEGEND:

- MAP 137 LOT 11** ASSESSORS MAP AND LOT NUMBER
- A.G. ABOVE GRADE
 - BK. PG. BOOK / PAGE
 - CHB CHORD BEARING
 - CHL CHORD LENGTH
 - I INDUSTRIAL ZONE
 - L LENGTH
 - N/F NOW OR FORMERLY
 - R RADIUS
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - S.F. SQUARE FEET
 - SRA SINGLE RESIDENCE A ZONE
 - TC TRANSPORTATION CORRIDOR ZONE
 - TP TEST PIT
 - Δ CENTRAL ANGLE
 - DRILL HOLE FOUND
 - ⊗ IRON PIPE/ROD FOUND
 - POST
 - ⊕ TEST PIT
 - SOIL SYMBOL
 - SOILS LINE
 - x- CHAINLINK FENCE
 - BOUNDARY LINE
 - SETBACK LINE
 - TREE LINE
 - 100' EXISTING CONTOUR
 - STONEWALL
 - EDGE OF WETLAND
 - ZONE LINE
 - MATCH LINE
 - PAVEMENT
 - WETLANDS

NOTES:

1. SEE SHEET S-01 FOR OVERALL BOUNDARY, NOTES, PLAN REFERENCES, SOILS LEGEND AND LOCATION PLAN.
2. SEE SHEET S-05 FOR TEST PIT LOGS.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL-MAY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



LICENSED LAND SURVEYOR

2021-07-21
 DATE

TAX MAP 242 LOT 4
EXISTING CONDITIONS PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST

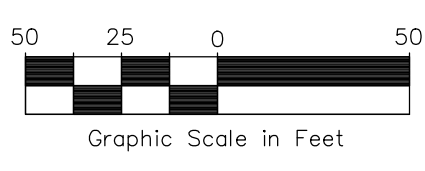
SCALE: 1" = 50' (22x34)
 1" = 100' (11x17)

APRIL 19, 2021

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REV.	DATE	DESCRIPTION	DR	CK
2	7/21/2021	NO REVISIONS THIS SHEET	BMK	JCC
1	6/21/2021	NO REVISIONS THIS SHEET	ID	BMK

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47388-11

DR MYP FB 568
 CK BMK CADFILE

S-04

TEST PIT LOGS:

Test Pit No.	601						
ESHWT:	49"						
Termination @	95"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-7"	10YR3/3	GRSL	GR	FR	NONE		
7-49"	10YR4/6	GRSL	GR	FR	NONE		
49-95"	10YR4/4	GRS	OM	FR	10YR2/1, C/P		
Test Pit No.	602						
ESHWT:	44"						
Termination @	96"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-9"	10YR3/3	GRSL	GR	FR	NONE		
9-44"	10YR4/6	GRSL	GR	FR	NONE		
44-96"	10YR4/4	GRS	OM	FR	7.5YR5/8, C/P		
Test Pit No.	603						
ESHWT:	36"						
Termination @	109"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/2	GRSL	GR	FR	NONE		
12-36"	10YR4/6	GRSL	GR	FR	NONE		
36-109"	2.5Y5/4	GRSL	PL	FI	7.5YR5/8, C/P		
Test Pit No.	604						
ESHWT:	55"						
Termination @	95"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-14"	10YR3/3	GRSL	GR	FR	NONE		
14-55"	10YR4/6	GRSL	GR	FR	NONE		
55-95"	2.5Y5/4	GRSL	PL	FI	7.5YR5/8, C/P		
Test Pit No.	605						
ESHWT:	37"						
Termination @	102"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-7"	10YR3/3	LS	GR	FR	NONE		
7-37"	10YR5/6	LS	GR	FR	NONE		
37-102"	2.5Y5/3	S	OM	FR	7.5YR5/8, C/P		
Test Pit No.	606						
ESHWT:	30"						
Termination @	97"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-10"	10YR3/3	LS	GR	FR	NONE		
10-30"	10YR5/6	LS	GR	FR	NONE		
30-97"	2.5Y5/4	S	OM	FR	7.5YR5/8, C/P		

Test Pit No.	607						
ESHWT:	30"						
Termination @	96"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-9"	10YR3/3	LS	GR	FR	NONE		
9-30"	10YR5/6	LS	GR	FR	NONE		
30-96"	2.5Y5/3	S	OM	FR	2.5Y6/6, C/D		
Test Pit No.	608						
ESHWT:	23"						
Termination @	97"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-8"	10YR3/3	LS	GR	FR	NONE		
8-23"	10YR4/6	LS	GR	FR	NONE		
23-97"	2.5Y5/3	S	OM	FR	7.5YR5/8, C/P		
Test Pit No.	609						
ESHWT:	35"						
Termination @	111"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/3	GRSL	GR	FR	NONE		
12-35"	10YR4/6	GRSL	GR	FR	NONE		
35-111"	2.5Y5/3	VFS	OM	FR	7.5YR5/8, C/P		
Test Pit No.	610						
ESHWT:	30"						
Termination @	107"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/3	GRSL	GR	FR	NONE		
12-30"	10YR5/6	GRSL	GR	FR	NONE		
30-107"	2.5Y5/4	VFS	OM	FR	7.5YR5/8, C/P		
Test Pit No.	611						
ESHWT:	29"						
Termination @	105"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/2	GRFSL	GR	FR	NONE		
12-29"	10YR4/6	GRSL	GR	FR	NONE		
29-105"	2.5Y5/4	VFS	OM	FR	7.5YR5/8, C/P		
Test Pit No.	612						
ESHWT:	38"						
Termination @	92"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/2	GRSL	GR	FR	NONE		
12-38"	10YR5/6	GRSL	GR	FR	NONE		
38-92"	2.5Y5/4	GRS	PL	FR	7.5YR5/8, C/P		

Test Pit No.	613						
ESHWT:	33"						
Termination @	110"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/2	GRSL	GR	FR	NONE		
12-33"	10YR4/6	GRSL	GR	FR	NONE		
33-110"	2.5Y5/3	GRFSL	PL	FR	7.5YR5/6, C/P		
Test Pit No.	614						
ESHWT:	12"						
Termination @	105"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/2	FSL	GR	FR	NONE		
12-40"	2.5Y5/2	SIL	PL	FR	7.5YR5/8, C/P		
40-73"	10YR5/6	FS	OM	FR	7.5YR5/8, C/P		
73-105"	2.5Y4/2	GRFSL	PL	FR	2.5Y6/6, C/D		
Test Pit No.	615						
ESHWT:	17"						
Termination @	108"						
Refusal:	108"						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-8"	10YR3/2	FSL	GR	FR	NONE		
8-17"	10YR4/6	FSL	GR	FR	NONE		
17-44"	2.5Y5/2	SIL	PL	FR	7.5YR5/8, C/P		
44-66"	10YR4/4	FS	OM	FR	7.5YR5/8, C/P		
66-108"	2.5Y3/3	GRFSL	PL	FR	2.5Y6/6, C/D		
108" = BED ROCK							
Test Pit No.	616						
ESHWT:	26"						
Termination @	80"						
Refusal:	No						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-9"	10YR3/2	FSL	GR	FR	NONE		
9-26"	10YR4/6	FSL	GR	FR	NONE		
26-80"	2.5Y5/4	GRFSL	PL	FR	7.5YR5/8, C/P		
Test Pit No.	617						
ESHWT:	35"						
Termination @	80"						
Refusal:	80"						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-9"	10YR3/3	GRFSL	GR	FR	NONE		
9-35"	10YR4/6	GRFSL	GR	FR	NONE		
35-80"	2.5Y5/4	GRFSL	PL	FR	7.5YR5/8, C/P		
80" = BED ROCK							
Test Pit No.	618						
ESHWT:	22"						
Termination @	57"						
Refusal:	57"						
Obs. Water:	None						
Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast		
0-12"	10YR3/2	GRFSL	GR	FR	NONE		
12-22"	10YR4/6	GRFSL	GR	FR	NONE		
22-57"	2.5Y5/4	GRFSL	PL	FR	7.5YR5/8, C/P		
57" = BED ROCK							

NOTES:

1. TEST PITS DATA WAS PROVIDED BY JP GOVE, CSS #004 OF GOVE ENVIRONMENTAL SERVICES, INC. AND DATED 11-19-2020.
2. SEE SHEETS S-02 THRU S-04 FOR TEST PIT LOCATIONS.

TAX MAP 242 LOT 4
TEST PIT LOGS
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST

SCALE: 1" = 50' (22x34)
 1" = 100' (11x17) APRIL 19, 2021

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 Fax (603) 431-0910
 www.tforman.com

47388-11 S-05

REV.	DATE	DESCRIPTION	DR	CK
1	7/21/2021	ADDED THIS SHEET	MVP	BMK

Jul 21, 2021 - 1:09pm
 F:\MSC Projects\2388 - Pevery Hill Rd. - Portsmouth\47388-11 Green and Co. - 83 Pevery Hill Rd. - Portsmouth\Survey\Drawings\47388-11 Survey.dwg

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LEGEND:

MAP 254 LOT 1

AC ABOVE GRADE
 BG BELOW GRADE
 BK./PG. BOOK/PAGE
 LCA LIMITED COMMON AREA
 N/F NOW OR FORMERLY
 PUD PLANNED UNIT DEVELOPMENT
 RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 SRA SINGLE RESIDENCE A
 SRB SINGLE RESIDENCE B
 S.F. SQUARE FEET

PROPERTY LINE
 STONE WALL
 WETLAND BUFFER
 ZONE LINE
 EDGE OF WETLAND

WETLANDS
 ACCESS & DRAINAGE EASEMENT
 PUBLIC PARK & PATH EASEMENT
 DRAINAGE EASEMENT
 CONSERVATION EASEMENT

MAP 242 LOT 1

IRON ROD FOUND #738 FLUSH 4/28/2020 (HELD)

RRSPK FOUND 0.1' B.G. 4/28/2020 (HELD)

IRON ROD FOUND #738 FLUSH 4/28/2020 (HELD)

IRON ROD FOUND #738 FLUSH 4/28/2020 (HELD)

PROPOSED PUBLIC POCKET PARK (COMMON AREA)

NEGLECTED BURIAL GROUND (SEE NOTE 16)

PROPOSED PATH TO RAIL TRAIL

25' BURIAL GROUND BUFFER

100' WETLAND BUFFER

50' EXTERNAL SIDE YARD

100' WETLAND BUFFER

COMMON AREA

ACCESS & DRAINAGE EASEMENT #1 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH

CONSERVATION EASEMENT AREA #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH

EDGE OF WETLAND

LIMITED COMMON AREA		
LCA 1	9,037 S.F.	
LCA 2	8,750 S.F.	
LCA 3	9,275 S.F.	
LCA 4	9,301 S.F.	
LCA 5	9,680 S.F.	
LCA 6	10,136 S.F.	
LCA 7	12,415 S.F.	
LCA 8	13,065 S.F.	
LCA 9	10,953 S.F.	
LCA 10	10,486 S.F.	
LCA 11	10,848 S.F.	
LCA 12	11,829 S.F.	
LCA 13	11,864 S.F.	
LCA 14	12,399 S.F.	
LCA 15	12,651 S.F.	
LCA 16	11,751 S.F.	
LCA 17	10,773 S.F.	
LCA 18	11,325 S.F.	
LCA 19	12,780 S.F.	
LCA 20	16,654 S.F.	
LCA 21	15,081 S.F.	
LCA 22	16,670 S.F.	
LCA 23	14,535 S.F.	
LCA 24	13,868 S.F.	
LCA 25	15,778 S.F.	
LCA 26	14,407 S.F.	
LCA 27	13,124 S.F.	
LCA 28	13,408 S.F.	

EASEMENTS AND RESTRICTIONS (E&R):		
LCA 29	13,846 S.F.	
LCA 30	10,746 S.F.	
LCA 31	10,365 S.F.	
LCA 32	11,770 S.F.	
LCA 33	8,568 S.F.	
LCA 34	9,085 S.F.	
LCA 35	8,527 S.F.	
LCA 36	6,312 S.F.	
LCA 37	6,852 S.F.	
LCA 38	7,697 S.F.	
LCA 39	7,614 S.F.	
LCA 40	7,806 S.F.	
LCA 41	8,841 S.F.	
LCA 42	9,888 S.F.	
LCA 43	10,497 S.F.	
LCA 44	13,137 S.F.	
LCA 45	7,333 S.F.	
LCA 46	10,341 S.F.	
LCA 47	10,138 S.F.	
LCA 48	10,065 S.F.	
LCA 49	9,944 S.F.	
LCA 50	8,226 S.F.	
LCA 51	8,568 S.F.	
LCA 52	8,993 S.F.	
LCA 53	8,568 S.F.	
LCA 54	8,034 S.F.	
LCA 55	7,875 S.F.	
LCA 56	7,539 S.F.	

ABUTTERS:

MAP 165 LOT 14
 N/F SWIFT WATER GIRL SCOUT COUNCIL
 ONE COMMERCE DRIVE
 BEDFORD, NH 03110

MAP 242 LOT 1
 N/F BOSTON & MAINE CORPORATION
 IRON HORSE PARK HIGH STREET
 NORTH BILLERICA, MA 01862

MAP 242 LOT 3
 N/F STATE OF NEW HAMPSHIRE
 FISH & GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK.#5248 PG.#0739

MAP 242 LOT 5
 N/F NEW HOPE BAPTIST CHURCH
 PO BOX 1473
 PORTSMOUTH, NH 03802
 RCRD BK.#1052 PG.#321

MAP 242 LOT 5
 N/F ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF IMMAC
 CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104

MAP 255 LOT 5
 N/F THOMAS E. & MARYBETH B. REIS
 AND JAMES B. & MEEGAN C. REIS
 305 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#5560 PG.#2148

MAP 255 LOT B
 N/F MERRIMAC VALLEY HOMES, INC.
 1794 BRIDGE STREET, UNIT 6
 DRACUT, MA 01826
 RCRD BK.#5861 PG.#0981

MAP 256 LOT 1
 N/F MARK H. O'DORNE
 520 BANFIELD ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#3353 PG.#2213

MAP 265 LOT 2A
 N/F DAVID W. ECKER
 875 BANFIELD ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#6091 PG.#0374

MAP 265 LOT 2B
 N/F LEE ANN & RICHARD M. RILEY
 470 BANFIELD ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#3491 PG.#2344

MAP 265 LOT 2C
 N/F APOSTOLIC CHURCH OF J CHRIST
 500 BANFIELD ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#2739 PG.#0043

MAP 265 LOT 2D
 N/F CITY OF PORTSMOUTH DPW
 PO BOX 628
 PORTSMOUTH, NH 03802
 RCRD BK.#2413 PG.#0222

MAP 265 LOT 2E
 N/F CITY OF PORTSMOUTH
 1 JUNKINS AVENUE
 PORTSMOUTH, NH 03801
 RCRD BK.#5077 PG.#1943

MAP 232 LOT 92
 N/F DYANNA L. INNES
 78 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#3754 PG.#0099

MAP 232 LOT 88
 N/F NATHAN M. & SHERRI M. TARLETON
 74 LEAVITT AVENUE
 PORTSMOUTH, NH 03801
 RCRD BK.#5865 PG.#1471

MAP 232 LOT 93
 N/F KENNETH T. BLACK
 82 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#3743 PG.#1942

MAP 232 LOT 87
 N/F SUSAN L. DIXON
 68 WIBRO STREET
 PORTSMOUTH, NH 03801
 RCRD BK.#2504 PG.#0028

MAP 232 LOT 95
 N/F CITY OF PORTSMOUTH DPW
 PO BOX 628
 PORTSMOUTH, NH 03802
 RCRD BK.#2247 PG.#0239

MAP 243 LOT 50
 N/F ASRT, LLC
 266 MIDDLE STREET
 PORTSMOUTH, NH 03801
 RCRD BK.#6184 PG.#1176

MAP 243 LOT 51
 N/F AEI REAL ESTATE LLC
 163 SPINNEY ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#5887 PG.#0463

MAP 243 LOT 52
 N/F CITY OF PORTSMOUTH DPW
 PO BOX 628
 PORTSMOUTH, NH 03802
 RCRD BK.#2042 PG.#0498

PLAN REFERENCES:

- "PLAN OF A LOT OF LAND BELONGING TO CHARLES H. HAYES PORTSMOUTH, N.H." BY A.C. HOYT SURVEYOR, DATED JULY 1896. RCRD PLAN #0171.
- "PLAN OF LAND FOR JOHN & MAUD HETT PORTSMOUTH, N.H. SURVEY BY ME JENKINS, LEE, N.H.", DATED DEC. 1988. RCRD PLAN #0-19399.
- "PROPERTY OF SWIFTWATER GIRL SCOUT COUNCIL CITY OF PORTSMOUTH N.H." SURVEYED BY JON MOORE, DATED AUGUST 1972. RCRD PLAN #0-3206.
- "SUBDIVISION OF LAND FOR ROBERT E. DOWD IN PORTSMOUTH, N.H." BY BRUCE L. POHOPEK LAND SURVEYORS DOWD, N.H., DATED MAY 31, 1978, REVISED OCT 5, 78. RCRD PLAN #0-8312.
- "SUBDIVISION PLAN OF LAND FOR THEODORE C. BURTT BANFIELD ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY RICHARD P. MILLETTE AND ASSOCIATES, DATED DECEMBER 1981, WITH REVISION 2 DATED JANUARY, 1982. RCRD PLAN #0-10795.
- "STANDARD BOUNDARY SURVEY MAP 242 - LOT 1 MAP 258 - LOT 54 MAP 263 - LOT 1-6 & 2 FOR THE NATURE CONSERVANCY N.H. ROUTE 33 GREENLAND ROAD COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC., DATED FEBRUARY 2006, WITH REVISION 1, DATED 4/13/06. RCRD PLAN #0-33859.
- "LOT LINE RELOCATION PLAN MAP R-65 LOTS 2A & 2B FOR HAROLD & MARILYN ECKER AND ELIZABETH K. HURLEY 422 & 470 BANFIELD ROAD PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM" BY AMBIT ENGINEERING, INC., DATED MAY 2000, WITH REVISION 0 DATED 5/26/00. RCRD PLAN #0-28209.

I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND COMPLIES WITH NHRSA 356-B:20(). ALL UNITS OR PORTIONS THEREOF DEPICTED ON ANY PORTION OF THE SUBMITTED LAND OTHER THAN WITHIN THE BOUNDARIES OF ANY CONVERTIBLE LAND HAVE NOT YET BEGUN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY IS AN URBAN SURVEY AS CLASSIFIED IN THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE TRAVERSE WAS COMPLETED BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

NOTES:

- THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4.
- THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 3301502707, MAP REVISED JANUARY 29, 2021.
- DIMENSIONAL REQUIREMENT OF OPEN SPACE RESIDENTIAL PUD (OS-PUD)

MINIMUM LOT AREA:	REQUIRED: 10 ACRES	PROPOSED: 105.705 ACRES
MINIMUM STREET FRONTAGE:	100'	665'
MINIMUM EXTERNAL YARDS:		
FRONT:	100'	100'
SIDE & REAR:	50'	50'
MINIMUM INTERNAL YARDS:		
FRONT:	20'	20.9'
SIDE & REAR:	25'	30.0'
MINIMUM SEPARATION BETWEEN STRUCTURES:	30'	30.0'
COMMON OPEN SPACE:	25%	83%
PER THE CITY OF PORTSMOUTH ZONING ORDINANCE SECTION 10.725		
- OWNER OF RECORD:
 MAP 242 LOT 4:
 STELLA B. STOKEL 1993 TRUST,
 NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
 83 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#5066 PG.#1603
- PARCEL AREA:
 MAP 242 LOT 4:
 4,604,509 S.F.
 (105.7050 ACRES)
- SUBMITTED AREA:
 4,488,146 S.F.
 (103.0337 ACRES)
 (EXCLUDING PUBLIC RIGHT OF WAY)
- COMMON AREA:
 4,488,146 S.F.
 (103.0337 ACRES)
 (EXCLUDING PUBLIC RIGHT OF WAY)
- LIMITED COMMON AREA:
 (SEE CHART)

7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.

8. THE PURPOSE OF THIS PLAN IS TO DEPICT THE COMMON AREAS AND LIMITED COMMON AREAS OF MAP 242 LOT 4. CONSTRUCTION OF UNITS NOT YET BEGUN. THE FINAL METES AND BOUNDS OF THE UNITS AND THEIR ASSIGNED LIMITED COMMON AREAS SHALL BE DETERMINED BY AS-BUILT PLANS WITH AN AMENDED CONDOMINIUM SITE PLAN TO BE RECORDED UPON COMPLETION OF EACH UNIT.

9. THESE UNITS ARE FOR RESIDENTIAL USE ONLY.

10. FIELD SURVEY COMPLETED BY TCE, MVP & PJ IN APRIL-MAY 2020 USING A TOPCON DS103, TOPCON HIPER-SR, TOPCON HIPER-V AND A CARLSON RT4 DATA COLLECTOR.

11. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.

12. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.

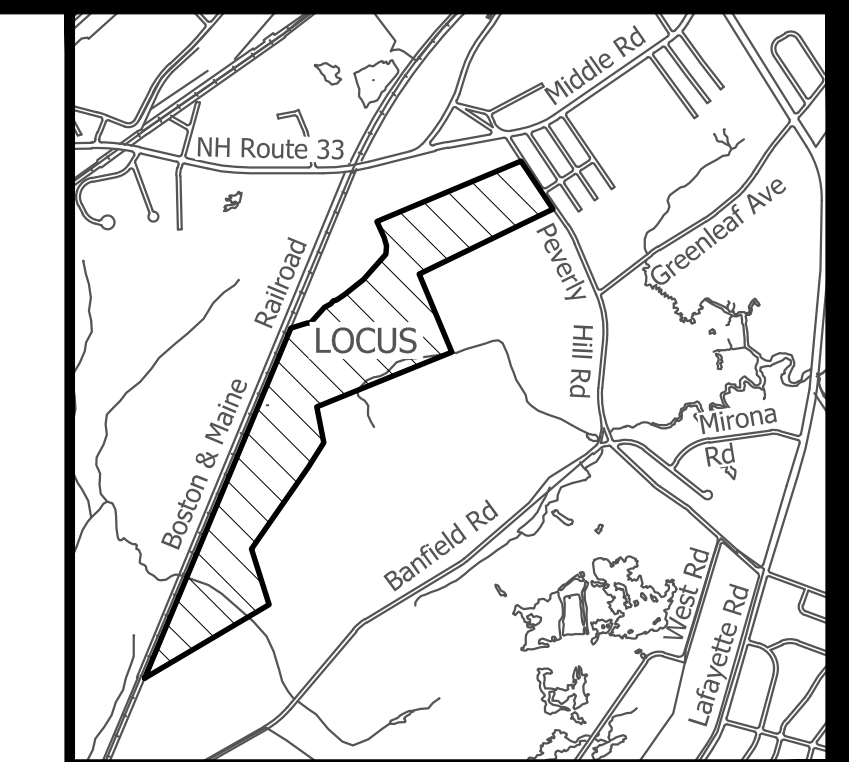
13. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

14. WETLAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENGINEERS WETLAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION. FIELD LOCATED BY TFMORAN, INC.

15. THE UNITS SHOWN HERE TO BE SERVICED BY MUNICIPAL SEWER AND WATER.

16. THE NEGLECTED BURIAL GROUND SHOWN ON SHEET S-03 IS BELIEVED TO BE THE FORMER HAYES FAMILY BURIAL GROUND. CURRENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN EXHUMED FROM THIS LOCATION. NO GRAVESTONES EXIST AT THIS BURIAL GROUND. THE 25' BUFFER TO THE BURIAL GROUND IS SHOWN AS AN ABUNDANCE OF CAUTION.

17. SEE SHEETS S-08 & S-09 FOR EASEMENT PLANS.



LOCATION PLAN

TAX MAP 242 LOT 4

CONDOMINIUM SITE PLAN

PEVERLY HILL ROAD

83 PEVERLY HILL ROAD

PORTSMOUTH, NEW HAMPSHIRE

COUNTY OF ROCKINGHAM

OWNED BY

STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL

SCALE: 1" = 100' (22x34)
 1" = 200' (11x17)

APRIL 19, 2021

Seacoast Division

TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

FILE	DR	ID	FB	DATE	DESCRIPTION	IID	BMK
47388-11	DR	ID	FB	7/21/2021	REVISE PER REGULATORY COMMENTS	IID	BMK
	CK	BMK	CADFILE	6/21/2021	REVISE PER REGULATORY COMMENTS	IID	BMK
					DESCRIPTION	DR	CK

2021-07-21

LICENSED LAND SURVEYOR DATE

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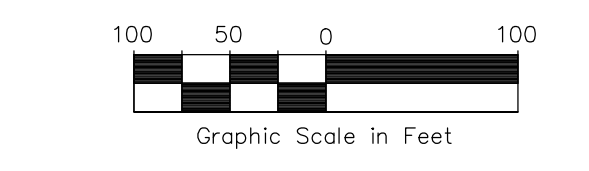
48 CONSTITUTION DRIVE, BEDFORD, N.H. 03110

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THIS PLAN IS NOT EFFECTIVE UNLESS SIGNED BY A DULY AUTHORIZED OFFICER OF THOMAS F. MORAN, INC.

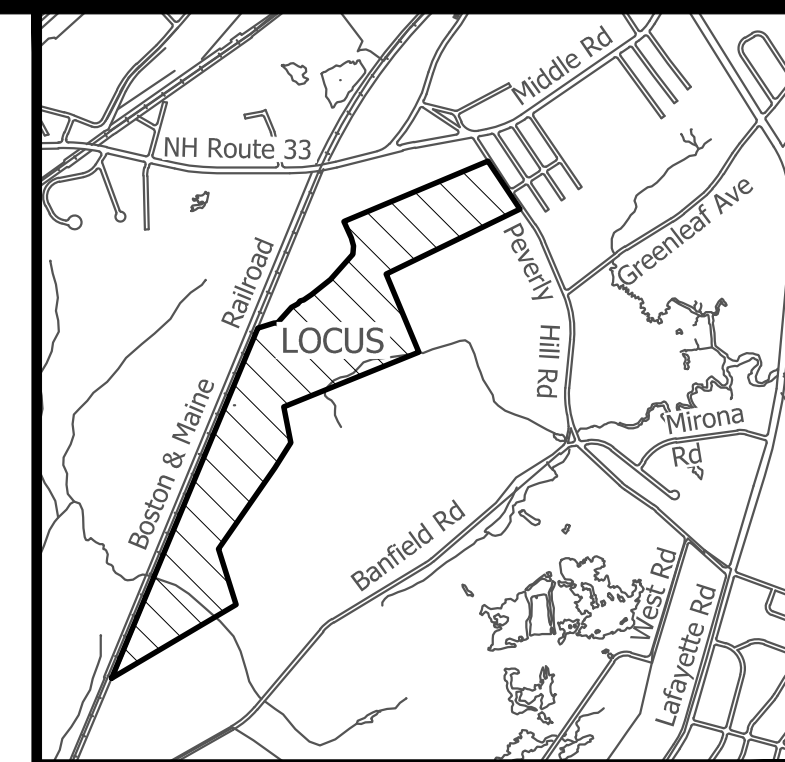
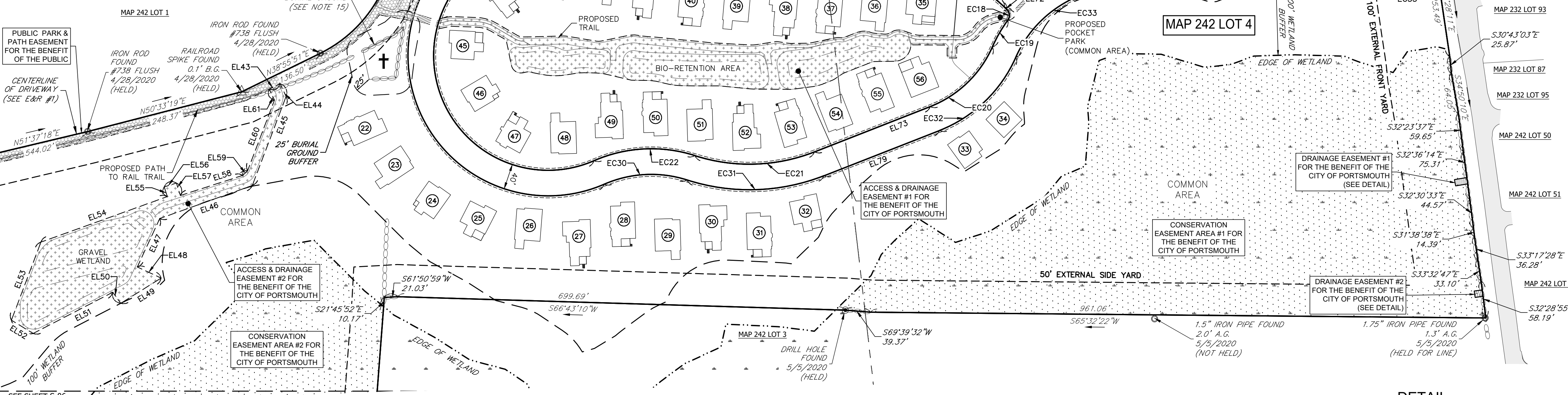
CITY OF PORTSMOUTH PLANNING BOARD

CHAIRPERSON DATE



LEGEND:

MAP 254 LOT 1
AC
BG
BK./PG.
LCA
N/F
PUD
RCRD
SRA
SRB
S.F.
ASSESOR'S MAP NUMBER/
LOT NUMBER
ABOVE GRADE
BELOW GRADE
BOOK/PAGE
LIMITED COMMON AREA
NOW OR FORMERLY
PLANNED UNIT DEVELOPMENT
ROCKINGHAM COUNTY REGISTRY OF DEEDS
SINGLE RESIDENCE A
SINGLE RESIDENCE B
SQUARE FEET
PROPERTY LINE
STONEWALL
WETLAND BUFFER
EDGE OF WETLAND
WETLANDS
ACCESS & DRAINAGE EASEMENT
PUBLIC PARK & PATH EASEMENT
DRAINAGE EASEMENT
CONSERVATION EASEMENT



NOTES:

- 1. THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4.
3. THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270F, MAP REVISED JANUARY 29, 2021.
4. DIMENSIONAL REQUIREMENT OF OPEN SPACE RESIDENTIAL PUD (OS-PUD)
MINIMUM LOT AREA: 10 ACRES
MINIMUM STREET FRONTAGE: 100'
MINIMUM EXTERNAL YARDS: FRONT: 100', SIDE & REAR: 50'
MINIMUM INTERNAL YARDS: FRONT: 20', SIDE & REAR: 25'
MINIMUM SEPARATION BETWEEN STRUCTURES: 25%
COMMON OPEN SPACE: PER THE CITY OF PORTSMOUTH ZONING ORDINANCE SECTION 10.725
5. OWNER OF RECORD: MAP 242 LOT 4: STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
6. PARCEL AREA: MAP 242 LOT 4: 4,604,509 S.F. (105,7050 ACRES)
7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
8. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED EASEMENTS ON MAP 242 LOT 4.
9. FIELD SURVEY COMPLETED BY TCE, MVP & PJT IN APRIL-MAY 2020 USING A TOPCON DS103, TOPCON HIPER-SR, TOPCON HIPER-V AND A CARLSON RT4 DATA COLLECTOR.
10. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS
11. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
13. WETLAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENGINEERS WETLAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH-CENTRAL AND NORTHEAST REGION. FIELD LOCATED BY TFMORAN, INC.
14. SEE SHEET S-07 FOR OVERALL EASEMENT PLAN.
15. THE NEGLECTED BURIAL GROUND SHOWN ON SHEET S-03 IS BELIEVED TO BE THE FORMER HAYES FAMILY BURIAL GROUND. CURRENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN EXHUMED FROM THIS LOCATION. NO GRAVESTONES EXIST AT THIS BURIAL GROUND. THE 25' BUFFER TO THE BURIAL GROUND IS SHOWN AS AN ABUNDANCE OF CAUTION.

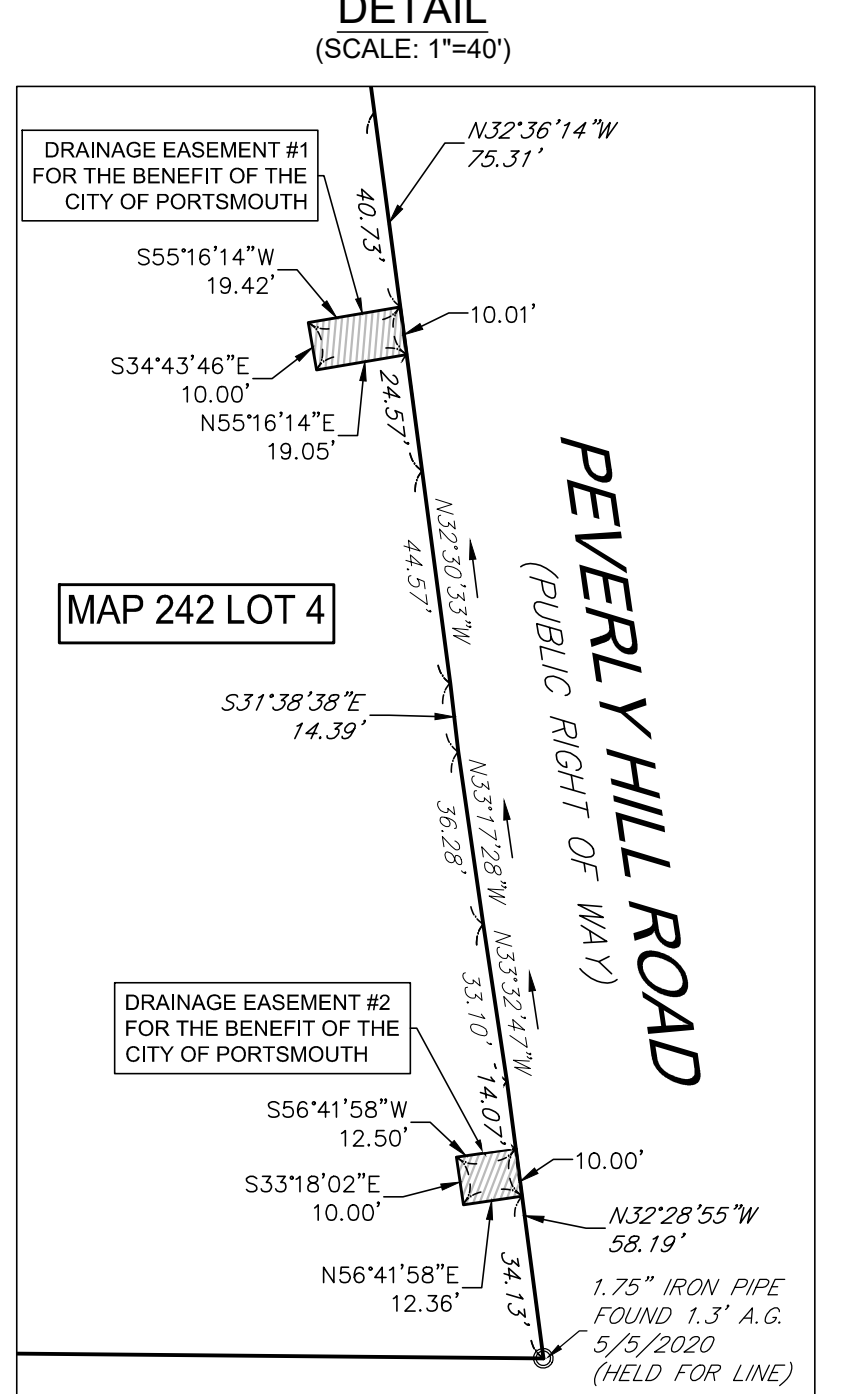
EASEMENTS AND RESTRICTIONS (E&R):

- 1. THE RIGHT TO USE THE GRAVEL DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM GREENLAND ROAD, BY THE BURIAL GROUND, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF PETER AND STELLA TO THE RAILROAD, AND SUBJECT TO PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#603).
2. RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF THE WELL, PUMP, THE PIPES AND ANY OTHER EQUIPMENT USED NOW OR HEREAFTER IN COMMON, CHARGES OF CARE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, WITH MUTUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SEE RCRD BK.#5066 PG.#603).
3. 100' WIDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY. (SEE RCRD BK.#1052 PG.#321).
4. PROPOSED 40' WIDE RIGHT OF WAY TO BE CONVEYED TO CITY OF PORTSMOUTH.
5. PROPOSED PUBLIC POCKET PARK AND PATH EASEMENT FOR THE BENEFIT OF PUBLIC.
6. PROPOSED ACCESS AND DRAINAGE EASEMENT #1 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
7. PROPOSED ACCESS AND DRAINAGE EASEMENT #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
8. PROPOSED CONSERVATION EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
9. PROPOSED DRAINAGE EASEMENTS #1 & #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
10. PROPOSED 3' WIDE RIGHT OF WAY MAINTENANCE AND UTILITY EASEMENT FOR ROADWAY MAINTENANCE AND FUTURE UTILITIES.

Table with 3 columns: EASEMENT LINE TABLE, BEARING, DISTANCE. Lists lines EL43 through EL61 with their respective bearings and distances.

Table with 3 columns: ROAD RIGHT-OF-WAY EASEMENT, BEARING, DISTANCE. Lists lines EL70 through EL82 with their respective bearings and distances.

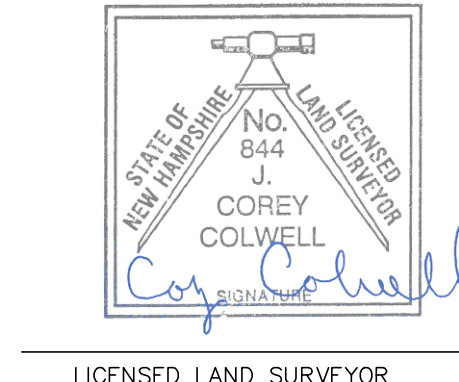
Table with 6 columns: EASEMENT CURVE TABLE, CURVE #, LENGTH, RADIUS, DELTA, CHORD DIRECTION, CHORD LENGTH. Lists curves EC15 through EC35 with their respective parameters.



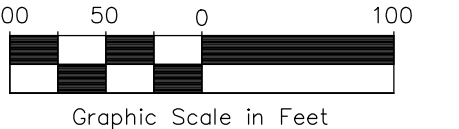
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY IS AN URBAN SURVEY AS CLASSIFIED IN THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE TRAVERSE WAS COMPLETED BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ARE ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

A COPY OF THIS PLAN HAS BEEN FILED WITH THE LOCAL PLANNING BOARD.



2021-07-21 DATE



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Table with 4 columns: REV., DATE, DESCRIPTION, DR, CK. A revision table for the drawing.

TAX MAP 242 LOT 4
EASEMENT PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
SCALE: 1" = 100' (22x34)
1" = 200' (11x17)
JULY 21, 2021

Seacoast Division
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

Table with 4 columns: FILE, DR, ID, FB, CK, EBM, CADFILE, S-08

NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
4. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
5. CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
7. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

CONSTRUCTION SEQUENCE NOTES

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
 MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION SYSTEM. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.

DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDDED WITHIN 72 HOURS AFTER GRADING.
7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
SITE PREPARATION & DEMOLITION PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN

APRIL 19, 2021

Seacoast Division

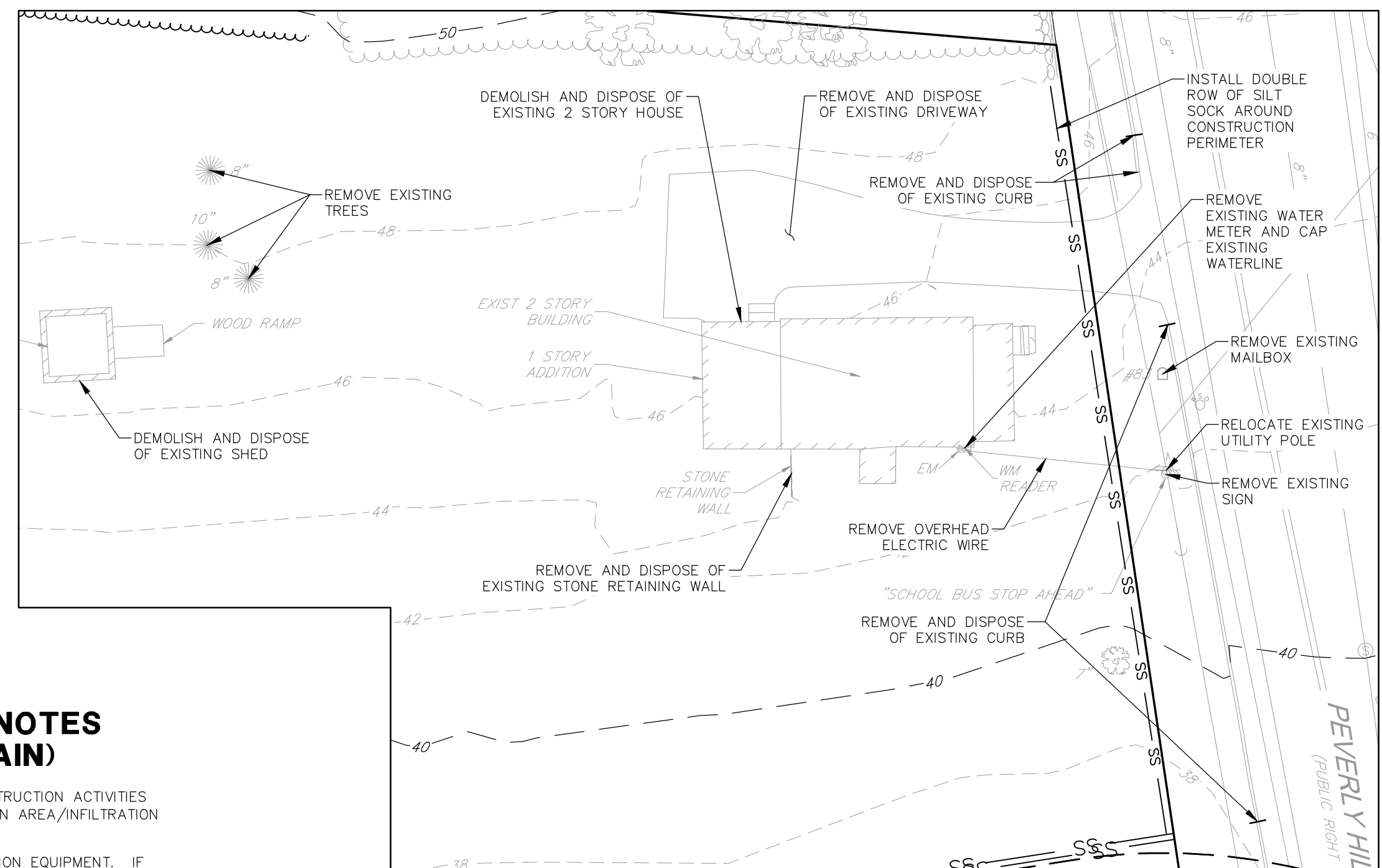
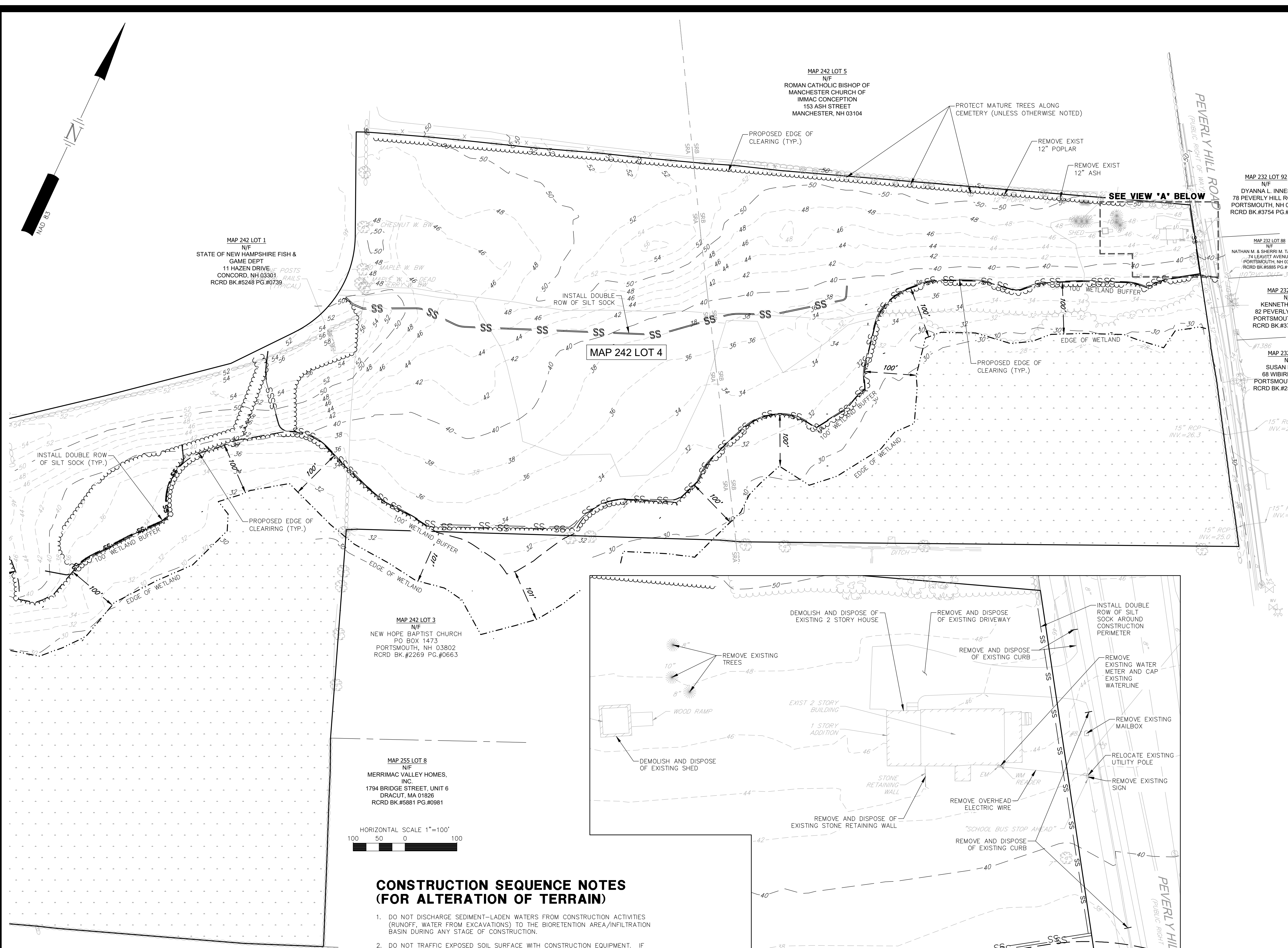


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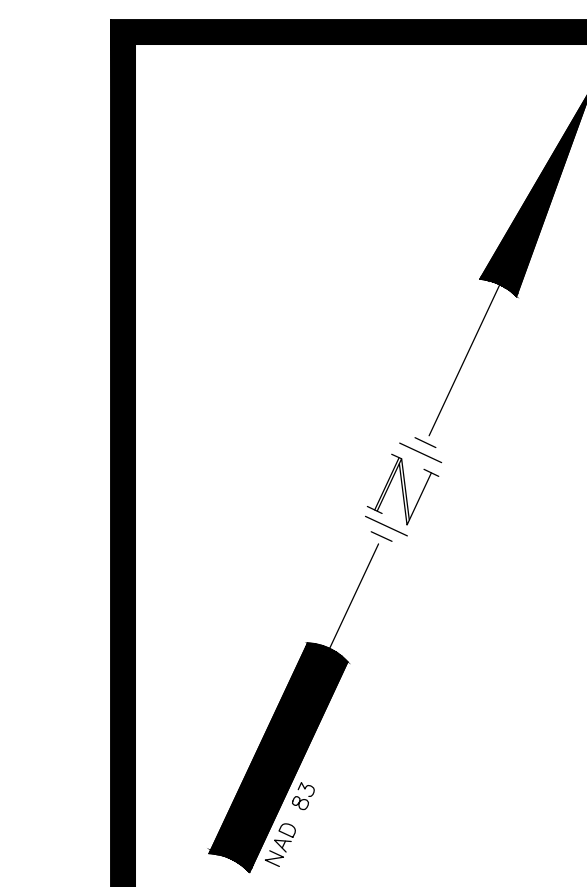
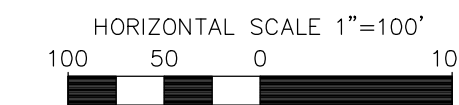
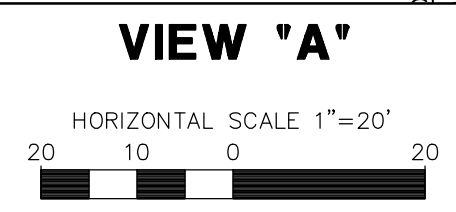
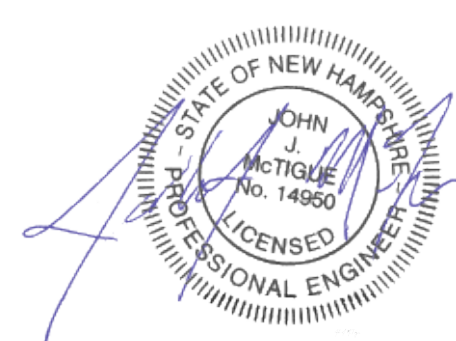
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REV		CK	JUM	CADFILE	47388-11_SITEPREP

C-02

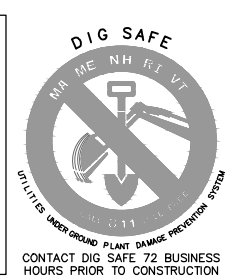


CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA/INFILTRATION BASIN DURING ANY STAGE OF CONSTRUCTION.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
4. DO NOT PLACE THE BIORETENTION AREA/INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



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SITE DATA

OWNER OF RECORD OF MAP 242 LOT 4:
 STELLA B. STOKEL 1993 TRUST
 NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
 83 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

DEED REFERENCE TO PARCEL IS BK 5066 PG 1603
 AREA OF PARCEL = 4,801,500± SF OR 110± ACRES

ZONED: SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB)
 EXISTING USE: RESIDENTIAL (SINGLE FAMILY DWELLING)
 PROPOSED USE: RESIDENTIAL (OPEN SPACE PLANNED UNIT CONDOMINIUM DEVELOPMENT)

THE PURPOSE OF THIS PLAN IS TO DEPICT A DEVELOPMENT OF 56 SINGLE FAMILY CONDOMINIUM UNITS WITH ASSOCIATED ROADWAY, UTILITIES, AND SITE IMPROVEMENTS.

BASE RESIDENTIAL DENSITY CALCULATIONS:

REQUIRED BASE RESIDENTIAL DENSITY:
 SRA: DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPES
 = 3,938,561 SF - 1,684,960 SF - 156,927 SF
 = 2,096,674 SF
 MINIMUM LOT AREA PER DWELLING = 1 AC = 43,560 SF
 SRB: DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPE
 = 665,948 SF - 286,452 SF - 1,217 SF
 = 378,279 SF
 MINIMUM LOT AREA PER DWELLING = 15,000 SF

MAXIMUM UNITS FOR DEVELOPMENT = DEVELOPABLE AREA / MINIMUM LOT AREA PER DWELLING
 (SRA) 2,096,674 SF / 43,560 SF = 48.1 UNITS
 (SRB) 378,279 SF / 15,000 SF = 25.2 UNITS
 TOTAL = 74 UNITS
 PROPOSED UNITS FOR OS-PUD = 56 UNITS

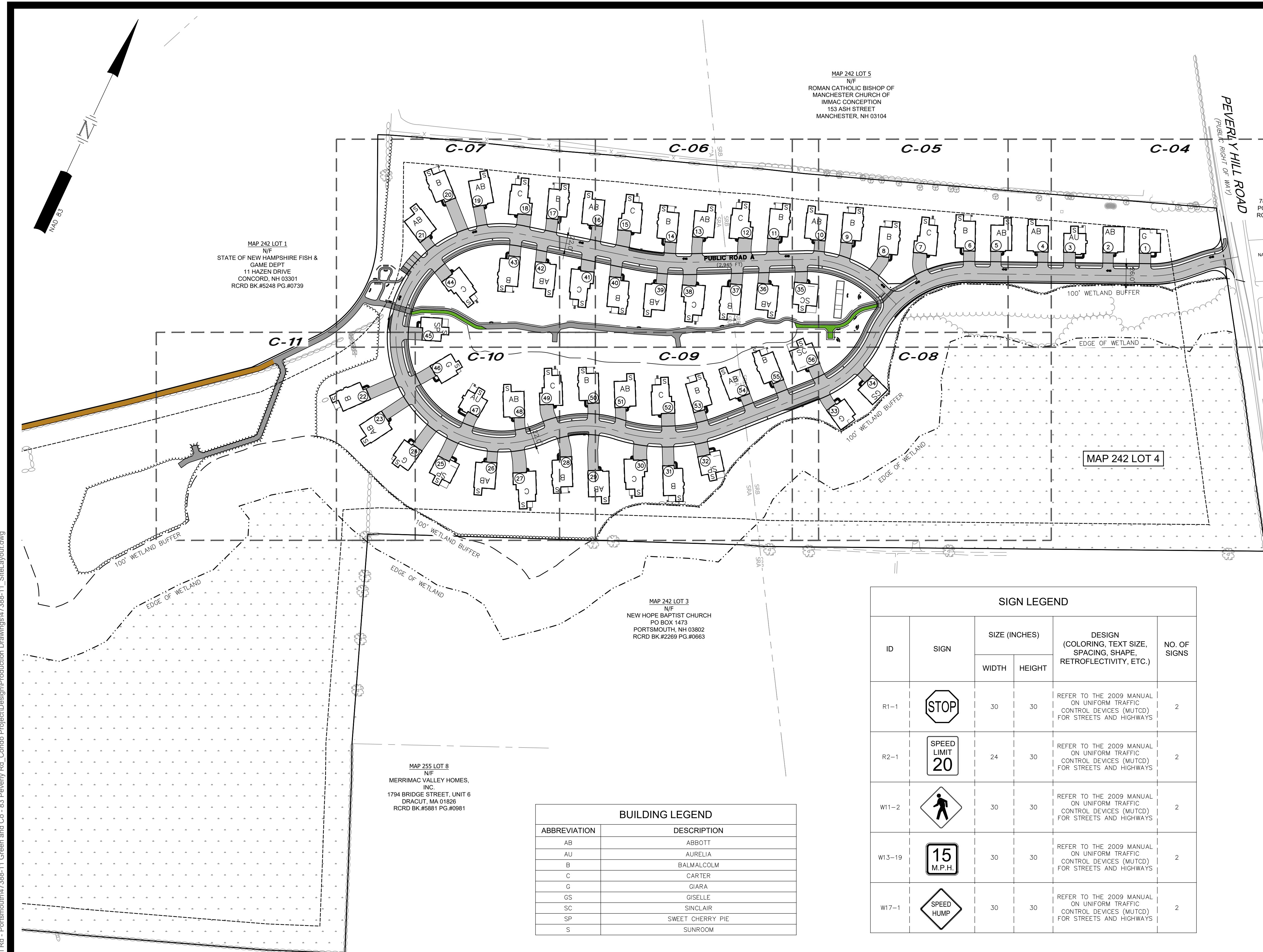
PARKING CALCULATIONS:
 REQUIRED: 1.3 SPACES/UNIT PLUS ONE (1) VISITOR SPACE FOR EVERY 5 DWELLING UNITS.
 TOTAL REQUIRED = 84 SPACES

PROPOSED: 224 SPACES (2 GARAGE SPACES PER UNIT, PLUS 2 PRIVATE DRIVEWAY SPACES PER UNIT)

EFFECTIVE IMPERVIOUS SURFACE CALCULATIONS:
 IMPERVIOUS AREA/TOTAL LOT AREA = 509,454 SF/45,832,250 SF = 0.011
 TOTAL EFFECTIVE IMPERVIOUS SURFACE = 1.10%

NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- SEE GENERAL NOTES ON NOTES & LEGEND SHEET (C-01).
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE 2-FOOT PANEL ALONG THE EDGE OF THE ROADWAY TO BE USED FOR SNOW STORAGE.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGED SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.
- SETBACKS ARE BASED ON THE BUILDING WALLS NOT OVERHANGS. SEPARATION (BUILDING SEPARATION) IS BASED ON THE DEFINITION OF BUILDING COVERAGE IN THE PORTSMOUTH ZONING REGULATIONS, ARTICLE 15, DEFINITIONS. THIS EXEMPTS OVERHANGS LESS THAN 30" FROM THE VERTICAL WALL, TYING THE SETBACK TO THE VERTICAL WALL.



SIGN LEGEND					
ID	SIGN	SIZE (INCHES)		DESIGN (COLORING, TEXT SIZE, SPACING, SHAPE, RETROREFLECTIVITY, ETC.)	NO. OF SIGNS
		WIDTH	HEIGHT		
R1-1		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
R2-1		24	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
W11-2		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
W13-19		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
W17-1		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2

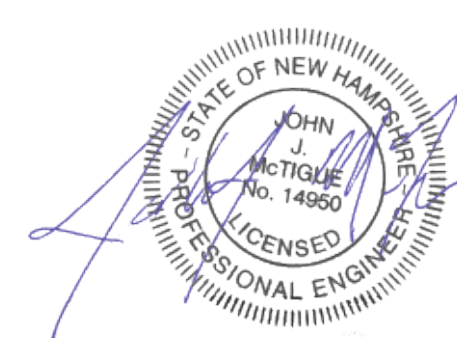
BUILDING LEGEND	
ABBREVIATION	DESCRIPTION
AB	ABBOTT
AU	AURELIA
B	BALMALCOLM
C	CARTER
G	GIARA
GS	GISELLE
SC	SINCLAIR
SP	SWEET CHERRY PIE
S	SUNROOM

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
OVERALL SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40' (11"X17")
SCALE: 1"=20' (22"X34") **APRIL 19, 2021**

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HORIZONTAL SCALE 1"=100'
 100 50 0 100

REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

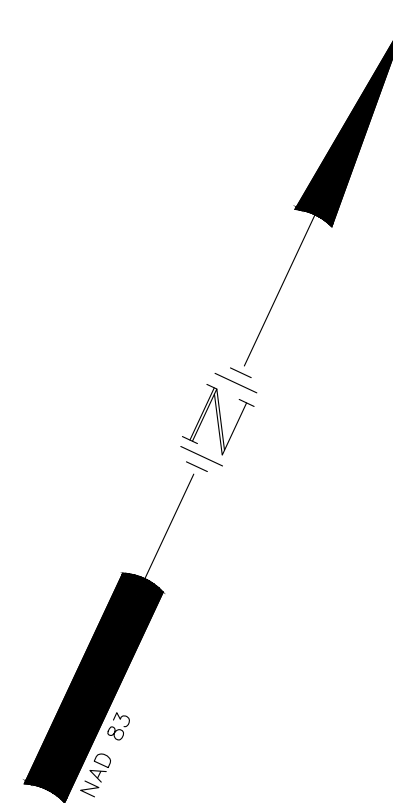
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 Traffic Engineers
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 Landscape Architects
 Scientists

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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_SITE LAYOUT C-03

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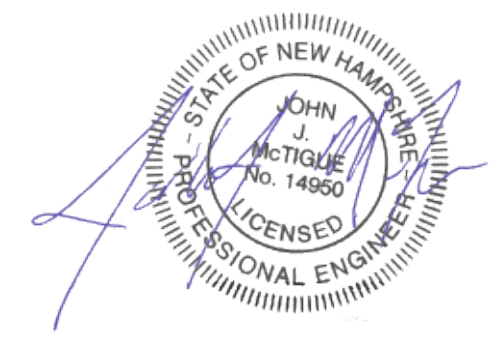
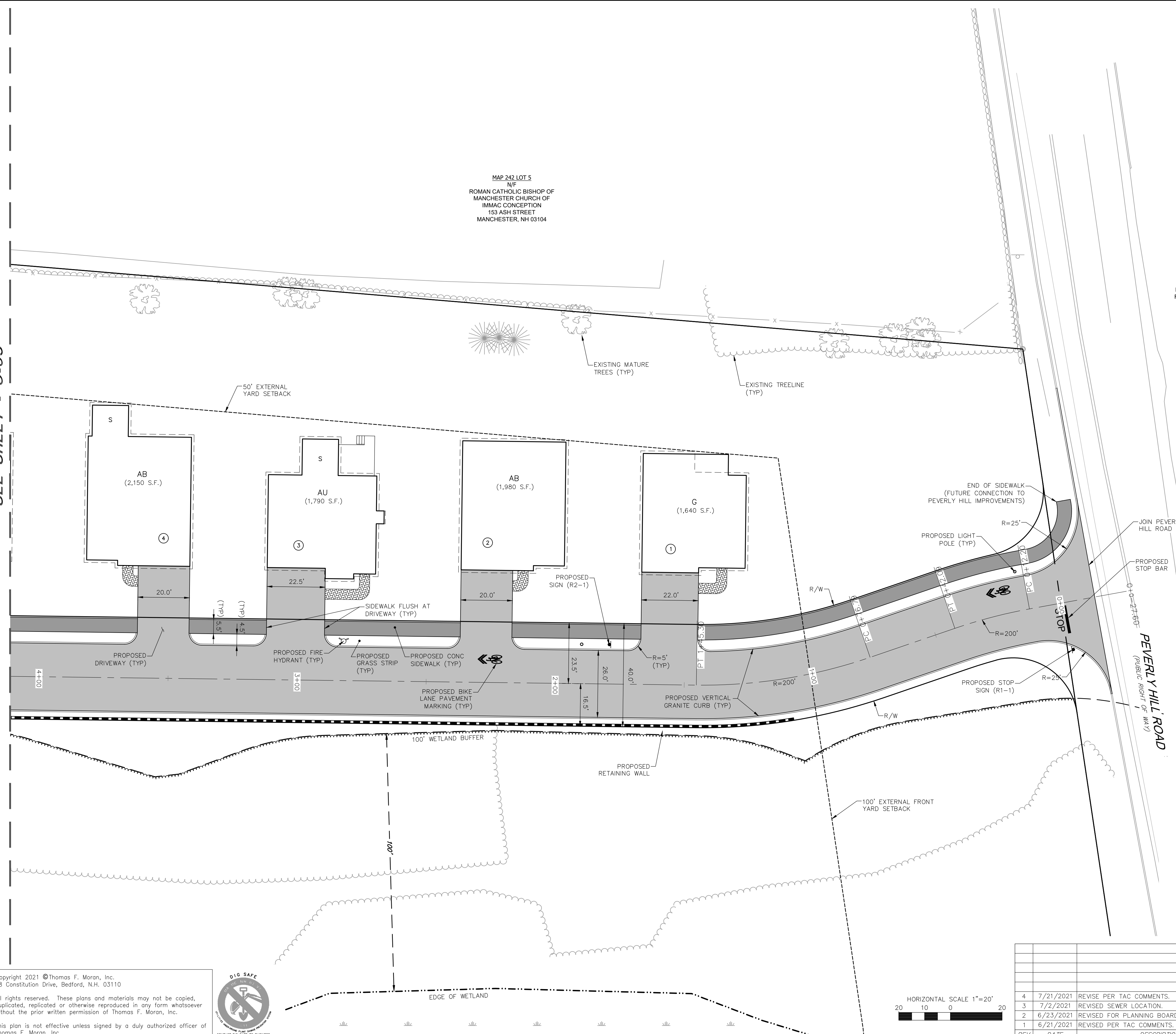


MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/F
DYANNA L. INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK.#3754 PG.#0099

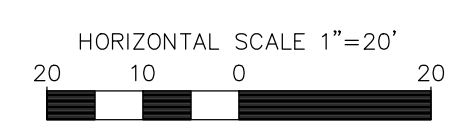
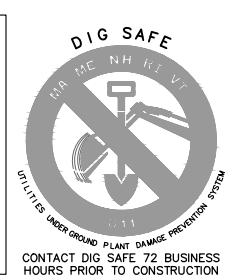
MAP 232 LOT 88
N/F
NATHAN M. & SHERRI M. TARLETON
74 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK.#5885 PG.#1471

SEE SHEET - C-05



SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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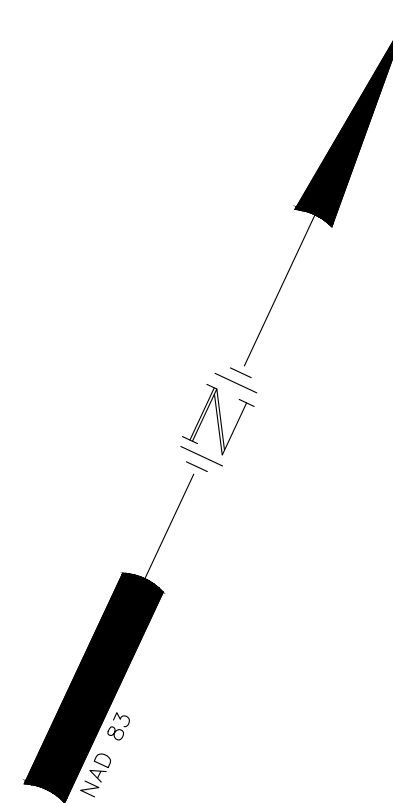


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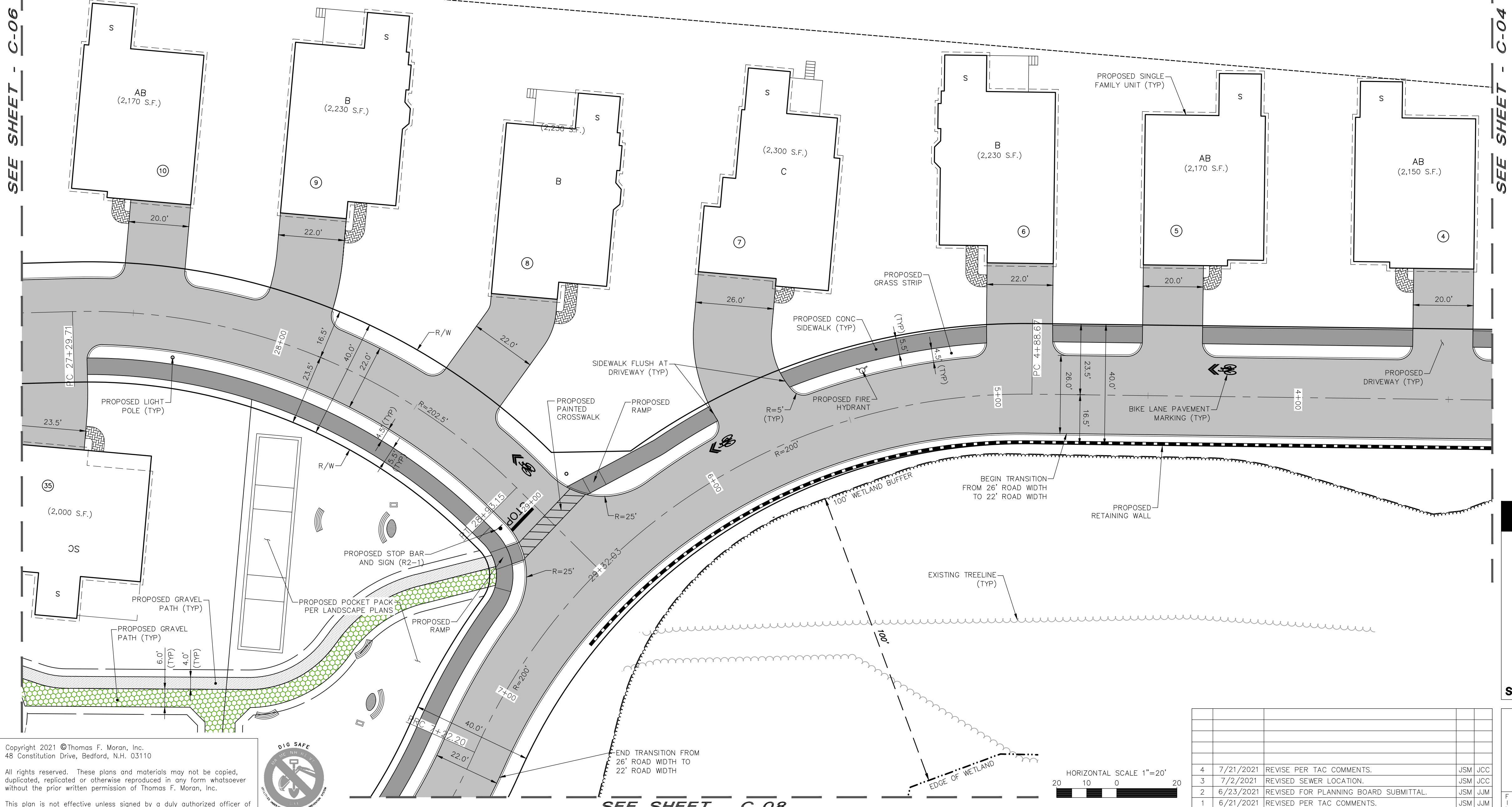
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C-04

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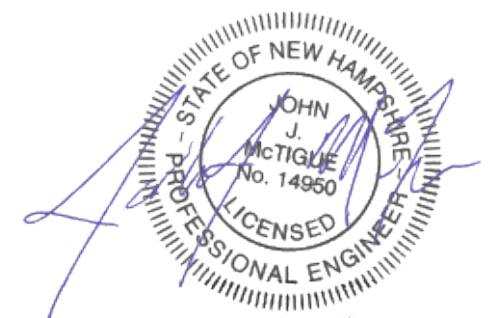


MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104



SEE SHEET - C-06

SEE SHEET - C-04

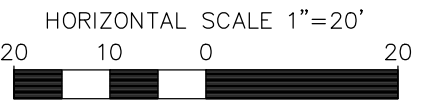


SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
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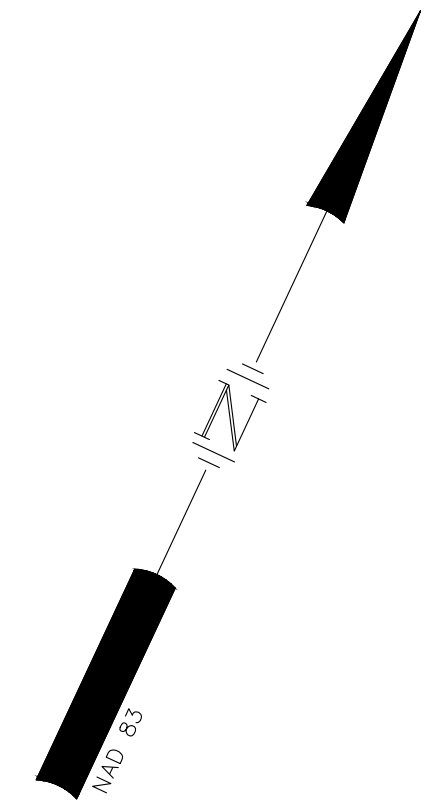
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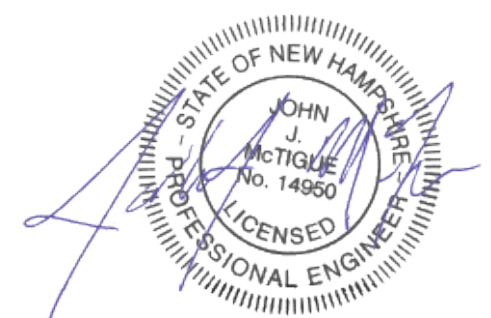
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SEE SHEET - C-07

SEE SHEET - C-05



SITE DEVELOPMENT PLANS

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PARSON WOODS CONDOMINIUM LLC
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Seacoast Division

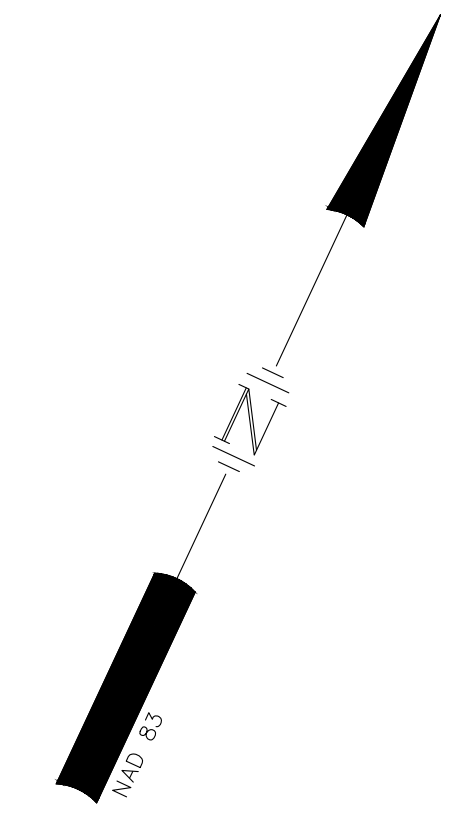
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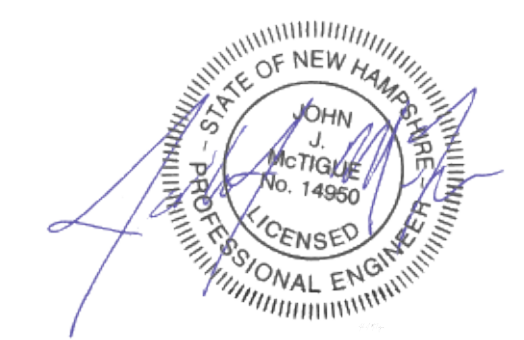
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK #5248 PG #0739



SEE SHEET - C-06



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
SITE LAYOUT PLAN

PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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STOKEL SB & NA TRUST, PHILIP J 25% INT
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 CK JJM CADFILE 47388-11_SITE LAYOUT C-07

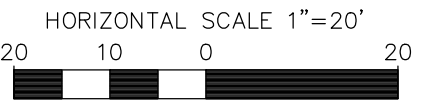
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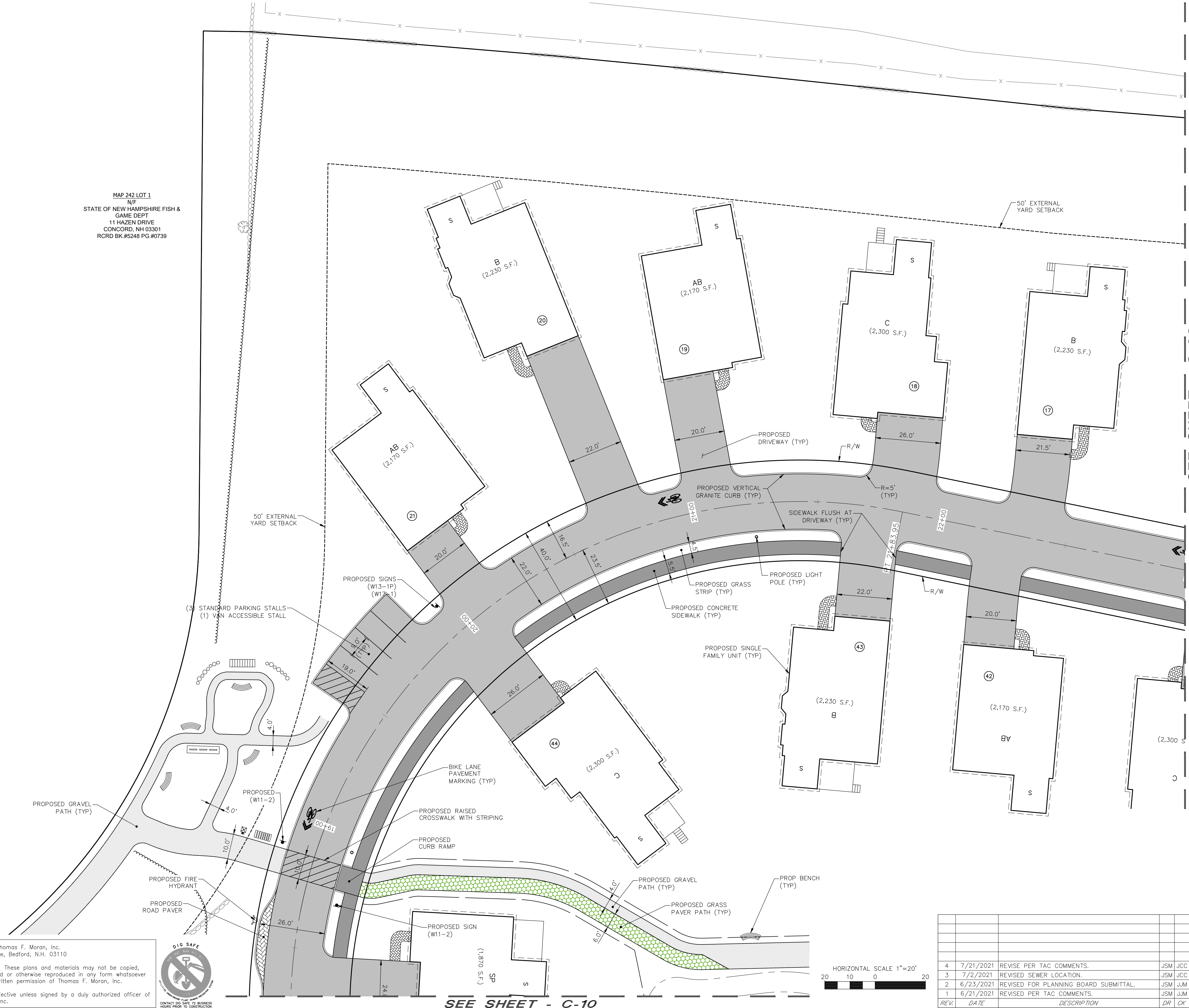


CONTACT DR. 9 AM - 5 PM, MON-FRI, BUSINESS HOURS PRIOR TO CONSTRUCTION

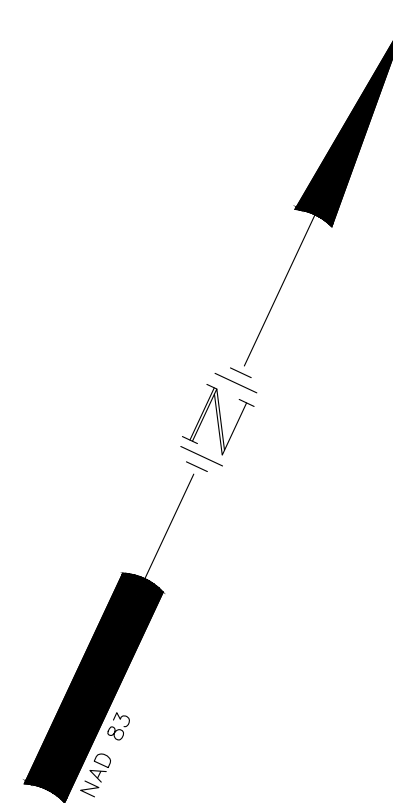
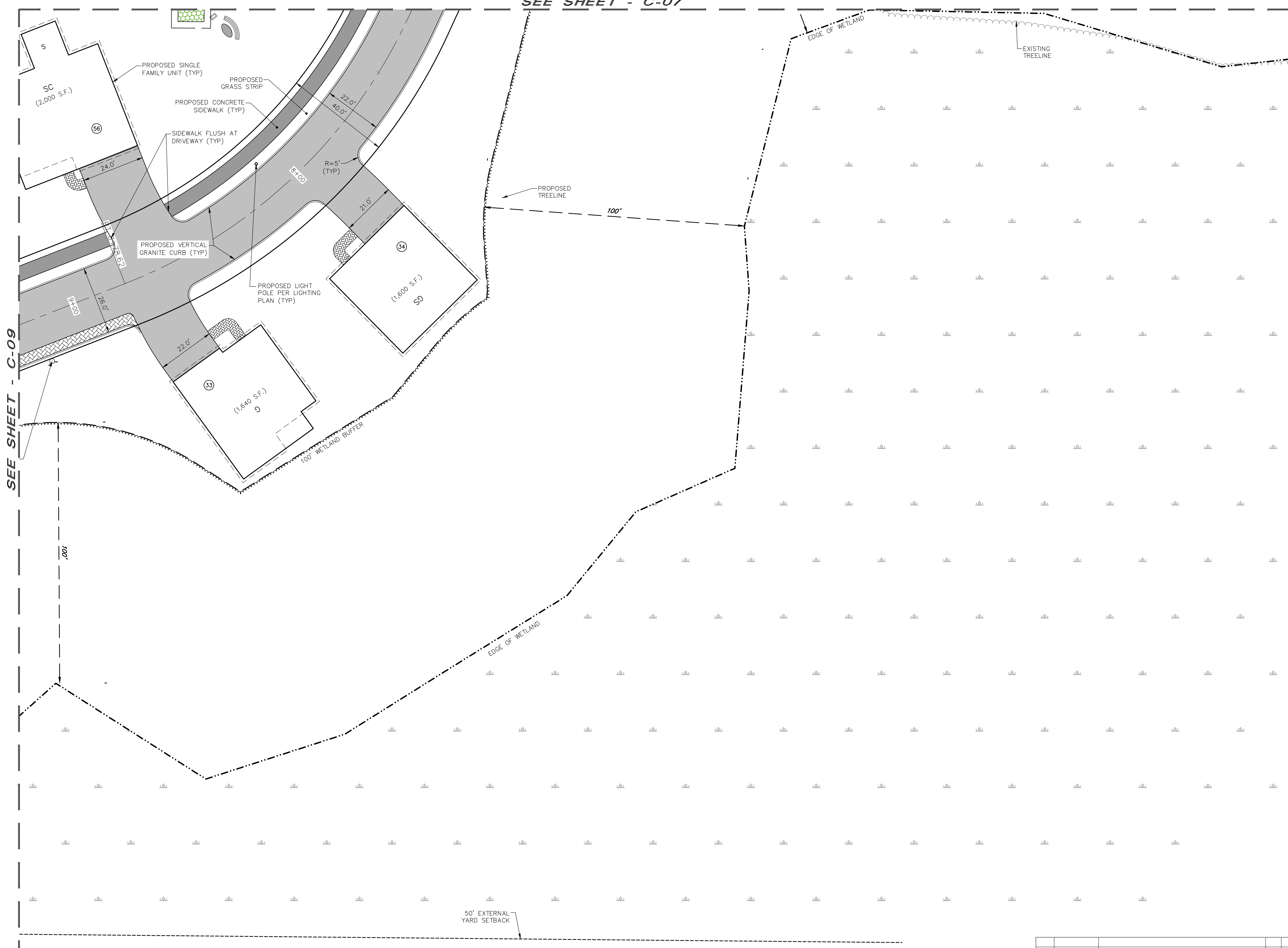
SEE SHEET - C-10



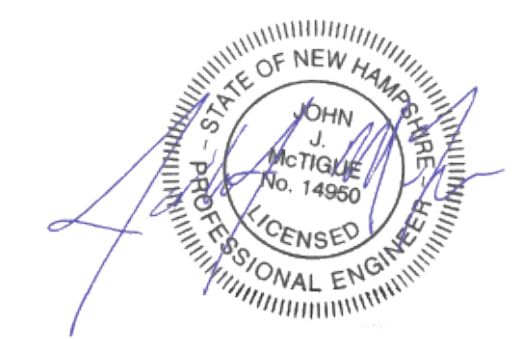
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM



SEE SHEET - C-07

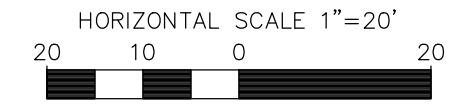


SEE SHEET - C-09



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE LAYOUT PLAN
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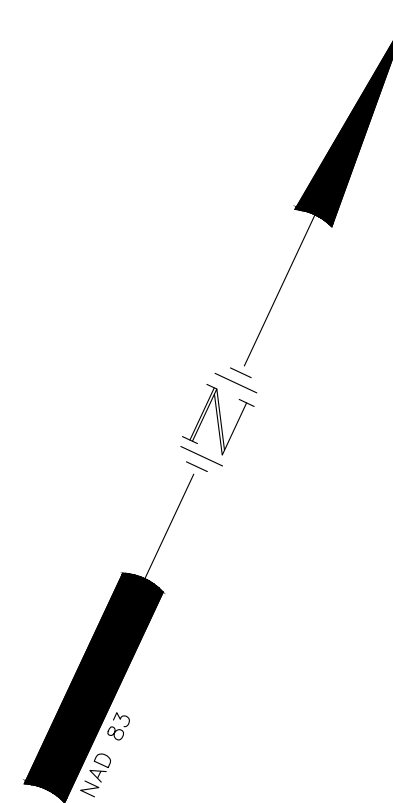
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47388.11
 DR JSM FB
 CK JJM CADFILE 47388-11_SITELAYOUT
 C-08

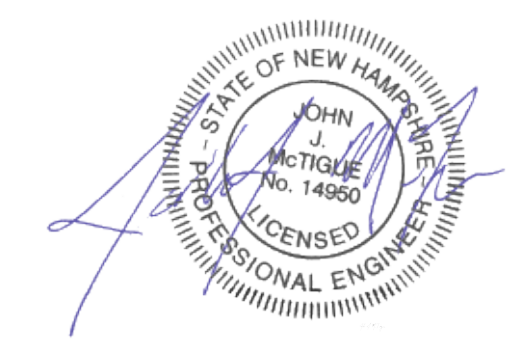
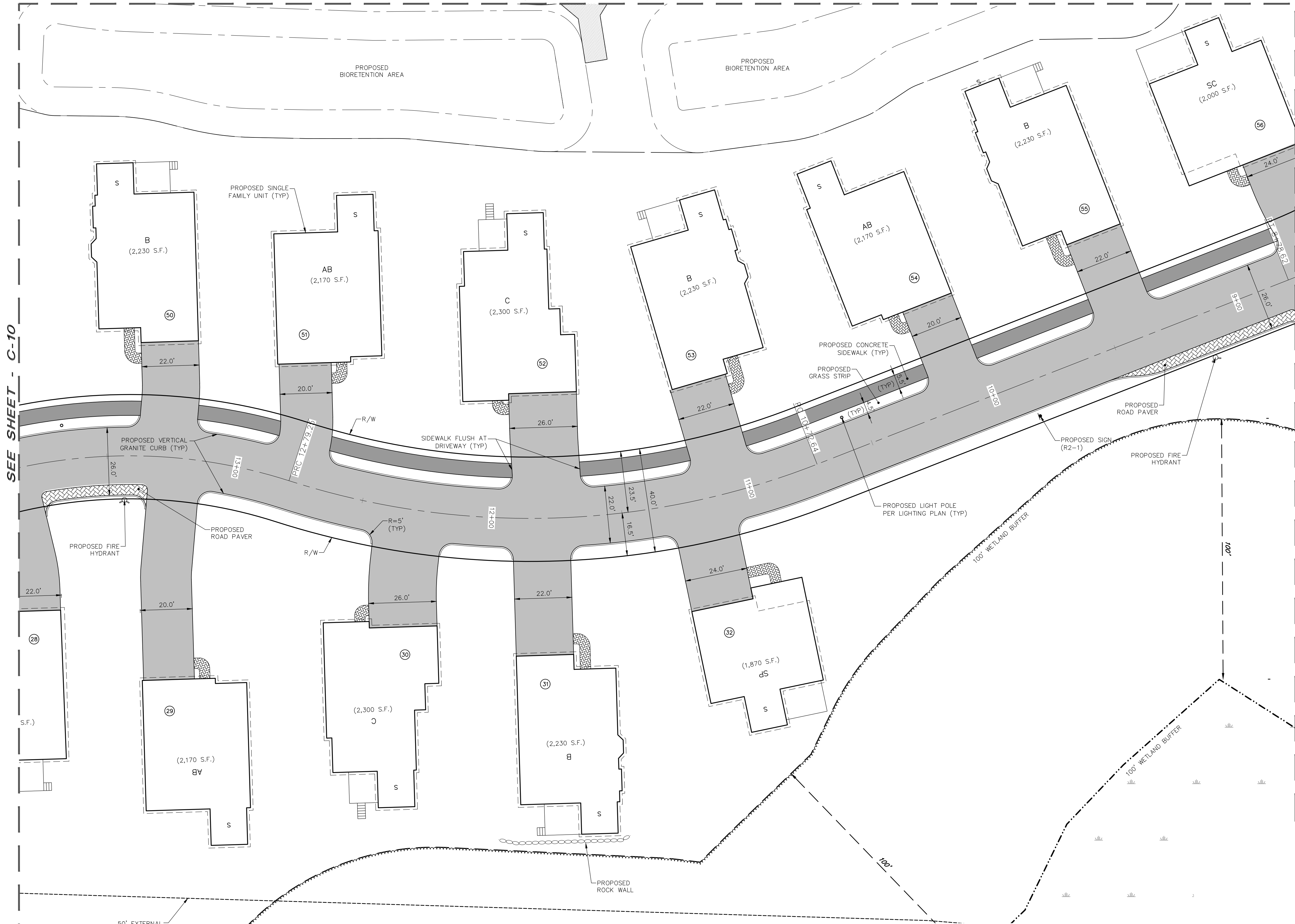
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SEE SHEET - C-08



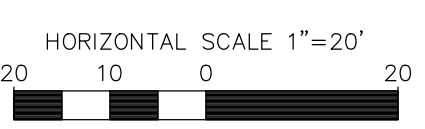
SEE SHEET - C-10

SEE SHEET - C-08



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
SCALE: 1"=20' (22"X34") **APRIL 19, 2021**

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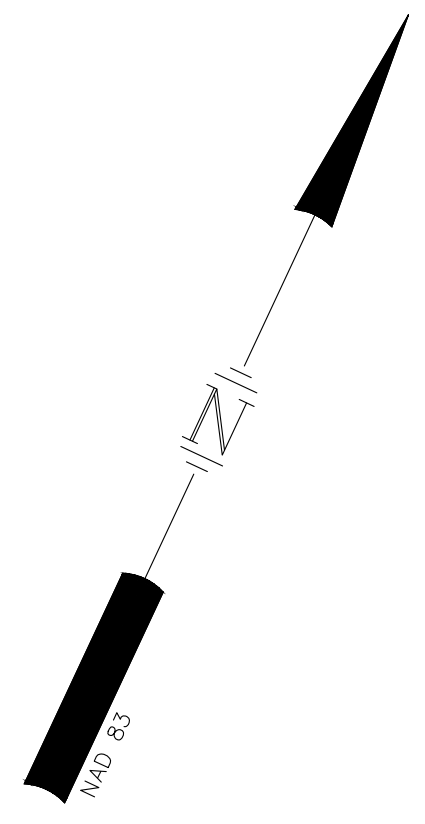
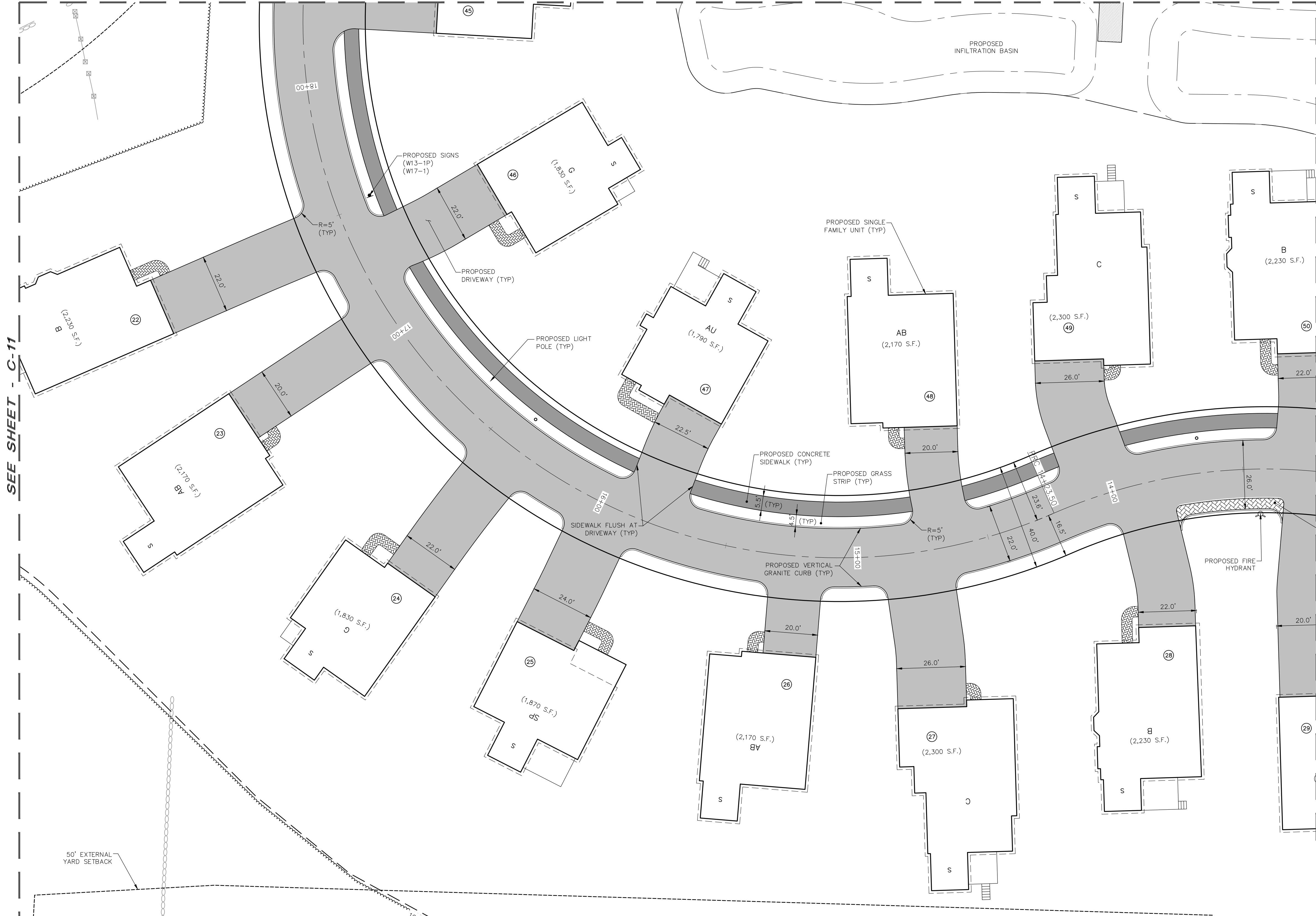
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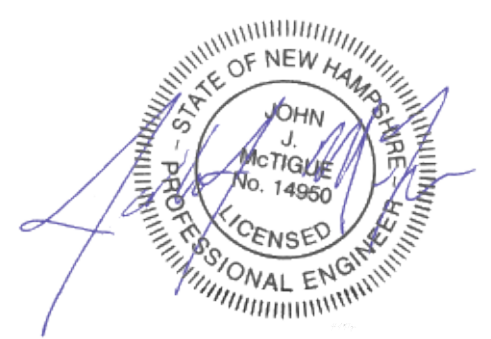
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SEE SHEET - C-07



SEE SHEET - C-11

SEE SHEET - C-09



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
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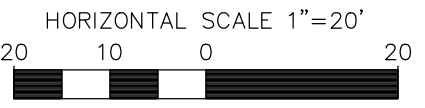
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SEE SHEET - C-EE

SEE SHEET - C-10

MAP 242 LOT 1
N/F
STATE OF NEW HAMPSHIRE FISH &
GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK.#5248 PG.#0739

DIRT PATH FOR
BICYCLE/PEDESTRIAN
ACCESS TO RAIL TRAIL
(SEE SHEET C-67)

50' EXTERNAL
YARD SETBACK

GRAVEL MAINTENANCE
ACCESS ROAD TO BMP

PROPOSED
TREELINE

100' WETLAND BUFFER

EDGE OF WETLAND

50' EXTERNAL
YARD SETBACK

PROPOSED GRAVEL
PATH (TYP)

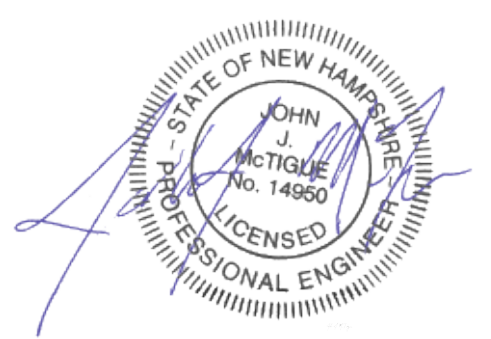
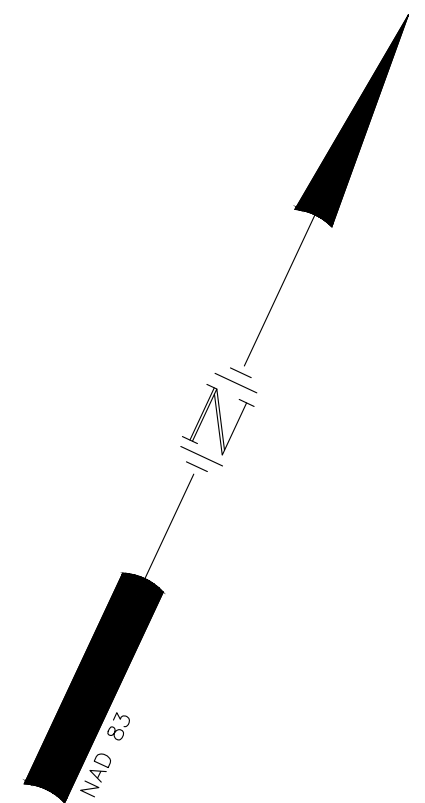
TRANSITION FROM GRAVEL
TO DIRT/NATIVE SURFACE

PROPOSED
ROCK WALL

(2,230 S.F.)
B

(2,170 S.F.)
A

(1,830 S.F.)
D



SITE DEVELOPMENT PLANS

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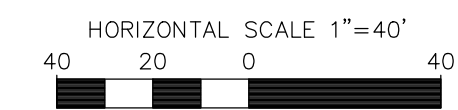
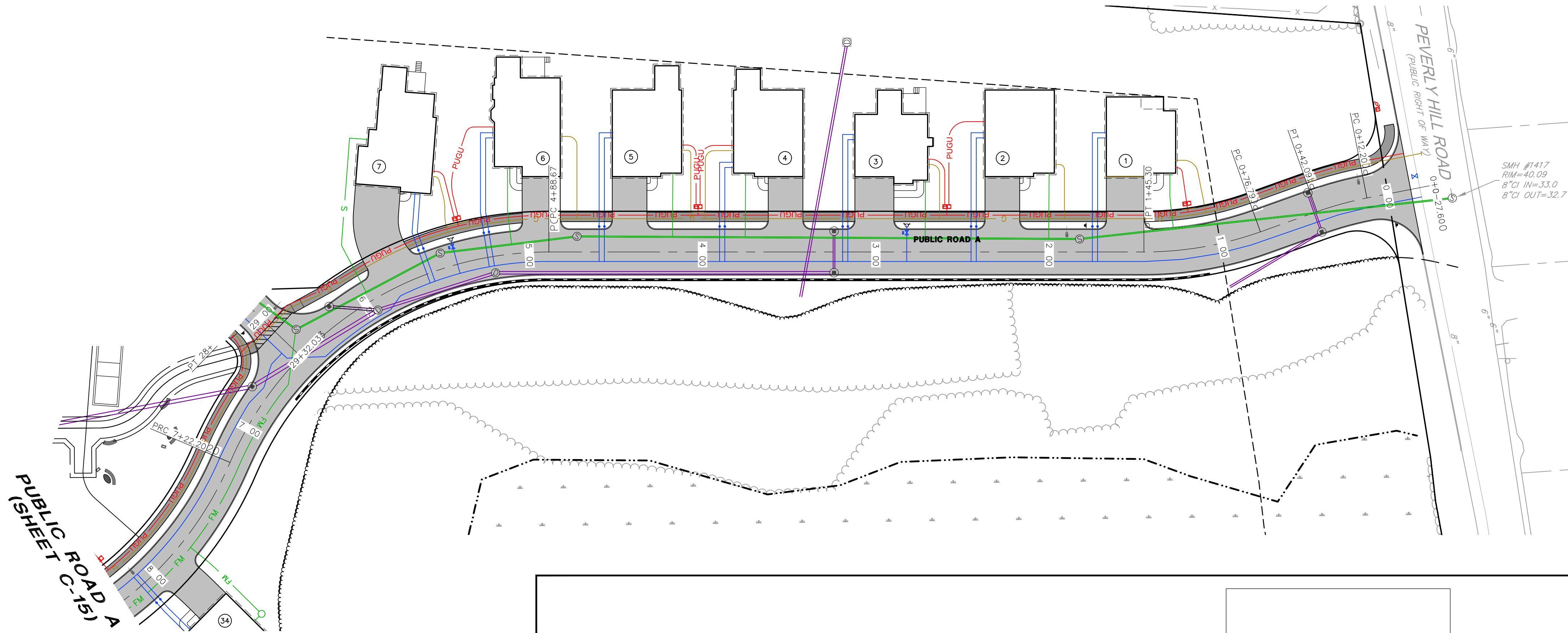


HORIZONTAL SCALE 1"=20'
20 10 0 20

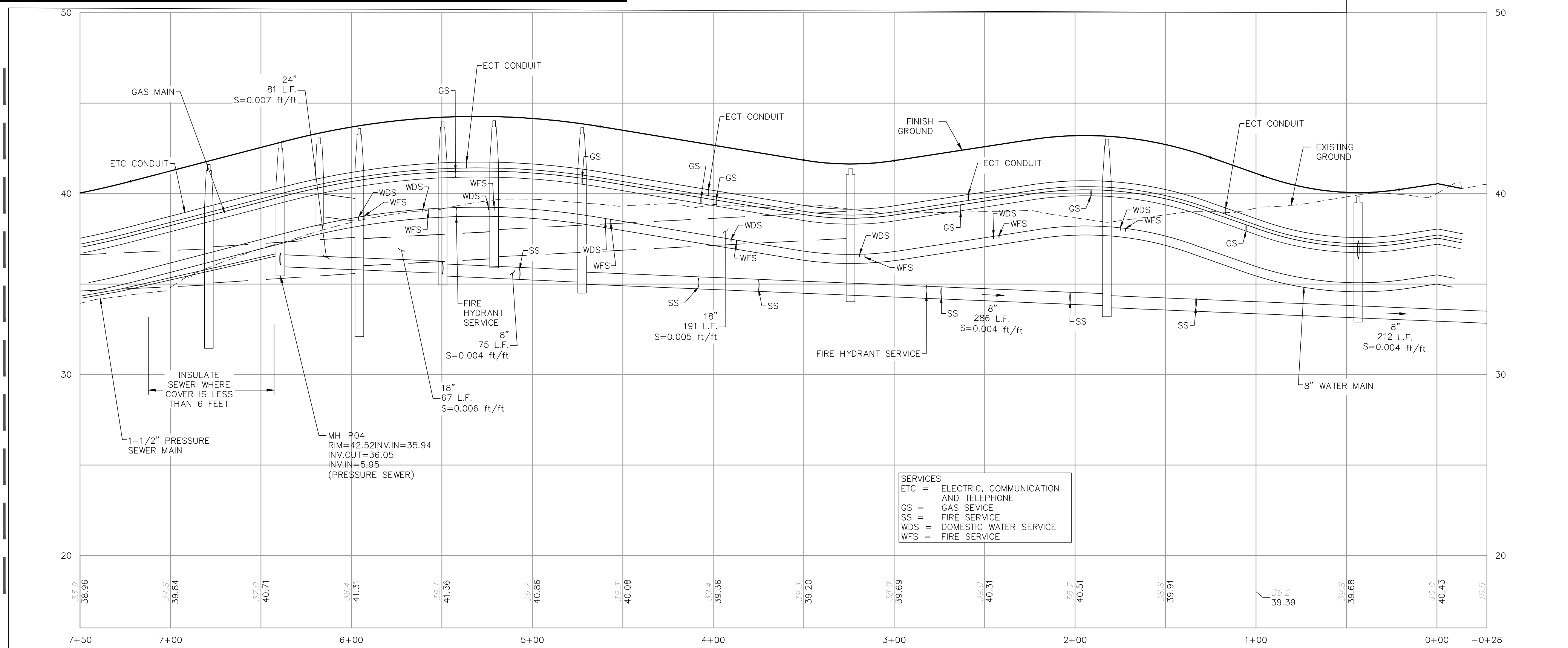
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47388.11	DR	JSM	FB	-
	CK	JJM	CADFILE	47388-11_SITELAYOUT
				C-11

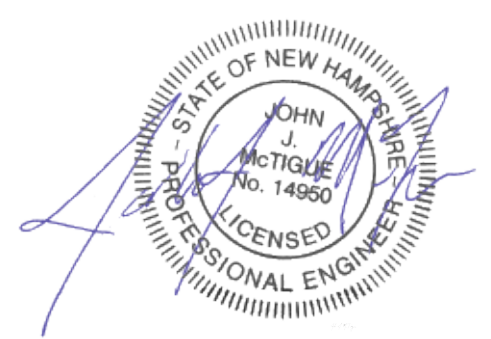
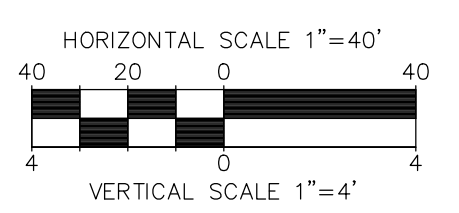
MATCHLINE PUBLIC ROAD A (SHEET C-13)



MATCHLINE PUBLIC ROAD A (SHEET C-13)



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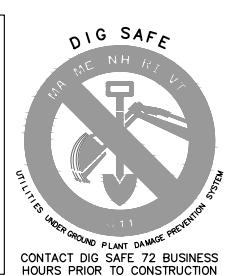
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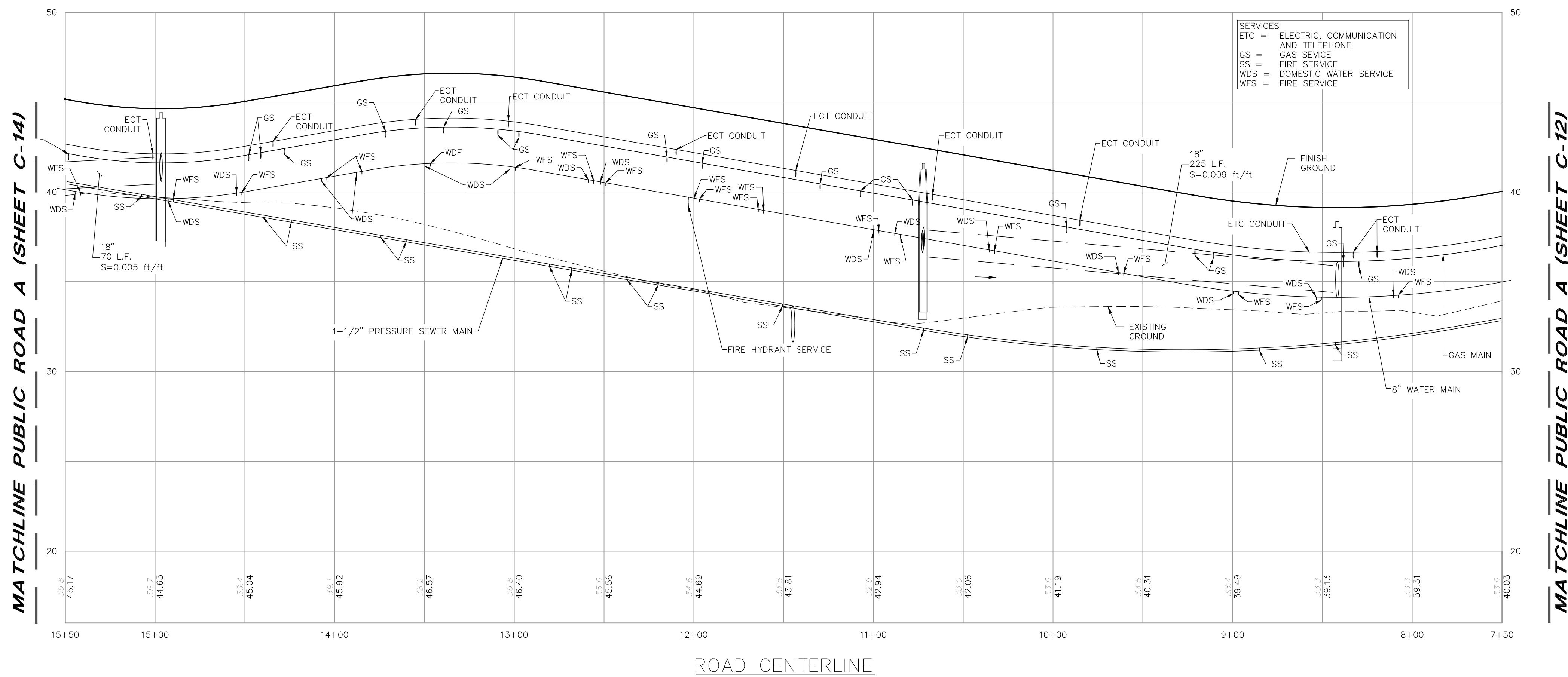
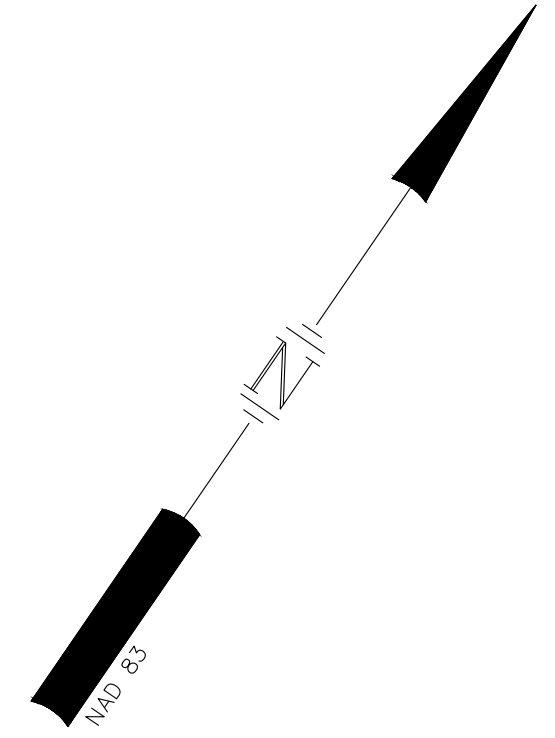
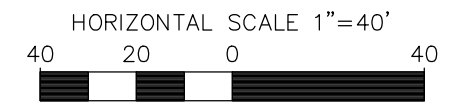
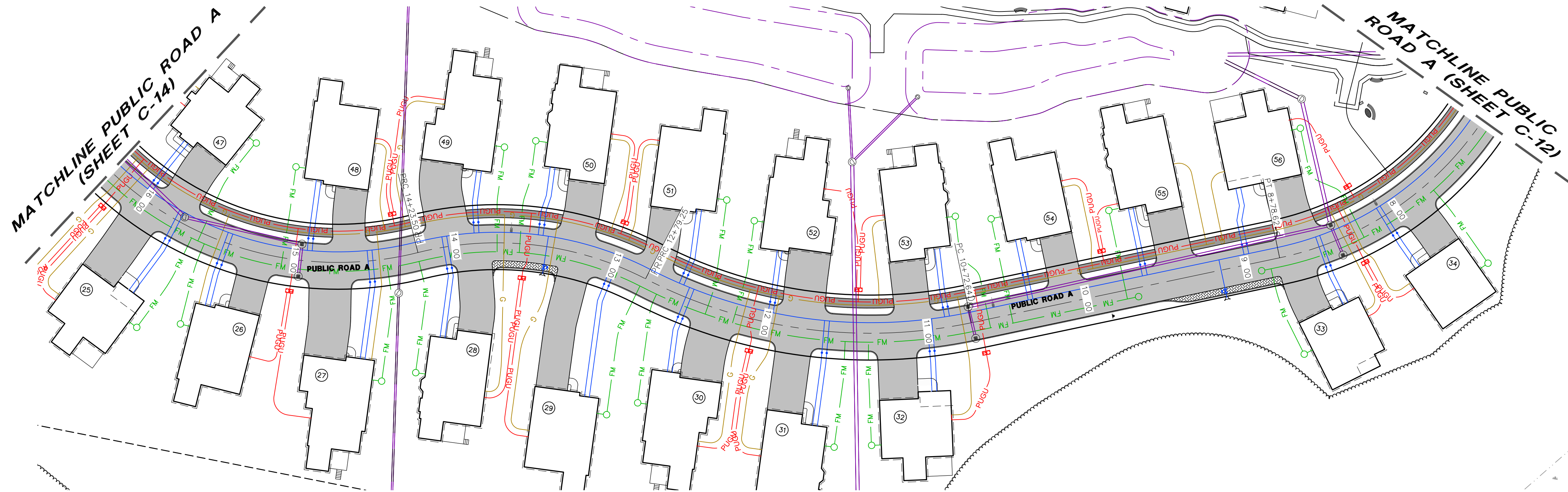
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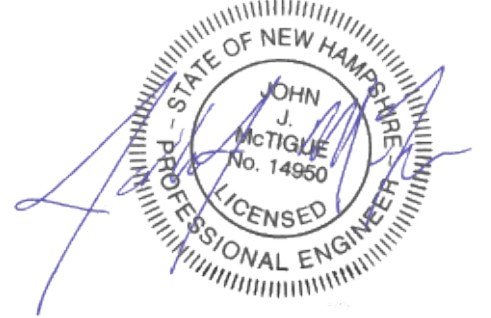
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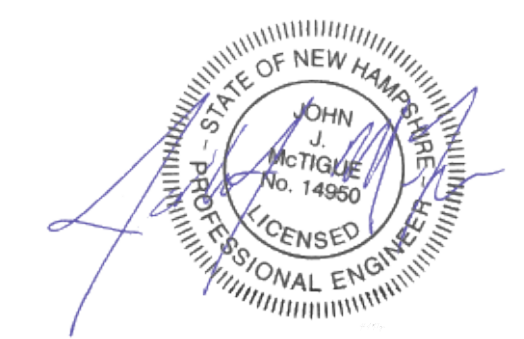
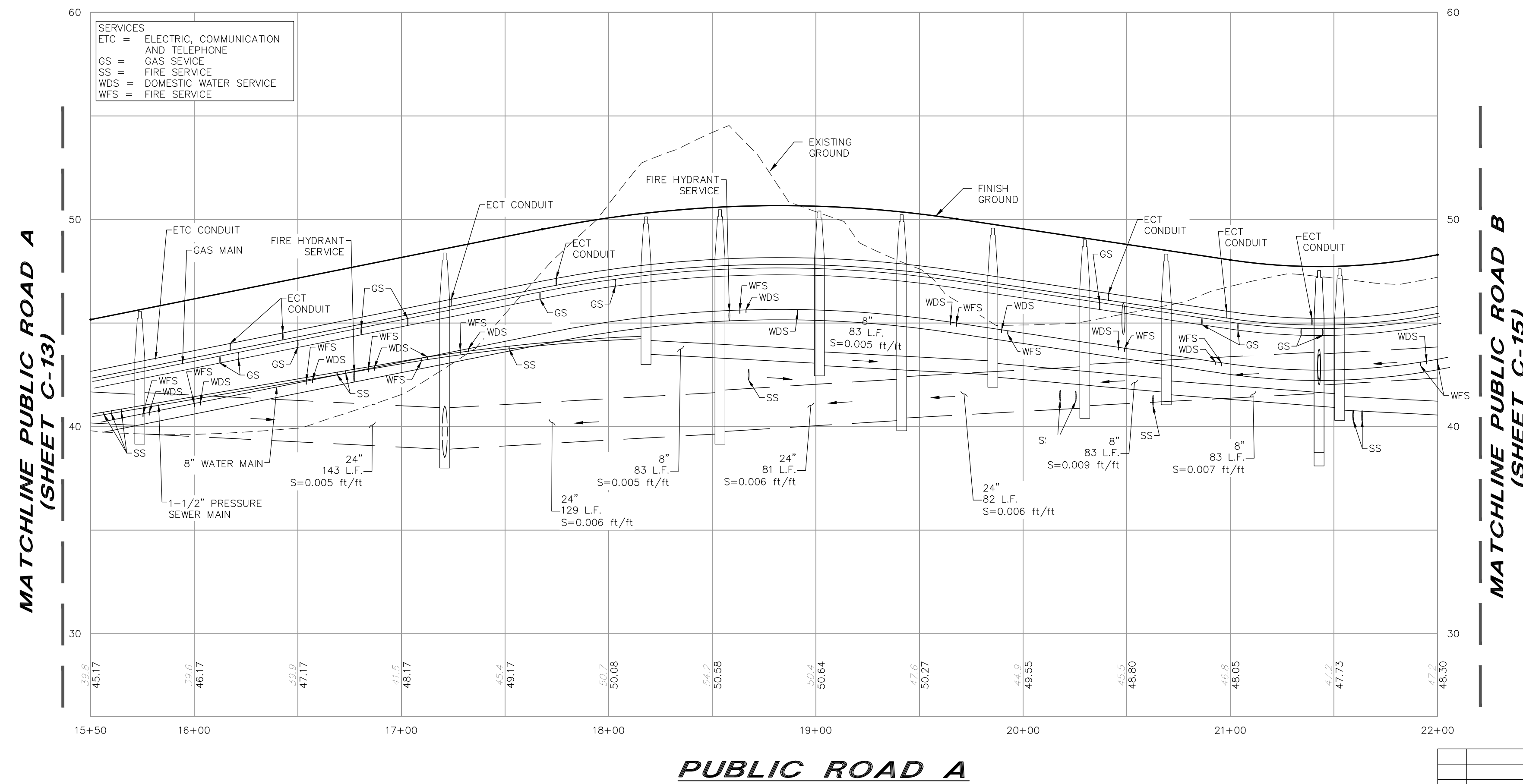
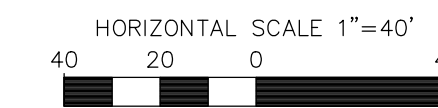
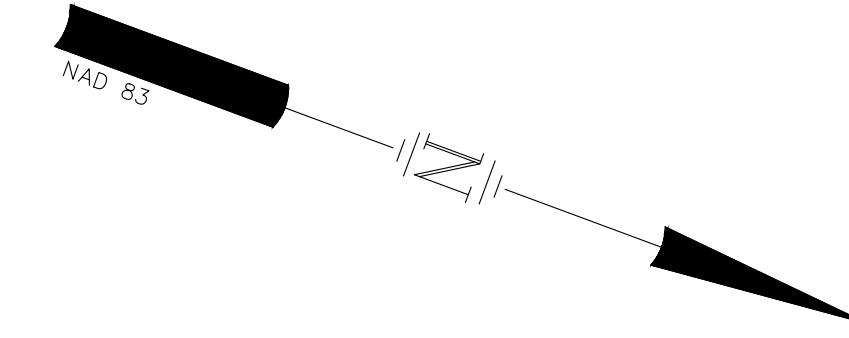
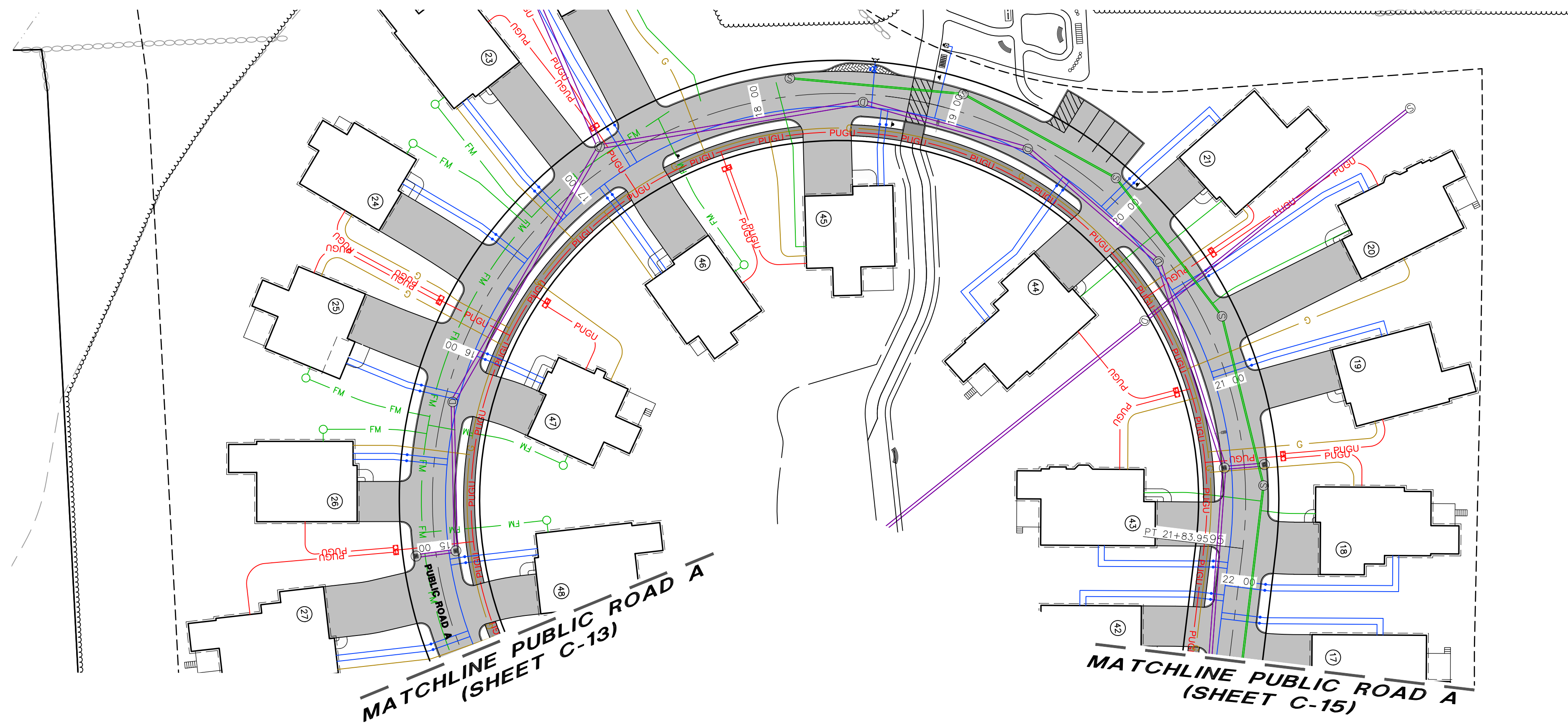
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 CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

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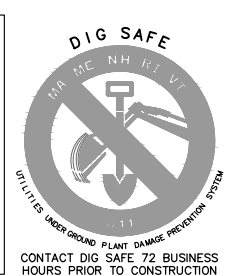
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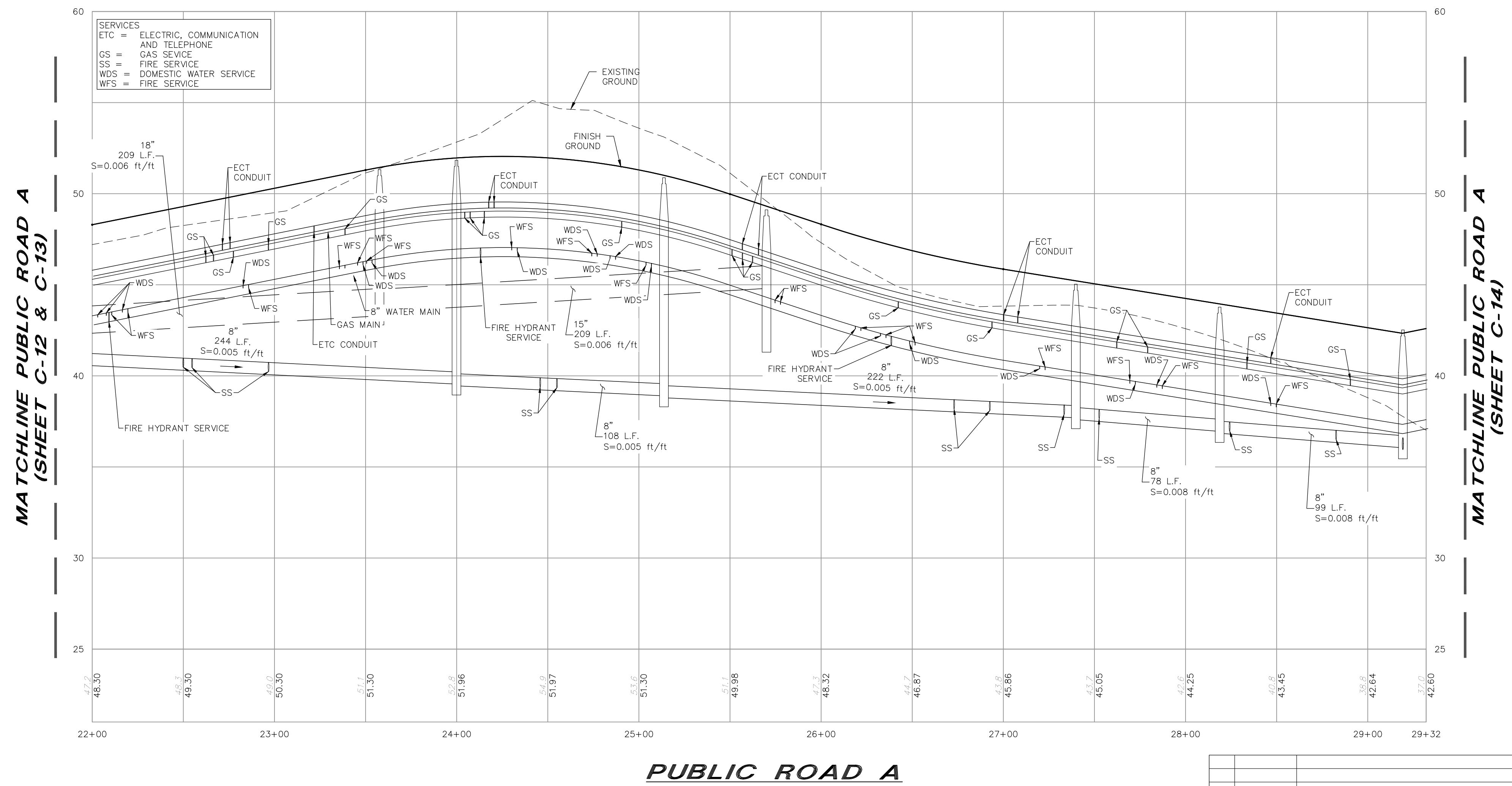
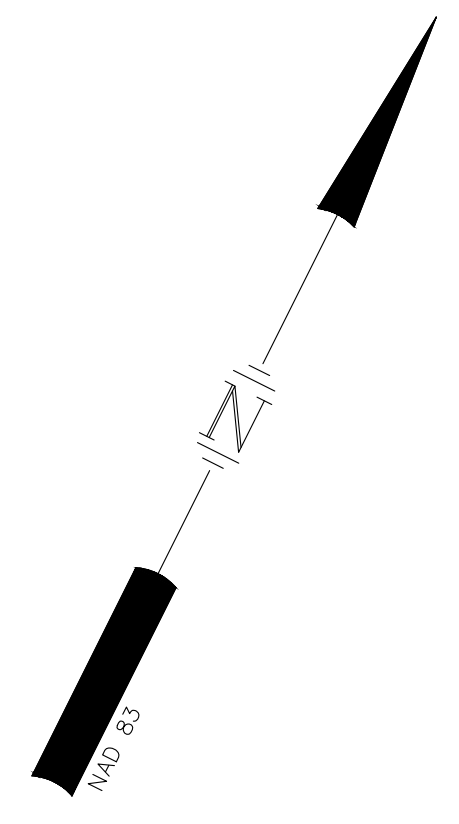
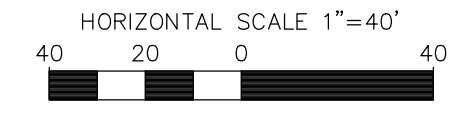
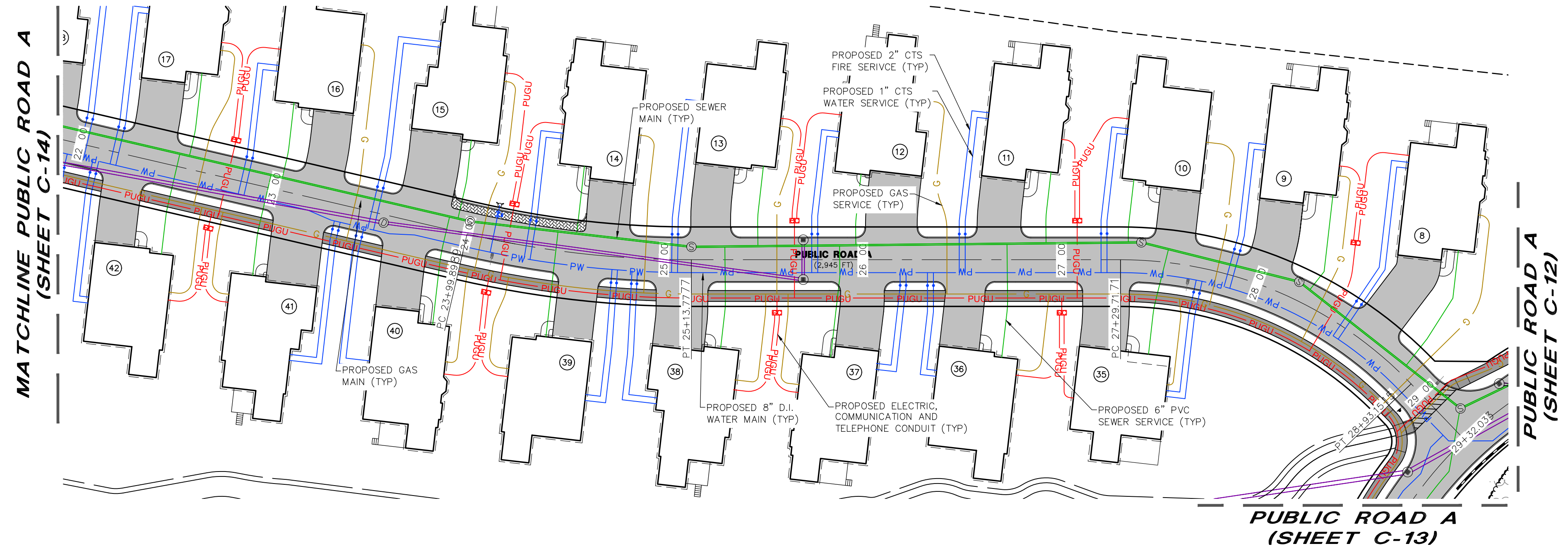
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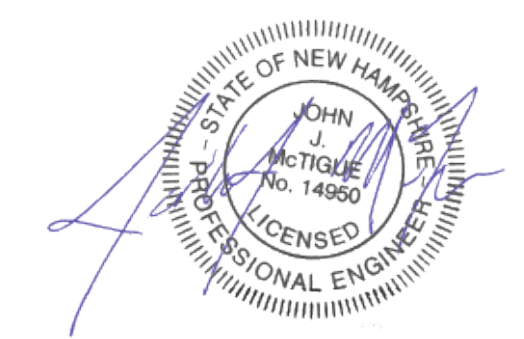
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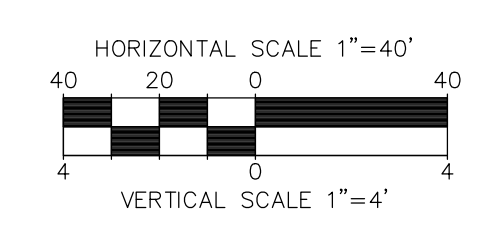
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BEST MANAGEMENT PRACTICES FOR BLASTING

- PURPOSE. THE PURPOSE OF THIS PART IS TO ESTABLISH BEST MANAGEMENT PRACTICES FOR BLASTING TO MINIMIZE THE POTENTIAL FOR GROUNDWATER CONTAMINATION, TO ENSURE THAT THE GROUNDWATER CAN BE USED FOR EXISTING AND FUTURE DRINKING WATER SUPPLY SOURCES. (SEE RN3 AT P. V.) #12342, EFF 8-15-17
- LOADING PRACTICES. THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:
 - THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
 - THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
 - GROUNDWATER CONDITIONS;
 - THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
 - EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
 - USED IN THE BOREHOLE;
 - RETURNED TO THE DELIVERY VEHICLE; OR
 - PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
 - SPILLAGE AROUND THE BOREHOLE SHALL BE:
 - PLACED IN THE BOREHOLE; OR
 - CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
 - LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
 - LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
 - EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. SOURCE: (SEE RN3 AT P. V.) #12342, EFF 8-15-17
- EXPLOSIVE SELECTION. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE:
 - APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION; AND
 - HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT.
- PREVENTION OF MISFIRES. INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISFIRES.
- MUCK AND ROCK MANAGEMENT.
 - FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:
 - "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING;
 - "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED; AND
 - "ROCKS" MEANS THE LARGER PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR USE ELSEWHERE INCLUDING FROM A ROCK CRUSHING OPERATION;
 - MUCK SHALL BE REMOVED FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE;
 - ROCKS SHALL BE MANAGED SO AS TO PREVENT WATER SUPPLY WELLS OR SURFACE WATERS FROM BEING CONTAMINATED BY RUNOFF.
- SPILL PREVENTION MEASURES AND SPILL MITIGATION.
 - FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY ENV-WO 401.04.
 - PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.
- FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT.
 - IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FOLLOWING SHALL APPLY:
 - PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;
 - THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERFILLING THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT EQUIPMENT;
 - THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE FUEL DELIVERY TRUCK; AND
 - PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
 - IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:
 - ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT:
 - IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND
 - HAS AN IMPERVIOUS FLOOR;
 - SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT PROVIDING 110 PERCENT OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER;
 - FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLETES;
 - THE AREA WHERE FUEL IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
 - IS ADJACENT TO THE FUEL CONTAINER(S); AND
 - EXTENDS BEYOND THE FULL REACH, OR LENGTH, OF THE FUEL HOSE; AND
 - SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS:
 - SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER;
 - LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE GEOMEMBRANE LINER; AND
 - BACKFILLED WITH AT LEAST 6 INCHES OF SAND.

NOTES:

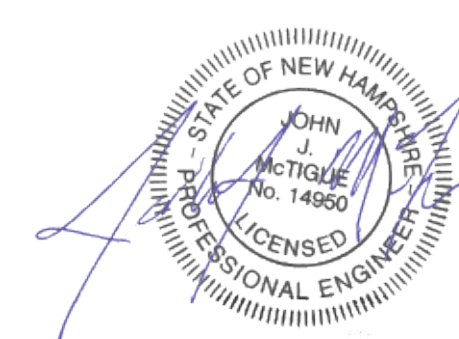
- A THIRD PARTY SHALL INSPECTOR SHALL BE ON SITE TO INSPECT THE INSTALLATION OF THE STORM DRAINAGE SYSTEMS.
- SEE GRADING NOTES ON NOTES & LEGEND SHEET (C-01).
- LOT GRADING SHOWN IS APPROXIMATE AND MAY VARY DEPENDING ON HOUSE SIZE, STYLE, AND LOCATION. STORMWATER SHALL BE DIRECTED TO AREAS SHOWN ON THIS PLAN.

SITE DEVELOPMENT PLANS

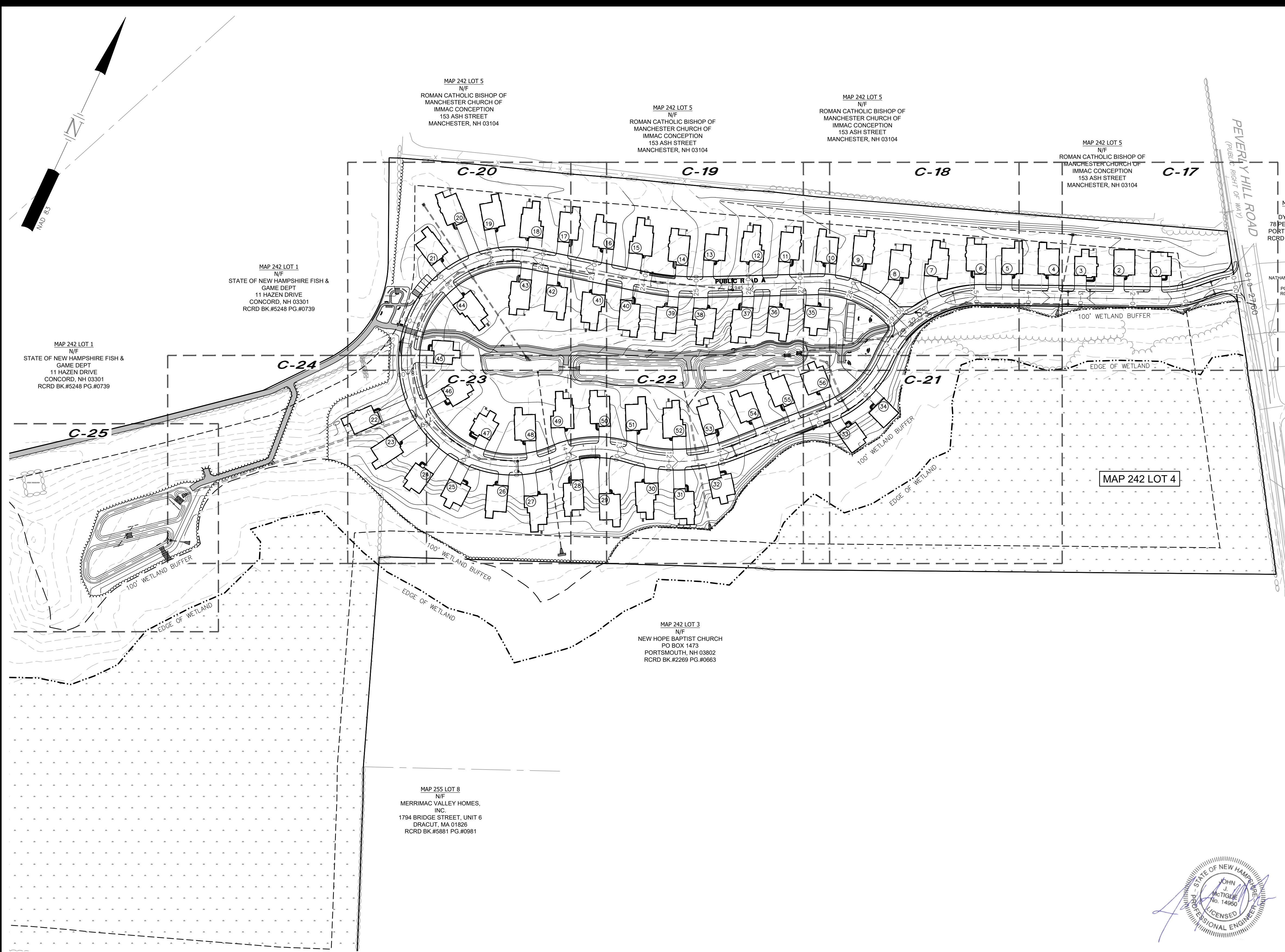
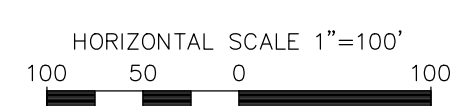
TAX MAP 242 LOT 4
OVERALL GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40' (11'X17')
SCALE: 1"=20' (22'X34') **APRIL 19, 2021**

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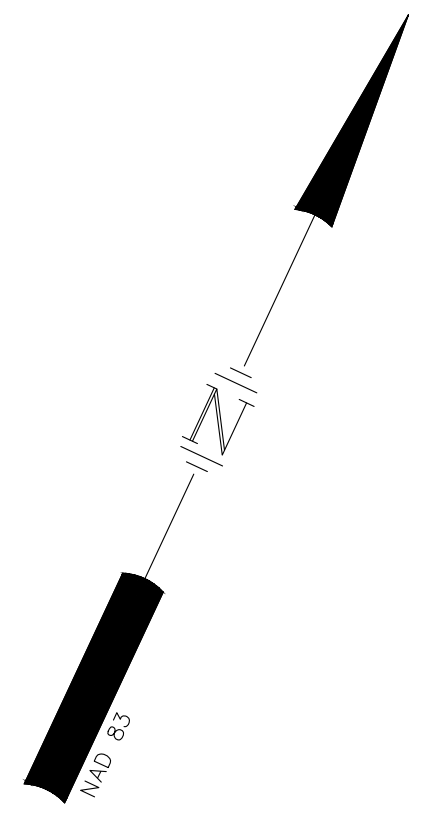
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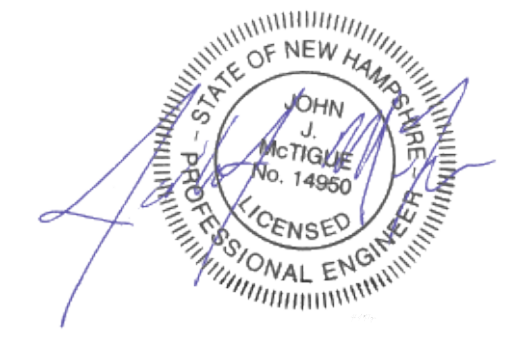
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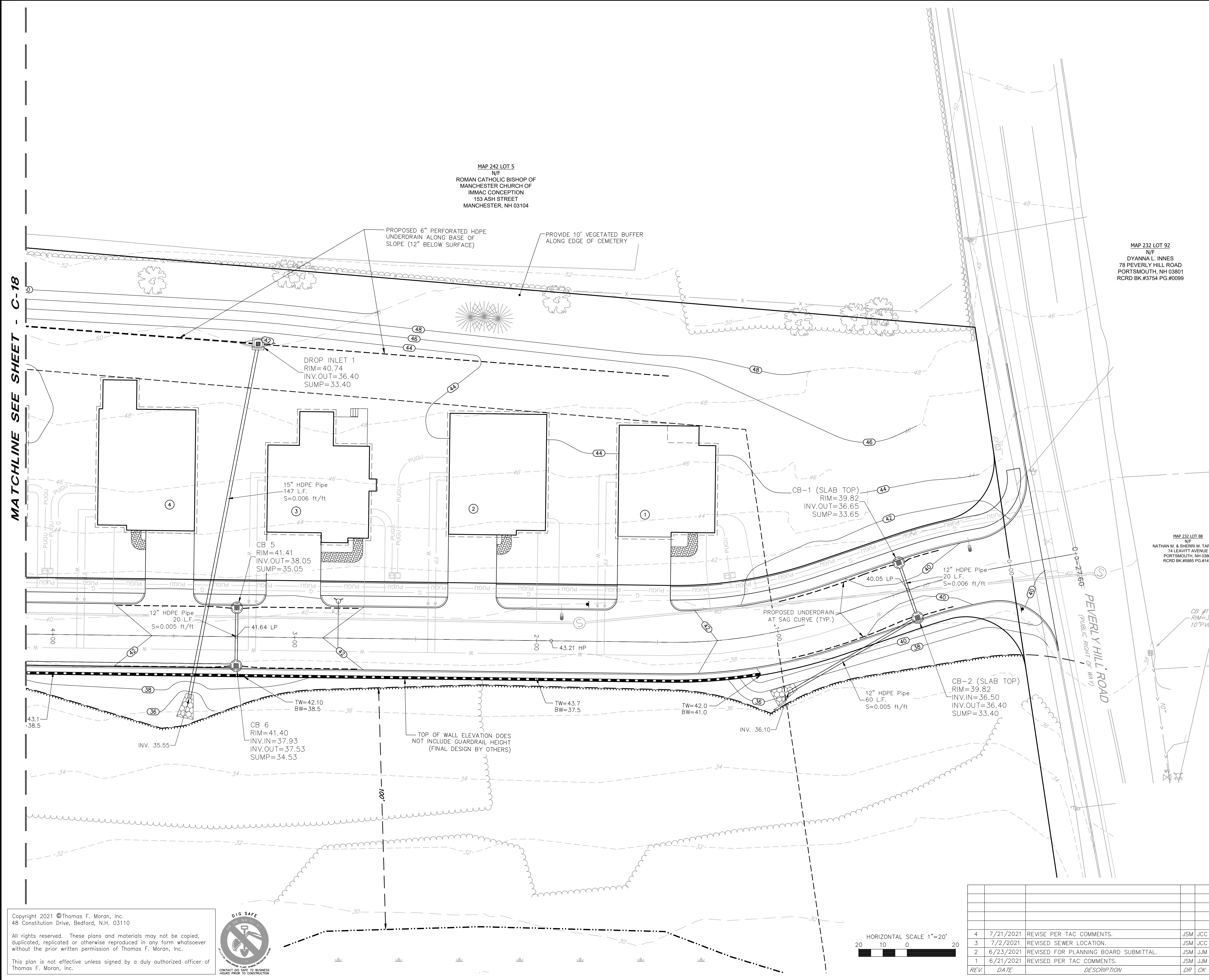
MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/F
DYANNA L. INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK.#3754 PG.#0099

MAP 232 LOT 88
N/F
NATHAN M. & SHERRI M. TAR
74 LEAVITT AVENUE
PORTSMOUTH, NH 0386
RCRD BK.#5885 PG.#14

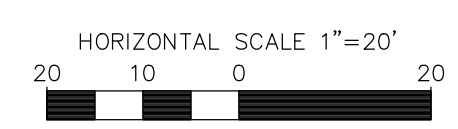


MATCHLINE SEE SHEET - C-18



SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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PREPARED FOR
GREEN & COMPANY REAL ESTATE
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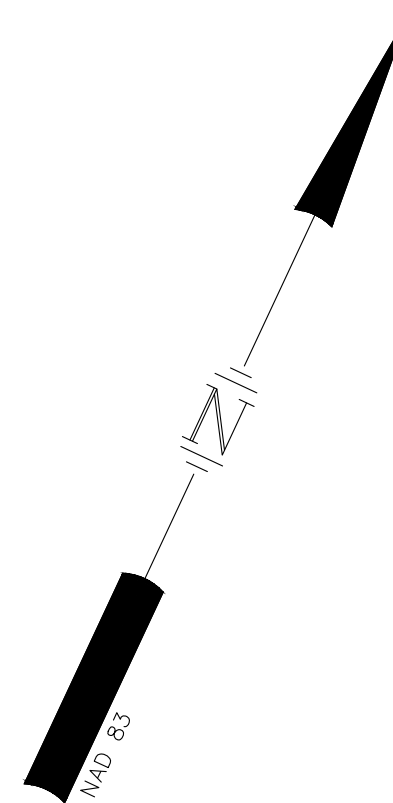


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47388.11 DR JSM FB
CK JJM CADFILE 47388-11_GRADINGDRAINAGE
C-17

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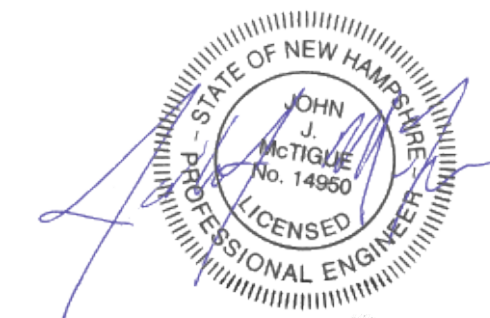
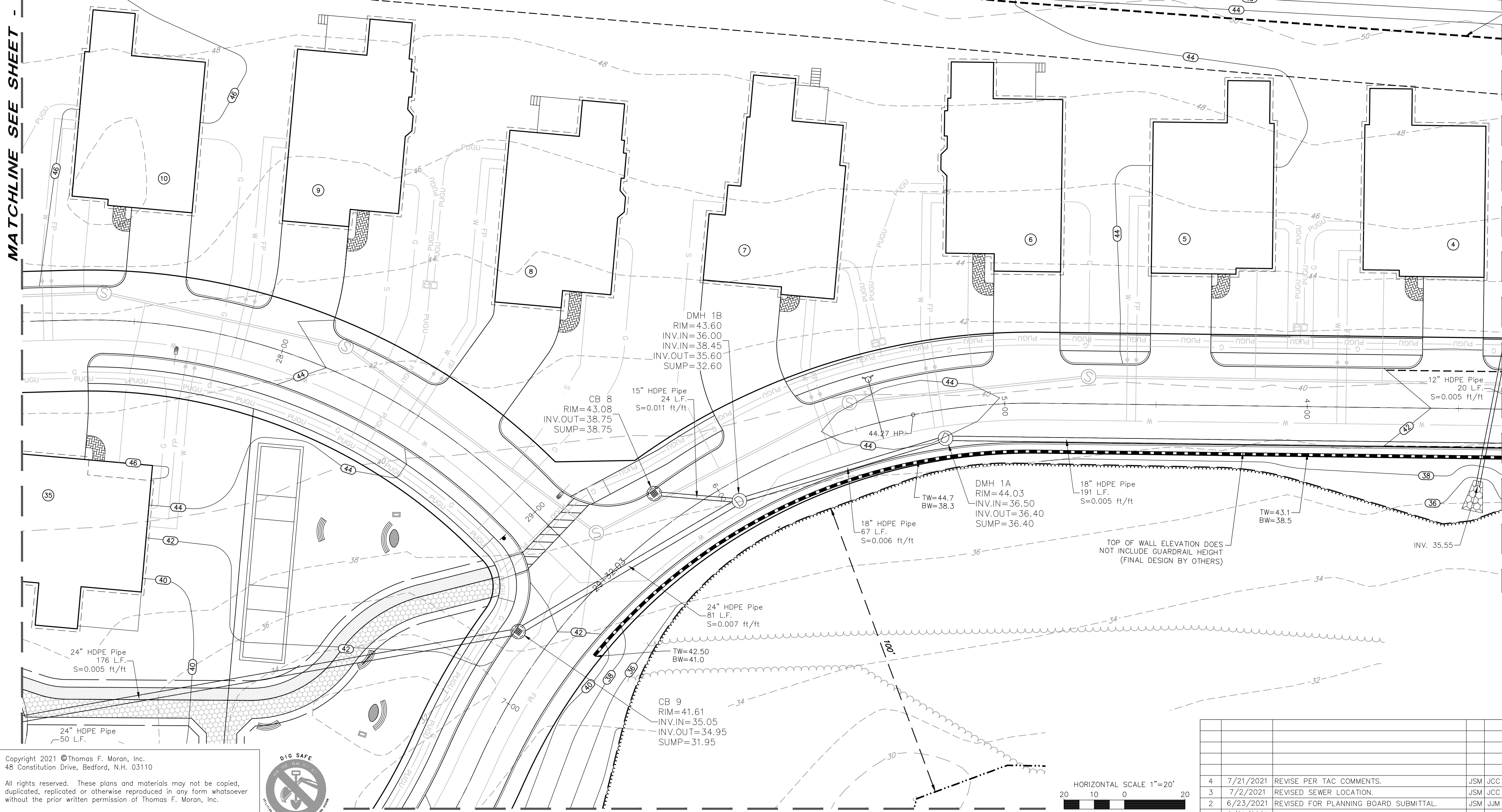
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IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

PROVIDE 10' VEGETATED BUFFER
ALONG EDGE OF CEMETERY

PROPOSED 6" PERFORATED HDPE
UNDERDRAIN ALONG BASE OF SLOPE
(12" BELOW SURFACE)

MATCHLINE SEE SHEET - C-19

MATCHLINE SEE SHEET - C-17



SITE DEVELOPMENT PLANS

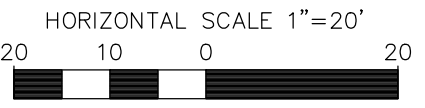
TAX MAP 242 LOT 4
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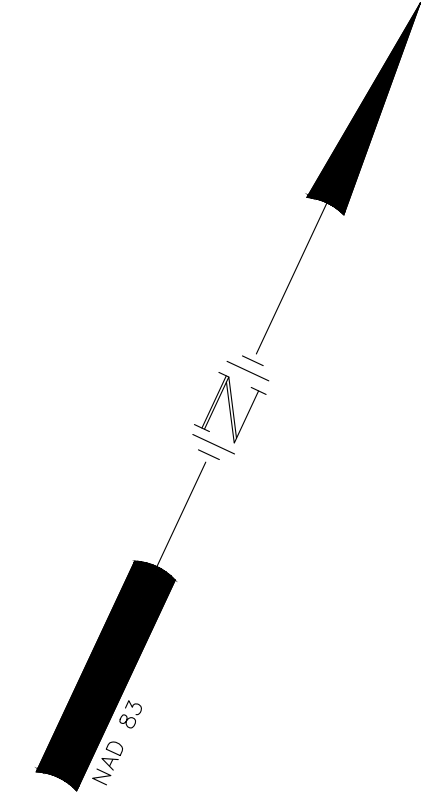
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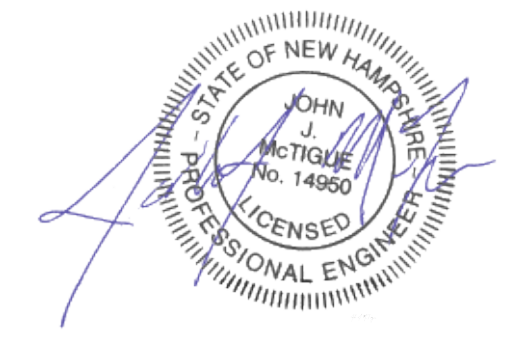
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MATCHLINE SEE SHEET - C-20

MATCHLINE SEE SHEET - C-18



SITE DEVELOPMENT PLANS

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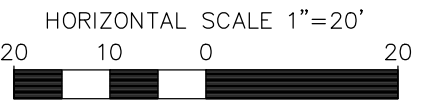
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DMH 10
 RIM=42.18
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 INV.OUT=34.00
 S=0.055 ft/ft

MATCHLINE SEE SHEET - C-22



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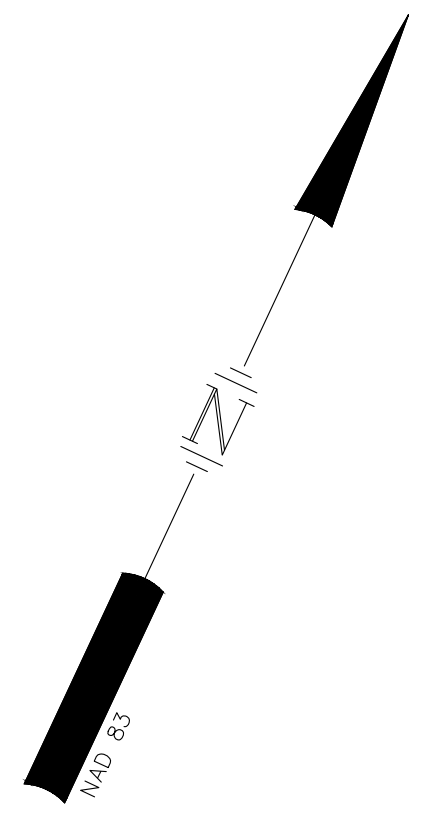
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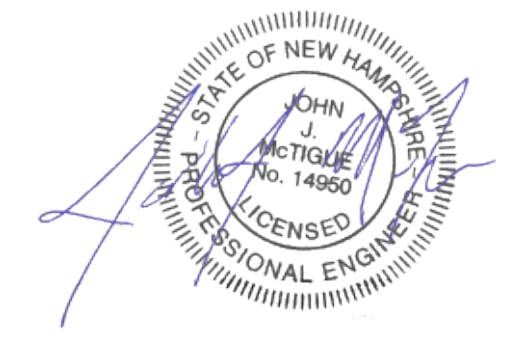
47388.11 DR JSM FB
 CK JIM CADFILE 47388-11_GRADINGDRAINAGE

C-19

MAP 242 LOT 1
N/F
STATE OF NEW HAMPSHIRE FISH &
GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK.#5248 PG.#0739



MATCHLINE SEE SHEET - C-19



SITE DEVELOPMENT PLANS

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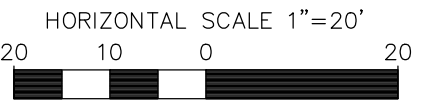
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47388.11 DR JSM FB
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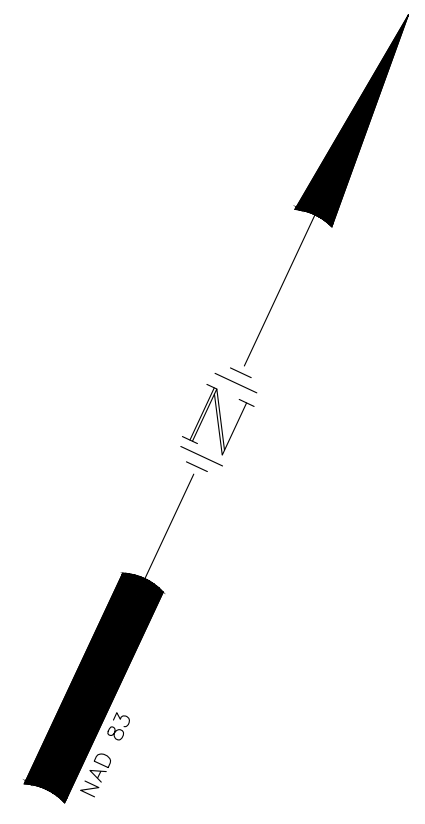
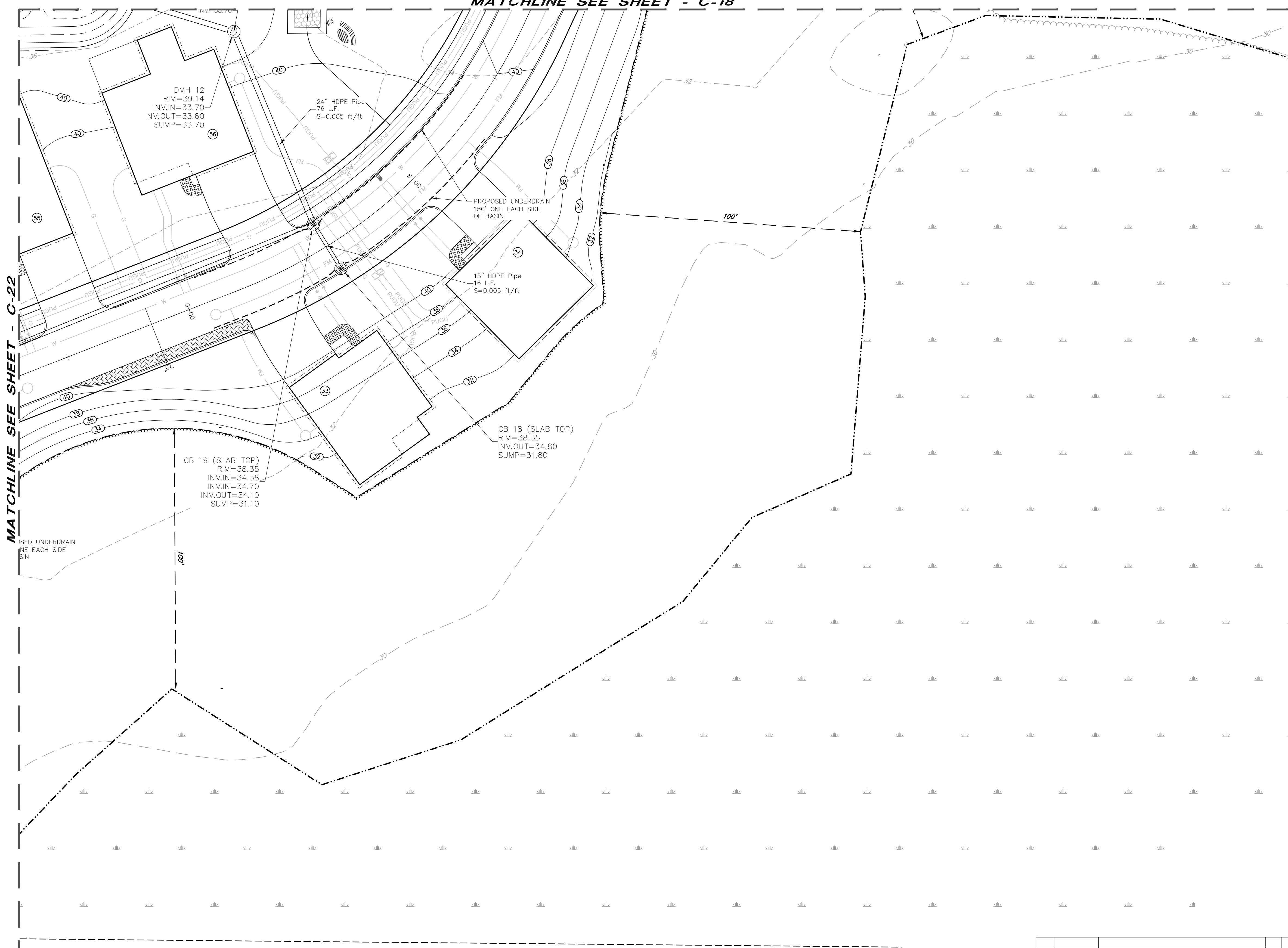


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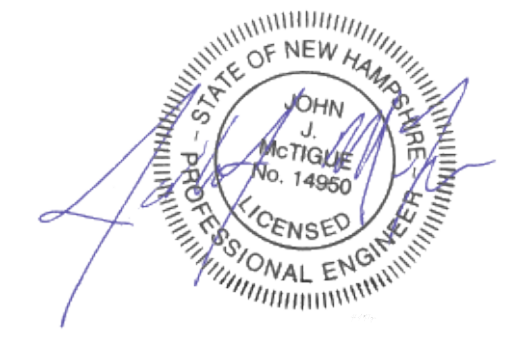


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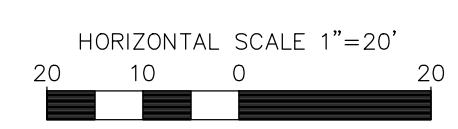


MATCHLINE SEE SHEET - C-22



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
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83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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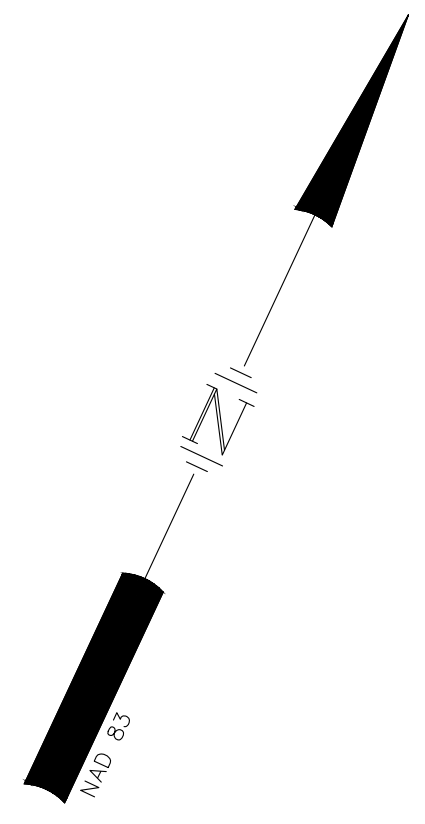
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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_GRADINGDRAINAGE

C-21

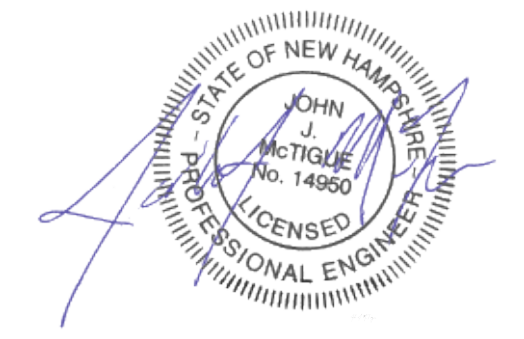
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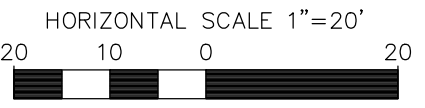
MATCHLINE SEE SHEET - C-23

MATCHLINE SEE SHEET - C-21



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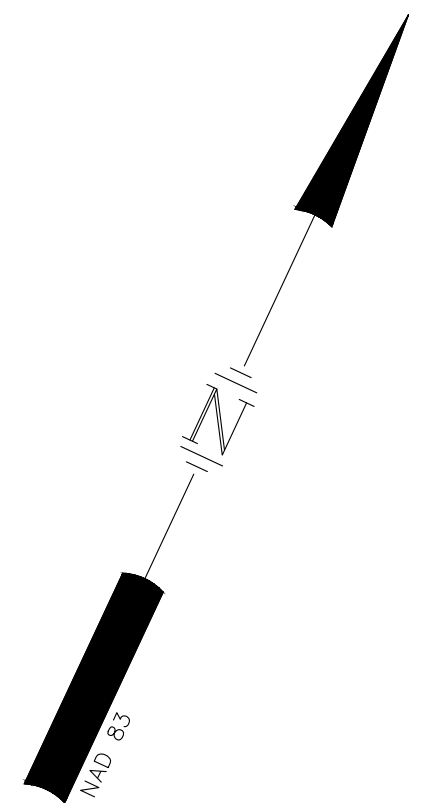
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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_GRADINGDRAINAGE C-22

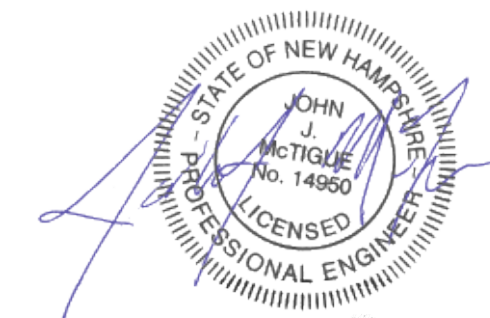
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MATCHLINE SEE SHEET - C-20



MATCHLINE SEE SHEET - C-24

MATCHLINE SEE SHEET - C-22



SITE DEVELOPMENT PLANS

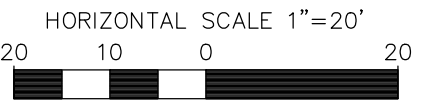
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MAP 242 LOT 3
 NEW HOPE BAPTIST CHURCH
 PORTSMOUTH, NH 03802



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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_GRADINGDRAINAGE

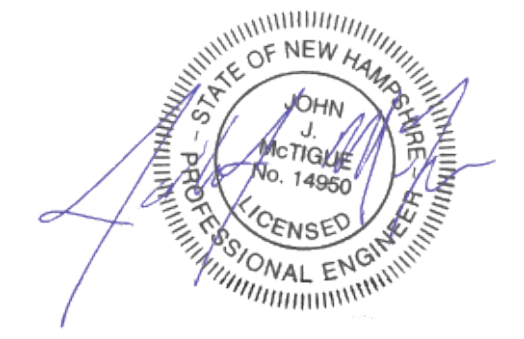
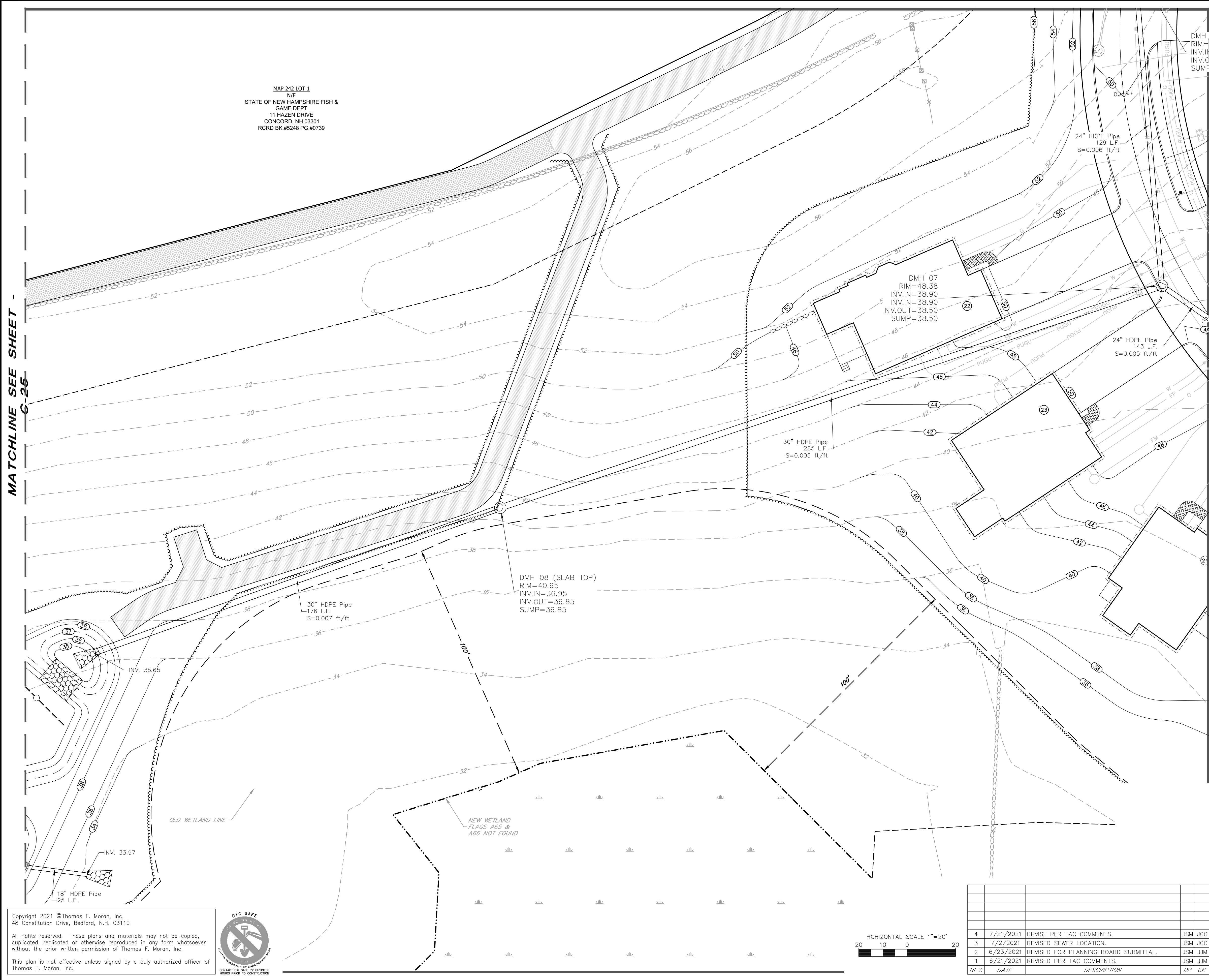
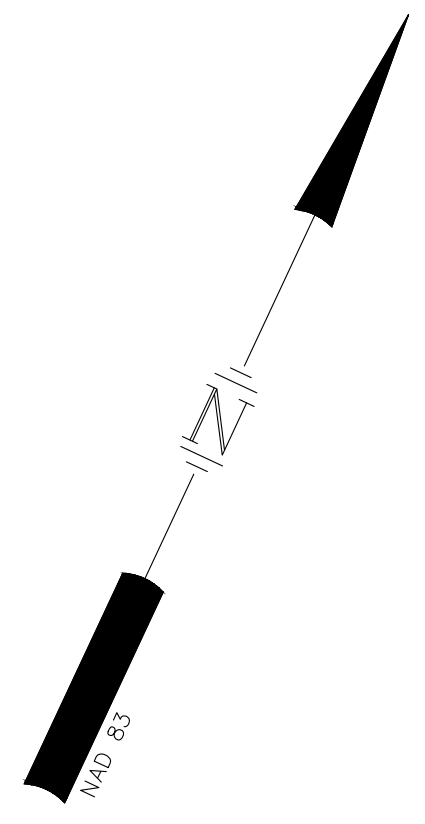
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK #5248 PG #0739

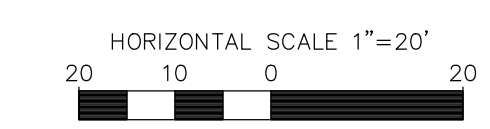
MATCHLINE SEE SHEET - C-25

MATCHLINE SEE SHEET - C-23



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
SCALE: 1"=20' (22"X34") **APRIL 19, 2021**

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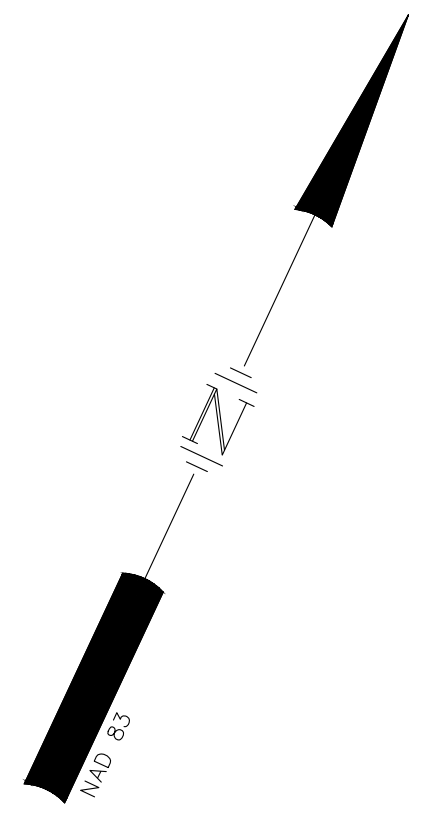
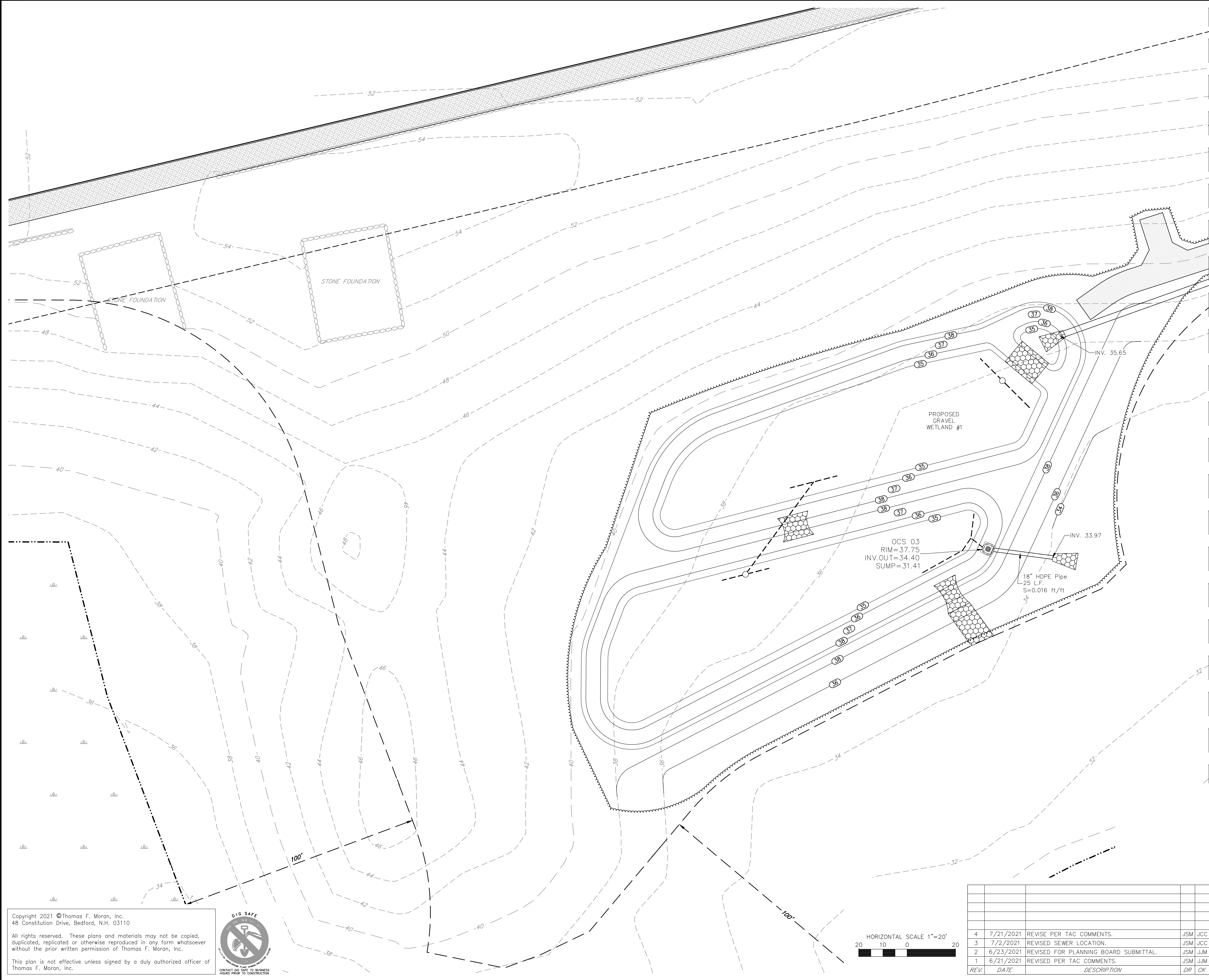
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 Land Surveyors
 Landscape Architects
 Scientists

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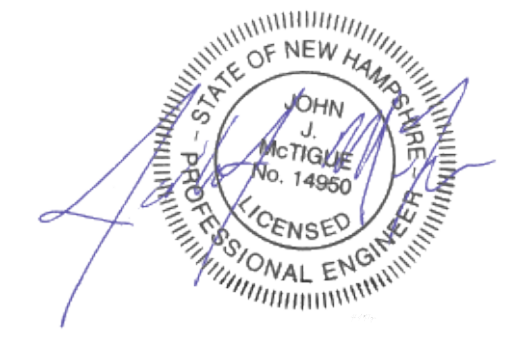
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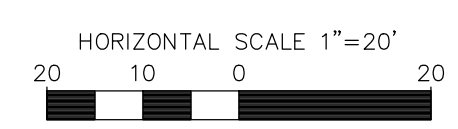
MATCHLINE SEE SHEET - C-24



SITE DEVELOPMENT PLANS

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GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
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47388.11

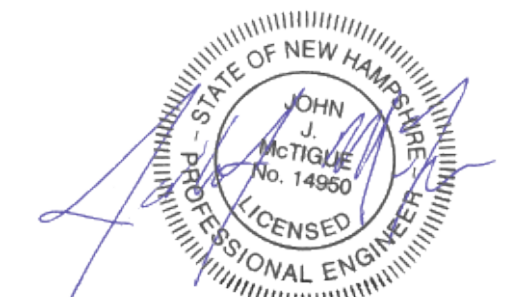
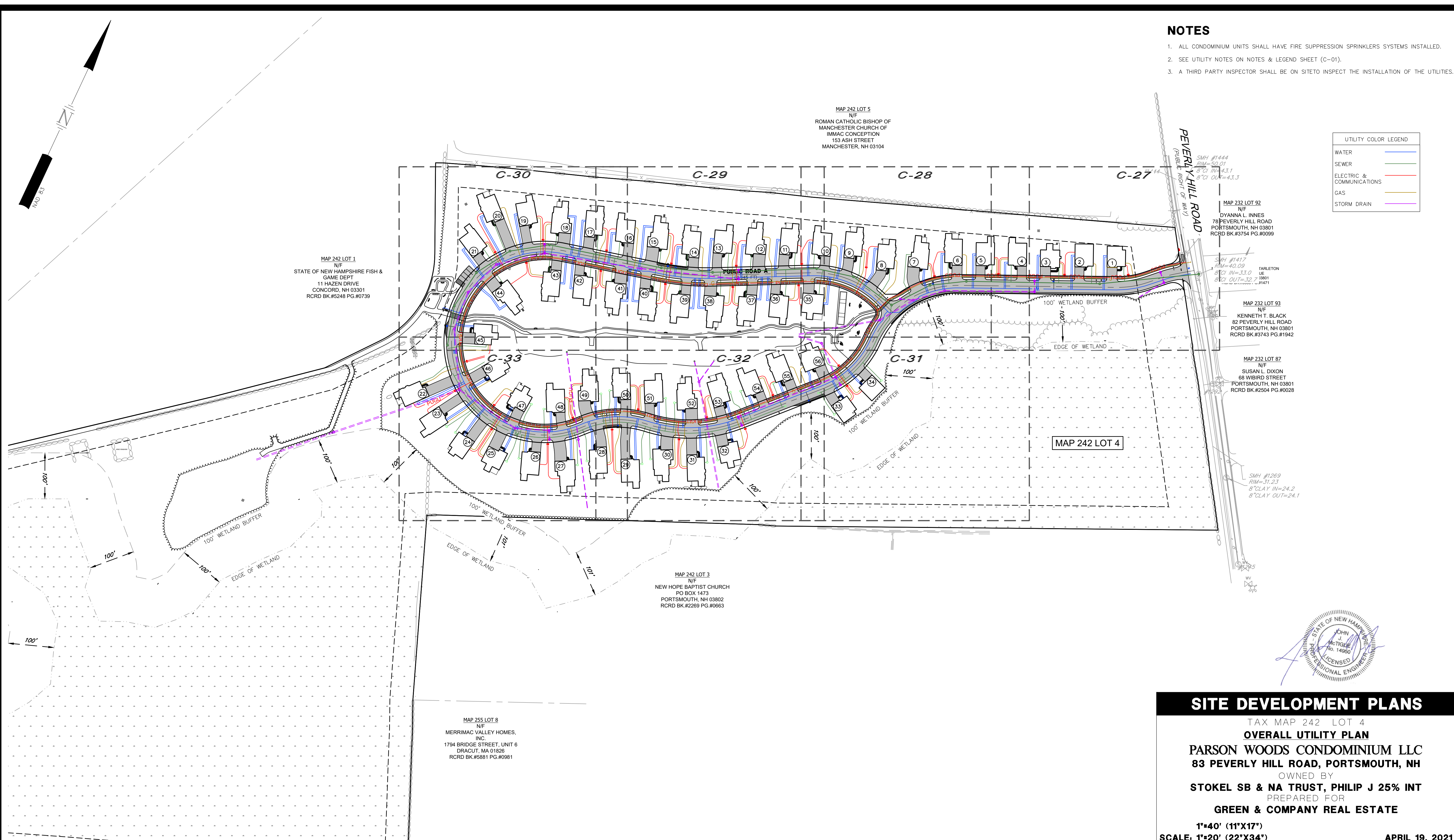
DR JSM FB
 CK JJM CADFILE 47388-11_GRADINGDRAINAGE

C-25

NOTES

1. ALL CONDOMINIUM UNITS SHALL HAVE FIRE SUPPRESSION SPRINKLERS SYSTEMS INSTALLED.
2. SEE UTILITY NOTES ON NOTES & LEGEND SHEET (C-01).
3. A THIRD PARTY INSPECTOR SHALL BE ON SITE TO INSPECT THE INSTALLATION OF THE UTILITIES.

UTILITY COLOR LEGEND	
WATER	
SEWER	
ELECTRIC & COMMUNICATIONS	
GAS	
STORM DRAIN	



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
OVERALL UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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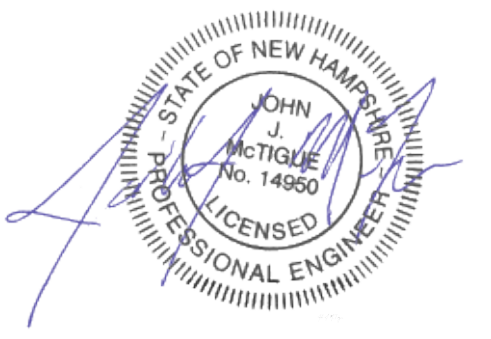
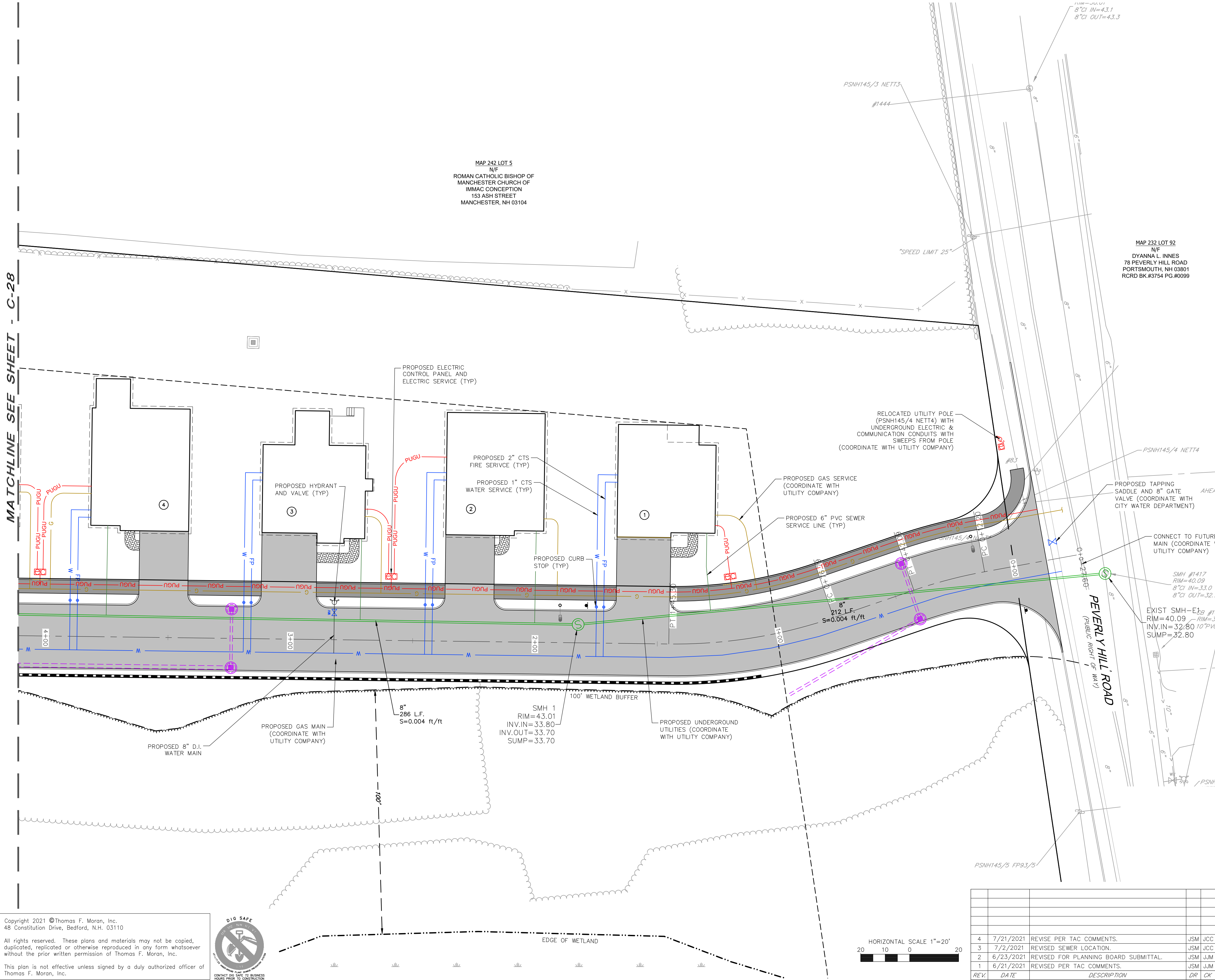
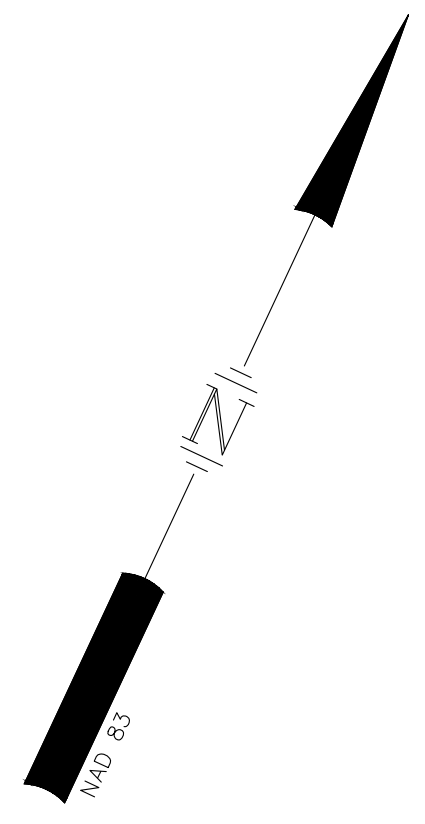
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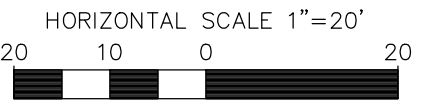
MAP 242 LOT 5
 N/F
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104

MAP 232 LOT 92
 N/F
 DYANNA L. INNES
 78 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#3754 PG.#0099



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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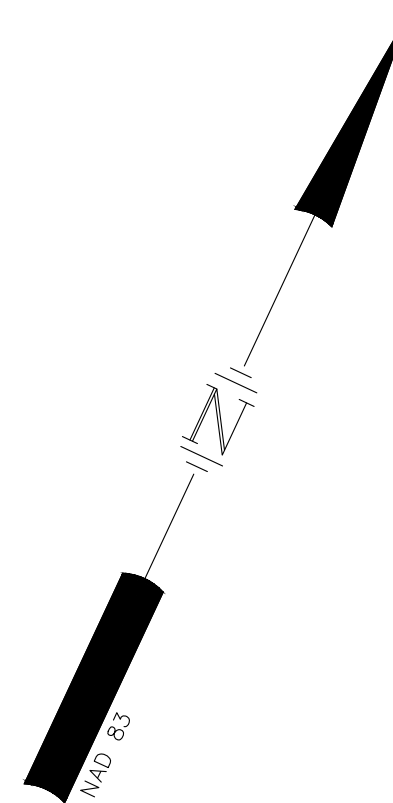


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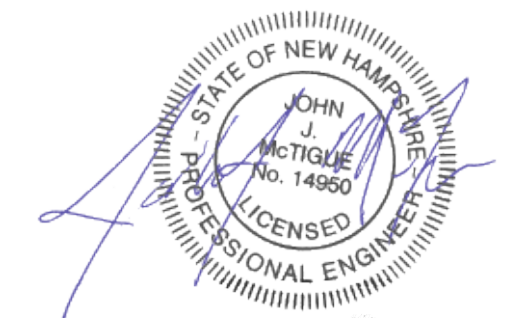
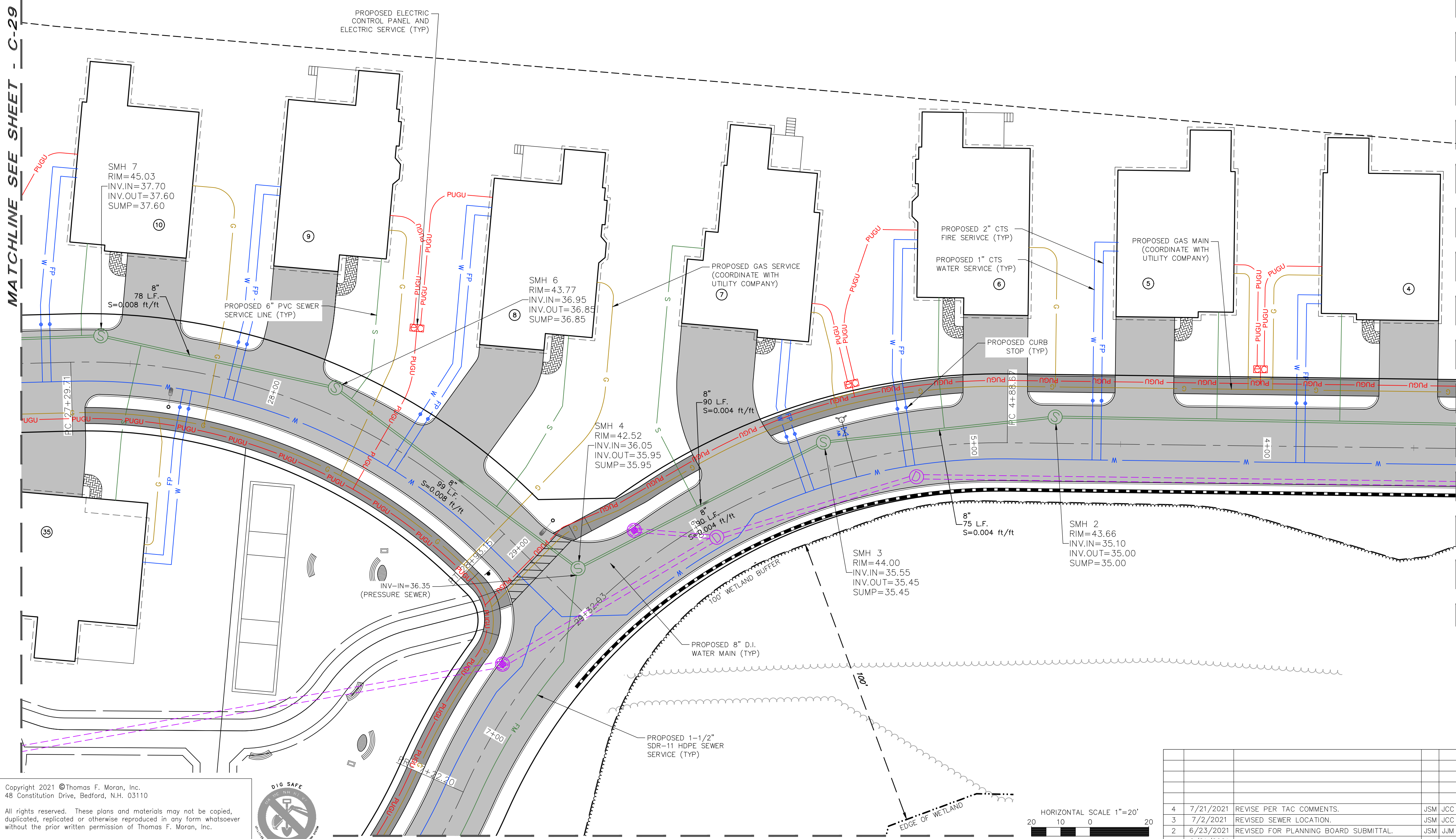
47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_UTILITY C-27

MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104



MATCHLINE SEE SHEET - C-29

MATCHLINE SEE SHEET - C-27



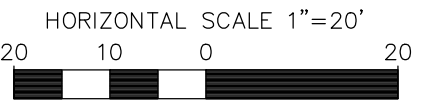
SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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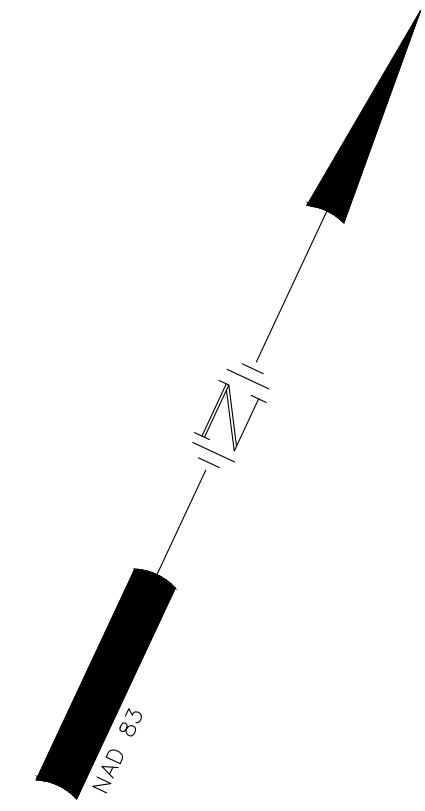
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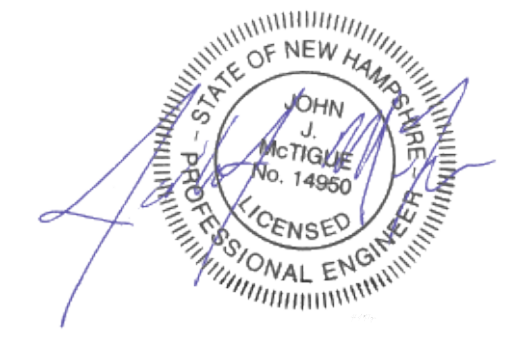
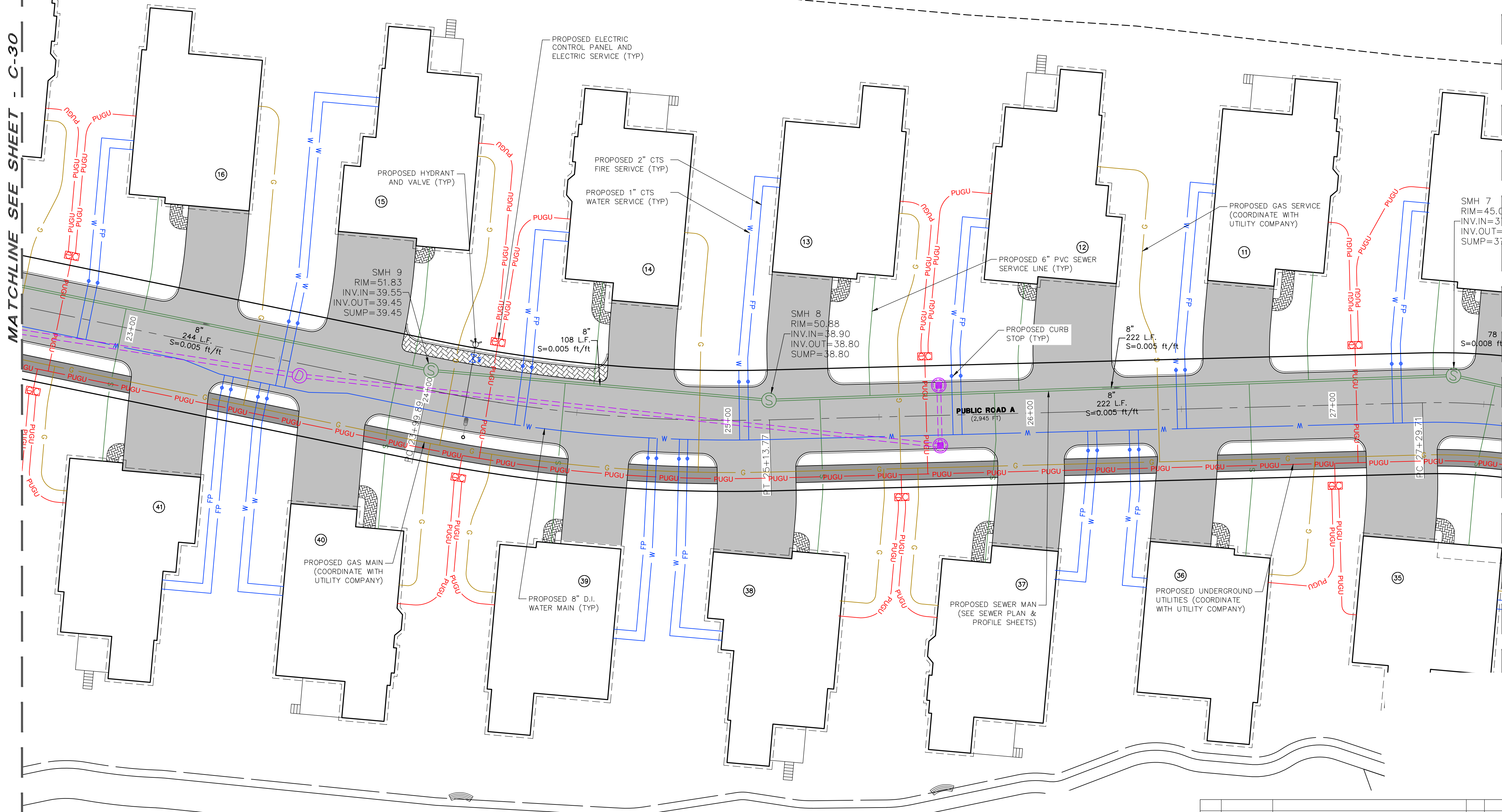
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MATCHLINE SEE SHEET - C-30

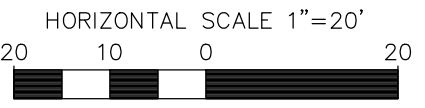
MATCHLINE SEE SHEET - C-28



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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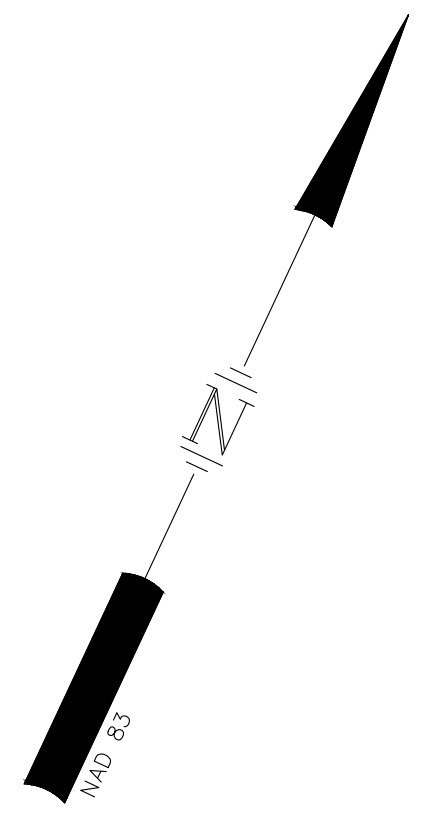
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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_UTILITY

C-29

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MAP 242 LOT 1
N/F
STATE OF NEW HAMPSHIRE FISH &
GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK #5248 PG #0739



MATCHLINE SEE SHEET - C-29

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INV.IN=42.50
INV.OUT=42.40
SUMP=42.40

SMH 13
RIM=50.41
INV.IN=43.05
INV.OUT=42.95
SUMP=42.95

SMH 10
RIM=47.62
INV.IN=40.90
INV.OUT=40.80
SUMP=40.80

SMH 11
RIM=48.33
INV.IN=41.65
INV.OUT=41.55
SUMP=41.55

PROPOSED 1" WATER SERVICE LINE TO WATER REFILL STATION

PROPOSED HYDRANT AND VALVE

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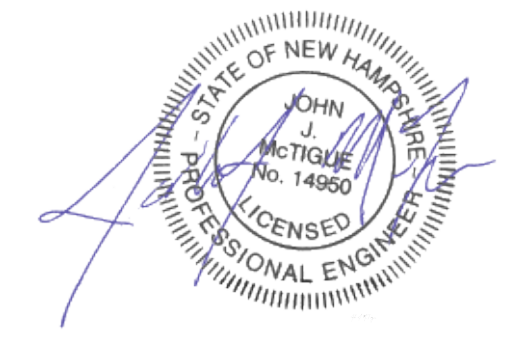
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HORIZONTAL SCALE 1"=20'

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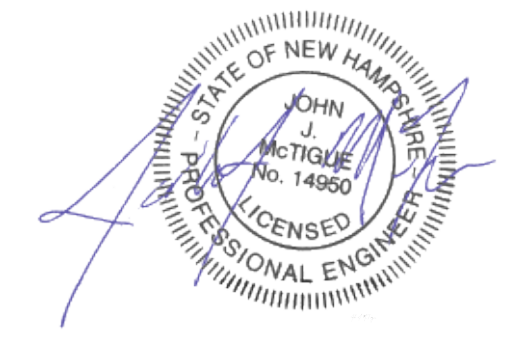
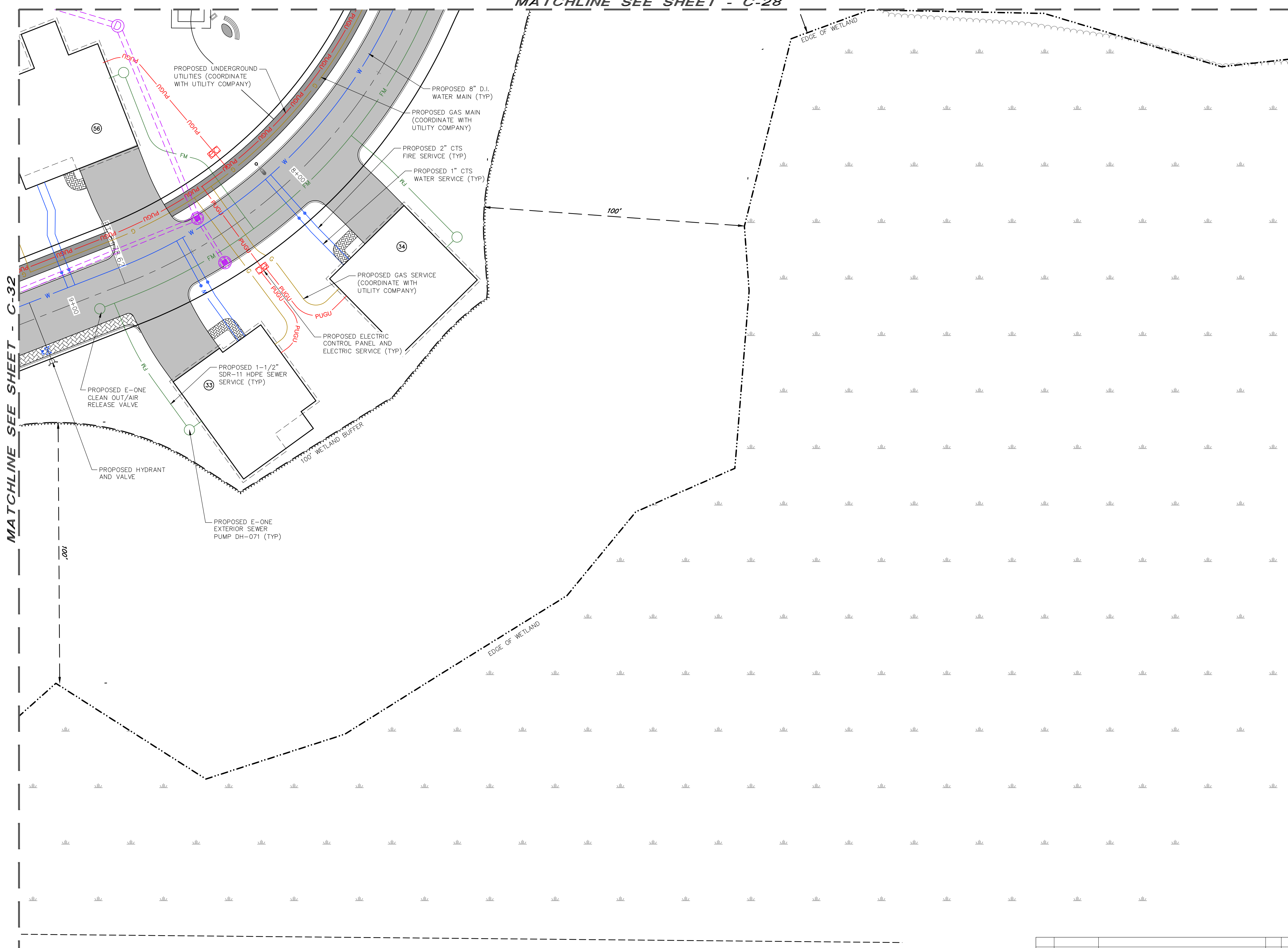
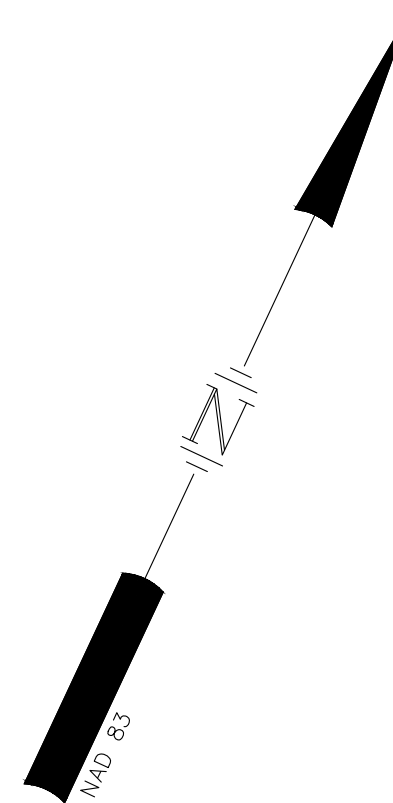
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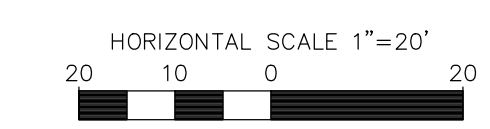
MATCHLINE SEE SHEET - C-28

MATCHLINE SEE SHEET - C-32



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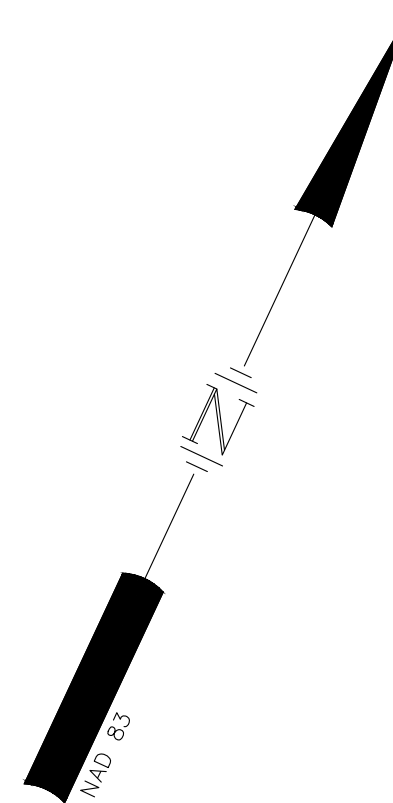
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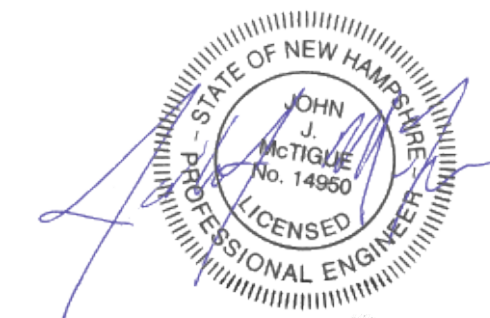
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MATCHLINE SEE SHEET - C-33

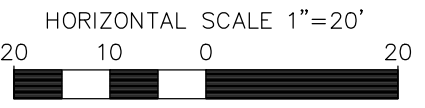
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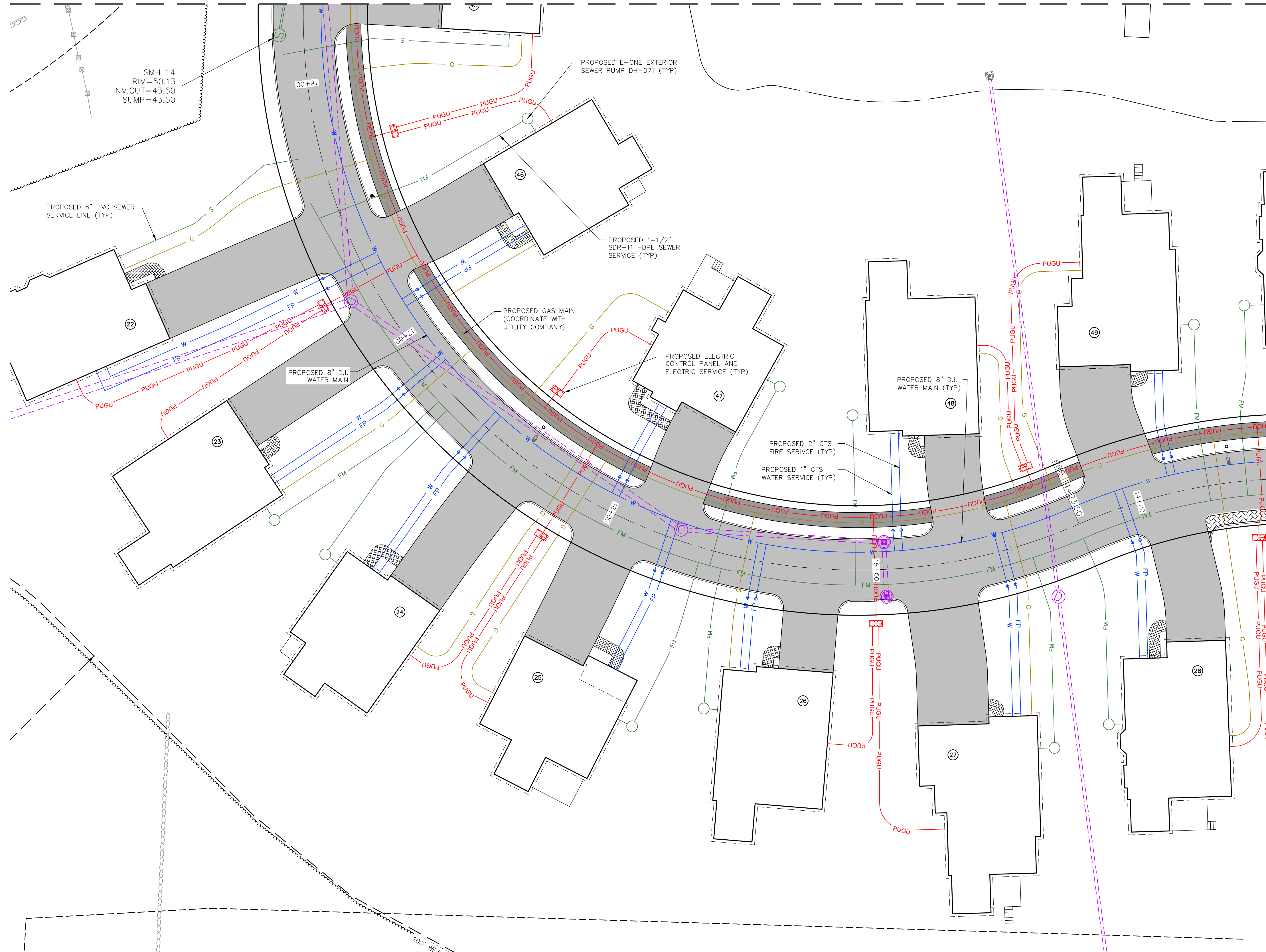
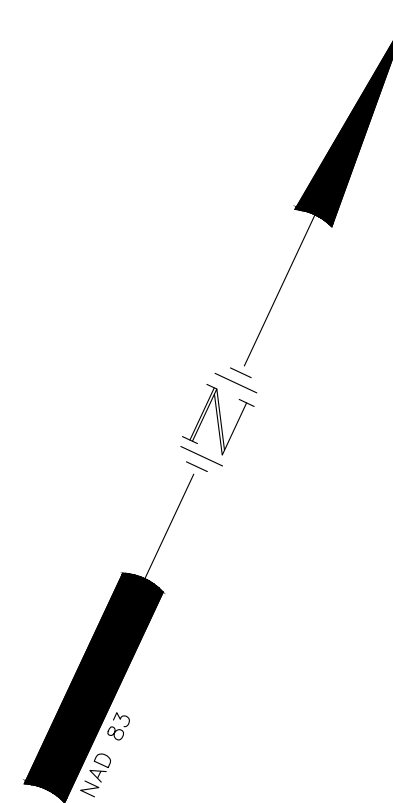
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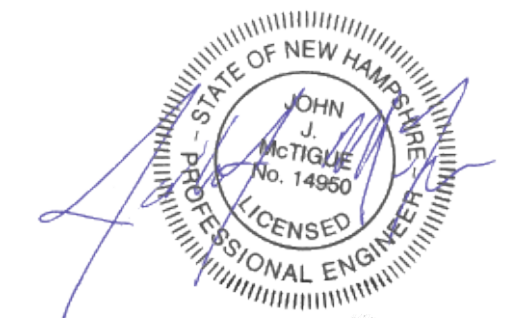
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MATCHLINE SEE SHEET - C-30



MATCHLINE SEE SHEET - C-32

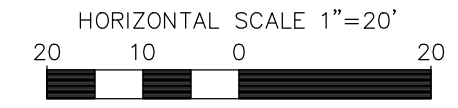


SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11'X17')
SCALE: 1"=20' (22'X34') **APRIL 19, 2021**

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MAP 242 LOT 3
 NEW HOPE BAPTIST CHURCH
 PORTSMOUTH, NH 03802



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4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
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 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

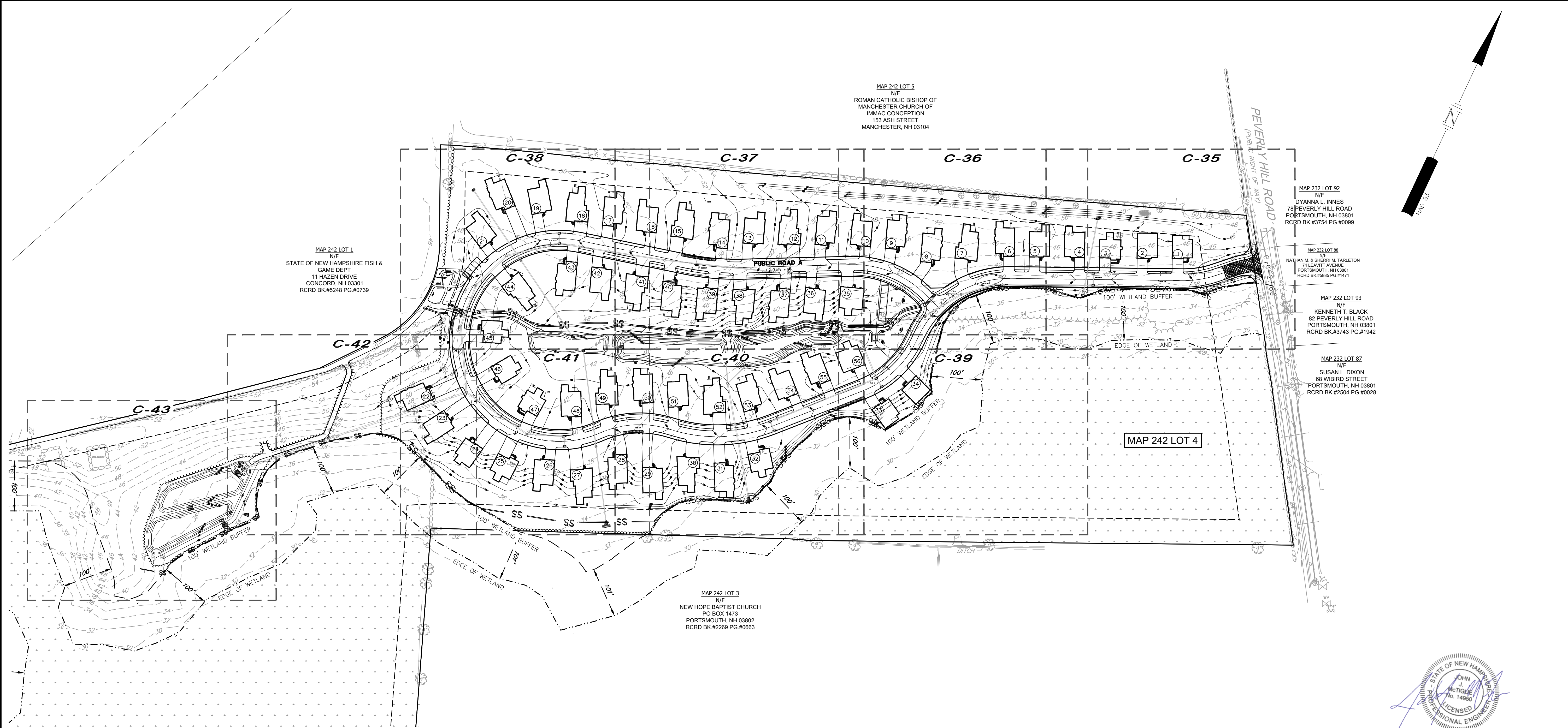
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C-33

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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK.#5248 PG.#0739

MAP 242 LOT 5
 N/F
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104

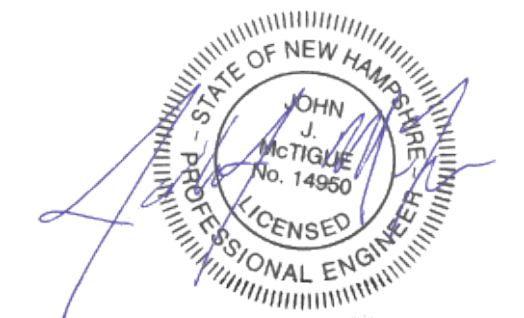
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 DYANNA L. INNES
 78 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#3754 PG.#0099

MAP 242 LOT 88
 N/F
 NATHAN M. & SHERI M. TARLETON
 74 LEAVITT AVENUE
 PORTSMOUTH, NH 03801
 RCRD BK.#6585 PG.#1471

MAP 232 LOT 93
 N/F
 KENNETH T. BLACK
 82 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK.#3743 PG.#1942

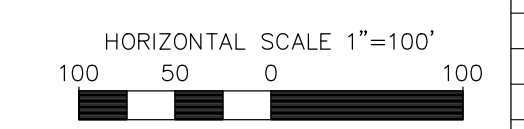
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 N/F
 SUSAN L. DIXON
 68 WIBIRD STREET
 PORTSMOUTH, NH 03801
 RCRD BK.#2504 PG.#0028

MAP 242 LOT 3
 N/F
 NEW HOPE BAPTIST CHURCH
 PO BOX 1473
 PORTSMOUTH, NH 03802
 RCRD BK.#2269 PG.#0663



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
OVERALL EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=200' (11"X17')
SCALE: 1"=100' (22"X34') **APRIL 19, 2021**

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 CK JJM CADFILE 47388-11_EROSIONCONTROL C-34

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MATCHLINE SEE SHEET - C-36

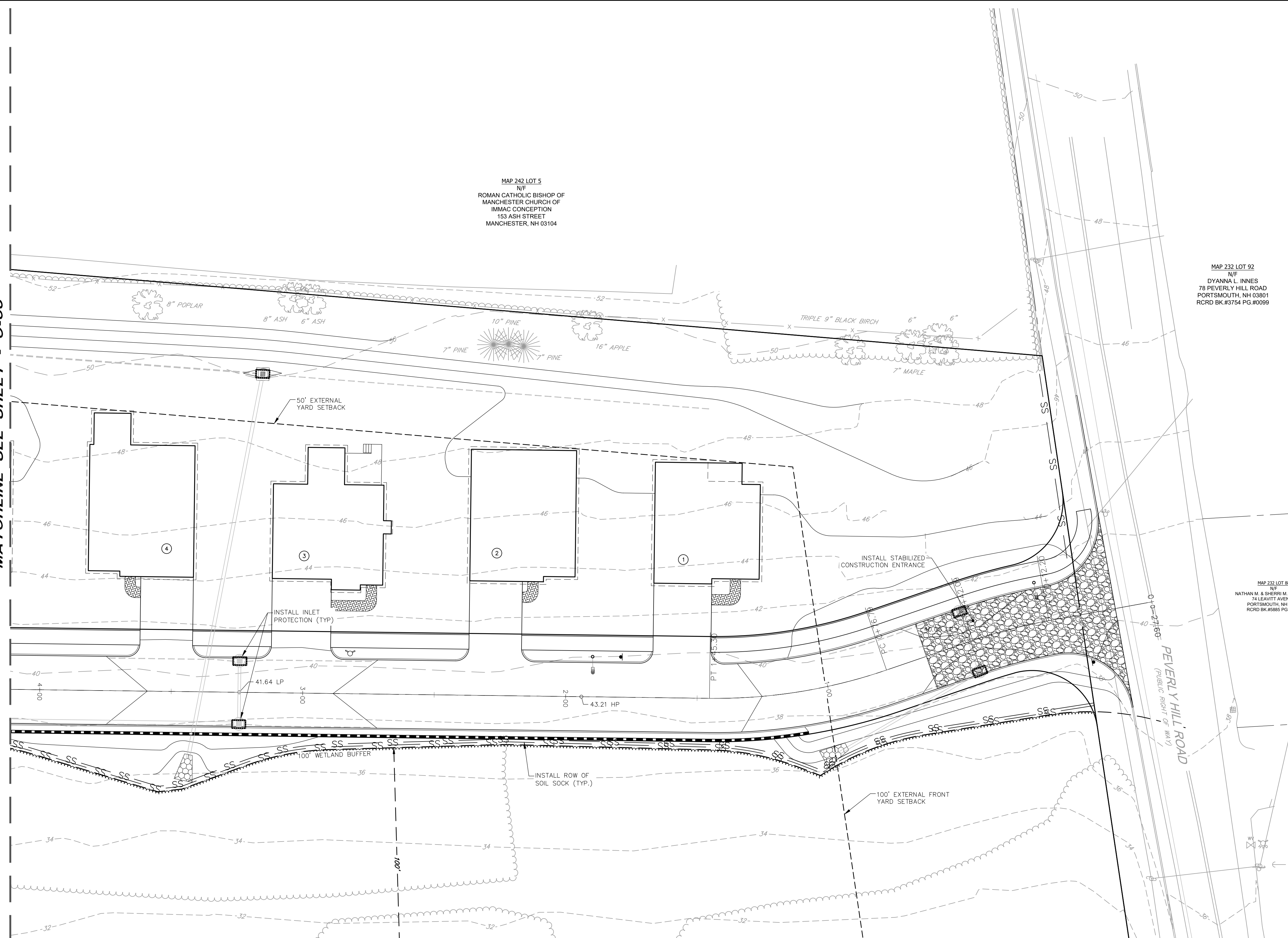
MAP 242 LOT 5
 N/F
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104

MAP 232 LOT 92
 N/F
 DYANNA L. INNES
 78 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RC RD BK #3754 PG #0099

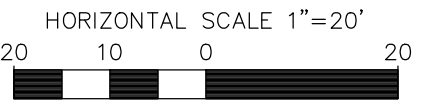
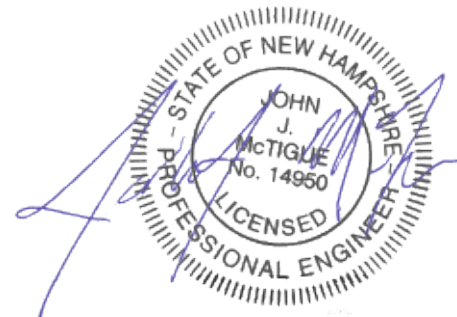
NOTES

- SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
- INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
- PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
- DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
- THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE FOR, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
- CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1, DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
- INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
- PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
 B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SOPE STABILITY DURING CONSTRUCTION.
- THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
- EROSION CONTROL BERM MAY BE USED IN PLACE OF ONE LAYER OF SILT SOCK.
- TURBIDITY CURTAIN TO BE USED IN PLACE OF DOUBLE LAYER OF SILT SOCK WHEN STANDING WATER IS ENCOUNTERED.

MAP 232 LOT 88
 N/F
 NATHAN M. & SHERRI M. TAR
 74 LEAVITT AVENUE
 PORTSMOUTH, NH 03801
 RC RD BK #5885 PG #14



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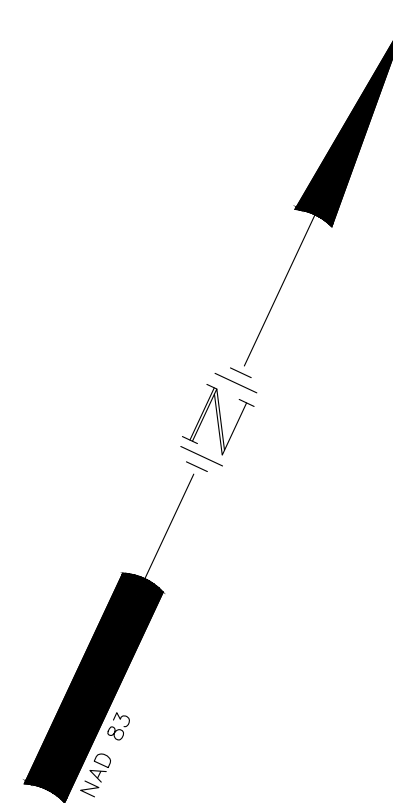
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SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
SCALE: 1"=20' (22"X34') **APRIL 19, 2021**

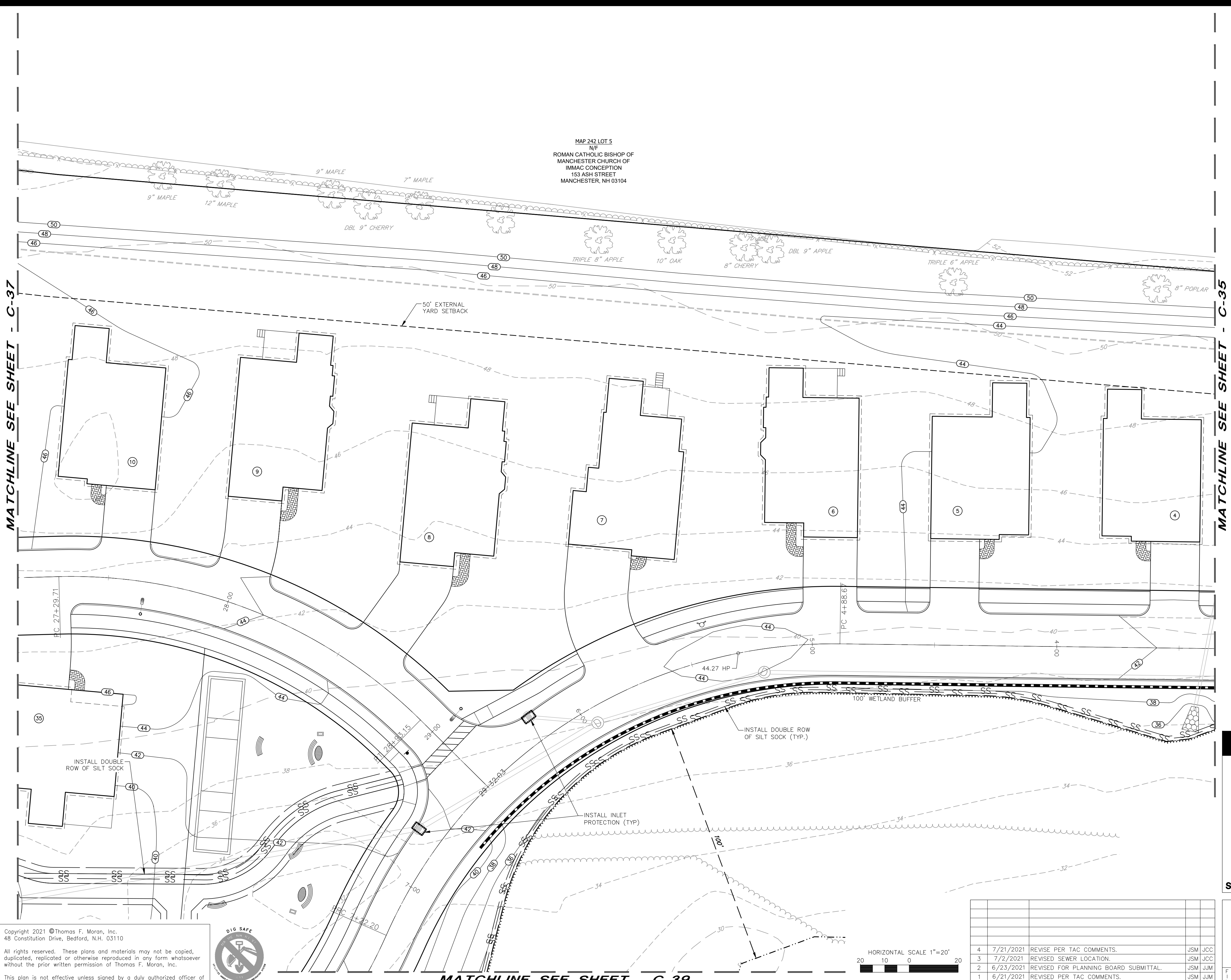
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 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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FILE: 47388.11
 DR: JSM
 CK: JSM
 FB: FB
 CADFILE: 47388-11_EROSIONCONTROL
 C-35



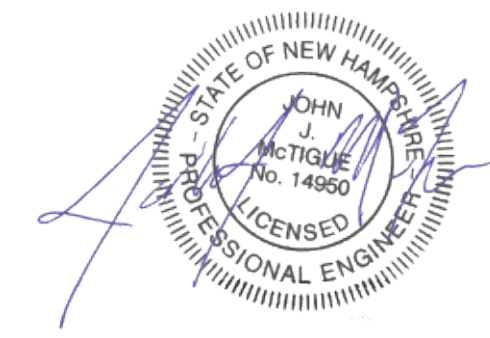
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N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104



MATCHLINE SEE SHEET - C-37

MATCHLINE SEE SHEET - C-35

MATCHLINE SEE SHEET - C-39

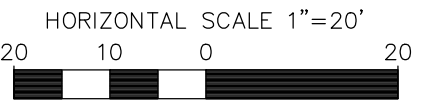


SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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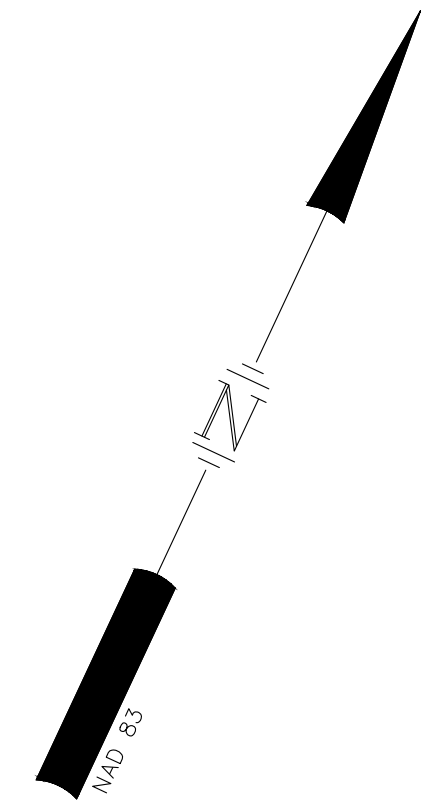
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CK JJM CADFILE 47388-11_EROSIONCONTROL

C-36

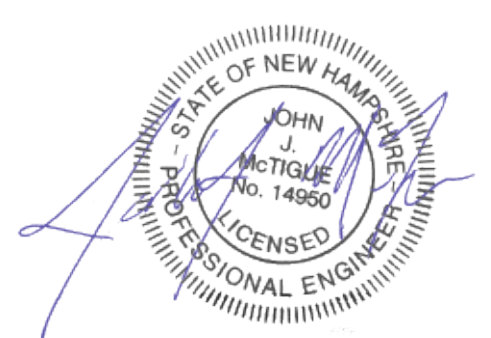
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MATCHLINE SEE SHEET - C-36

MATCHLINE SEE SHEET - C-40



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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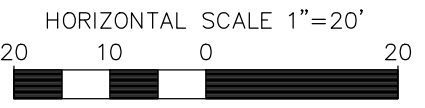


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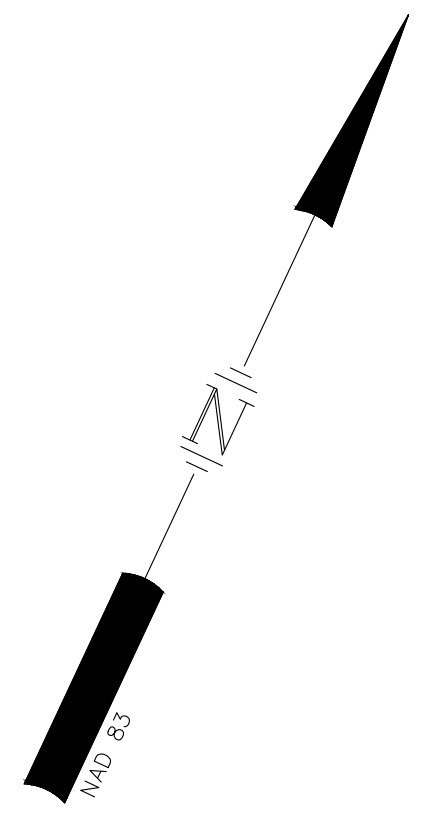
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 CK JJM CADFILE 47388-11_EROSIONCONTROL C-37

MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK.#5245 PG.#0739



MATCHLINE SEE SHEET - C-37



INSTALL DOUBLE ROW OF SILT SOCK (TYP.)

INSTALL INLET PROTECTION (TYP.)



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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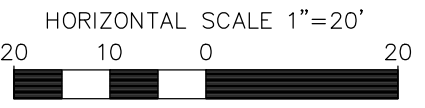
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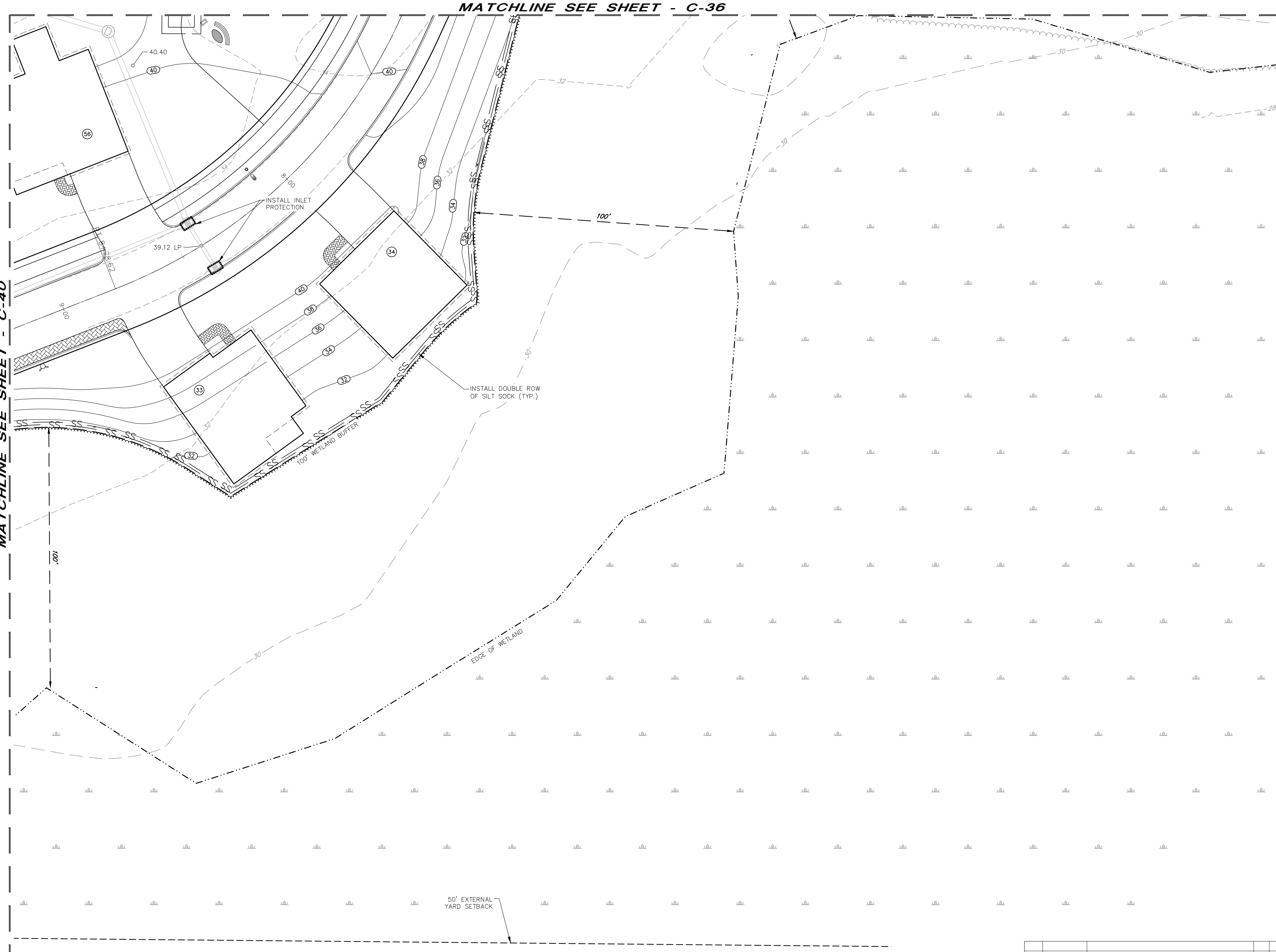
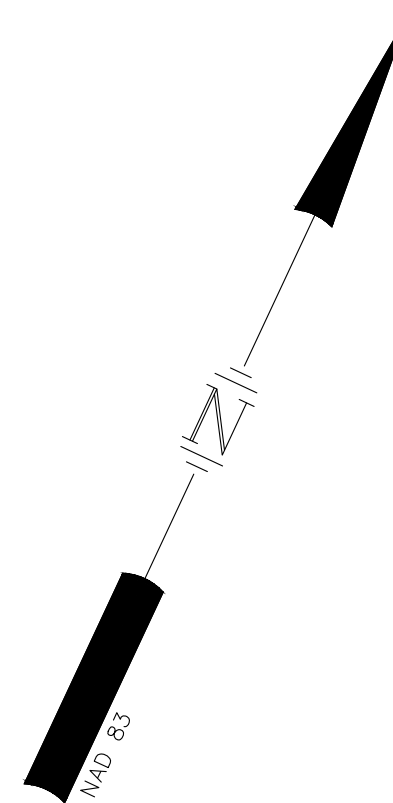
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47388.11	DR	JSM	FB		
	CK	JJM	CADFILE	47388-11_EROSIONCONTROL	C-38

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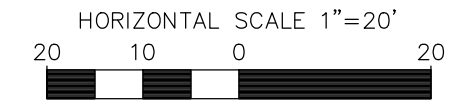
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MATCHLINE SEE SHEET - C-40



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SITE DEVELOPMENT PLANS

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EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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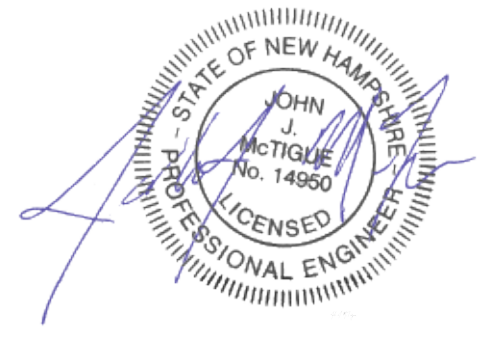
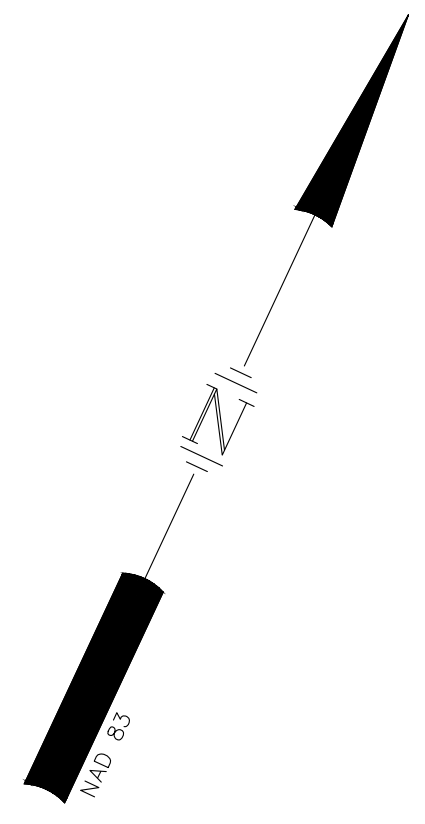
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	CK JJM	CADFILE	47388-11_EROSIONCONTROL				

C-39

MATCHLINE SEE SHEET - C-37



SITE DEVELOPMENT PLANS

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EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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 SCALE: 1"=20' (22"X34") **APRIL 19, 2021**

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HORIZONTAL SCALE 1"=20'
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REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

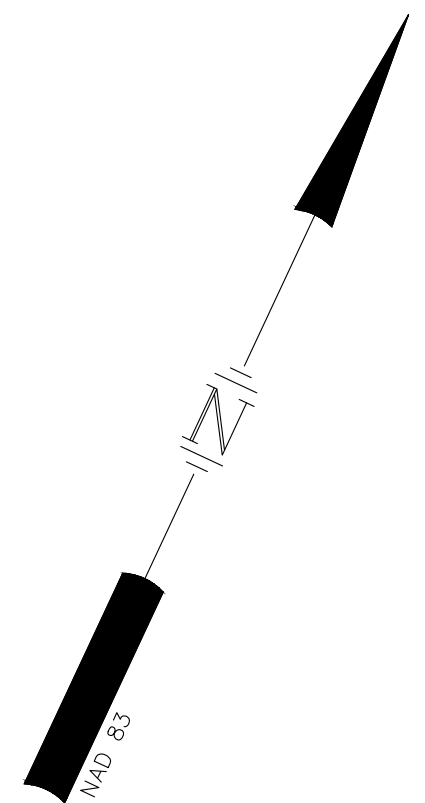
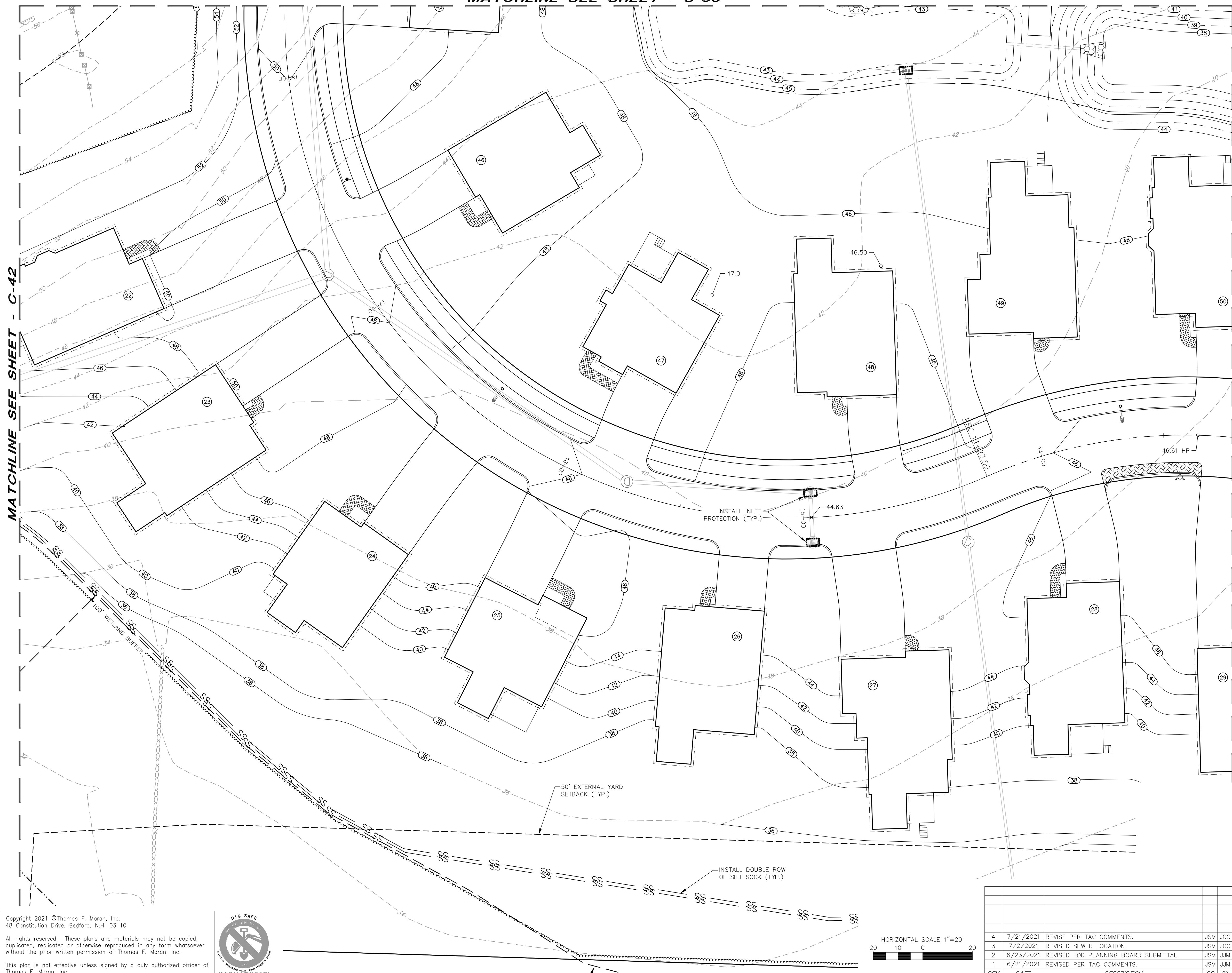
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TFM
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 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 Portsmouth, NH 03801
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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_EROSIONCONTROL C-40

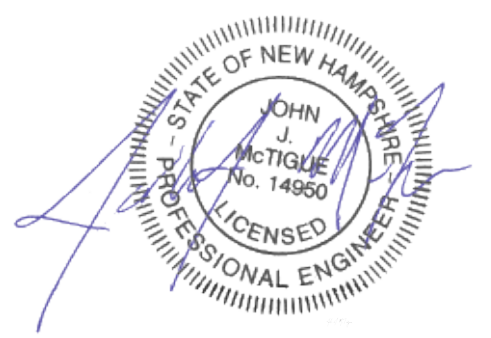
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MATCHLINE SEE SHEET - C-38



MATCHLINE SEE SHEET - C-42

MATCHLINE SEE SHEET - C-40



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

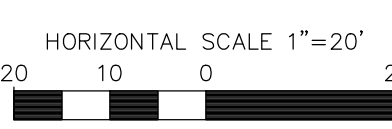
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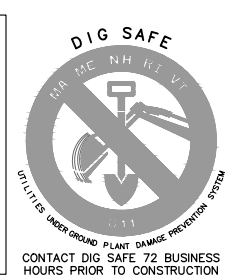
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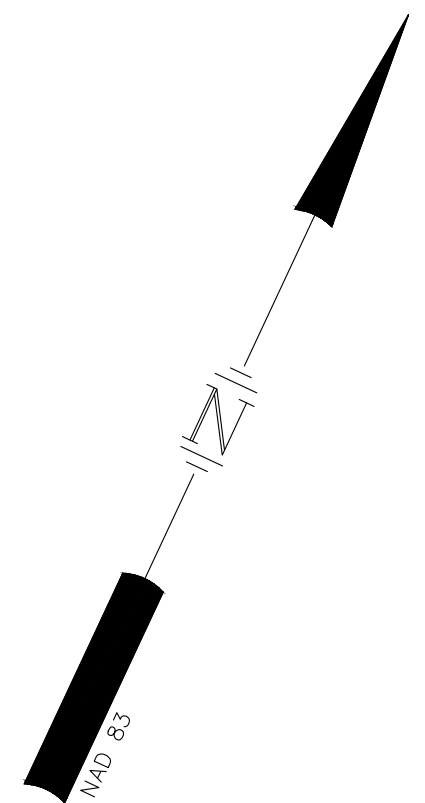
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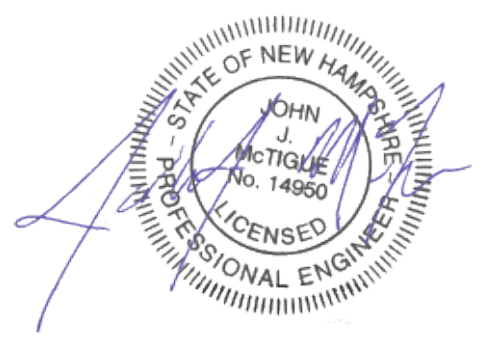
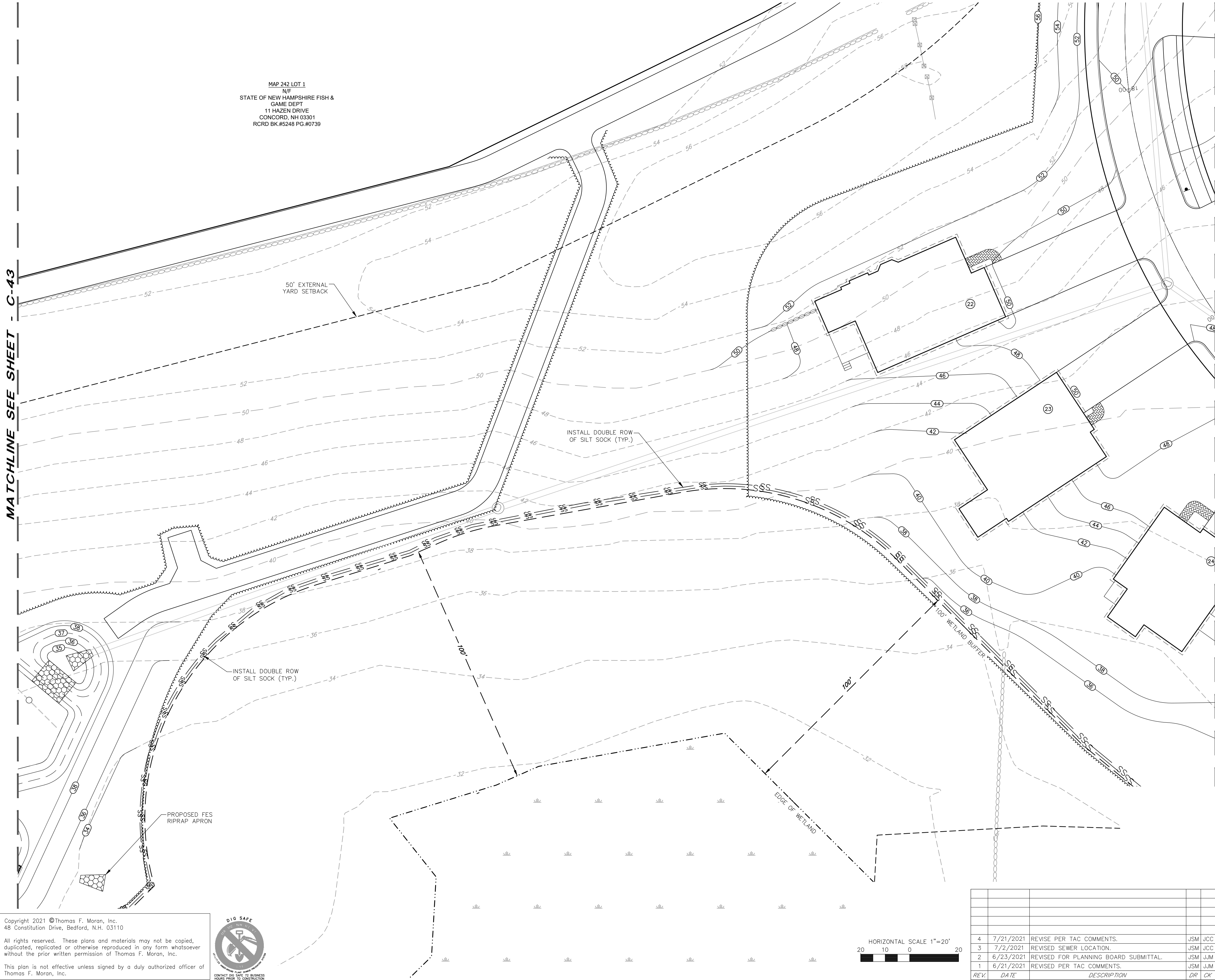
47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_EROSIONCONTROL C-41

MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RC RD BK #5248 PG #0739



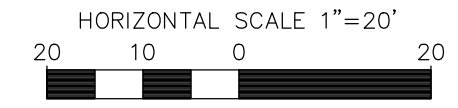
MATCHLINE SEE SHEET - C-43

MATCHLINE SEE SHEET - C-41



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
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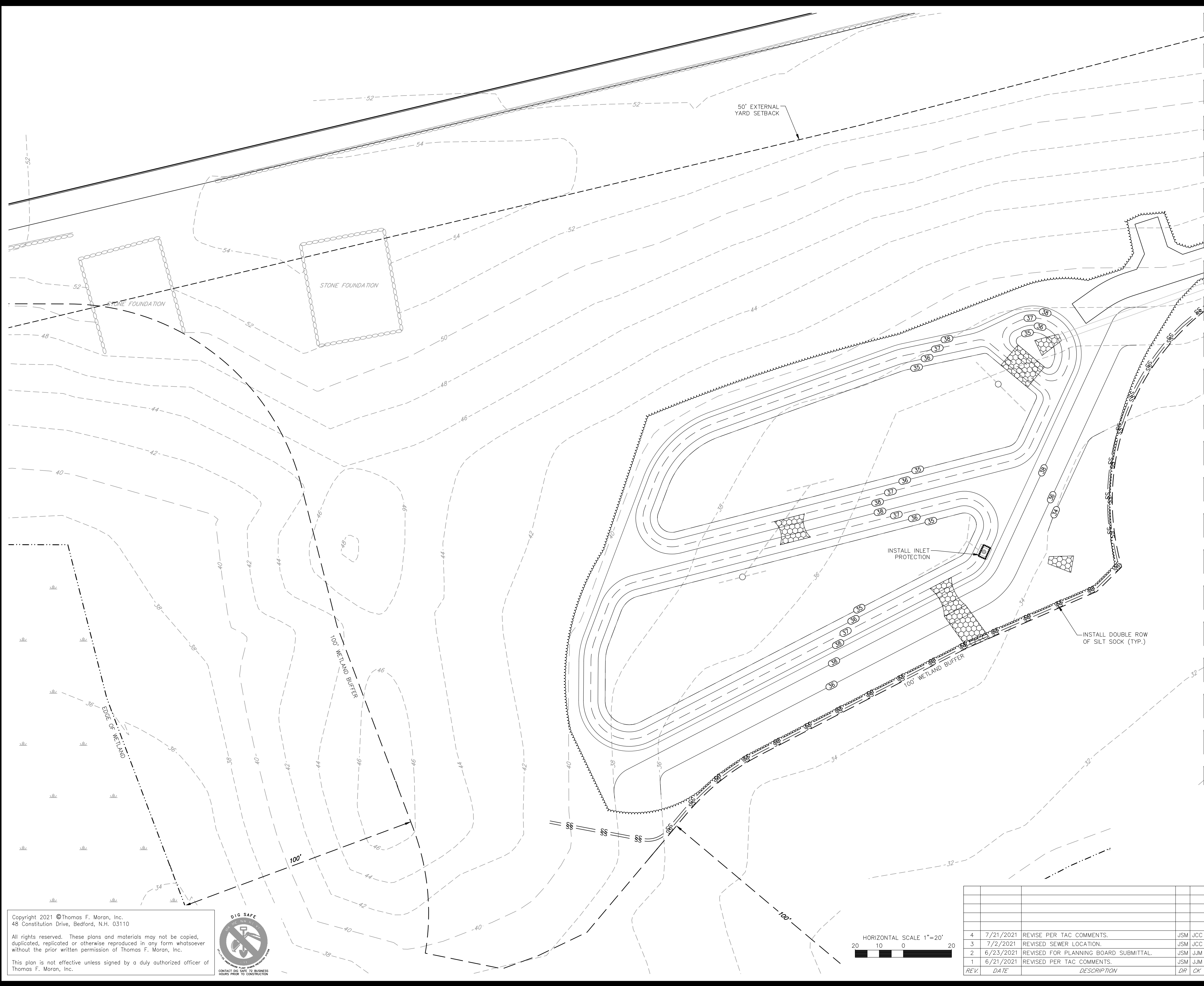
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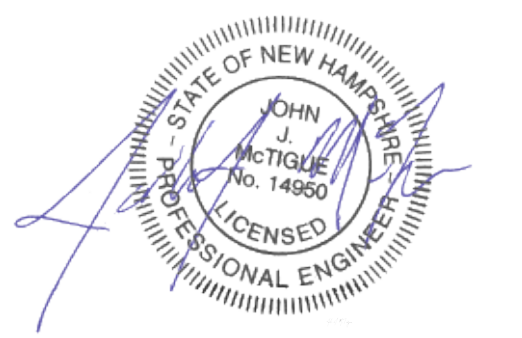
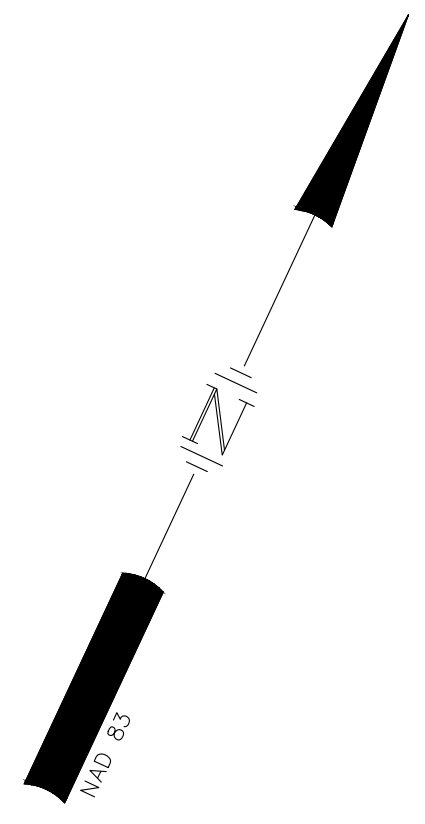
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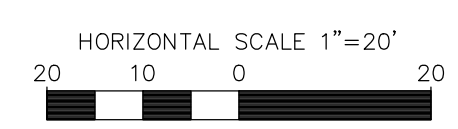
MATCHLINE SEE SHEET - C-42



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
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C-43

LANDSCAPE NOTES

- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT REPRESENTS THE INTENT OF THE PLANTING AND APPROXIMATE NUMBERS OF PLANTS TO BE PROVIDED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
- ALL PLANTS WILL BE NURSERY GROWN.
- PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
- TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
- PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
- ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEeled-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
- NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
- PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
- MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
- PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIPLINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.

LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
- CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
- WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
- ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
- THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
- DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
- EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
OVERALL LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=200'(11"x17")
 SCALE: 1"=100'(22"x34") **APRIL 19, 2021**

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	CK	JJM	CADFILE	47388-11_LANDSCAPE	C-45

SEEDING NOTES

- GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.
- SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- THE NEW ENGLAND CONSERVATION/WILDLIFE MIX FROM NEW ENGLAND WETLAND PLANTS, INC OR EQUIVALENT (SEE SHEET C-17, FOR LOCATION.) APPLICATION RATE OF 25LBS/ACRE (1,750 SQ FT/LB). SPECIES INCLUDED ARE: VIRGINIA WILD RYE (Elymus virginicus), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLEDLEAF TICK TREFOIL (DESMODIUM PANICULATUM), INDIAN GRASS (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYED SUSAN (RUBBECKIA HIRTA), COMMON SNEEZEWEED (HELENIUM AUTUNNALE), HEATH ASTER (ASTERPILOSUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).
- THE NEW ENGLAND WETMIX (WETLAND SEED MIX) FROM NEW ENGLAND WETLAND PLANTS, INC OR EQUIVALENT, SHALL BE APPLIED TO ALL AREAS OF THE SITE WHERE THE DISTURBANCE OCCURS WITHIN 25' OF WETLAND, EXCEPT WHERE NEW ENGLAND CONSERVATION MIX IS SPECIFIED (SEE SHEET C-17). APPLICATION RATE OF 25LBS/ACRE (1,750 SQ FT/LB). SPECIES INCLUDED ARE: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SCIRPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), CREEPING JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS)

HYDROSEEDING NOTES

- HYDROSEEDING MAY BE USED AS AN ALTERNATE METHOD OF SEEDING. THE APPLICATION OF LIMESTONE AS NECESSARY, FERTILIZER AND GRASS SEED MAY BE ACCOMPLISHED IN ONE OPERATION BY THE USE OF A SPRAYING MACHINE APPROVED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. THE MATERIALS SHALL BE MIXED WITH WATER IN THE MACHINE AND SHALL CONFORM TO RELATIVE REQUIREMENTS OF SECTION 644 OF NH. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- (FOR MASSACHUSETTS PROJECTS PLUG IN - SECTION 765.65 OF MASS. DPW CURRENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES).

INVASIVE PLANT NOTES

- EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS.

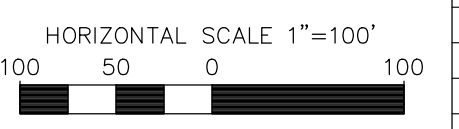
PRICING & CONSTRUCTION DOCUMENT NOTES

- CONTRACTOR WILL PRICE PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS GRAPHICALLY SHOWN ON THESE DRAWINGS OR IN PLANT LIST, WHICHEVER IS GREATER. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.

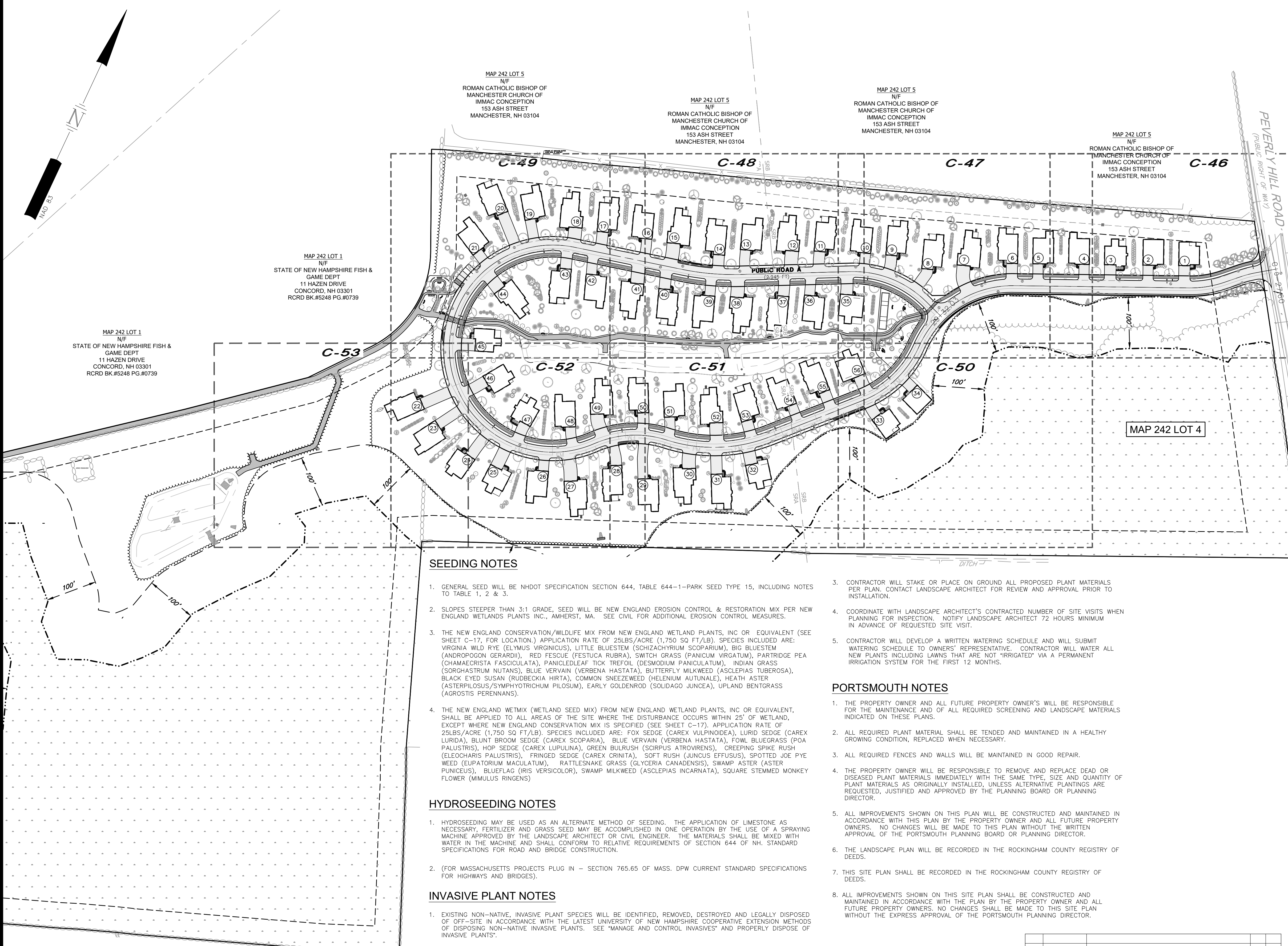
- CONTRACTOR WILL STAKE OR PLACE ON GROUND ALL PROPOSED PLANT MATERIALS PER PLAN. CONTACT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- COORDINATE WITH LANDSCAPE ARCHITECT'S CONTRACTED NUMBER OF SITE VISITS WHEN PLANNING FOR INSPECTION. NOTIFY LANDSCAPE ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
- CONTRACTOR WILL DEVELOP A WRITTEN WATERING SCHEDULE AND WILL SUBMIT WATERING SCHEDULE TO OWNERS' REPRESENTATIVE. CONTRACTOR WILL WATER ALL NEW PLANTS INCLUDING LAWNS THAT ARE NOT "IRRIGATED" VIA A PERMANENT IRRIGATION SYSTEM FOR THE FIRST 12 MONTHS.

PORTSMOUTH NOTES

- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNER'S WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS INDICATED ON THESE PLANS.
- ALL REQUIRED PLANT MATERIAL SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY.
- ALL REQUIRED FENCES AND WALLS WILL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- ALL IMPROVEMENTS SHOWN ON THIS PLAN WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES WILL BE MADE TO THIS PLAN WITHOUT THE WRITTEN APPROVAL OF THE PORTSMOUTH PLANNING BOARD OR PLANNING DIRECTOR.
- THE LANDSCAPE PLAN WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



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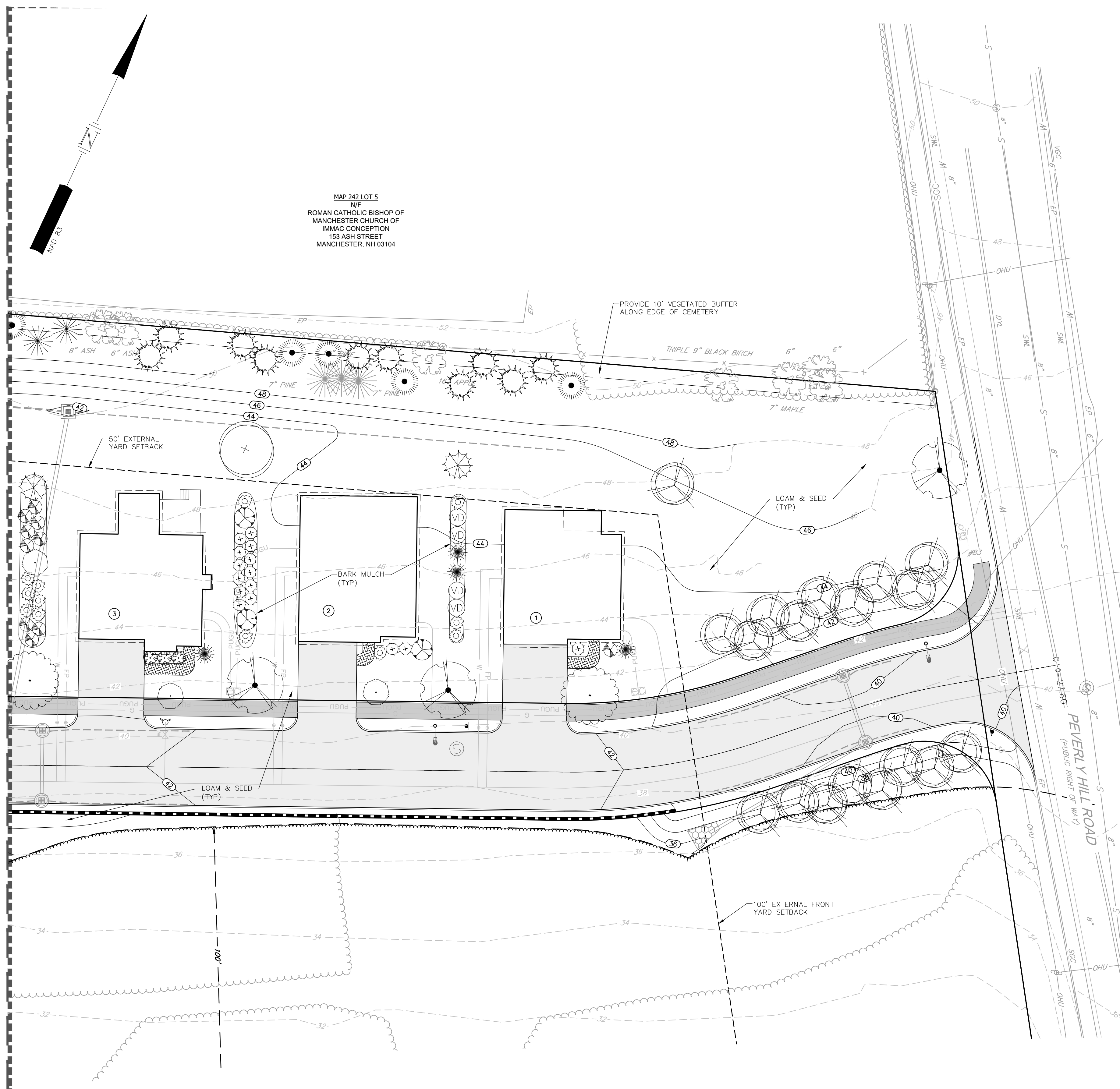
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MATCHLINE SEE SHEET - C-47



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
SHADE TREES				
(Symbol)	38	ACER RUBRUM 'OCTOBER GLORY' **OCTOBER GLORY RED MAPLE	3" TO 3 1/2" CAL.	B&B
(Symbol)	30	ACER SACCHARUM 'COMMEMORATION' **COMMEMORATION SUGAR MAPLE	3" TO 3 1/2" CAL.	B&B
(Symbol)	44	BETULA N. 'HERITAGE' *RIVER BIRCH	12' TO 14' CLUMP	B&B
(Symbol)	24	NYSSA SYLVATICA *BLACK GUM	2 1/2 TO 3" CAL.	B&B
(Symbol)	21	QUERCUS ALBA *WHITE OAK	3" TO 3 1/2" CAL.	B&B
(Symbol)	24	PLATANUS X A. 'EXCLAMATION' EXCLAMATION PLANETREE	3" TO 3 1/2" CAL.	B&B
EVERGREEN TREES				
(Symbol)	35 34	ABIES BALSAMAE *BALSAM FIR	6' TO 7' 7' TO 8'	B&B
(Symbol)	21	JUNIPERUS VIRGINIANA *EASTERN RED CEDAR	6' TO 7'	B&B
(Symbol)	30 30	PICEA GLAUCA *WHITE SPRUCE	6' TO 7' 7' TO 8'	B&B
(Symbol)	46 46	PINUS STROBUS *WHITE PINE	5' TO 6' 6' TO 7'	B&B

SMALL/FLOWERING TREES				
(Symbol)	45	CRATAEGUS CRUSGALLI INERMIS **THORNLESS COCKSPUR HAWTHORN	2" TO 2 1/2" CAL.	B&B
(Symbol)	23	PRUNUS VIRGINIANA 'SCHUBERT' *CANADA RED CHERRY	2" TO 2 1/2" CAL.	B&B
DECIDUOUS SHRUB				
(Symbol)	53	AMELANCHEIR CANADENSIS *SHADBLOW SERVICEBERRY	5' TO 6' CLUMP	B&B
(Symbol)	86	CLETHRA ALNIFOLIA 'COMPACTA' **COMPACT SUMMERSWEET	7 GAL.	CONT.
(Symbol)	50	CORNUS SERICEA 'ALLEMAN'S COMPACTA' **ALLEMAN'S COMPACT RED-OSIER DOGWOOD	3' TO 4'	CONT.
(Symbol)	42	VIBURNUM DENTATUM *ARROWWOOD VIBURNUM	4' TO 5'	B&B
(Symbol)	18	VIBURNUM TRILOBUM *AMERICAN CRANBERRY VIBURNUM	4' TO 5'	B&B
EVERGREEN SHRUB				
(Symbol)	145	ILEX GLABRA 'COMPACTA' **COMPACT INKBERRY	3 GAL.	CONT.
(Symbol)	160	JUNIPERUS C. 'PFITZERIANA COMPACTA' COMPACT PFITZER JUNIPER	3 GAL.	CONT.
(Symbol)	155	THUJA O. NIGRA *DARK AMERICAN ARBORVITAE	5' TO 6'	B&B

- *NATIVE
** IMPROVED NATIVE
- NOTES**
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 - PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS THE INTENT, BUT PLANT SIZES, SPECIES, AND AMOUNTS MAY VARY.

SITE DEVELOPMENT PLANS

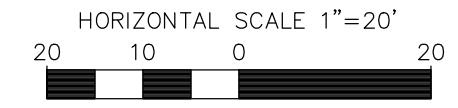
TAX MAP 242 LOT 4
LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40'
SCALE: 1"=20' **APRIL 19, 2021**

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



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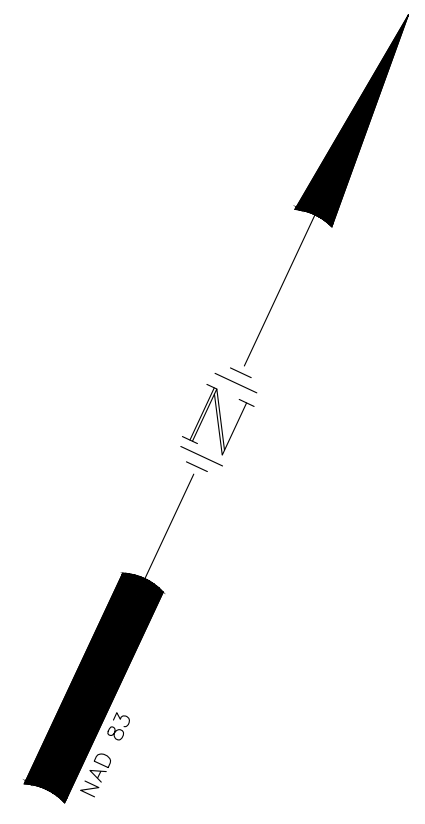
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47388.11 DR JSM FB
CK JJM CADFILE 47388-11_LANDSCAPE

C-46

Jul 21, 2021 - 4:23pm F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Condo Project\Design\Production Drawings\47388-11_Landscape.dwg



MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

PROVIDE 10' VEGETATED BUFFER
ALONG EDGE OF CEMETERY

LOAM & SEED
(TYP)

BARK MULCH
(TYP)

LOAM & SEED
(TYP)

MATCHLINE SEE SHEET - C-48

MATCHLINE SEE SHEET - C-46

MATCHLINE SEE SHEET - C-50

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LANDSCAPE PLAN
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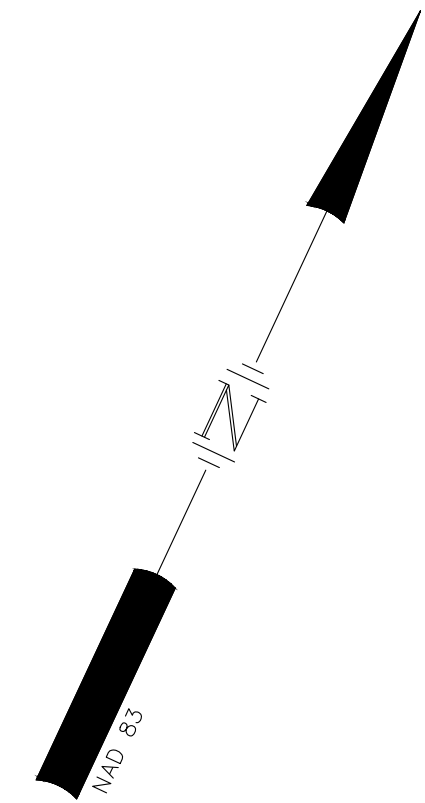
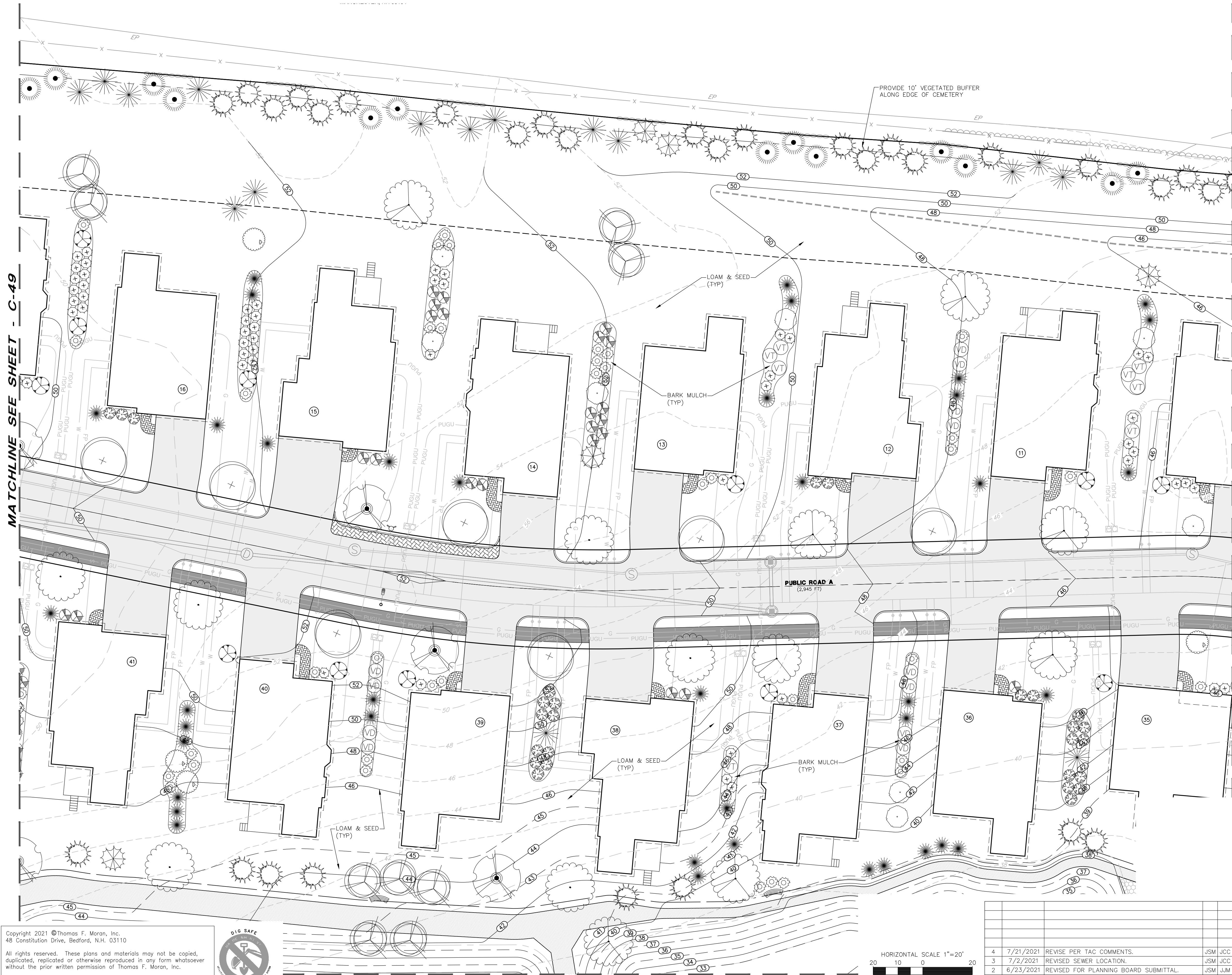
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SITE DEVELOPMENT PLANS

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PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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MATCHLINE SEE SHEET - C-51

HORIZONTAL SCALE 1"=20'
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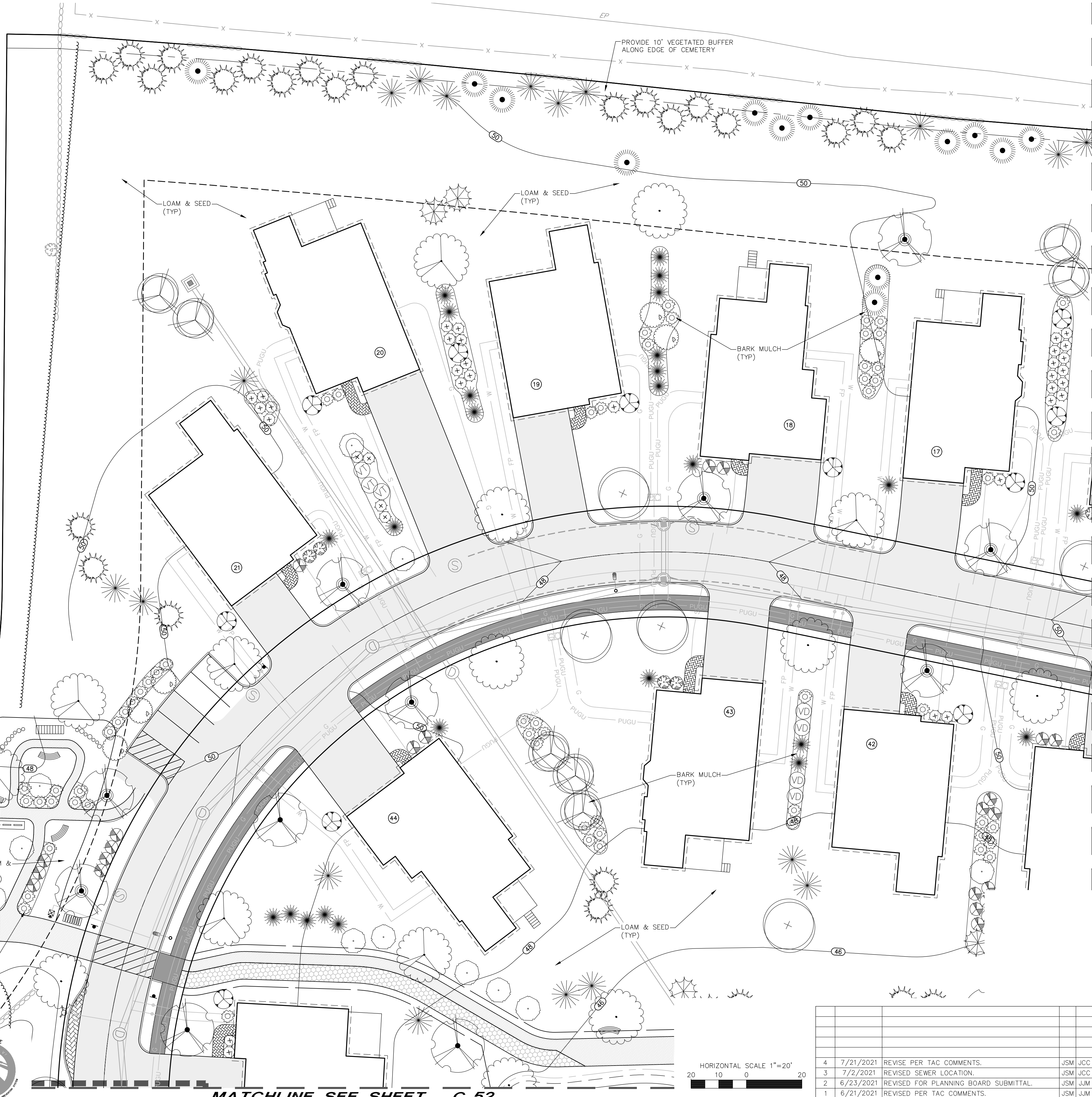
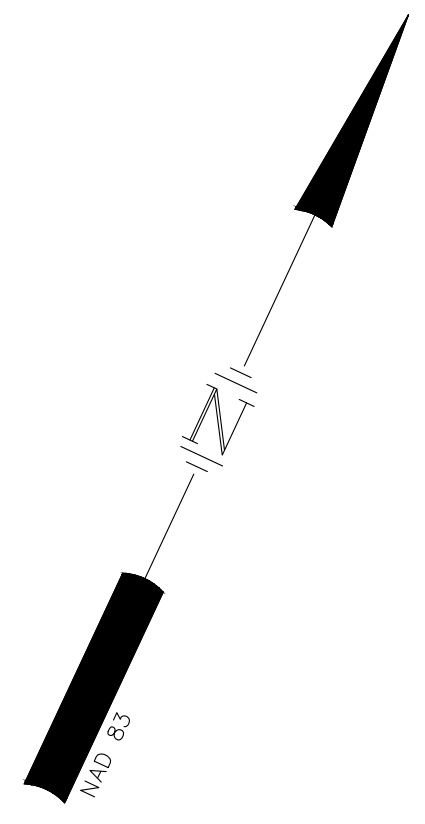


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47388.11	DR JSM	FB		
	CK JJM	CADFILE	47388-11_LANDSCAPE	C-48

MAP 242 LOT 1
N/F
STATE OF NEW HAMPSHIRE FISH &
GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK #5248 PG #0739



MATCHLINE SEE SHEET - C-48

SITE DEVELOPMENT PLANS

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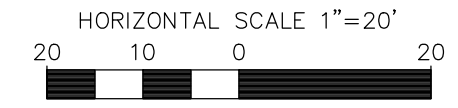
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MATCHLINE SEE SHEET - C-52



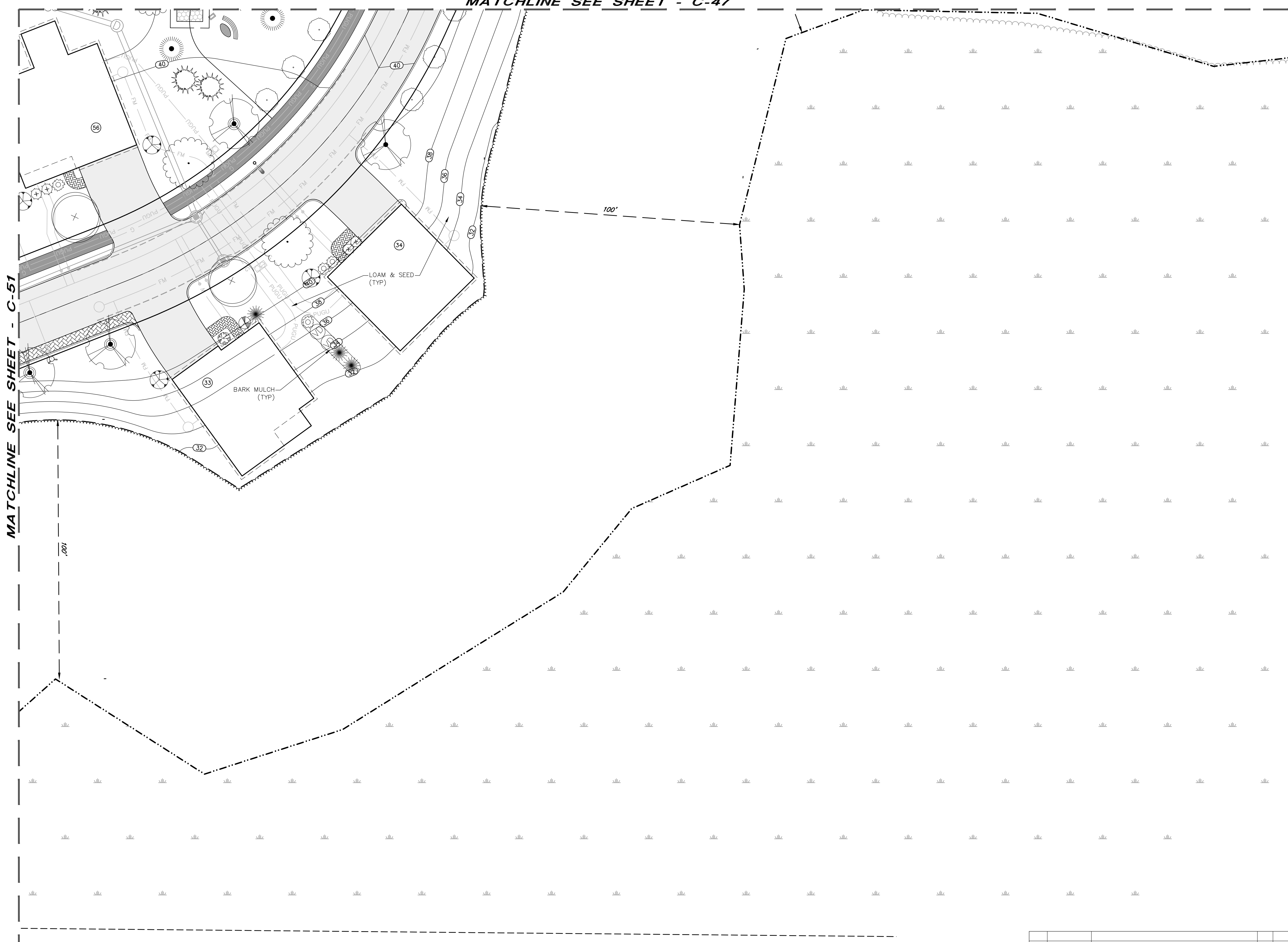
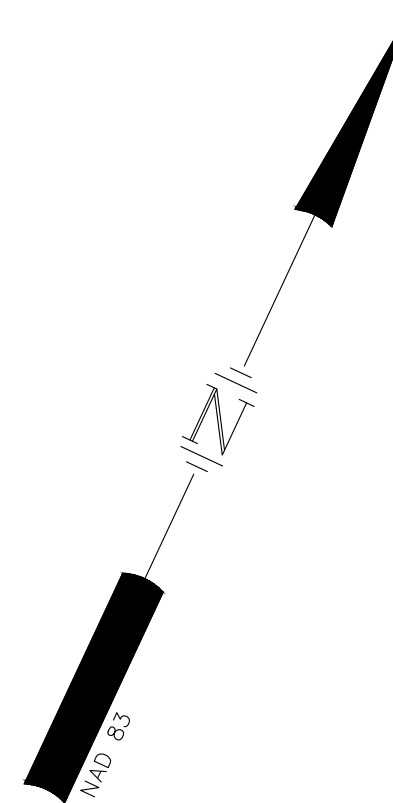
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47388.11	DR	JSM	FB		
	CK	JJM	CADFILE	47388-11_LANDSCAPE	C-49

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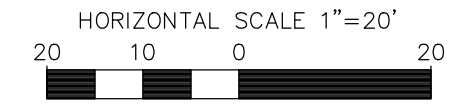
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MATCHLINE SEE SHEET - C-51



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PARSON WOODS CONDOMINIUM LLC
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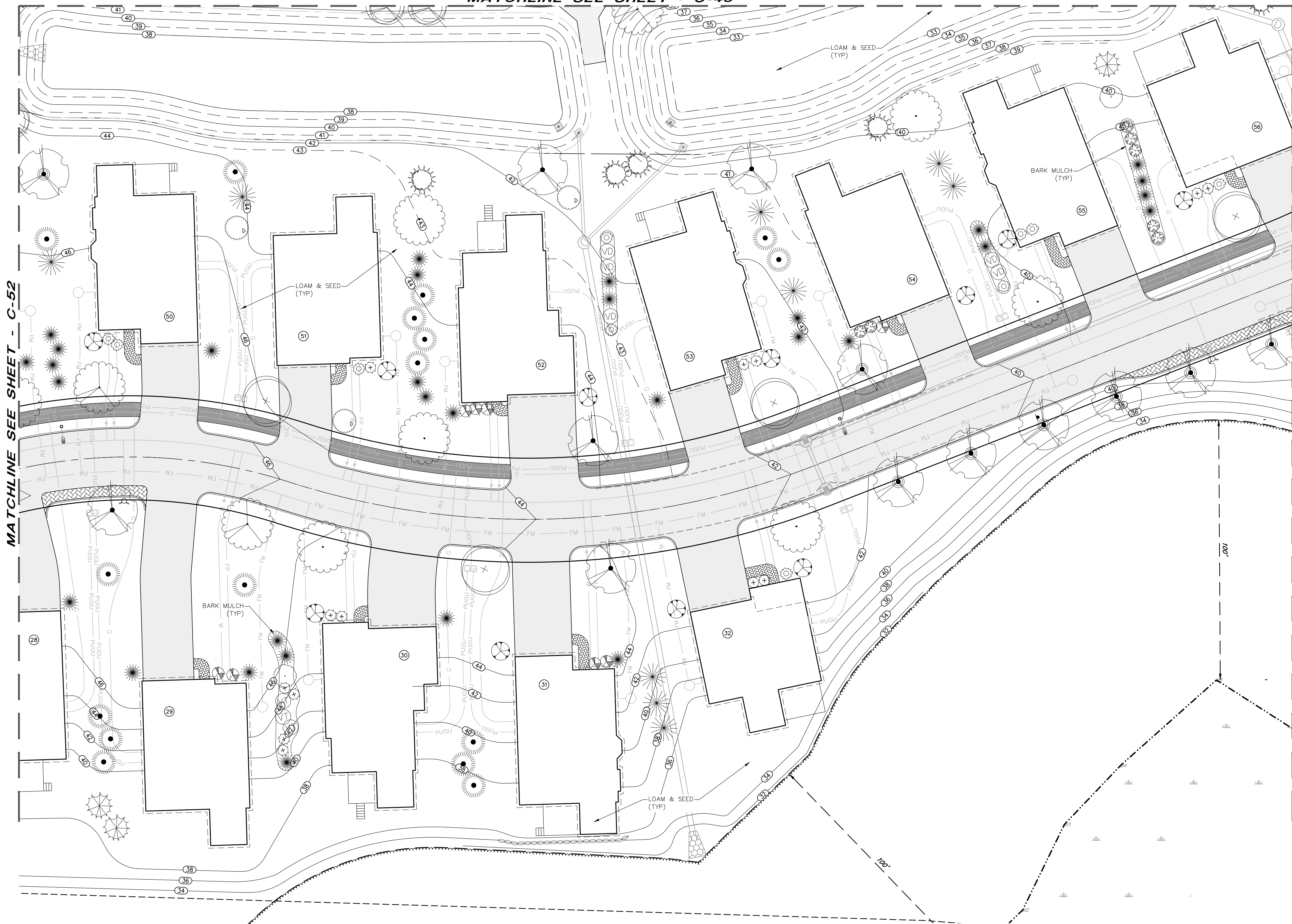
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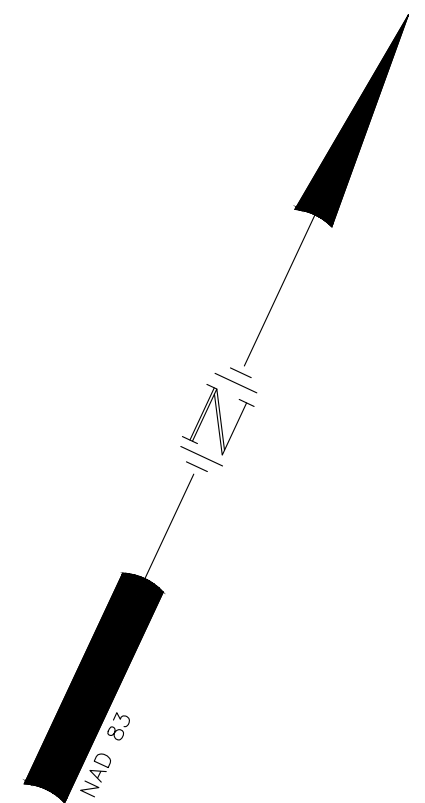
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	CK JJM	CADFILE	47388-11_LANDSCAPE						C-50

MATCHLINE SEE SHEET - C-48



MATCHLINE SEE SHEET - C-52

MATCHLINE SEE SHEET - C-50



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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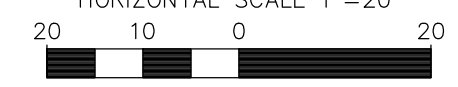
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HORIZONTAL SCALE 1"=20'



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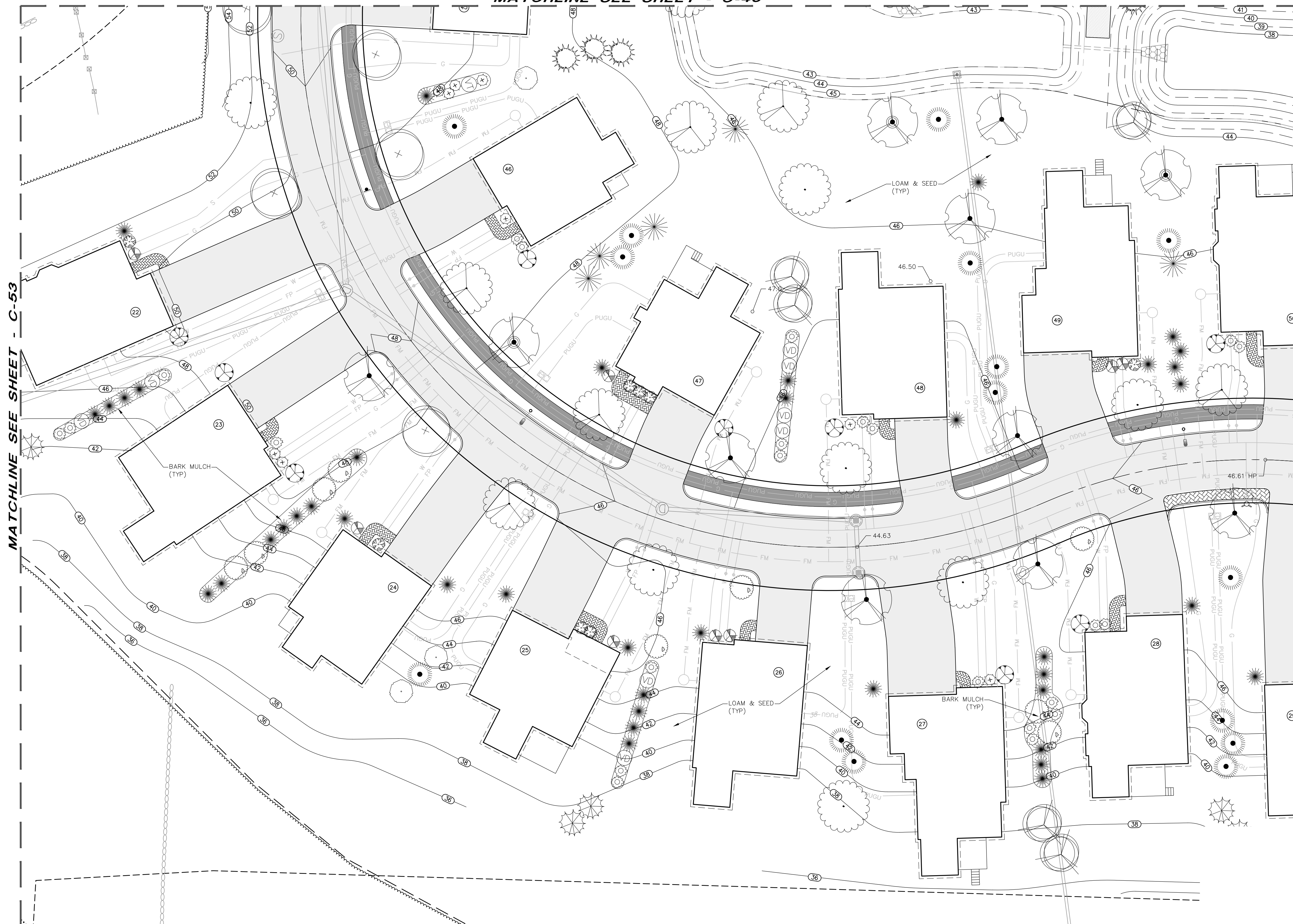
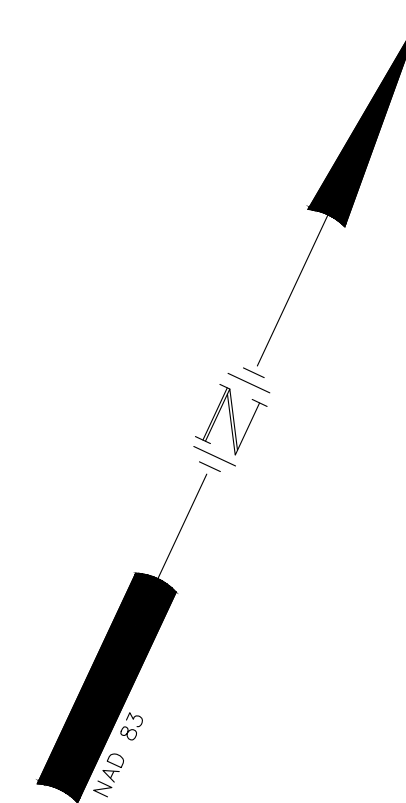
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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_LANDSCAPE C-51

MATCHLINE SEE SHEET - C-49

MATCHLINE SEE SHEET - C-53

MATCHLINE SEE SHEET - C-51



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

LANDSCAPE PLAN

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT

PREPARED FOR

GREEN & COMPANY REAL ESTATE

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SCALE: 1"=20'

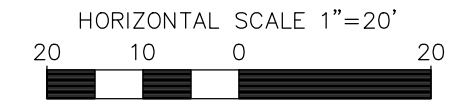
APRIL 19, 2021

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699.69'
586°43'10" W

MAP 242 LOT 3
N/F
NEW HOPE BAPTIST CHURCH
PORTSMOUTH, NH 03802



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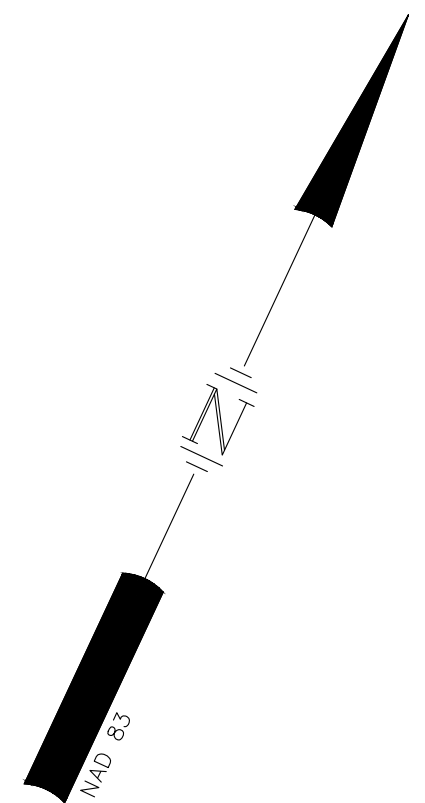
47388.11

DR JSM FB
CK JJM CADFILE 47388-11_LANDSCAPE

C-52

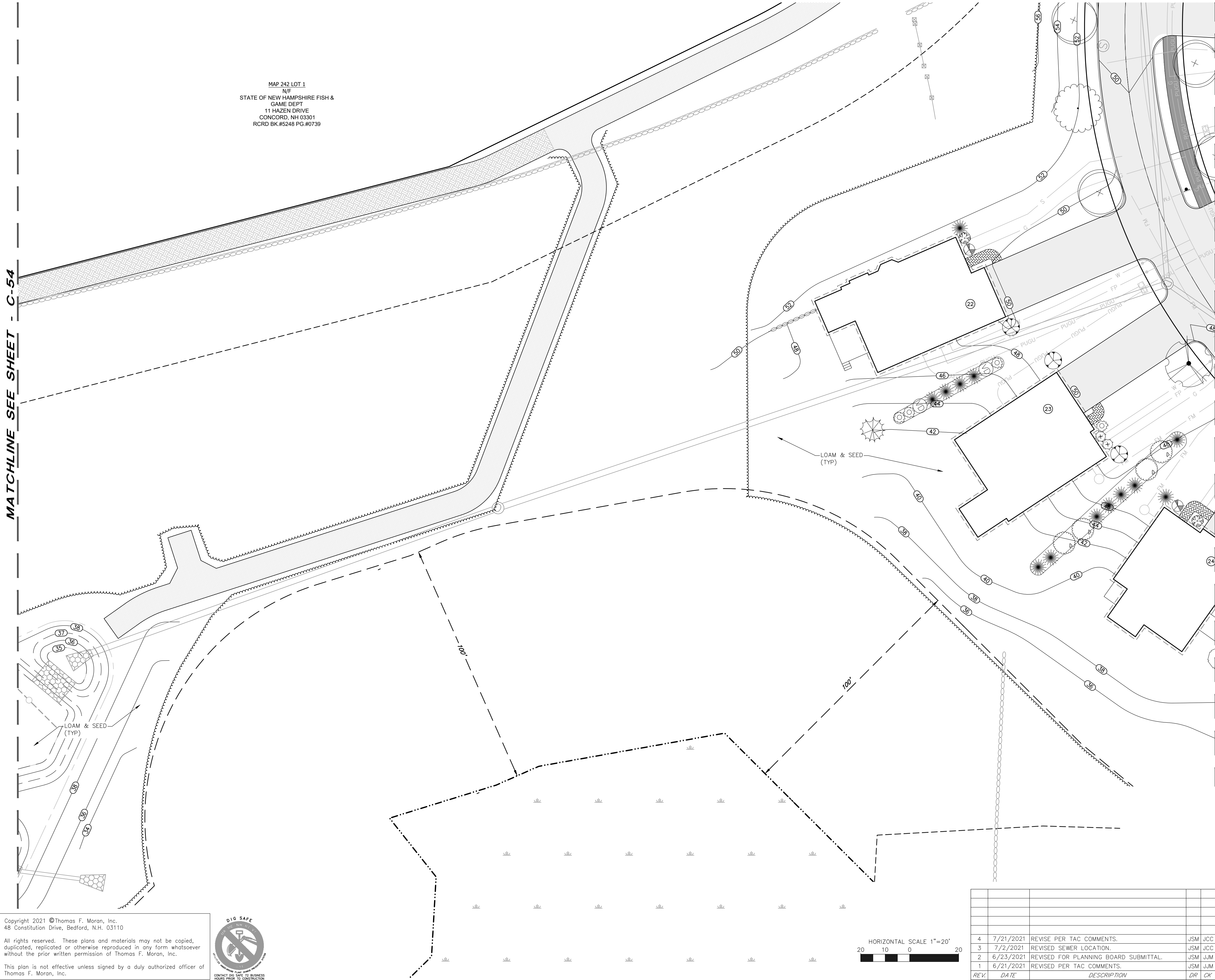
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK.#5248 PG.#0739



MATCHLINE SEE SHEET - C-54

MATCHLINE SEE SHEET - C-52



SITE DEVELOPMENT PLANS

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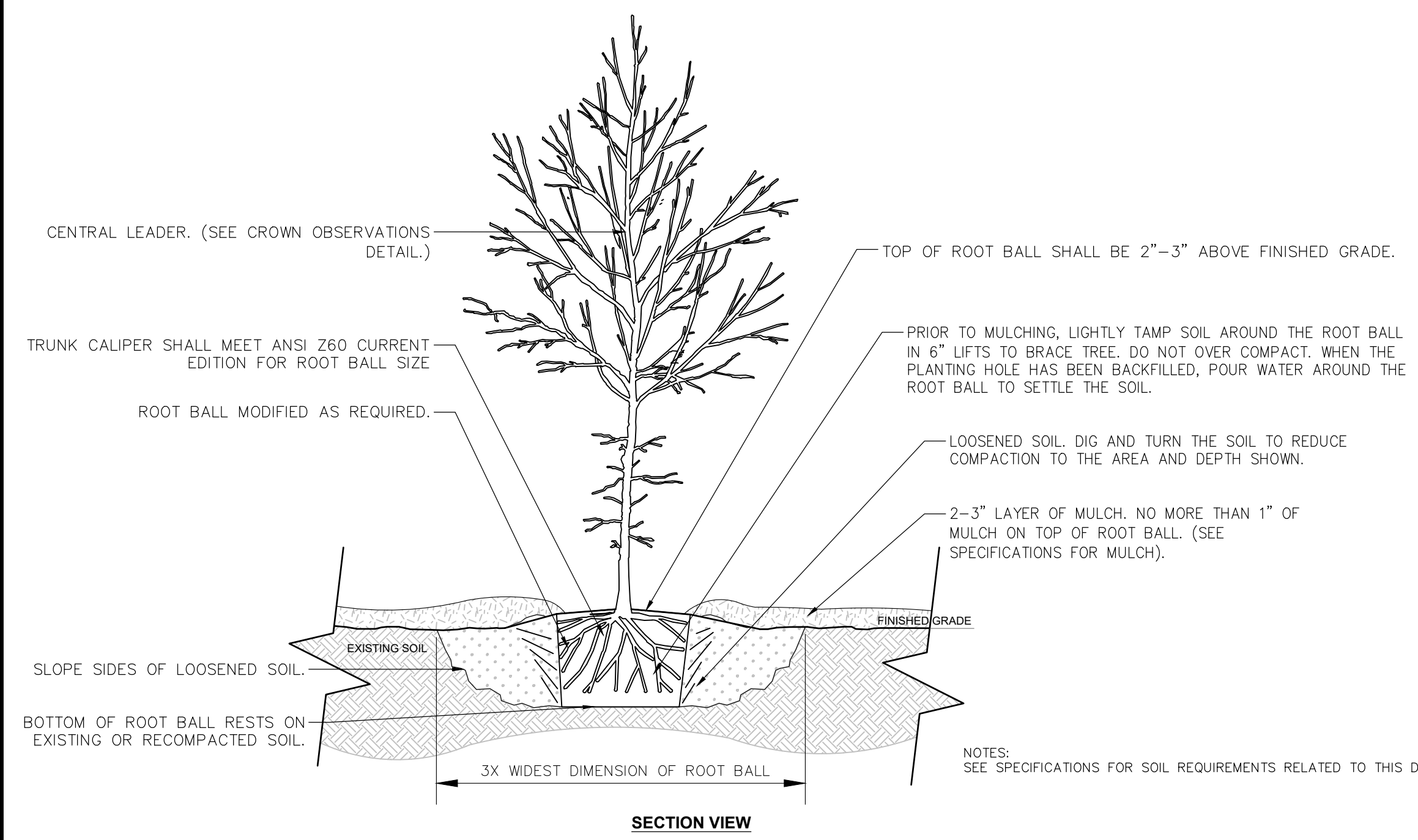
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47388.11	DR	JSM	FB	-	47388-11_LANDSCAPE	C-53
	CK	JJM	CADFILE			

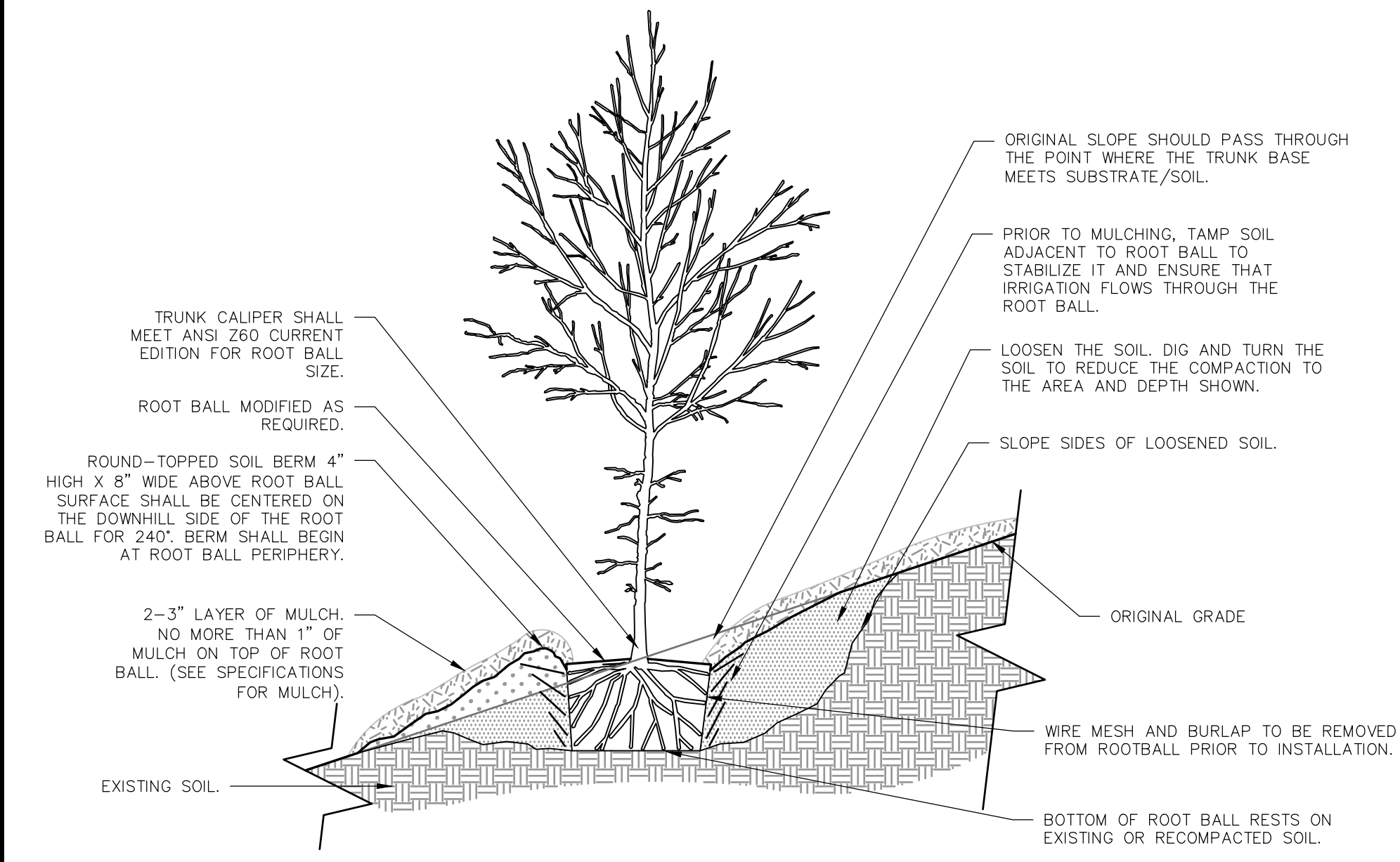
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TREE WITH BERM

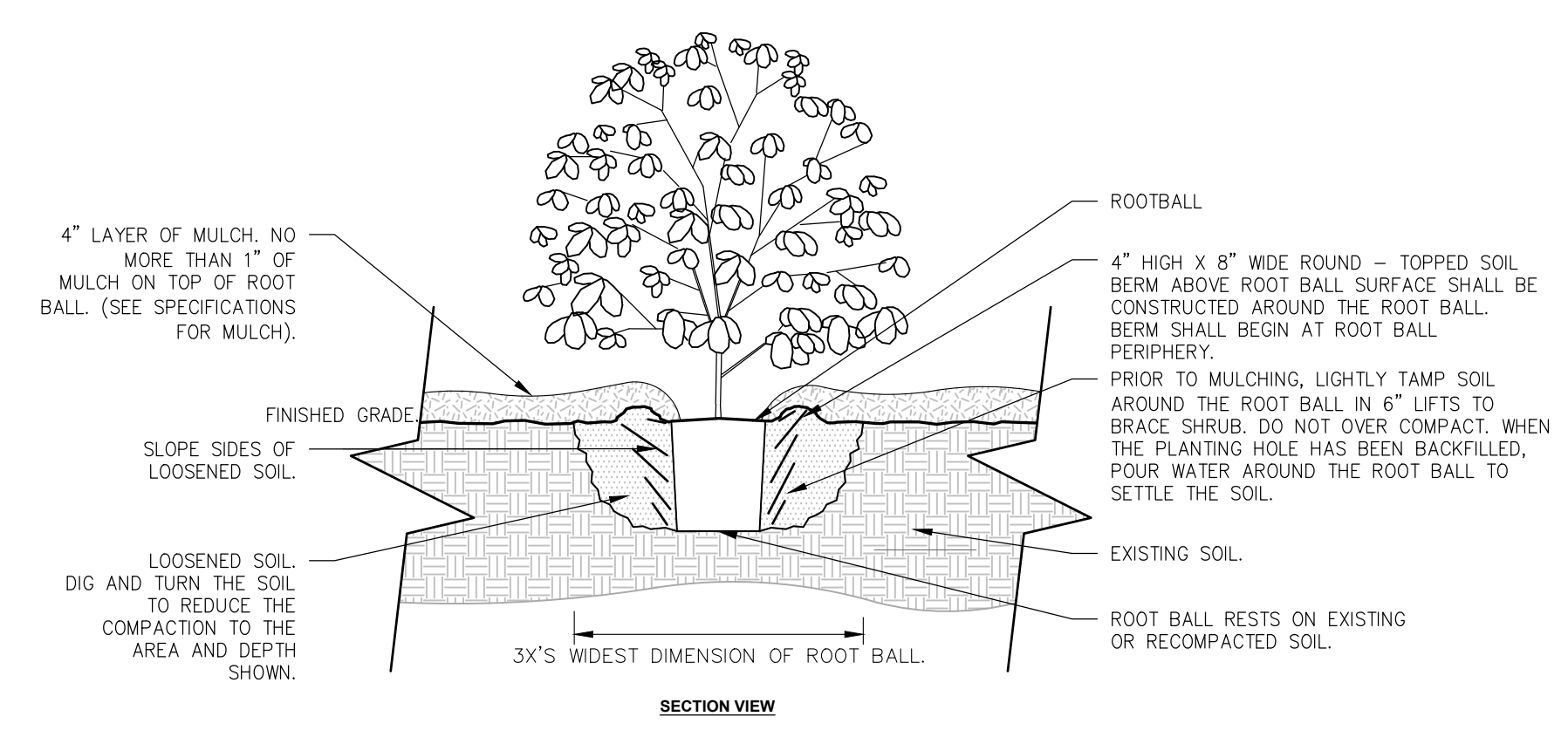
NOT TO SCALE



TREE ON SLOPE 5% (20:1) TO 50% (2:1)

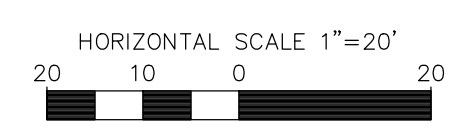
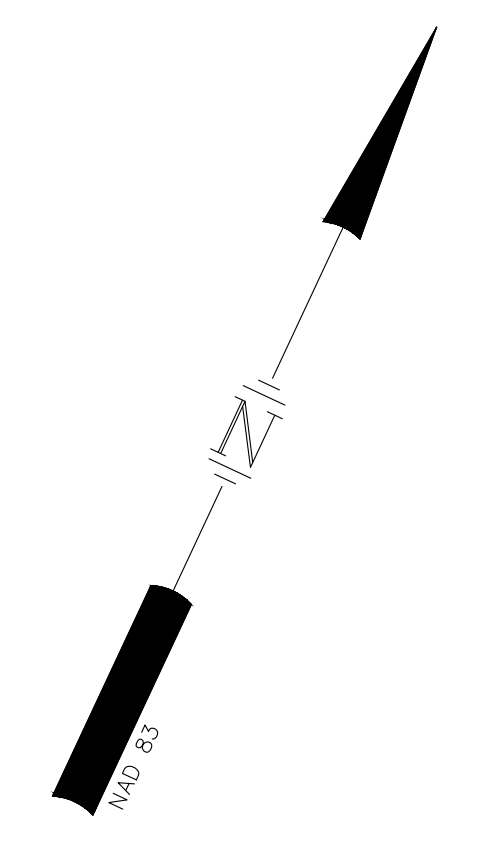
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SHRUB PLANTING

NOT TO SCALE



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SITE DEVELOPMENT PLANS

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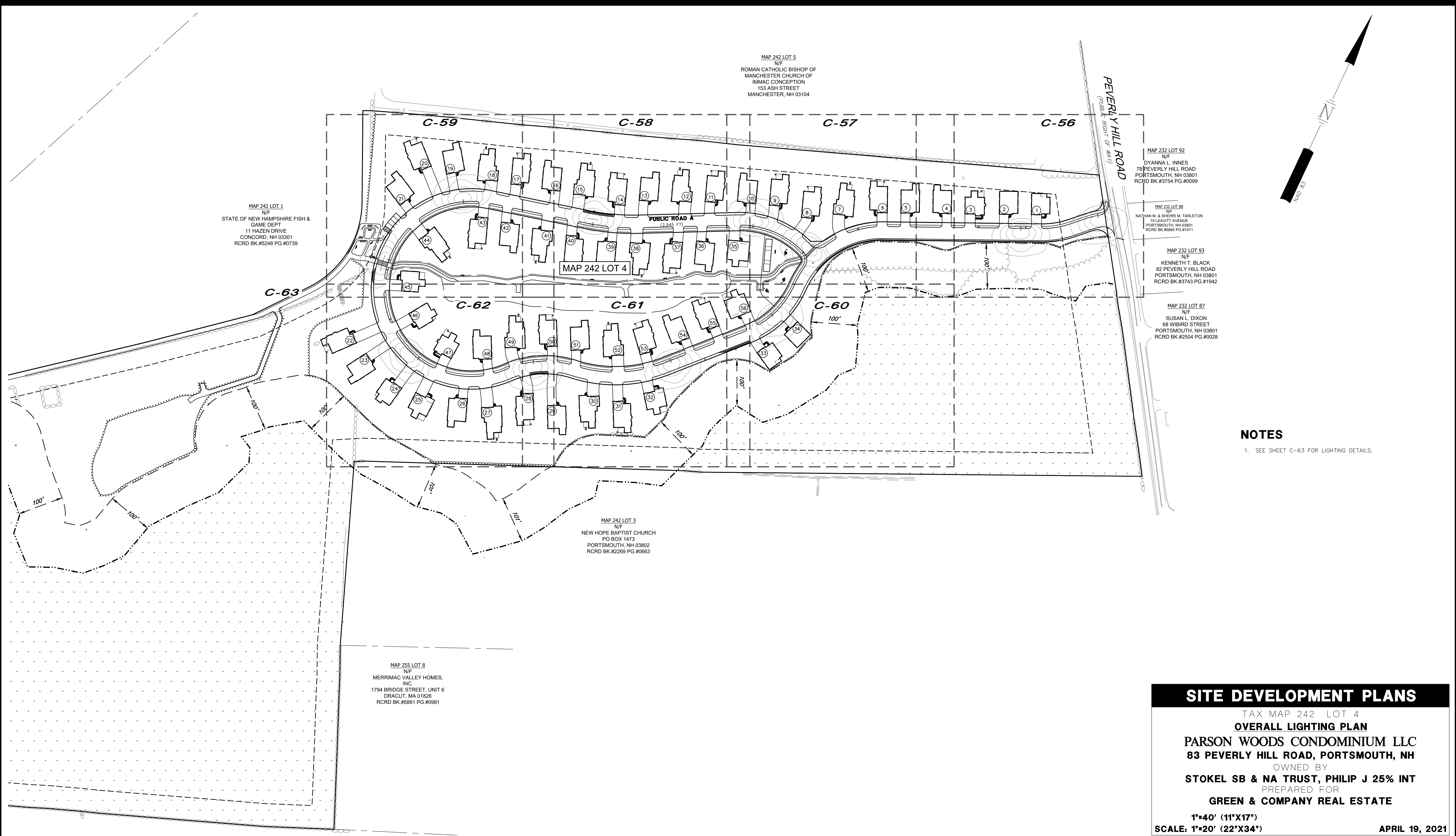
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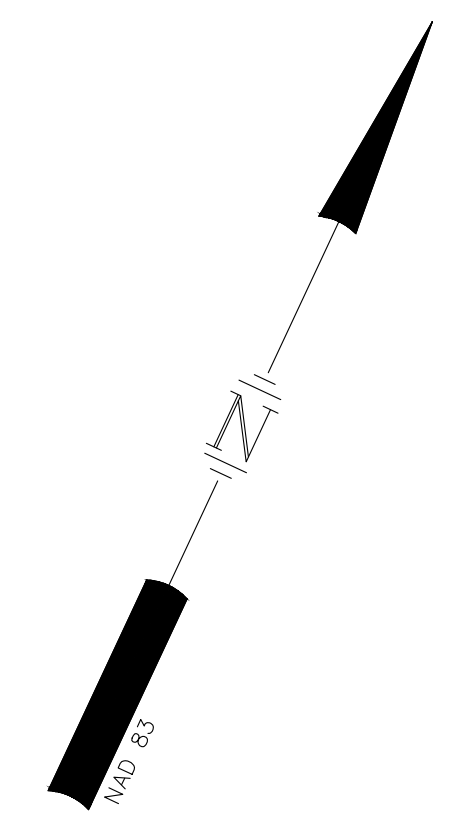
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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_LANDSCAPE C-54

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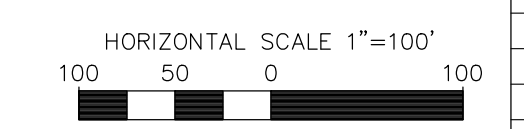


NOTES
 1. SEE SHEET C-63 FOR LIGHTING DETAILS.



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
OVERALL LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11'X17')
SCALE: 1"=20' (22'X34') **APRIL 19, 2021**

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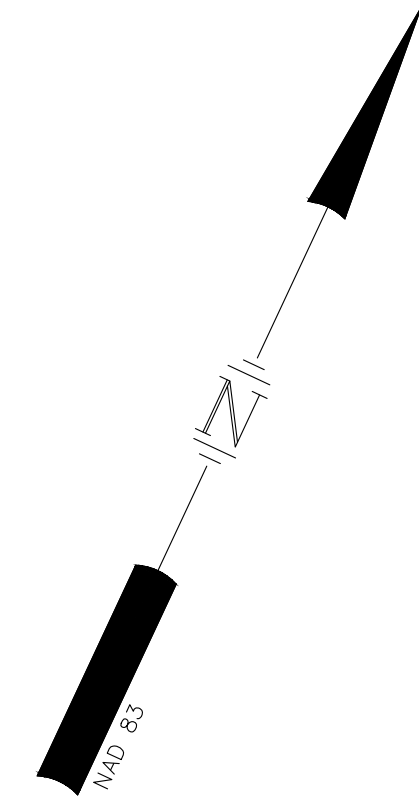


REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

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 Traffic Engineers
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 Landscape Architects
 Scientists

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FILE: 47388.11
 DR: JSM
 CK: JSM
 FB: FB
 CADFILE: 47388-11_LIGHTING
 C-55

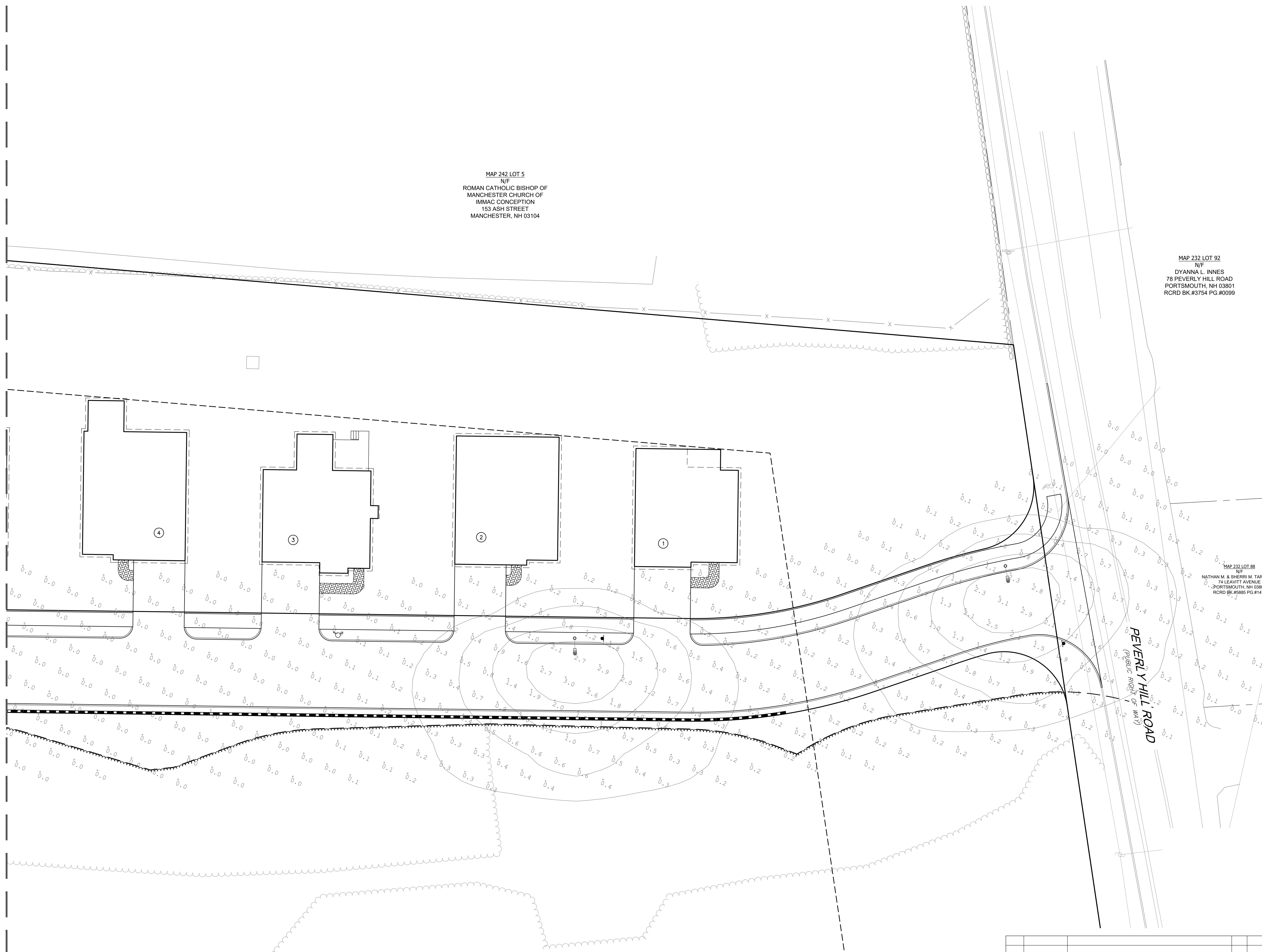


MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/F
DYANNA L. INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK.#3754 PG.#0099

MAP 232 LOT 88
N/F
NATHAN M. & SHERRI M. TAR
74 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK.#5885 PG.#141

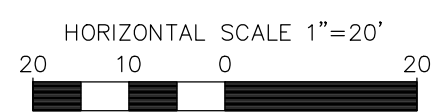
MATCHLINE SEE SHEET - C-57



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

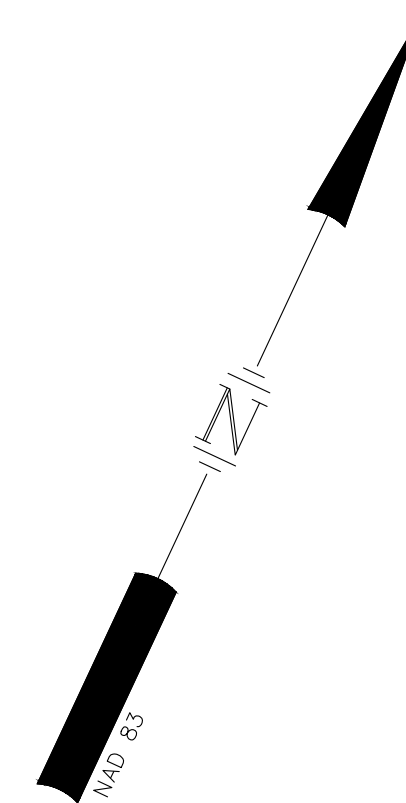


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47388.11 DR JSM FB
CK JIM CADFILE 47388-11_LIGHTING C-56

MAP 242 LOT 5
 N/F
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104



MATCHLINE SEE SHEET - C-58

MATCHLINE SEE SHEET - C-56



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
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SCALE: 1"=20' (22"X34") **APRIL 19, 2021**

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MATCHLINE SEE SHEET - C-60

HORIZONTAL SCALE 1"=20'
 20 10 0 20

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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

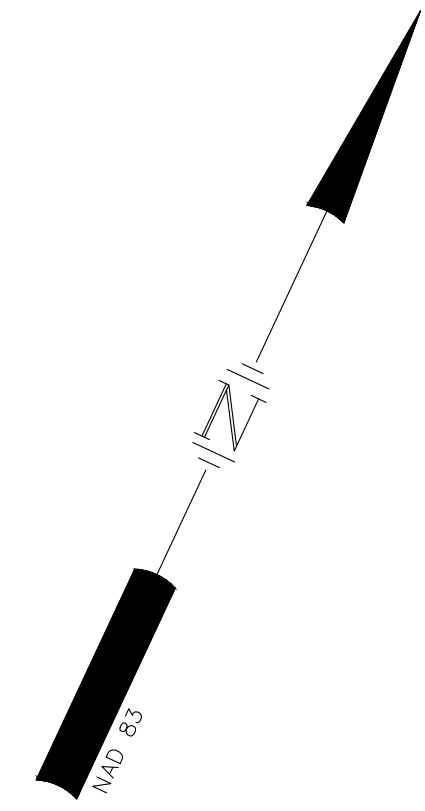


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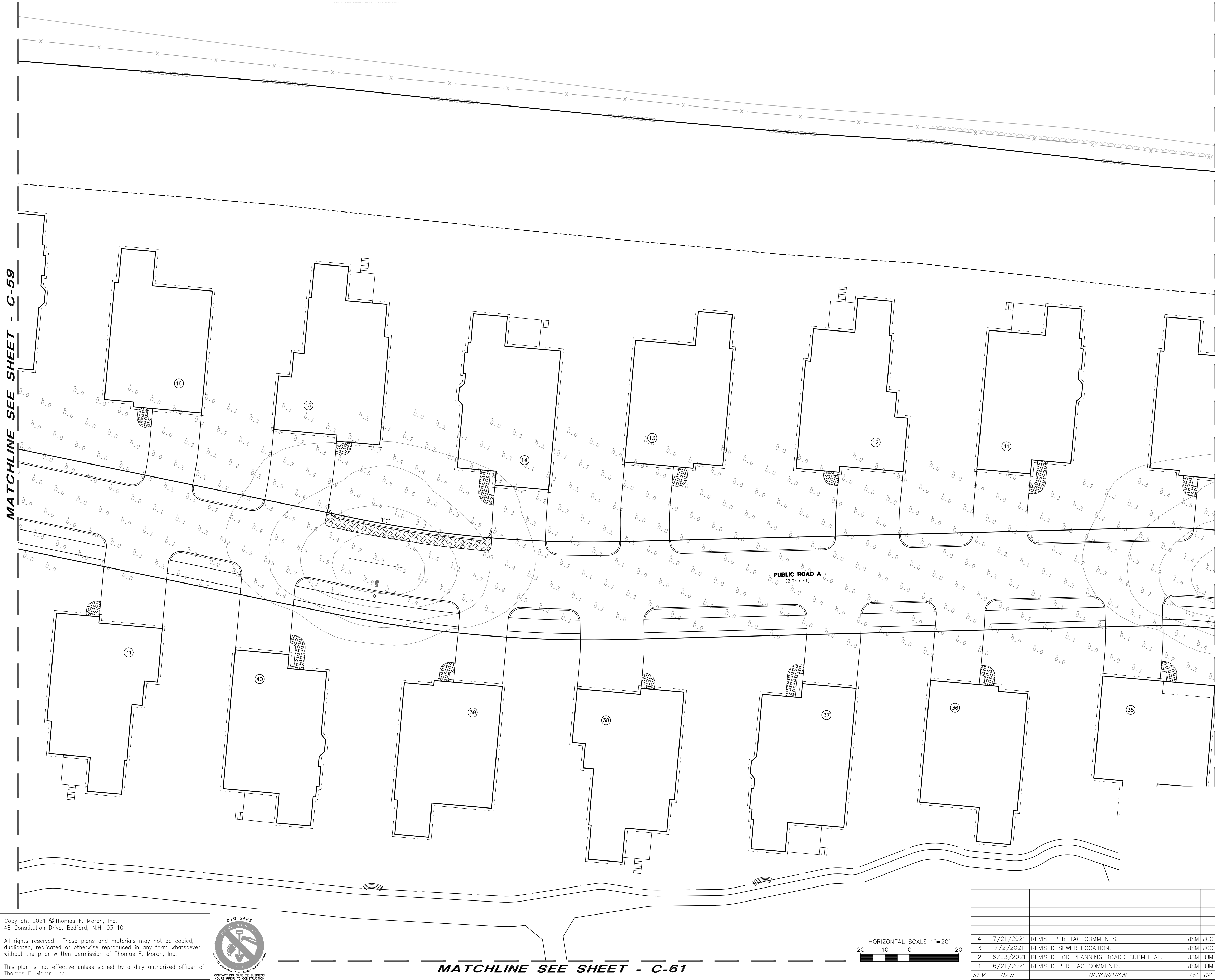
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MATCHLINE SEE SHEET - C-59

MATCHLINE SEE SHEET - C-57



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
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MATCHLINE SEE SHEET - C-61

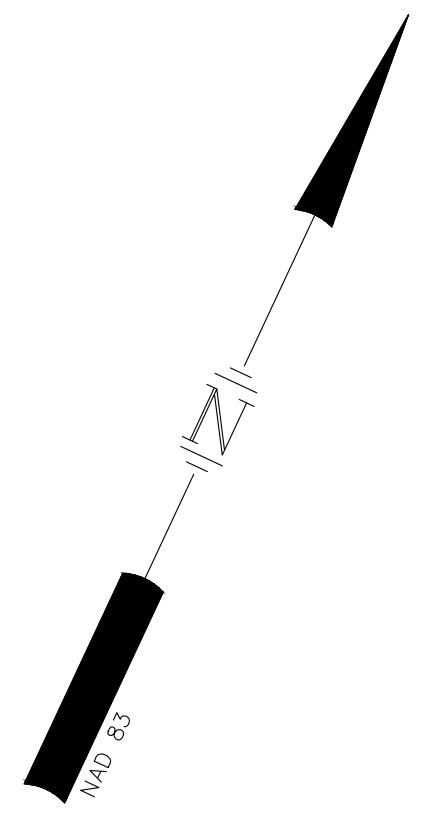
HORIZONTAL SCALE 1"=20'
 20 10 0 20

REV	DATE	DESCRIPTION	DR	CK
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

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		Structural Engineers		Portsmouth, NH 03801	
		Traffic Engineers		Phone (603) 431-2222	
		Land Surveyors		Fax (603) 431-0910	
		Landscape Architects		www.tfmoran.com	
Scientists					
47388.11	DR JSM	FB			C-58
	CK JJM	CADFILE	47388-11_LIGHTING		

Jul 21, 2021 - 4:24pm F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Road\Production Drawings\47388-11 Lighting.dwg

MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK.#5248 PG.#0739



MATCHLINE SEE SHEET - C-58

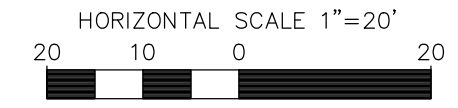


SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM



MATCHLINE SEE SHEET - C-62

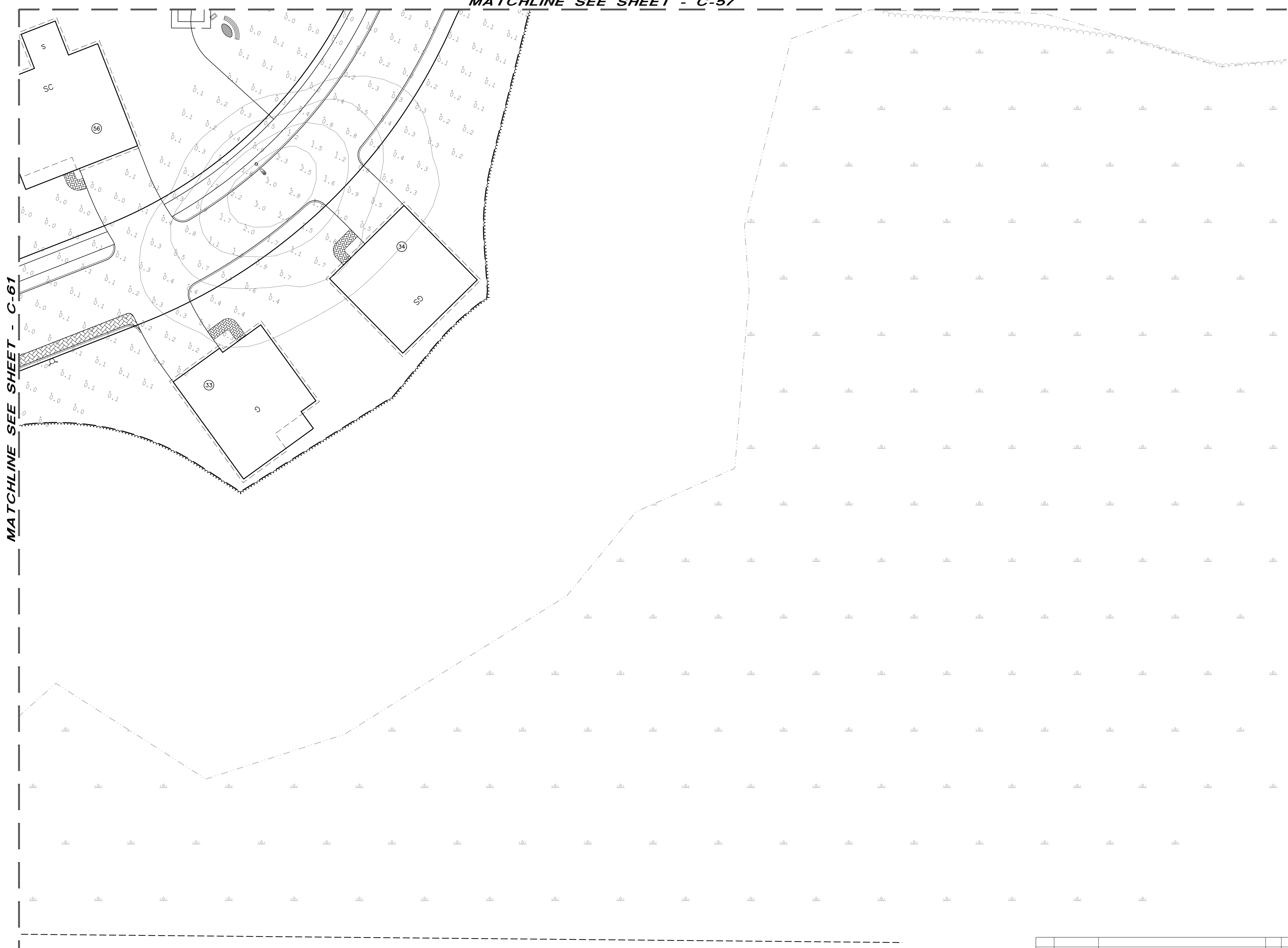
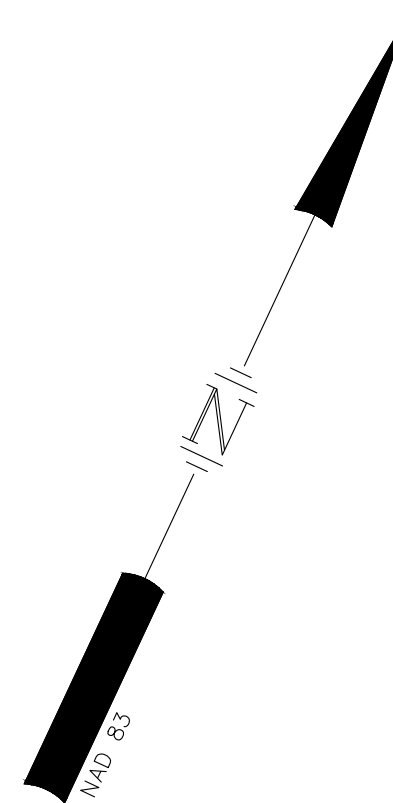
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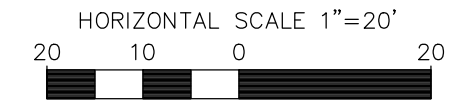
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MATCHLINE SEE SHEET - C-57

MATCHLINE SEE SHEET - C-61



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2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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47388.11 DR JSM FB
 CK JUM CADFILE 47388-11_LIGHTING

C-60

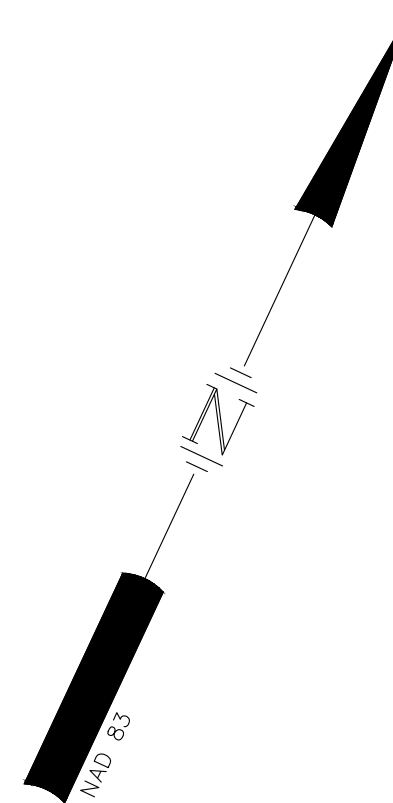
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MATCHLINE SEE SHEET - C-58



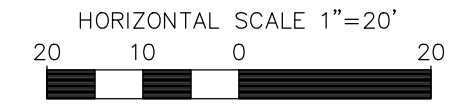
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MATCHLINE SEE SHEET - C-60



Jul 21, 2021 - 4:24pm F:\MISC Projects\47388 - Pevery Hill Rd - Portsmouth\47388-11 Green and Co - 83 Pevery Hill Rd - Portsmouth\47388-11 Lighting.dwg

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SITE DEVELOPMENT PLANS

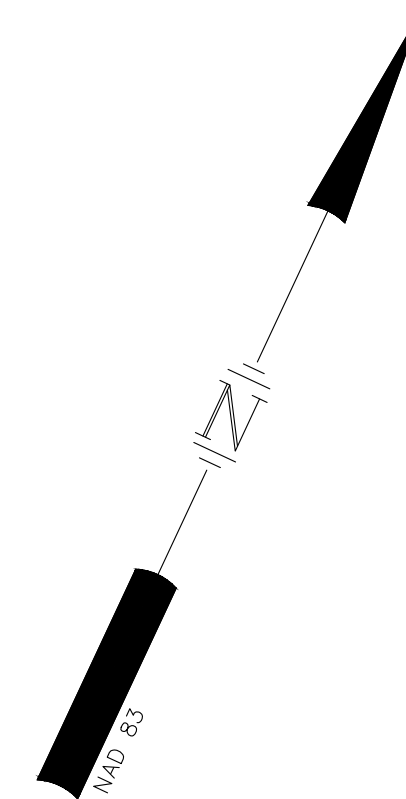
TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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47388.11	DR	JSM	FB	-	
	CK	JJM	CADFILE	47388-11_LIGHTING	C-61

MATCHLINE SEE SHEET - C-59



MATCHLINE SEE SHEET - C-63

MATCHLINE SEE SHEET - C-61



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

LIGHTING PLAN

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT

PREPARED FOR

GREEN & COMPANY REAL ESTATE

1"=40' (11'X17')

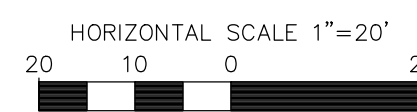
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APRIL 19, 2021

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MAP 242 LOT 3
 N/F
 NEW HOPE BAPTIST CHURCH
 PORTSMOUTH, NH 03802



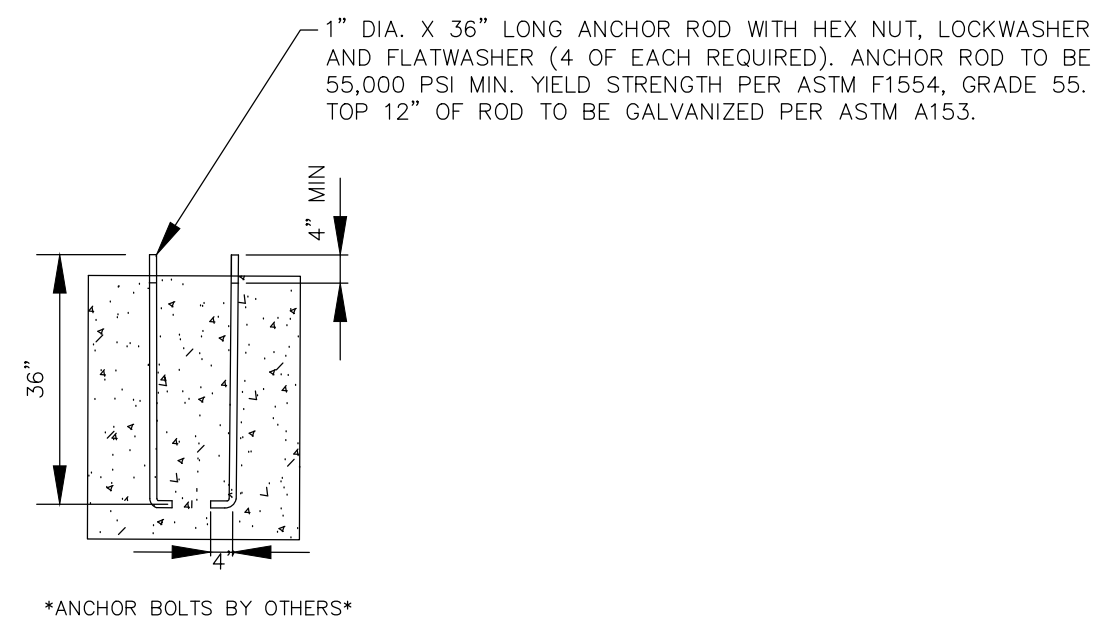
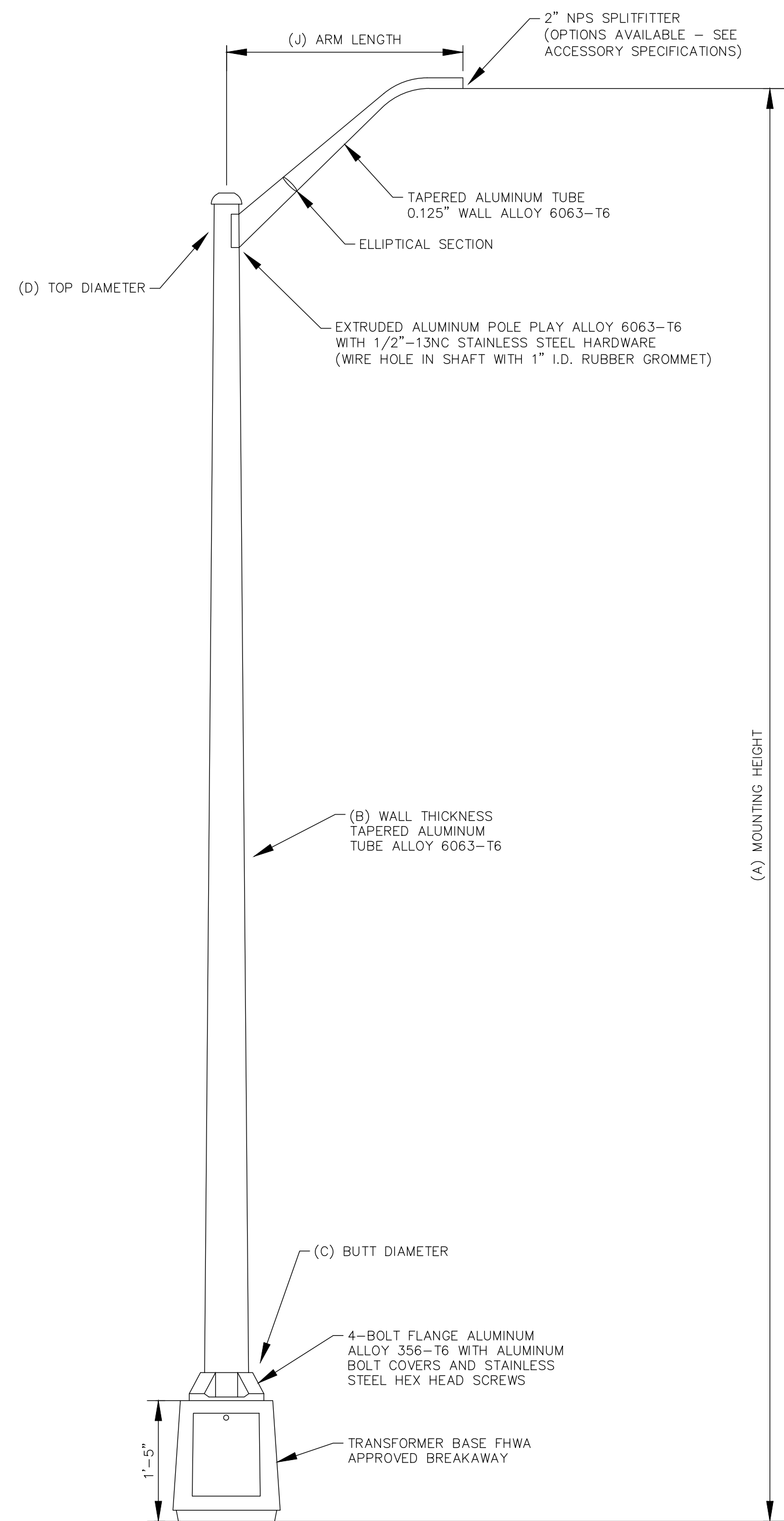
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47388.11	DR	JSM	FB	-		C-62
	CK	JJM	CADFILE	47388-11_LIGHTING		



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description		Lum. Lumens
	11	T3	SINGLE	GCM2-30H-MV-WW-3R-BK-850-PCR7-CR-CF-PTB-LLPC/ 24' RTA POLE		13283

StatArea_1
ROADWAY
Illuminance (Fc)
Average = 0.61
Maximum = 3.2
Minimum = 0.0
Avg/Min Ratio = N.A.
Max/Min Ratio = N.A.

LEOTEK
LITE-ON GROUP

GreenCobra™ Midsize LED Street Light
GCM H-Series Specification Data Sheet

Luminaire Data
Weight 10 lbs [4.6 kg]
EPA 0.44 ft'

A MTG. HGT.	B WALL THICKNESS	C BUTT DIA.	J ARM LENGTH	MAXIMUM EPA					OLD CAT. NUMBER	CAT. NUMBER
				90	100	110	120	130		
24'	0.156"	7"	6'	8.6	6.8	6.2	5.2	4.4	23-365	RTA25C7BFM16--**

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
SHEET TITLE
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: ~~SCALE(11'X17')~~ **SCALE(22'X34')** OR_NTS **APRIL 19, 2021**

REV	DATE	DESCRIPTION	DR	CK
R.9	DATE9	DESCRIPTION9	DR.9	CK.9
R.8	DATE8	DESCRIPTION8	DR.8	CK.8
R.7	DATE7	DESCRIPTION7	DR.7	CK.7
R.6	DATE6	DESCRIPTION6	DR.6	CK.6
R.5	DATE5	DESCRIPTION5	DR.5	CK.5
R44	7/24/2021	REVISE PER TAC COMMENTION4	DSM	CK.4
R33	7/24/2021	REVISED SEWER LOCATION3	DSM	CK.3
R22	6/28/2021	REVISED FOR PLANNING DEPARTMENT SUBMITTAL.	DSM	CK.2
R11	6/24/2021	REVISED PER TAC COMMENTION1	DSM	CK.1

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DR: JSM, FB
CK: JCM, CADFILE

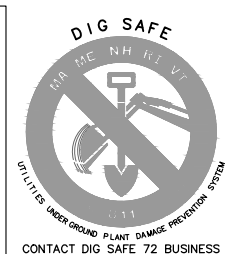
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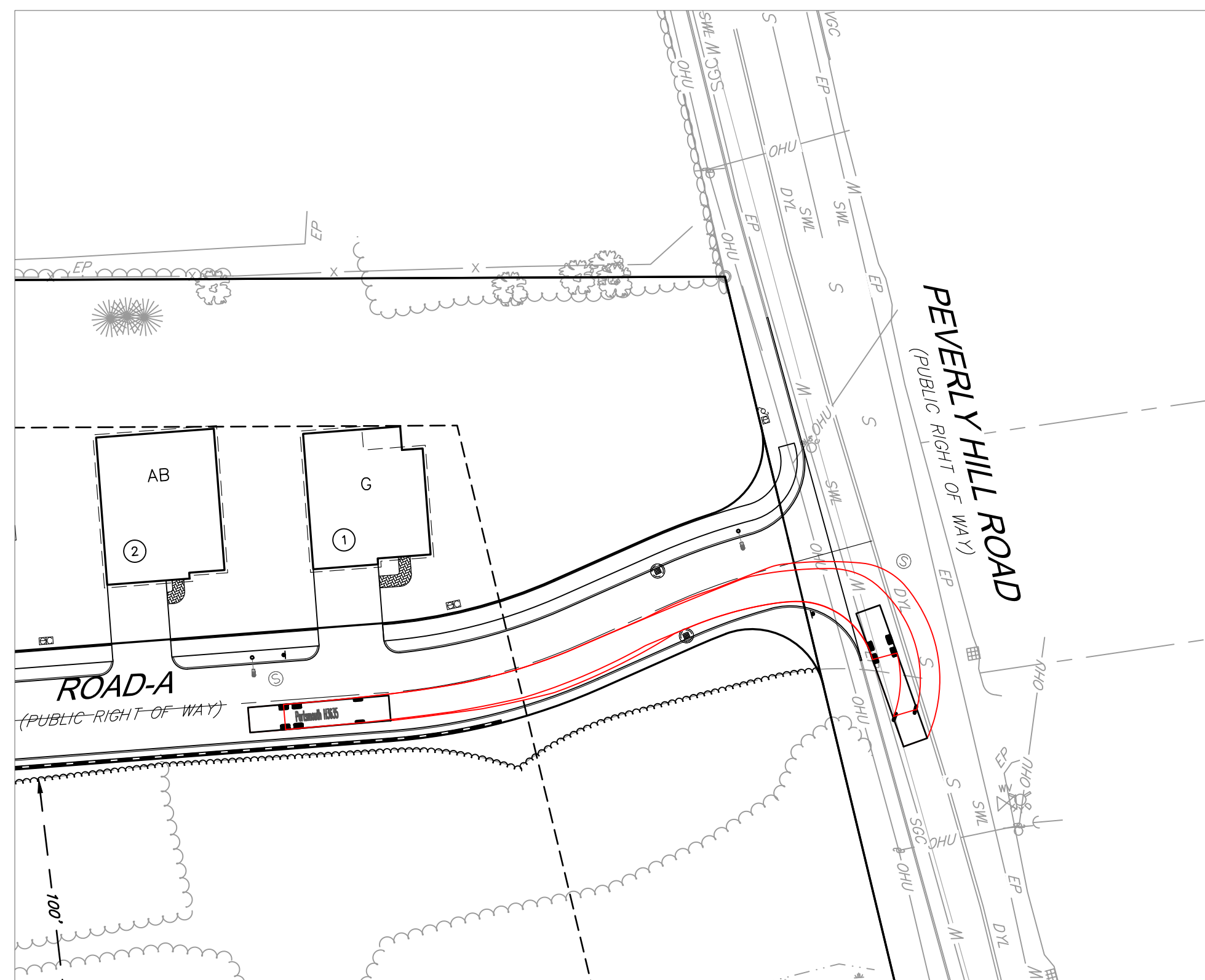
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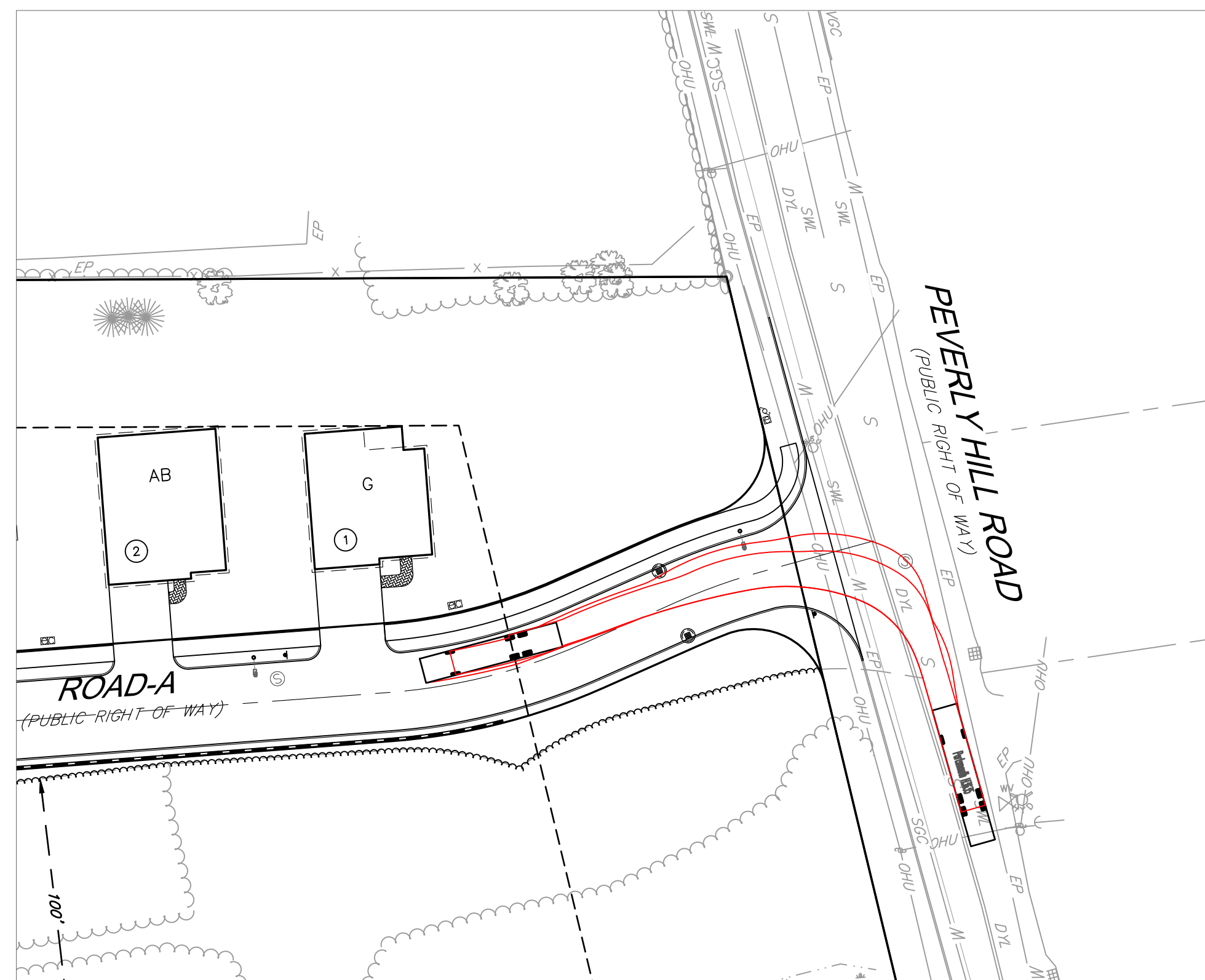
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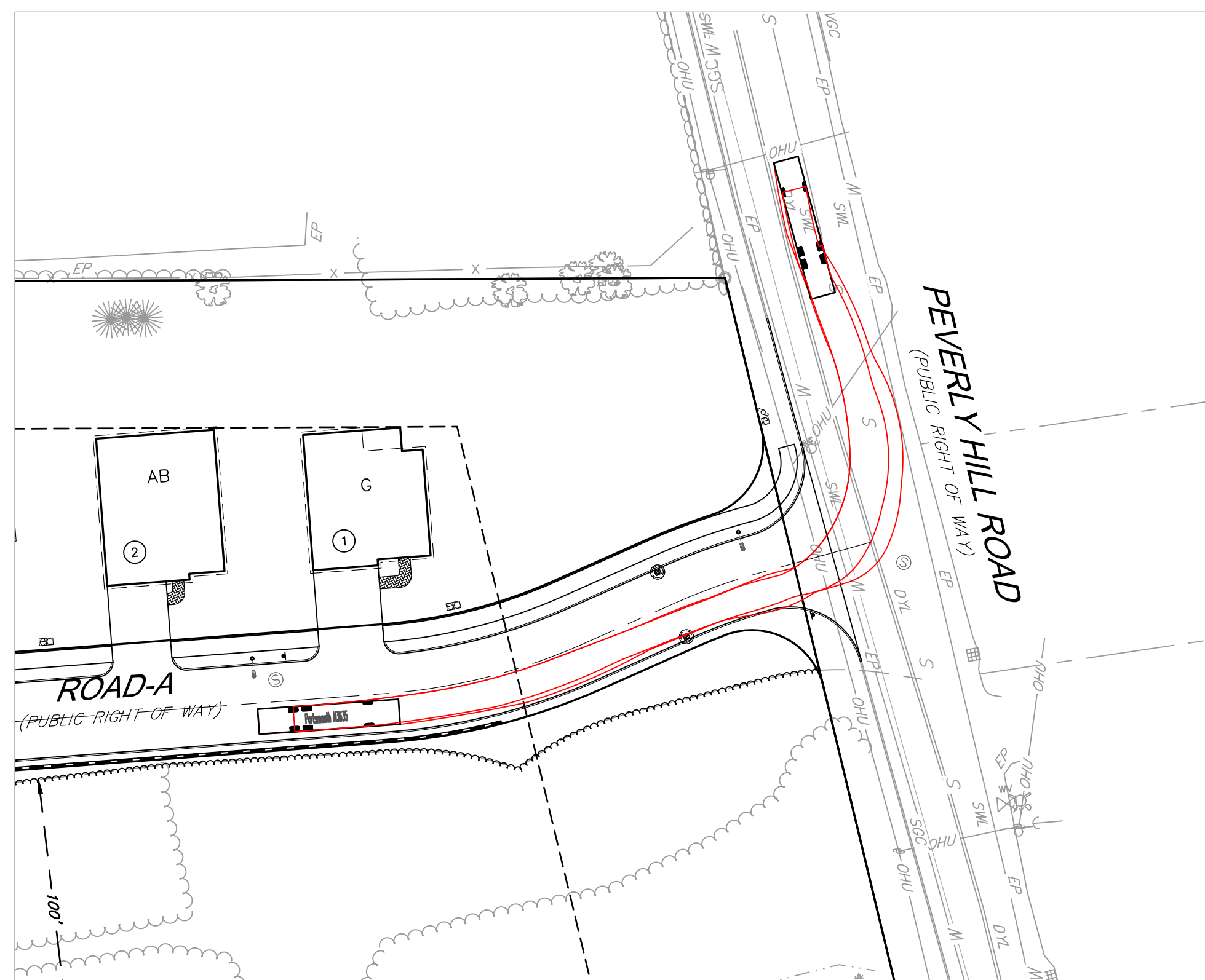




FIRE TUCK TURNING FROM ROAD-A SOUTHEAST ONTO PEVERLY HILL ROAD



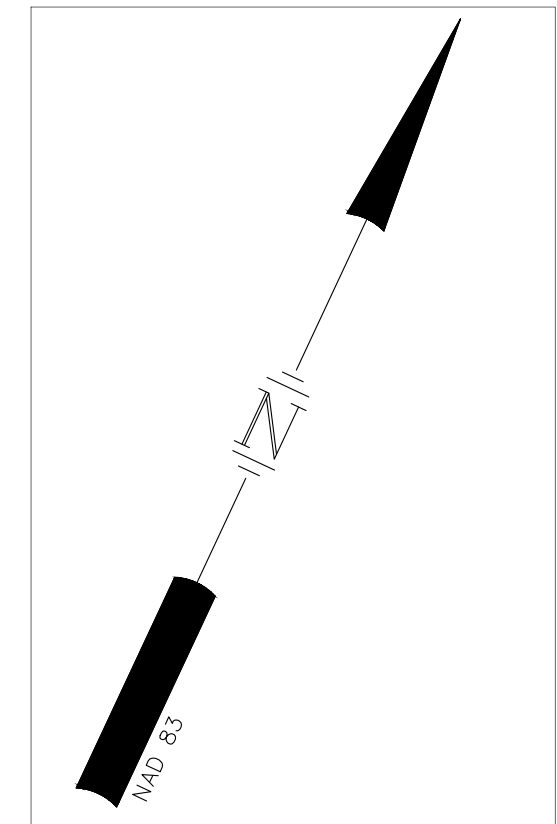
FIRE TUCK TURNING FROM PEVERLY HILL ROAD NORTHWEST ONTO ROAD-A



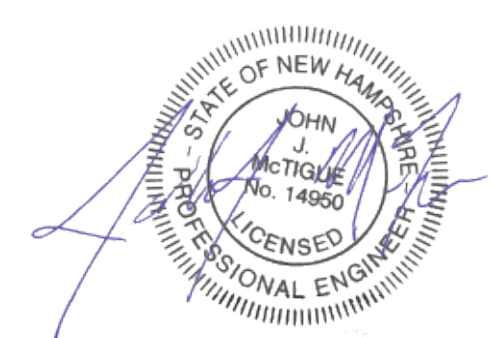
FIRE TUCK TURNING FROM ROAD-A NORTHEAST ONTO PEVERLY HILL ROAD



FIRE TUCK TURNING FROM ROAD-A SOUTHWEST ONTO PEVERLY HILL ROAD

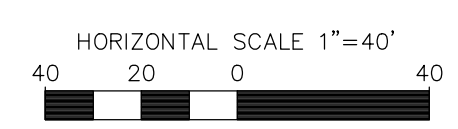
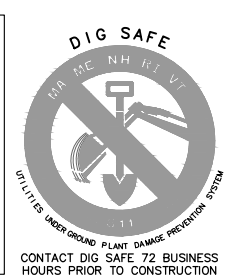


PORTSMOUTH FIRE TRUCK
NTS



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
FIRE TRUCK MOVEMENT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
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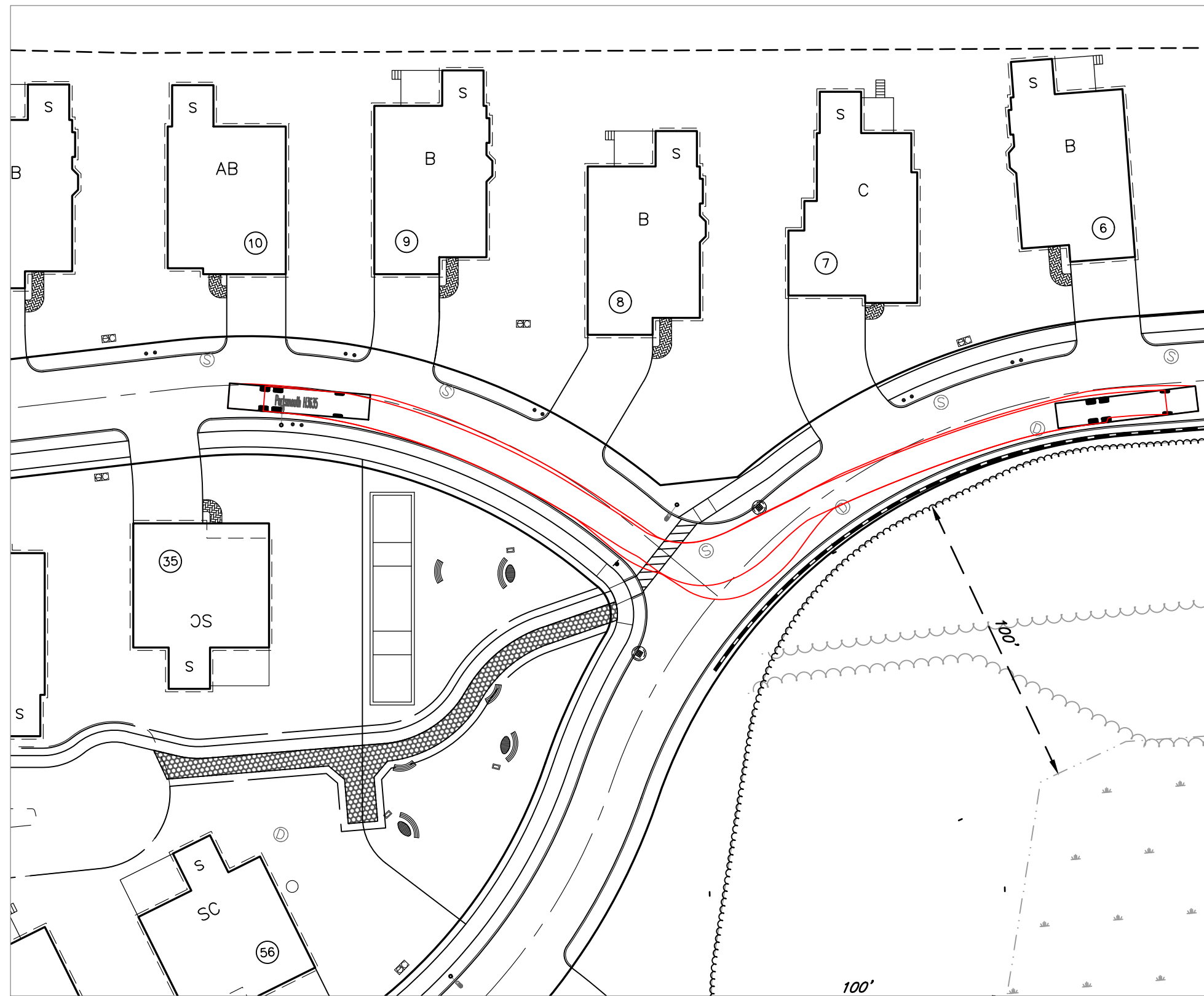


REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

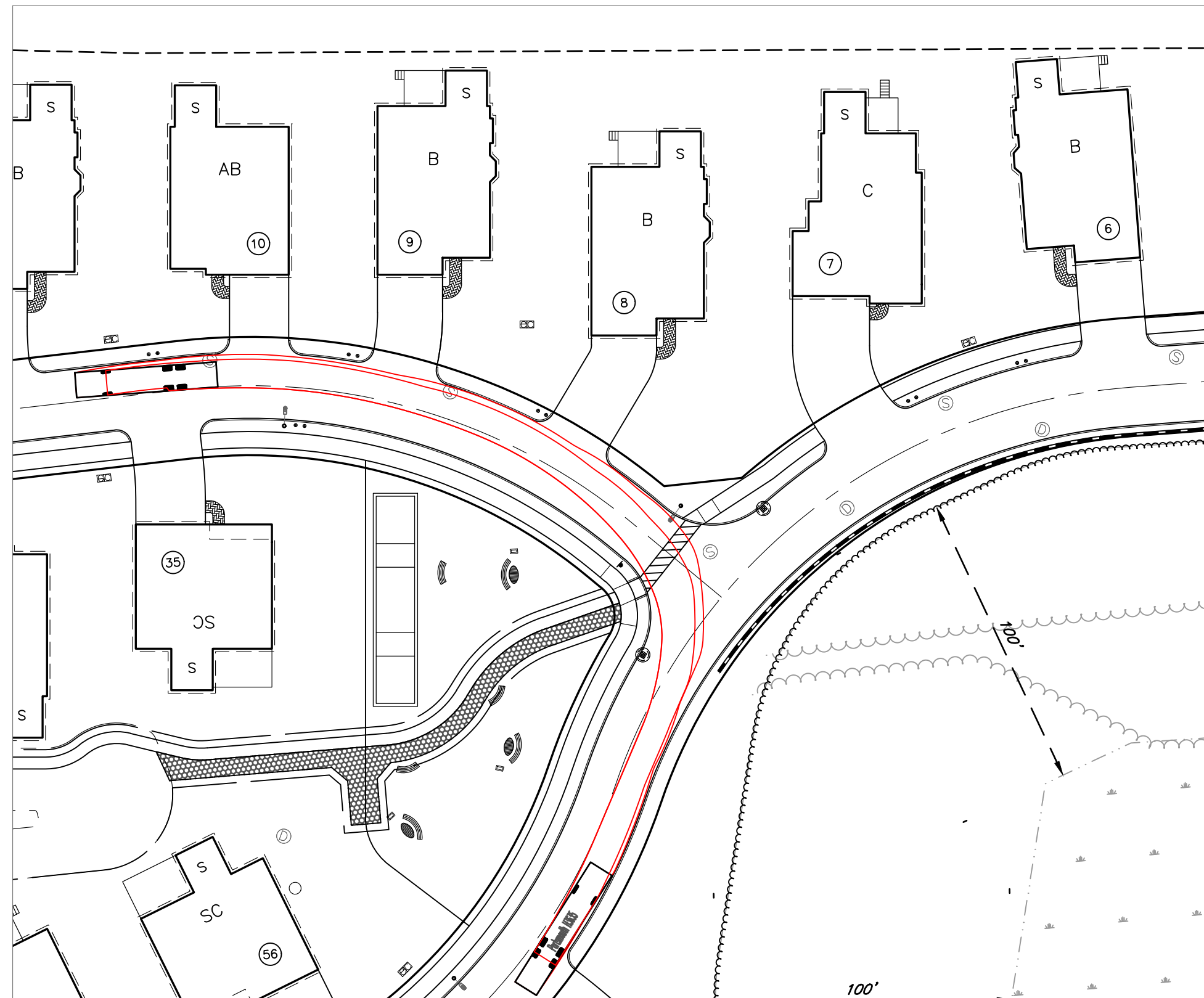
Seacoast Division
TFM
 Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

FILE NO: 47388.11
 DR: JSM
 CK: JSM
 FB: FB
 CADFILE: 47388-11_TRUCKMOVEMENT
 C-64

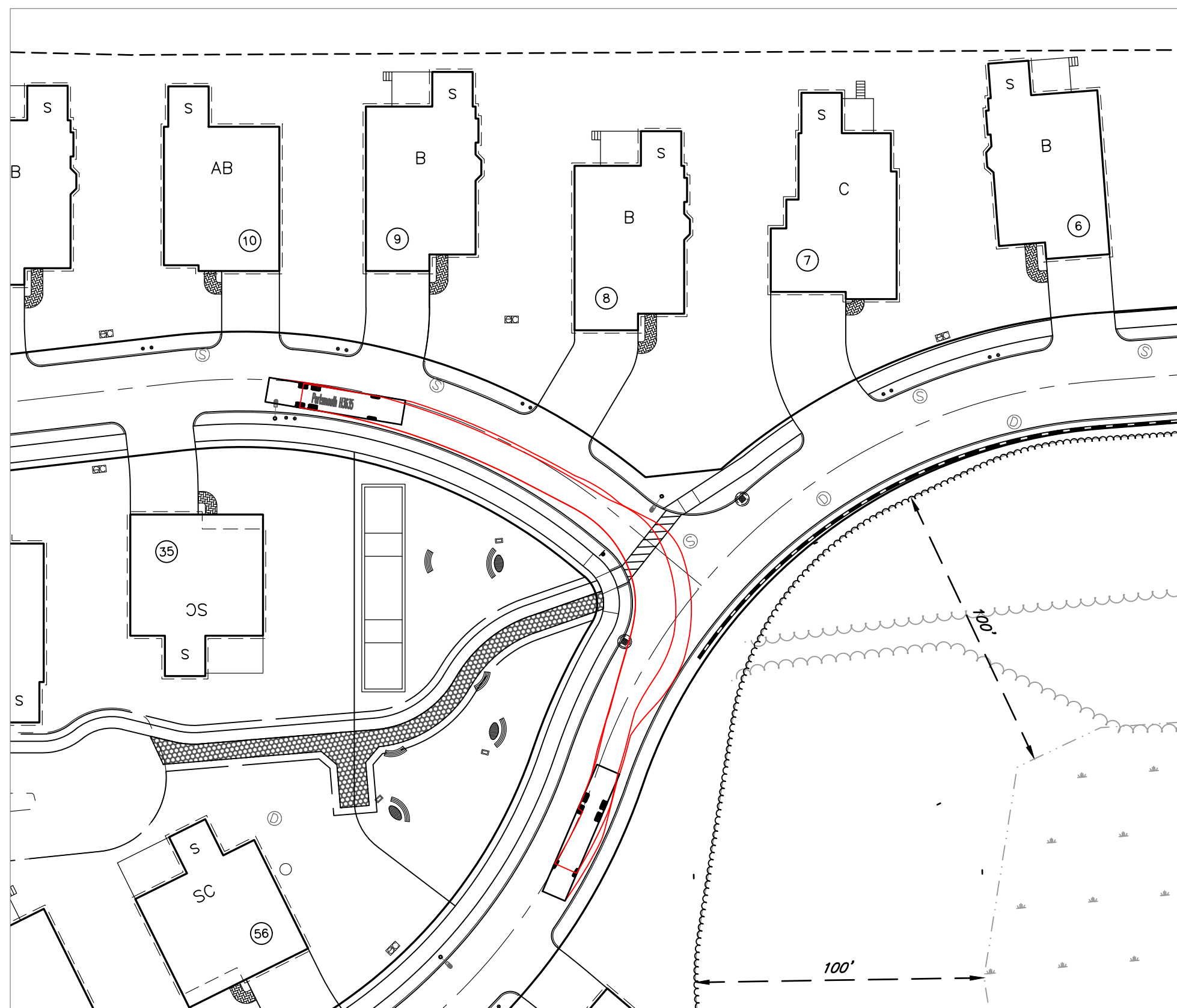
Jul 21, 2021 - 4:25pm
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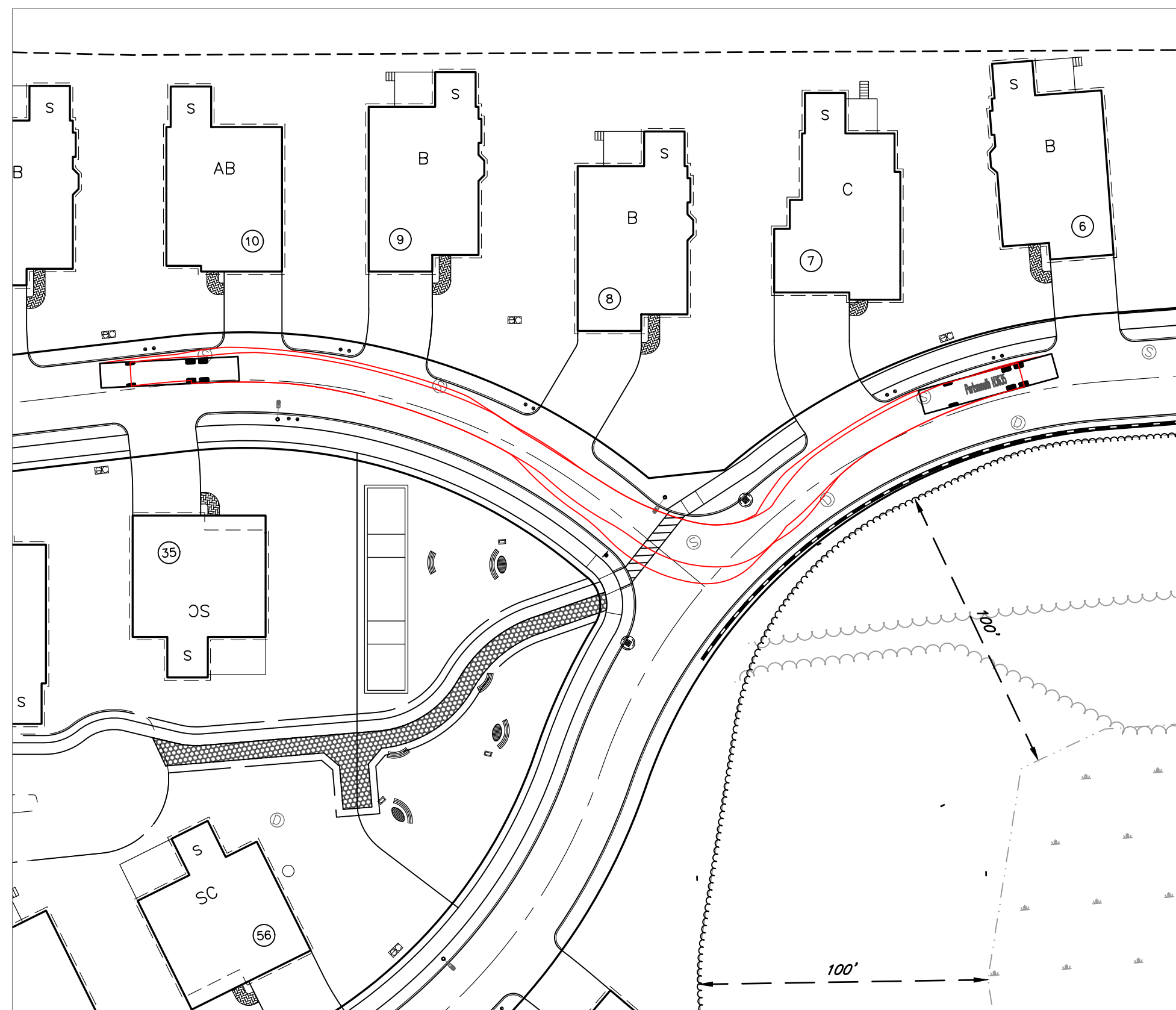
FIRE TUCK TURNING FROM ROAD-A SOUTHEAST ONTO ROAD-A



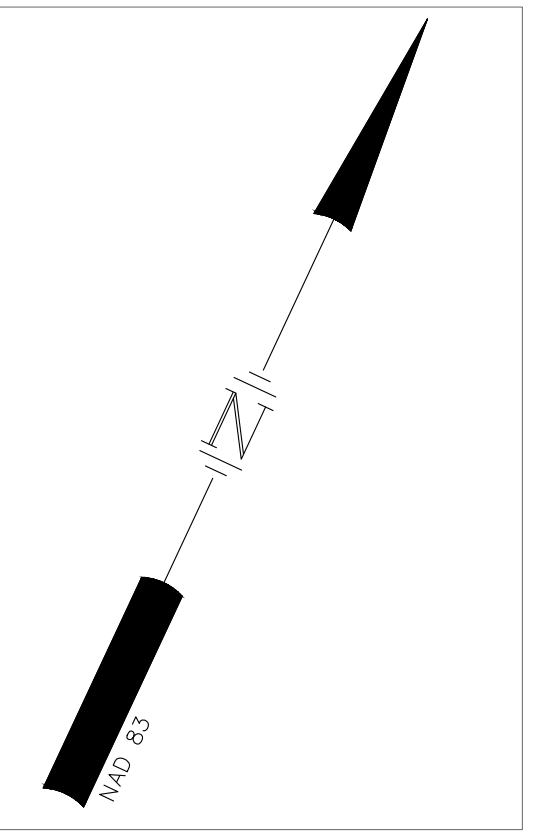
FIRE TUCK TURNING FROM ROAD-A NORTHWEST ONTO ROAD-A



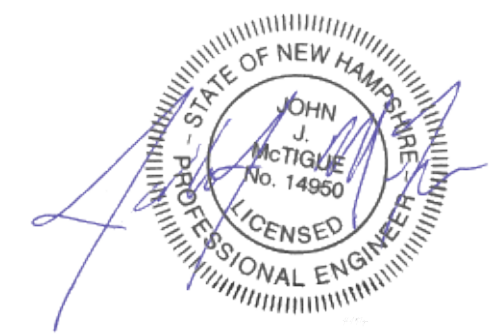
FIRE TUCK TURNING FROM ROAD-A SOUTHWEST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A NORTHEAST ONTO ROAD-A



PORTSMOUTH FIRE TRUCK
NTS



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
FIRE TRUCK MOVEMENT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=80' (11"X17")
 SCALE: 1"=40' (22"X34") **APRIL 19, 2021**

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HORIZONTAL SCALE 1"=40'
 40 20 0 40

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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

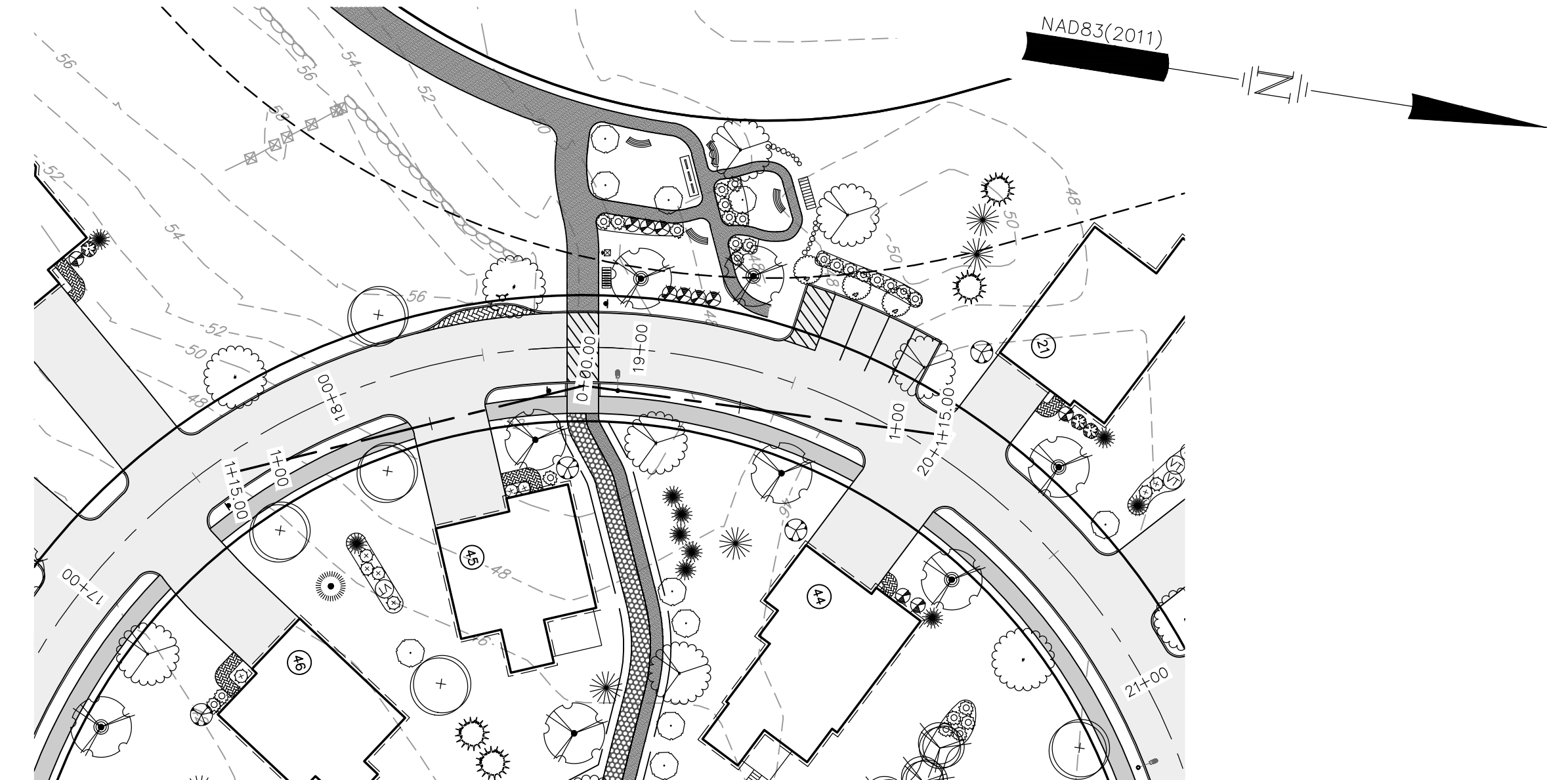
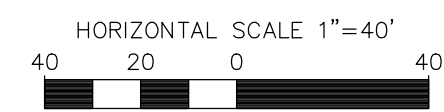
Seacoast Division
TFM
 Civil Engineers
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 170 Commerce Way, Suite 102
 Portsmouth, NH 03801
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47388.11 DR JSM FB
 CK JUM CADFILE 47388-11_TRUCKMOVEMENT
 C-74

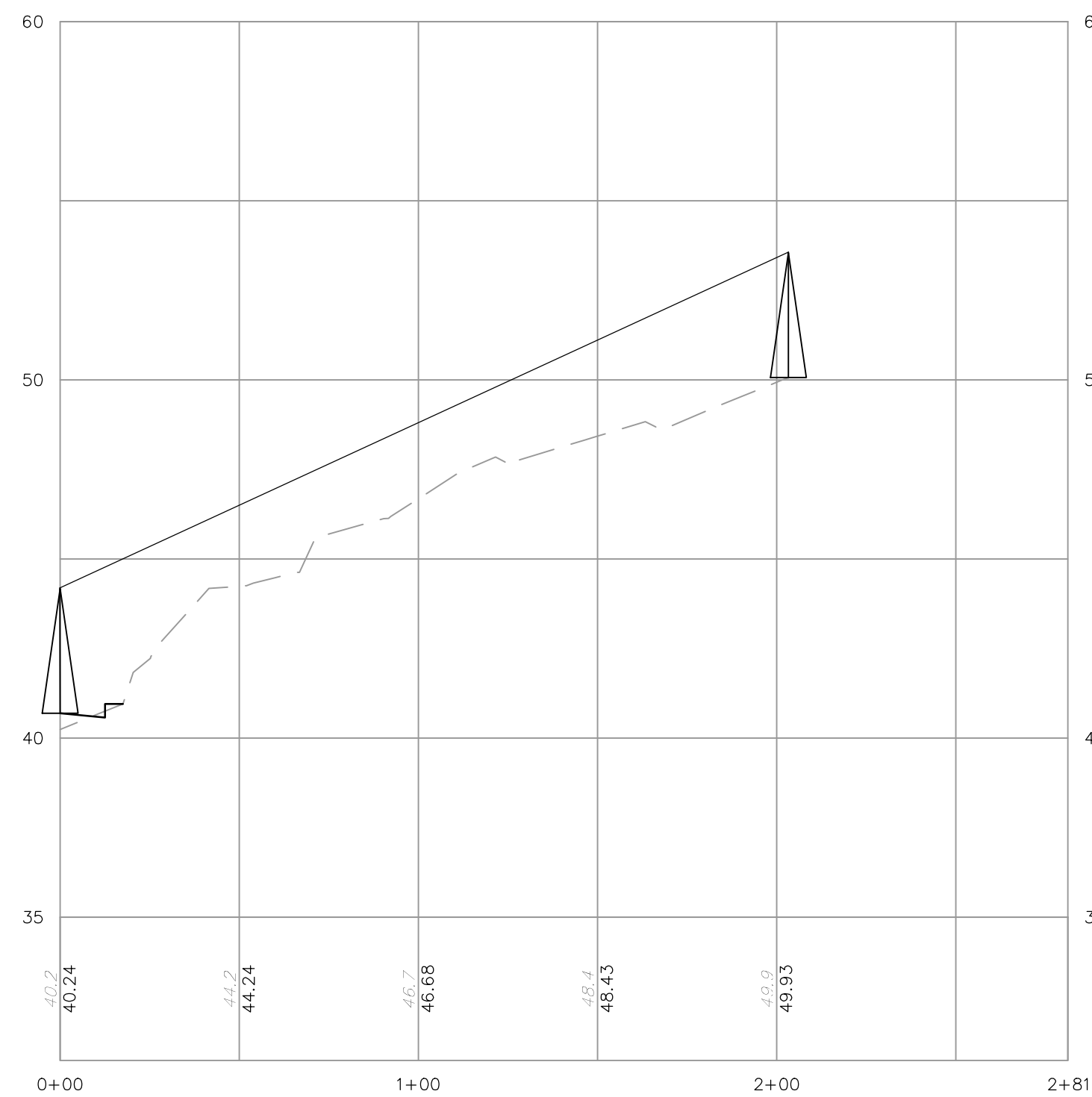
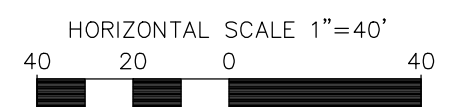
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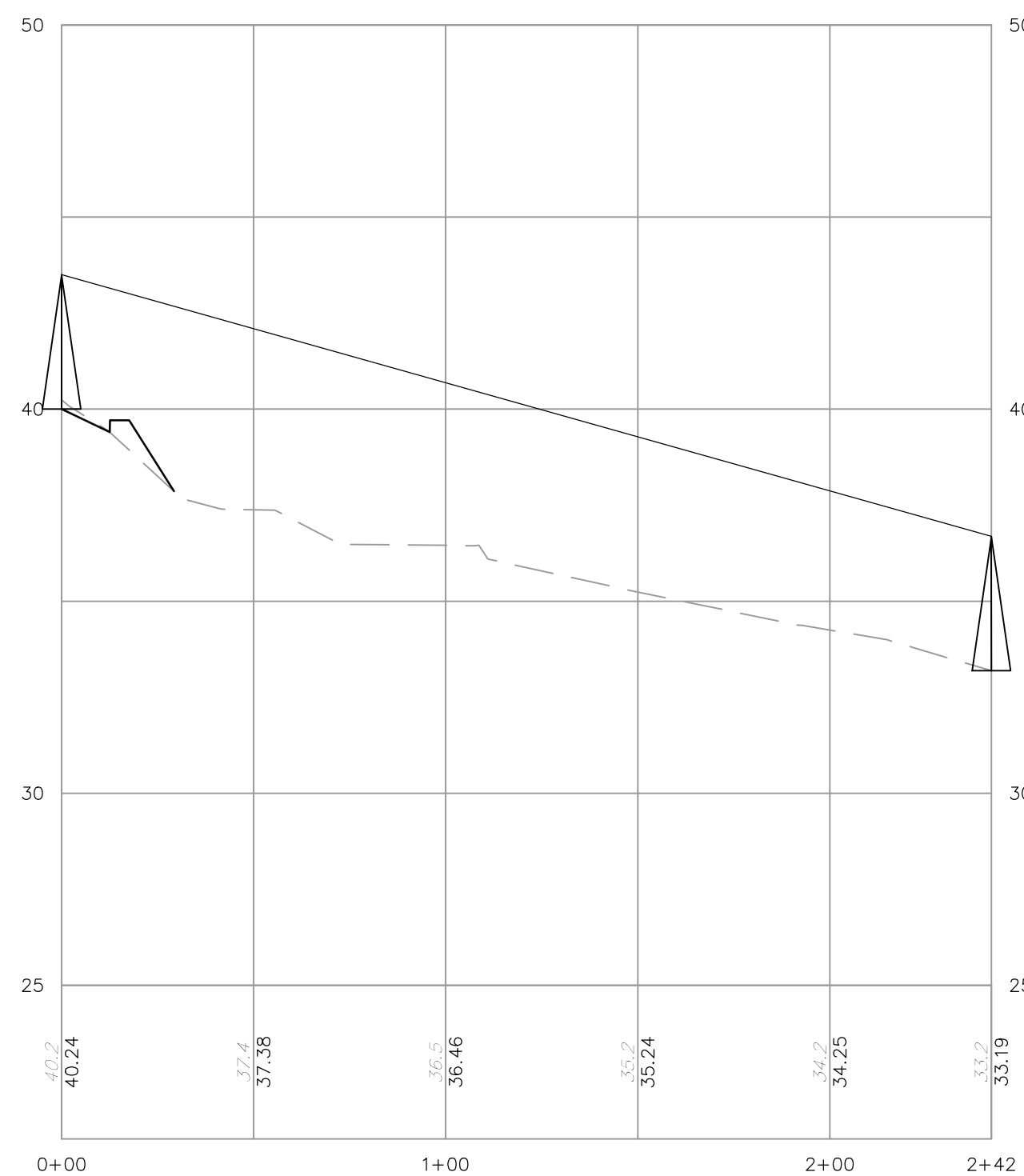
**PEVERLY HILL ROAD INTERSECTION
SITE DISTANCE**



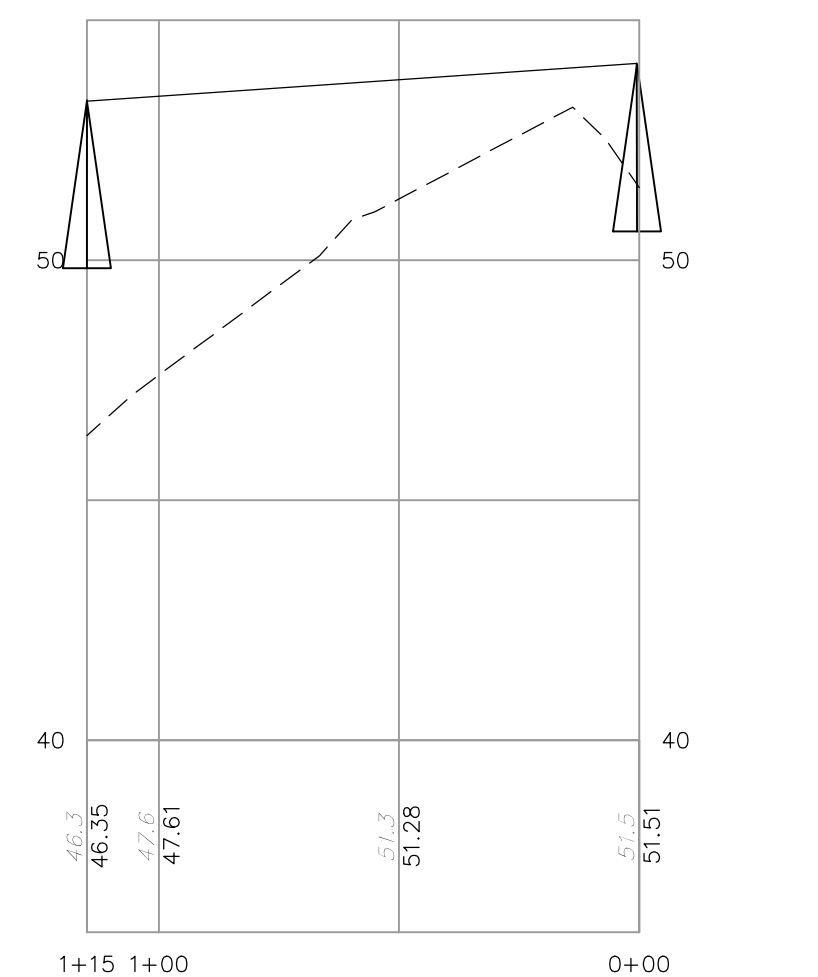
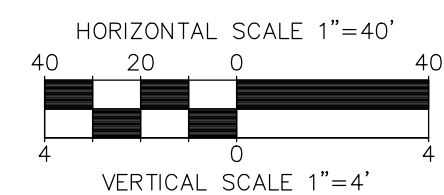
**PEVERLY HILL ROAD INTERSECTION
SITE DISTANCE**



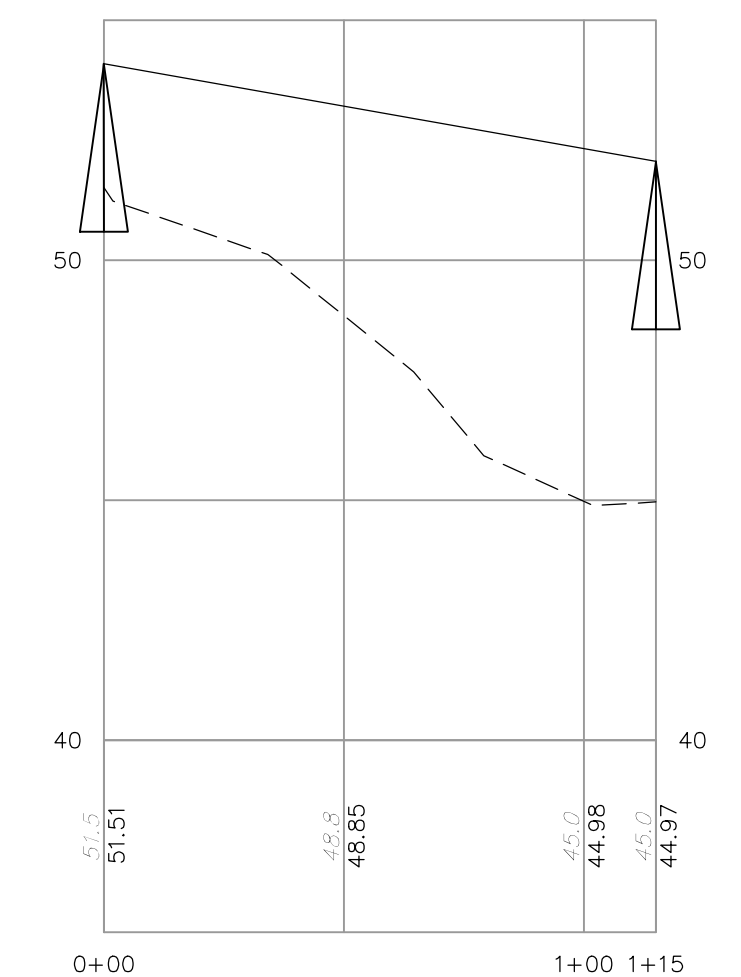
**LOOKING LEFT (NORTH)
ONTO PEVERLY HILL ROAD**



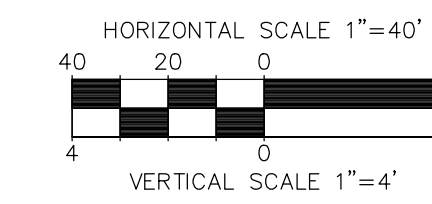
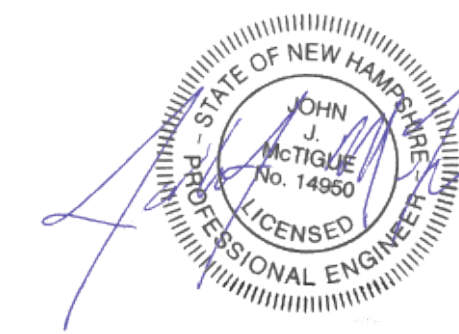
**LOOKING RIGHT (SOUTH)
ONTO PEVERLY HILL ROAD**



**FROM CROSSWALK,
LOOKING LEFT**



**FROM CROSSWALK,
LOOKING RIGHT**



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
SITE DISTANCE PLAN & PROFILE
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 (11'X17')
SCALE: AS SHOWN (1/34') **APRIL 19, 2021**

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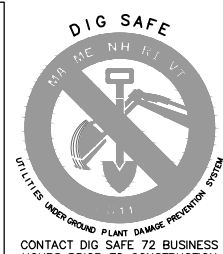
Seacoast Division
TFM
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 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
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FILE 47388.11
 DR JSM FB
 CK JJM CADFILE 47388-11_SITEDISTANCE
 C-66

Jul 21, 2021 - 5:24pm
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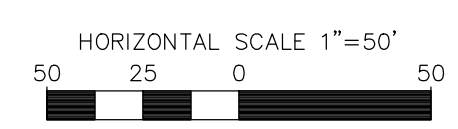
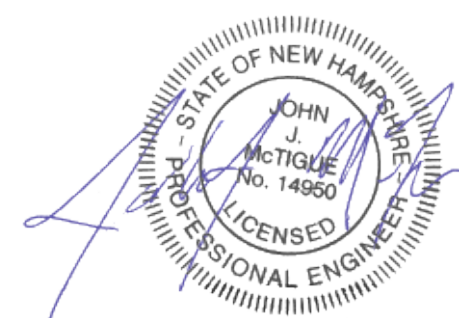
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EASEMENTS AND RESTRICTIONS (E&R)

1. THE RIGHT TO USE SAID DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM SAID GREENLAND ROAD, ALONG BY SAID CEMETERY, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF SAID PETER AND STELLA TO SAID RAILROAD, AND SUBJECT TO SAID PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).



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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
PEDESTRIAN & BIKE PATH
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=100'(11"X17")
SCALE: 1"=50' (22"X34") **APRIL 19, 2021**



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

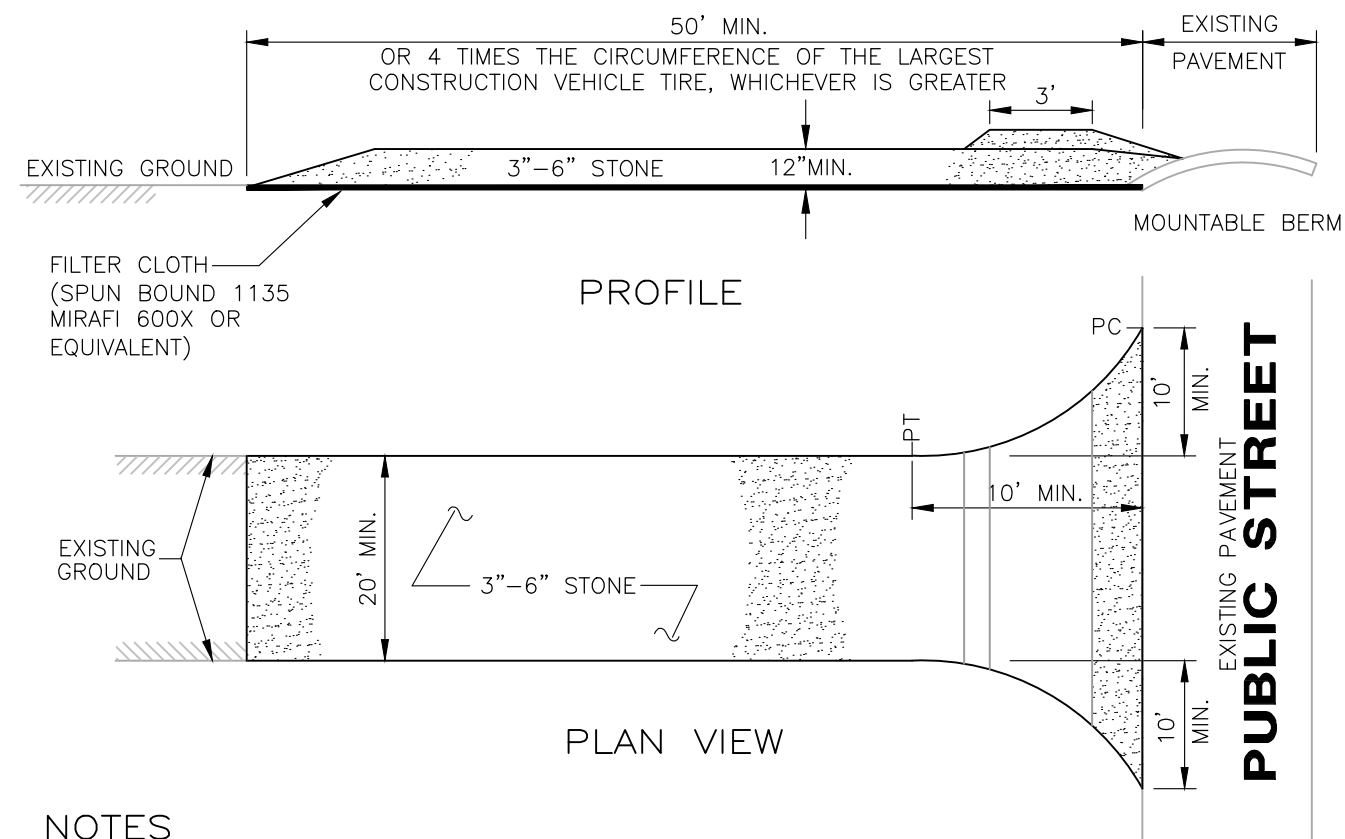
170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

FILE	47388.11	DR	JSM	FB	-	C-67
CK	JJM	CADFILE	47388-11_PATH			

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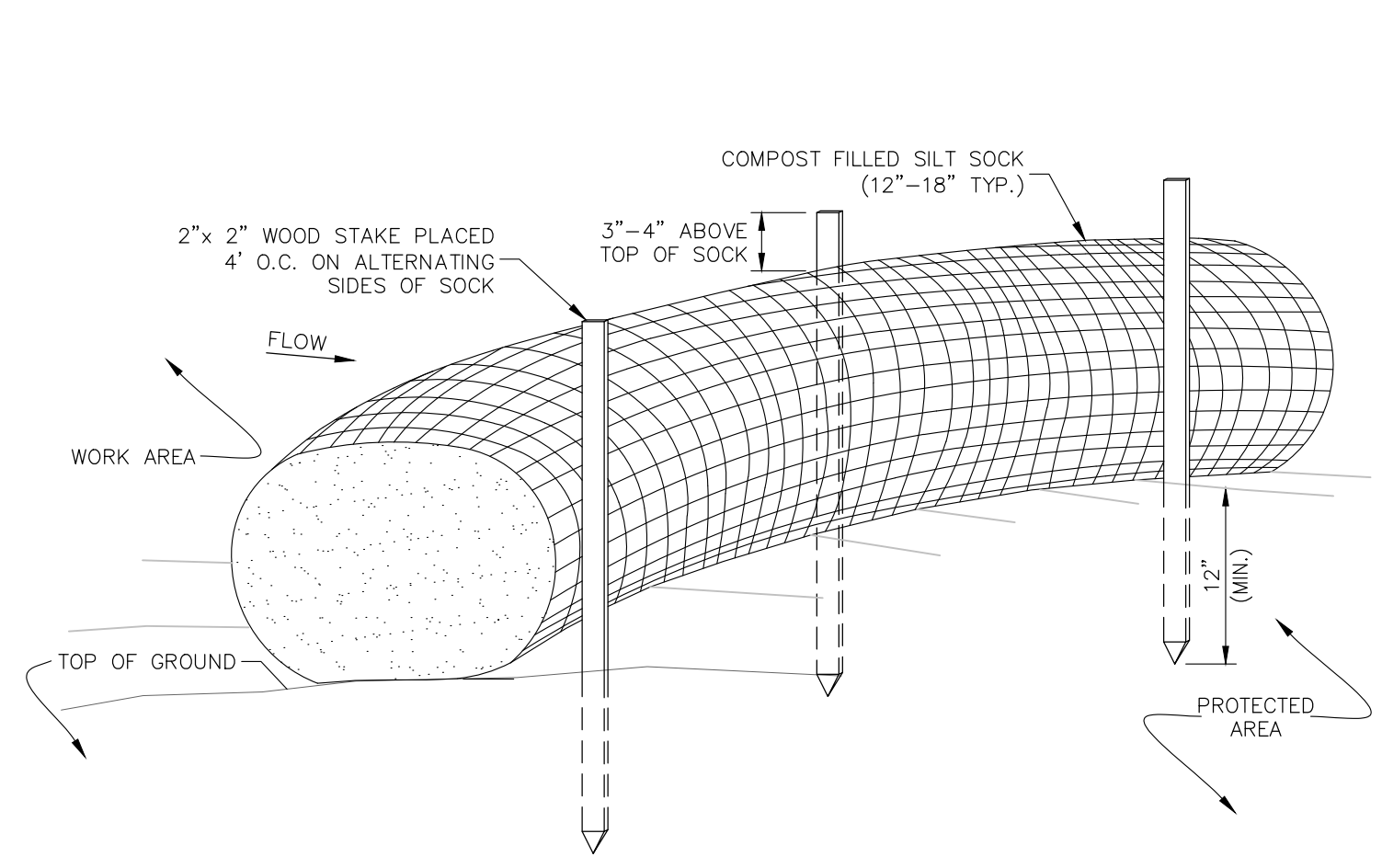
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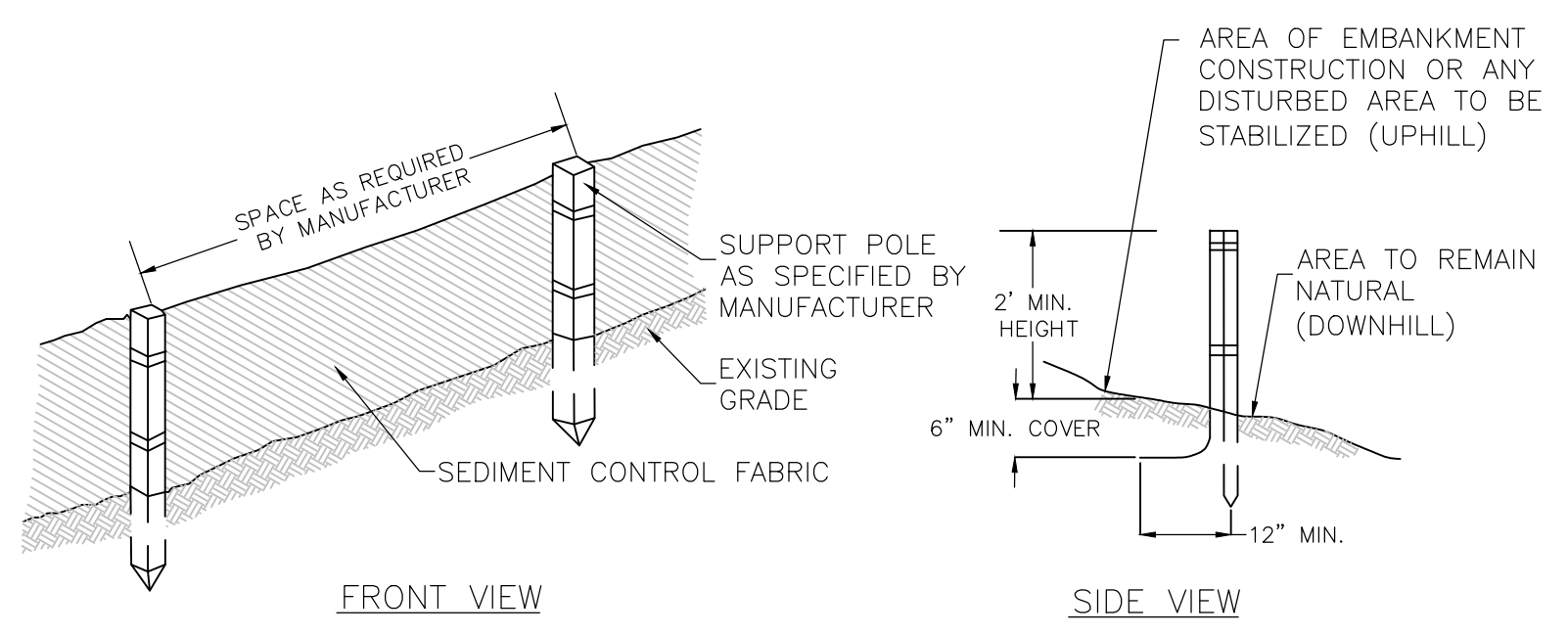
- NOTES**
1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
 2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



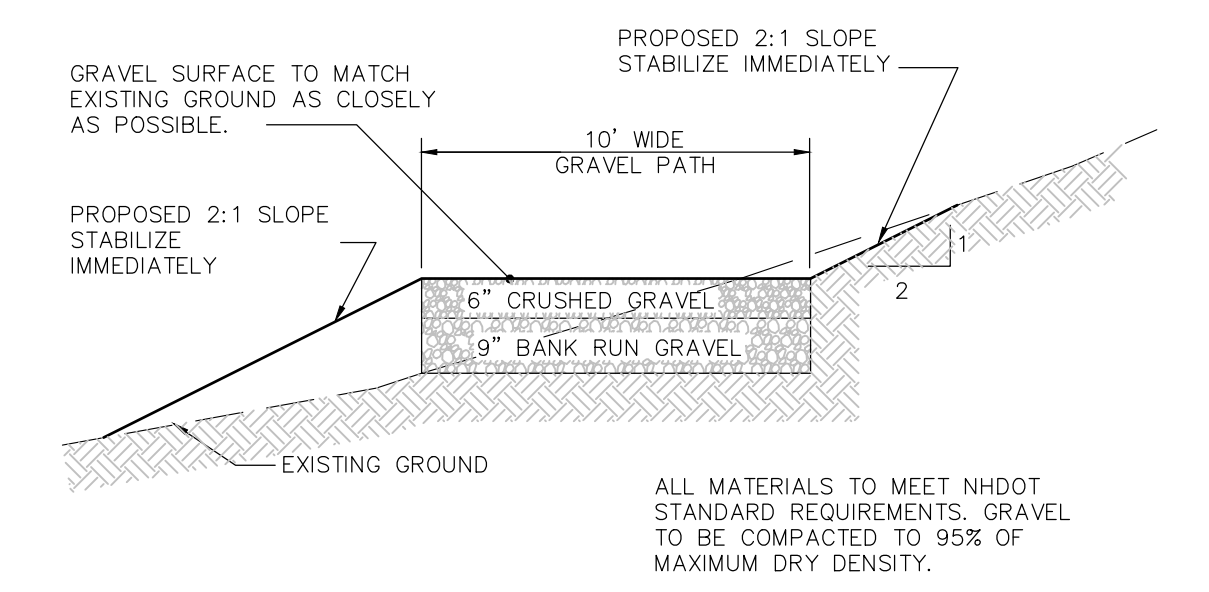
- NOTES**
1. SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ OR APPROVED EQUIVALENT.
 2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
 3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
 4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

SILT FENCE
NOT TO SCALE



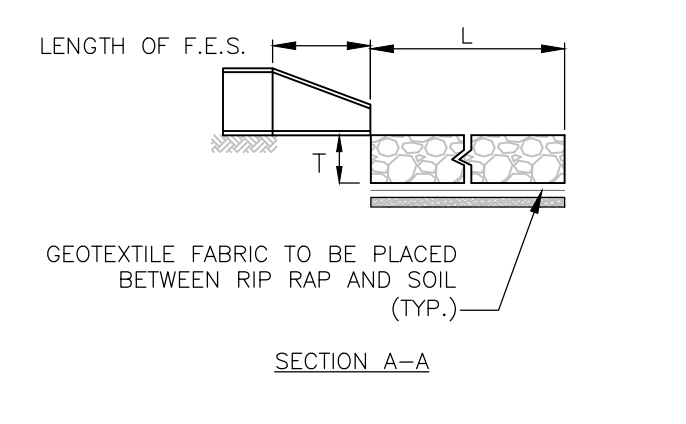
- NOTES**
1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR BEST MANAGEMENT PRACTICE FOR SILT FENCES, OF THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2008.
 2. THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES.
 3. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATIONS.
 4. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES), WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL BE AS MANUFACTURER RECOMMENDS.
 5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH RECOMMENDATIONS.
 6. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE, AND WILL EXTEND TO A MINIMUM OF 8 INCHES INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
 7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 8. FILTER BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
 9. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 10. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 11. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
 12. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE
NOT TO SCALE



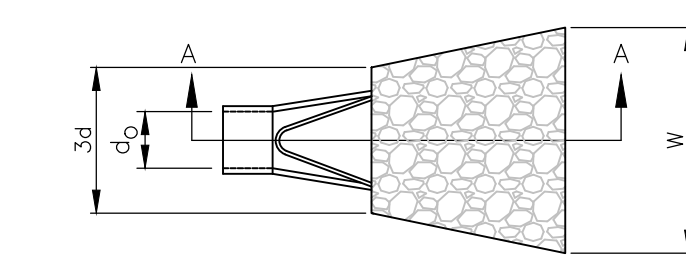
GRAVEL PATH CROSS-SECTION (FOR DRAINAGE MAINTENANCE ACCESS)
NOT TO SCALE

MAINTENANCE:
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.



- CONSTRUCTION SPECIFICATIONS:**
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12".
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. ADD ANIMAL SCREEN TO FLARED END SECTION OUTLET.

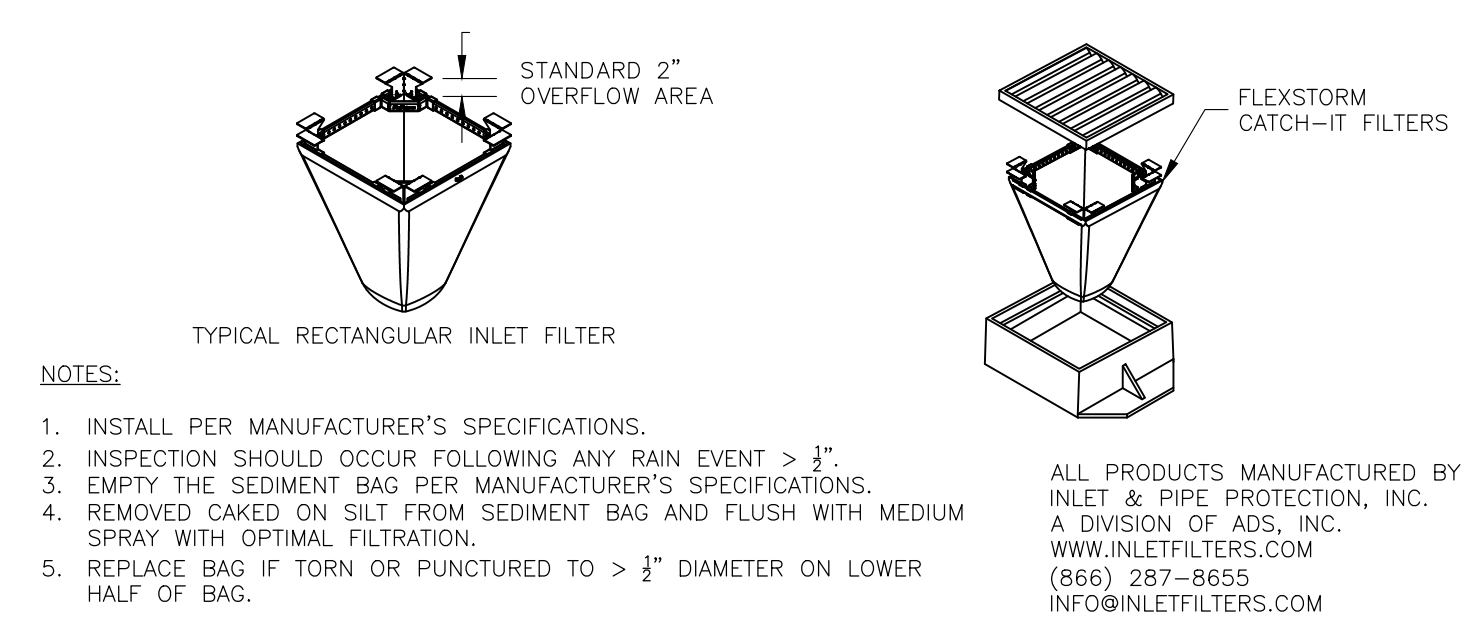
% OF WEIGHT SMALLER THAN THE GIVEN SIZE (INCHES)	SIZE OF STONE	
	4.50 TO 6.00	3.90 TO 5.40
100	4.50 TO 6.00	3.90 TO 5.40
95	3.90 TO 5.40	3.00 TO 4.50
50	3.00 TO 4.50	0.90 TO 1.50
15	0.90 TO 1.50	



RIPRAP DIMENSIONS

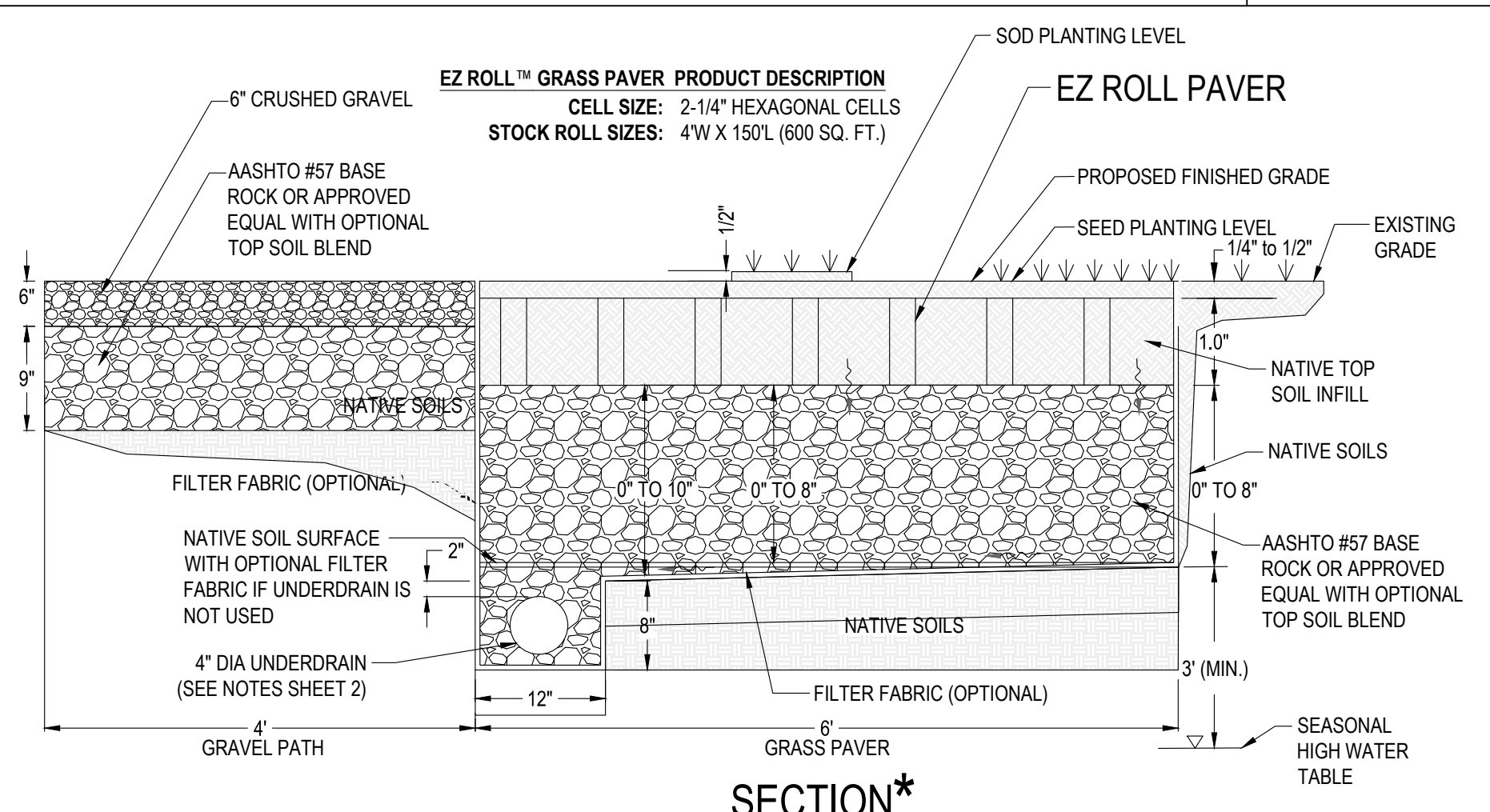
LOCATION	FES01	FES02	FES03	FES04	FES05	FES06	FES07	FES08
d50 STONE SIZE (IN)								
L=LENGTH OF APRON (FT)								
W=WIDTH OF APRON (FT)								
T=DEPTH OF APRON (IN)								

RIP RAP AND FLARED END SECTION WITH OUTLET PROTECTION
NOT TO SCALE

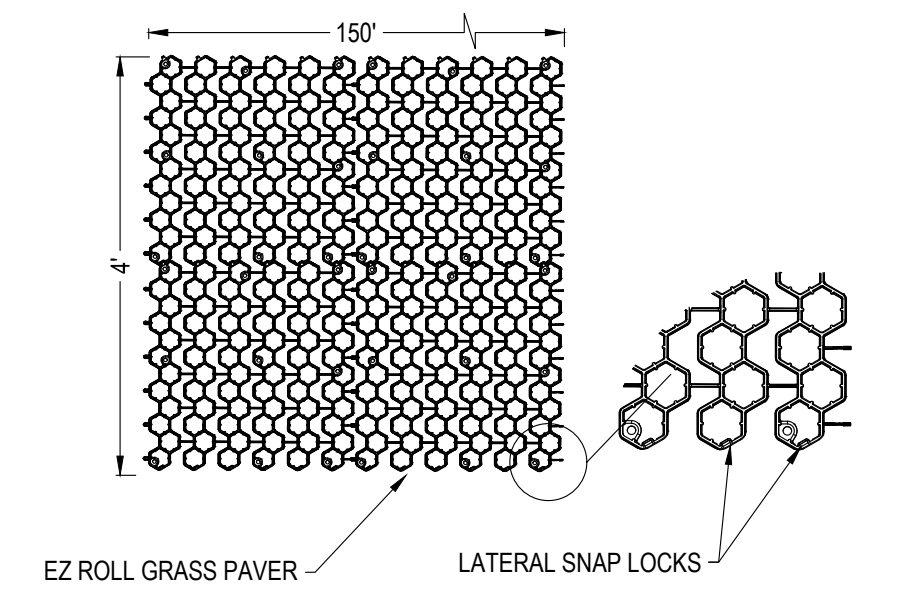


- NOTES:**
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > 1/2"
 3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
 4. REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
 5. REPLACE BAG IF TORN OR PUNCTURED TO > 1/2" DIAMETER ON LOWER HALF OF BAG.
- ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 INFO@INLETFILTERS.COM

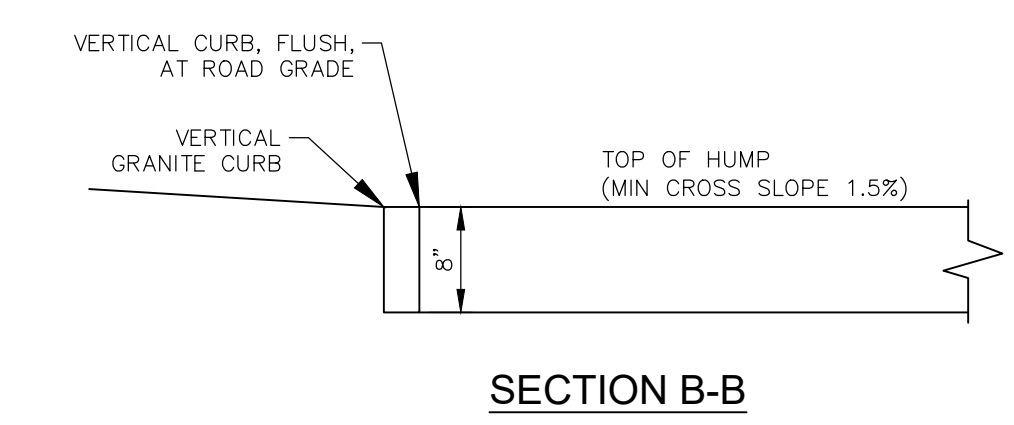
INLET PROTECTION
NOT TO SCALE



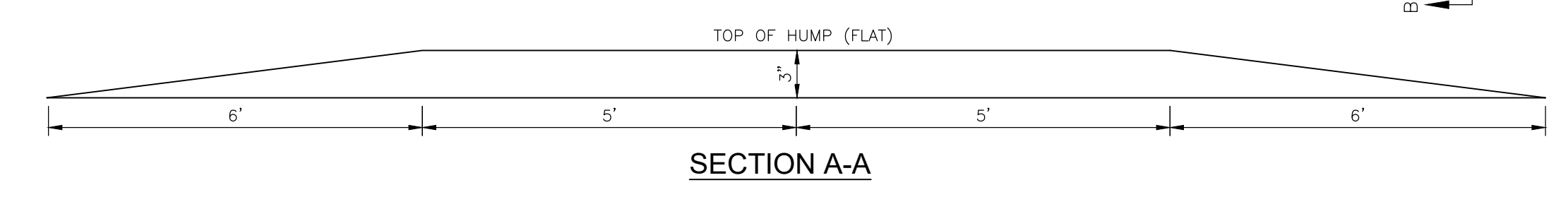
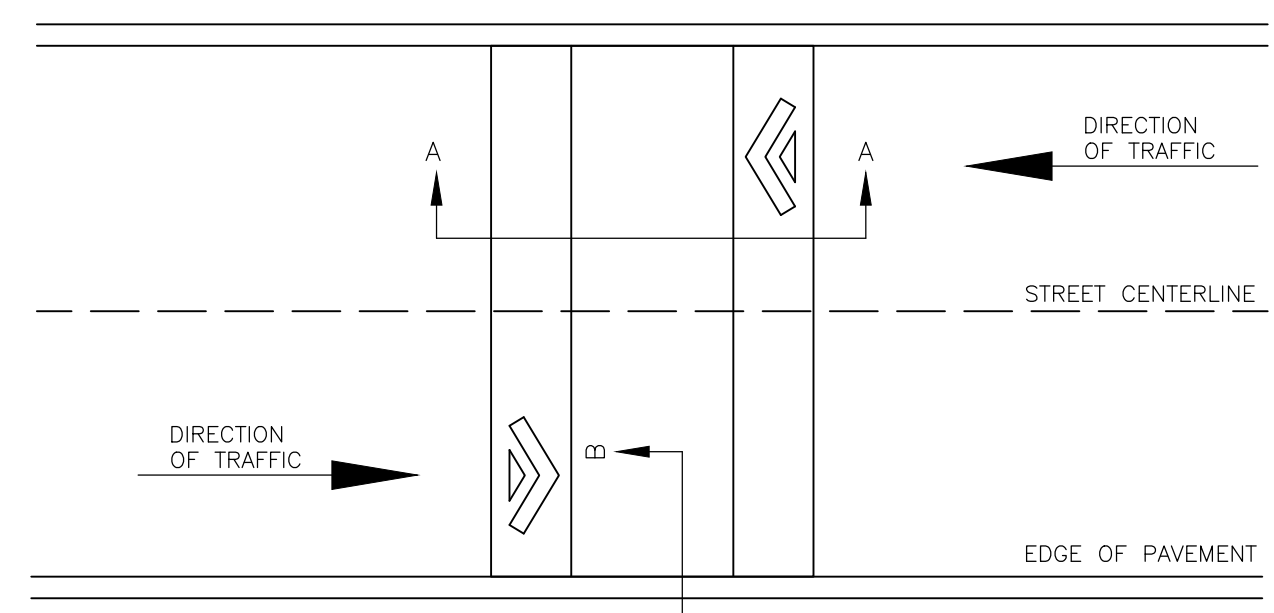
SECTION* GRASS PAVER PATH
NOT TO SCALE



PLAN VIEW



SECTION B-B

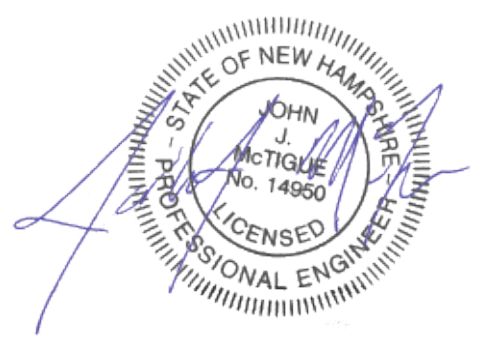


SECTION A-A

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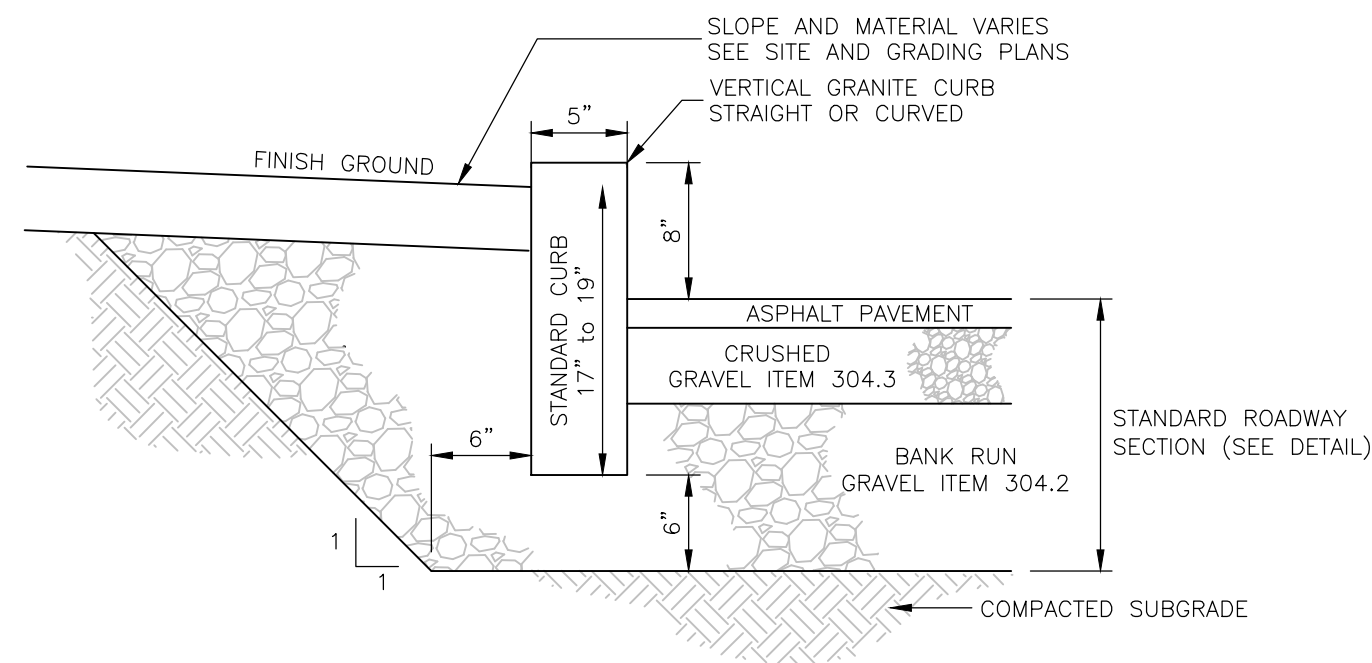
SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
DETAILS
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE
SCALE: AS SHOWN **APRIL 19, 2021**



REV.	DATE	DESCRIPTION	DR	CK
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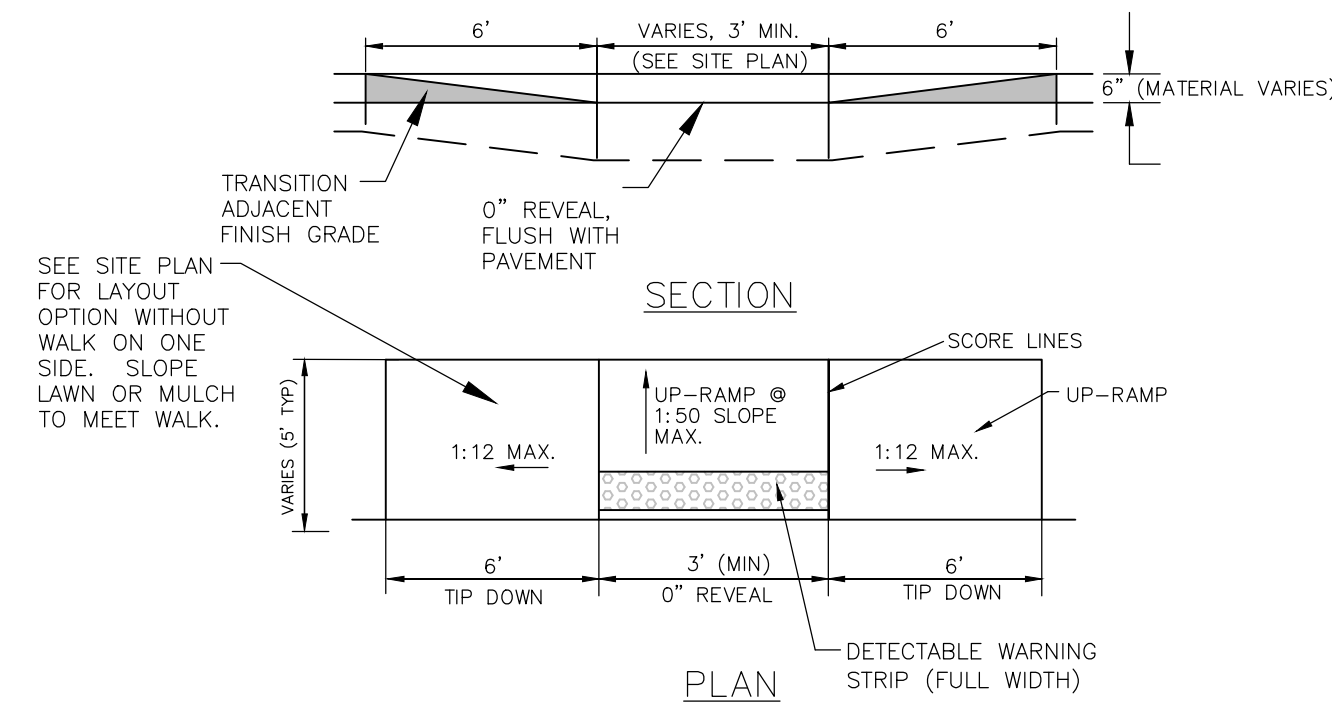
Seacoast Division
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Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com
47388.11
C-68

Jul 21, 2021 - 4:27pm F:\MSC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Portsmouth\47388-11_Details.dwg



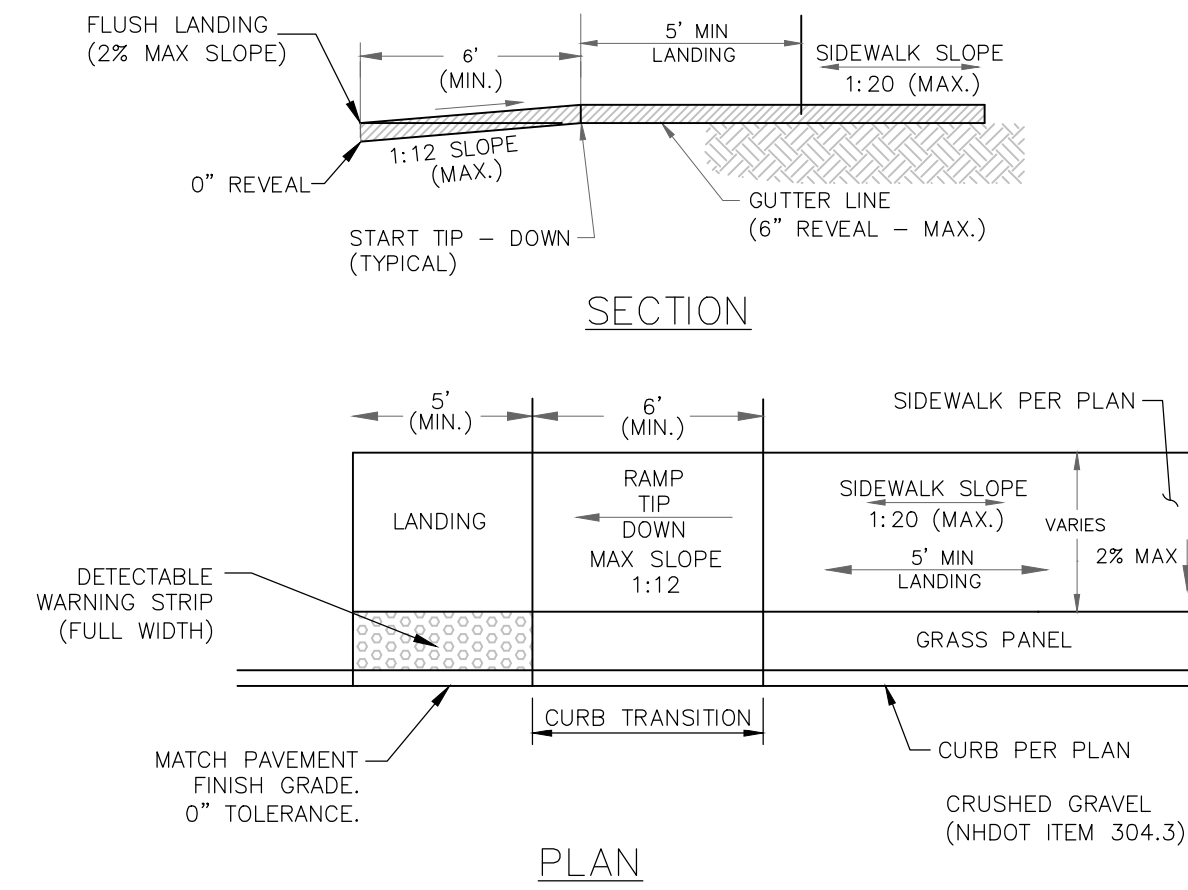
- NOTES
- MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 - PROVIDE TRANSITIONS & RAMPS PER A.D.A.

VERTICAL GRANITE CURB
NOT TO SCALE

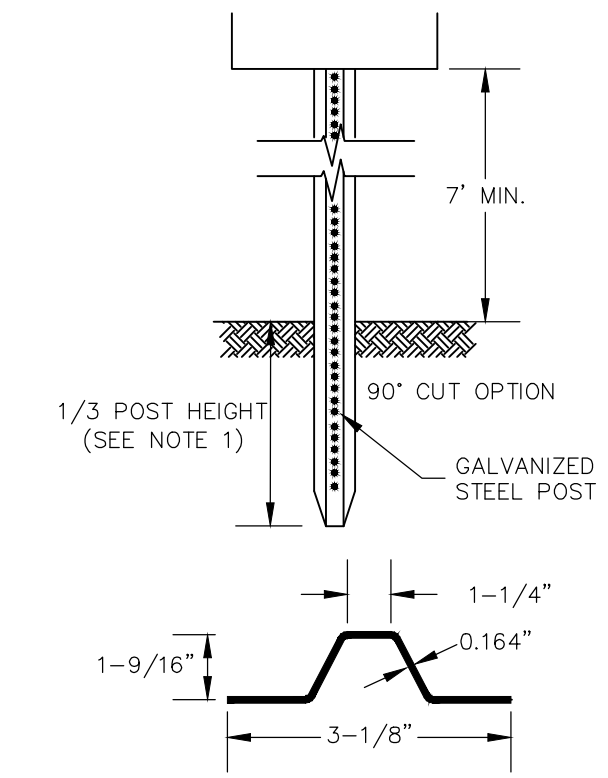


- NOTE
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

SIDEWALK TIP DOWN RAMP (TYPE D)
NOT TO SCALE



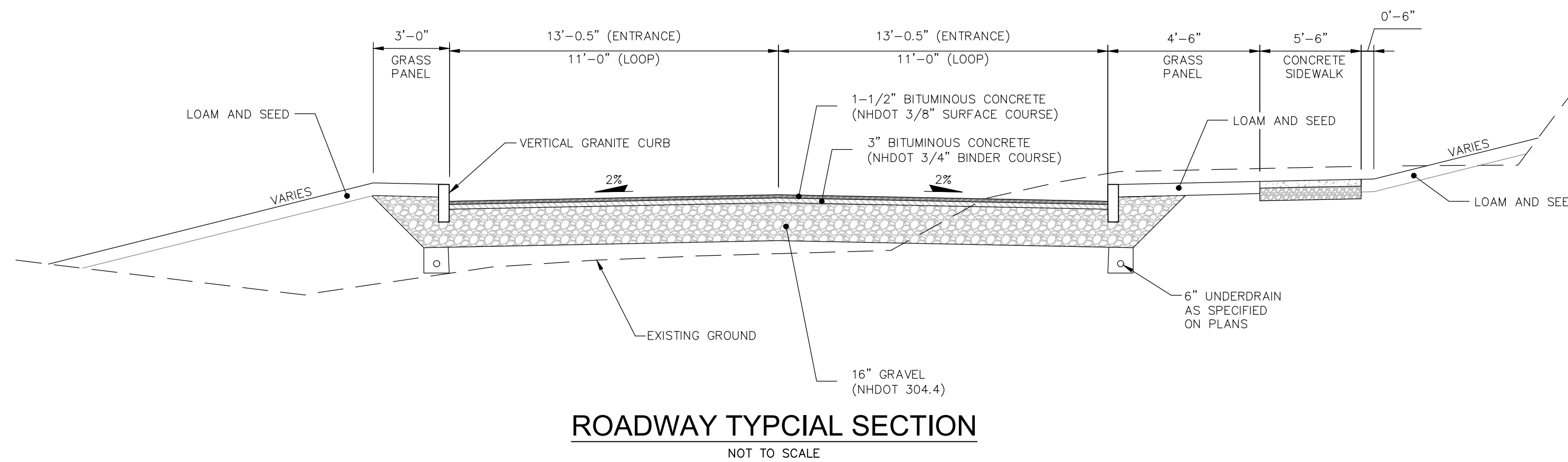
SIDEWALK TIP DOWN RAMP (TYPE E)
NOT TO SCALE



- LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN BAKED-ON OR AIR-DRYED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

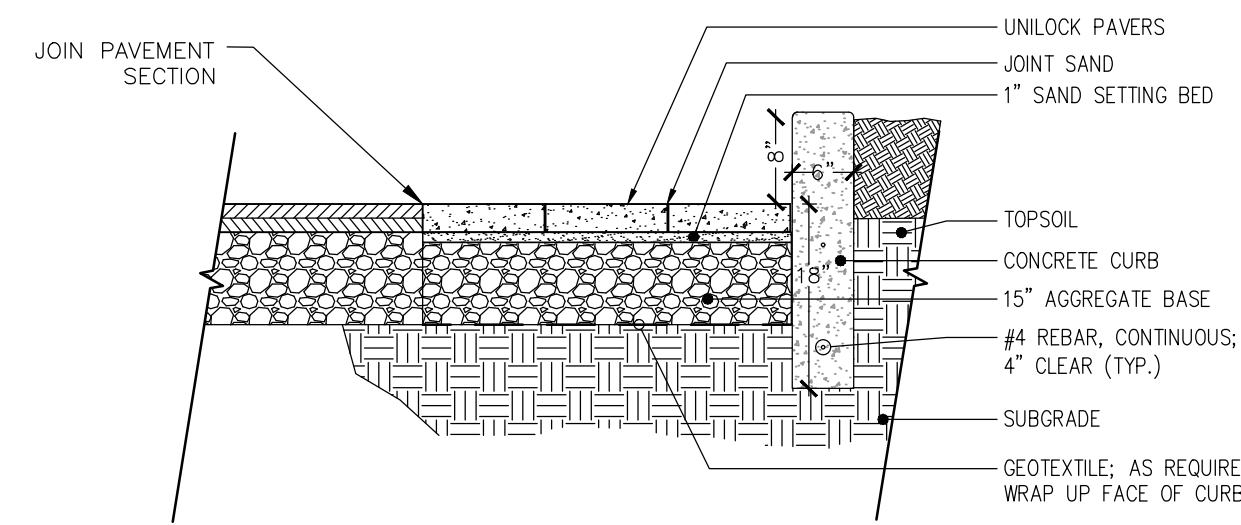
- NOTE:
- WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2"
 - ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
 - SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

SIGN POST
NOT TO SCALE



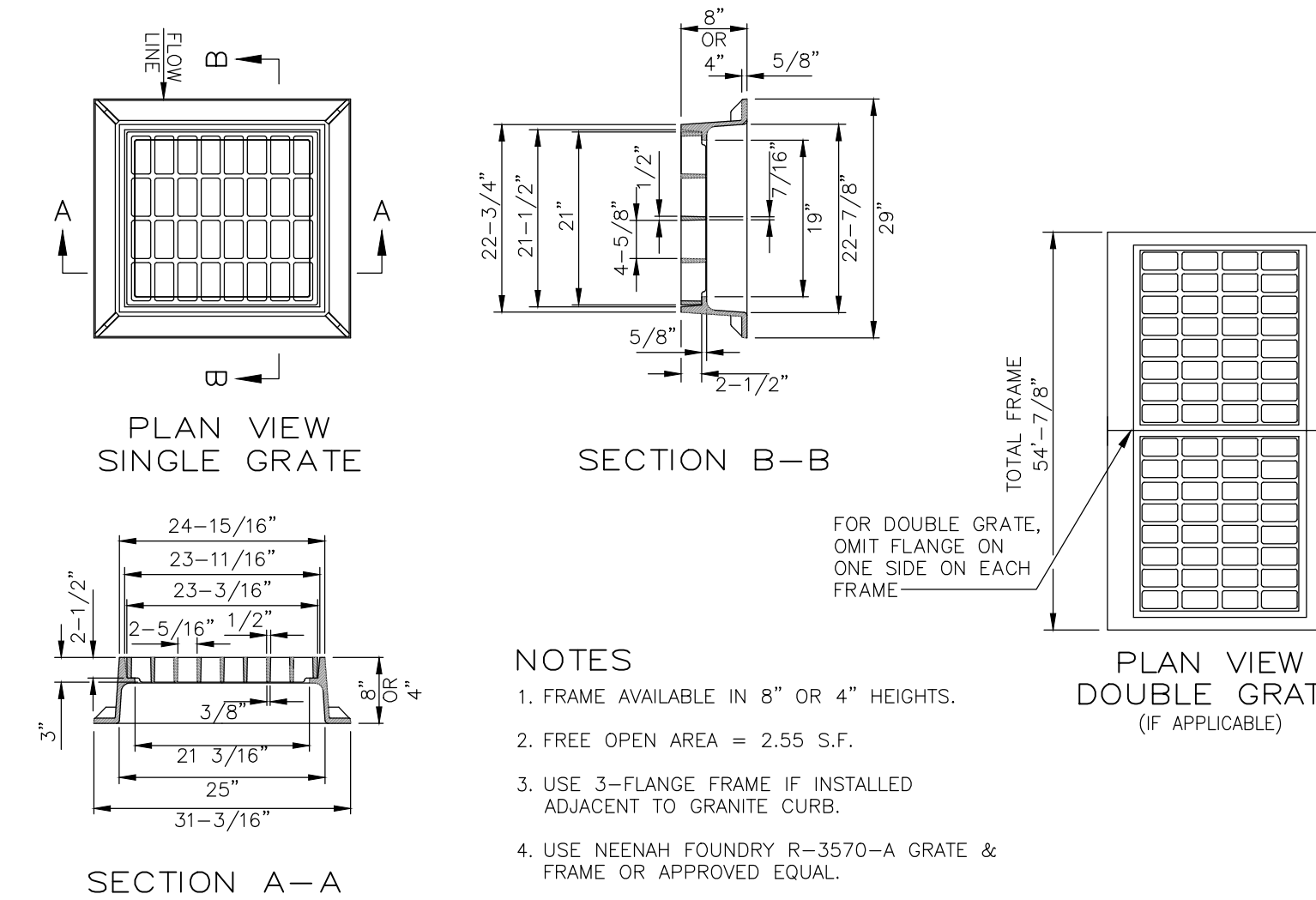
- NOTES:
- SEE GRADING & DRAINAGE PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
 - REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
 - ALL ROADWAY TO CONFORM TO THE STREET DESIGN AND CONSTRUCTION REQUIREMENTS IN THE TOWN OF PORTSMOUTH, NH SUBDIVISION REGULATIONS.
 - BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
 - PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.4 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
 - PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
 - THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.

ROADWAY TYPICAL SECTION
NOT TO SCALE



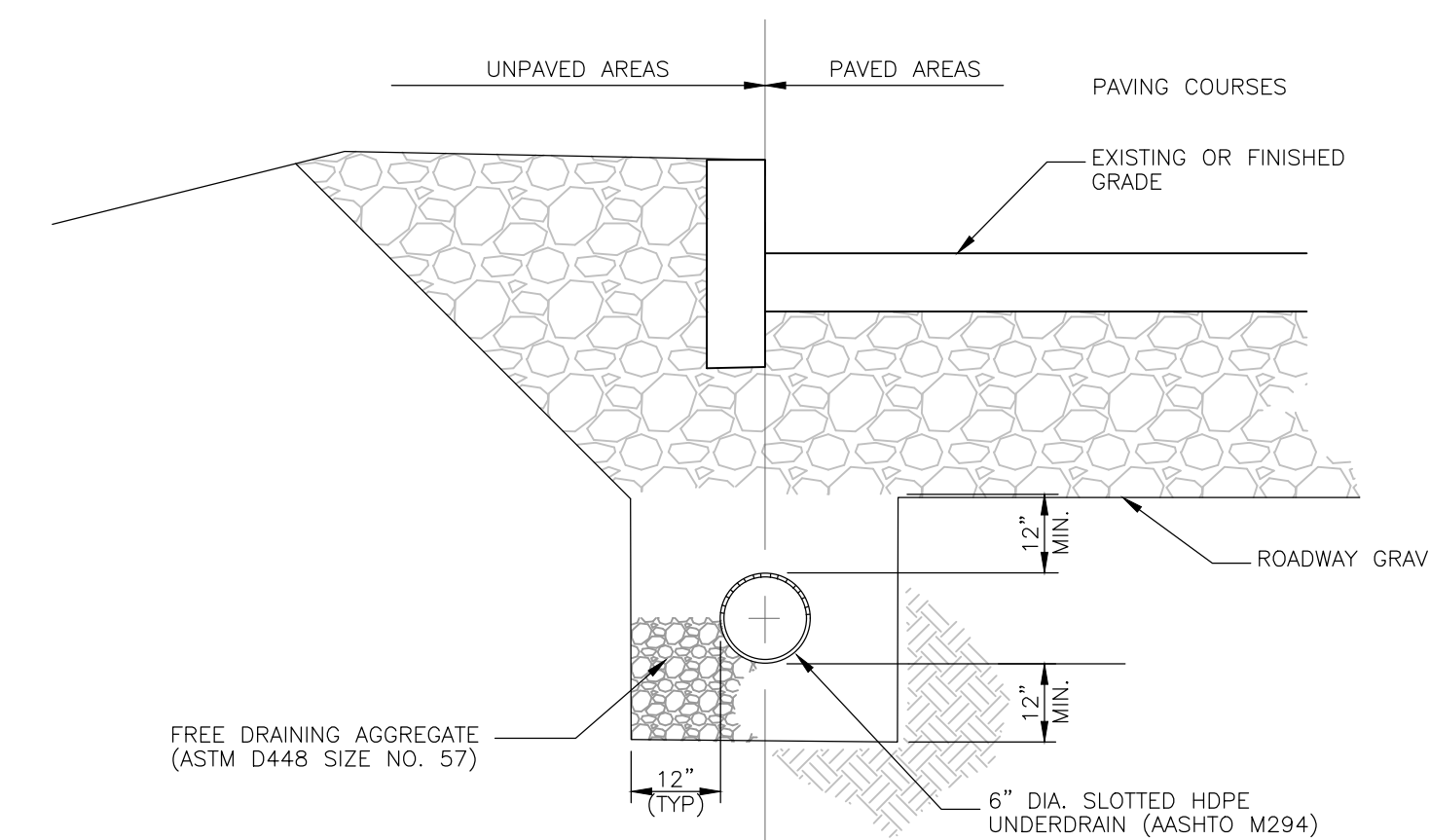
- NOTES:
- PAVER TO BE UNLOCK COMMERCIAL APPLICATION DESIGN OR APPROVED EQUAL

ROADWAY PAVER DETAIL
NOT TO SCALE



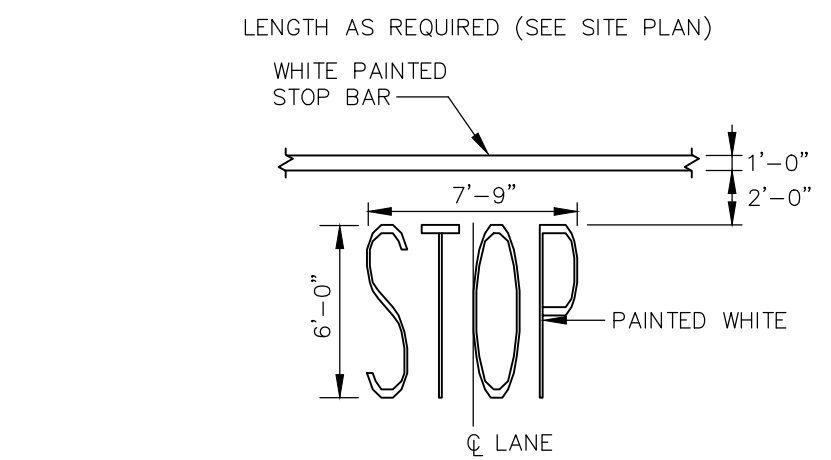
- NOTES
- FRAME AVAILABLE IN 8" OR 4" HEIGHTS.
 - FREE OPEN AREA = 2.55 S.F.
 - USE 3-FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.
 - USE NEENAH FOUNDRY R-3570-A GRATE & FRAME OR APPROVED EQUAL.

FRAME & GRATE (TYPE B)
NOT TO SCALE



UNDERDRAIN TRENCH DETAIL
NOT TO SCALE

REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISED PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM



- NOTES
- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "T". APPLY TWO COATS.
 - SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

STOP BAR & LEGEND
NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

DETAILS

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN

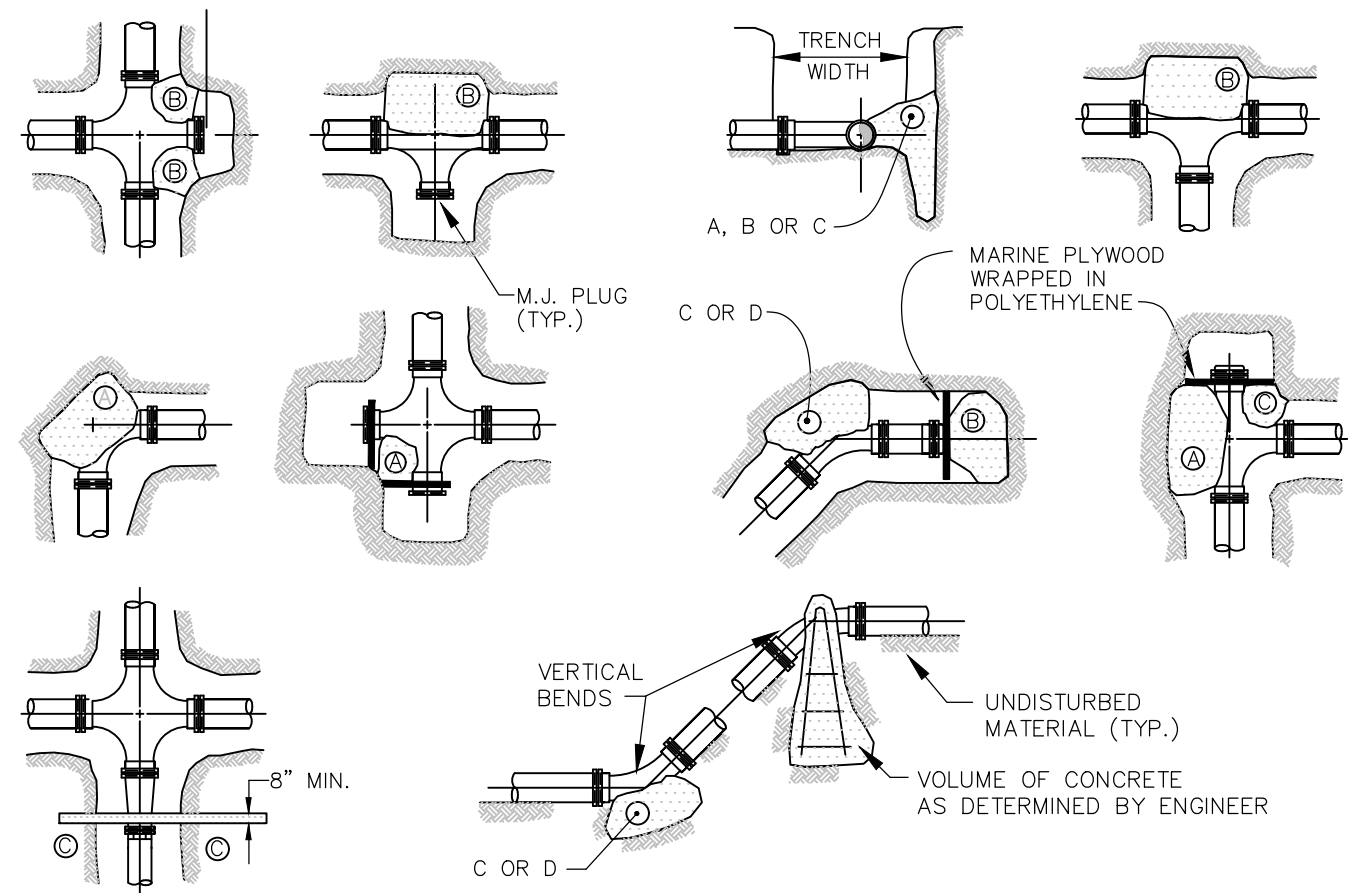
APRIL 19, 2021

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	47388.11	DR	JSM	FB	-	CK	JJM	CADFILE	47388-11_DETAILS	C-69
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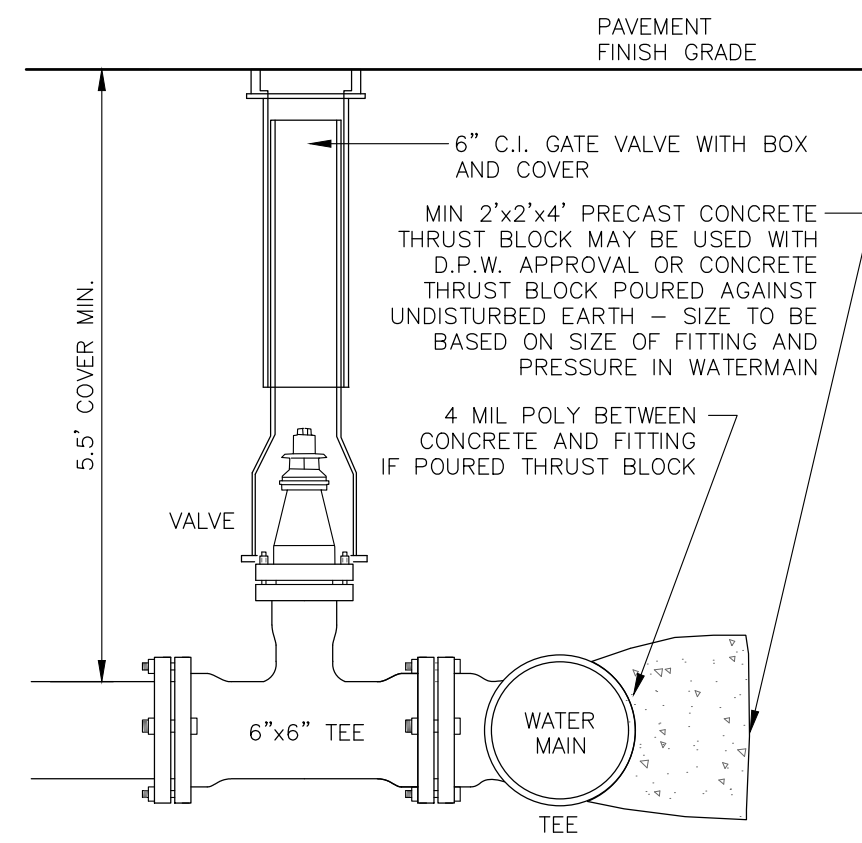




- NOTES**
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL. WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO PIPE JOINTS SHALL BE COVERED WITH CONCRETE.
 - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 - WHERE MECHANICAL JOINT PIPE IS USED, MECHANICAL JOINT PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
 - INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CITY/TOWN ESTABLISHED RULES AND PROCEDURES.

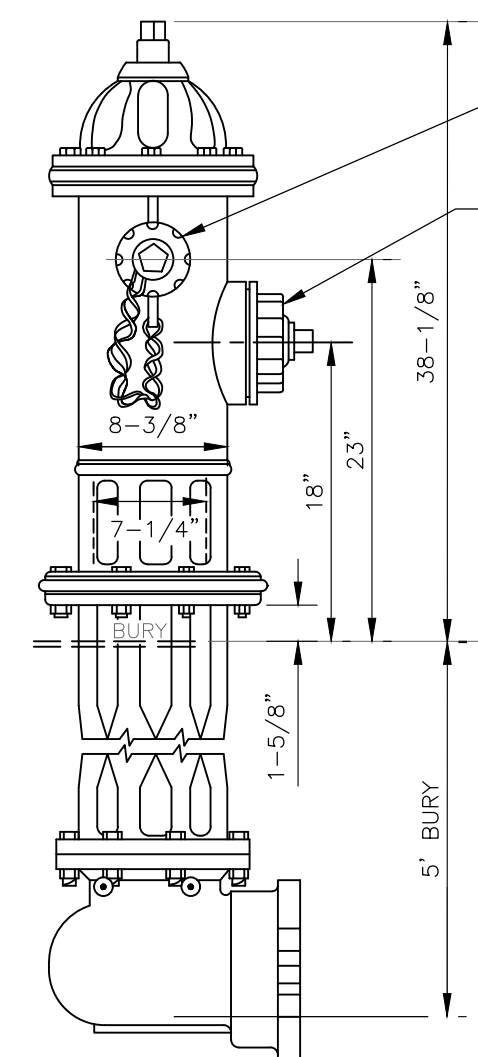
TEST PRESSURE = 200 PSI	REACTION TYPE	PIPE SIZE				
		4"	6"	8"	10"	
A	90°	0.89	2.19	3.82	11.14	17.24
B	180°	0.65	1.55	2.78	8.38	12.00
C	45°	0.48	1.19	2.12	6.02	9.32
D	22-1/2°	0.25	0.60	1.06	3.08	4.74
E	11-1/4°	0.13	0.30	0.54	1.54	2.38

THRUST BLOCKS
NOT TO SCALE



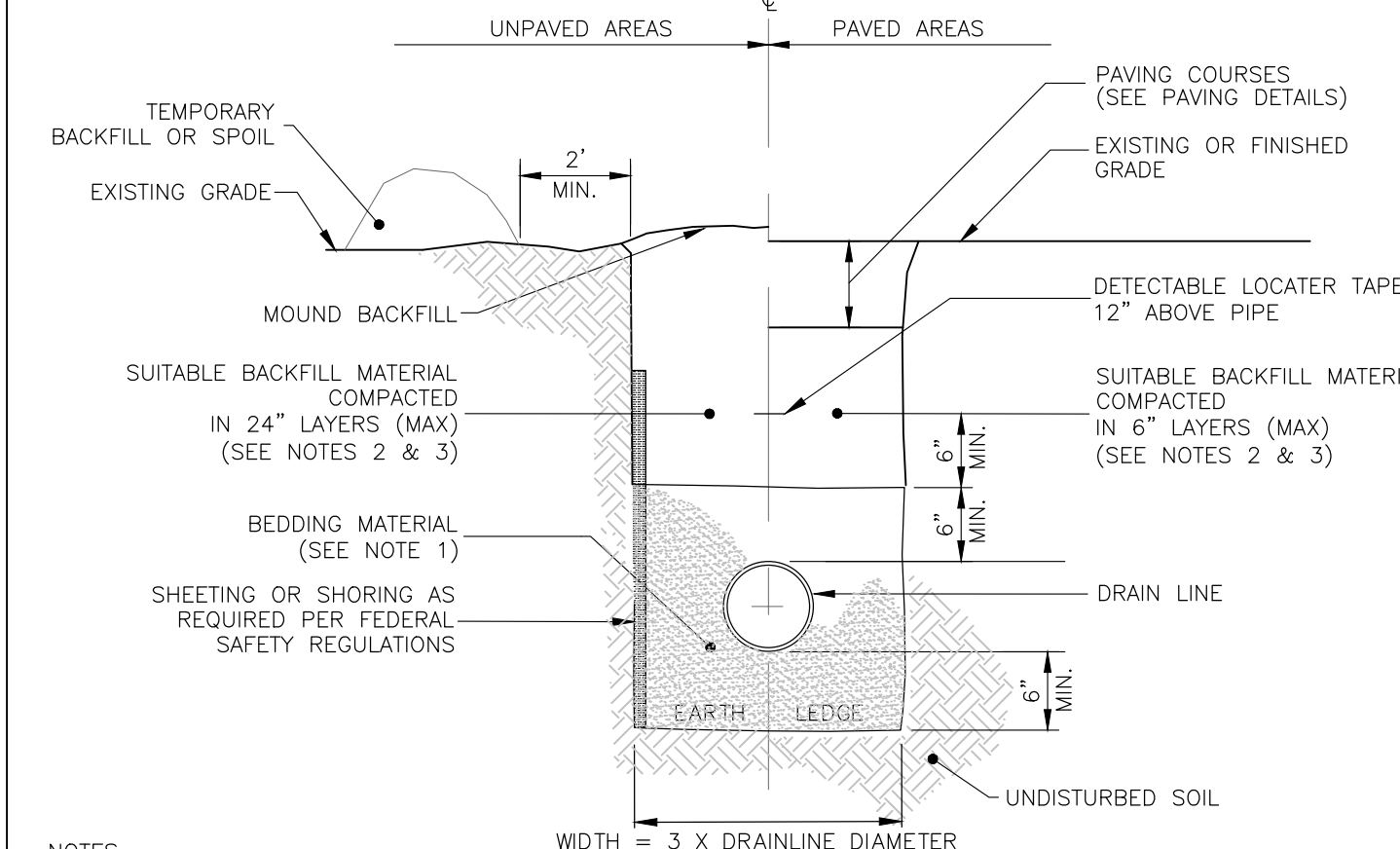
BURIED GATE VALVE
NOT TO SCALE

- NOTES:**
- VALVE TO OPEN RIGHT.



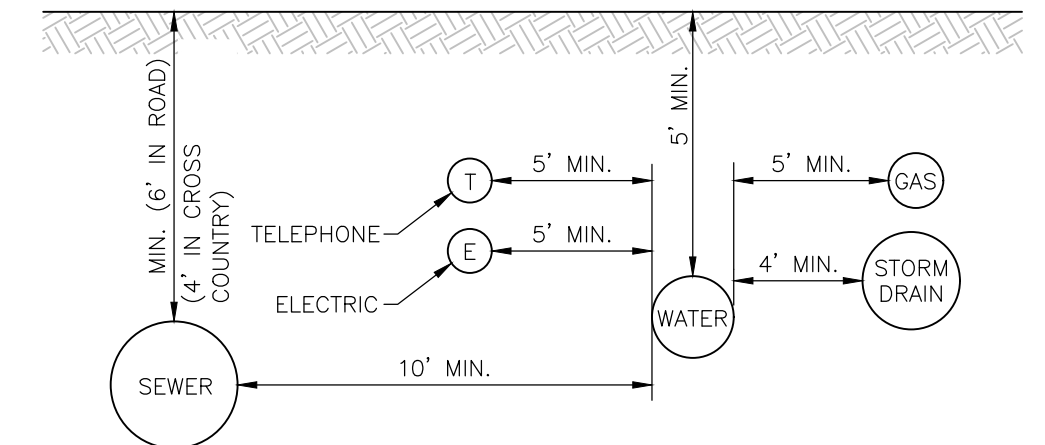
PORTSMOUTH FIRE HYDRANT
NOT TO SCALE

- SPECIFICATIONS**
- 150 PSI WORKING PRESSURE
 - 300 PSI TEST PRESSURE
 - HYDRANT DRAIN SHALL BE PLUGGED
 - DRY TOP DESIGN VALVE SHALL OPEN WHEN OPERATING NUT IS TURNED CLOCKWISE AND BE SO INDICATED ON HYDRANT
 - OPERATING NUT SHALL BE STANDARD AWWA PENTAGON OPERATING NUT WITH 1 1/2" POINT TO FLAT DIMENSION
 - THREADS SHALL BE NATIONAL STANDARD HOSE THREAD NOZZLES
 - HYDRANT TO OPEN RIGHT.



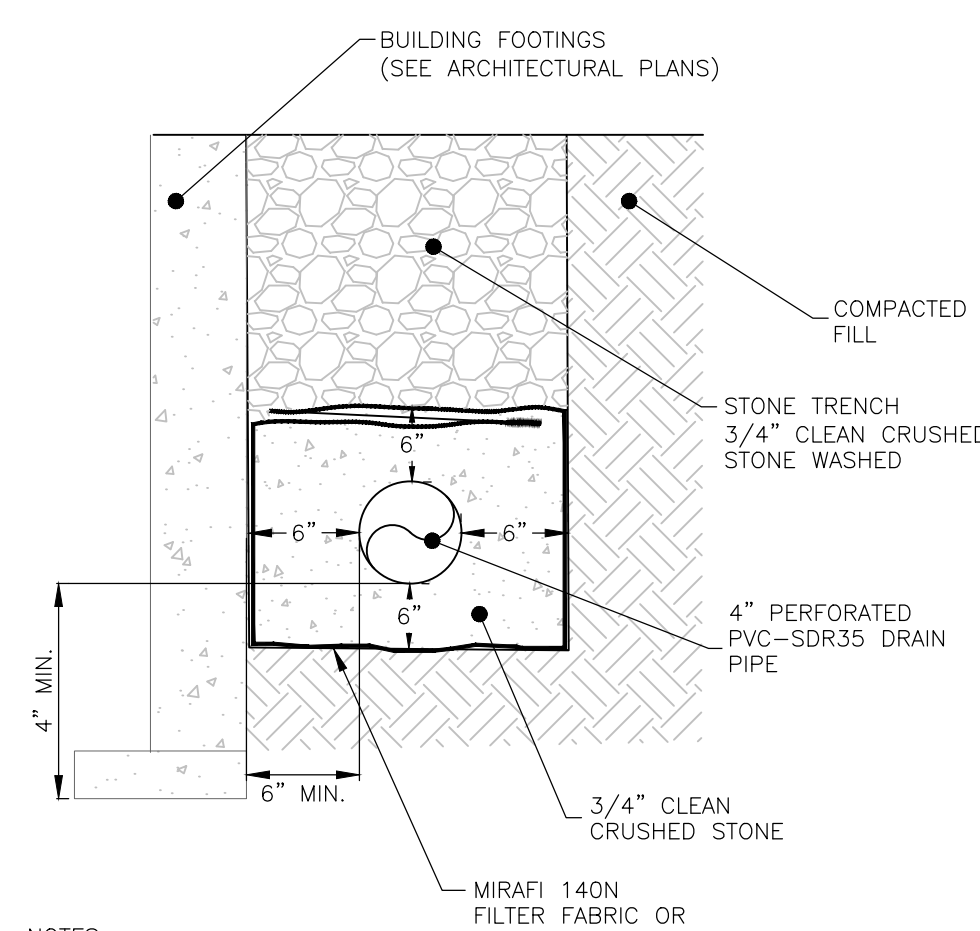
- NOTES**
- BEDDING - BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT A UNIFORM SLOPE AND ALIGNMENT. CRUSHED STONE SHALL BE USED TO BED THE PIPE TO THE ELEVATION SHOWN ON THE DRAWINGS. NORMAL PIPE BEDDING IS CRUSHED STONE TO THE HAUNCH OF THE PIPE AND SAND BEDDING 6" ABOVE THE CROWN. IF THE TOP OF THE PIPE IS LESS THAN 30" FROM FINISH GRADE, BED PIPE COMPLETELY IN STONE UP TO 6" ABOVE PIPE CROWN. UNDERDRAIN TO HAVE 4" MINIMUM OF STONE OVER PIPE OR AS NECESSARY TO BE IN CONTACT WITH GRAVEL LAYER OF SELECTS ABOVE.
 - COMPACTION - ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO T99, METHOD C.
 - SUITABLE MATERIAL - IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT, ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK, PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6" IN LARGEST DIMENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
 - BASE COURSE AND PAVEMENT - SHALL MEET THE REQUIREMENT OF THE NHDOT LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES DIVISION 300 AND 400 RESPECTIVELY.

TRENCH FOR DRAIN LINE
NOT TO SCALE



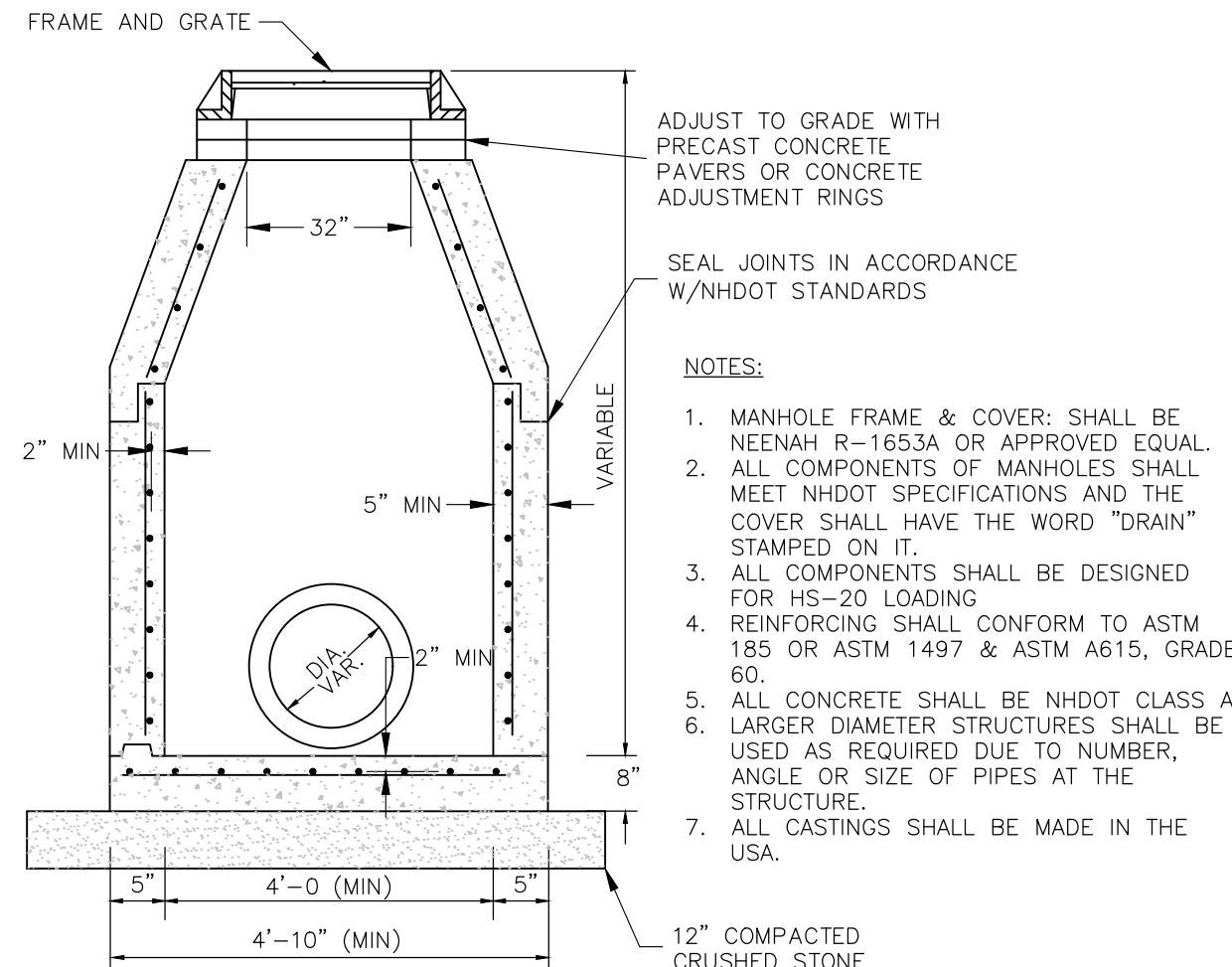
- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO EXETER DPW TECHNICAL SPECIFICATIONS.
 - ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 - GAS MAIN SHALL HAVE A TYPICAL DEPTH OF 3' FROM THE TOP OF PIPE TO FINISH GRADE
 - DETAIL REPRESENTS LATERAL SEPARATION ONLY UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY FOR DEPTHS FOR GAS, TELEPHONE, AND ELECTRIC.

TYPICAL UTILITY LATERAL SEPARATION
NOT TO SCALE



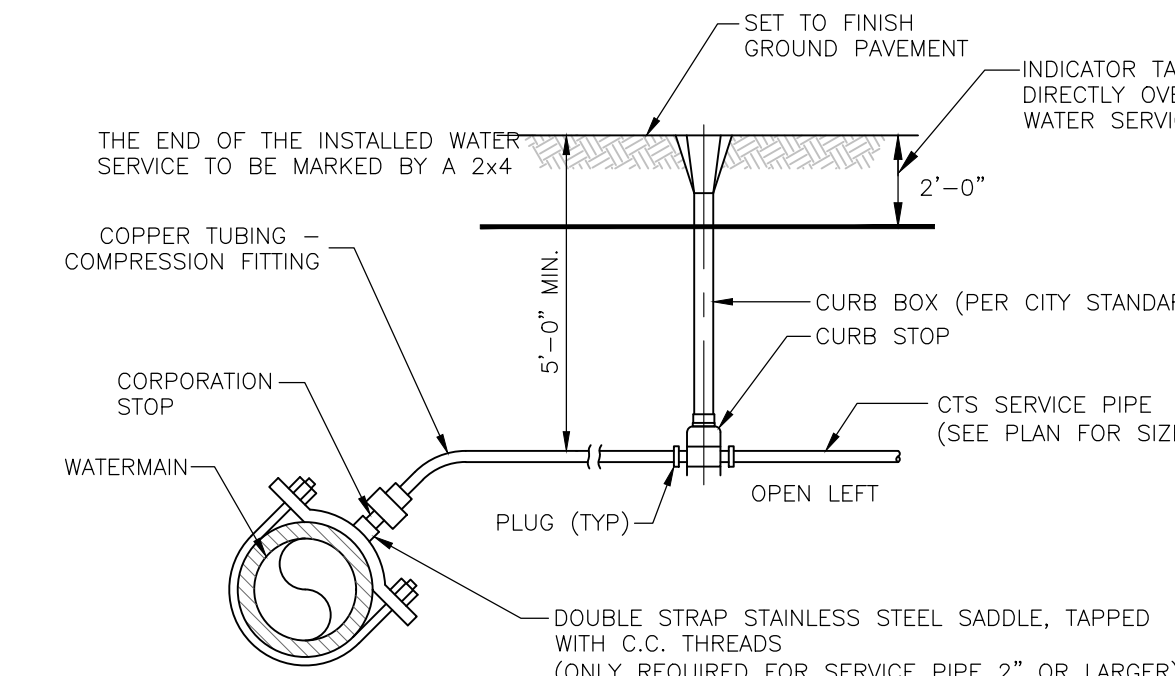
- NOTES**
- FOR MINIMUM DIMENSIONAL REQUIREMENT REFER TO THE GEOTECHNICAL REPORT PREPARED BY JOHN TURNER CONSULTING, INC. ON JULY 3, 2013.

FOUNDATION DRAIN LINES
NOT TO SCALE



DRAIN MANHOLE
NOT TO SCALE

- NOTES:**
- MANHOLE FRAME & COVER: SHALL BE NEENAH R-1653A OR APPROVED EQUAL.
 - ALL COMPONENTS OF MANHOLES SHALL MEET NHDOT SPECIFICATIONS AND THE COVER SHALL HAVE THE WORD "DRAIN" STAMPED ON IT.
 - ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING
 - REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
 - ALL CONCRETE SHALL BE NHDOT CLASS A.
 - LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.
 - ALL CASTINGS SHALL BE MADE IN THE USA.

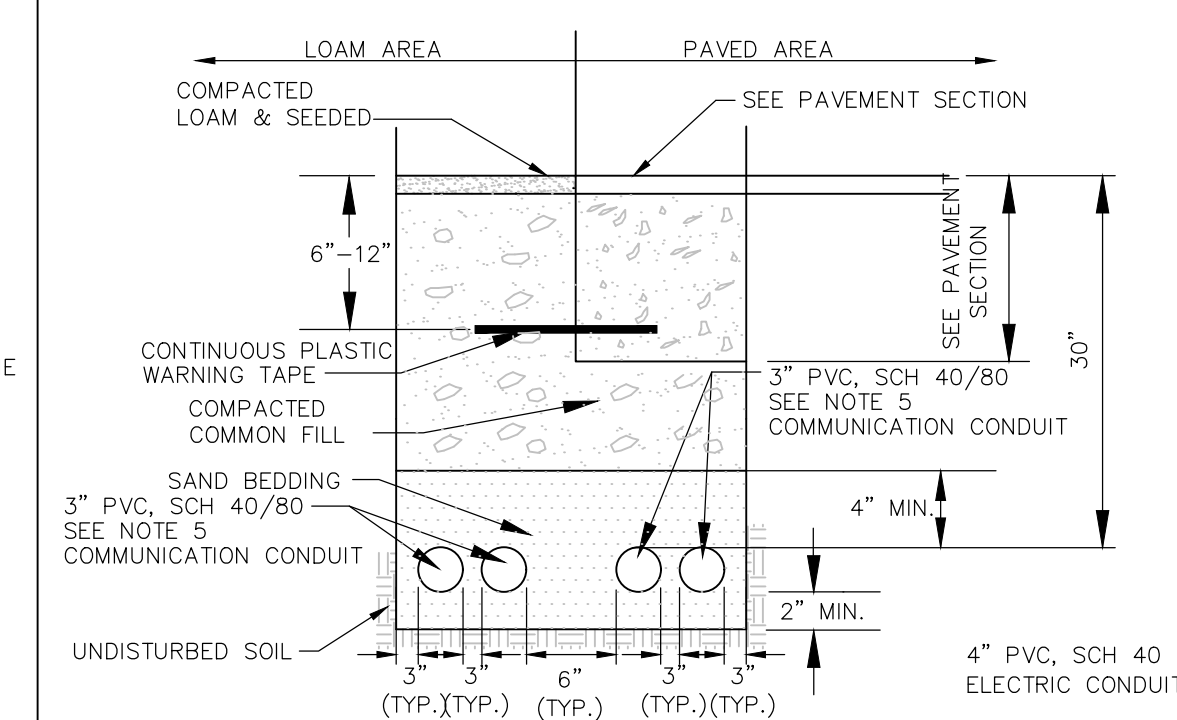


WATER SERVICE CONNECTION
NOT TO SCALE

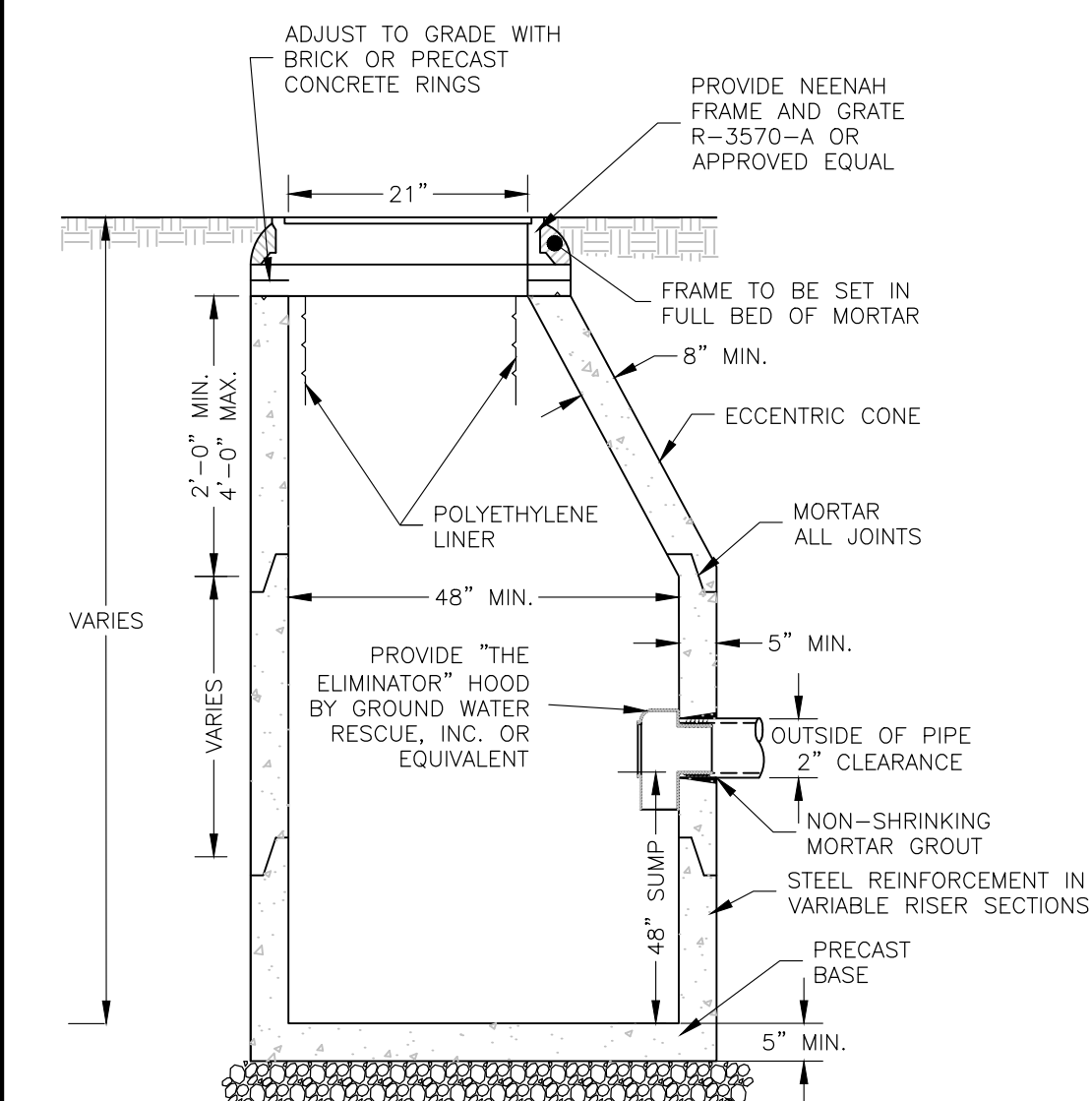
- NOTES**
- CURB STOPS TO OPEN TO THE RIGHT.

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ELECTRIC/COMMUNICATIONS CONDUIT
NOT TO SCALE



- NOTES**
- ELECTRIC SERVICE INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
 - COMMUNICATION SERVICE INSTALLATION SHALL MEET ALL CONSTRUCTION REQUIREMENTS.
 - ACTUAL NUMBER OF CONDUITS TO BE DETERMINED BY RESPECTIVE COMPANIES
 - VERIFY INSTALLATION REQUIREMENTS WITH RESPECTIVE COMPANIES.
 - SCHEDULE 80 CONDUIT TO BE USED UNDER TRAFFIC SITUATIONS (PRIMARY AND SECONDARY LINES).
 - ALL 90 DEGREE SWEEPS MUST BE STEEL AND THE FIRST 10' STICK OUT OF THE 90 MUST BE STEEL ON ALL PRIMARY CONDUIT RUNS



- NOTES**
- ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
 - ALL COMPONENTS OF CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
 - ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.
 - ALL CASTINGS SHALL BE MADE IN THE USA.
 - POLYETHYLENE LINER SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
 - TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).

ECCENTRIC CATCH BASIN WITH HOODED OUTLET
NOT TO SCALE

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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
DETAILS
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN **APRIL 19, 2021**

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
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REV	DATE	DESCRIPTION	DR	CK

47388.11 DR JSM FB
CK JUM CADFILE 47388-11_DETAILS C-70

Jul 21, 2021 - 4:27pm
F:\MSC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Portsmouth\Design\Production Drawings\47388-11_Details.dwg

BIORETENTION FILTER MEDIA MIXTURES			
COMPONENT MATERIAL	% OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SIEVE NO.	% BY WEIGHT PASSING STANDARD SIEVE
BIORETENTION FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50-55		
LOAMY SAND TOPSOIL WITH FINES AS INDICATED	20-30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH FINES AS INDICATED	20-30	200	<5

3/8" WASHED CRUSHED STONE*		3/4" WASHED CRUSHED STONE*	
SIEVE SIZE	% PASSING BY WIGHT	SIEVE SIZE	% PASSING BY WIGHT
1/2"	100	1"	100
3/8"	95-100	3/4"	90-100
#4	22-55	1/2"	15-55
#8	0-10	#10	0-5

HYBRID BIORETENTION AREA MIX:

THE GRASS THAT IS PLANTED WITHIN A BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET REQUIREMENTS AS OUTLINED IN VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS' MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC), THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE)/RAIN GARDEN GRASS MIX 180 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

ENHANCED BIO-FILTRATION WITH INTERNAL STORAGE RESERVOIR (ISR):

1. THE INTERNAL STORAGE RESERVOIR (ISR) WILL PROVIDE A RETENTION TIME OF AT LEAST 24 HOURS IN THE SYSTEM TO ALLOW FOR SUFFICIENT TIME FOR DENITRIFICATION AND NITROGEN REDUCTION TO OCCUR PRIOR TO DISCHARGE, THE FILTER MEDIA HAS BEEN AUGMENTED WITH MATERIALS DESIGNED AND/OR KNOW TO BE EFFECTIVE AT CAPTURING PHOSPHORUS. THE TOP TWELVE INCHES OF THE BIO-MEDIA WILL BE AMENDED WITH EITHER 5% BY VOLUME ELEMENTAL IRON FILINGS; 5% BY VOLUME CONTECH IMBRIUM SORPTIVE MEDIA, ABS MATERIALS BIOMAX MEDIA, OR APPROVED EQUAL, OR 5% BY WEIGHT WATER TREATMENT RESIDUALS (WTR). THE VOLUME OF THE ISR WILL EXCEED 25% OF THE WATER QUALITY VOLUME (WQV).

NOTES

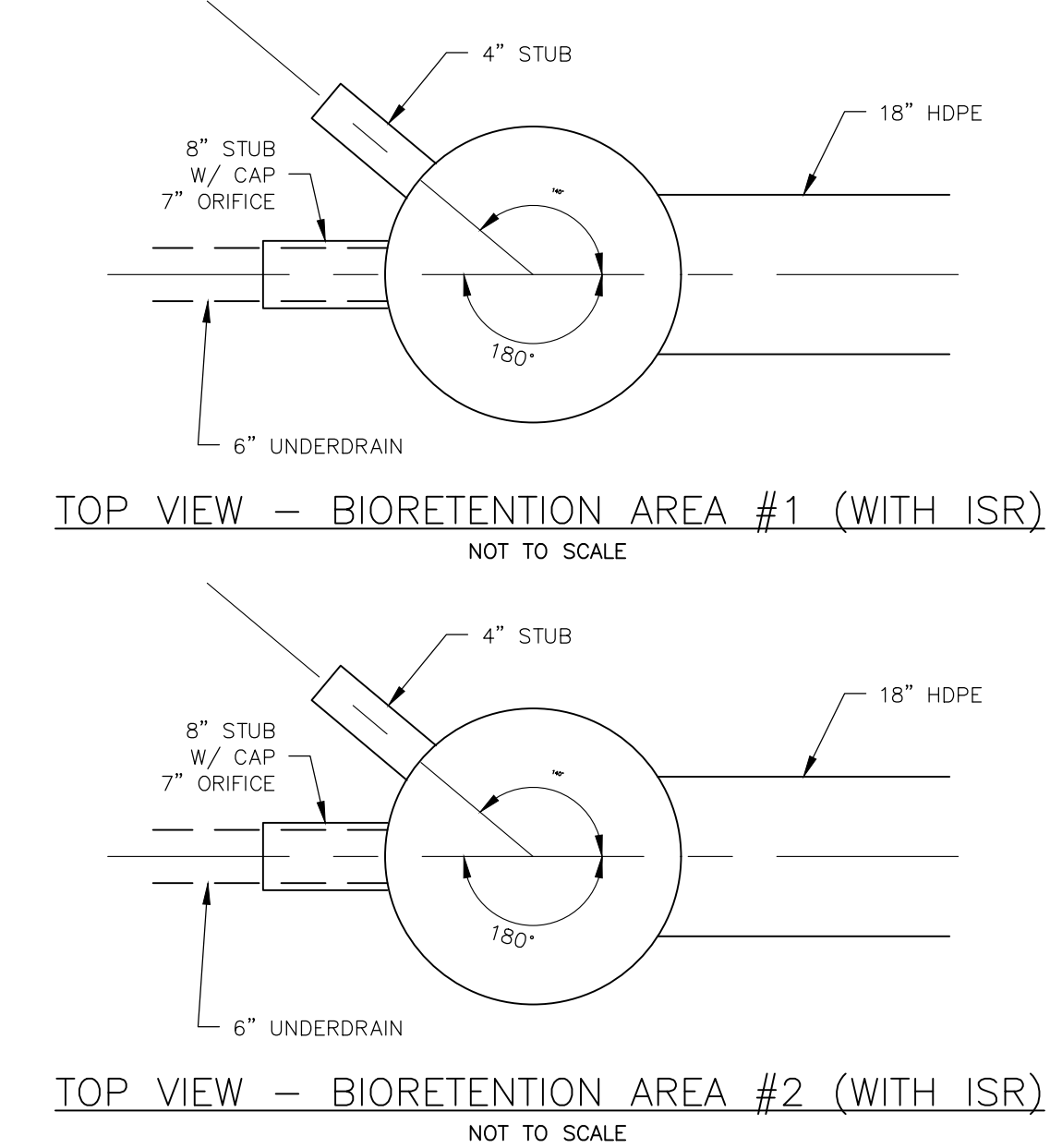
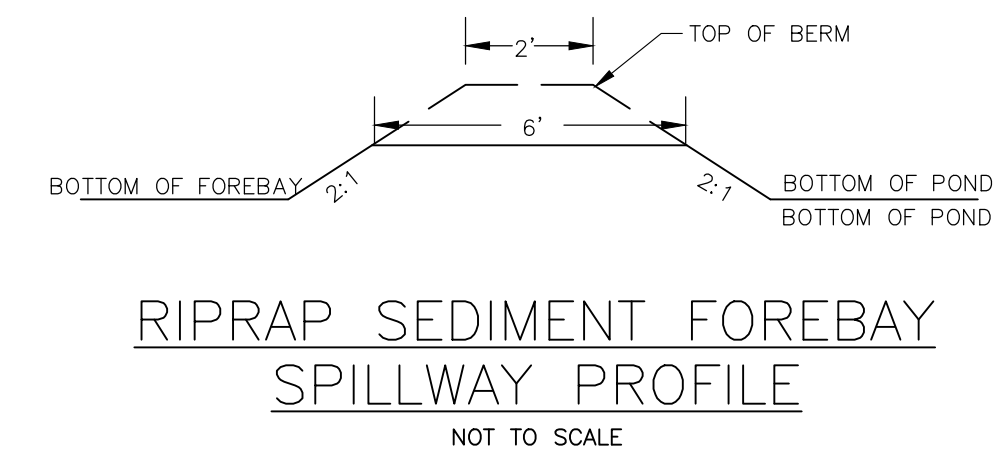
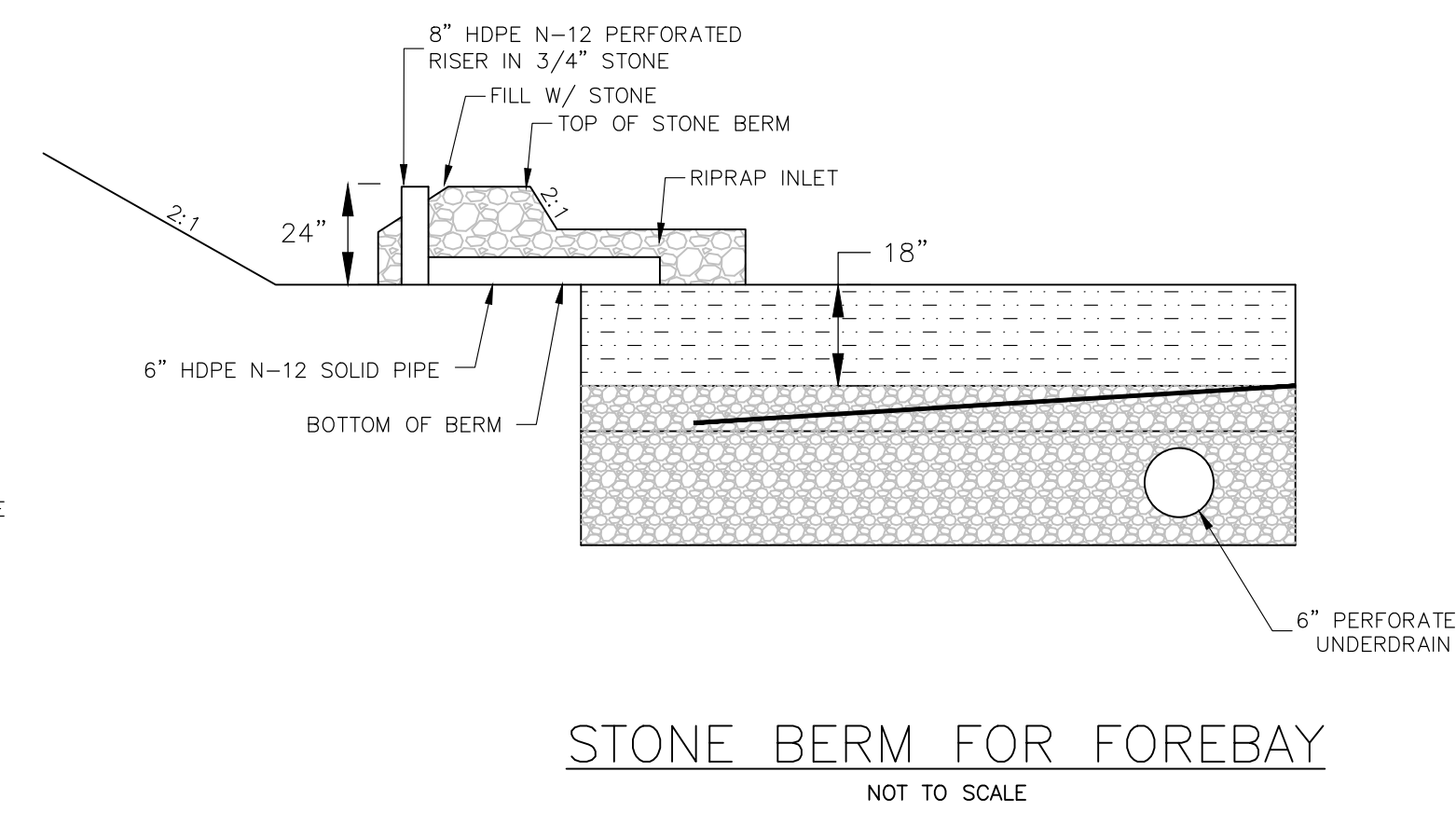
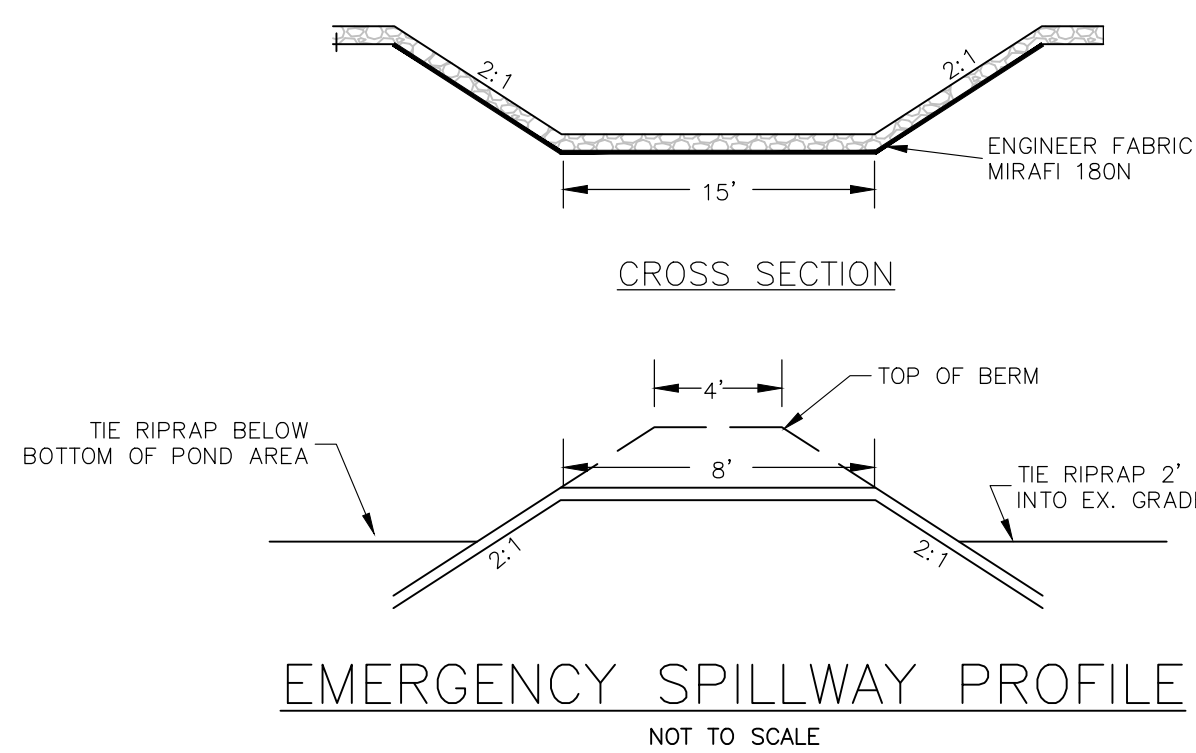
1. WHEN CONTRACTOR EXCAVATES BIORETENTION AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
2. SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO-MEDIA" MEANS BIORETENTION FILTER MEDIA.
3. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
4. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATION) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
5. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF INFILTRATION COMPONENTS OF THE SYSTEM.
6. A PROFESSIONAL ENGINEER SHALL BE PRESENT DURING THE CONSTRUCTION OF THE RAIN GARDENS TO ENSURE THAT ALL OF THE CRITERIA ARE MET AND THAT A REPORT BE SUBMITTED TO NHDES WHEN CONSTRUCTION OF THE BIORETENTION AREAS ARE COMPLETED.

MAINTENANCE REQUIREMENTS

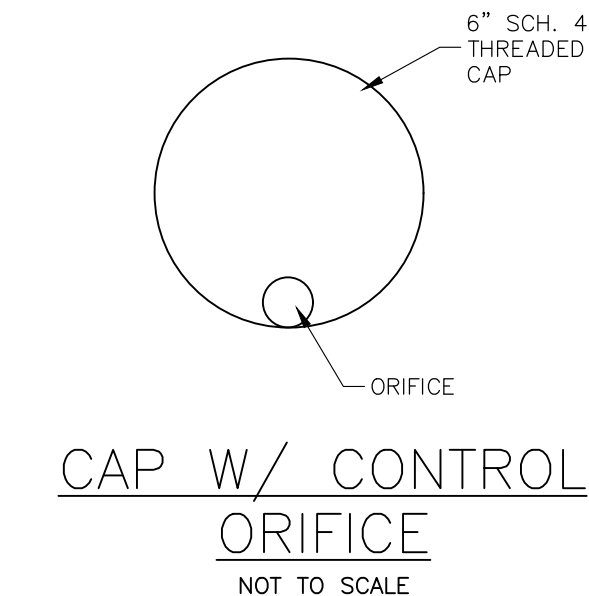
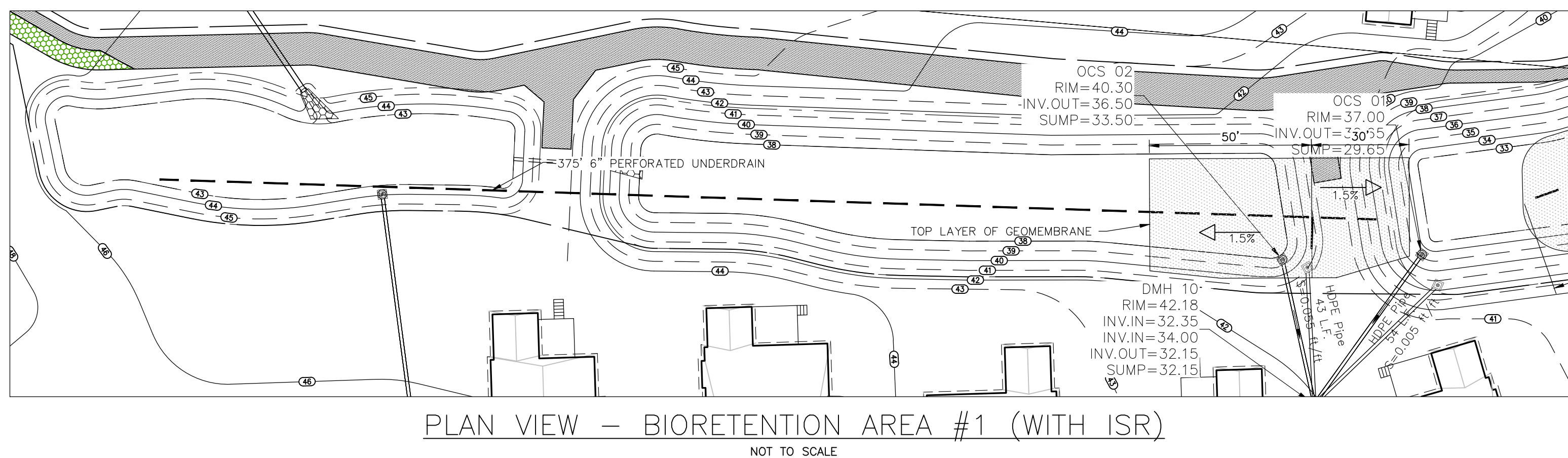
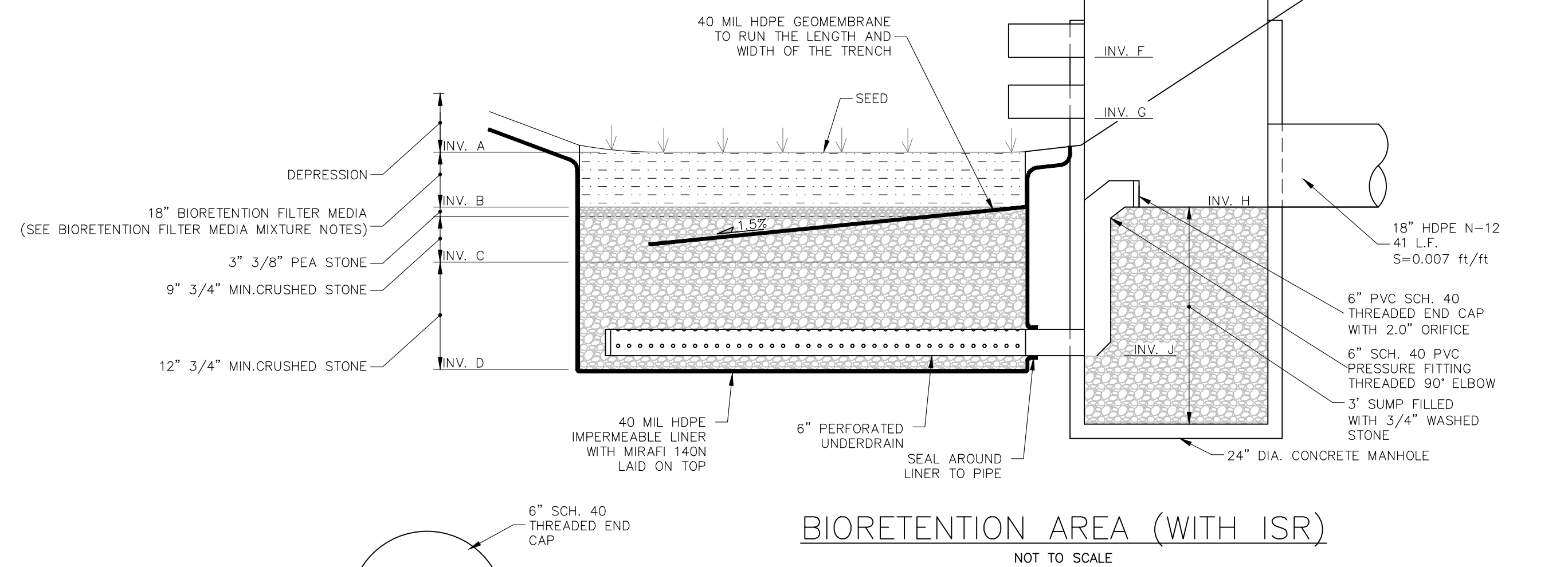
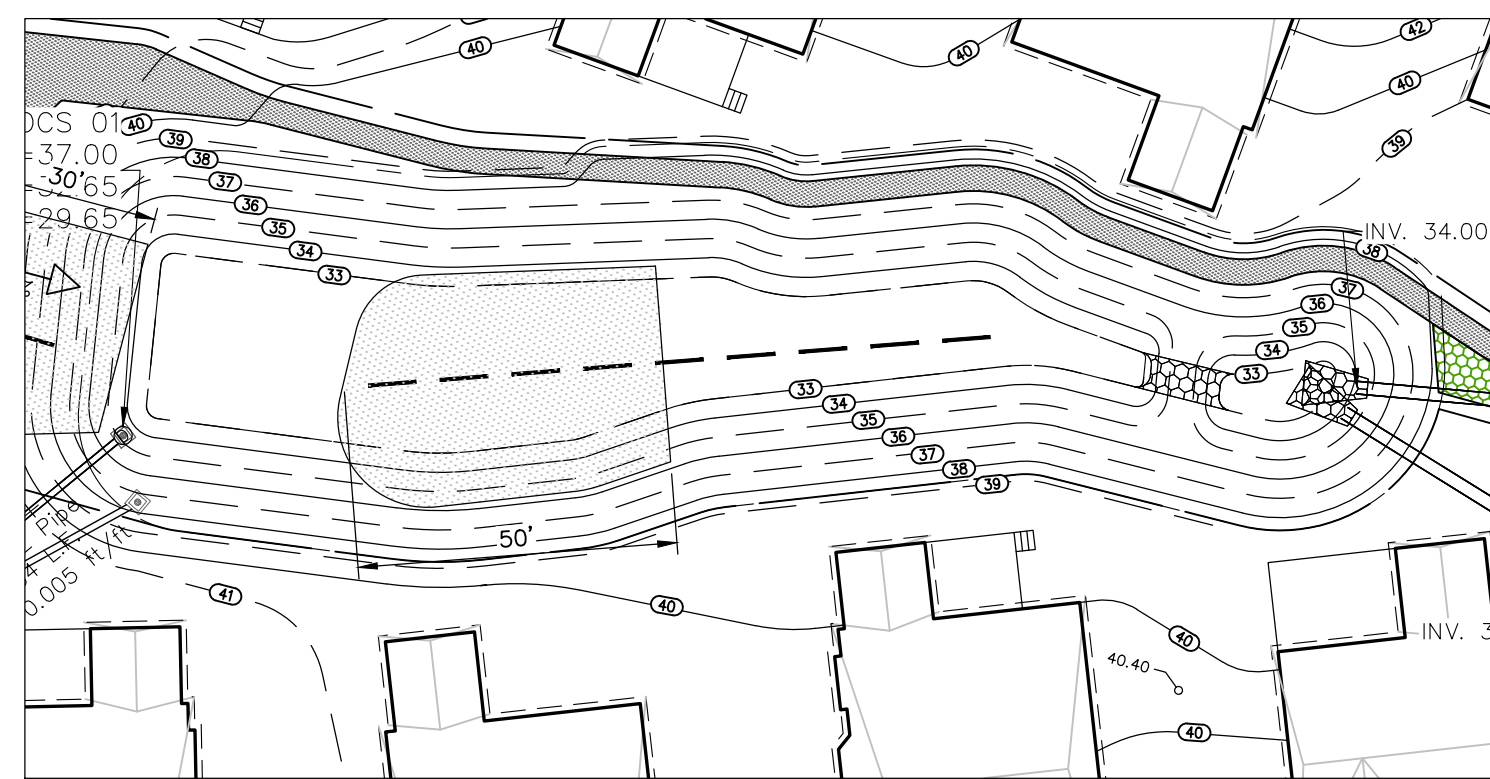
1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED SUCH INSPECTION.
2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEARED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
3. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THAN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED OF SEDIMENTS OR RECONSTRUCTION OF FILTER MEDIA.
4. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

DESIGN REFERENCES:

1. UNH STORMWATER CENTER
2. NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS UHSC - WWW.UNH.EDU/UNHSC/NEWS/UNHSC-INNOVATIVE-BIORETENTION-TEMPLATE-POLLUTION-REDUCTIONS-GREATBAY-ESTUARY-WATERSHEDS



ELEVATION TABLE		
INV.	BIO-01 ELEV	BIO-02 ELEV
A	32.75	35.00
B	31.25	33.50
C	30.25	32.50
D	29.25	31.50
E	36.00	37.00
F	35.00	36.00
G	NA	NA
H	32.70	34.00
J	29.58	31.83



LINER NOTES
 ACCEPTABLE OPTIONS INCLUDE:
 A. 6-12" IN CLAY SOIL (MINIMUM 15% PASSING #200 SIEVE AND A MAXIMUM PERMEABILITY OF 1X10⁻⁵ CM/S)
 * A 40 MIL PVC LINER WITH SAND BEDDING AND NON-WOVEN GEOTEXTILE

SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
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 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
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 www.tfmoran.com

47388.11 DR JSM FB
 CK JUM CADFILE 47388-11-DETAILS C-72

REV.	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

Jul 21, 2021 - 4:27pm
 F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Portsmouth\47388-11_Details.dwg

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GENERAL NOTES

IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE STRENGTH, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H=20 LOADINGS) WITHOUT PRESENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.

BARRELS, CONE SECTIONS AND CONCRETE GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE AND SHALL CONFORM ENV-WQ 704.12 & 704.13.

PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478-06.

BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE INCOMING PIPE.

MANHOLE CONE SECTIONS SHALL BE ECCENTRIC IN SHAPE.

ALL PRECAST SECTIONS AND BASES SHALL HAVE THE DATE OF MANUFACTURE AND THE NAME OR TRADEMARK OF THE MANUFACTURER IMPRESSED OR INDELIBLY MARKED ON THE INSIDE WALL.

ALL PRECAST SECTIONS AND BASES SHALL BE COATED ON THE EXTERIOR WITH A BITUMINOUS DAMP-PROOFING COATING.

SHALLOW MANHOLE. IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H=20 LOADS.

HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT. APPROVED ELASTOMERIC SEALANTS ARE:

- SIKAFLEX-12-SL
- SONNEBORN BUILDING PRODUCTS-SONOLASTIC SL-1

THE MINIMUM INTERNAL DIAMETER OF MANHOLES SHALL BE 48 INCHES. FOR SEWERS LARGER THAN 24-INCH DIAMETER, MANHOLE DIAMETERS SHALL BE INCREASED SO AS TO PROVIDE AT LEAST 12-INCHES OF SHELF ON EACH SIDE OF THE SEWER.

LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE TO ENV-WQ 704.17.

- (a) ALL MANHOLES SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST IN ACCORDANCE WITH THE ASTM C1244 STANDARD IN EFFECT WHEN THE TESTING IS PERFORMED.
- (b) THE MANHOLE VACUUM TEST SHALL CONFORM TO THE FOLLOWING:
- THE INITIAL VACUUM GAUGE TEST PRESSURE SHALL BE 10 INCHES Hg.
 - THE MINIMUM ACCEPTABLE TEST HOLD TIME FOR 1-INCH Hg PRESSURE DROP TO 9 INCHES SHALL BE:
 - NOT LESS THAN 2 MINUTES FOR MANHOLES LESS THAN 10 FEET DEEP.
 - NOT LESS THAN 2.5 MINUTES FOR MANHOLES 10 TO 15 FEET DEEP.
 - NOT LESS THAN 3 MINUTES FOR MANHOLES MORE THAN 15 FEET DEEP.

- (c) THE MANHOLE SHALL BE REPAIRED AND RETESTED IF THE TEST HOLD TIMES FAIL TO ACHIEVE THE ACCEPTANCE LIMITS SPECIFIED IN (b) ABOVE.
- (d) INVERTS AND SHELVES SHALL NOT BE INSTALLED UNTIL AFTER SUCCESSFUL TESTING IS COMPLETE.
- (e) FOLLOWING COMPLETION OF THE LEAKAGE TEST, THE FRAME AND COVER SHALL BE PLACED ON TOP OF THE MANHOLE OR SOME OTHER MEANS USED TO PREVENT ACCIDENTAL ENTRY BY UNAUTHORIZED PERSONS, CHILDREN OR ANIMALS, UNTIL THE CONTRACTOR IS READY TO MAKE FINAL ADJUSTMENT TO GRADE.

BRICK MASONRY FOR SHELF, INVERT AND GRADE ADJUSTMENT SHALL COMPLY WITH ASTM C32-05, CLAY OR SHALE, FOR GRADE SS HARD BRICK.

MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:

- (a) 4.5 PARTS SAND AND 1.5 PARTS CEMENT, OR
- (b) 4.5 PARTS SAND, 1 PART CEMENT AND 0.5 PART HYDRATED LIME

CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05. HYDRATED LIME SHALL BE TYPE S CONFORMING TO ASTM C207-06 "STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES". SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO ASTM C33-03 "STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES".

INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED OR PRECAST CONCRETE SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW, AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPE TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

FRAMES AND COVERS: MANHOLES FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN, CLASS 30, CONFORMING TO ASTM A48/48M AND PROVIDE A 30-INCH CLEAR OPENING, 3-INCH WORD (MINIMUM HEIGHT) LETTERS "SEWER" SHALL BE PLAINLY CAST INTO THE TOP SURFACE. THE CASTING SHALL BE OF EVEN GRAINED CAST IRON, SMOOTH, AND FREE FROM SCALE, LUMPS, BUSTERS, SAND HOLES AND DEFECTS. CONTACT SURFACES OF COVERS AND FRAMES SHALL BE MACHINED AT THE FOUNDRY TO PREVENT ROCKING OF COVERS IN ANY ORIENTATION.

BEDDING: PRECAST BASES SHALL BE PLACED ON A 6-INCH LAYER OF COMPACTED BEDDING MATERIAL THAT CONFORMS TO ASTM C33-03 NO. 67 STONE AND FREE FROM CLAY, LOAM AND ORGANIC MATTER. THE EXCAVATION SHALL BE PROPERLY Dewatered WHILE PLACING BEDDING MATERIAL AND SETTING OF THE BASE OR POURING CONCRETE. WATER-STOPS SHALL BE USED AT THE HORIZONTAL JOINT OF THE CAST-IN-PLACE MANHOLES.

100% PASSING	1" SCREEN
90-100% PASSING	3/4" SCREEN
20-55% PASSING	3/8" SCREEN
0-10% PASSING	#4 SIEVE
0-5% PASSING	#8 SIEVE

FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES FROM ANY MANHOLE CONNECTION: (a) WITHIN 48 INCHES FOR REINFORCED CONCRETE PIPE (RCP). (b) WITHIN 60 INCHES FOR PVC PIPE LARGER THAN 15" DIAMETER.

NO FLEXIBLE JOINT SHALL BE REQUIRED FOR DUCTILE IRON PIPE OR PVC PIPE UP THROUGH 15-INCH DIAMETER.

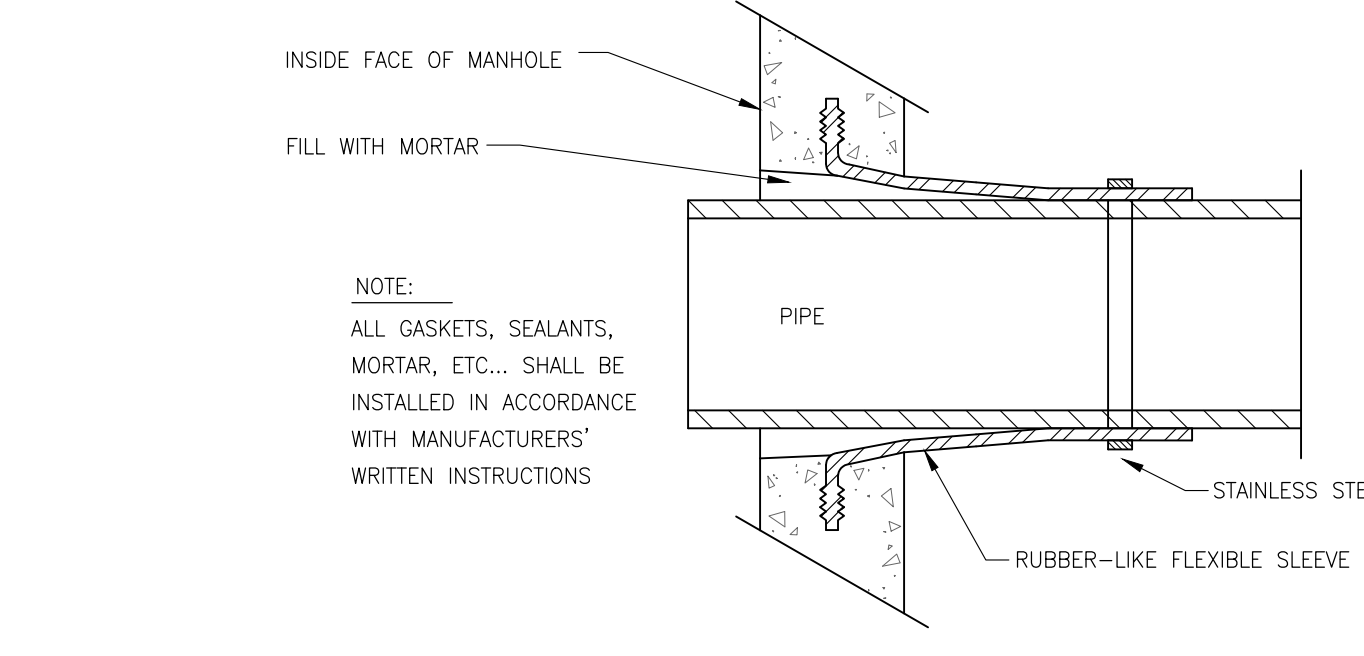
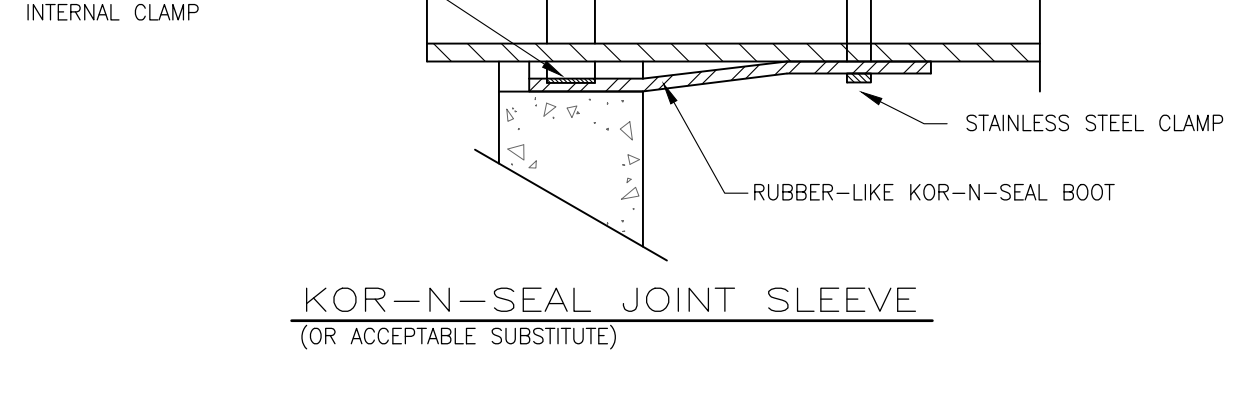
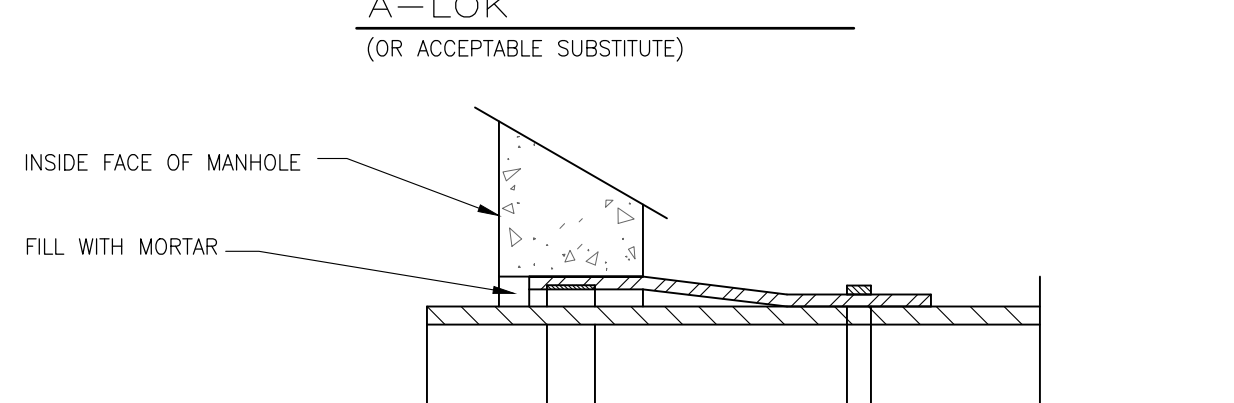
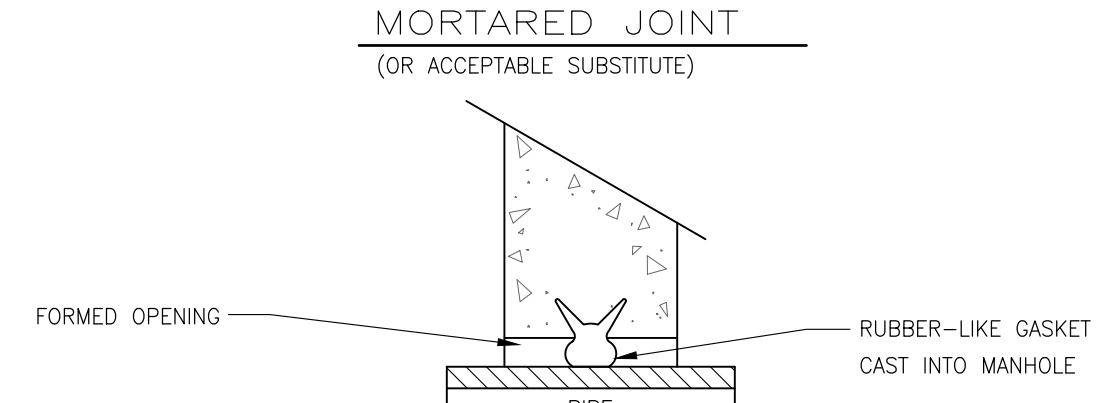
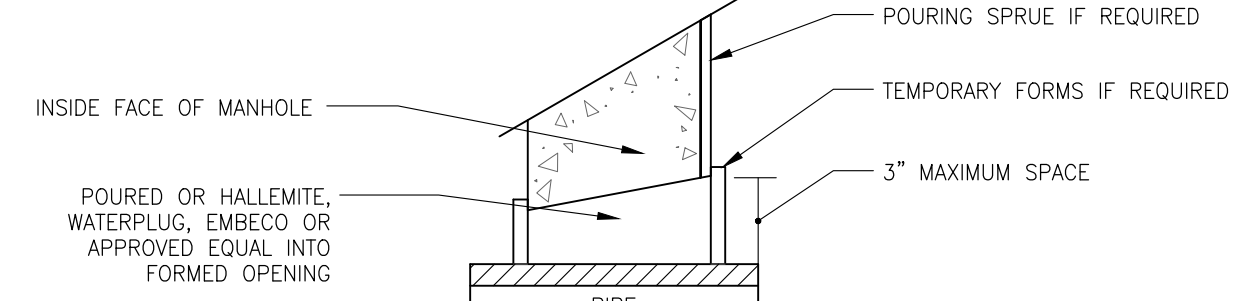
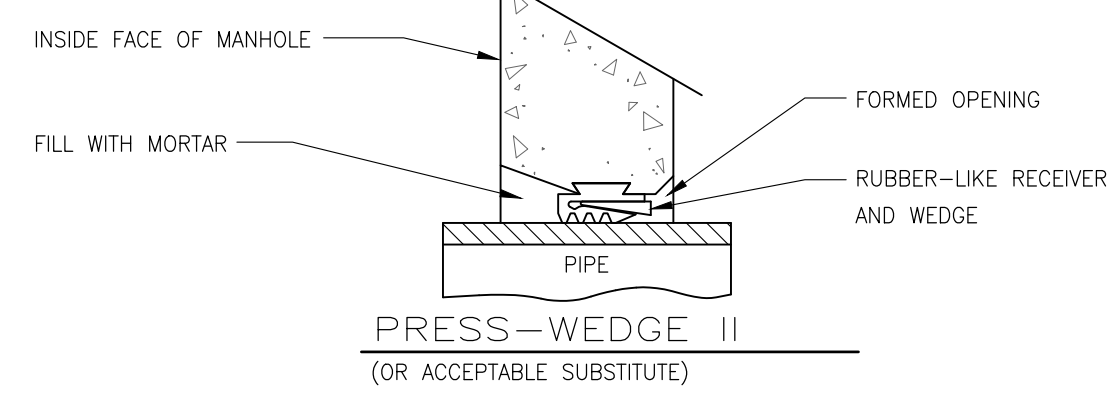
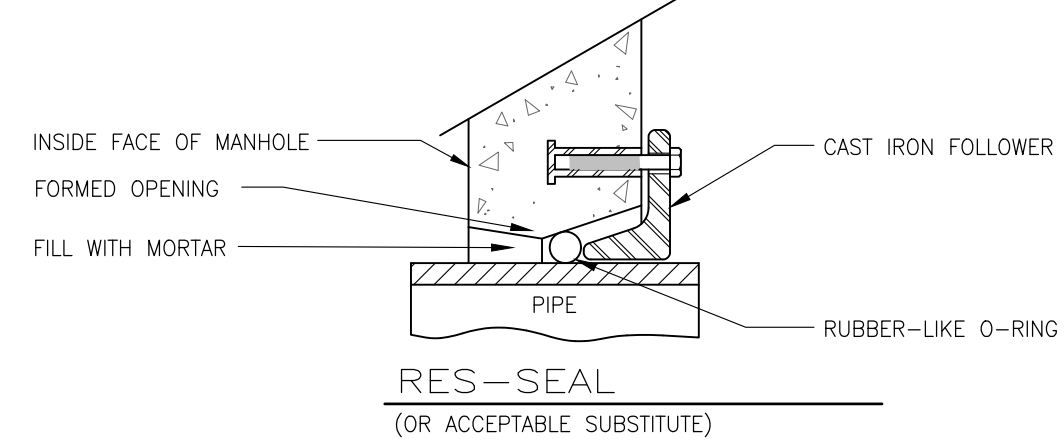
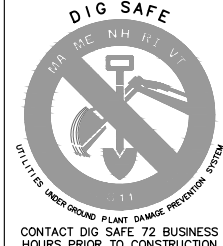
INTERNAL STEPS ARE PROHIBITED PER EXETER DPW STANDARDS.

REFERENCE NHDES ENV-WQ 700 IN PLACE OF ASTM STANDARDS.

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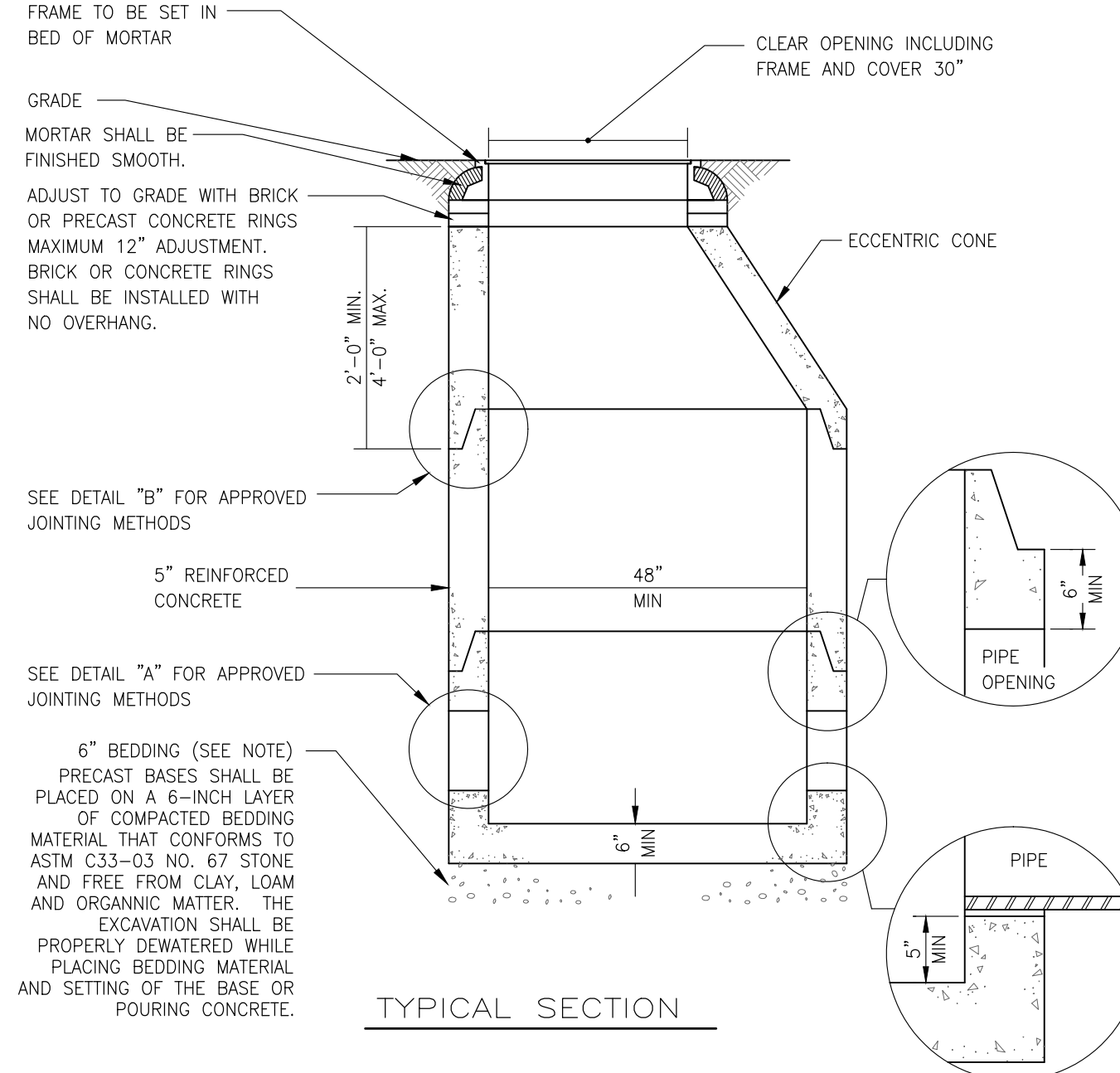
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LOCK-JOINT FLEXIBLE MANHOLE SLEEVE
(OR ACCEPTABLE SUBSTITUTE)

DETAIL "A" — PIPE TO MANHOLE JOINTS

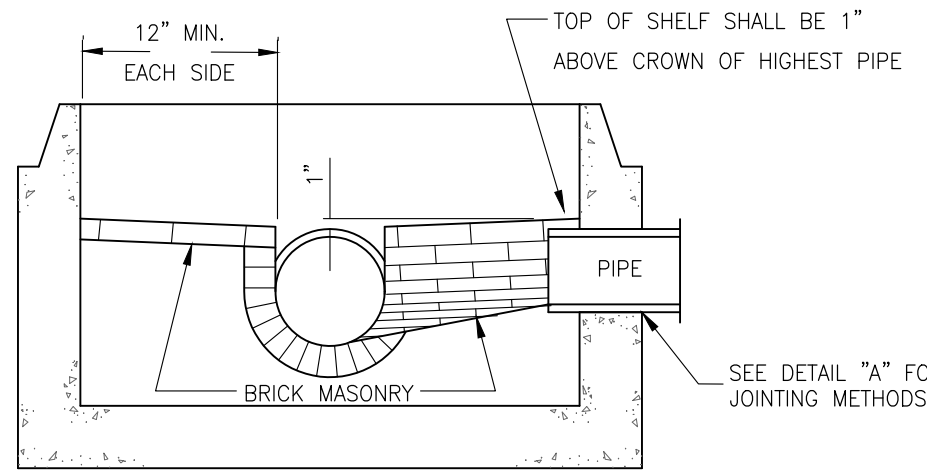
19. PIPE TO MANHOLE JOINTS SHALL BE ONLY AS FOLLOWS:
- ELASTOMERIC, RUBBER SLEEVE WITH WATER-TIGHT JOINTS AT THE MANHOLE OPENING AND PIPE SURFACES.
 - CAST INTO WALL OR SECURED WITH STAINLESS STEEL CLAMPS.
 - ELASTOMERIC SEALING RING CAST IN THE MANHOLE OPENING WITH THE SEAL FORMED ON THE SURFACE OF THE PIPE BY COMPRESSION OF THE RING.
 - NON-SHRINK GROUTED JOINTS WHERE WATER-TIGHT BONDING TO THE MANHOLE AND PIPE CAN BE OBTAINED.
20. THE INVERT OF THE INCOMING PIPE SHALL BE NO MORE THAN 6 INCHES ABOVE THE OUTGOING PIPE UNLESS A DROP ENTRY IS USED.



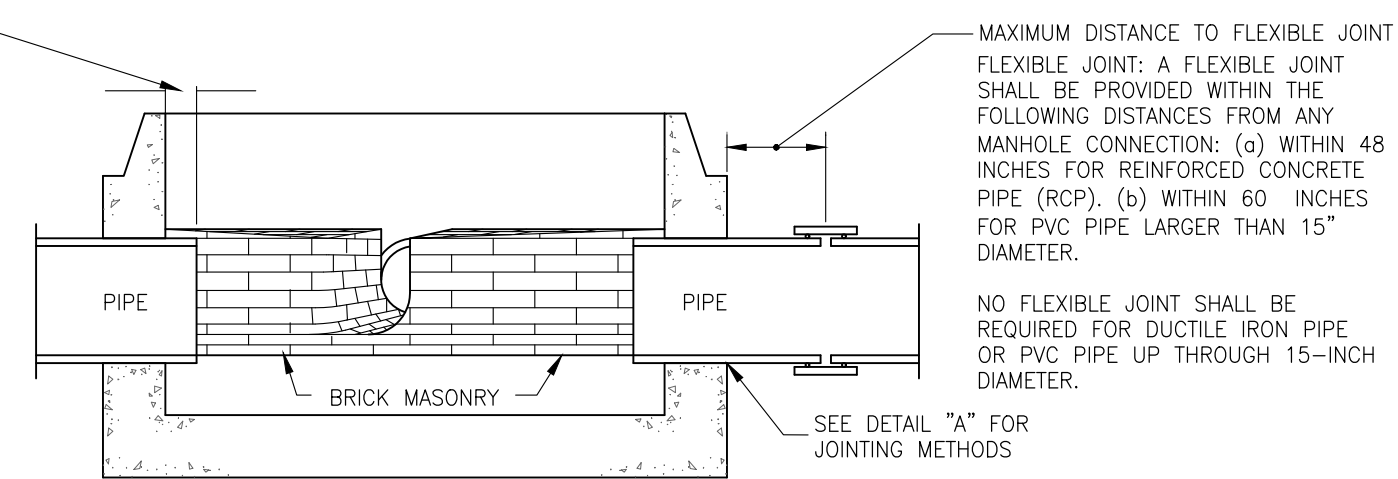
TYPICAL SECTION

NOTES:

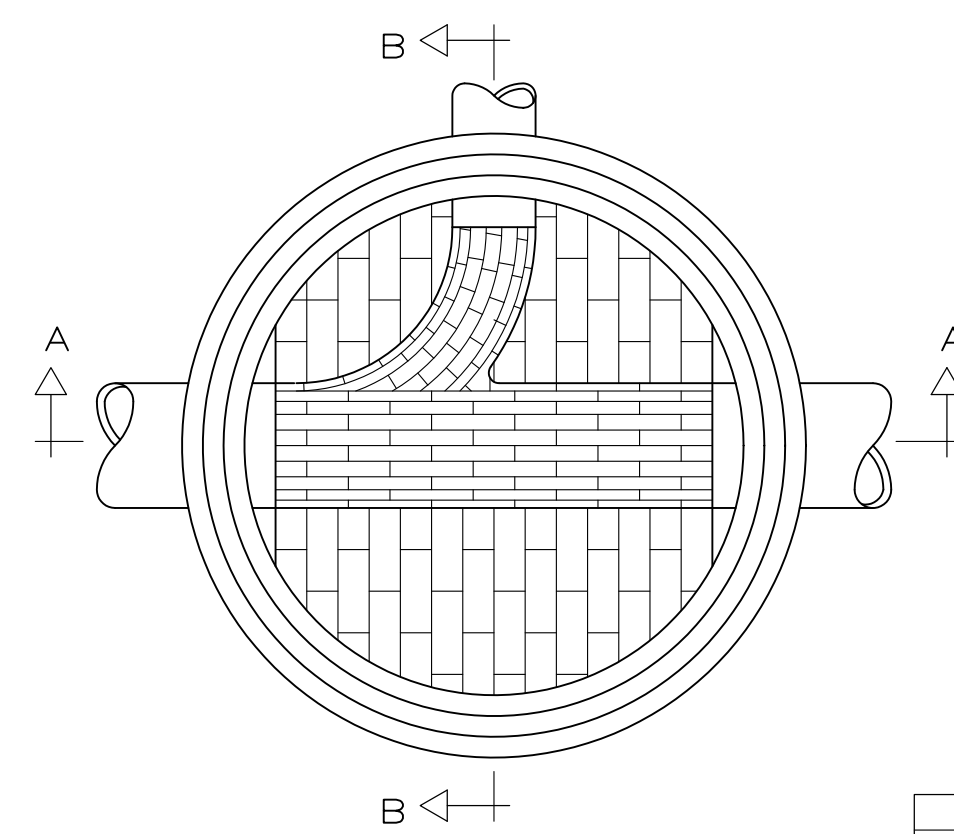
- INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.
- CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.
- BASE SECTION TO BE FULL WALL THICKNESS AND MONOLITHIC TO A POINT 6" ABOVE THE PIPE CROWN.
- UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- NO STEPS ARE ALLOWED PER EXETER DPW STANDARDS.
- BITUMINOUS COATING.



SECTION "B-B"



SECTION "A-A"



TYPICAL MANHOLE — PLAN VIEW

STANDARD MANHOLE

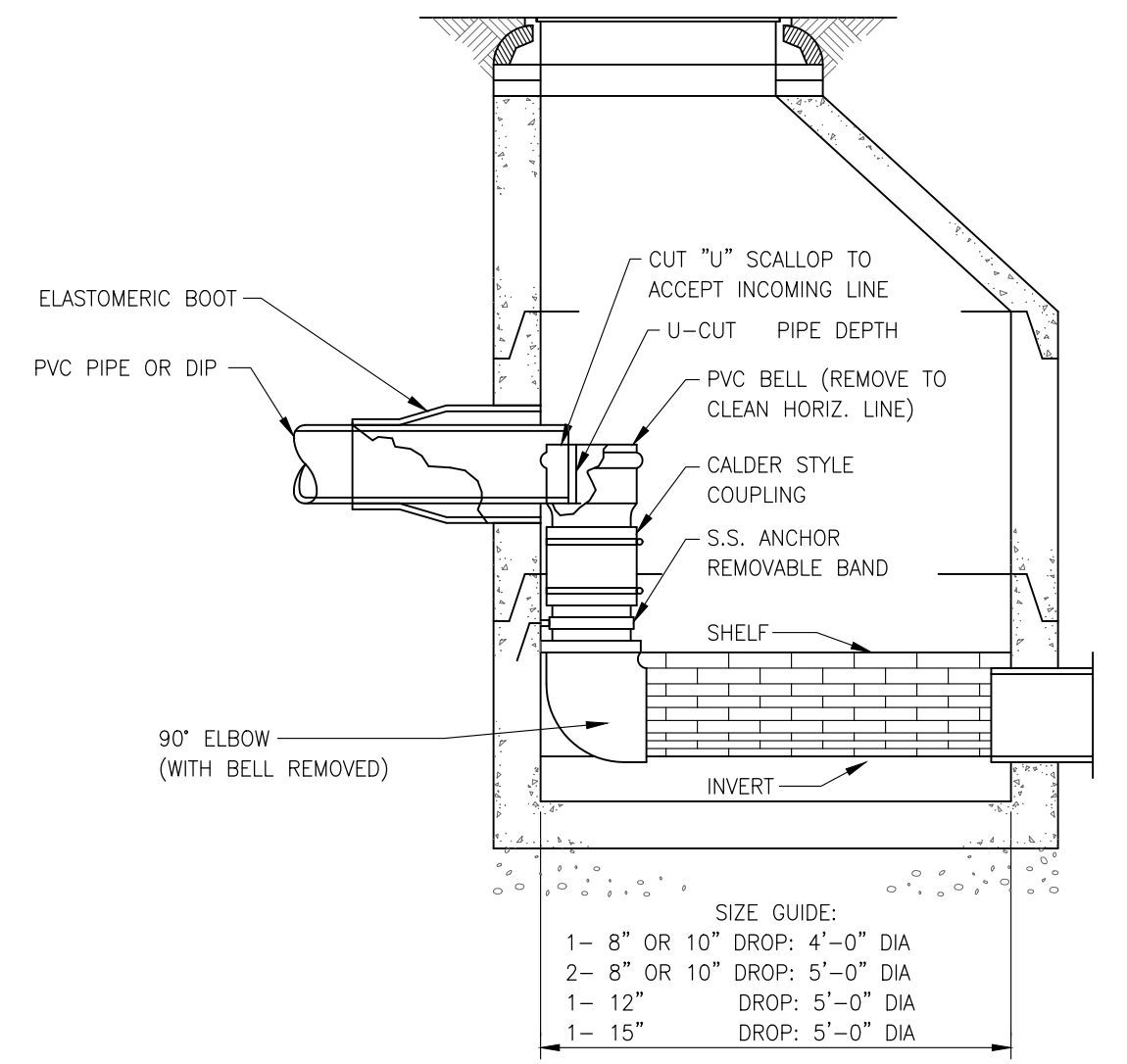
ELASTOMERIC SEALANT
HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF AN OVERLAPPING TYPE, SEALED FOR WATER-TIGHTNESS USING A DOUBLE ROW OF AN ELASTOMERIC OR MASTIC-LIKE SEALANT.

ELASTOMERIC SEALANT

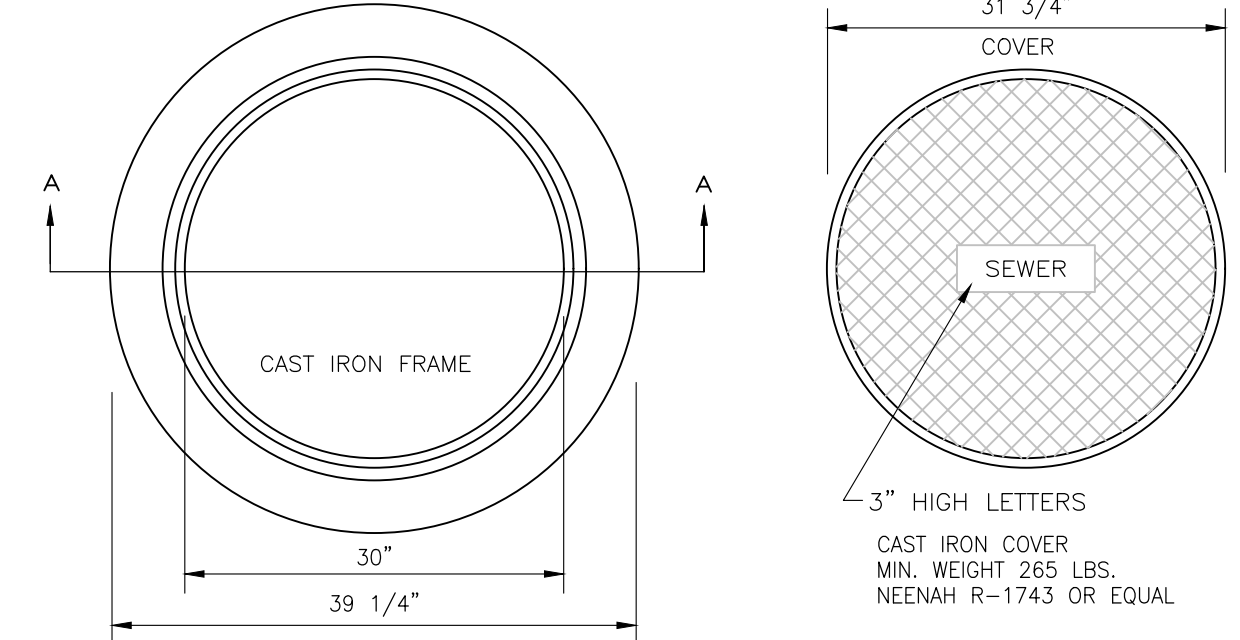
NOTES:
ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

STATE OF NEW HAMPSHIRE APPROVED PRODUCTS
A) SIKAFLEX-12-SL
B) SONNEBORN BUILDING PRODUCTS
SONOLASTIC SL-1

DETAIL "B" — HORIZONTAL JOINTS

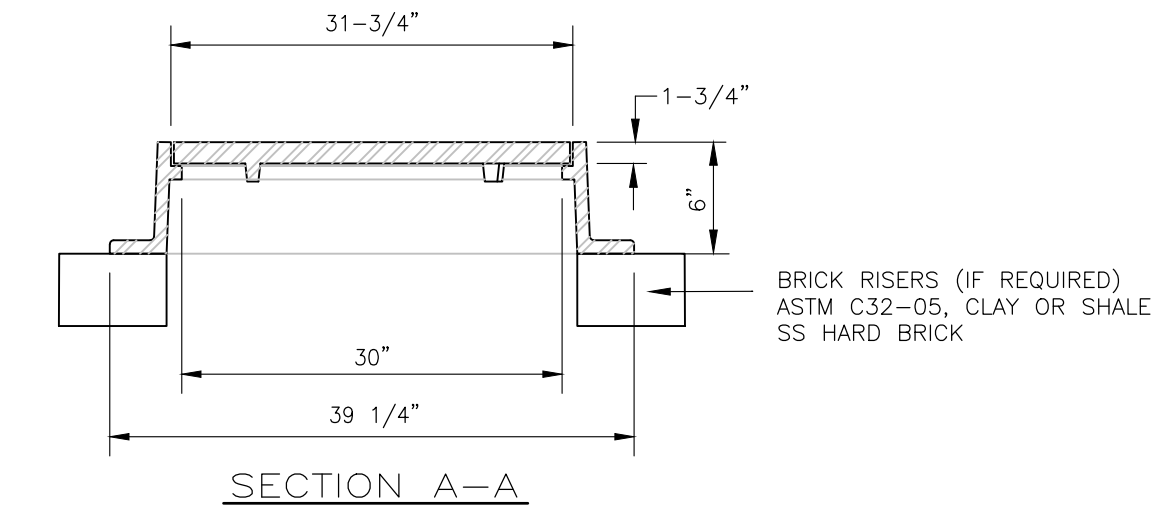


INSIDE DROP MANHOLE



PLAN VIEW

COVER



SECTION A-A

MANHOLE FRAME & COVER

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
DETAILS

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40' (11"x17')
SCALE: 1"=20' (22"x34') **APRIL 19, 2021**

Seacoast Division		Civil Engineers	170 Commerce Way, Suite 102
TFM	Structural Engineers	Portland, NH 03801	www.tfmoran.com
	Traffic Engineers	Phone (603) 431-2222	
	Land Surveyors	Fax (603) 431-0910	
	Landscape Architects		
	Scientists		

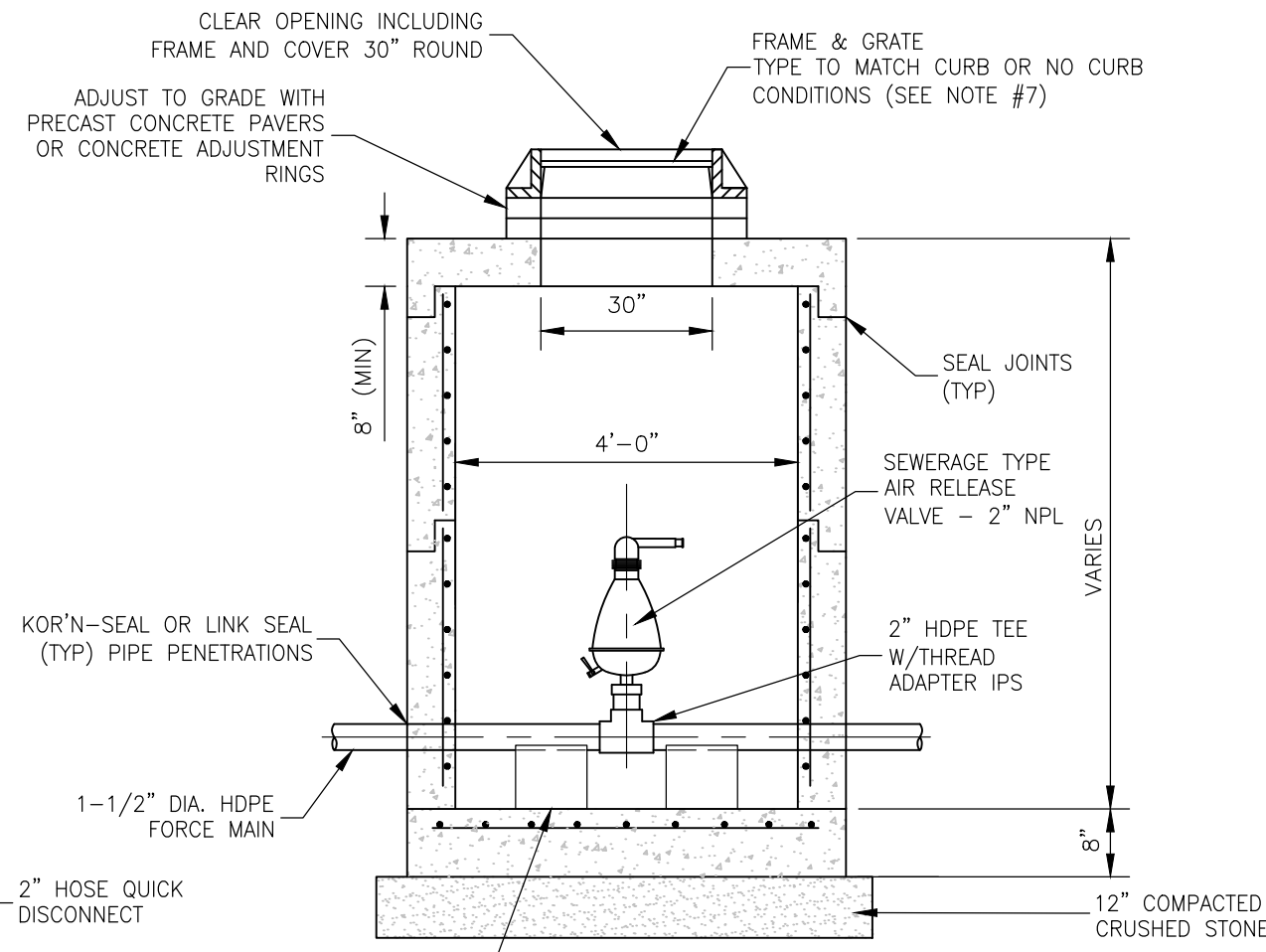
REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
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CK JUM CADFILE Sewer Details.dwg

C-74

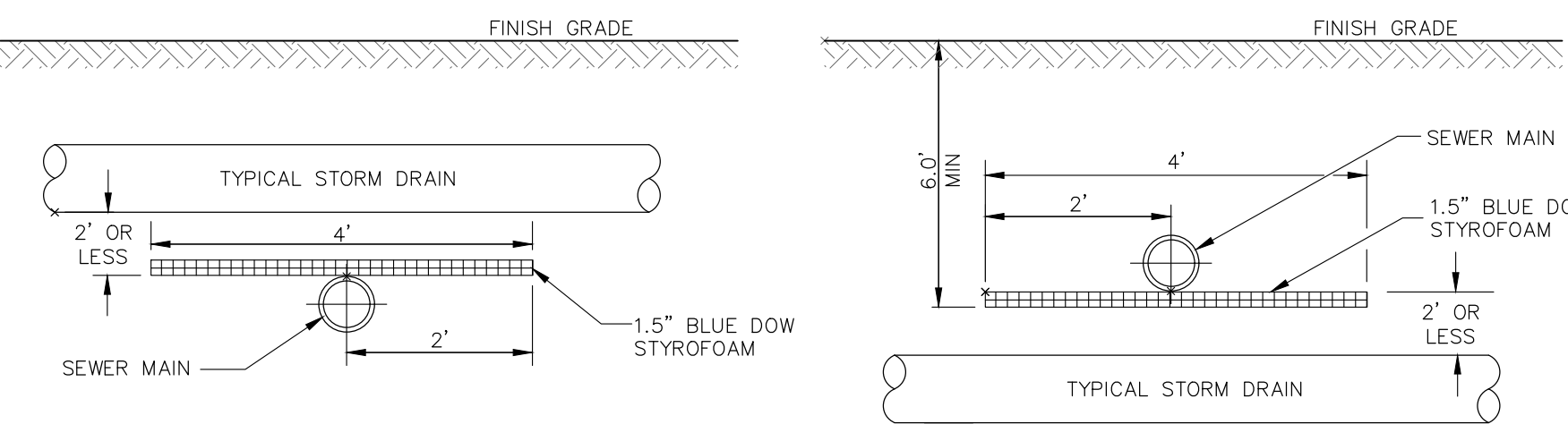
NOTES:

- CATCHBASIN FRAME & GRATE SHALL BE NEENAH R-3589-A OR APPROVED EQUAL.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
- ALL CONCRETE SHALL BE NHDOT CLASS A.
- LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ORIENTATION OR SIZE OF PIPES AT THE STRUCTURE.
- "CL" USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL TO NUMBER, SIZE OR ORIENTATION OF PIPES AT THE BASIN.
- ALL CASTINGS SHALL BE MADE IN THE USA.



NOTE:
1. 2" TRUE UNION BALL VALVE TO BE USED IN PLACE OF 2" AIR/VACUUM VALVE FOR CLEANOUT MANHOLE.

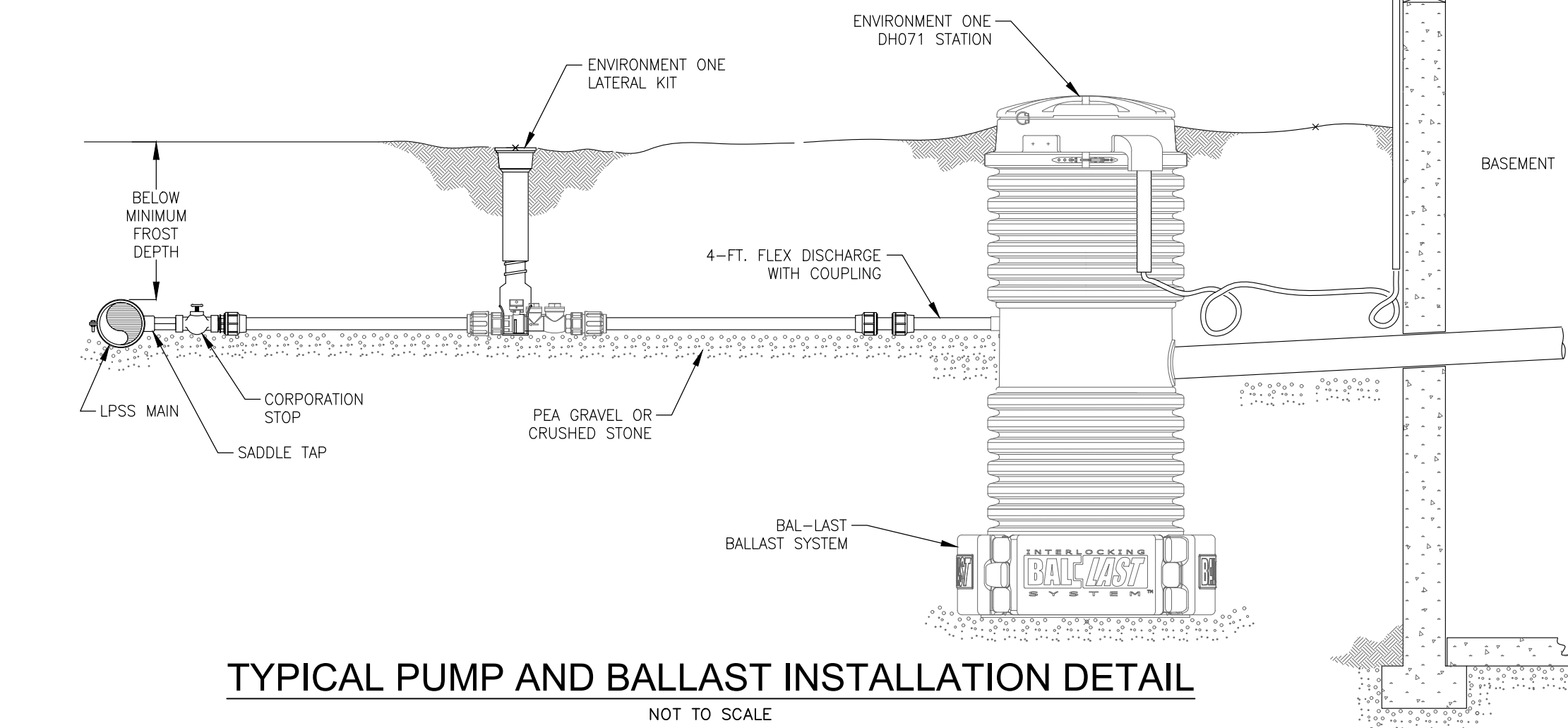
E-ONE CLEANOUT AND AIR VACUUM DETAIL
NOT TO SCALE



NOTES:

- THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
- ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1" PIECE OF INSULATION CENTERED OVER SEAM.

INSULATION AT STORM DRAIN AND SEWER MAIN INTERSECTING RUNS
NOT TO SCALE

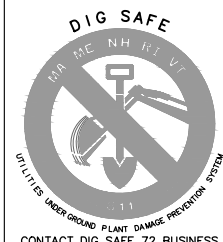


TYPICAL PUMP AND BALLAST INSTALLATION DETAIL
NOT TO SCALE

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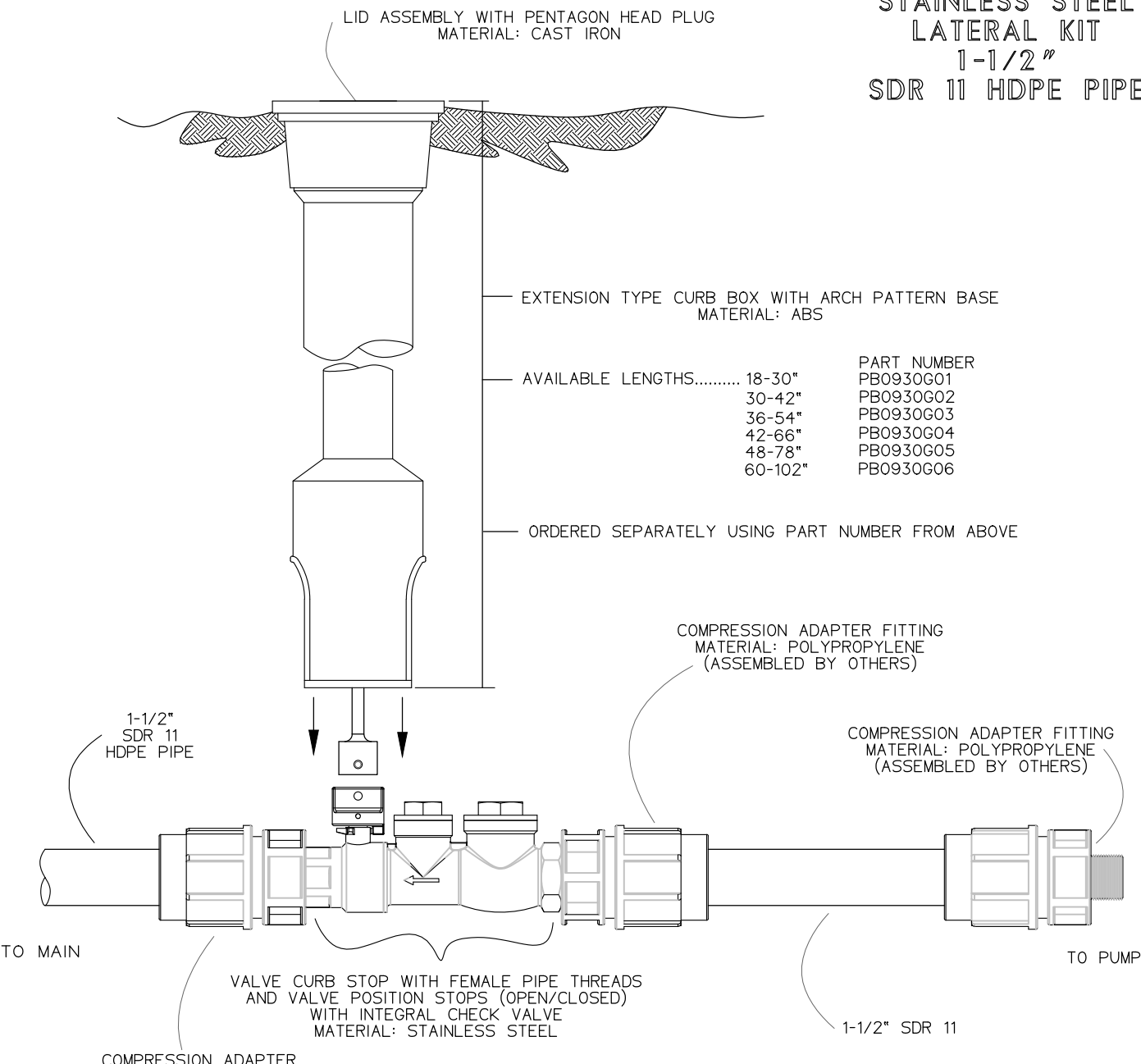
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CONTACT US AT 603-882-1234
HOURS PRIOR TO CONSTRUCTION

STAINLESS STEEL LATERAL KIT
1-1/2" SDR 11 HDPE PIPE



NOTES:

- SS CURB STOP/CHECK VALVE AND FITTINGS ARE PROVIDED SEPARATELY, TO BE ASSEMBLED BY OTHERS
- TO ASSEMBLE, APPLY A DOUBLE LAYER OF TEFLON TAPE, AND A LAYER OF PIPE DOPE (SUPPLIED BY OTHERS) TO THE THREADS ON THE PLASTIC FITTINGS AND INSTALL PER THE MANUFACTURER'S INSTRUCTIONS *FOR SS FITTING INTO SS THREAD, USE EITHER PIPE DOPE OR TEFLON TAPE, NOT BOTH
- ASSEMBLY IS TO BE PRESSURE TESTED (BY OTHERS)
- ASSEMBLY IS TO BE USED WITH SDR11 HDPE PIPE
- TO ORDER SS LATERAL KIT, USE PART NUMBER NC0193602
- CURB BOX IS TO BE ORDERED SEPARATELY, SEE ABOVE

KIT PARTS ARE NOT ASSEMBLED

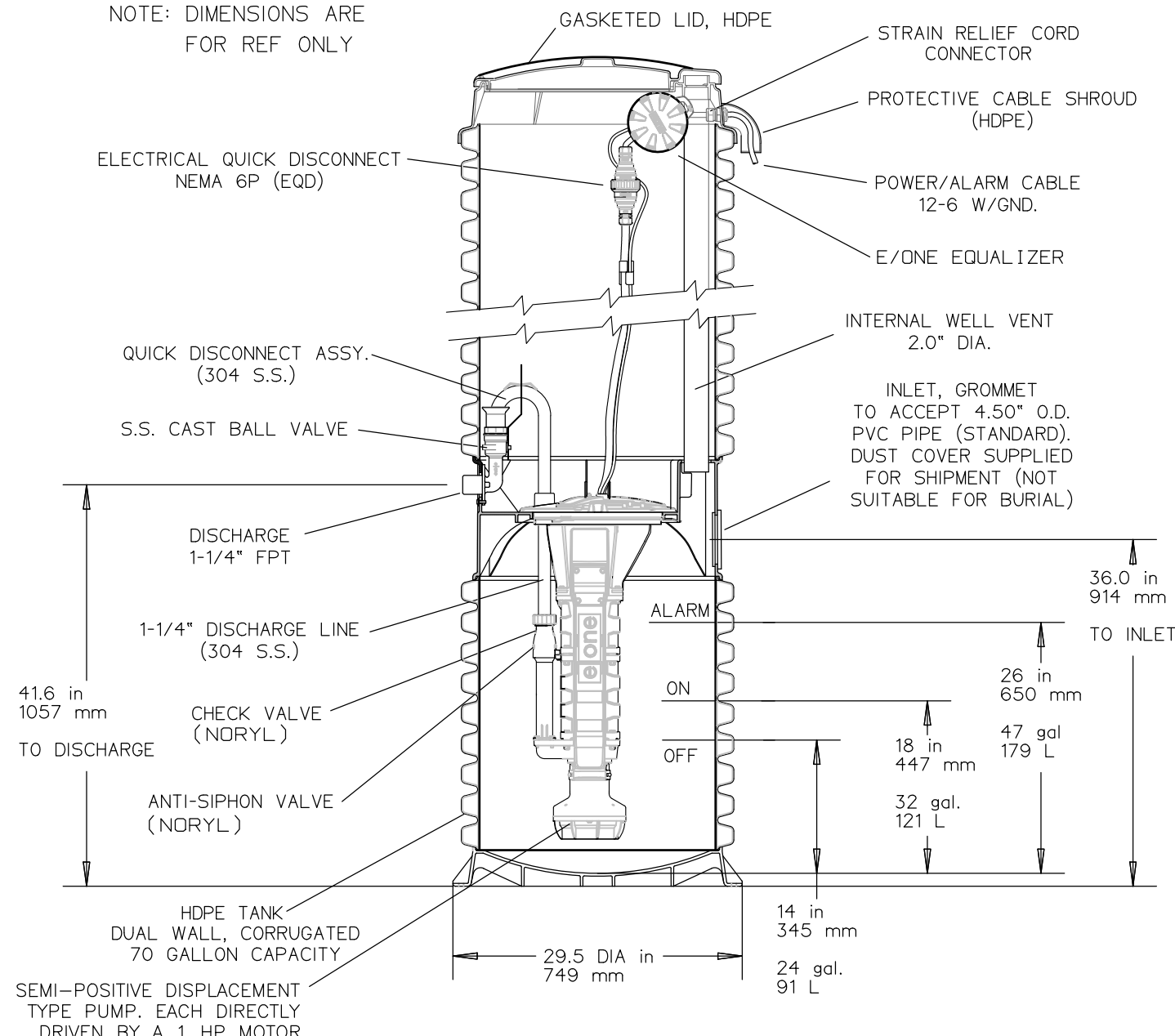
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DR BY	CHK'D	DATE	ISSUE	SCALE



STAINLESS STEEL LATERAL KIT
1-1/2" SDR 11 HDPE PIPE
NA0330P03

OPTIONS: DH071 (HARD WIRED LEVEL CONTROLS)
 DRO71 (WIRELESS LEVEL CONTROLS)

FIELD JOINT REQUIRED FOR MODELS DH071-129 / DR071-129 & DH071-160 / DR071-160
NOTE: DIMENSIONS ARE FOR REF ONLY



CONCRETE BALLAST MAY BE REQUIRED SEE INSTALLATION INSTRUCTION FOR DETAILS

E-ONE GRINDER PUMP
NOT TO SCALE

NOTES:

- THE PUMP CORE CONTAINS BUILT IN CHECK AND ANTI-SIPHON VALVES. IN ADDITION, THERE IS A REDUNDANT UNILATERAL CHECK AND ISOLATION VALVE AT THE LOT LINE WITH THE STAINLESS STEEL ASSEMBLY.
- THE STATION MONITOR CONTAINS A HIGH LEVEL ALARM. THE HIGH LEVEL ALARM IS RUN OFF A REDUNDANT RUN SWITCH THAT OVERRIDES THE RUN SWITCH IF IT SHOULD SEE A POWER FAILURE.
- THE ALARM PANEL HAS THE OPTION TO CONNECT A PORTABLE GENERATOR WITH A 20 AMP, 240 VOLT SUPPLY. POWER TRANSFERS AUTOMATICALLY IF THE PUMP IS CALLING TO RUN.
- THE PUMP IS RATED TO CONTINUOUS DUTY HEADS OF 185- FEET. THE SYSTEM AS DESIGNED WILL OPERATE AT 14.92 GPM AT 5.64- FEET TDH.
- THE PUMP RATED TO 700 GPD.
- THE TANK HAS A 70-GAL VOLUME AND ALLOWS FOR 43 GALLONS ABOVE THE "ON" LEVEL.
- A BACKUP GENERATOR WILL BE PROVIDED THAT SHALL BE AMPLE ENOUGH TO SUPPLY POWER TO RUN THE GRINDER PUMP AND ALARM SYSTEM. THERE SHALL BE ENOUGH FUEL ON SITE TO RUN THE GENERATOR FOR A MINIMUM OF 6 HRS.
- IN CASE OF A POWER FAILURE, A BATTERY BACKUP REMOTE SENTRY ALARM PANEL SHALL BE USED IN CONJUNCTION WITH THE E-ONE PUMP SYSTEM.

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DR BY	CHK'D	DATE	ISSUE

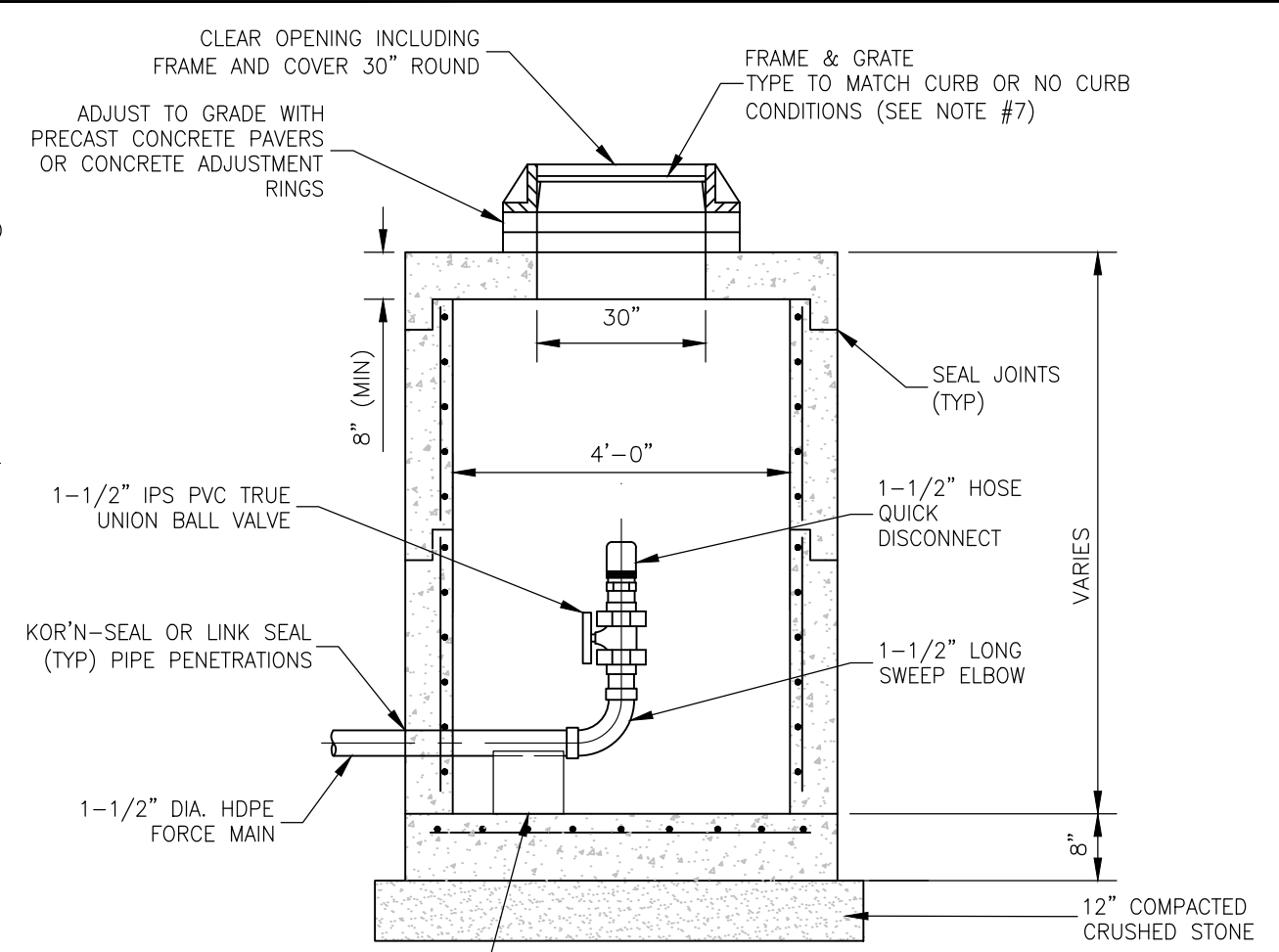
eone
SEWER SYSTEMS
MODEL DH071 / DR071
DETAIL SHEET
NA0050P02

PRESSURE SEWER TESTING NOTES

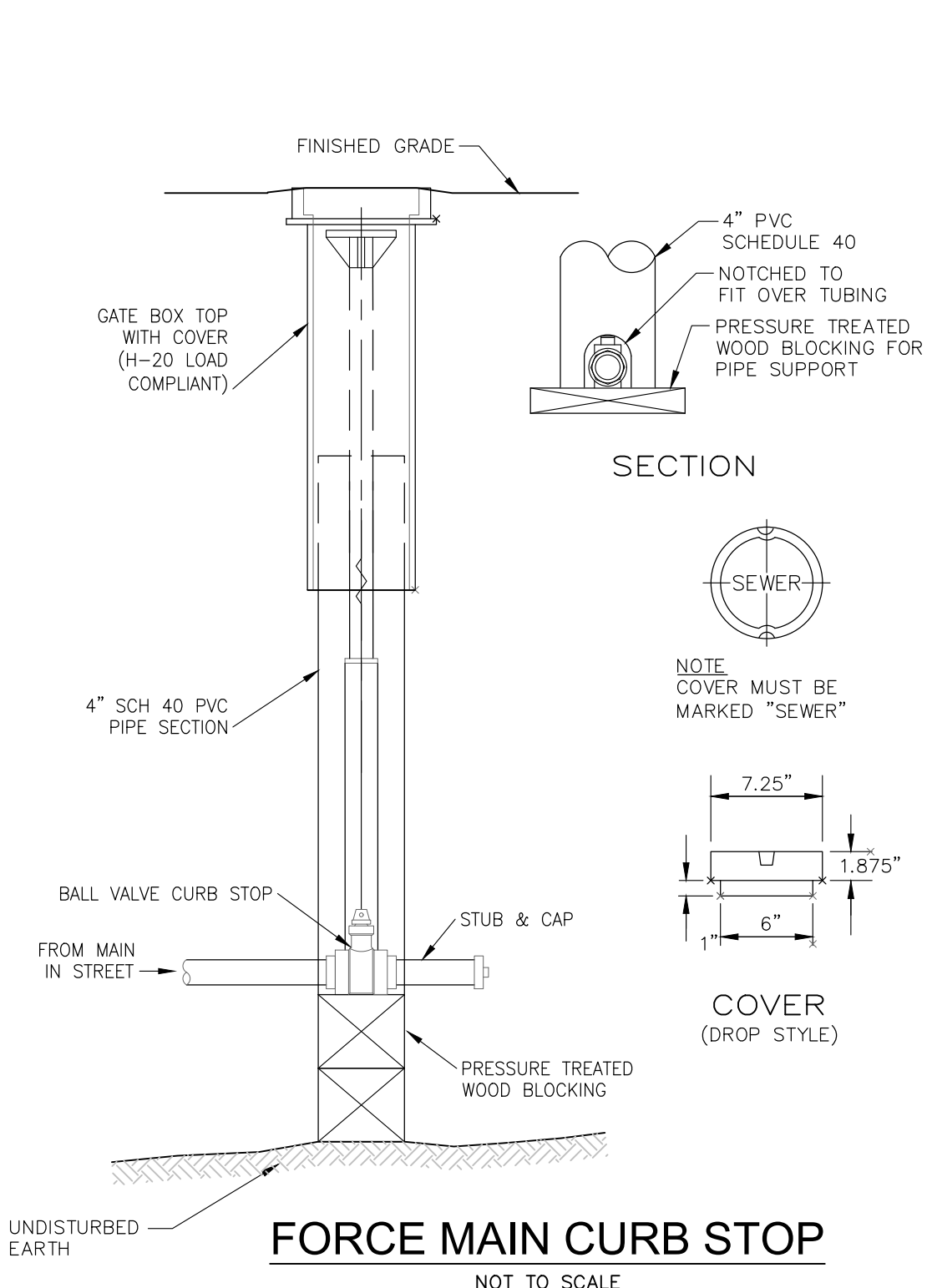
- FORCE MAINS AND PRESSURE SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 5 OF THE AWWA 600. *INSTALLATION OF CAST IRON WATER MAINS AND THEIR APPURTENANCES* STANDARD IN EFFECT WHEN THE TEST IS CONDUCTED, AVAILABLE AS NOTED IN APPENDIX D, AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.

NOTES:

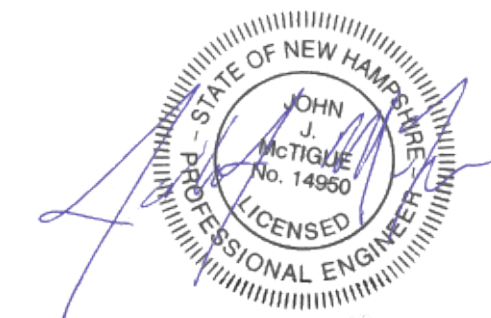
- CATCHBASIN FRAME & GRATE SHALL BE NEENAH R-3589-A OR APPROVED EQUAL.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
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- ALL CONCRETE SHALL BE NHDOT CLASS A.
- LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ORIENTATION OR SIZE OF PIPES AT THE STRUCTURE.
- "CL" USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL TO NUMBER, SIZE OR ORIENTATION OF PIPES AT THE BASIN.
- ALL CASTINGS SHALL BE MADE IN THE USA.
- INSTALL PIPE SUPPORTS ON THE SWEEP ELBOW.
- ALL PIPE FITTINGS ARE TO BE RESTRAINED JOINT STYLE.
A. HDPE TO BE FUSION, ELECTROFUSION OR MECHANICAL JOINT.
B. PVC WOULD BE SOLVENT GLUE.
C. ALL JOINTS TO BE THREADED AND PRESSURE RATED TO 200 PSI



E-ONE TERMINAL FLUSHING MANHOLE
NOT TO SCALE



FORCE MAIN CURB STOP
NOT TO SCALE



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SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
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OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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SCALE: 1"=20' (22"X34")
APRIL 19, 2021

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

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