SITE REDEVELOPMENT

BRICK MARKET

3 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE PERMIT PLANS

OWNER:
DAGNY TAGGART, LLC

APPLICANT:
MCNABB PROPERTIES, LTD
30 PENHALLOW ST, STE 300 EAST
PORTSMOUTH, NH 03801
(603) 427-0725

CIVIL ENGINEER & LAND SURVEYOR:
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

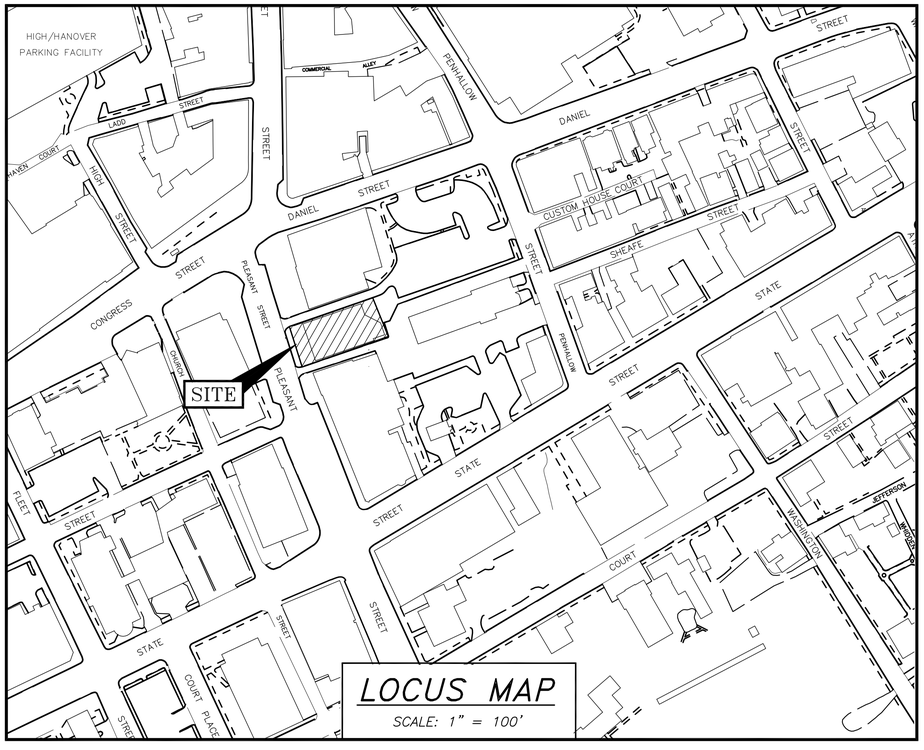
STRUCTURAL ENGINEER:
JSN ASOCIATES, LLC
1 AUTUMN STREET
PORTSMOUTH NH, 03801
TEL.(603) 433-8639

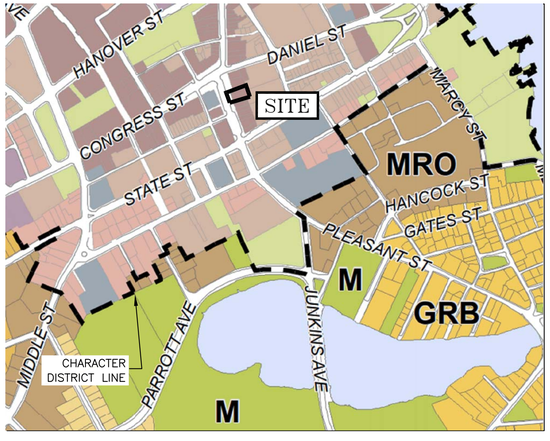
MEP & FIRE PROTECTION:
PETERSEN ENGINEERING
127 PARROTT AVENUE
PORTSMOUTH NH, 03801
TEL.(603) 436-4233

LANDSCAPE ARCHITECT:
WOODBURN & COMPANY
103 KENT PLACE
NEWMARKET, NH 03857
TEL. (603) 659-5949
FAX (603) 659-5939

ARCHITECT:
JSA ARCHITECTS
273 CORPORATE DRIVE
SUITE 100
PORTSMOUTH NH 03801
TEL. (603) 436-2551
FAX (603) 436-6973

GEOTECHNICAL ENGINEER:
GSI
18 COTE AVENUE #11
GOFFSTOWN NH 03045
TEL. (603) 624-2722





Map 10.5A21A
Character Districts and Civic Districts

Legend
- Downtown Overlay District
- Historic District

Character Districts
- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

Civic District
- Civic District

Municipal District
- Municipal District

PERMIT LIST:
PORTSMOUTH HDC
PORTSMOUTH ZONING BOARD
PORTSMOUTH SITE REVIEW

LEGEND:

EXISTING	*PROPOSED*	
		PROPERTY LINE
		SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
	UD	FOUNDATION DRAIN
		EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		UTILITY POLE
		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
		SHUT OFFS (WATER/GAS)
	GV	GATE VALVE
	HYD	HYDRANT
CB	CB	CATCH BASIN
S	SMH	SEWER MANHOLE
D	DMH	DRAIN MANHOLE
T	TMH	TELEPHONE MANHOLE
14	14	PARKING SPACE COUNT
PM		PARKING METER
LSA		LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	–	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL.	EL.	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL

DIG SAFE
MA – ME – NH – RI – VT
1-888-344-7233
CALL TOLL FREE

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

INDEX OF SHEETS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

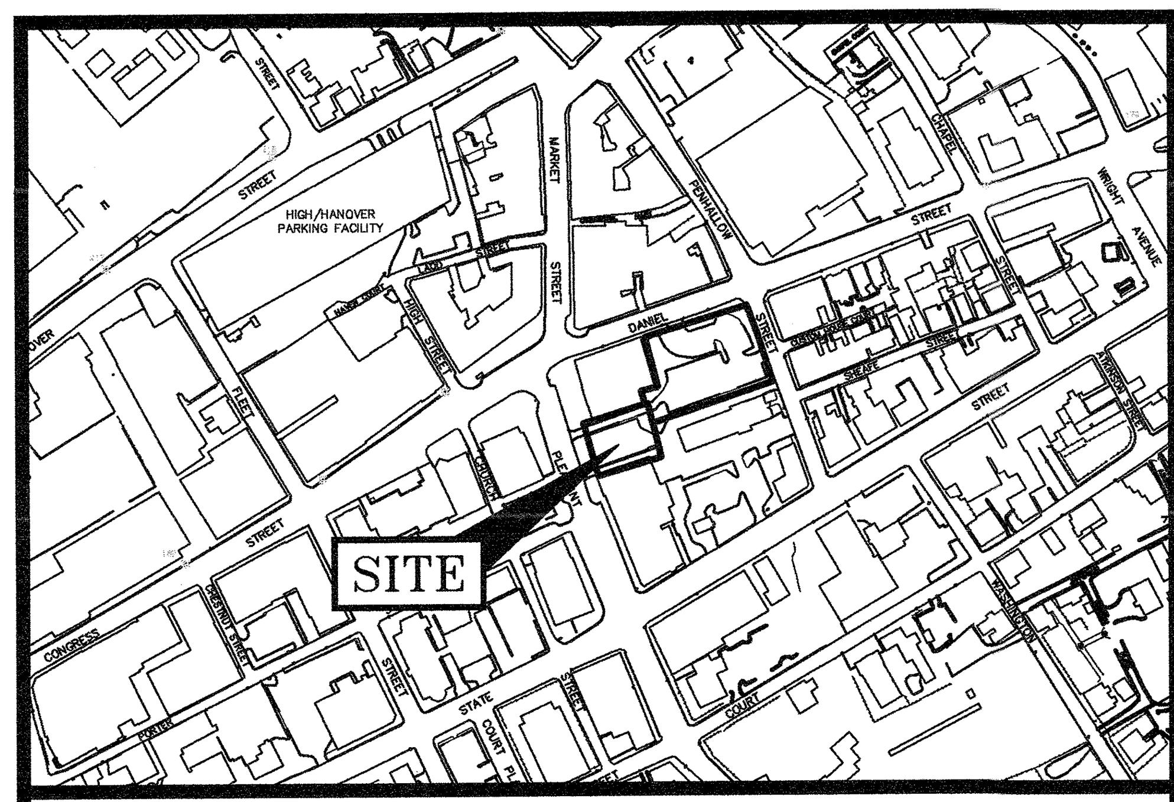
COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

SITE PERMIT PLANS
MCNABB PROPERTIES, LTD.
3 PLEASANT STREET
PORTSMOUTH, N.H.

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 15 JULY 2019

J:\JOBS\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 COVER PHASE 1.dwg, COVER



LOCATION MAP SCALE 1"=300'

PLAN REFERENCES:

1) PLAN OF LAND FOR INDIAN HEAD BANK OF PORTSMOUTH, DANIEL AND PENHALLOW STREETS. PORTSMOUTH, NH. PREPARED BY BY TOWN PLANNING AND ENGINEERING ASSOC. INC. DATED JUNE 10, 1977, FINAL REVISION DATE AUGUST 30, 1978. R.C.R.D. PLAN C-8101.

2) PLAN OF LAND FOR INDIAN HEAD BANK OF PORTSMOUTH, DANIEL & PENHALLOW STREETS, COUNTY OF ROCKINGHAM, PORTSMOUTH, NEW HAMPSHIRE. PREPARED BY TOWN PLANNING AND ENGINEERING ASSOC., INC. R.C.R.D. PLAN C-7121.

3) LAND IN PORTSMOUTH COUNTY OF ROCKINGHAM TO CITY OF PORTSMOUTH, PORTSMOUTH, NH. PREPARED BY JOHN W. DURGIN, FILE NUMBER NO. 555 PLAN NO 7171. R.C.R.D. PLAN #01878.

4) SUBDIVISION OF LAND PORTSMOUTH, NH FOR SUSAN PETRIE-CLEMONS. PREPARED BY JOHN W. DURGIN ASSOCIATES, INC. DATED AUGUST 13, 1981. R.C.R.D. PLAN C-11434.

5) AS BUILT PLAN FOR INDIAN HEAD BANK OF PORTSMOUTH, PLEASANT STREET, PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM PREPARED BY TOWN PLANNING AND ENGINEERING ASSOC. INC. DATED JANUARY 29, 1980, FINAL REVISION DATE FEBRUARY 19, 1980. NOT RECORDED.

6) PLAN OF LAND OF PORTSMOUTH TRUST CO., MARKET SQUARE, PORTSMOUTH N.H. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, FILE NO. 555 PLAN NO. 6427. DATED JULY 1957. R.C.R.D. PLAN #02644.

7) PLAN OF PROPERTIES ON STATE AND PLEASANT STS., PORTSMOUTH, N.H. OWNED BY FREDERICK GARDNER AND PISCATAQUA BANK. PREPARED BY WILLIAM A. GROVER CIVIL ENGINEER. DATED SEPT 10, 1919. R.C.R.D. PLAN #0249.

8) WATER LINE EASEMENT, 28 PENHALLLOW STREET, PORTSMOUTH, NH. DATED OCTOBER 13, 1989. NOT RECORDED.

9) LOT CONSOLIDATION, PORTSMOUTH N.H. FOR AMERICAN BANK DESIGN. PREPARED BY DURGIN-SCHOFIELD ASSOCIATES. DATED APRIL 20, 1988, FINAL REVISION MAY 17, 1988. R.C.R.D. PLAN D-18233.

10) SUBDIVISION PLAN OF LAND 22 AND 26 MARKET SQUARE, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM AS PREPARED FOR / OWNER OF RECORD JAMES A. SHANLEY P.O. BOX 1380 PORTSMOUTH, N.H. 03801. PREPARED BY CIVILWORKS, INC. DATED FEBRUARY 15, 1989. R.C.R.D. PLAN D-19371.

11) CONDOMINIUM SITE PLAN OF LAND, 22-26 MARKET SQUARE, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM, AS PREPARED FOR / OWNER OF RECORD LBJ PROPERTIES, LLC 1618 HIGHWAY 395 MINDEN, NV 94923. PREPARED BY CIVILWORKS, INC. DATED AUGUST 3, 2007, FINAL REVISION MARCH 6, 2009. R.C.R.D. PLAN D-36050.

12) PROPOSED EASEMENT PLAN MAP U-7 - LOT 42 FOR COVENTRY ASSETS, LTD, 30 PENHALLOW STREET PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM. PREPARED BY AMBIT ENGINEERING, INC. DATED OCTOBER 2000. R.C.R.D. PLAN C-28714.

13) EASEMENT RELEASE PLAN MAP U-7 - LOT 42 FOR COVENTRY ASSETS, LTD, 30 PENHALLOW STREET, PORTSMOUTH N.H. COUNTY OF ROCKINGHAM. PREPARED BY AMBIT ENGINEERING. INC. DATED DECEMBER 2000, FINAL REVISION DECEMBER 20, 2000. R.C.R.D. PLAN C-28681.

14) TAX MAP 107 LOT 29 BOUNDARY PLAN OWNER: BNG PROPERTIES, INC. PREPARED FOR: TUSCAN BRANDS LOCATED AT: 14 MARKET SQUARE, PLEASANT STREET & DANIEL STREET, PORTSMOUTH, NEW HAMPSHIRE. PREPARED BY S&H LAND SERVICES, LLC. DATED JANUARY 2, 2019. R.C.R.D. PLAN D-41249.

15) PLAN OF LAND TAX MAP 107 LOTS 39, 40 AND 41, PROPERTY OF HELEN S. BROSSEAU GST EXEMPT TRUST AND HELEN S. BROSSEAU REVOCABLE TRUST OF 2000, 12 PENHALLOW, 191 & 195 STATE STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH NEW HAMPSHIRE. PREPARED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED DECEMBER 12, 2007, FINAL REVISION JANUARY 8, 2008. R.C.R.D. PLAN D-35246.

16) CONDOMINIUM SITE PLAN TAX MAP 107 LOTS 39, 40 AND 41, PROPERTY OF HELEN S. BROSSEAU GST EXEMPT TRUST AND HELEN S. BROSSEAU REVOCABLE TRUST OF 2000, 12 PENHALLOW, 191 & 195 STATE STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH NEW HAMPSHIRE. PREPARED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. DATED JANUARY 31, 2008, FINAL REVISION JUNE 19, 2008. R.C.R.D. PLAN D-335541.

17) PLAN OF A LOT OF LAND IN PORTSMOUTH BELONGING TO JONATHAN M. TREDICK, PORTSMOUTH, NH. PREPARED BY ALFRED M. HOYT, SURVYEOR DATED JULY 1, 1864. R.C.R.D. PLAN #0019.

18) SUBDIVISION PLAN FOR LI JUNE CHEN AND SHIANG TA CHEN, 54 DANIEL ST, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM. PREPARED BY AMBIT SURVEY. DATED NOVEMBER 1998. R.C.R.D. PLAN D-27033.

19) EASEMENT PLAN OF LAND 26 MARKET SQUARE, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM, AS PREPARED FOR JAMES A. SHANLEY PO BOX 1380 PORTSMOUTH, NH 03801. PREPARED BY CIVILWORKS, INC. DATED SEPTEMBER 10, 1993. R.C.R.D. PLAN B-22525.

20) DIVISION PLAN, ESTATE OF JOTHAM ODIORNE. c.1774 RP 4093.

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 27 & 31.

2) OWNER OF RECORD:
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801
5990/701 (LOT 31) & 5990/1703 (LOT 27)
C-7121, C-8101, & D-41408

3) PARCELS ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.

4) EXISTING LOT AREAS:

MAP 107 LOT 27
23,279 S.F.
0.5344 ACRES

MAP 107 LOT 31
8,867 S.F.
0.2036 ACRES

5) ASSESSOR'S MAP 107 LOT 27 IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. BOTH PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC DISTRICT.

6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE

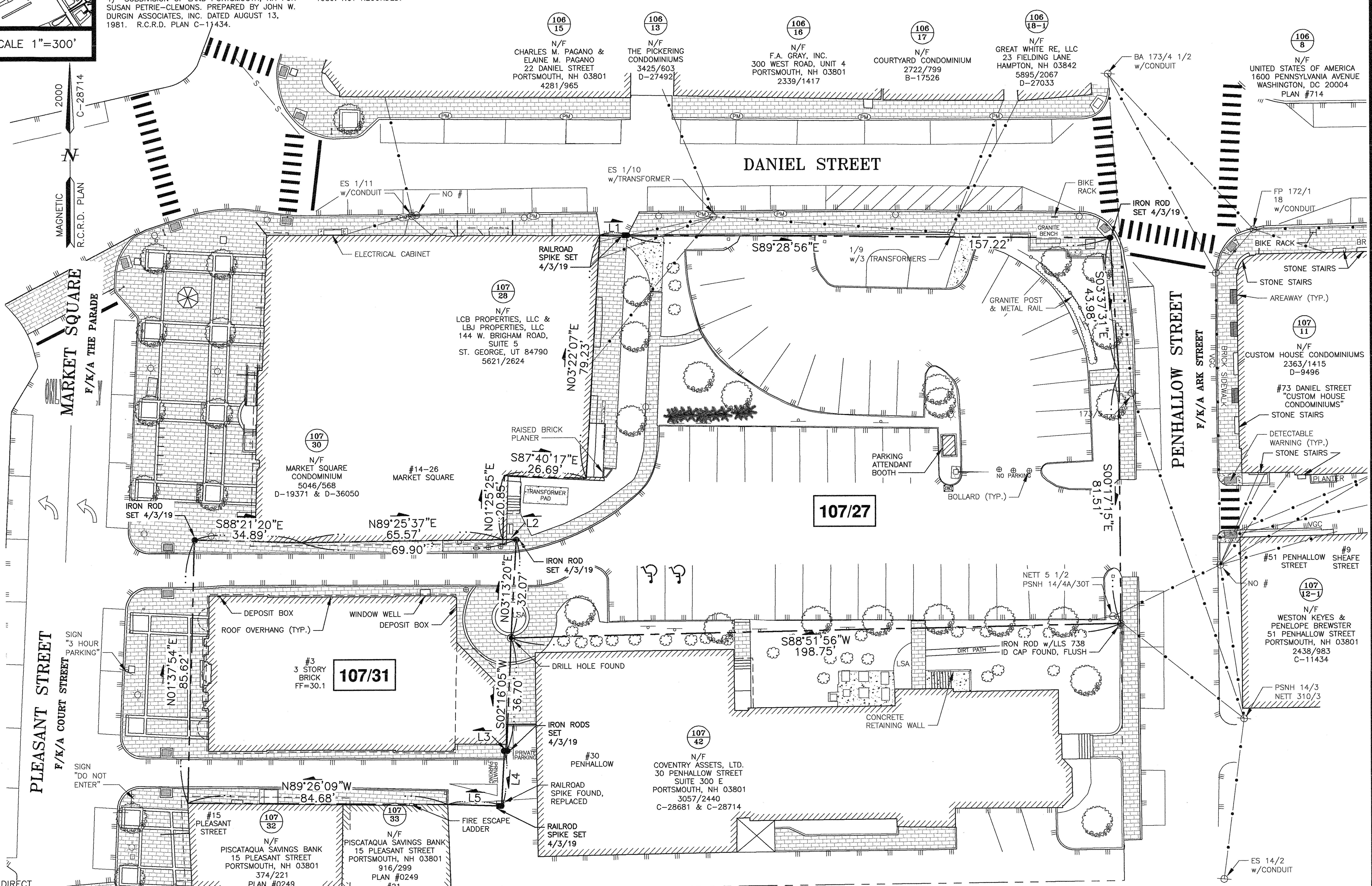
7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULT OF A STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 107 LOTS 27 & 31 IN THE CITY OF PORTSMOUTH.

8) SEE SHEET 2 OF 2 FOR EASEMENTS, RESTRICTIONS, AND ENCUMBRANCES.

9) NOT ALL UTILITIES SHOWN HEREON.

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
11/21	MAP 11 / LOT 21
	BOUNDARY
	SETBACK
	RAILROAD SPIKE FOUND
	IRON ROD/PIPE FOUND
	DRILL HOLE FOUND
	STONE/CONCRETE BOUND FOUND
	RAILROAD SPIKE SET
	IRON ROD SET
	DRILL HOLE SET
	GRANITE BOUND SET
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC/WIRES
100	CONTOUR
97x3	SPOT ELEVATION
	EDGE OF PAVEMENT (EP)
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY)
GS	GAS SHUT OFF
WS	WATER SHUT OFF/CURB STOP
GV	GATE VALVE
HYD	HYDRANT
G W E	METER (GAS, WATER, ELECTRIC)
	CATCH BASIN
T	TELEPHONE MANHOLE
S	SEWER MANHOLE
D	DRAIN MANHOLE
AC	AIR CONDITIONER UNIT
	SIGNS
AC	ASBESTOS CEMENT PIPE
CI	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
COP	COPPER PIPE
DI	DUCTILE IRON PIPE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VC	VITRIFIED CLAY PIPE
EL.	ELEVATION
EP	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL
VGC/SGC	VERTICAL/SLOPED GRANITE CURB
CCB	CAPE COD BERM
LSA	LANDSCAPED AREA



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S89°30'55"E	9.00'
L2	S89°25'37"W	4.33'
L3	N89°52'12"W	0.76'
L4	S03°04'06"W	17.95'
L5	N88°22'54"W	17.56'

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

PAUL A. DOBBERSTEIN, LLS #1000

7/15/2019
DATE

STATE OF NEW HAMPSHIRE LICENSED LAND SURVEYOR No. 1000 PAUL A. DOBBERSTEIN SIGNATURE

NO.	DESCRIPTION	DATE
2	ISSUED WITH TAC SUBMISSION	7/15/19
1	MONUMENTS SET	4/3/19
0	ISSUED FOR COMMENT	3/27/19
	REVISIONS	

STANDARD BOUNDARY SURVEY TAX MAP 107 – LOTS 27 & 31

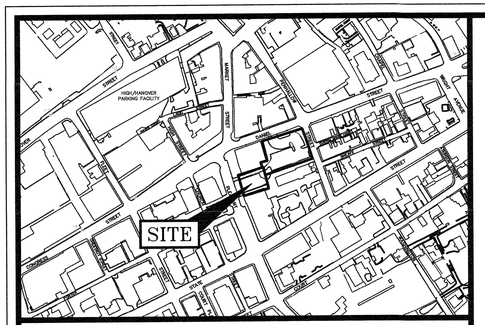
LAND OF:

DAGNY TAGGART, LLC

PROPERTY LOCATED AT:
3 PLEASANT STREET &
53 DANIEL STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

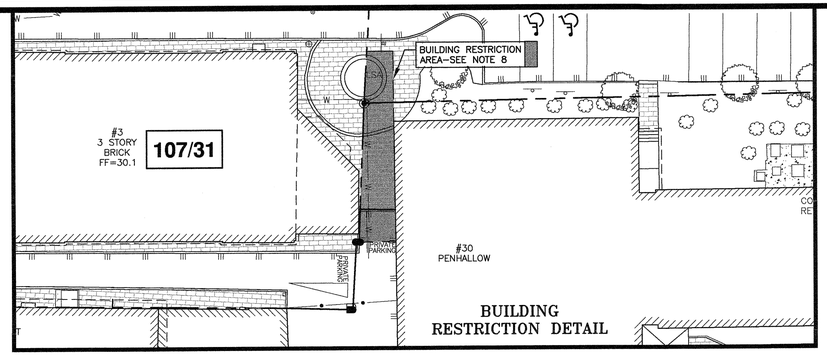
SCALE 1"=20' SHEET 1 OF 2 MARCH 2019

FB 402 PG 1 3039



LOCATION MAP

2000
C-28714
N
MAGNETIC
R.C.R.D. PLAN



BUILDING RESTRICTION DETAIL

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
11/21	MAP 11 / LOT 21
	BOUNDARY
	SETBACK
	RAILROAD SPIKE FOUND
	IRON ROD/PIPE FOUND
	DRILL HOLE FOUND
	STONE/CONCRETE BOUND FOUND
	RAILROAD SPIKE SET
	IRON ROD SET
	DRILL HOLE SET
	GRANITE BOUND SET
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	WATER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC/WIRES
100	CONTOUR
97x3	SPOT ELEVATION
	EDGE OF PAVEMENT (EP)
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY)
GS	GAS SHUT OFF
WS	WATER SHUT OFF/CURB STOP
GV	GATE VALVE
HYD	HYDRANT
G W E	METER (GAS, WATER, ELECTRIC)
	CATCH BASIN
T	TELEPHONE MANHOLE
S	SEWER MANHOLE
D	DRAIN MANHOLE
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	SIGNS
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CMP	CORRUGATED METAL PIPE
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DI	DUCTILE IRON PIPE
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VC	VITRIFIED CLAY PIPE
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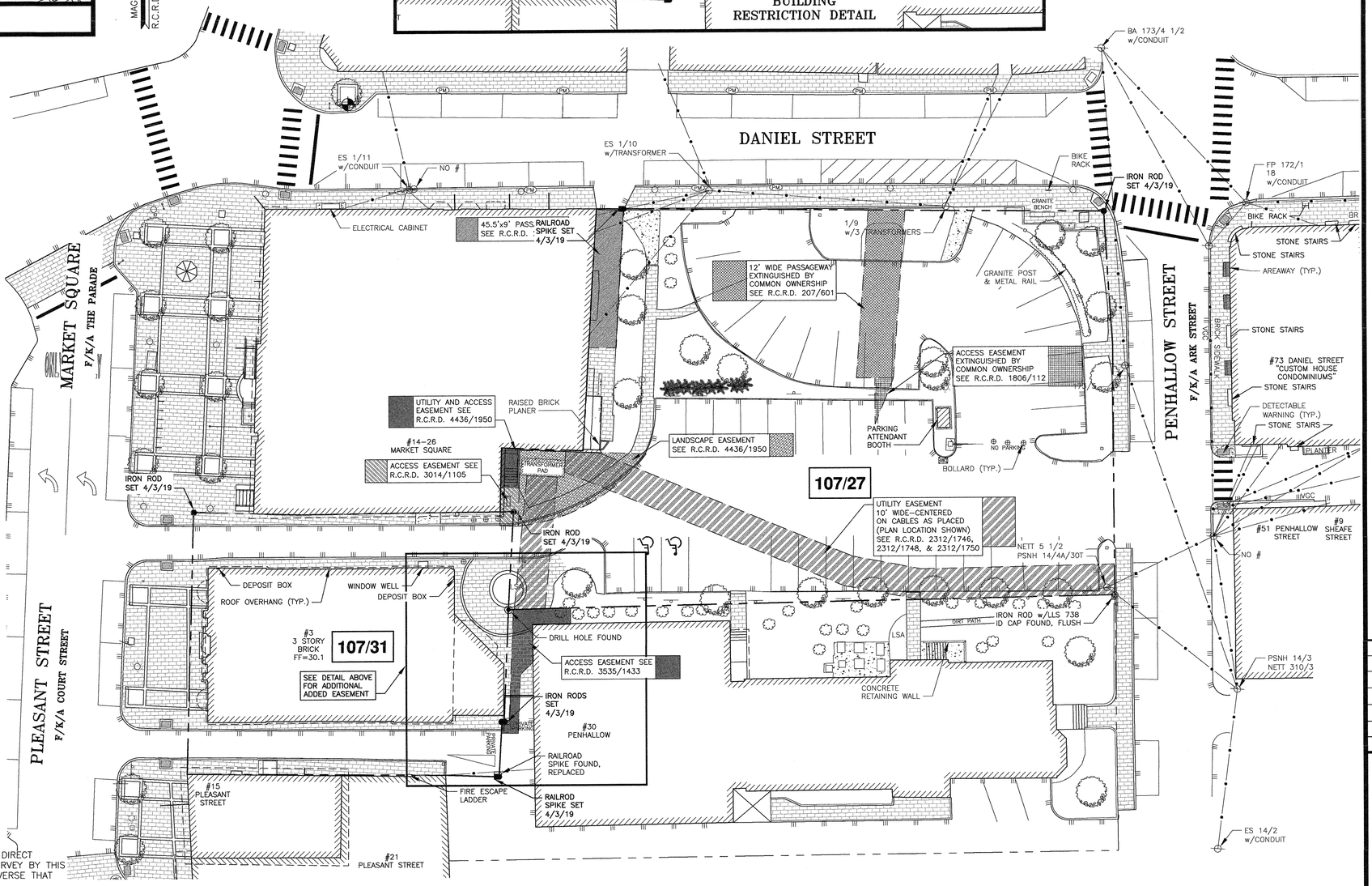
EP	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL
VGC/SGC	VERTICAL/SLOPED GRANITE CURB
CCB	CAPE COD BERM
LSA	LANDSCAPED AREA



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I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

PAUL A. DOBBERSTEIN, LLS #1000

7/15/2019
DATE

STATE OF NEW HAMPSHIRE — No. 1000 — PAUL A. DOBBERSTEIN — LAND SURVEYOR
SIGNATURE

GRAPHIC SCALE

10 0 20 40 60 80 FEET
5 0 5 10 15 20 25 METERS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 27 & 31.

2) OWNER OF RECORD:
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801
5990/701 (LOT 31) & 5990/1703 (LOT 27)
C-7121, C-8101, & D-41408

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MAP 107 LOT 27
23,279 S.F.
0.5344 ACRES

MAP 107 LOT 31
8,867 S.F.
0.2036 ACRES

5) ASSESSOR'S MAP 107 LOT 27 IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. BOTH PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC DISTRICT.

6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EASEMENTS ASSOCIATED WITH A STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 107 LOTS 27 & 31 IN THE CITY OF PORTSMOUTH. ALSO SHOWN IS A PROPOSED EASEMENT RESTRICTING BUILDING CONSTRUCTION ON ASSESSOR'S MAP 107 LOTS 27 & 42.

8) ASSESSOR'S MAP 107 LOTS 27 & 42 WILL BE BURDENED BY A POTENTIAL NO BUILD AREA; SUBJECT TO FINAL DESIGN APPROVAL BY THE PORTSMOUTH BUILDING INSPECTOR'S OFFICE FOR ANY BUILDING CONSTRUCTION ON ASSESSOR'S MAP 107 LOT 31. OWNER SHALL REVIEW APPLICABLE IBC CODES RELATIVE TO THE OPENINGS IN THE 30 PENHALLOW STREET BUILDING AND DESIGN ACCORDINGLY TO COMPLY.

NO.	DESCRIPTION	DATE
2	ADD BUILDING EASEMENT	7/15/19
1	REVISE PER COMMENTS	3/28/19
0	ISSUED FOR COMMENT	3/27/19

REVISIONS

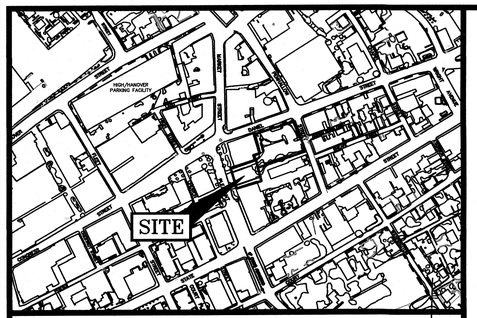
EASEMENT PLAN
TAX MAP 107 – LOTS 27 & 31

LAND OF:
DAGNY TAGGART, LLC
PROPERTY LOCATED AT:
3 PLEASANT STREET &
53 DANIEL STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=20' SHEET 2 OF 2 MARCH 2019

FB 402 PG 1

3039



LOCATION MAP SCALE 1"=300'

2000 C-28714

MAGNETIC R.C.R.D. PLAN

PLEASANT STREET
F/K/A COURT STREET

DMH AE101

SIGN "3 HOUR PARKING"

SUSPENDED FLAG POLE

107/30
N/F
MARKET SQUARE CONDOMINIUM
5046/568
D-19371 & D-36050

SPRINKLER CONNECTION

SEWER CLEANOUT

TRANSFORMER PAD

WGV

DEPOSIT BOX

ROOF OVERHANG (TYP.)

WINDOW WELL

DEPOSIT BOX

LSA

DRILL HOLE FOUND

107/31

107/42
N/F
COVENTRY ASSETS, LTD.
30 PENHALLOW STREET
SUITE 300 E
PORTSMOUTH, NH 03801
3057/2440
C-28681 & C-28714

SIGN "3 HOUR PARKING"

CB D-SHAPE 3864

CB 3865

SIGN "DO NOT ENTER"

SUSPENDED SIGN "PISCATAQUA BANK"

RAILROAD SPIKE FOUND, REPLACED

SIGN "NO PARKING TAXI STAND TOW ZONE"

SPRINKLER CONNECTION

ROOF DRAIN

107/32
N/F
PISCATAQUA SAVINGS BANK
15 PLEASANT STREET
PORTSMOUTH, NH 03801
374/221
PLAN #0249

107/33
N/F
PISCATAQUA SAVINGS BANK
15 PLEASANT STREET
PORTSMOUTH, NH 03801
916/299
PLAN #0249

FIRE ESCAPE LADDER

CB 3862

TREATY OF PORTSMOUTH INFORMATION

SUSPENDED SIGN "PISCATAQUA SAVINGS BANK"

GRAPHIC SCALE
10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 31.

2) OWNER OF RECORD:
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801

3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.

4) EXISTING LOT AREA:
8,867 S.F.
0.2036 ACRES

5) ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT, DOWNTOWN OVERLAY DISTRICT (DOD), AND THE HISTORIC DISTRICT (HDC).

6) DIMENSIONAL REQUIREMENTS:
SEE ZONING ORDINANCE

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF ASSESSOR'S MAP 107 LOT 31 IN THE CITY OF PORTSMOUTH.

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	6/4/19
0	ISSUED FOR COMMENT	5/1/19

REVISIONS

STATE OF NEW HAMPSHIRE LICENSED LAND SURVEYOR No. 738 JOHN R. CHAGNON Signature

SCALE: 1'=10' MAY 2019

EXISTING CONDITIONS PLAN

C1

FB 402 PG 1

3039

J:\JOBS3\In 3000's\In 3030's\In 3039\2019 Survey and Site Development\Plans & Specs\Design\3039 SITE PHASE 1 2019 FOR C1.dwg, C1 EXIST

DEMOLITION NOTES

A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.

B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.

C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.

E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.

F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.

G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.

H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.

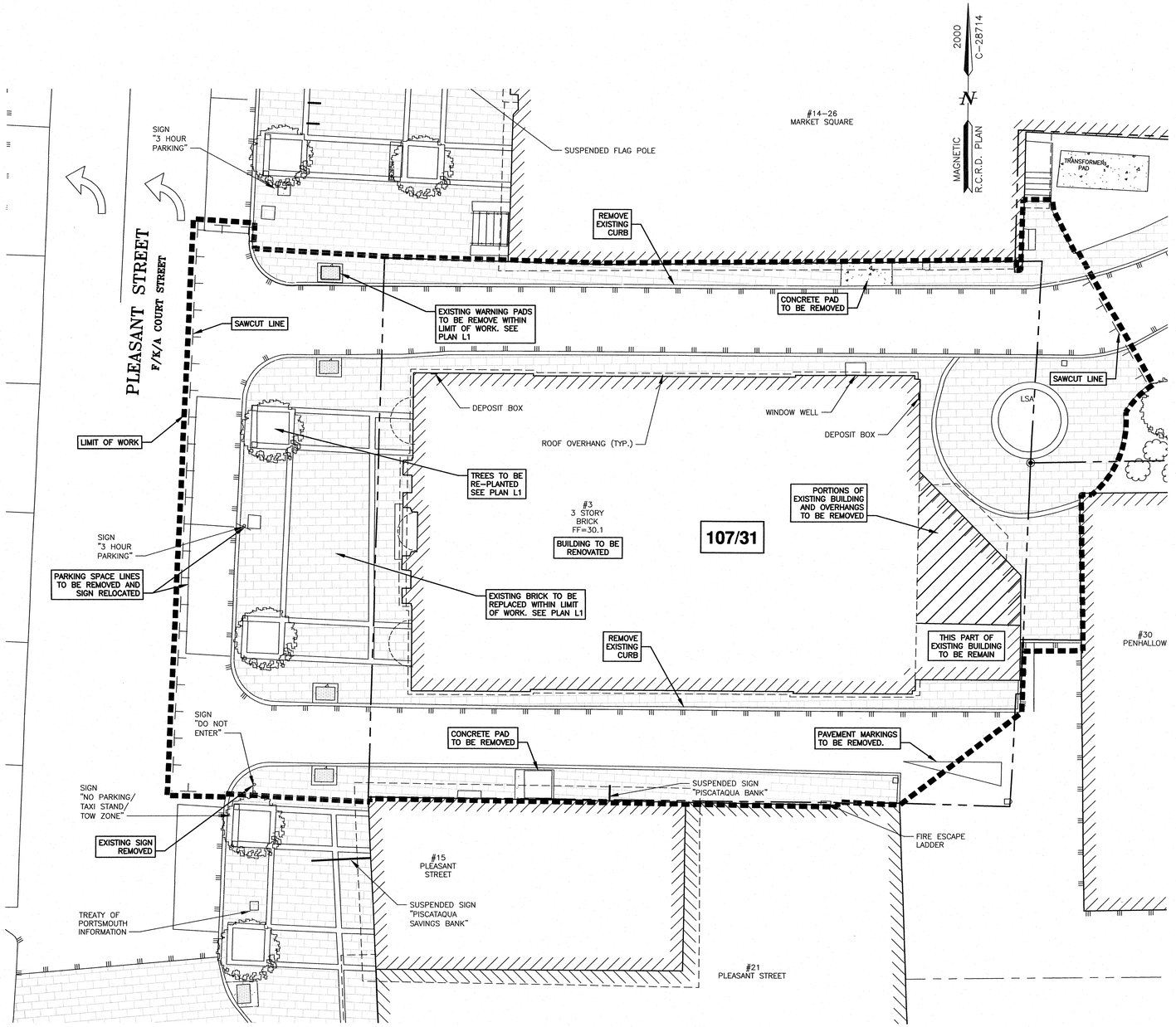
I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).

J) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.

K) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

L) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

M) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

GRAPHIC SCALE

10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ISSUED FOR TAC	7/15/19
1	ISSUED FOR REVIEW	6/4/19
0	ISSUED FOR COMMENT	5/1/19

REVISIONS

STATE OF NEW HAMPSHIRE
JOHN R. CHAGNON
No. 7851
LICENSED
PROFESSIONAL ENGINEER

SCALE: 1'=10' MAY 2019

DEMOLITION PLAN C2

FB 402 PG 1

3039

J:\JOBS3\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 Existing Conditions 2019.dwg, C2 DEMO

ZONING DEVELOPMENT STANDARD

CD5: CHARACTER DISTRICT 5

DOWNTOWN OVERLAY DISTRICT AND HISTORIC DISTRICT

BUILDING PLACEMENT (PRINCIPLE):

		107/31 (3 PLEASANT ST)	
	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	5 FEET	5.1 FEET	5.1 FEET
MIN. SIDE YARD:	NR	16.97 FEET	16.97 FEET
MIN. REAR YARD:	5 FEET*	0 FEET	0 FEET
FRONT LOT LINE BUILDOUT:	80% MIN	59%	59%

* REAR SETBACK: 5' (REAR LINE) OR 10' (ALLEY CENTERLINE)

BUILDING TYPES:

BUILDING TYPES: OFFICE, RESTAURANT

DOWNTOWN OVERLAY DISTRICT DOES NOT PERMIT RESIDENTIAL USES FOR GROUND FLOOR. ENTRY CAN NOT EXCEED 20% OF GROUND FLOOR AREA (N/A).

FACADE TYPE: SHOPFRONT

BUILDING FORM:

	REQUIRED	EXISTING	PROPOSED
MAX STRUCTURE HEIGHT:	45 FEET	49.9 FEET	53.8 FEET
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	<36 INCHES	<36 INCHES
MIN. GROUND STORY HEIGHT:	12 FEET	16'-11"	16'-11"
MIN. SECOND STORY HEIGHT	10 FEET	10'-10"	10'-10"
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP 20-50% OTHER	TO COMPLY	TO COMPLY

ROOF TYPE: SHALLOW CURVE

LOT OCCUPATION:

	REQUIRED	EXISTING	PROPOSED
MAX BUILDING BLOCK:	225 FEET	50 FEET	50 FEET
MAX FACADE MOD. LENGTH:	100 FEET	–	–
MIN. ENTRANCE SPACING:	50 FEET	–	–
MAX BUILDING COVERAGE:	95%	50%	54%
MAX BUILDING FOOTPRINT:	20,000 SF	4,464 SF	4,816 SF
MIN. LOT AREA:	NR	8,867 SF	8,867 SF
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	N/A	N/A
MIN. OPEN SPACE :	5%	TBD	TBD
MAX. GROUND FLOOR GFA PER USE	15,000 SF	N/A	N/A

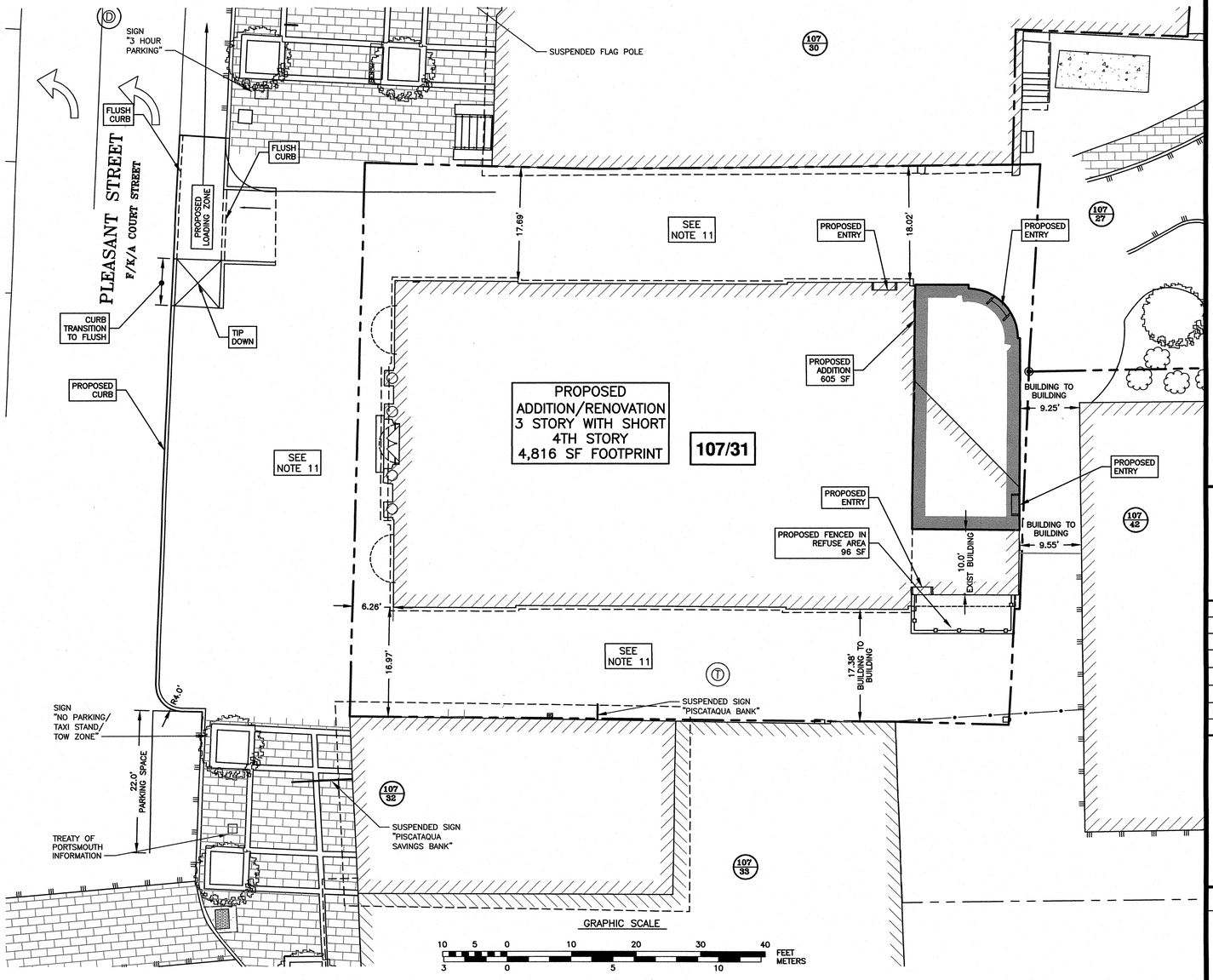
IMPERVIOUS SURFACE AREAS
(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	4,464	4,816
BRICK	1,942	3,866
PAVEMENT	2,109	0
CURB	297	0
CONCRETE	35	133
TOTAL	8,847	8,815
LOT SIZE	8,867	8,867
% LOT COVERAGE	99.8%	99.4%

2000 C-28714

N

MAGNETIC R.C.R.D. PLAN



PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 31.

2) OWNER OF RECORD:

DAGNY TAGGART
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801

3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.

4) EXISTING LOT AREA:
8,867 S.F.
0.2036 ACRES

5) ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. PARCEL IS LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT (DOD) AND THE HISTORIC DISTRICT (HDC).

6) PARKING SPECIFICATIONS: NO PARKING REQUIRED

7) THE PURPOSE OF THIS PLAN IS TO SHOW SITE LAYOUT FOR BUILDING ADDITION/RENOVATIONS ON ASSESSOR'S MAP 107 LOT 31 IN THE CITY OF PORTSMOUTH.

8) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

10) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

11) SEE LANDSCAPE PLANS FOR PROPOSED SURFACE TREATMENTS.

12) SNOW SHALL BE REMOVED FROM THE SITE. TEMPORARY STORAGE IN AREAS OF OUTDOOR DINING, ACCESS TO BE MAINTAINED.

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ISSUED FOR TAC	7/15/19
1	ISSUED FOR REVIEW	6/4/19
0	ISSUED FOR COMMENT	5/1/19

REVISIONS

STATE OF NEW HAMPSHIRE JOHN R. CHAGNON No. 738 LICENSED LAND SURVEYOR SIGNATURE

SCALE: 1'=10' MAY 2019

SITE LAYOUT PLAN

C3

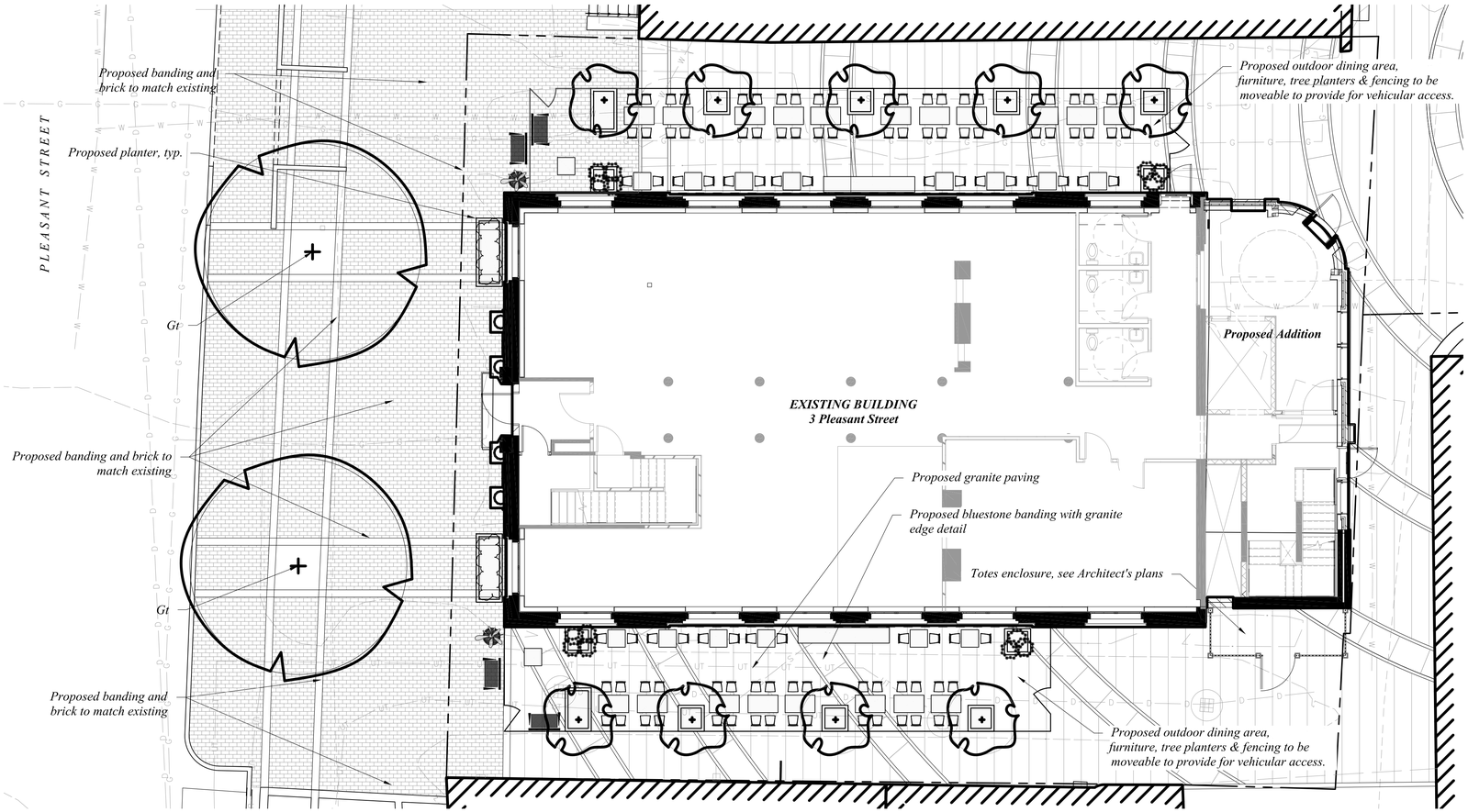
FB 402 PG 1

3039

J:\JOBS\3000's\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 SITE PHASE 1 2019.dwg, C3 SITE

Landscape Notes

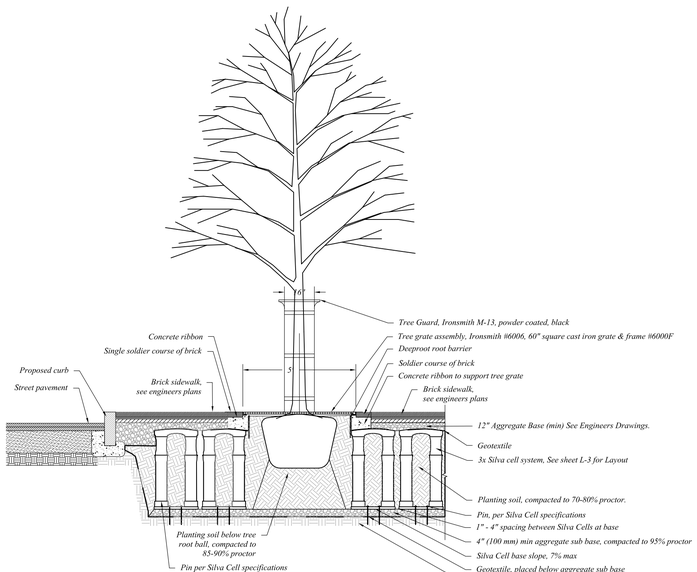
1. Design is based on drawings by Ambit Engineering dated June 15, 2019 and may require adjustment due to actual field conditions.
2. The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
3. Erosion Control shall be in place prior to construction.
4. Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
5. The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
6. It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
7. Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or mulch on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
8. This plan is for review purposes only, NOT for Construction. Construction Documents will be provided upon request.
9. Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
10. The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DIGSAFE at 1-888-344-7233.
11. The Contractor shall procure any required permits prior to construction.
12. Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
13. Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
14. The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
15. A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
16. All plants shall be legibly tagged with proper botanical name.
17. The Contractor shall guarantee all plants for not less than one year from time of acceptance.
18. Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
19. No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
20. All landscaping shall be provided with either of the following
    a. An underground sprinkling system
    b. An outside hose attachment within 150 feet
21. If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
22. The contractor is responsible for all plant material from the time their work commences until final acceptance. This includes but is not limited to maintaining all plants in good condition, the security of the plant material once delivered to the site, and watering of plants. Plants shall be appropriately watered prior to, during and after planting. It is the contractor's responsibility to provide water from off site, should it not be available on site.
23. All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
24. Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and ½" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
25. In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
26. Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy.
27. Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
28. Landscape Architect is not responsible for the means and methods of the contractor.



Plant List

TREES

Symbol	Botanical Name	Common Name	Quantity	Size	Comments
Gt	*Gleditsia triancanthos inermis 'Halka'*	Halka Thornless Honeylocust	2	3.5-4" Cal	B&B



Contractor to install Silva Cell system, or approved equal. Contractor to provide shop drawings, prepared by the selected manufacturer, to be approved by Landscape Architect, prior to construction.

1 ***TREE CELL DETAIL***
Scale: NTS

woodburn & company
LANDSCAPE ARCHITECTURE
103 Kent Place Newmarket, New Hampshire Phone: 603.659.5949

Brick Market - 3 Pleasant Street

LANDSCAPE PLAN

Portsmouth, New Hampshire

Drawn By:	VM
Checked By:	RW
Scale:	1/8" = 1' - 0"
Date:	June 4, 2019
	TAC Worksession
Revisions:	June 15, 2019
	TAC Submission

L-1

Sheet 1 of 1

UTILITY NOTES:

1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.

2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.

3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.

4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.

5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.

6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.

7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH

8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.

9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.

10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.

11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.

12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.

13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.

14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.

15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.

16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.

17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.

18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.

19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.

20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.

21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.

22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.

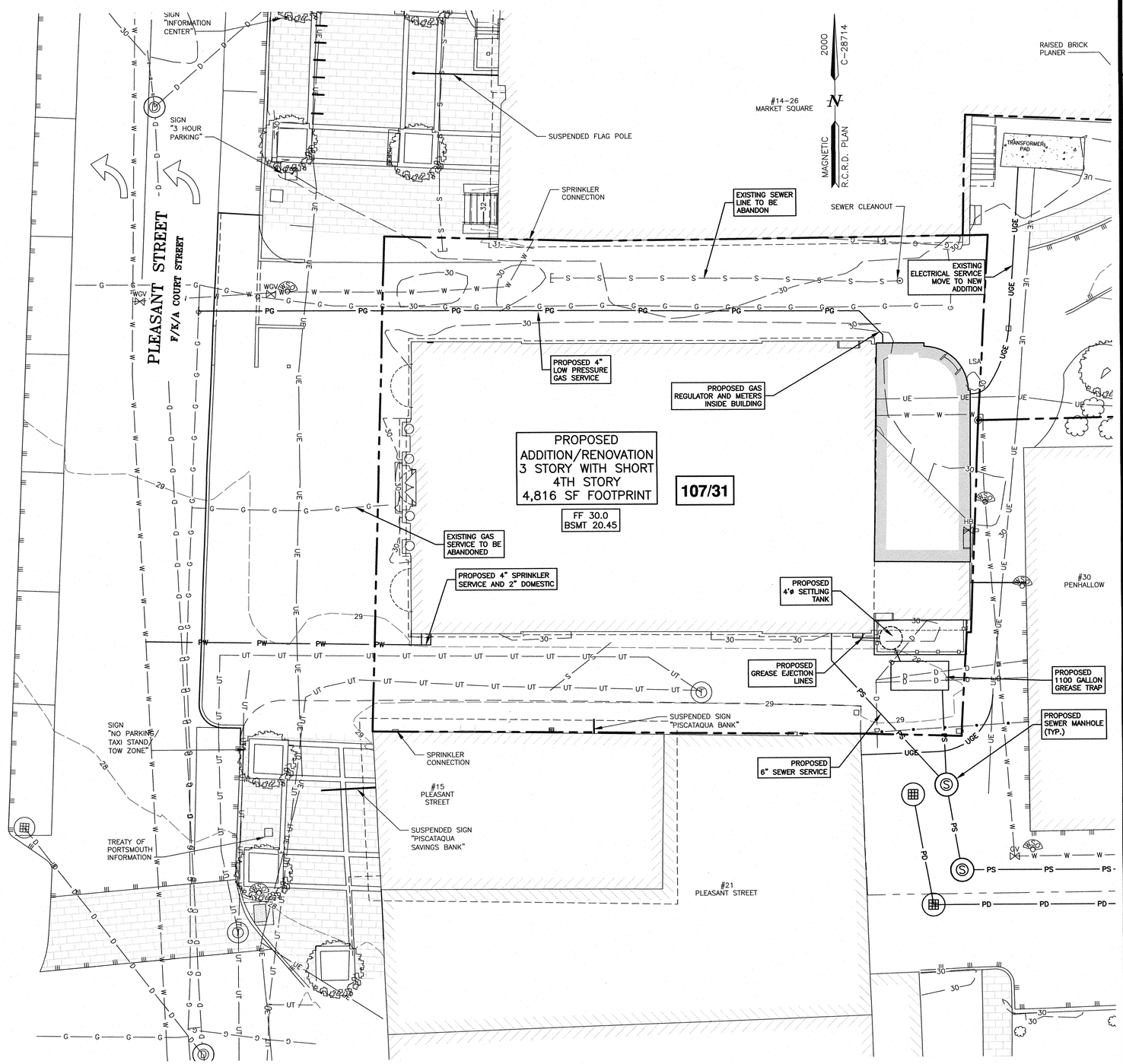
23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.

24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.

25) SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER IN COORDINATION WITH THE SITE CIVIL ENGINEER.

26) CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.

27) THE CONTRACTOR SHALL INSTALL THE SEWER LINE AND MANHOLE IN CONSULTATION AND COORDINATION WITH DEPARTMENT OF PUBLIC WORKS.



GRAPHIC SCALE

10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

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4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.

5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.

7) EVERSOURCE WORK ORDER #3107781

8) PROPOSED SEWER FLOW:
4,500 SF RESTAURANT:
100 SEATS X 20GPD PER SEAT = 2,000 GPD
11,800 OFFICE SPACE:
11,800 SF/(2.5 GPD X 100 SF) = 295 GPD
TOTAL PROPOSED FLOW = 2,295 GPD

9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ISSUED FOR TAC	7/15/19
1	ISSUED FOR REVIEW	6/4/19
0	ISSUED FOR COMMENT	5/5/19

REVISIONS

STATE OF NEW HAMPSHIRE
JOHN R. CHAGNON
NO. 7951
LICENSED
PROFESSIONAL ENGINEER

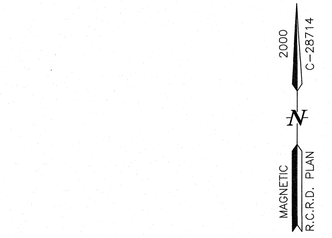
SCALE: 1'=10" MAY 2019

UTILITY PLAN **C4**

FB 402 PG 1

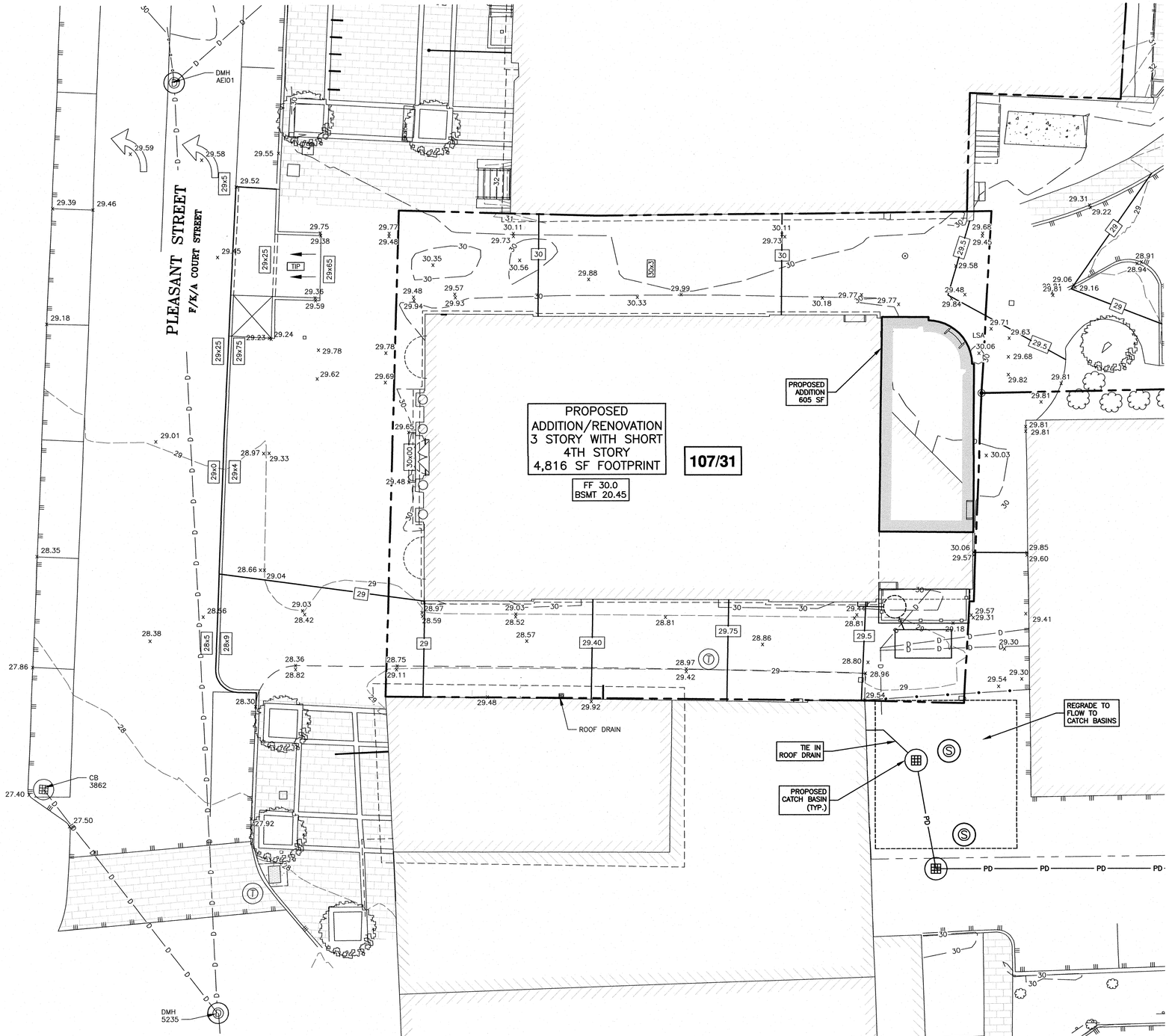
3039

J:\J0853\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 SITE PHASE 1 2019.dwg, C4 UTILITY



DRAIN STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN / INV. ELEV. OUT	INV. ELEV. IN
PIPE	PIPE LENGTH, PIPE SLOPE		
CB 3865 (ALL INVERT IN ARE FROM BUILDINGS)	28.64	26.99 E (2) 2" PLASTIC 25.54 NE 6" CLAY 27.19 E 8" CLAY 25.59 W 6" CLAY	CB 3864
6" CLAY PIPE	L= 70 LF, S = -0.0329 ft./ft.		
CB 3864	28.48	– 26.38 E	TBD
DMH AE101	29.58	21.83 NW 6" CONCRETE 21.83 SW 8" RCP 22.03 E	DMH 5235
8" RCP	L= 160 LF, S = ft./ft.		
DMH 5235 (ALL INVERTS IN ARE 1/2 FILLED WITH CONCRETE)	27.26	21.11 W 12" RCP 21.71 SW 12" RCP 20.16 18" HDPE	DMH 5938
12" HDPE PIPE	L= 160 LF, S = -1.0128 ft./ft.		
CB 5936	24.75	– 21.00 E 15" CPE	CB 5938
15" CPE PIPE	L = 18 LF, S = 0.0422		
CB 5938	20.01	18.36 N 18" HDPE 20.24 W 15" CPE 19.45 E	TO MAIN VIA CB 5937 STATE STREET
CB 25212	28.03	24.15 E 8" HDPE 25.03 W	DMH 5958
12" HDPE PIPE	L= 24 LF, S = 0.1191 ft./ft.		
CB 5959	25.43	– 22.45 E	DMH 5958
18" HDPE PIPE	L= 2 LF, S = -.0700 ft./ft.		
DMH 5958	26.15	19.93 N 18" HDPE 22.17 E 12" HDPE 22.59 W 12" HDPE 19.91 S	CB 5949
18" HDPE PIPE	L= 120 LF, S = 0.0102 ft./ft.		
CB 5955	25.19	– 21.40 W	DMH 5949
15" HDPE PIPE	L= 22 LF, S = 0.0095 ft./ft.		
CB 5949	25.19	18.69 N 18" HDPE 21.19 E 15" HDPE 18.67 S	DMH 5956
18" HDPE PIPE	L= 24 LF, S = ft./ft.		
DMH 5956	25.80	18.44 N 18" HDPE 18.38 W	TO MAIN VIA CB 5948 STATE STREET



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

GRAPHIC SCALE

10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

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4) CITY SHALL BE NOTIFIED IF THERE ARE ANY CONFLICTS WITH PROPOSED DRAINAGE PIPES UNCOVERED DURING CONSTRUCTION. REVIEW AND APPROVAL OF REMEDIES, BY THE CITY, REQUIRED.

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ISSUED FOR TAC	7/15/19
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0	ISSUED FOR COMMENT	5/5/19
NO.	DESCRIPTION	DATE
	REVISIONS	

SCALE: 1'=10' MAY 2019

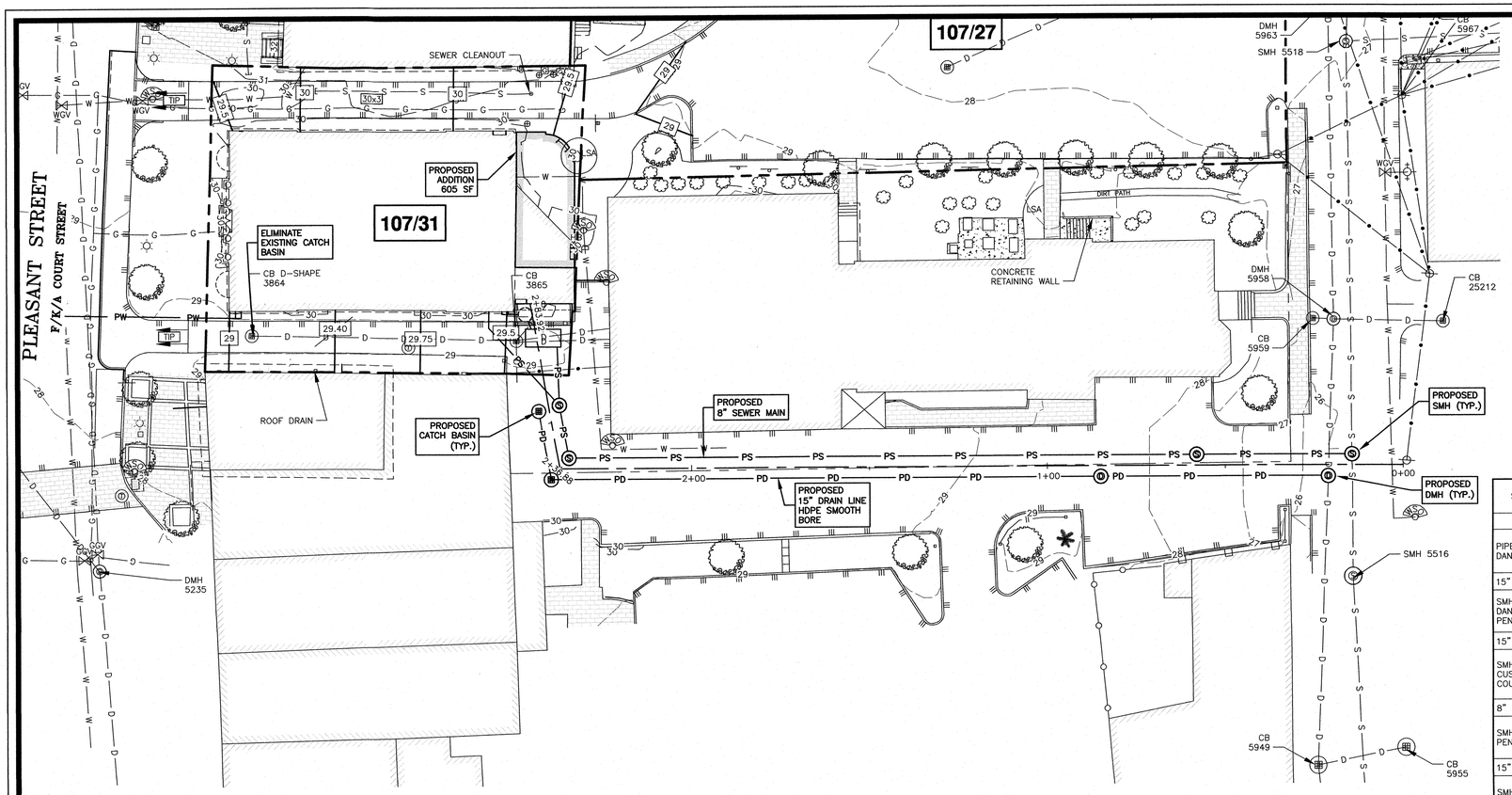
GRADING AND DRAINAGE PLAN

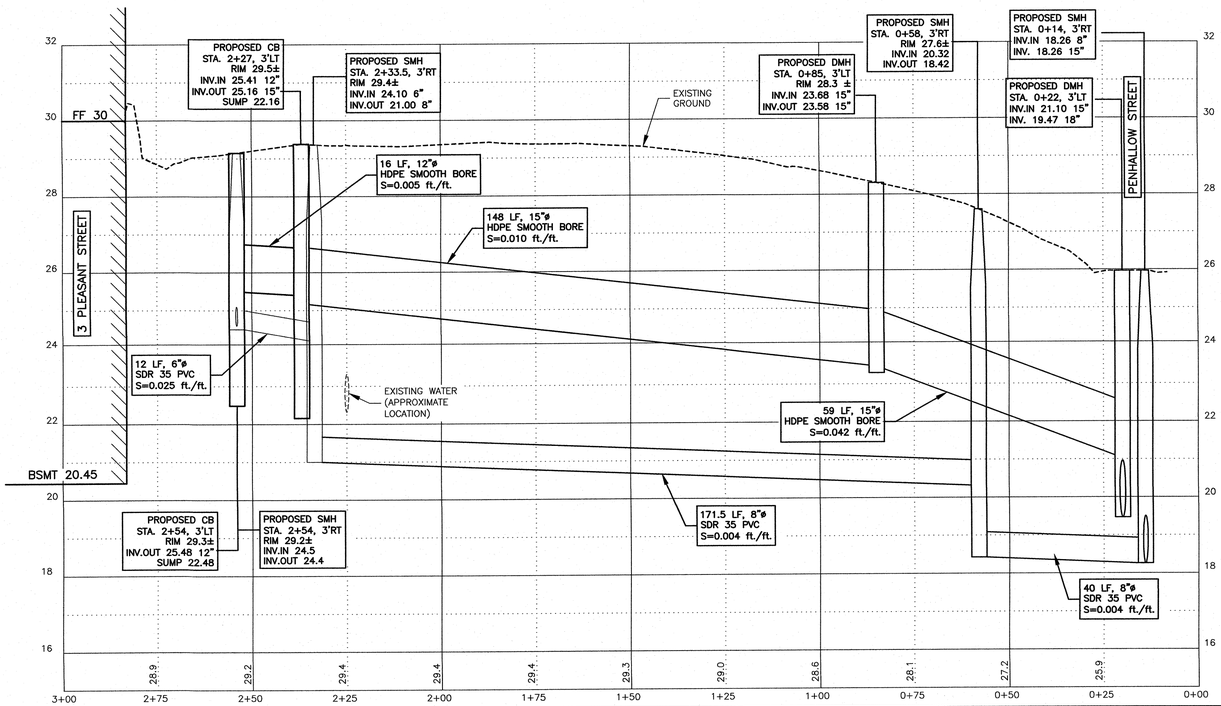
C5

FB 402 PG 1

3039

J:\JOBS3\JN 3000's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 SITE PHASE 1 2019.dwg, C5 DRAIN_GRADE





PLAN REFERENCE:

1) CITY OF PORTSMOUTH STATE STREET UTILITIES UPGRADE AND ROADWAY IMPROVEMENTS, MAY 2004 BY CMA ENGINEERS.

SEWER STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN / INV. ELEV. OUT	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
PIPE END DANIEL STREET		TBD E 15" PVC	SMH 1592
15" PVP	L=136 LF, S= TBD		
SMH 1596 DANIEL STREET PENHALLOW ST.	25.66	17.93 W 15" PVC 17.91 E 6" PVC 17.84 S	SMH 5518
15" PVC PIPE	L = 102 LF, S = 0.0194 ft./ft.		
SMH 5517 CUSTOM HOUSE COURT	27.44	21.70 NE 8" PVC 20.84 W	SMH 5518
8" PVC	L = 138 LF, S = 0.0088 ft./ft.		
SMH 5518 PENHALLOW ST.	27.09	19.68 N 15" PVC 19.63 E 8" PVC 19.57 S	SMH 5516
15" PVC PIPE	L = 146 LF, S = 0.0112 ft./ft.		
SMH 5516 PENHALLOW ST.	25.66	17.93 W 15" PVC 17.91 E 6" PVC 17.84 S	SMH 5513
15" PVC PIPE	L = 81 LF, S = 0.0381 ft./ft.		
SMH 5511	25.81	16.01 N 8" PVC 15.98 S	SMH 5510
12" PVC PIPE	L = 15 LF, S = 0.0293 ft./ft.		
SMH 5515	25.27	16.01 N 8" PVC 16.56 W 8" PVC 15.90 E	SMH 5510
15" PVC	L = 127 LF, S = 0.0050 ft./ft.		
SMH 5510	25.73	15.27 W 15" PVC 15.57 N 12" PVC 15.23 E	SMH 5512
18" PVC	L = 77 LF, S = 0.0081 ft./ft.		
SMH 5512 STATE STREET	25.83	14.86 W 18" PVC 14.84 E 18" PVC	SMH 5513
18" PVC	L = 149 LF, S = 0.0041 ft./ft.		
SMH 5513 (AT MAIN) STATE STREET PENHALLOW ST.	25.61	14.75 N 15" PVC 14.23 W 18" PVC 14.15 E	SMH 5519 DOWN STATE ST.
18" PVC	L=268 LF, S = 0.0088 ft./ft.		
END CAP DANIEL STREET		TBD NW 8" CLAY	SMH 1580
8" CLAY PIPE	L =110 LF, S = TBD ft./ft.		
SMH 1580 DANIEL STREET	29.83	20.16 SE 8" CLAY 21.85 E 6" CAST 20.23 NW	SMH 1581
8" CLAY PIPE	L = 29 LF, S = 0.0355 ft./ft.		
SMH 1581 MARKET STREET	29.48	19.3 SE 8" CLAY 19.2 N 12" VCP	NORTH ON MARKET STREET

GRAPHIC SCALE
1" = 2' VERT.
1" = 20' HOR.

20 10 0 20 40 60 80 HORIZONTAL
2 1 0 2 4 6 8 VERTICAL

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4) INFORMATION ON THIS SHEET TAKEN FROM RECORD SOURCES AS WELL AS ON-SITE MEASUREMENTS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR TAC	7/15/19

REVISIONS

JOHN R. CHAGNON No. 7851 LICENSED PROFESSIONAL ENGINEER STATE OF NEW HAMPSHIRE

SCALE: AS SHOWN JULY 2019

PLAN AND PROFILE

P1

FB 402 PG 1

3039

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EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN **NPDES** PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (**S.W.P.P.P.**) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE **S.W.P.P.P.** AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (**N.O.T.**) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, i.e., SILTSOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY CONSTRUCTION. THE USE OF HAYBALES IS NOT ALLOWED.

REMOVE DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH PORTION OF BUILDING AND OTHER IMPROVEMENTS AS NEEDED.

CUT AND CAP IMPACTED UTILITIES.

CONSTRUCT FOUNDATION.

CONSTRUCT OFF SITE SEWER AND DRAINAGE IMPROVEMENTS.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO THE PROPOSED BUILDING FOUNDATION. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF MATERIALS IN WALKWAYS, THEN RAISE CATCH BASIN FRAMES TO FINAL GRADE. REINSTALL BASIN INLET PROTECTION. CONSTRUCT FINISH SURFACES.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. CONSTRUCT OTHER LANDSCAPE IMPROVEMENTS.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE", THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS--CONSTRUCT SILT FENCE OR SILTSOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREEPING RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	

SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)

CREEPING RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:
PERENNIAL RYE: 0.7 LBS/1,000 S.F.
MULCH: 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

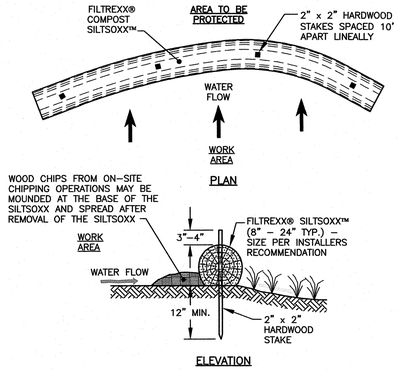
SILT FENCING AND SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILTSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

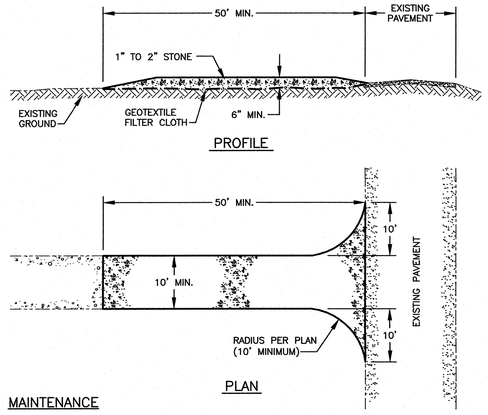
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



NOTES:
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILLTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
4. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

A / C5 FILTREXX® SILTSOXX™ FILTRATION SYSTEM (IF NEEDED) NTS



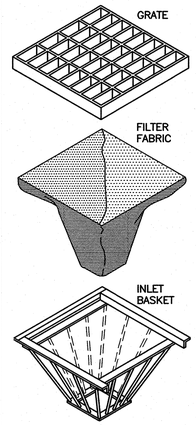
MAINTENANCE

1) MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
2) IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS

1) STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE.
2) THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3) THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4) THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5) GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
6) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8) WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

B / — STABILIZED CONSTRUCTION ENTRANCE (IF NEEDED) NTS



1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.

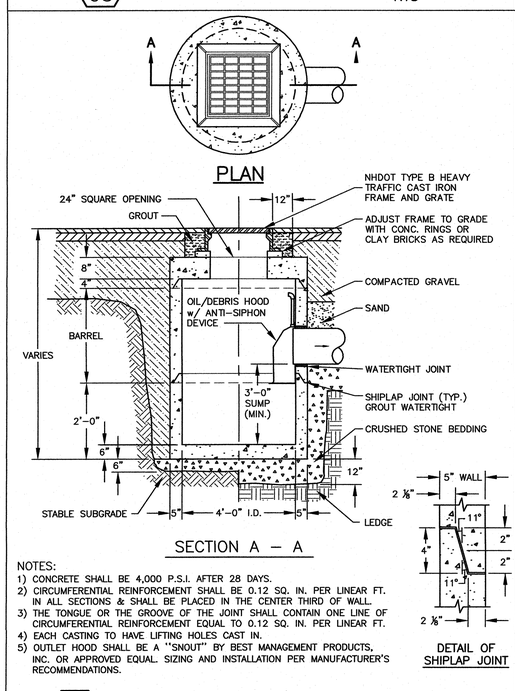
3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
- -RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
- -MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)

4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITTIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)

5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

A1 / C3 CATCH BASIN INLET BASKET NTS



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2) CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
3) THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
4) EACH CASTING TO HAVE LIFTING HOLES CAST IN.
5) OUTLET HOOD SHALL BE A "SNOUT" BY BEST MANAGEMENT PRODUCTS, INC. OR APPROVED EQUAL. SIZING AND INSTALLATION PER MANUFACTURER'S RECOMMENDATIONS.

C / C5 CATCH BASIN w/ OIL-DEBRIS HOOD NTS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

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2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
	REVISIONS	
0	ISSUED FOR COMMENT	7/15/19

STATE OF NEW HAMPSHIRE JOHN R. CHAGNON No. 9351 LICENSED PROFESSIONAL ENGINEER

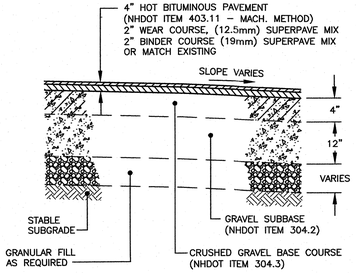
SCALE: AS SHOWN — MAY 2019

DETAILS — D1

FB 402 PG 1

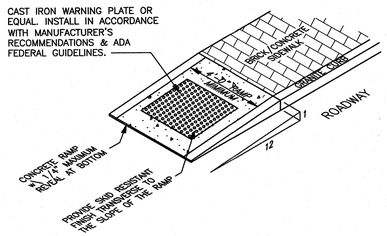
3039

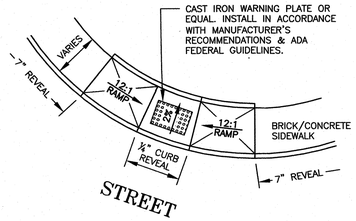
J:\JOBS\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 DETAILS PHASE 1.dwg, DETAILS D1



D / C3 TYPICAL PAVEMENT CROSS–SECTION

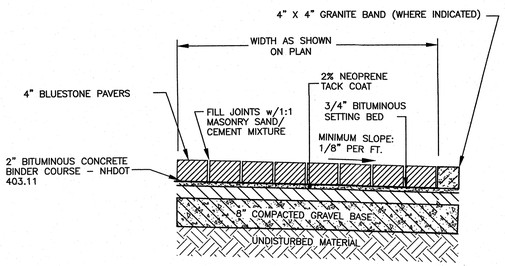
NTS





E / C3 TYPICAL SIDEWALK TIP DOWNS

NTS



NOTES:
1) BLUESTONE SHALL BE TREATED TO RESIST SPALLING.
2) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCES & SPECIFICATIONS.

F / C3 BLUESTONE DETAIL (DRIVEABLE)

NTS

BRICK PAVEMENT NOTES

SCOPE OF WORK:

1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB–BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER.
2) REVEAL SHALL BE COORDINATED WITH PORTSMOUTH DPW.

METHODS OF CONSTRUCTION:

A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.

B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8").

C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF–SITE AT THE CONTRACTOR'S OWN EXPENSE.

D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.

E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.

F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.

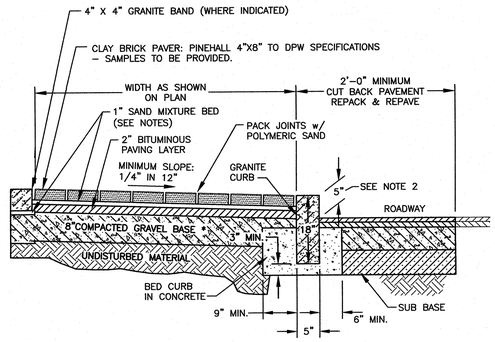
G) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.

H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.

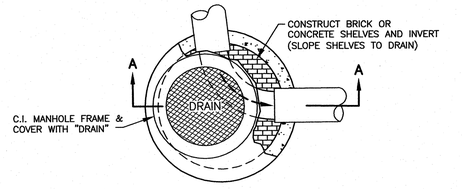
CONSTRUCTION NOTE:

EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.



G / C3 BRICK SIDEWALK w/ VERTICAL GRANITE CURB (STONE DUST BEDDING OVER BITUMINOUS PAVING)

NTS



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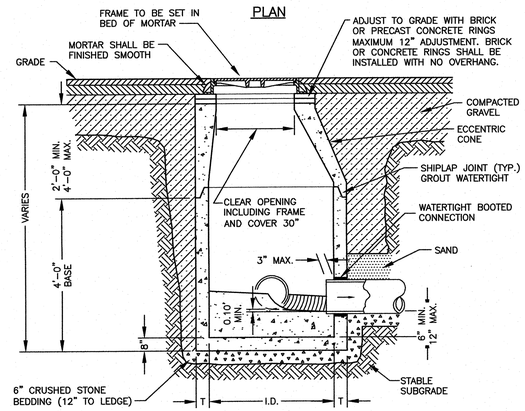


SECTION A – A

T=5" FOR 48" I.D. MANHOLE
T=6" FOR 60" I.D. MANHOLE
T=7" FOR 72" I.D. MANHOLE

NOTES:
1. CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FOOT.
4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
5. ALL MANHOLES SHALL BE 48" I.D. UNLESS SPECIFIED OTHERWISE ON THE PLANS.
6. MANHOLE SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND H–20 LOADING.

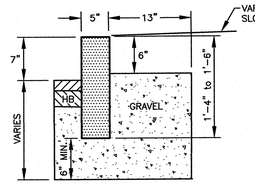
H / P1 DRAIN MANHOLE WITH BOOT DETAIL

NTS

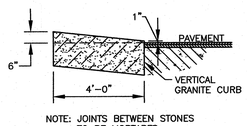
MIN. LENGTH OF CURB STONES 3FT.
MAX. LENGTH OF CURB STONES 10FT.
MAX. LENGTH OF STRAIGHT CURB STONES LAID ON CURVES SEE CHART

NOTE: ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATE LENGTH.

Radius	Max. length
21'	3'
22' – 28'	4'
29' – 35'	5'
36' – 42'	6'
43' – 49'	7'
50' – 56'	8'
57' – 60'	9'
over 60'	10'

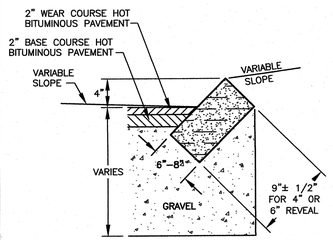


VERTICAL GRANITE CURB



NOTE: JOINTS BETWEEN STONES TO BE MORTARED

GRANITE CURB END



SLOPE GRANITE CURB

MIN. LENGTH OF STRAIGHT CURB STONES: 18"
MAX. LENGTH OF STRAIGHT CURB STONES: 8FT.
MAX. LENGTH OF STRAIGHT STRAIGHT CURB STONES LAID ON CURVE: SEE CHART

Radius for stones with square joints	Maximum length
16' – 28'	6" – 1'
29' – 41'	2'
42' – 55'	3'
56' – 68'	4'
69' – 82'	5'
83' – 96'	6'
97' – 110'	7'
over 110'	8'

I / C3 GRANITE CURBING DETAILS

NTS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801–7114
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BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/15/19

REVISIONS

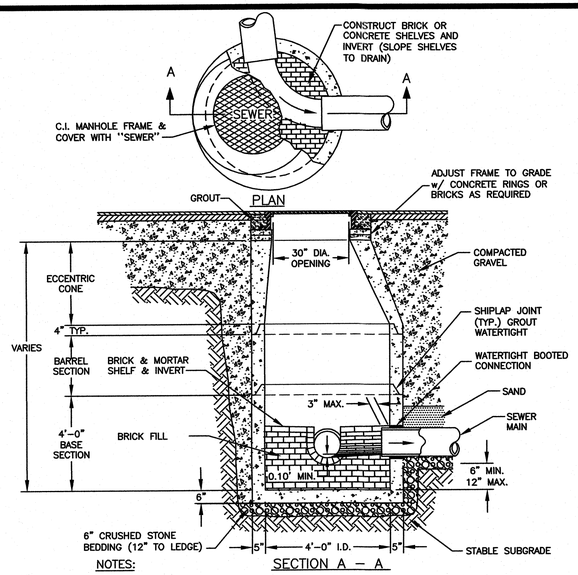
SCALE: AS SHOWN — MAY 2019

DETAILS — D2

FB 402 PG 1

3039

J:\08853\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 DETAILS PHASE 1.dwg, DETAILS D2



NOTES:

SECTION A – A

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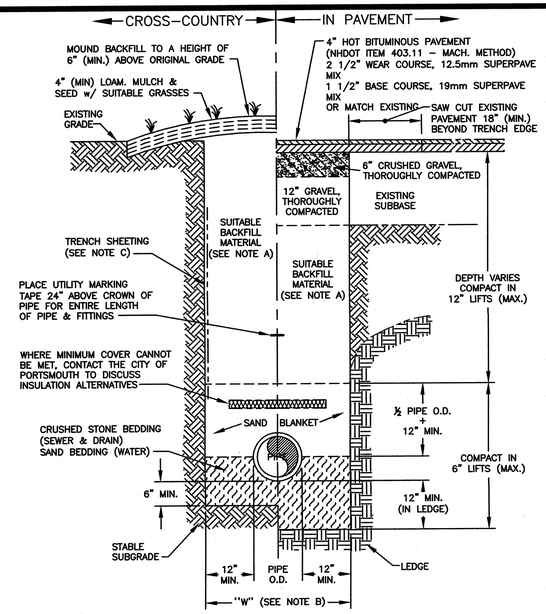
4) EACH PRECAST SECTION TO HAVE LIFTING HOLES CAST IN.
5) SEWER MANHOLE SHALL CONFORM TO NHDES AND CITY OF PORTSMOUTH STANDARDS.

J / C3 SEWER MANHOLE

NTS



L / C4 TYPICAL PIPE TRENCH

NTS

TRENCH NOTES:

A) TRENCH BACKFILL:
– IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.

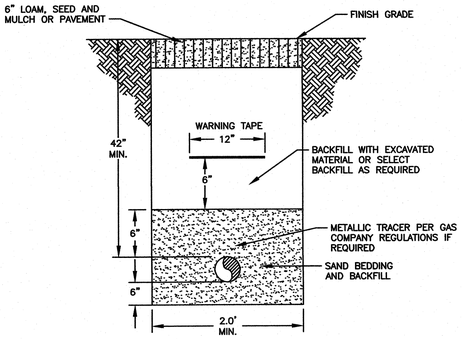
– IN CROSS–COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.

B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..

C) TRENCH SHEETING:
IF REQUIRED. WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID–DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.

D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
- 6' MINIMUM FOR SEWER (IN PAVEMENT)
- 4' MINIMUM FOR SEWER (CROSS COUNTRY)
- 3' MINIMUM FOR STORMWATER DRAINS
- 5' MINIMUM FOR WATER MAINS

E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.



N / C4 GAS SERVICE TRENCH

NTS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801–7114
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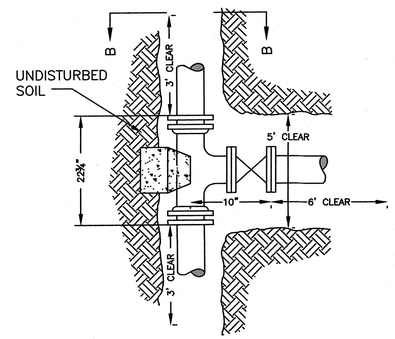
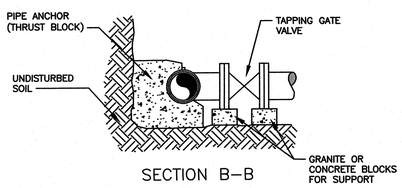


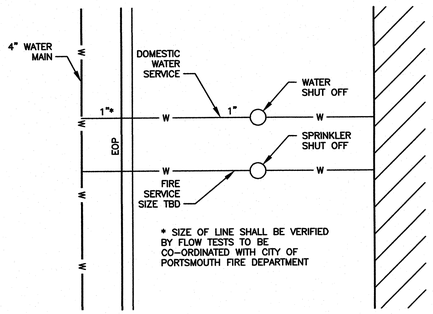
PLAN

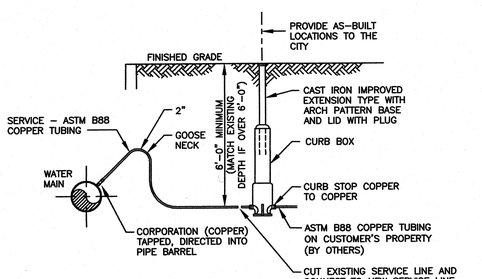


SECTION B–B

NOTES:
1) ALL MATERIALS SHALL BE APPROVED BY THE PORTSMOUTH WATER DEPARTMENT PRIOR TO INSTALLATION AND USE.
2) ALL JOINTS SHALL BE MECHANICAL.
3) "CLEAR" DIMENSIONS SHOWN ATE REQUIRED FOR WORKSPACE. NO JOINTS ON PIPE BEING TAPPED WITHIN "CLEAR" AREA.
4) FORD TYPE STAINLESS STEEL TAPPING SADDLES OR APPROVED EQUAL ARE ALSO ACCEPTABLE.

K / C3 TAPPING SLEEVE AND GATE
INSTALL PER PORTSMOUTH REQUIREMENTS NTS





M / C3 TYPICAL WATER SERVICE CONNECTION

HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK

UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	0'–9"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"
6"	0'–9"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"
8"	1'–2"	1'–2"	1'–2"	1'–0"	1'–0"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"
10"	1'–4"	1'–4"	1'–4"	1'–0"	1'–0"	1'–0"	0'–9"	1'–0"	0'–9"	1'–0"
12"	1'–8"	1'–8"	1'–8"	1'–3"	1'–3"	1'–0"	1'–0"	0'–9"	1'–0"	

* – FOR 3" AND SMALLER PIPES

HORIZONTAL ANCHOR DIMENSIONS FOR AVERAGE SOIL CONDITIONS

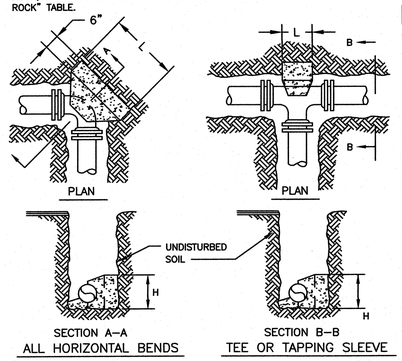
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	1'–0"	2'–0"	1'–0"	2'–0"	1'–0"	1'–4"	0'–9"	1'–0"	0'–6"	1'–0"
6"	1'–0"	2'–0"	1'–0"	2'–0"	1'–0"	1'–4"	0'–9"	1'–0"	0'–6"	1'–0"
8"	1'–4"	2'–8"	1'–4"	2'–8"	1'–4"	1'–6"	1'–0"	1'–0"	0'–9"	1'–0"
10"	1'–8"	3'–4"	1'–8"	3'–4"	1'–8"	2'–0"	1'–3"	1'–3"	1'–0"	1'–0"
12"	2'–0"	4'–0"	2'–0"	4'–0"	2'–0"	2'–2"	1'–6"	1'–6"	1'–3"	1'–3"

* – FOR 3" AND SMALLER PIPES

NOTES:
1) TABLES ARE BASED ON AN ALLOWABLE SOIL PRESSURE OF 3000 PSF ON UNDISTURBED EARTH BEHIND THE ANCHOR BLOCK. WHERE SOIL HAS BEEN DISTURBED BY ADJACENT EXCAVATIONS OR WHERE SOIL CANNOT WITHSTAND SUCH A PRESSURE, THE TABLE DOES NOT APPLY.

2) WHERE ENTIRE DEPTH OF PIPE IS BELOW THE TOP SURFACE OF SOUND ROCK, USE "HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK" TABLE.

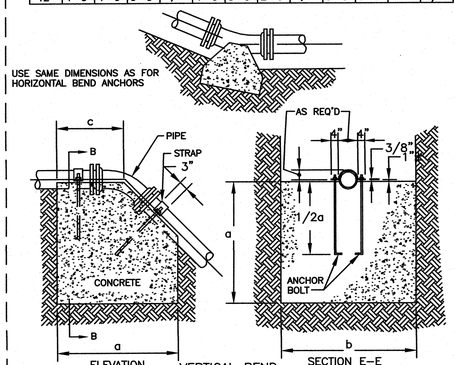


HORIZONTAL ANCHORING

VERTICAL ANCHOR DIMENSIONS

UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	45° BEND				22 1/2° BEND				11 1/4° BEND			
	DIMENSION			ROD DIA.	DIMENSION			ROD DIA.	DIMENSION			ROD DIA.
	a	b	c		a	b	c		a	b	c	
4"	3'–0"	3'–0"	2'–0"	3/4"	2'–6"	2'–3"	1'–6"	3/4"	2'–0"	2'–0"	1'–6"	3/4"
6"	3'–0"	3'–0"	2'–0"	3/4"	2'–6"	2'–3"	1'–6"	3/4"	2'–0"	2'–0"	1'–6"	3/4"
8"	3'–6"	3'–6"	2'–6"	3/4"	3'–0"	3'–0"	1'–9"	3/4"	2'–6"	2'–6"	1'–3"	3/4"
10"	4'–3"	4'–0"	3'–0"	3/4"	3'–6"	3'–3"	2'–0"	3/4"	2'–9"	2'–9"	1'–6"	3/4"
12"	4'–9"	4'–6"	3'–3"	3/4"	4'–0"	3'–9"	2'–6"	3/4"	3'–3"	3'–3"	1'–9"	3/4"



VERTICAL ANCHORING

P / C3 PRESSURE PIPE ANCHORING DETAILS
INSTALL PER PORTSMOUTH REQUIREMENTS NTS

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/15/19

REVISIONS

SCALE: AS SHOWN

MAY 2019

DETAILS

D3

FB 402 PG 1

3039

J:\JOBS3\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Sht\3039 DETAILS PHASE 1.dwg, DETAILS D3

GENERAL NOTES

1) MINIMUM PIPE SIZE FOR COMMERCIAL SERVICE SHALL BE SIX INCHES.

2) PIPE AND JOINT MATERIALS:

A. PLASTIC SEWER PIPE

1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 To T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
AWWA C900	PVC (SOLID WALL)	8" THROUGH 18"

*PVC: POLYVINYL CHLORIDE

2. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE.

B. DUCTILE IRON PIPE, FITTINGS AND JOINTS.

1. DUCTILE IRON PIPE AND FITTINGS FOR SEWERS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:

A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.

A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOULDS OR SAND LINED MOULDS FOR SEWER APPLICATIONS.

2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:

A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.

3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.

5) TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE DEPENDING ON THE PIPE ENCOUNTERED, FOR PVC PIPE, USE PVC SADDLES OR INSERT-A-TEE, OR CUT IN A SANITARY TEE. FOR CLAY PIPE, USE INSERT-A-TEE OR CUT IN A SANITARY TEE. ALL WORK TO BE APPROVED BY GOVERNING BODY.

6) HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND REFILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.

7) TESTING: WHEN REQUIRED BY THE GOVERNING AUTHORITY, TESTING SHALL CONFORM TO ENV-WQ 704.07.

8) ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM DWELLING TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.

9) WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE, UNLESS IT IS ON A SHELF 12" HIGHER, AND 18" APART.

10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%- 55% PASSING	3/8 INCH SCREEN
0%- 10% PASSING	#4 SIEVE
0%- 5% PASSING	#8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.

11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.

12) CAST-IN-PLACE CONCRETE: SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT: 6.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG OF CEMENT
MAXIMUM AGGREGATE SIZE: 3/4 INCH

13) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

14) BACKFILL UP TO SUBBASE GRAVEL SHALL BE WITH EXCAVATED SOIL FROM TRENCHING OPERATIONS. COMPACT IN 8" LIFTS WITH VIBRATORY PLATE COMPACTORS TO 90% OF MODIFIED PROCTOR DENSITY. IF FINE-GRAINED, COMPACT WITH POGO STICKS OR SHEEPSFOOT ROLLERS. PLACE NO LARGE ROCKS WITHIN 24" OF PIPE. TRENCHES THAT ARE NOT ADEQUATELY COMPACTED SHALL BE RE-EXCAVATED AND BACKFILLED UNDER THE SUPERVISION OF THE DESIGN ENGINEER OR GOVERNING BODY. UNSUITABLE BACKFILL MATERIAL INCLUDES CHUNKS OF PAVEMENT, TOPSOIL, ROCKS OVER 6" IN SIZE, MUCK, PEAT OR PIECES OF PAVEMENT.

15) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY AND COMPLIANCE WITH GOVERNING REGULATIONS.

GENERAL NOTES, cont'd

16) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. FOR TRENCH WIDTH SEE TRENCH DETAIL.

17) SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90% - 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.

18) BASE COURSE GRAVEL, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE:

STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION.

19) FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

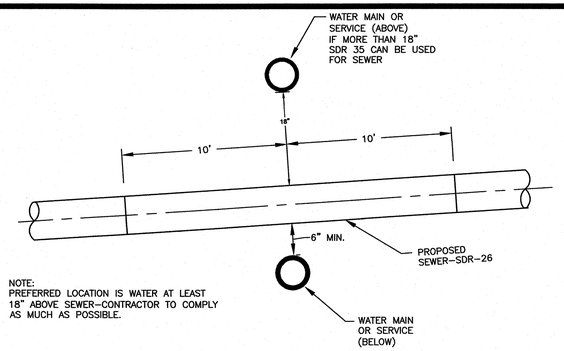
20) IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

21) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

22) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.

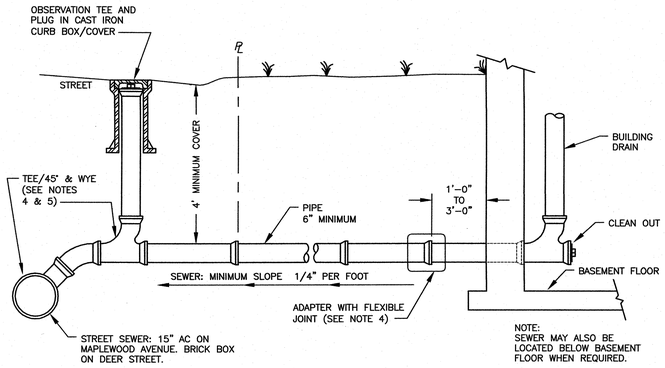
23) THE PURPOSE OF THIS PLAN IS TO SHOW STANDARDS FOR SEWER CONSTRUCTION.

24) ALL WORK SHALL BE IN COMPLIANCE WITH NHDES CODE OF ADMINISTRATIVE RULES PART ENV-WQ 704 DESIGN OF SEWERS.



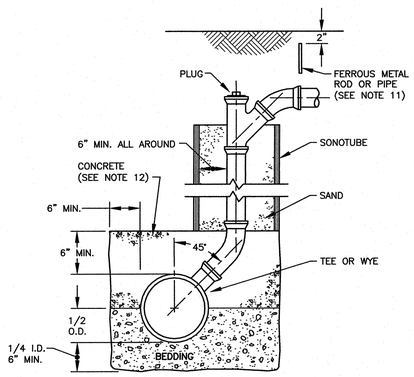
NOTE:
PREFERRED LOCATION IS WATER AT LEAST 18" ABOVE SEWER-CONTRACTOR TO COMPLY AS MUCH AS POSSIBLE.

W — WATER CROSSING
IF NEEDED-WHERE WATER LINE IS LESS THAN 18" ABOVE (OR IS BELOW) SEWER. NTS



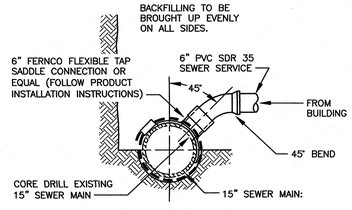
NOTE:
SEWER MAY ALSO BE LOCATED BELOW BASEMENT FLOOR WHEN REQUIRED.

Y — SEWER SERVICE
NOT TO SCALE NTS



NO BACKFILLING BEFORE CONCRETE HAS TAKEN INITIAL SET (7 HRS. MIN.). BACKFILLING TO BE BROUGHT UP EVENLY ON ALL SIDES.

X — CHIMNEY (SEE NOTE 13)
NOT TO SCALE IF NEEDED



SECTION

Z — SEWER SERVICE CONNECTION DETAIL
(AC PIPE) NTS

NOTE: COORDINATE DESIGN OF BRICK BOX SEWER CONNECTION WITH CITY OF PORTSMOUTH DPW. PROVIDE SHOP DRAWINGS FOR REVIEW.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/15/19

REVISIONS

SCALE: AS SHOWN MAY 2019

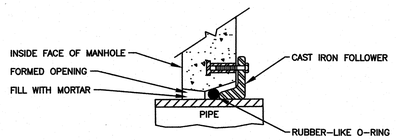
SEWER DETAILS

D4

FB 402 PG 1

3039

J:\JOBS\JN 3000's\JN 3030's\JN 3039\2019 Survey and Site Development\Plans & Specs\Site\3039 DETAILS PHASE 1.dwg, DETAILS D4



RES-SEAL
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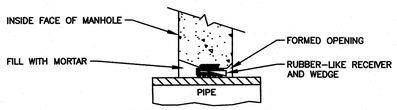

PRESS-WEDGE II
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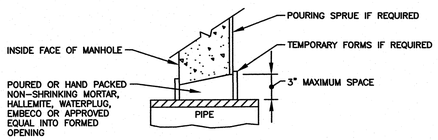
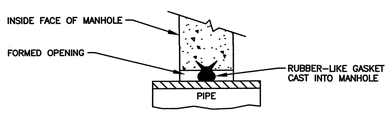


NON-SHRINKING MORTAR
(OR ACCEPTABLE SUBSTITUTE)



A-LOK
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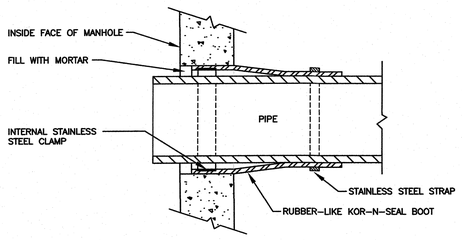
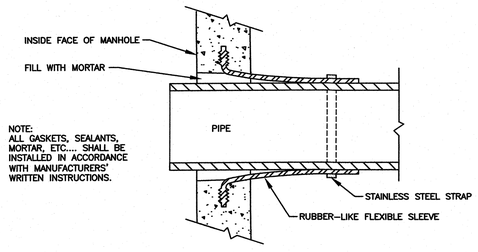
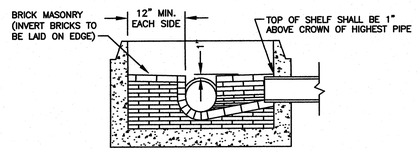


KOR-N-SEAL JOINT SLEEVE
(OR ACCEPTABLE SUBSTITUTE)

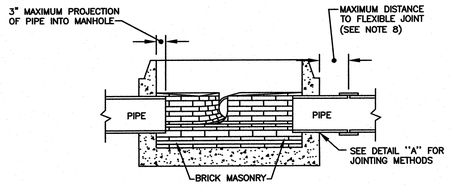


LOCK-JOINT FLEXIBLE MANHOLE SLEEVE
(OR ACCEPTABLE SUBSTITUTE)

DETAIL "A" – PIPE TO MANHOLE JOINTS



SECTION "B-B"



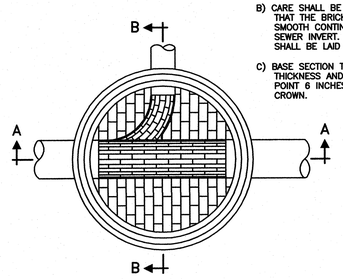
SECTION "A-A"

NOTES:

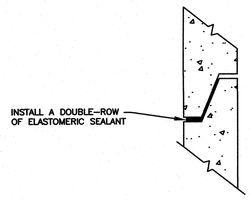
A) INVERT AND SHELF TO BE PLACED AFTER LEAKAGE TEST.

B) CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT. INVERT BRICKS SHALL BE LAID ON EDGE.

C) BASE SECTION TO BE FULL WALL THICKNESS AND MONOLITHIC TO A POINT 6 INCHES ABOVE THE PIPE CROWN.



TYPICAL MANHOLE – PLAN VIEW



ELASTOMERIC SEALANT

NOTE:
ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

DETAIL "B" – HORIZONTAL JOINTS

GENERAL NOTES

1) IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAK PROOF QUALITIES CONSIDERED NECESSARY FOR THE INTENDED SERVICE. SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING. MANHOLES SHALL BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT. IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.

2) BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE, OR POURED IN PLACE REINFORCED CONCRETE IF POURED AS A COMPLETE MANHOLE.

3) PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478.

4) LEAKAGE TEST MAY NOT BE FEASIBLE, BUT SHALL CONFORM TO ENV-WQ 704.10(X) THROUGH ENV-WQ 704.10(Z).

5) INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF THE PIPE AND FLOW. AT CHANGES IN DIRECTIONS, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE AND TANGENT TO THE CENTERLINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD FLOWING THROUGH CHANNEL. UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.

6) FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A THREE INCH (MINIMUM HEIGHT) WORD "SEWER" FOR SEWERS AND "DRAIN" FOR DRAINS SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. CASTINGS SHALL CONFORM TO CLASS 30, ASTM A48.

7) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90%–100% PASSING	3/4 INCH SCREEN
20%– 55% PASSING	3/8 INCH SCREEN
0%– 10% PASSING	#4 SIEVE
0%– 5% PASSING	#8 SIEVE

WHEN ORDERED BY THE ENGINEER TO STABILIZE THE BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.

8) FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:

RCP & CI PIPE – ALL SIZES – 48"

9) SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H-20 LOADS.

10) MANHOLE STEPS MAY BE PERMITTED UPON REQUEST BY THE OWNER AS SECONDARY ADDITIONAL SAFETY FEATURE SUPPLEMENTARY TO THE PRIMARY PORTABLE LADDER ENTRY AND WHEN INSTALLED UNDER THE FOLLOWING CONDITIONS:

1. THE STEPS SHALL BE MANUFACTURED OF 5/8ths INCH ROUND STAINLESS STEEL, PLASTIC COVERED STEEL OR PLASTIC. THEY SHALL BE SHAPED SO THAT THEY CANNOT BE PULLED OUT OF THE CONCRETE WALL IN WHICH THEY ARE EMBEDDED.
2. THE STEPS SHALL BE EMBEDDED IN THE CONCRETE BY THE MANUFACTURER DURING MANUFACTURE OR IMMEDIATELY FOLLOWING REMOVAL OF FORMS. SECURING THE STEPS WITH MORTAR IN DRILLED OR CAST HOLES, WILL NOT BE ACCEPTABLE.
3. THE STEPS SHALL BE OF THE DROP TYPE WITH A DEPRESSED SECTION FOR HANDHOLD. APPROXIMATELY 14" x 10" IN DIMENSION.

11) HORIZONTAL JOINTS BETWEEN SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE OF A TYPE APPROVED BY THE ENGINEER, WHICH TYPE SHALL, IN GENERAL, DEPEND FOR WATER TIGHTNESS UPON AN ELASTOMERIC OR MASTIC-LIKE GASKET, IN 2 ROWS. APPROVED ELASTOMERIC SEALANTS ARE:

RAM-NEK
KENT SEAL NO. 2
EZ

12) PIPE TO MANHOLE JOINTS SHALL BE ONLY AS APPROVED BY THE ENGINEER AND IN GENERAL, WILL DEPEND FOR WATERTIGHTNESS UPON EITHER AN APPROVED NON-SHRINKING MORTAR OR ELASTOMERIC SEALANT.

13) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

14) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.

15) THE PURPOSE OF THIS PLAN IS TO SHOW STANDARDS FOR SEWER CONSTRUCTION.

16) ALL WORK SHALL BE IN COMPLIANCE WITH NHDES CODE OF ADMINISTRATIVE RULES PART ENV-WQ 704 DESIGN OF SEWERS.

17) BASE SECTIONS SHALL BE OF MONOLITHIC CONSTRUCTION TO A POINT AT LEAST 6 INCHES ABOVE THE CROWN OF THE LARGEST INCOMING PIPE.

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/15/19

REVISIONS

SCALE: AS SHOWN MAY 2019

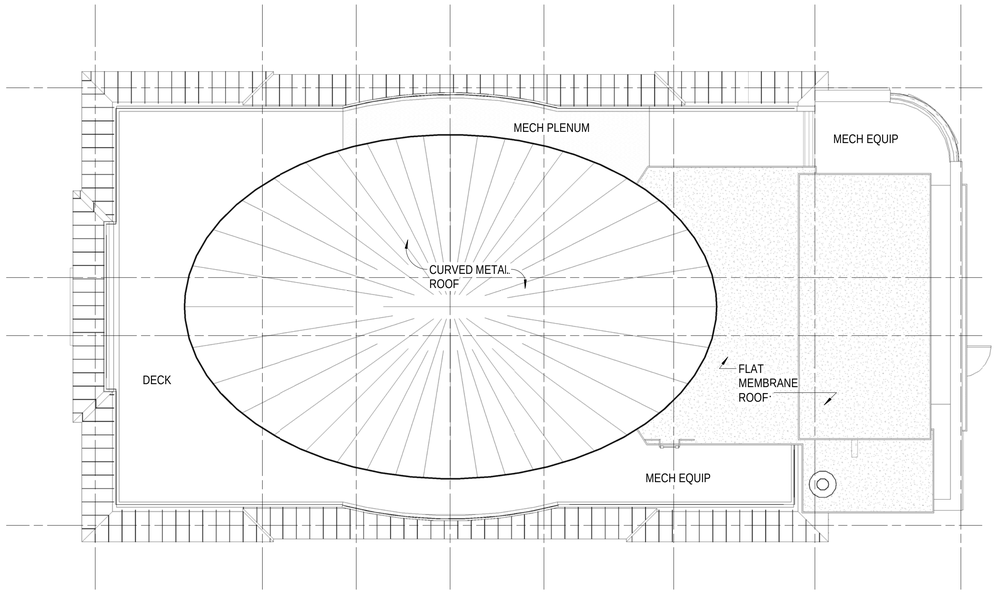
SEWER DETAILS

D5

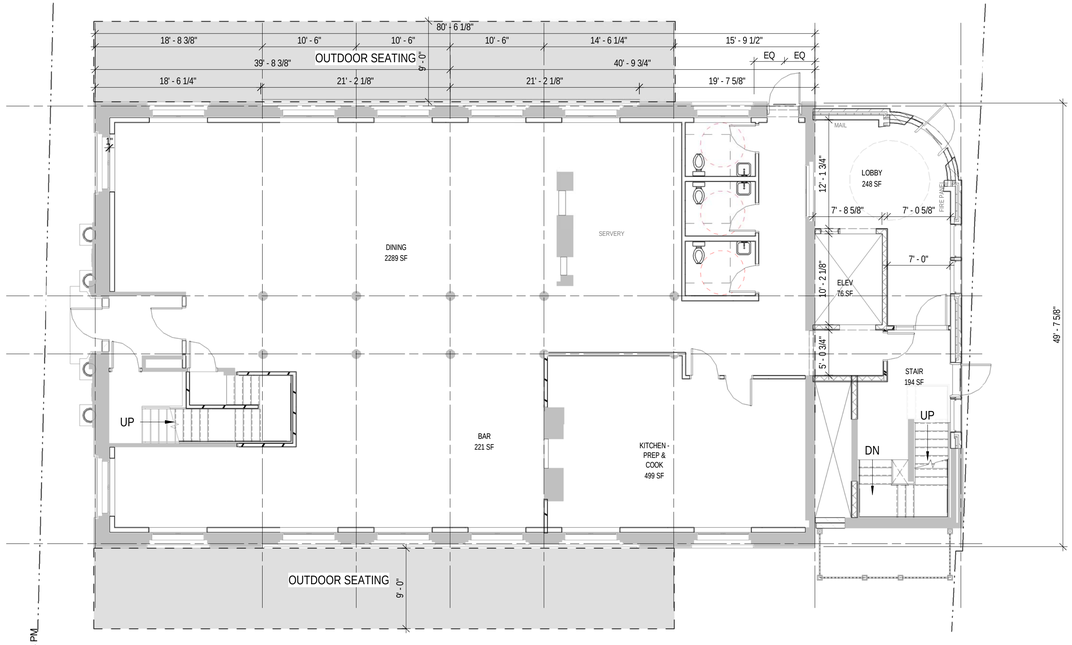
FB 402 PG 1

3039

J:\VJOBS\VN 3000's\VN 3039's\2019 Survey and Site Development\Plans & Specs\Site\3039 DETAILS PHASE 1.dwg, DETAILS D5



2 5 ROOF PLAN 1/8" TAC2
1/8" = 1'-0"

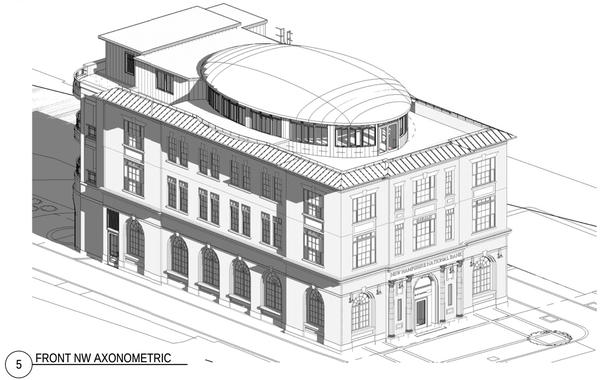


7/11/2019 5:42:18 PM

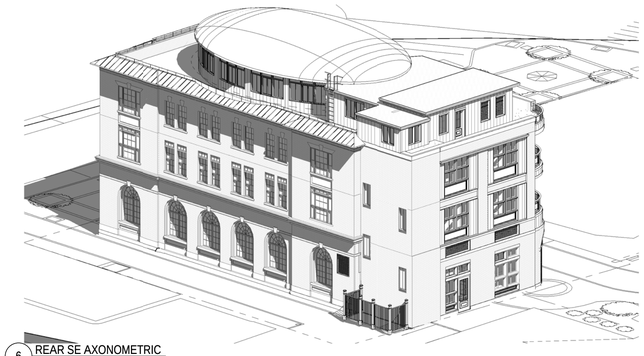
1 1 FIRST FLOOR PLAN 1/8" TAC2
1/8" = 1'-0"

3 FRONT NW PERSPECTIVE - FROM NORTH CHURCH

4 REAR NE PERSPECTIVE - FROM PROPOSED REAR COURTYARD



5 FRONT NW AXONOMETRIC



6 REAR SE AXONOMETRIC

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INTERIORS
PLANNERS

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LANDSCAPE ARCHITECT
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130 KENT PLACE
NEWMARKET, NH 03857

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MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION ENGINEERS
PETERSEN ENGINEERING, INC.
PO BOX 4774
PORTSMOUTH, NH 03801
(603) 436-4233

3 PLEASANT STREET - BRICK MARKET

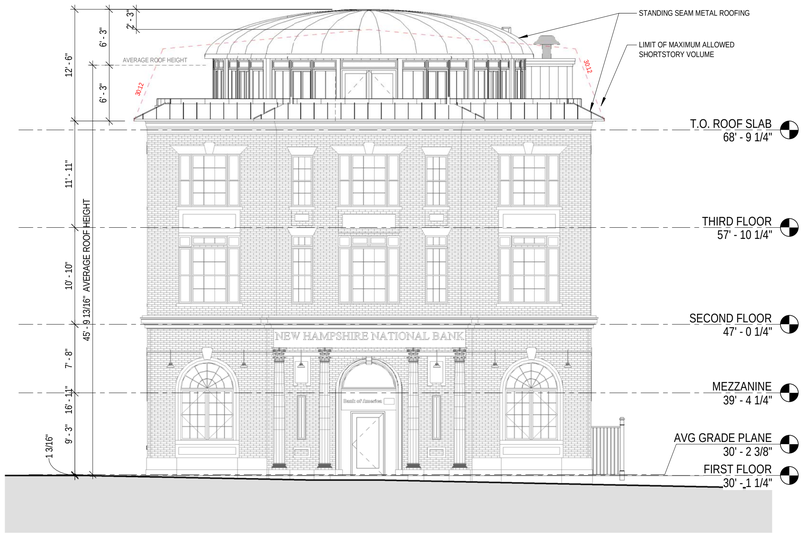
Dagny Taggart LLC
McNabb Properties

Scale: 1/8" = 1'-0"
Date: 7/11/2019
Project Number: P081.00

SITE PLAN REVIEW

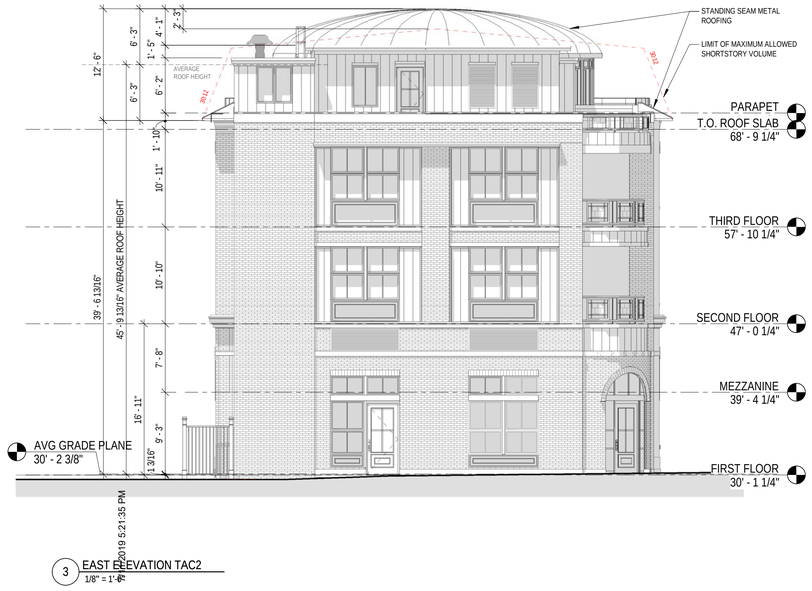
FOOR & ROOF PLANS & 3D VIEWS

A1.1

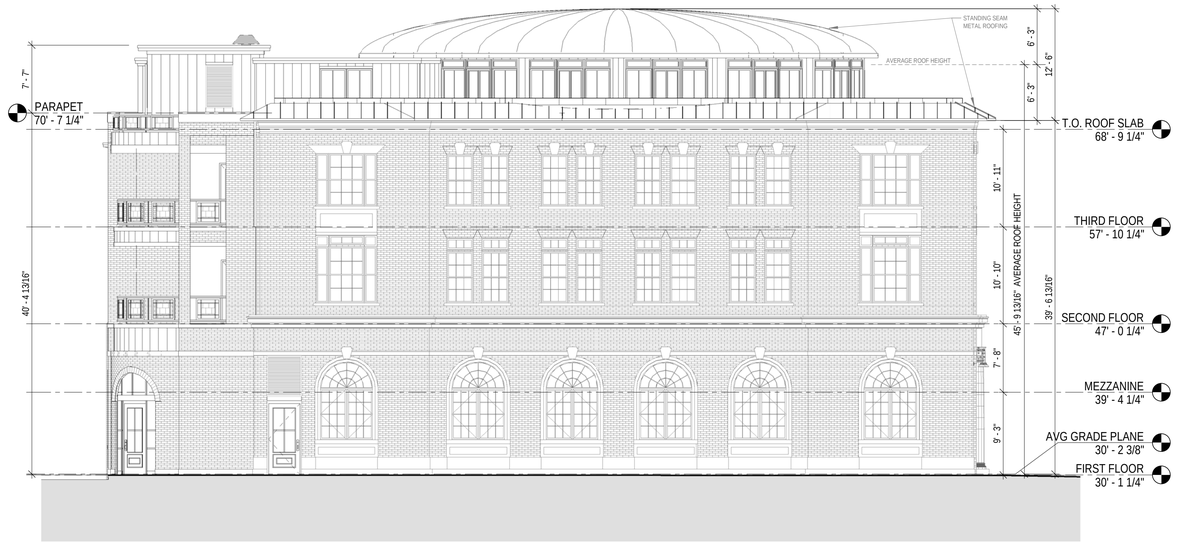


1 WEST ELEVATION TAC2
1/8" = 1'-0"

2 SOUTH ELEVATION TAC2
1/8" = 1'-0"



3 EAST ELEVATION TAC2
1/8" = 1'-0"



4 NORTH ELEVATION TAC2
1/8" = 1'-0"

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Scale: 1/8" = 1'-0"
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SITE PLAN REVIEW

ELEVATIONS

A1.2

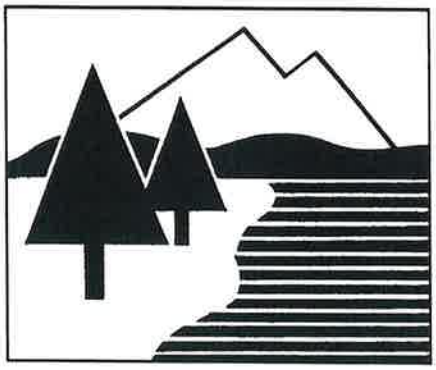
DRAINAGE ANALYSIS

SITE REDEVELOPMENT

3 PLEASANT STREET

McNabb Properties, LTD

PORTSMOUTH, NH



15 JULY, 2019

Ambit Engineering, Inc.

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E-mail: jlm@ambitengineering.com
(Ambit Job Number 3039

Drainage Analysis
Site Redevelopment
3 Pleasant Street
McNabb Properties, LTD
Portsmouth, NH

ISSUE

This drainage analysis studies the effect of the proposed redevelopment of the existing building located at 3 Pleasant Street, Portsmouth, NH.

In the existing condition, the rooftop runoff from 3 Pleasant Street is directed to the sewer located along State Street. We understand that it is the desire of the City of Portsmouth to remove such stormwater from the City's sewer system as part of the larger effort to reduce the volume of Combined Sewer Overflows (CSO's). However, doing so has the potential to increase stormwater volumes directed to the City's stormwater system. It is for this reason that this analysis has been prepared.

ANALYSIS

A HydroCAD model was developed to model the existing drainage system along State Street. This model utilizes the Rational Method for modeling the hydrologic conditions that are anticipated. Intensity/Duration/Frequency (IDF Curve Data) was obtained from the Northeast Regional Climate Center (NRCC) through the http://precip.eas.cornell.edu/. The ten-year storm event was analyzed.

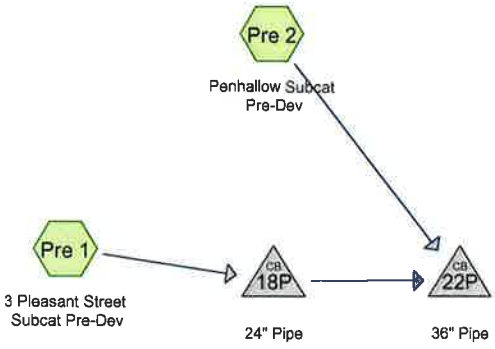
The closed drainage system was analyzed at two key points in the immediate subcatchment (Subcat 1) as well as the subcatchement (Subcat 2) just downstream. The closed drainage system changes from a 24" Corrugated Plastic Pipe (CPP) to a 36" CPP at the two subcatchments respectively.

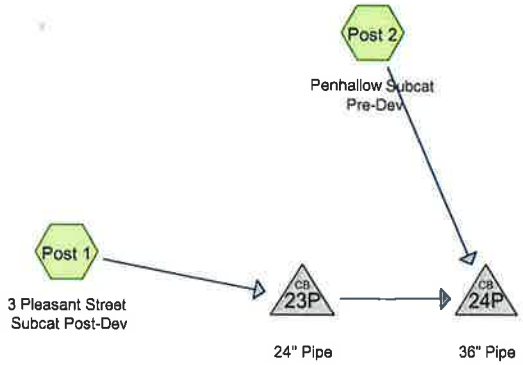
Our analysis shows (See W1) that there is an increase in flow from the ten-year storm event at each of the two points analyzed of just under 0.5 cfs. This results in a change in water surface elevation in the closed drainage system of less than ¼".

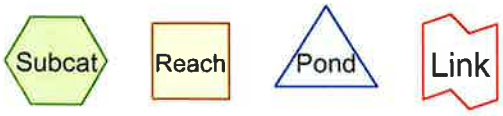
CONCLUSION

The slight increase in flow / water surface elevation as a result of the analysis does not pose any significant impact to the City's closed drainage system as it does not rise (flood) to the level of the local street elevation. Additionally, this system was reconstructed within the last ten years and fitted with a stormwater treatment system at its downstream end.

Attachments: Plan of Subcatchments - W1
HydroCAD Report







Routing Diagram for 3039 RM Existing Conditions
Prepared by Ambit Engineering, Inc., Printed 7/12/2019

Area Listing (all nodes)

Area (acres)	C	Description (subcatchment-numbers)
15.208	0.95	(Post 1, Post 2, Pre 1, Pre 2)
15.208	**0.95**	**TOTAL AREA**

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.000	HSG A	
0.000	HSG B	
0.000	HSG C	
0.000	HSG D	
15.208	Other	Post 1, Post 2, Pre 1, Pre 2
15.208		**TOTAL AREA**

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.000	15.208	15.208		Post 1, Post 2, Pre 1, Pre 2
0.000	**0.000**	**0.000**	**0.000**	**15.208**	**15.208**	**TOTAL AREA**	

Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Diam/Width (inches)	Height (inches)	Inside-Fill (inches)
1	18P	17.66	16.79	84.0	0.0104	0.013	24.0	0.0	0.0
2	22P	15.56	15.03	142.0	0.0037	0.013	36.0	0.0	0.0
3	23P	17.66	16.79	84.0	0.0104	0.013	24.0	0.0	0.0
4	24P	15.56	15.03	142.0	0.0037	0.013	36.0	0.0	0.0

Time span=0.00-3.00 hrs, dt=0.01 hrs, 301 points
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment Post 1: 3 Pleasant Street Runoff Area=197,081 sf 100.00% Impervious Runoff Depth=0.40"
Tc=5.0 min C=0.95 Runoff=21.08 cfs 0.150 af

Subcatchment Post 2: Penhallow Runoff Area=136,371 sf 100.00% Impervious Runoff Depth=0.40"
Tc=5.0 min C=0.95 Runoff=14.59 cfs 0.104 af

Subcatchment Pre 1: 3 Pleasant Street Runoff Area=192,619 sf 100.00% Impervious Runoff Depth=0.40"
Tc=5.0 min C=0.95 Runoff=20.60 cfs 0.147 af

Subcatchment Pre 2: Penhallow Subcat Runoff Area=136,371 sf 100.00% Impervious Runoff Depth=0.40"
Tc=5.0 min C=0.95 Runoff=14.59 cfs 0.104 af

Pond 18P: 24" Pipe Peak Elev=21.67' Inflow=20.60 cfs 0.147 af
24.0" Round Culvert n=0.013 L=84.0' S=0.0104 '/' Outflow=20.60 cfs 0.147 af

Pond 22P: 36" Pipe Peak Elev=18.83' Inflow=35.19 cfs 0.251 af
36.0" Round Culvert n=0.013 L=142.0' S=0.0037 '/' Outflow=35.19 cfs 0.251 af

Pond 23P: 24" Pipe Peak Elev=21.82' Inflow=21.08 cfs 0.150 af
24.0" Round Culvert n=0.013 L=84.0' S=0.0104 '/' Outflow=21.08 cfs 0.150 af

Pond 24P: 36" Pipe Peak Elev=18.87' Inflow=35.66 cfs 0.254 af
36.0" Round Culvert n=0.013 L=142.0' S=0.0037 '/' Outflow=35.66 cfs 0.254 af

Total Runoff Area = 15.208 ac Runoff Volume = 0.505 af Average Runoff Depth = 0.40"
0.00% Pervious = 0.000 ac 100.00% Impervious = 15.208 ac

Summary for Subcatchment Post 1: 3 Pleasant Street Subcat Post-Dev

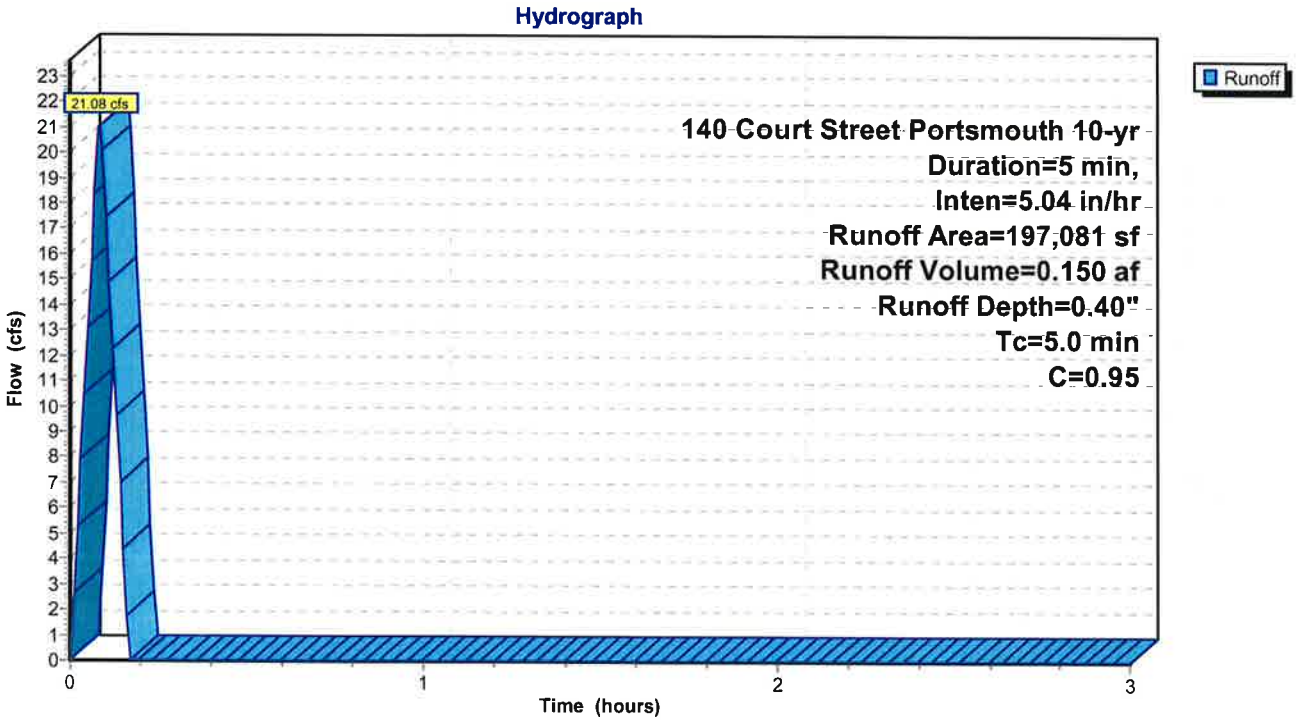
Runoff = 21.08 cfs @ 0.08 hrs, Volume= 0.150 af, Depth= 0.40"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
140 Court Street Portsmouth 10-yr Duration=5 min, Inten=5.04 in/hr

Area (sf)	C	Description
197,081	0.95	
197,081		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry,**

Subcatchment Post 1: 3 Pleasant Street Subcat Post-Dev



Summary for Subcatchment Post 2: Penhallow Subcat Pre-Dev

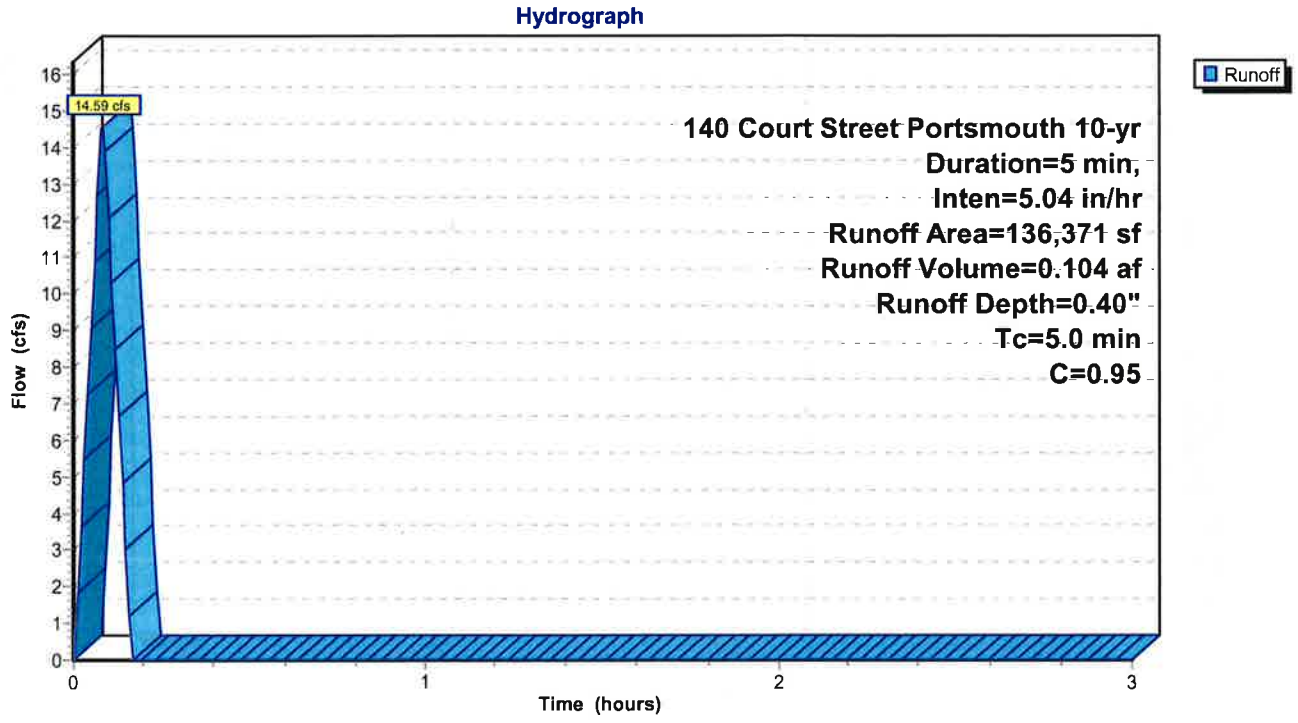
Runoff = 14.59 cfs @ 0.08 hrs, Volume= 0.104 af, Depth= 0.40"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
140 Court Street Portsmouth 10-yr Duration=5 min, Inten=5.04 in/hr

Area (sf)	C	Description
136,371	0.95	
136,371		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry,**

Subcatchment Post 2: Penhallow Subcat Pre-Dev



Summary for Subcatchment Pre 1: 3 Pleasant Street Subcat Pre-Dev

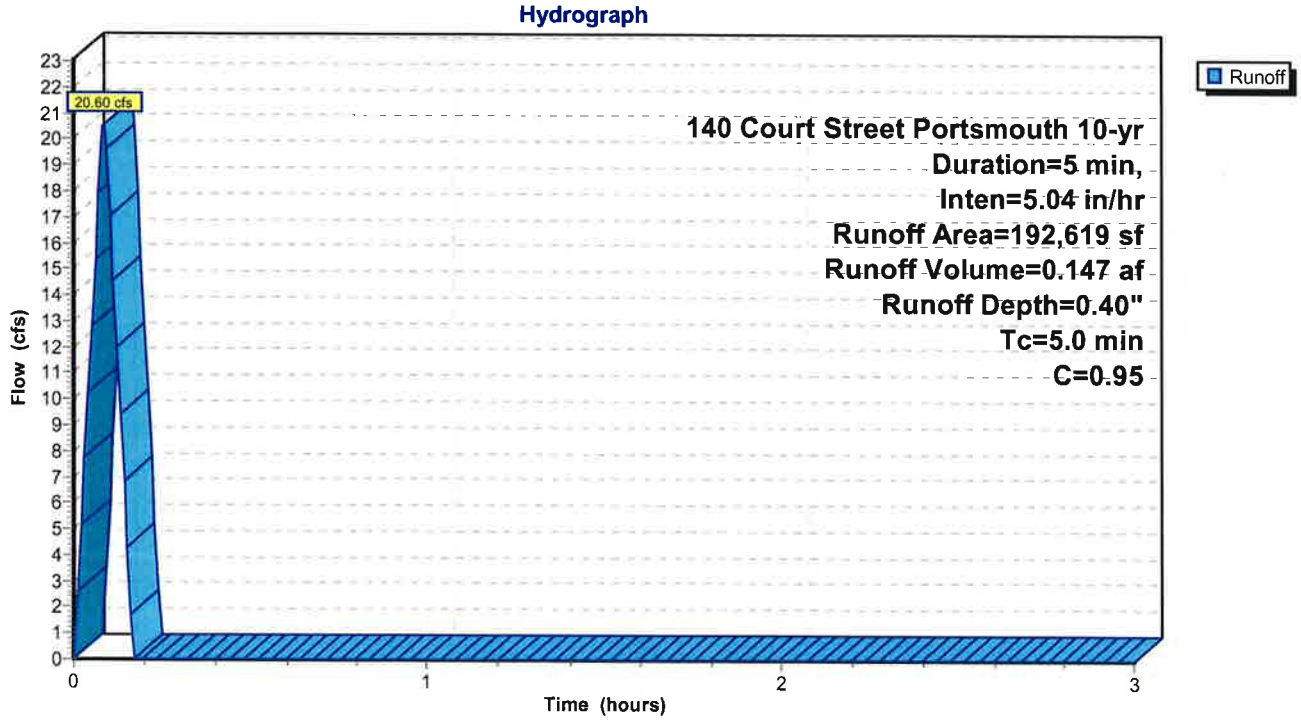
Runoff = 20.60 cfs @ 0.08 hrs, Volume= 0.147 af, Depth= 0.40"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
140 Court Street Portsmouth 10-yr Duration=5 min, Inten=5.04 in/hr

Area (sf)	C	Description
192,619	0.95	
192,619		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry,**

Subcatchment Pre 1: 3 Pleasant Street Subcat Pre-Dev



Summary for Subcatchment Pre 2: Penhallow Subcat Pre-Dev

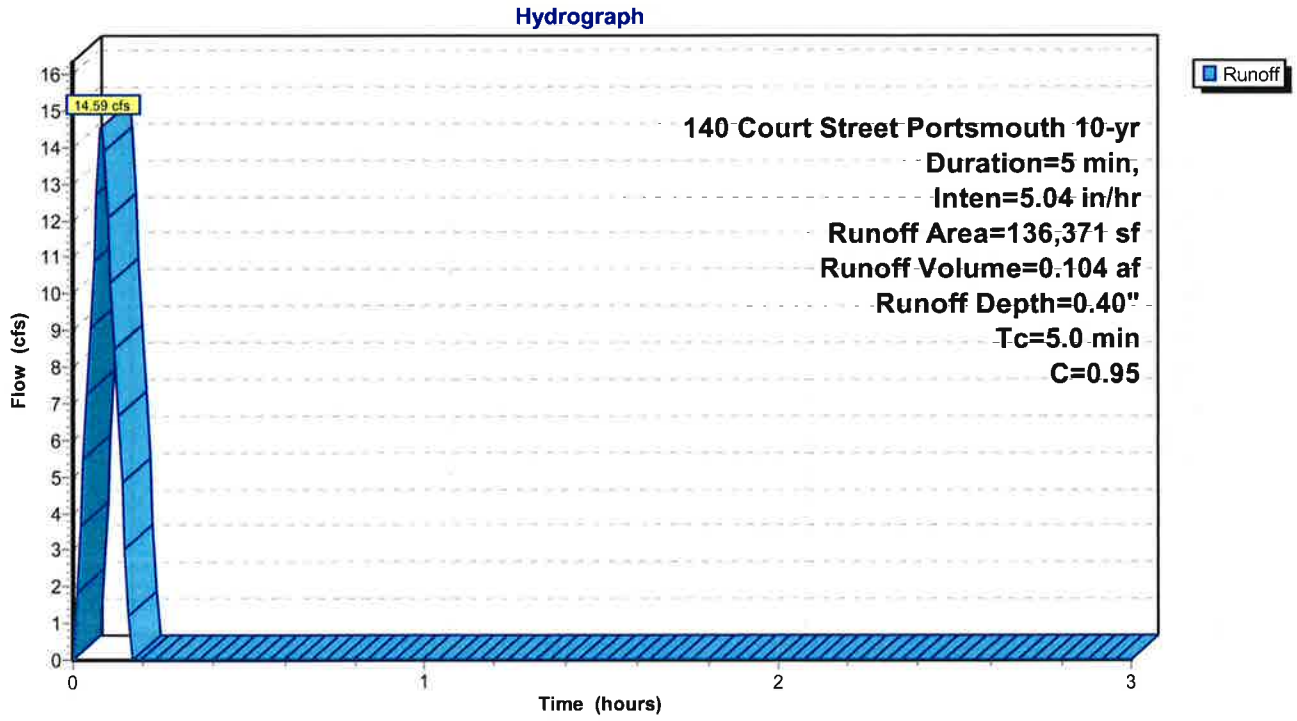
Runoff = 14.59 cfs @ 0.08 hrs, Volume= 0.104 af, Depth= 0.40"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
140 Court Street Portsmouth 10-yr Duration=5 min, Inten=5.04 in/hr

Area (sf)	C	Description
136,371	0.95	
136,371		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					**Direct Entry,**

Subcatchment Pre 2: Penhallow Subcat Pre-Dev



Summary for Pond 18P: 24" Pipe

[57] Hint: Peaked at 21.67' (Flood elevation advised)

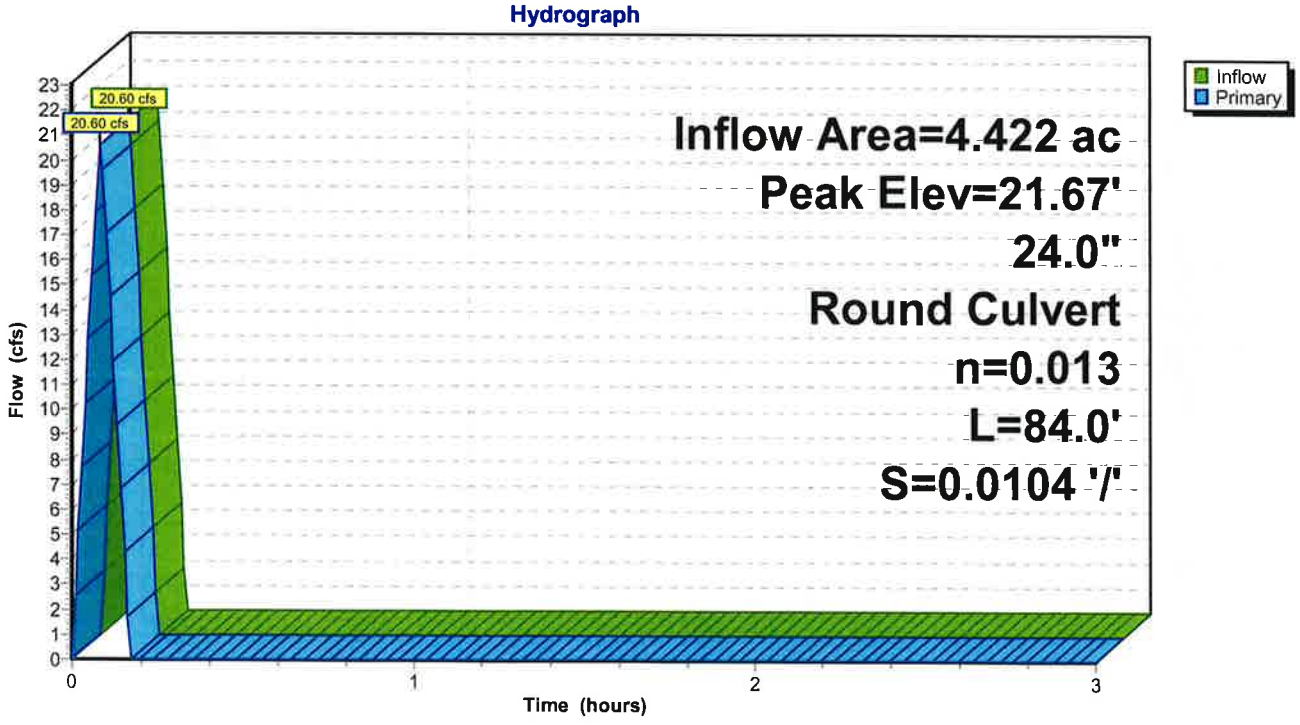
Inflow Area =	4.422 ac,100.00% Impervious, Inflow Depth =	0.40"	for	10-yr event
Inflow =	20.60 cfs @	0.08 hrs, Volume=	0.147 af	
Outflow =	20.60 cfs @	0.08 hrs, Volume=	0.147 af, Atten= 0%, Lag= 0.0 min	
Primary =	20.60 cfs @	0.08 hrs, Volume=	0.147 af	

Routing by Dyn-Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Peak Elev= 21.67' @ 0.08 hrs

Device	Routing	Invert	Outlet Devices
#1	Primary	17.66'	**24.0" Round Culvert** L= 84.0' CPP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 17.66' / 16.79' S= 0.0104 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 3.14 sf

Primary OutFlow Max=19.95 cfs @ 0.08 hrs HW=21.59' TW=18.79' (Dynamic Tailwater)
↑**1=Culvert** (Inlet Controls 19.95 cfs @ 6.35 fps)

Pond 18P: 24" Pipe



Summary for Pond 22P: 36" Pipe

[57] Hint: Peaked at 18.83' (Flood elevation advised)

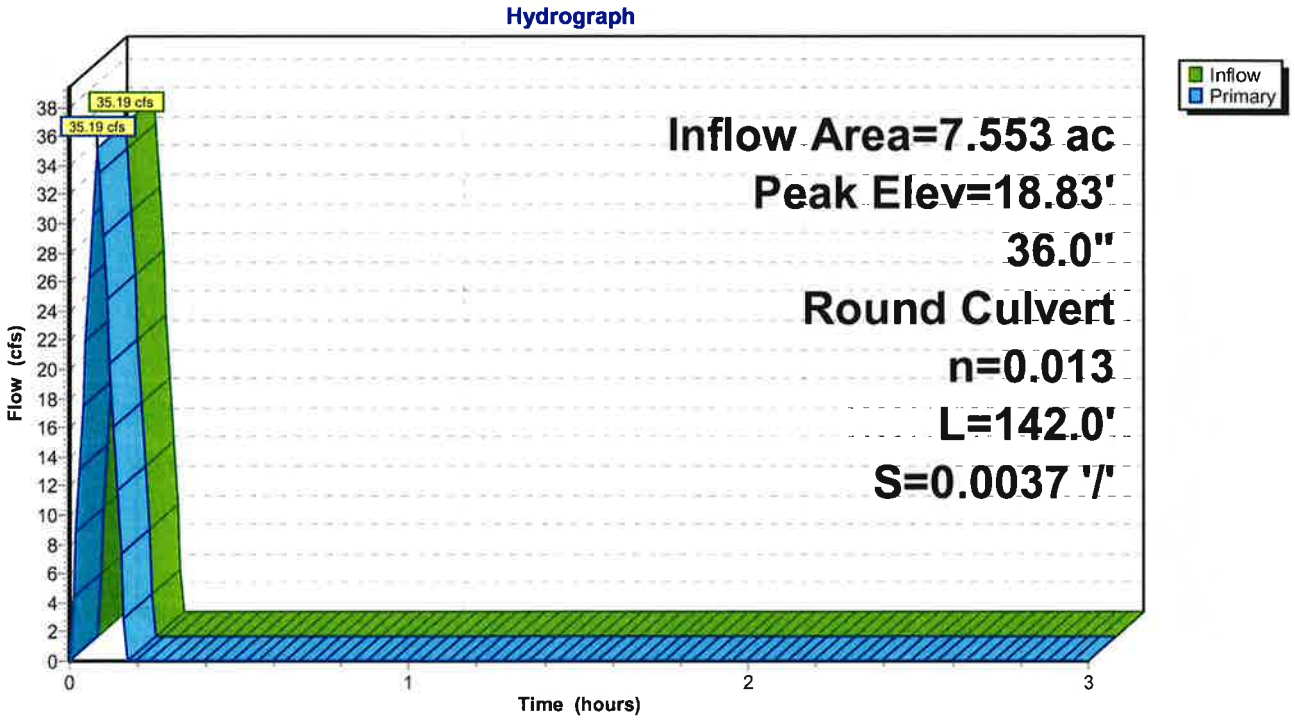
Inflow Area =	7.553 ac,100.00% Impervious,	Inflow Depth =	0.40"	for	10-yr event
Inflow =	35.19 cfs @	0.08 hrs, Volume=	0.251 af		
Outflow =	35.19 cfs @	0.08 hrs, Volume=	0.251 af,	Atten= 0%,	Lag= 0.0 min
Primary =	35.19 cfs @	0.08 hrs, Volume=	0.251 af		

Routing by Dyn-Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Peak Elev= 18.83' @ 0.08 hrs

Device	Routing	Invert	Outlet Devices
#1	Primary	15.56'	**36.0" Round Culvert** L= 142.0' CPP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 15.56' / 15.03' S= 0.0037 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 7.07 sf

Primary OutFlow Max=34.65 cfs @ 0.08 hrs HW=18.79' (Free Discharge)
1=Culvert (Barrel Controls 34.65 cfs @ 5.66 fps)

Pond 22P: 36" Pipe



Summary for Pond 23P: 24" Pipe

[57] Hint: Peaked at 21.82' (Flood elevation advised)

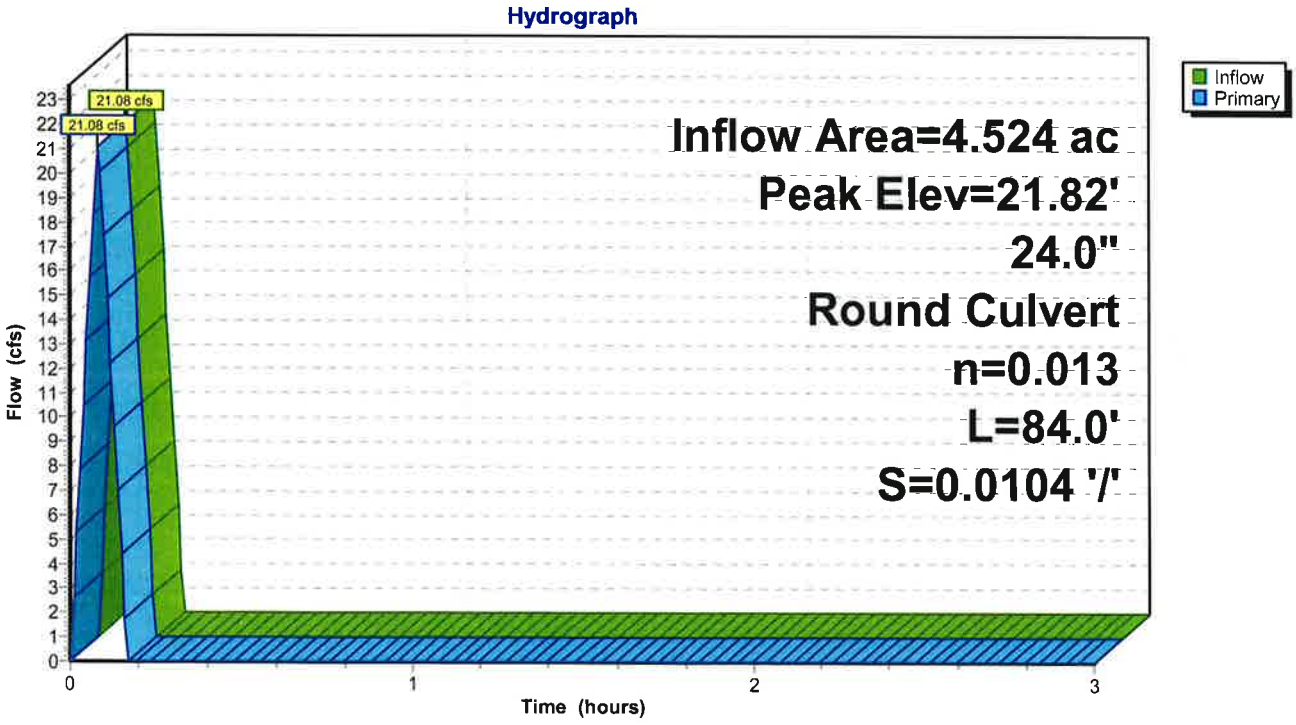
Inflow Area =	4.524 ac,100.00% Impervious,	Inflow Depth =	0.40"	for 10-yr event
Inflow =	21.08 cfs @	0.08 hrs, Volume=	0.150 af	
Outflow =	21.08 cfs @	0.08 hrs, Volume=	0.150 af,	Atten= 0%, Lag= 0.0 min
Primary =	21.08 cfs @	0.08 hrs, Volume=	0.150 af	

Routing by Dyn-Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Peak Elev= 21.82' @ 0.08 hrs

Device	Routing	Invert	Outlet Devices
#1	Primary	17.66'	**24.0" Round Culvert** L= 84.0' CPP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 17.66' / 16.79' S= 0.0104 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 3.14 sf

Primary OutFlow Max=20.34 cfs @ 0.08 hrs HW=21.73' TW=18.83' (Dynamic Tailwater)
↑—**1=Culvert** (Inlet Controls 20.34 cfs @ 6.47 fps)

Pond 23P: 24" Pipe



Summary for Pond 24P: 36" Pipe

[57] Hint: Peaked at 18.87' (Flood elevation advised)

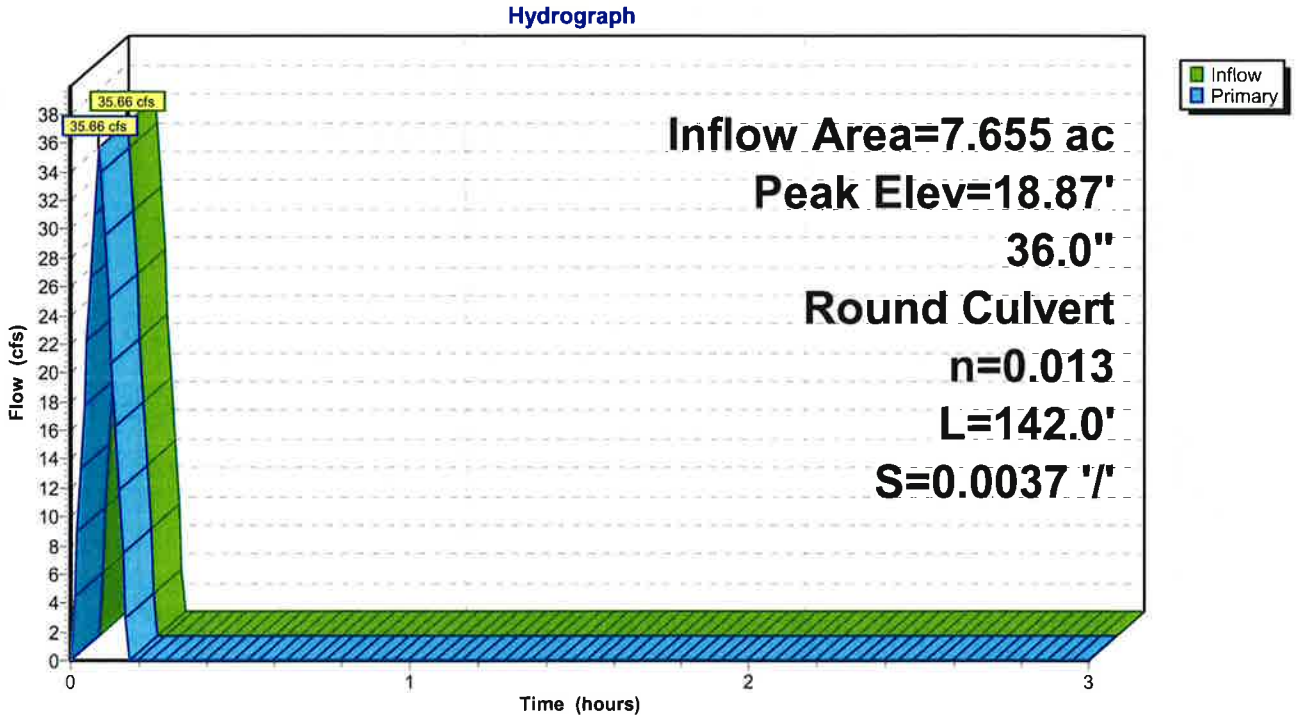
Inflow Area =	7.655 ac,100.00% Impervious,	Inflow Depth =	0.40"	for 10-yr event
Inflow =	35.66 cfs @	0.08 hrs, Volume=	0.254 af	
Outflow =	35.66 cfs @	0.08 hrs, Volume=	0.254 af,	Atten= 0%, Lag= 0.0 min
Primary =	35.66 cfs @	0.08 hrs, Volume=	0.254 af	

Routing by Dyn-Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
Peak Elev= 18.87' @ 0.08 hrs

Device	Routing	Invert	Outlet Devices
#1	Primary	15.56'	**36.0" Round Culvert** L= 142.0' CPP, projecting, no headwall, Ke= 0.900 Inlet / Outlet Invert= 15.56' / 15.03' S= 0.0037 '/' Cc= 0.900 n= 0.013 Corrugated PE, smooth interior, Flow Area= 7.07 sf

Primary OutFlow Max=35.12 cfs @ 0.08 hrs HW=18.83' (Free Discharge)
1=Culvert (Barrel Controls 35.12 cfs @ 5.68 fps)

Pond 24P: 36" Pipe



LEGEND

EXISTING	PROPOSED	
D	D	STORM DRAIN
X X	X X	SILT FENCE
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		EDGE OF PAVEMENT (EP)
		SUBCATCHMENT LINE
6	600	SUBCATCHMENT NUMBER
1234	1234	AREA IN SQUARE FEET
WOODS	WOODS	DESCRIPTION OF COVER
6	600	POND (DESIGN MODEL)
6	600	REACH (DESIGN MODEL)
		DRAINAGE VECTOR
		EDGE OF WOODS / TREES
CB	CB	CATCH BASIN
DMH	DMH	DRAIN MANHOLE
W	W	WELL
EL.	EL.	ELEVATION
EP	EP	EDGE OF PAVEMENT
FF	FF	FINISHED FLOOR
INV	INV	INVERT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL
		Tc PATH
HSG	HSG	HYDROLGIC SOIL GROUP
SF	SF	SHEET FLOW
SCF	SCF	SHALLOW CONCENTRATED FLOW
CHANNEL	CHANNEL	CHANNEL FLOW

GRAPHIC SCALE

40 30 20 10 0 50 100 150 FEET
10 5 0 10 20 30 40 50 METERS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCELS ARE SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 27 & 31.

2) OWNER OF RECORD:
JARBEL REALTY, LLC
PO BOX 1374
CONCORD, NH 03302
5715/2106
C-7121 & C-8101

PREPARED FOR:
McNABB PROPERTIES, LTD.
30 PENHALLOW STREET, SUITE 300 EAST
PORTSMOUTH, NH 03801

3) ASSESSOR'S MAP 107 LOT 27 IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. ASSESSOR'S MAP 107 LOT 31 IS LOCATED IN THE CHARACTER DISTRICT 5 (CD5) ZONING DISTRICT. BOTH PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC DISTRICT.

4) THE PURPOSE OF THIS PLAN IS TO SHOW THE PRE VS. POST FLOW COMPARISON WHEN REMOVING FLOW FROM THE COMBINED SEWER, ADDING IN ROOFTOP DRAINAGE AND SENDING TO MUNICIPAL STORMWATER SYSTEM.

5) THIS PLAN IS INTENDED FOR RUNOFF ANALYSIS ONLY AND SHALL NOT BE USED FOR CONSTRUCTION.

6) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

7) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

8) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

BRICK MARKET
3 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	7/15/19

REVISIONS

STATE OF NEW HAMPSHIRE - JOSEPH L. MULLEDY No. 11602 LICENSED PROFESSIONAL ENGINEER

SCALE: 1" = 40'

PLAN OF SUBCATCHMENTS

W1

AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS
200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

15 July 2019

Juliet Walker, Planning Director
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for Site Plan Approval for Site Redevelopment at 3 Pleasant Street, Tax Map 107 / Lot 31: The Brick Market

Dear Ms. Walker:

On behalf of McNabb Properties, LTD we hereby submit a request for TAC Approval at 3 Pleasant Street. The project team met with the Technical Advisory Committee on June 4, 2019 at a Workshop to review the proposal. Comments from the workshop have been incorporated in to the site design. Please place us on the agenda for the July 30, 2019 TAC Meeting. Submitted herewith please find the following items:

- Site Plan Set: Site Redevelopment Brick Market, 3 Pleasant Street, Site Permit Plans
- Drainage Analysis, Site Redevelopment, 3 Pleasant Street
- Site Plan Checklist
- Supplemental Materials

We are available to meet with you or City Staff should you have any questions or concerns about this submission.

Sincerely,

John R. Chagnon, PE

CC: Project Team (via email submission)

3 June, 2019

To Whom It May Concern

RE: Client Representation for a proposed Site Plan for Dagny Taggart (McNabb Properties, Applicant) at 3 Pleasant Street, Portsmouth, NH

This letter is to inform the City of Portsmouth, NHDES, and other parties in accordance with State Law that Ambit Engineering is authorized to represent the above-mentioned property as my agent in the approval process. This includes signatory powers on any and all applications.

Please feel free to call me if there is any question regarding this authorization.

Sincerely,

Mark McNabb
Dagny Taggart, LLC; McNabb Properties, LLC

30 Penhallow Street
Suite 300 East
Portsmouth, NH
03801

City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Owner/Applicant: Dagny Taggart, LLC/McNabb Properties, LTD Date Submitted: 7-15-2019

Phone Number: Applicant: 603-427-0725 E-mail: christine@mcnabbgroup.com

Site Address: 3 Pleasant Street Map: 107 Lot: 31

Zoning District: Character District 5 (CD5) Lot area: 8,867 sq. ft.

Application Requirements			
☑	**Required Items for Submittal**	**Item Location (e.g. Page or Plan Sheet/Note #)**	**Waiver Requested**
☑	Fully executed and signed Application form. **(2.5.2.3)**		N/A
☑	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). **(2.5.2.8)**		N/A

Site Plan Review Application Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Statement that lists and describes "green" building components and systems. **(2.5.3.1A)**	See attached	
☑	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. **(2.5.3.1B)**	See Sheet C3	N/A
☑	Tax map and lot number, and current zoning of all parcels under Site Plan Review. **(2.5.3.1C)**	See Sheet C1	N/A
☑	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. **(2.5.3.1D)**	See Cover Sheet	N/A

Site Plan Review Application Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. **(2.5.3.1E)**	See Standard Boundary Survey	N/A
☑	Names, addresses and telephone numbers of all professionals involved in the site plan design. **(2.5.3.1F)**	See Cover Sheet	N/A
☑	List of reference plans. **(2.5.3.1G)**	See Standard Boundary Survey	N/A
☑	List of names and contact information of all public or private utilities servicing the site. **(2.5.3.1H)**	See Cover Sheet	N/A

Site Plan Specifications			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. **(2.5.4.1A)**	Required on all plan sheets	N/A
☑	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. **(2.5.4.1B)**	Required on all plan sheets	N/A
☑	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. **(2.5.4.1C)**		N/A
☑	Plans shall be drawn to scale. **(2.5.4.1D)**	Required on all plan sheets	N/A
☑	Plans shall be prepared and stamped by a NH licensed civil engineer. **(2.5.4.1D)**		N/A
☑	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. **(2.5.4.1E)**		N/A
☑	Title (name of development project), north point, scale, legend. **(2.5.4.2A)**		N/A
☑	Date plans first submitted, date and explanation of revisions. **(2.5.4.2B)**		N/A
☑	Individual plan sheet title that clearly describes the information that is displayed. **(2.5.4.2C)**	Required on all plan sheets	N/A
☑	Source and date of data displayed on the plan. **(2.5.4.2D)**		N/A

Site Plan Specifications			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." **(2.5.4.2E)**	Cover Sheet, C3 Site Plan	N/A
☑	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." **(2.13.3)**	Sheet C3 Site Plan	N/A
☑	Plan sheets showing landscaping and screening shall also include the following additional notes: a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." **(2.13.4)**	See Sheet L1	N/A

Site Plan Specifications – Required Exhibits and Data			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
	1. Existing Conditions: (2.5.4.3A)		
☑	a. Surveyed plan of site showing existing natural and built features;	C1	
☑	b. Zoning boundaries;	Cover Sheet	
☑	c. Dimensional Regulations;	C3 Zoning Development	
☑	d. Wetland delineation, wetland function and value assessment;	Impervious Lot Down town	
☑	e. SFHA, 100-year flood elevation line and BFE data.	Note 3, C1	
	2. Buildings and Structures: (2.5.4.3B)		
☑	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	A1.1 & A1.2	
☑	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	A1.1 & A1.2	
☑	c. Total Floor Area;	A1.2 & A1.2	
☑	d. Number of Usable Floors;	A1.1 & A1.2	
☑	e. Gross floor area by floor and use.	A1.1 & A1.2	
	3. Access and Circulation: (2.5.4.3C)		
☑	a. Location/width of access ways within site;	C3	
☑	b. Location of curbing, right of ways, edge of pavement and sidewalks;	C3	
☑	c. Location, type, size and design of traffic signing (pavement markings);	C3	
☑	d. Names/layout of existing abutting streets;	Cover Sheet	
☑	e. Driveway curb cuts for abutting prop. and public roads;	C3	
☑	f. If subdivision; Names of all roads, right of way lines and easements noted;	NA	
☑	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	NA	
	4. Parking and Loading: (2.5.4.3D)		
☑	a. Location of off street parking/loading areas, landscaped areas/buffers;	C3	
☑	b. Parking Calculations (# required and the # provided).	DOD NA	
	5. Water Infrastructure: (2.5.4.3E)		
☑	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	C4	
☑	b. Location of wells and monitoring wells (include protective radii).	NA	
	6. Sewer Infrastructure: (2.5.4.3F)		
☑	a. Size, type and location of sanitary sewage facilities & Engineering data.	C4	
	7. Utilities: (2.5.4.3G)		
☑	a. The size, type and location of all above & below ground utilities;	C4	
☑	b. Size type and location of generator pads, transformers and other fixtures.	C4	

Site Plan Specifications – Required Exhibits and Data			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	**8. Solid Waste Facilities: (2.5.4.3H)**		
☑	a. The size, type and location of solid waste facilities.	C3	
	9. Storm water Management: (2.5.4.3I)		
☑	a. The location, elevation and layout of all storm-water drainage.	C5	
	10. Outdoor Lighting: (2.5.4.3J)		
☑	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.	LT1	
☑	**11.** Indicate where dark sky friendly lighting measures have been implemented. **(10.1)**	LT1	
	12. Landscaping: (2.5.4.3K)		
☑	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	L1	
☑	**b.** Location of any irrigation system and water source.	L1	
	13. Contours and Elevation: (2.5.4.3L)		
☑	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	C5	
	14. Open Space: (2.5.4.3M)		
☑	a. Type, extent and location of all existing/proposed open space.	C3	
☑	**15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)**	EASEMENT PLAN	
☑	**16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)**	REMOVE OFFSITE C3	
☑	**17. Character/Civic District (All following information shall be included): (2.5.4.3Q)**		
	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);	C3	
	b. Applicable Special Requirements (10.5A21.30);	C3	
	c. Proposed building form/type (10.5A43);	C3	
	d. Proposed community space (10.5A46).	C3	

Other Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Traffic Impact Study or Trip Generation Report, as required. (*Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application*) **(3.2.1-2)**	DOD NA	
☑	Indicate where Low Impact Development Design practices have been incorporated. **(7.1)**	C5	
☑	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. **(7.3.1)**	NA	
☑	Indicate where measures to minimize impervious surfaces have been implemented. **(7.4.3)**	NO CHANGE	
☑	Calculation of the maximum effective impervious surface as a percentage of the site. **(7.4.3.2)**	C3	
☑	Stormwater Management and Erosion Control Plan. (*Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application*) **(7.4.4.1)**	IN DRAINAGE ANALYSIS	

Final Site Plan Approval Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	All local approvals, permits, easements and licenses required, including but not limited to: a. Waivers; NA b. Driveway permits; NA c. Special exceptions; NA d. Variances granted; Height Variance to be submitted e. Easements; Building Restriction Easement f. Licenses. NA **(2.5.3.2A)**		
☑	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: a. Calculations relating to stormwater runoff; b. Information on composition and quantity of water demand and wastewater generated; c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; d. Estimates of traffic generation and counts pre- and post-construction; e. Estimates of noise generation; f. A Stormwater Management and Erosion Control Plan; g. Endangered species and archaeological / historical studies; h. Wetland and water body (coastal and inland) delineations; i. Environmental impact studies. **(2.5.3.2B)**	Drainage Analysis C3 C3 NA DOD Overlay See Drainage Analysis NA NA NA	

Final Site Plan Approval Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. **(2.5.3.2D)**	Existing Services	
☑	A list of any required state and federal permit applications required for the project and the status of same. **(2.5.3.2E)**	NA	

Applicant's Signature: _____ **Date:** 7-15-19

Construction Cost Estimate

Ambit Engineering

Date: July 15, 2019

Project: McNabb Properties - 3 Pleasant Street Job No: 3039

Location: 3 Pleasant Street, Portsmouth, NH

Scope: **Site Cost Estimate**

ITEM NO.	DESCRIPTION	UNIT	AMOUNT	UNIT COST	TOTAL
1	8" PVC Sewer	LF	230	$80.00	$18,400.00
2	12" - 24" HDPE Pipe	LF	240	$100.00	$24,000.00
3	4' Catch Basin	EA	2	$4,125.00	$8,250.00
4	4' DMH	EA	2	$4,000.00	$8,000.00
5	4' SMH	EA	4	$4,000.00	$16,000.00
6	Common Excavation	CY	800	$25.00	$20,000.00
7	2 1/2 " Base Course	TON	12	$100.00	$1,200.00
8	1 1/2 " Wearing Course	TON	7.2	$100.00	$720.00
9	Roadbed Excavation	CY	30	$20.00	$600.00
10	Electrical Conduit (5")	LF	36	$55.00	$1,980.00
11	Crushed Gravel	CY	74	$25.00	$1,850.00
12	Refuse Area Pad and Enclosure	LS	1	$6,000.00	$6,000.00
13	Brick Sidewalk	SY	796	$96.00	$76,416.00
14	Landscape Plantings	LS	1	$40,000.00	$40,000.00
15	Bluestone and Granite Edging	SF	800	$80.00	$64,000.00
16	Site Lighting Fixtures (Building Mounted)	EA	8	$3,500.00	$28,000.00
17	Concrete Stairs and Steps	EA	4	$600.00	$2,400.00
	TOTAL				**$317,816**

Note: This is an estimate of construction costs based upon various sources

APPLICATION FEE:

$500 + ($317,816 / 1000 x $5) + (7960 / 1,000 x $10)= $ 2,168.68

JSA
ARCHITECTS
INTERIORS
PLANNERS

3 PleasantStreet, Brick Market

Sustainable Strategies Summary Site Plan Review 07-15-2019

SITE

- **Prevent Erosion / Sedimentation** of neighboring waterways - Meet NH-DEP wetlands & EPA SWWPP requirements.

WATER

- **Protect water quality** – engineered storm water systems
- **Conserve Water --** Target 30% reduction in fixtures water use over building code, meeting EPACT 2005.

ENERGY & CARBON

- **Reduce Carbon Footprint:** Reusing existing building; minimize demolition. Incorporate new low-carbon, regionally sourced & recycled content materials for select interior and exterior finishes.
- **Thermal Envelope** -- Reduce Energy Use Index (EUI) over code compliance (IECC2009) by insulating and air-sealing previously uninsulated building envelope; reglazing and air-sealing existing windows; provide new interior storm windows to improve U-value and air tightness of wall/window interfaces. Use early energy modeling to analyze effective scenarios.
- **Building Systems –** The building's all new HVAC system will be comprised of high efficiency air source heat pumps. A variable volume kitchen hood and make-up air system will be utilized to match airflow requirements to accompany actual cooking activities in the kitchen. Thermal energy will be recovered from the building's environmental exhaust airstreams to pre-conditioning the incoming ventilation airstream. Incorporate high efficiency LED lighting with occupancy sensor and dimming controls.
- **Building Performance** -- Use industry tools to annually monitor and benchmark buildings. Train staff on proper building operation with comprehensive Facilities Staff Training and Systems Manuals.
- **Reduce Low level ozone** (smog) -- Use only low-VOC products for construction and operation.

MATERIALS & RESOURCES

- **Minimize waste** (during construction and operation)
- **Use regional materials**

INDOOR ENVIRONMENTAL QUALITY

- **Thermal comfort** -- Meet ASHRAE 55 Thermal Comfort Code. Address thermal envelope per above. Provide multiple zones of heating and cooling in each apartment.
- **Indoor air quality** (before and during occupancy) -- MEET ASHRAE 62 Ventilation Code in all occupied spaces. MEET LEED IEQ credit requirements.
- **Views / connection to outdoors** -- Provide views to outdoors for every regularly occupied space.
- **Daylighting** -- Achieve Daylight Factor of 2% minimum for every regularly occupied space.
- **Individual controls** (light, heat etc…) -- Provide individual controls for temperature and lighting.

AREA PROGRAM
Mixed Use Commercial Building Renovation & Additions
3 Pleasant Street, McNabb Properties

07/15/19

Room Name:	**total Area sf**
Net Total:	**17,118**
Circulation & support (25%)	4,279
4th floor short story	2,483
3rd floor	4,720
2nd floor	4,720
1st floor	4,726
basement	4,748
GROSS TOTAL	**21,397**

City of Portsmouth, New Hampshire

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Phone Number: Applicant: 603-427-0725 E-mail: christine@mcnabbgroup.com

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Zoning District: Character District 5 (CD5) Lot area: 8,867 sq. ft.

Application Requirements			
☑	**Required Items for Submittal**	**Item Location (e.g. Page or Plan Sheet/Note #)**	**Waiver Requested**
☑	Fully executed and signed Application form. **(2.5.2.3)**		N/A
☑	All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF). **(2.5.2.8)**		N/A

Site Plan Review Application Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Statement that lists and describes "green" building components and systems. **(2.5.3.1A)**	See attached	
☑	Gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. **(2.5.3.1B)**	See Sheet C3	N/A
☑	Tax map and lot number, and current zoning of all parcels under Site Plan Review. **(2.5.3.1C)**	See Sheet C1	N/A
☑	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. **(2.5.3.1D)**	See Cover Sheet	N/A

Site Plan Review Application Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. **(2.5.3.1E)**	See Standard Boundary Survey	N/A
☑	Names, addresses and telephone numbers of all professionals involved in the site plan design. **(2.5.3.1F)**	See Cover Sheet	N/A
☑	List of reference plans. **(2.5.3.1G)**	See Standard Boundary Survey	N/A
☑	List of names and contact information of all public or private utilities servicing the site. **(2.5.3.1H)**	See Cover Sheet	N/A

Site Plan Specifications			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director. Submittals shall be a minimum of 11 inches by 17 inches as specified by Planning Dept. staff. **(2.5.4.1A)**	Required on all plan sheets	N/A
☑	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. **(2.5.4.1B)**	Required on all plan sheets	N/A
☑	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. **(2.5.4.1C)**		N/A
☑	Plans shall be drawn to scale. **(2.5.4.1D)**	Required on all plan sheets	N/A
☑	Plans shall be prepared and stamped by a NH licensed civil engineer. **(2.5.4.1D)**		N/A
☑	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. **(2.5.4.1E)**		N/A
☑	Title (name of development project), north point, scale, legend. **(2.5.4.2A)**		N/A
☑	Date plans first submitted, date and explanation of revisions. **(2.5.4.2B)**		N/A
☑	Individual plan sheet title that clearly describes the information that is displayed. **(2.5.4.2C)**	Required on all plan sheets	N/A
☑	Source and date of data displayed on the plan. **(2.5.4.2D)**		N/A

Site Plan Specifications			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." **(2.5.4.2E)**	Cover Sheet, C3 Site Plan	N/A
☑	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." **(2.13.3)**	Sheet C3 Site Plan	N/A
☑	Plan sheets showing landscaping and screening shall also include the following additional notes: a. "The property owner and all future property owners shall be responsible for the maintenance, repair and replacement of all required screening and landscape materials." b. "All required plant materials shall be tended and maintained in a healthy growing condition, replaced when necessary, and kept free of refuse and debris. All required fences and walls shall be maintained in good repair." c. "The property owner shall be responsible to remove and replace dead or diseased plant materials immediately with the same type, size and quantity of plant materials as originally installed, unless alternative plantings are requested, justified and approved by the Planning Board or Planning Director." **(2.13.4)**	See Sheet L1	N/A

Site Plan Specifications – Required Exhibits and Data			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
	1. Existing Conditions: (2.5.4.3A)		
☑	a. Surveyed plan of site showing existing natural and built features;	C1	
☑	b. Zoning boundaries;	Cover Sheet	
☑	c. Dimensional Regulations;	C3 Zoning Development	
☑	d. Wetland delineation, wetland function and value assessment;	Impervious Lot Down town	
☑	e. SFHA, 100-year flood elevation line and BFE data.	Note 3, C1	
	2. Buildings and Structures: (2.5.4.3B)		
☑	a. Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation;	A1.1 & A1.2	
☑	b. Elevations: Height, massing, placement, materials, lighting, façade treatments;	A1.1 & A1.2	
☑	c. Total Floor Area;	A1.2 & A1.2	
☑	d. Number of Usable Floors;	A1.1 & A1.2	
☑	e. Gross floor area by floor and use.	A1.1 & A1.2	
	3. Access and Circulation: (2.5.4.3C)		
☑	a. Location/width of access ways within site;	C3	
☑	b. Location of curbing, right of ways, edge of pavement and sidewalks;	C3	
☑	c. Location, type, size and design of traffic signing (pavement markings);	C3	
☑	d. Names/layout of existing abutting streets;	Cover Sheet	
☑	e. Driveway curb cuts for abutting prop. and public roads;	C3	
☑	f. If subdivision; Names of all roads, right of way lines and easements noted;	NA	
☑	g. AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	NA	
	4. Parking and Loading: (2.5.4.3D)		
☑	a. Location of off street parking/loading areas, landscaped areas/buffers;	C3	
☑	b. Parking Calculations (# required and the # provided).	DOD NA	
	5. Water Infrastructure: (2.5.4.3E)		
☑	a. Size, type and location of water mains, shut-offs, hydrants & Engineering data;	C4	
☑	b. Location of wells and monitoring wells (include protective radii).	NA	
	6. Sewer Infrastructure: (2.5.4.3F)		
☑	a. Size, type and location of sanitary sewage facilities & Engineering data.	C4	
	7. Utilities: (2.5.4.3G)		
☑	a. The size, type and location of all above & below ground utilities;	C4	
☑	b. Size type and location of generator pads, transformers and other fixtures.	C4	

Site Plan Specifications – Required Exhibits and Data			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	**8. Solid Waste Facilities: (2.5.4.3H)**		
☑	a. The size, type and location of solid waste facilities.	C3	
	9. Storm water Management: (2.5.4.3I)		
☑	a. The location, elevation and layout of all storm-water drainage.	C5	
	10. Outdoor Lighting: (2.5.4.3J)		
☑	a. Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and; b. photometric plan.	LT1	
☑	**11.** Indicate where dark sky friendly lighting measures have been implemented. **(10.1)**	LT1	
	12. Landscaping: (2.5.4.3K)		
☑	a. Identify all undisturbed area, existing vegetation and that which is to be retained;	L1	
☑	**b.** Location of any irrigation system and water source.	L1	
	13. Contours and Elevation: (2.5.4.3L)		
☑	a. Existing/Proposed contours (2 foot minimum) and finished grade elevations.	C5	
	14. Open Space: (2.5.4.3M)		
☑	a. Type, extent and location of all existing/proposed open space.	C3	
☑	**15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)**	EASEMENT PLAN	
☑	**16. Location of snow storage areas and/or off-site snow removal. (2.5.4.3O)**	REMOVE OFFSITE C3	
☑	**17. Character/Civic District (All following information shall be included): (2.5.4.3Q)**		
	a. Applicable Building Height (10.5A21.20 & 10.5A43.30);	C3	
	b. Applicable Special Requirements (10.5A21.30);	C3	
	c. Proposed building form/type (10.5A43);	C3	
	d. Proposed community space (10.5A46).	C3	

Other Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	Traffic Impact Study or Trip Generation Report, as required. (*Four (4) hardcopies of the full study/report and Six (6) summaries to be submitted with the Site Plan Application*) **(3.2.1-2)**	DOD NA	
☑	Indicate where Low Impact Development Design practices have been incorporated. **(7.1)**	C5	
☑	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. **(7.3.1)**	NA	
☑	Indicate where measures to minimize impervious surfaces have been implemented. **(7.4.3)**	NO CHANGE	
☑	Calculation of the maximum effective impervious surface as a percentage of the site. **(7.4.3.2)**	C3	
☑	Stormwater Management and Erosion Control Plan. (*Four (4) hardcopies of the full plan/report and Six (6) summaries to be submitted with the Site Plan Application*) **(7.4.4.1)**	IN DRAINAGE ANALYSIS	

Final Site Plan Approval Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	All local approvals, permits, easements and licenses required, including but not limited to: a. Waivers; NA b. Driveway permits; NA c. Special exceptions; NA d. Variances granted; Height Variance to be submitted e. Easements; Building Restriction Easement f. Licenses. NA **(2.5.3.2A)**		
☑	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: a. Calculations relating to stormwater runoff; b. Information on composition and quantity of water demand and wastewater generated; c. Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; d. Estimates of traffic generation and counts pre- and post-construction; e. Estimates of noise generation; f. A Stormwater Management and Erosion Control Plan; g. Endangered species and archaeological / historical studies; h. Wetland and water body (coastal and inland) delineations; i. Environmental impact studies. **(2.5.3.2B)**	Drainage Analysis C3 C3 NA DOD Overlay See Drainage Analysis NA NA NA	

Final Site Plan Approval Required Information			
☑	**Required Items for Submittal**	**Item Location (e.g. Page/line or Plan Sheet/Note #)**	**Waiver Requested**
☑	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. **(2.5.3.2D)**	Existing Services	
☑	A list of any required state and federal permit applications required for the project and the status of same. **(2.5.3.2E)**	NA	

Applicant's Signature: _____ **Date:** 7-15-19