HALEY WARD
200 Griffin Road, Unit 14, Portsmouth, NH 03801
Phone (603) 430-9282

2 September 2025

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: TAC Workshop Request for Site Plan Review at 84 Pleasant Street and 266 – 278 State Street, Floros Building, Redevelopment Site Plan

Dear Mr. Stith and Technical Advisory Committee Members:

On behalf of the PNF Trust of 2013 and 282 Middle Street, LLC, we are pleased to submit the attached plan set for **Technical Advisory Committee (TAC) Workshop Consultation** for the above-mentioned project at your **September 9, 2025 TAC Meeting**. The project includes building construction and remodeling on Tax Map 107 Lots 77 – 80 with the associated and required site improvements. The proposal includes merging these four lots into one development parcel. On May 28, 2019 the Portsmouth Zoning Board of Adjustment (ZBA) granted dimensional variances for the proposed project, and on August 6, 2025 the Historic District Commission (HDC) granted approval for the architectural design.

The site was the scene of a devastating fire in 2017 destroying the structure(s) at the corner of State Street and Pleasant Street. This area of the lot is currently filled with gravel as the site awaits new building approval. We seek TAC input for the project under the TAC Workshop process prior to the submission of our application for Site Plan Approval. We hereby request that we be placed on the Agenda for the September 9, 2025 TAC meeting.

The proposal is for some additional site demolition and new construction, keeping the 84 Pleasant Street façade. The existing structure at 278 State Street, known as the Times Building, has been demolished and removed. The plans show a replacement structure with similar features. The project will have retail / commercial space on the first floor and residential units above. At 84 Pleasant Street there will be a reconstruction of the existing building fronting Pleasant Street and demolition of the rear half of the building, with a new addition and driveway connection on Church Street. The remodeled building and addition will have non-residential uses at the ground level, residential use above and a stepped back top story. Part of the front of the existing building parallel to Pleasant Street (sloped roof) will be removed and will be incorporated into the addition / remodeling. The residential component of the total project will include 17 dwelling units.

The project includes a basement parking level that has been designed by the applicants parking consultant, Automotion. This parking level is accessed by a driveway entrance off Court Street. The entrance leads to a car storage system at the first and basement floor levels. The car storage system will then move the car to designated storage spot. The car can later be retrieved by the resident at such time as the car is needed again. This system is designed to allow the storage of 16 vehicles. There is also a first-floor level ADA parking space, for a total of 17 parking spaces.

The following plans are included in our Plan Set submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey Plan – This plans show the existing property boundaries of all four lots in the development area (the proposed merged lot).
- License Plan – This plan shows a proposed cornice license area.
- Orthophoto Plan O1 – This plan shows an aerial view of the existing site.
- Exiting Conditions Plan C1 – This plan shows the current features of the project area and site topography.
- Demolition Plan C2 – This plan shows the portions of the existing buildings which will be demolished for the site redevelopment.
- Site Plan C3 – This plan shows the site development for the 4 lots with the associated Zoning Calculations. The site was and is proposed to be 100% impervious.
- Utility Plan C4 – This plan shows conceptual site utility connections.
- Architectural Rendering and Floor Plans - These plans show Floor Plans and Exterior Renderings.

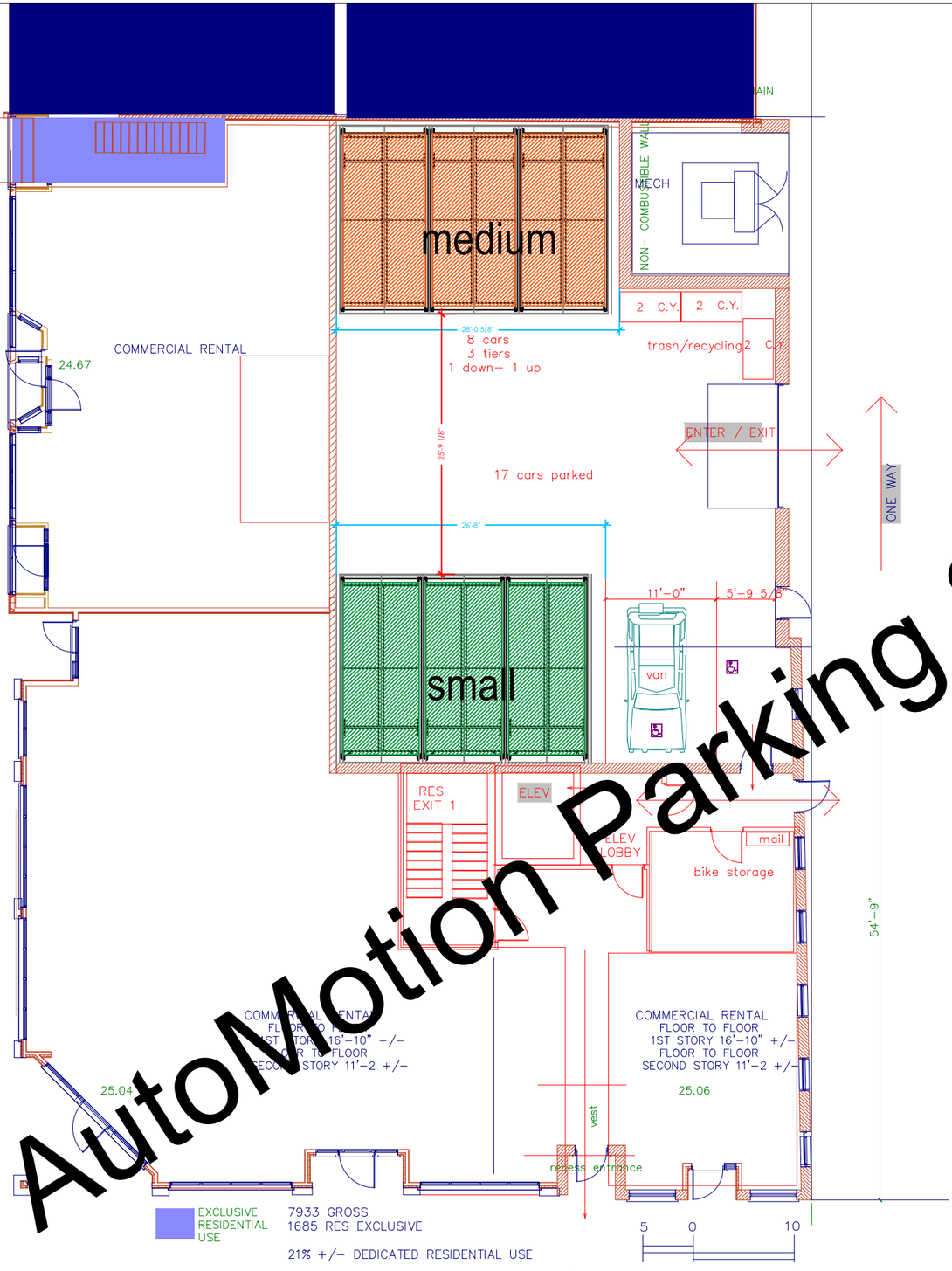
Also included is a *draft* Parking System Schematic, as well as the ZBA and HDC approval documents.

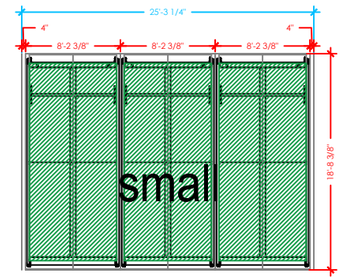
We look forward to an in-person presentation and TAC review of this submission and feedback on the proposed design. Please feel free to reach out to any of the team members if you have any questions or comments.

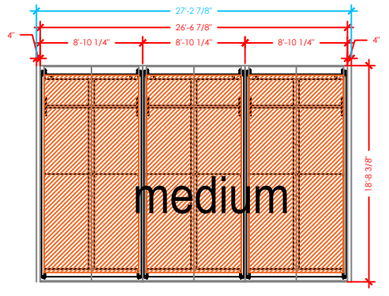
Sincerely,

John R. Chagnon, PE

P:\NH\5010129-Floros_Realty_Group\3150-State Street-JRC\2024 Site Plan\Applications\City of Portsmouth TAC Workshop\TAC Workshop Submission Letter 9-2-25.doc





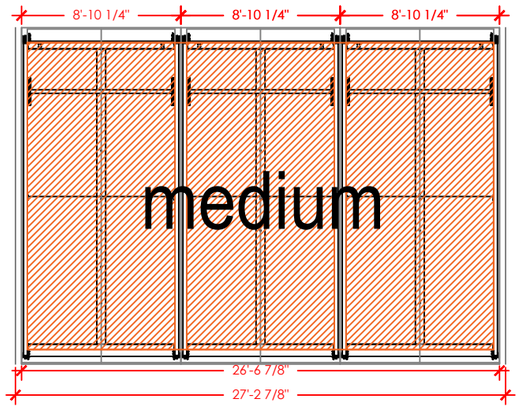


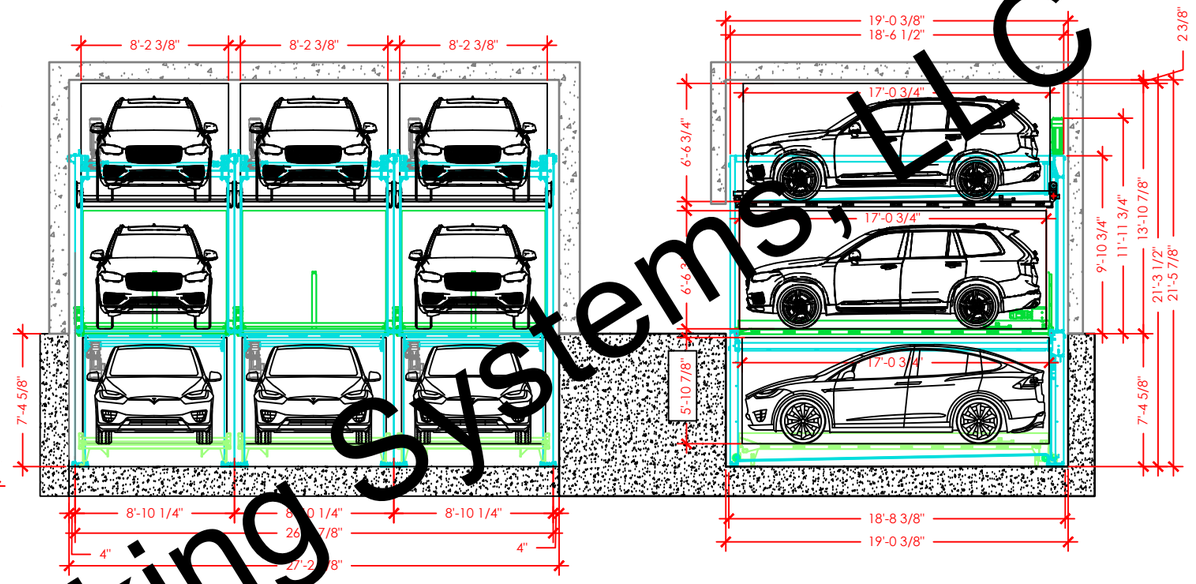
Portsmouth Project

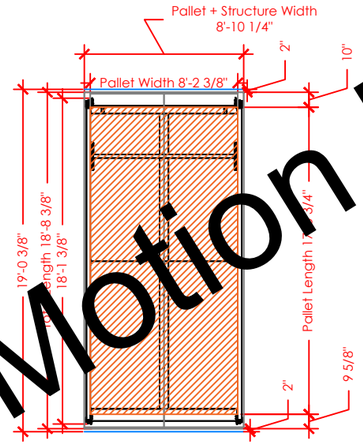
AUTOMOTION PARKING SYSTEMS

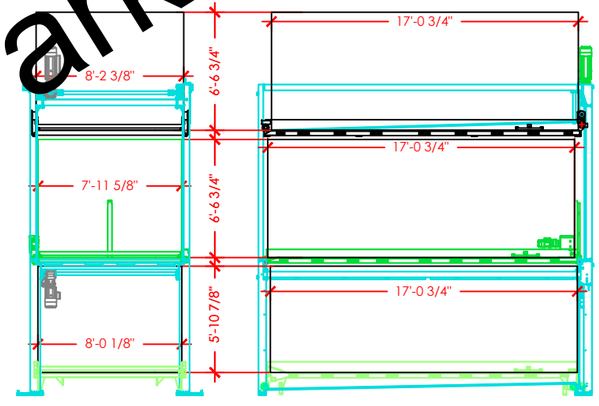
APS AUTO-CP

LAYOUT









APS AUTO-CP	
Specs (medium size)	

Portsmouth Project

AUTOMOTION PARKING SYSTEMS

CITY OF PORTSMOUTH
Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801
(603) 610-7216

ZONING BOARD OF ADJUSTMENT

November 26, 2024

PNF Trust of 2013 Peter Floros, Trustee
282 Middle Street
Portsmouth, New Hampshire 03801

RE: **Board Of Adjustment Request for Property Located at 84 Pleasant Street and 266, 270, 278 State Street, Portsmouth, NH (LU-24-195)**

Dear Property Owner:

The Zoning Board of Adjustment, at its regularly scheduled meeting of **Tuesday, November 19, 2024**, considered your application for merging the lots and constructing a four-story mixed-use building which requires the following: 1) Variance from Section 10.5A41.10.C to allow a) 98% building coverage where 90% is maximum, b) 0% open space where 10% is minimum, and c) 53% shopfront façade glazing on Pleasant Street and 52% on State Street where 70% is the minimum required; 2) Variance from Section 10.5A21.B to allow a) 55 feet of building height where 47 feet is permitted with a penthouse, b) a fourth story addition at 50 feet in height to the Church street elevation where 3 full stories and a short fourth are allowed with 45 feet maximum height permitted; 3) Variance from Section 10.642 to allow 43% ground floor residential area where 20% is maximum. Said property is shown on Assessor Map 107 Lot 77 Map 107 Lot 78, Map 107 Lot79, Map 107 Lot 80 and lies within the Character District 4 (CD4), Historic and Downtown Overlay Districts. As a result of said consideration, the Board voted to to **grant** the variances as presented and advertised **for Variance No. 1 in its entirety, Variance No. 3 in its entirety**, and **Variance 2(b)** only.

The Board voted to **deny** the request for **variance No. 2(a)** because it fails the hardship criterion as there are no special conditions of the property that drive the need for a penthouse.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning & Sustainability Department for more details about the appeals process.

Approvals may also be required from other City Commissions or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of two (2) years from the date granted unless an extension is granted in accordance with Section 10.236 of the Zoning Ordinance.

The Findings of Fact associated with this decision are available: attached here or as an attachment in the Viewpoint project record associated with this application and on the Zoning Board of Adjustment Meeting website:

https://www.cityofportsmouth.com/planportsmouth/zoning-board-adjustment/zoning-board-adjustment-archived-meetings-and-material

The minutes and audio recording of this meeting are available by contacting the Planning & Sustainability Department.

Very truly yours,

Phyllis Eldridge

Phyllis Eldridge, Chair of the Zoning Board of Adjustment

cc: Shanti Wolph, Chief Building Inspector

Rosann Maurice-Lentz, City Assessor
Chris Mulligan, Bosen & Associates, PLLC
John Chagnon, Ambit Engineering

CITY OF PORTSMOUTH
Planning & Sustainability Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801
(603) 610-7216

HISTORIC DISTRICT COMMISSION

August 27, 2025

PNF Trust of 2013 Peter Floros, Trustee
282 Middle Street
Portsmouth, New Hampshire 03801

RE: **Certificate of Approval for Property Located at 84 Pleasant Street and 266, 270, 278 State Street, Portsmouth, NH (LU-24-195) (LU-24-219)**

Dear Property Owner:

The Historic District Commission, at its regularly scheduled meeting of **August 06, 2025**, considered your application for the construction of a new 4-Story mixed-use building (266-278 State Street and the renovations of an existing structure (84 Pleasant Street) as per plans on file in the Planning & Sustainability Department. Said property is shown on Assessor Map 107 Lot 77 Map 107 Lot 78, Map 107 Lot 79, Map 107 Lot 80 and lies within the Character District 4 (CD4), Historic and Downtown Overlay Districts. As a result of said consideration, the Commission voted to **grant** the Certificate of Approval with the following stipulation:

1. The applicant shall further develop the wall on Court Street.

Findings of Fact

A. Purpose and Intent

The proposed application meets the following objective(s) of the Historic District (as provided in Section 10.631.20 of the Zoning Ordinance):

-Preserve the integrity of the District

B. Review Criteria

The proposed application also meets the following review criteria of the Historic District (as provided in Section 10.635.70 of the Zoning Ordinance):

-Compatibility of design with surrounding properties

The Commission's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Commission's decision during this appeal period shall be at the applicant's risk. Please contact the Planning & Sustainability Department for more details about the appeals process.

Approvals may also be required from other City Committees or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of one (1) year from the date granted by the Historic District Commission unless an extension is granted by the Commission in accordance with Section 10.636.70 of the Zoning Ordinance.

Please note that any changes or modifications to this application require review and approval from the Commission prior to implementation and additional fees may apply.

The minutes and audio recording of this meeting are available by contacting the Planning & Sustainability Department.

Very truly yours,

Izak Gilbo, Planner 1
for Reagan Ruedig, Chair of the Historic District Commission

cc: Shanti Wolph, Chief Building Inspector
Rosann Maurice-Lentz, City Assessor

Chris Mulligan, Bosen & Associates, PLLC
John Chagnon, Ambit Engineering

SITE REDEVELOPMENT

FLOROS BUILDING

266, 270, 278 STATE STREET
AND 84 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE PERMIT PLANS

PERMIT LIST:
PORTSMOUTH HDC: GRANTED 08/06/2025
PORTSMOUTH ZONING BOARD: GRANTED 11/19/2024
PORTSMOUTH SITE REVIEW: PENDING

OWNER/APPLICANT:
266 & 278 STATE STREET
PNF TRUST OF 2013
PETER N. FLORES TRUSTEE
282 MIDDLE STREET
PORTSMOUTH NH, 03801

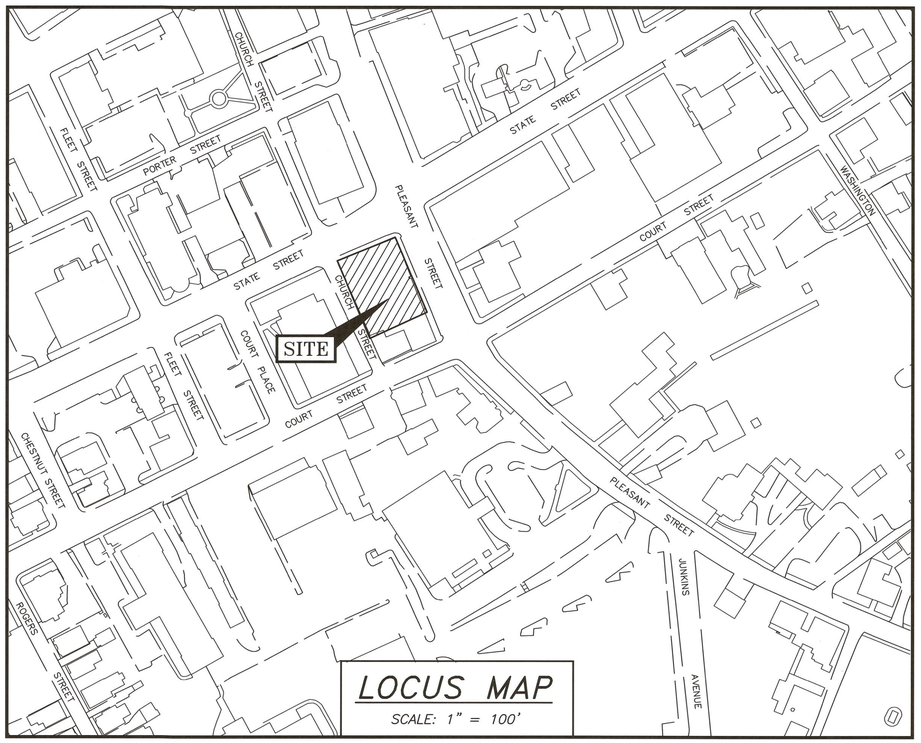
OWNERS:
270 STATE STREET
282 MIDDLE STREET LLC
282 MIDDLE STREET
PORTSMOUTH NH, 03801

84 PLEASANT STREET
PNF TRUST OF 2013
PETER N. FLORES TRUSTEE
282 MIDDLE STREET
PORTSMOUTH NH, 03801

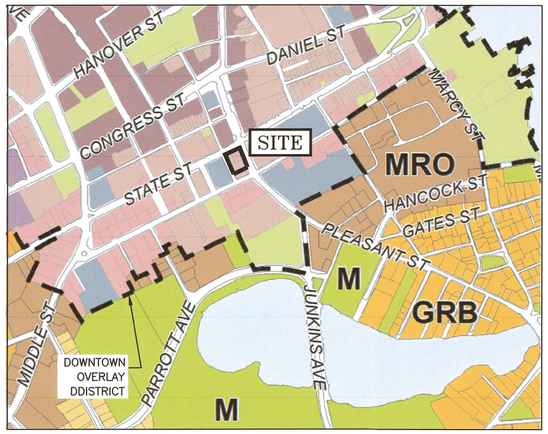
CIVIL ENGINEER & LAND SURVEYOR:
HALEY WARD
200 GRIFFIN ROAD, UNIT 14
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

ATTORNEY:
HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC
127 PARROTT AVENUE
PORTSMOUTH NH, 03801
TEL. (603) 766-9106

ARCHITECT:
MICHAEL J. KEANE ARCHITECTS, PLLC
101 KENT PLACE
NEWMARKET NH 03857-1534
TEL. (603) 292-1400



LOCUS MAP
SCALE: 1" = 100'



Map 10.5A21A
Character Districts and Civic Districts

Legend
- Downtown Overlay District
- Historic District

Character Districts
- CD5 Character District 5
- CD4 Character District 4
- CD4-W Character District 4-W
- CD4-L1 Character District 4-L1
- CD4-L2 Character District 4-L2

Civic District
- Civic District

Municipal District
- Municipal District

LEGEND:

EXISTING	PROPOSED	
		PROPERTY LINE
		SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
	UD	FOUNDATION DRAIN
		EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		UTILITY POLE
		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
		SHUT OFFS (WATER/GAS)
	GV	GATE VALVE
	HYD	HYDRANT
CB	CB	CATCH BASIN
S	SMH	SEWER MANHOLE
D	DMH	DRAIN MANHOLE
T	TMH	TELEPHONE MANHOLE
14	14	PARKING SPACE COUNT
PM		PARKING METER
LSA		LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	–	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL.	EL.	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL

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CALL TOLL FREE

INDEX OF SHEETS

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708
ATTN: NICHOLAS KOSKO X3327565

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
TEL. (603) 264-2033
ATTN: JOSH WILK

CABLE:
XFINITY BY COMCAST
180 GREENLEAF AVE.
PORTSMOUTH, N.H. 03801
Tel. (603) 266-2278
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
TEL. (603) 427-1530
ATTN: DOUG SPARKS

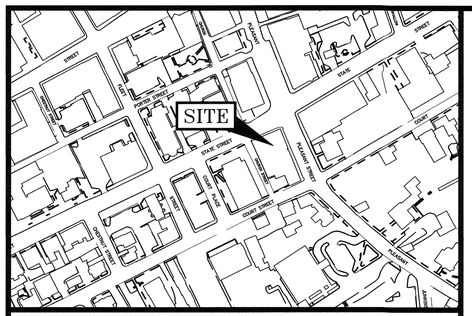
COMMUNICATIONS:
CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525
ATTN: BENJAMIN WILLS

SITE PERMIT PLANS
FLOROS BUILDING
266, 270, 278 STATE STREET
AND 84 PLEASANT STREET
PORTSMOUTH, N.H.

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 18 AUGUST 2025

5010129 3150



LOCATION MAP SCALE: 1" = 200'

PLAN REFERENCES:

1) PLAN OF PROPERTIES ON STATE & PLEASANT STREETS, PORTSMOUTH, N.H., OWNED BY FREDERICK GARDNER AND PISCATQUA BANK, 1" = 10', SEPT 10, 1919 BY WM. A. GROVER. RCRD FILE 0249.

2) PLAN OF LOTS, SMITH & TIMES BLDGS., STATE ST., PORTSMOUTH, N.H., 1IN. = 10FT., APRIL 1954 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 2806, PLAN 1-490.

3) PLAN OF LOTS NOS. 202, 206, & 222 COURT ST., 1IN. = 10FT., JAN 1974 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 682, PLAN 4318, C-4259.

4) SUBDIVISION OF LAND, PORTSMOUTH, N.H., TRADER'S BLOCK TRUST, JOSEPH G. SAWTELLE, JR., TR., 1 INCH = 10 FEET, DECEMBER 1977 BY JOHN W. DURGIN CIVIL ENGINEERS. RCRD C-7497.

5) BREWSTER INN PARTNERSHIP, SUBDIVISION OF LAND, 93 PLEASANT STREET, 1"=10'-0", 10-26-87 BY KIMBALL CHASE COMPANY, INC. RCRD 01752, D-17511.

6) LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H., 1" = 20', 23 MAR. 1990 BY SEACOAST ENGINEERING ASSOC., INC. RCRD 12203, D-20209.

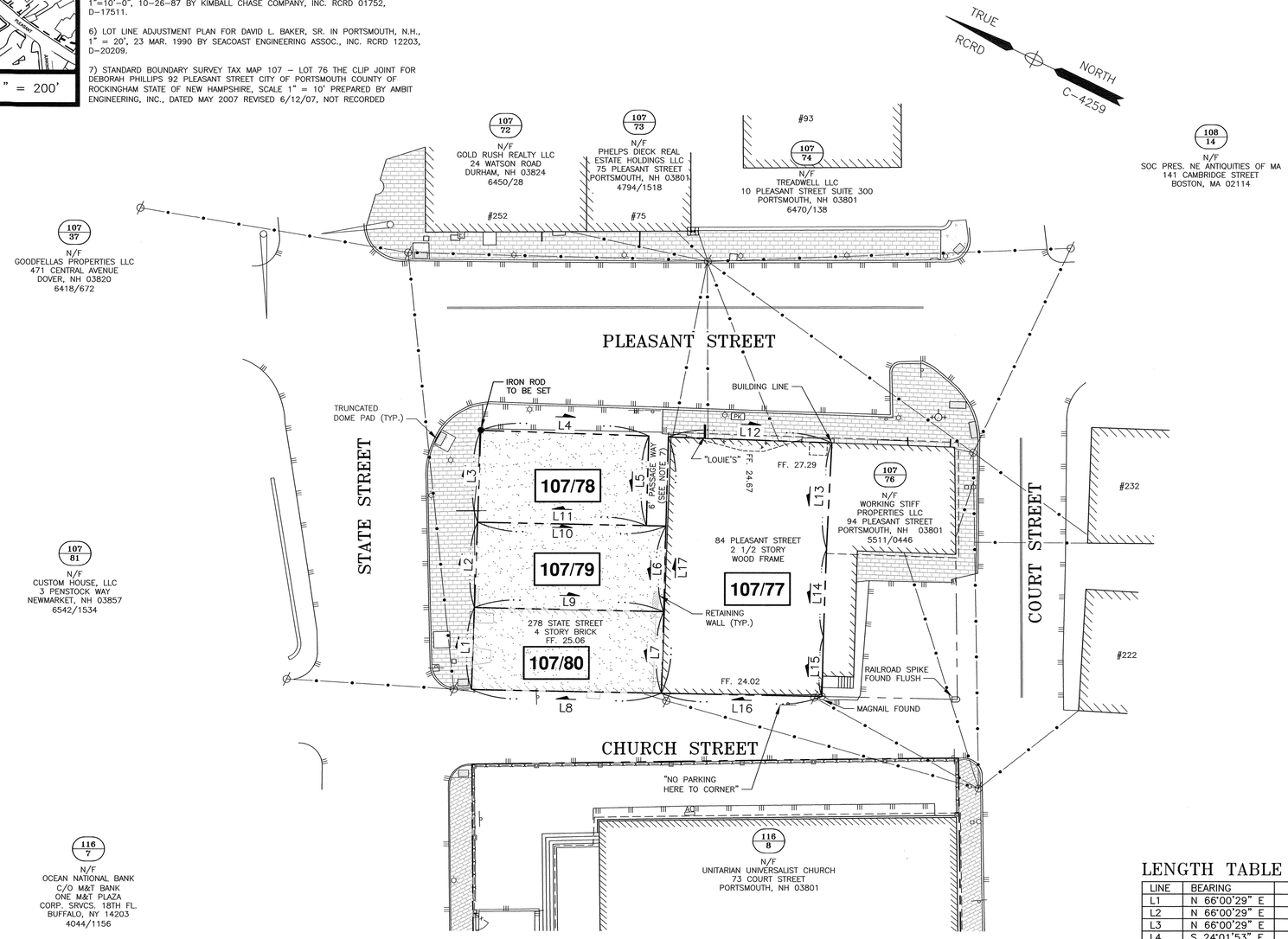
7) STANDARD BOUNDARY SURVEY TAX MAP 107 - LOT 76 THE CLIP JOINT FOR DEBORAH PHILLIPS 92 PLEASANT STREET CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE, SCALE 1" = 10' PREPARED BY AMBIT ENGINEERING, INC., DATED MAY 2007 REVISED 6/12/07, NOT RECORDED

MERGER NOTE:

THE PASSAGE WAY AND THESE LOTS ARE INTENDED TO BE MERGED TO CREATE ONE DEVELOPMENT PARCEL.

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
11/21	MAP 11 / LOT 21
	BOUNDARY
	SETBACK
	RAILROAD SPIKE FOUND
	IRON ROD/PIPE FOUND
	DRILL HOLE FOUND
	STONE/CONCRETE BOUND FOUND
	RAILROAD SPIKE SET
	IRON ROD SET
	DRILL HOLE SET
	GRANITE BOUND SET



GRAPHIC SCALE

10 0 20 40 60 80 FEET
5 0 5 10 15 20 25 METERS

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N 66°00'29" E	25.16'
L2	N 66°00'29" E	26.17'
L3	N 66°00'29" E	28.27'
L4	S 24°01'53" E	51.47'
L5	S 65°27'29" W	27.54'
L6	S 65°27'29" W	26.30'
L7	S 65°27'29" W	25.01'
L8	N 24°51'30" W	58.24'
L9	S 24°42'40" E	57.99'
L10	S 24°50'15" E	57.74'
L11	N 24°50'15" W	51.74'
L12	S 23°57'38" E	50.06'
L13	S 66°47'06" W	32.82'
L14	S 65°52'55" W	26.82'
L15	S 65°14'37" W	18.24'
L16	N 24°54'06" W	49.17'
L17	N 65°27'29" E	78.68'

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

STATE OF NEW HAMPSHIRE No. 738 LICENSED LAND SURVEYOR JOHN R. CHAGNON SIGNATURE

JOHN R. CHAGNON LLS #738 — DATE 8.18.25

HALEYWARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 77, 78, 79, AND 80.

2) OWNERS OF RECORD:

107/77-78-80
PNF TRUST OF 2013
PETER FLOROS, TRUSTEE
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 6131, PG 1663 (77)
BK 5540, PG 0293 (78)
BK 5540, PG 0293 (80)

107/79
282 MIDDLE STREET LLC
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 5877. PG 0511

3) PARCELS 107/77-80 ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 3301SC0259E. EFFECTIVE 5/17/2005.

4) EXISTING LOT AREA:
LOT 107/ 77
EXISTING: 3,866 SF, 0.0887 ACRES

LOT 107/ 78
EXISTING: 1,440 SF, 0.0331 ACRES

LOT 107/ 79
EXISTING: 1,518 SF, 0.0348 ACRES

LOT 107/ 80
EXISTING: 1,458 SF, 0.0335 ACRES

6' PASSAGE WAY
EXISTING: 165 SF, 0.0038 ACRES

TOTAL MERGED LOT AREA:
8,447 SF, 0.1939 ACRES

5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4)
DIMENSIONAL REQUIREMENTS:
SEE PORTSMOUTH ORDINANCE

6) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY OF TAX MAP 107 LOTS 77-80 IN THE CITY OF PORTSMOUTH.

7) PASSAGEWAY OWNERSHIP UNCLEAR; EITHER LOTS 78 & 79 HAVE FEE OWNERSHIP.

NO.	DESCRIPTION	DATE
2	ABUTTERS	8/18/25
1	RE-TITLE AND DATE	5/1/24
0	ISSUED FOR COMMENT	3/4/20

REVISIONS

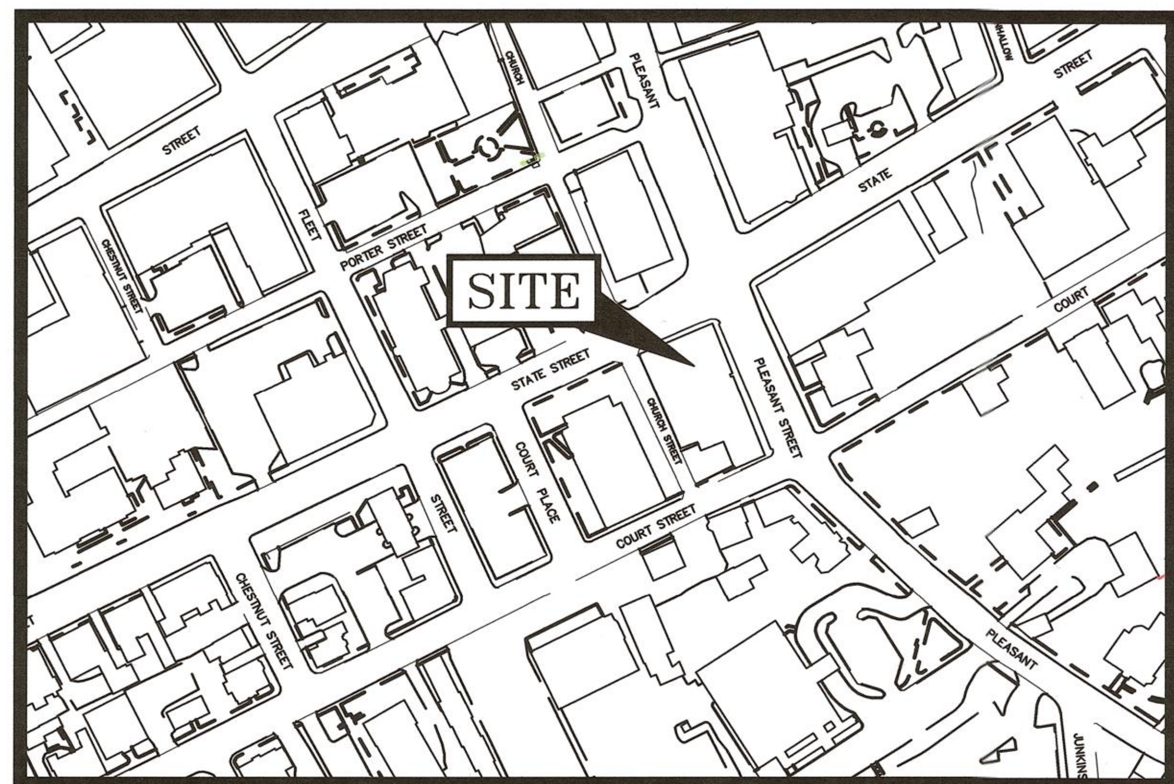
STANDARD BOUNDARY SURVEY TAX MAP 107 - LOTS 77-80

PROPERTY LOCATED AT:

266, 270, 278 STATE STREET
& 84 PLEASANT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1" =20' JANUARY 2020

FB 321 PG 58 5010129 3150



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2) PLAN OF LOTS, SMITH & TIMES BLDGS., STATE ST., PORTSMOUTH, N.H., 1IN. = 10FT., APRIL 1954 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 2806, PLAN 1-490.

3) PLAN OF LOTS NOS. 202, 206, & 222 COURT ST., 1IN. = 10FT., JAN 1974 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 682, PLAN 4318, C-4259.

4) SUBDIVISION OF LAND, PORTSMOUTH, N.H., TRADER'S BLOCK TRUST, JOSEPH G. SAWTELLE, JR., TR., 1 INCH = 10 FEET, DECEMBER 1977 BY JOHN W. DURGIN CIVIL ENGINEERS. RCRD C-7497.

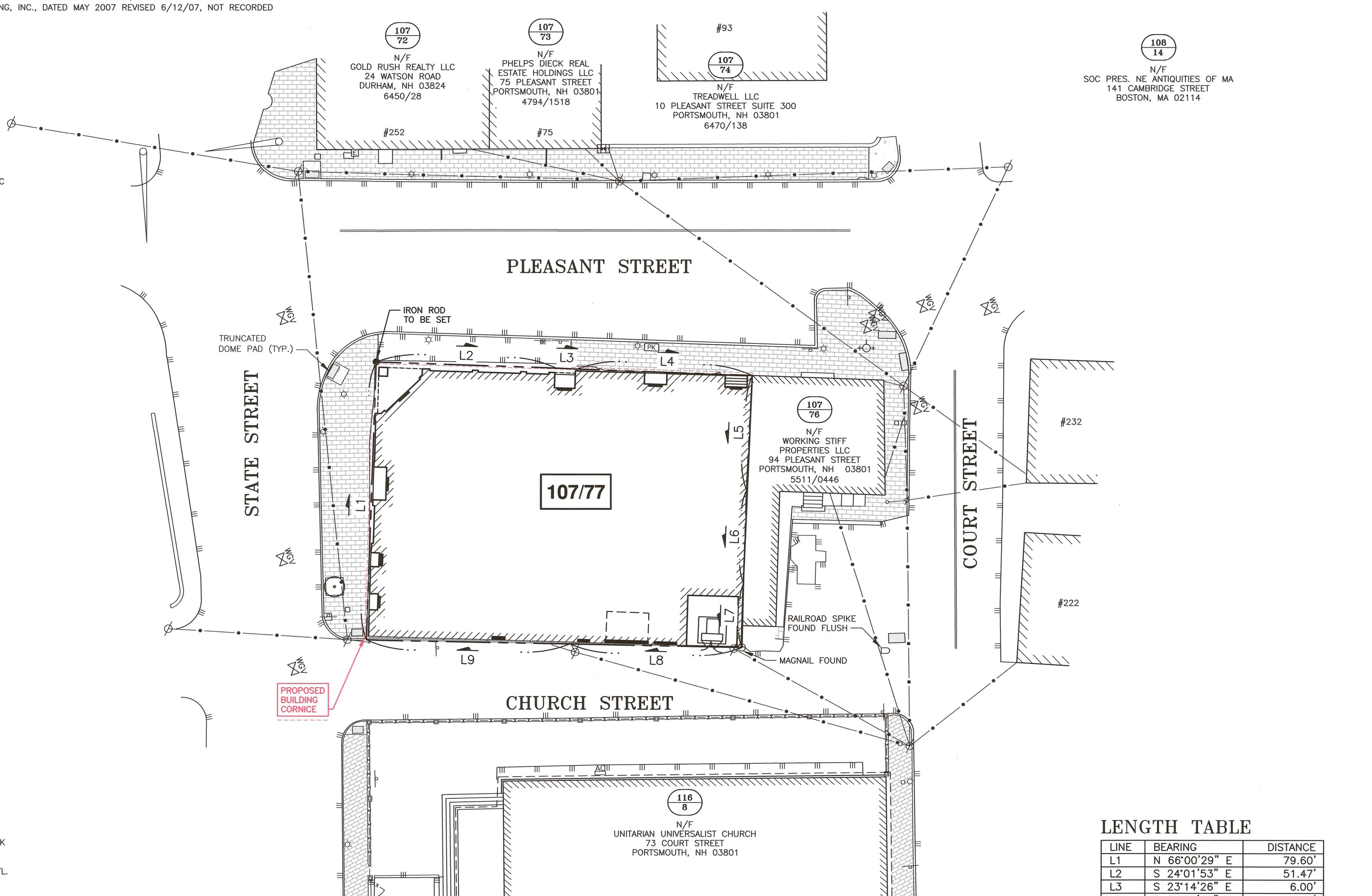
5) BREWSTER INN PARTNERSHIP, SUBDIVISION OF LAND, 93 PLEASANT STREET, 1"=10'-0", 10-26-87 BY KIMBALL CHASE COMPANY, INC. RCRD 01752, D-17511.

6) LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H., 1" = 20', 23 MAR. 1990 BY SEACOAST ENGINEERING ASSOC., INC. RCRD 12203, D-20209.

7) STANDARD BOUNDARY SURVEY TAX MAP 107 – LOT 76 THE CLIP JOINT FOR DEBORAH PHILLIPS 92 PLEASANT STREET CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE, SCALE 1" = 10' PREPARED BY AMBIT ENGINEERING, INC., DATED MAY 2007 REVISED 6/12/07, NOT RECORDED

LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
(11/21)	MAP 11 / LOT 21
— — —	BOUNDARY
- - - - -	SETBACK
	RAILROAD SPIKE FOUND
	IRON ROD/PIPE FOUND
	DRILL HOLE FOUND
	STONE/CONCRETE BOUND FOUND
	RAILROAD SPIKE SET
	IRON ROD SET
	DRILL HOLE SET
	GRANITE BOUND SET



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N 66°00'29" E	79.60'
L2	S 24°01'53" E	51.47'
L3	S 23°14'26" E	6.00'
L4	S 23°57'38" E	50.06'
L5	S 66°47'06" W	32.82'
L6	S 65°52'55" W	26.82'
L7	S 65°14'37" W	18.24'
L8	N 24°54'06" W	49.17'
L9	N 24°51'30" W	58.24'

GRAPHIC SCALE

10 0 20 40 60 80 FEET

5 0 5 10 15 20 25 METERS

I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

STATE OF NEW HAMPSHIRE LAND SURVEYOR No. 738 JOHN R. CHAGNON LICENSED SIGNATURE

8·18·25

JOHN R. CHAGNON LLS #738 DATE

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603.430.9282
WWW.HALEYWARD.COM

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 77.

2) OWNER OF RECORD (PROPOSED MERGED LOT):

107/77
PNF TRUST OF 2013
PETER FLOROS, TRUSTEE
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 6131, PG 1663

3) PARCEL 107/77 IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 3301SC0259F. EFFECTIVE 01/21/2021.

4) MERGED LOT AREA:
8,446 S.F.
0.1939 ACRES

5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE

6) THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATIONS FOR A BUILDING CORNICE LICENSE ON TAX MAP 107 LOT 77 IN THE CITY OF PORTSMOUTH.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	08/18/25

REVISIONS

LICENSE PLAN CITY OF PORTSMOUTH TAX MAP 107 – LOT 77

PROPERTY LOCATED AT:

266, 270, 278 STATE STREET
& 84 PLEASANT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1" =20' AUGUST 2025

FB 321 PG 58 5010129 3150

GRAPHIC SCALE

10 5 0 10 20 30 40 FEET

3 0 5 10 METERS

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TRUE RCRD NORTH C-4259

FLOROS BUILDING STATE AND PLEASANT STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	08/18/25

REVISIONS

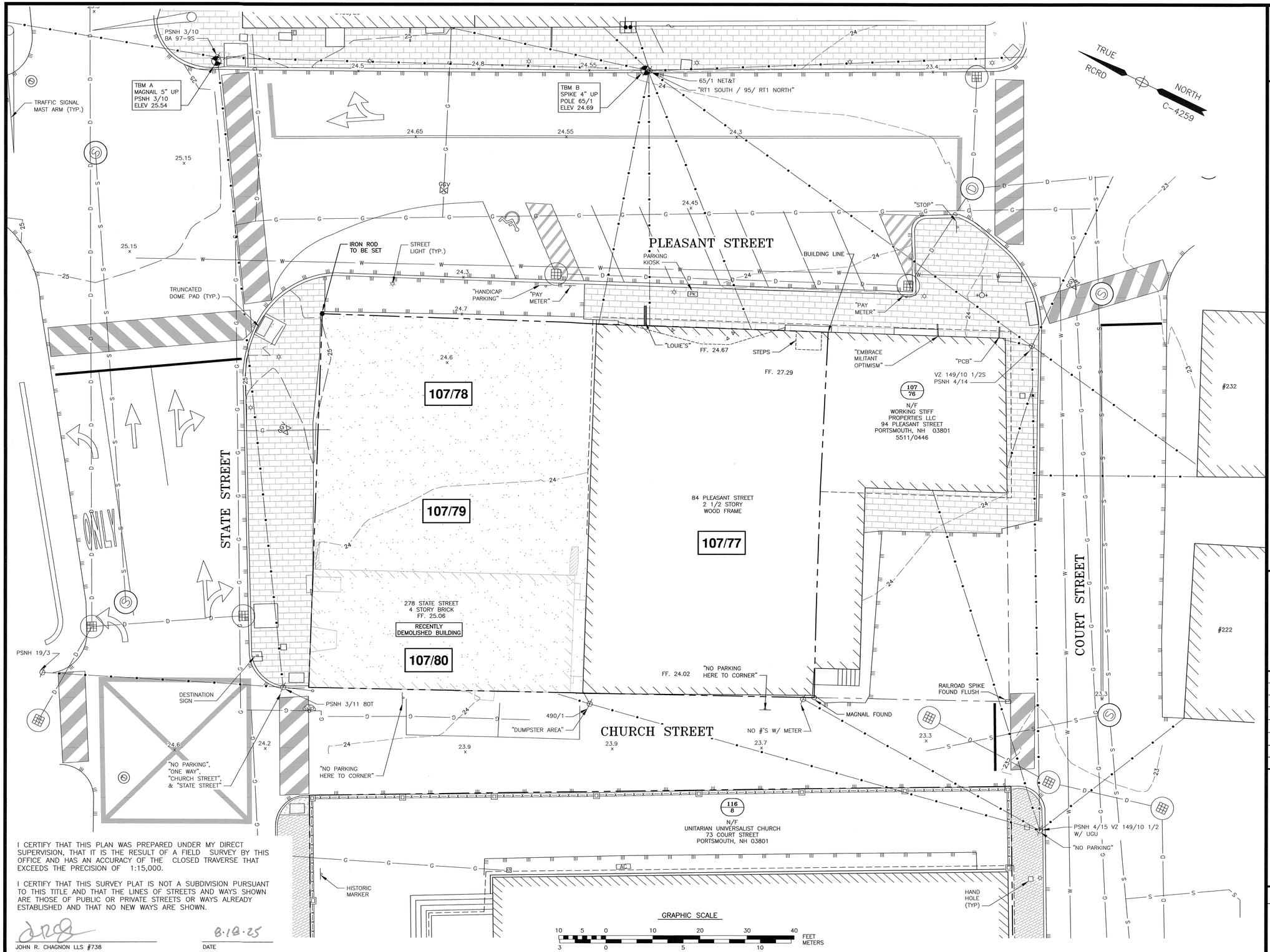
SCALE: 1"=10' APRIL 2024

ORTHOPHOTO PLAN

01

FB 321 PG 58

5010129 3150



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I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

JOHN R. CHAGNON LLS #738

DATE 8.18.25

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NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN 30 DAYS.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

4) MERGER NOTE: THE PASSAGE WAY AND THESE LOTS ARE INTENDED TO BE MERGED TO CREATE ONE DEVELOPMENT PARCEL.

FLOROS BUILDING STATE AND PLEASANT STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	TREES	08/18/25
1	RECENTLY DEMOLISHED BUILDING	10/23/24
0	ISSUED FOR COMMENT	5/1/24

REVISIONS

STATE OF NEW HAMPSHIRE — No. 738 — JOHN R. CHAGNON — SIGNATURE — LICENSED LAND SURVEYOR

SCALE: 1"=10' OCTOBER 2024

EXISTING CONDITIONS PLAN

C1

FB 321 PG 58

5010129 3150

P:\HW\5010129 Floros_Realty_Group\3150 State Street (ARC)\2024 Site Plan\Plans & Specs\Dwg\3150 Site NEW 2025.dwg, 8/7/2025 1:48:33 PM

DEMOLITION NOTES

A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.

B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.

C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.

E) SAWCUT AND REMOVE PAVEMENT OR BRICK PER FINAL SITE PLAN APPROVAL AND CMMP PLAN.

F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.

G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.

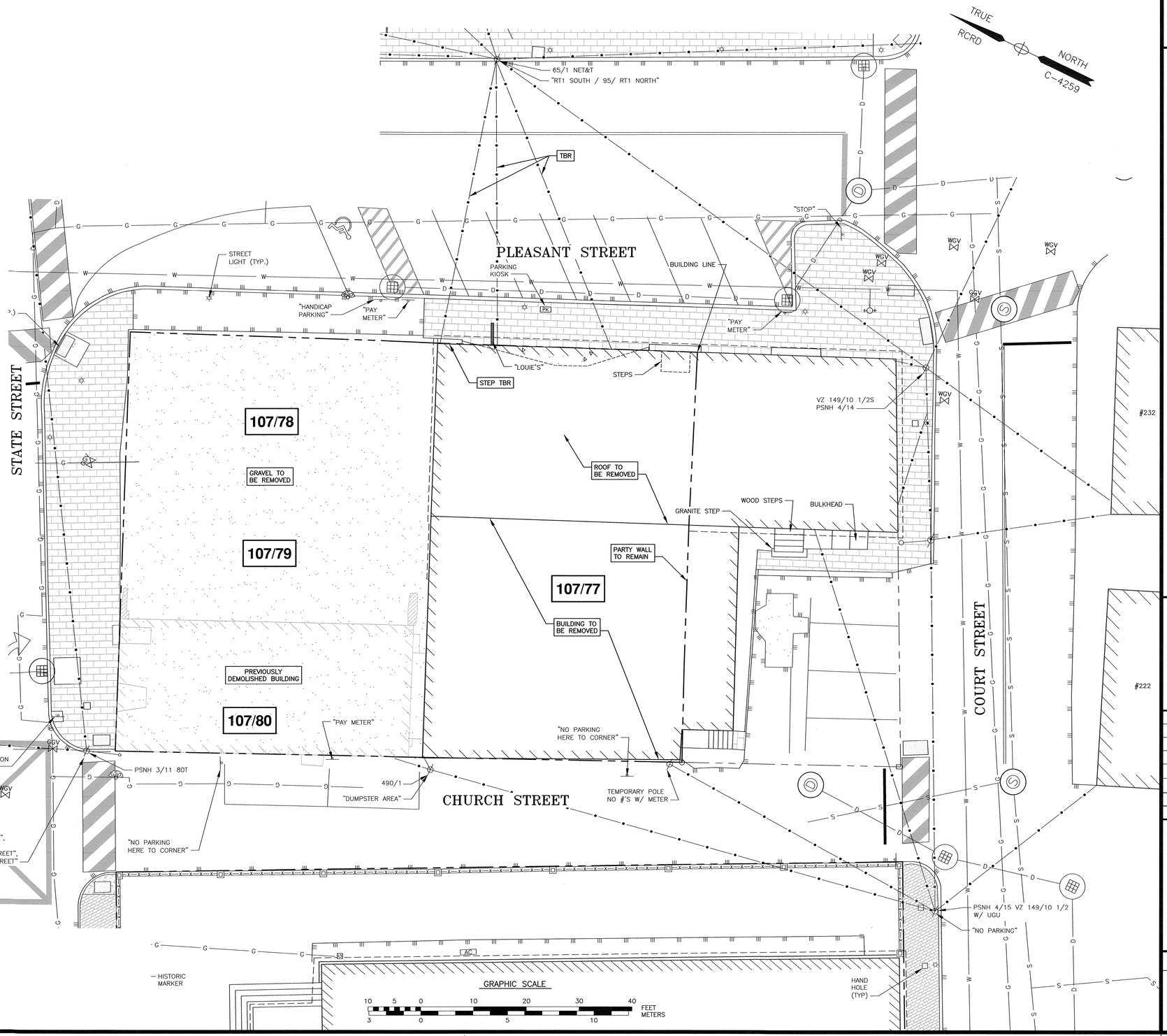
H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.

I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).

J) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND IMMEDIATELY OFF-SITE TO BE MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

K) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

L) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



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NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN 30 DAYS.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

FLOROS BUILDING STATE AND PLEASANT STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	TREE PREVIOUSLY REMOVED, ELEC. LINES	08/18/25
0	ISSUED FOR COMMENT	10/23/24

REVISIONS

JOHN C. CHANNON No. 9867 LICENSED PROFESSIONAL ENGINEER STATE OF NEW HAMPSHIRE

SCALE: 1"=10' OCTOBER 2024

DEMOLITION PLAN C2

FB 321 PG 58

5010129 3150

P:\5010129 Floros_Realty_Group\3150 State Street\RC\2024 Site Plan\Plans & Specs\Dwg\3150 Site NEW 2025.dwg, 9/2/2025 11:53:40 AM

IMPERVIOUS SURFACE AREAS
(TOTAL PARCELS)(TO PROPERTY LINE)

STRUCTURES	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	5,154	8,218
STAIRS/LANDING	87	21
RETAINING WALL	15	0
CONCRETE/STEPS	62	99
GRAVEL	3,129	0
SIDEWALK	0	57
PAVEMENT	0	52
TOTAL	8,447	8,447
LOT SIZE	8,447	8,447
% LOT COVERAGE	100.0%	100.0%

*NOTES: 1. FIRST FLOOR OPEN ENTRANCE AREAS: 500 S.F.
2. EXISTING AREAS PRIOR TO SEPTEMBER 2024 DEMOLITION.

FIRST FLOOR FOOTPRINT:

MAIN STRUCTURE: 7,802 S.F.
OPEN AREA "A": 106 S.F.
OPEN AREA "B": 26 S.F.
OPEN AREA "C": 35 S.F.
OPEN AREA "D": 10 S.F.
OPEN AREA "E": 11 S.F.
OPEN AREA "F": 20 S.F.
TRANSFORMER AREA "G": 208 S.F.

TOTAL BUILDING FOOTPRINT: 8,218 S.F.

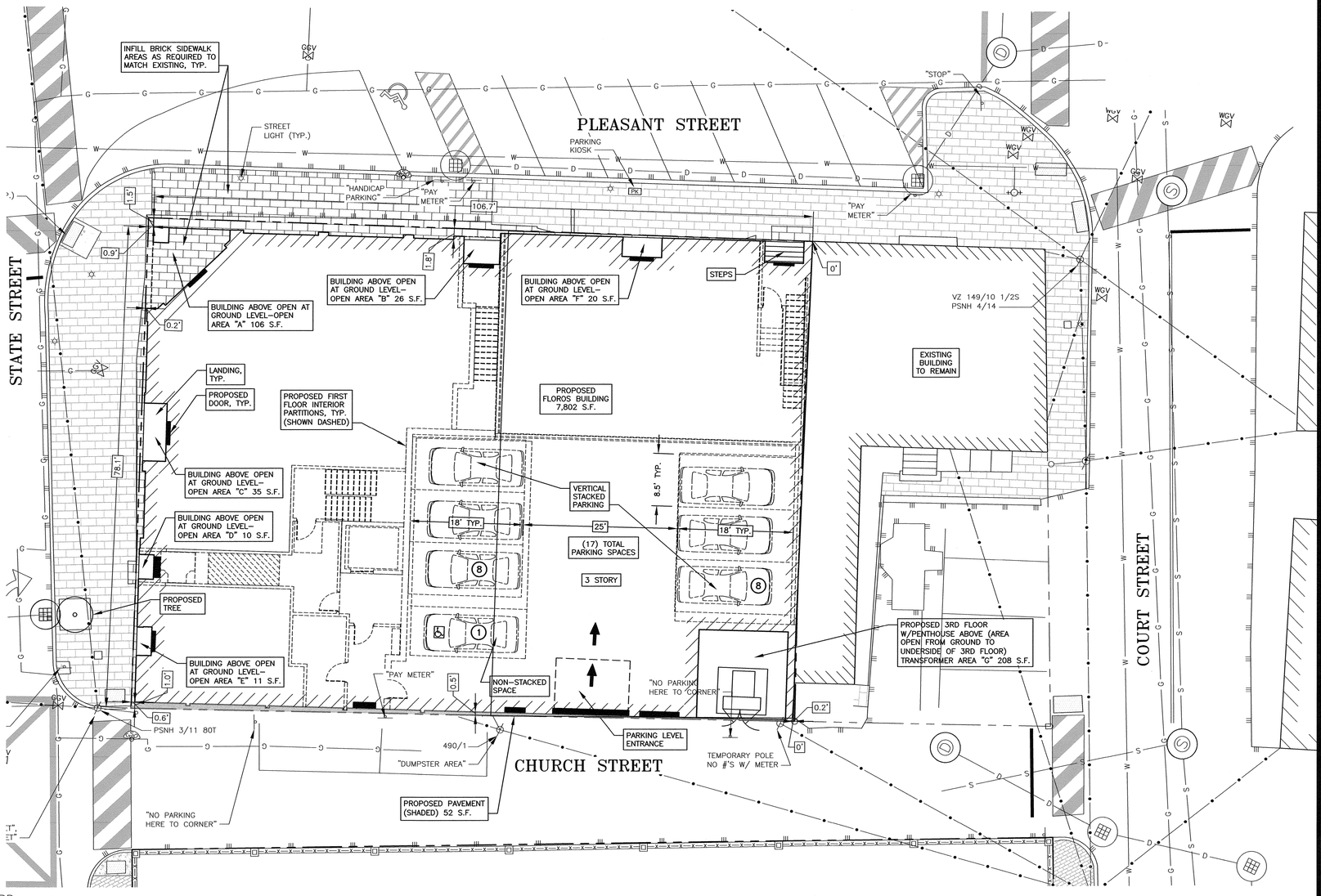
ZONING VARIANCES:

1) VARIANCE FROM SECTION 10.5A41.10.C TO ALLOW A) 98% BUILDING COVERAGE WHERE 90% IS MAXIMUM, B) 0% OPEN SPACE WHERE 10% IS MINIMUM, AND C) 53% SHOP FRONT FACADE GLAZING ON PLEASANT STREET AND 52% ON STATE STREET WHERE 70% IS THE MINIMUM REQUIRED.

2) VARIANCE FROM SECTION 10.5A21.B TO ALLOW A FOURTH STORY ADDITION AT 50 FEET IN HEIGHT TO THE CHURCH STREET ELEVATION WHERE 3 FULL STORIES AND A SHORT FOURTH ARE ALLOWED WITH 45 FEET MAXIMUM HEIGHT PERMITTED.

3) VARIANCE FROM SECTION 10.642 TO ALLOW43% GROUND FLOOR RESIDENTIAL AREA WHERE 20% IS MAXIMUM.

APPROVED NOVEMBER 19, 2024



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

GRAPHIC SCALE
10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

TRUE NORTH
RCRD C-4259

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NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 77, 78, 79, AND 80.

2) OWNERS OF RECORD:
SEE BOUNDARY SURVEY

3) PARCELS 107/77-80 ARE NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE 1/29/2021.

4) EXISTING COMBINED AREA:
8,446 SF
0.1939 ACRES

5) THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT (DOD) AND THE HISTORIC DISTRICT (HDC).

6) THE PURPOSE OF THIS PLAN IS TO SHOW SITE LAYOUT FOR BUILDING ON THE PARCELS IN THE CITY OF PORTSMOUTH, FOR APPLICATION FOR VARIANCE.

7) PROPOSED USE:

BASEMENT: STORAGE AND PARKING.
FIRST FLOOR: COMMERCIAL RENTAL, RESIDENTIAL AND GARAGE ACCESS.
FLOORS 2 & 3: 13 RESIDENTIAL UNITS
FLOOR 4 & PENTHOUSE: 4 RESIDENTIAL UNITS.

FLOROS BUILDING
STATE AND PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	REVISED BUILDING	08/18/25
0	ISSUED FOR COMMENT	10/23/24

REVISIONS

STATE OF NEW HAMPSHIRE
JOHN R. CHAGNON
NO. 10221
LICENSED PROFESSIONAL ENGINEER

SCALE: 1"=10' OCTOBER 2024

SITE PLAN

C3

FB 321 PG 58

5010129 3150

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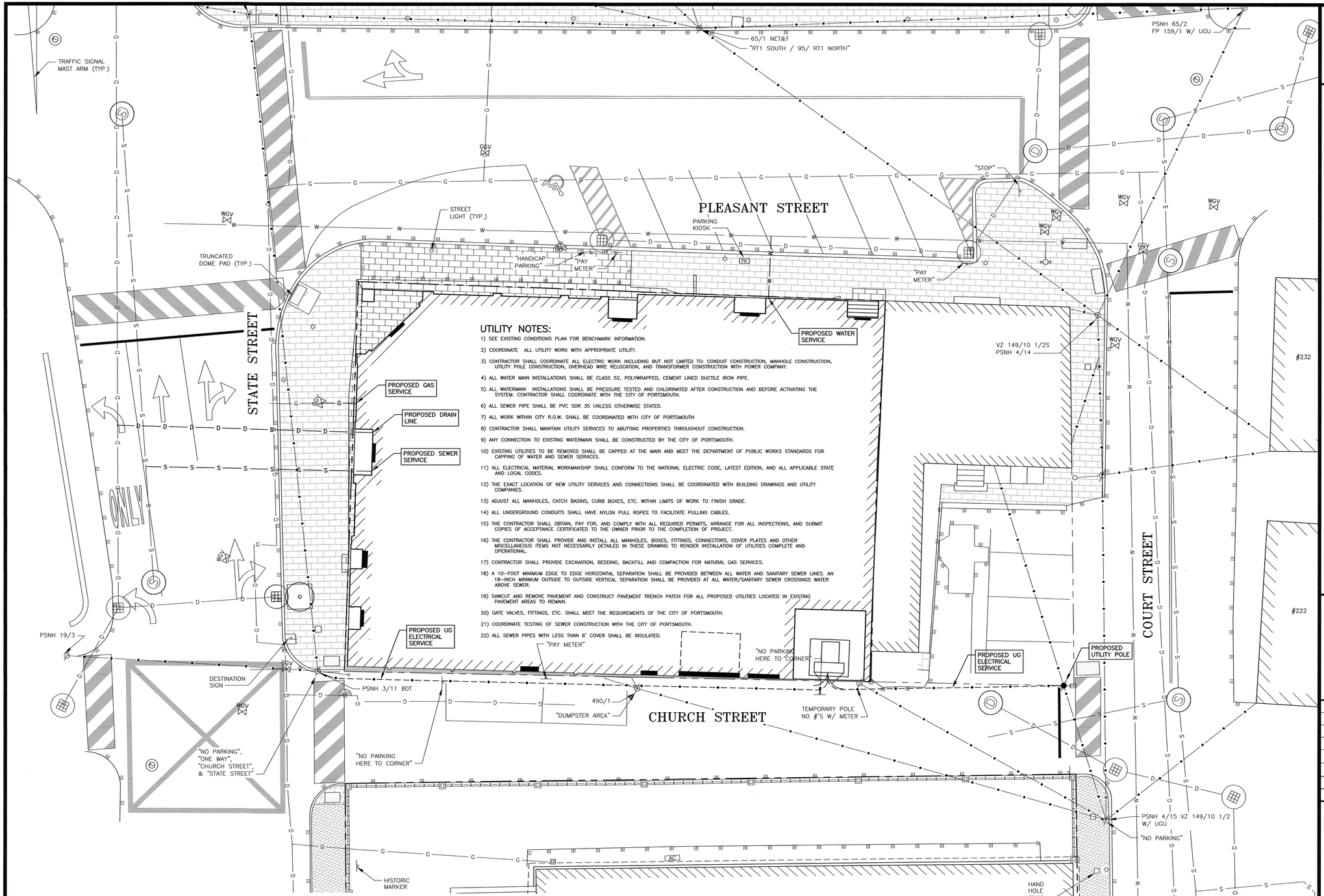

UTILITY NOTES:

1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
3) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH
8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

GRAPHIC SCALE
10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

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NOTES:

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3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS (IN THE PROJECT VICINITY) UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.

5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.

7) EVERSOURCE WORK ORDER TBD.

8) PROPOSED SEWER FLOW:
RESIDENTIAL:
17 UNITS X 170 GPD/UNITS = 2,890 GPD
TOTAL FLOW: 2,890 GPD.

COMMERCIAL:
3,802 S.F. RETAIL
3,802 X 5 GPD/100 S.F. = 190 GPD.

TOTAL SEWER FLOW REQUIRED: 3,080 GPD.

9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

10) FINAL CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.

11) EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.

FLOROS BUILDING
STATE AND PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	REVISED BUILDING	08/18/25
0	ISSUED FOR COMMENT	5/1/24

REVISIONS

STATE OF NEW HAMPSHIRE
JOHN R. CHAGNON
No. 9851
LICENSED PROFESSIONAL ENGINEER

SCALE: 1"=10' APRIL 2024

UTILITY PLAN

C4

FB 321 PG 58

5010129 3150

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

1. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE CITY OF PORTSMOUTH CMMP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
2. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
3. A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
4. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, i.e., SILTSOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES. PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. CONSTRUCT FOUNDATIONS.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES TO THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING SIDEWALK WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A BUILDING REDEVELOPMENT WITH ASSOCIATED UTILITIES AND PARKING.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.275 ACRES.

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH HAS AN UNSPECIFIED HYDROLOGIC SOIL GROUP RATING, ASSUMED D.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE", THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.
IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
- IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING;
- MULCHING.

MAINTENANCE AND PROTECTION

THE SILTSOXX BARRIER AND CATCH BASIN FILTERS SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;

STOCKPILES

1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

1. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FAILITY;
2. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
3. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
4. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

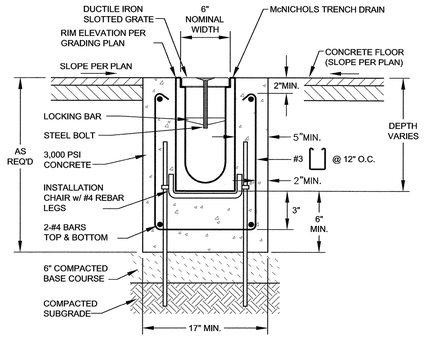
1. FIRE-FIGHTING ACTIVITIES;
2. FIRE HYDRANT FLUSHING;
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
4. WATER USED TO CONTROL DUST;
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
11. UNCONTAMINATED EXCAVATION DEWATERING;
12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL

1. WASTE MATERIAL
   - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
   - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
   - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
   - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
   - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
   - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

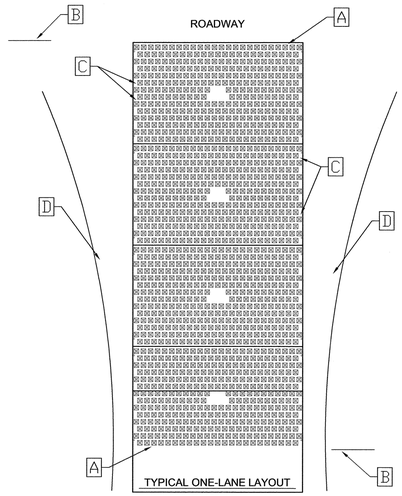
BLASTING NOTES

1. CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO
2. COMMENCING ANY BLASTING ACTIVITIES.
3. FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT
4. SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:
   - WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
   - THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
   - SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.



EVAPORATOR TRENCH DETAIL

NTS



INSTALLATION:
THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

KEY NOTES:

A. FODS TRACKOUT CONTROL SYSTEM MAT.
B. FODS SAFETY SIGN.
C. ANCHOR POINT.
D. SILT OR ORANGE CONSTRUCTION FENCE.

INSTALLATION:

1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
3. ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
8. AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
9. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
10. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
11. NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
12. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
13. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

USE AND MAINTENANCE

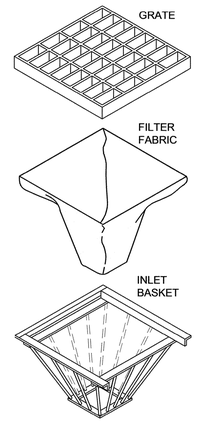
1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

REMOVAL

1. REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
5. STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

FODS SEDIMENT TRACKING SYSTEM DETAIL

NTS



LENGTH (L) & WIDTH (W) AS REQUIRED TO FIT NHDOT TYPE GRATE & FRAME.

CATCH BASIN INLET BASKET

NTS

1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.

2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.

3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
   -RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
   -MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)

4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITTIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)

5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

REV.	DATE	DESCRIPTION	BY	CHK
0	08/18/2025	ISSUED FOR COMMENTS	CBA	JRC

DRAWING ISSUE STATUS

PERMIT PLANS

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

PROJECT

FLOROS BUILDING
STATE & PLEASANT STREET PORTSMOUTH

TITLE

SITE DETAILS

STATE OF NEW HAMPSHIRE – JOHN S. CHAGNON No. 17051 – LICENSED PROFESSIONAL ENGINEER

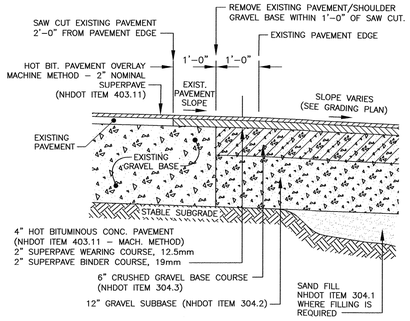
DATE	SCALE
AUGUST 2024	NTS

DRAWN BY	DESIGNED BY	CHECKED BY
CBA	---	JRC

PROJECT No.
5010129.3150

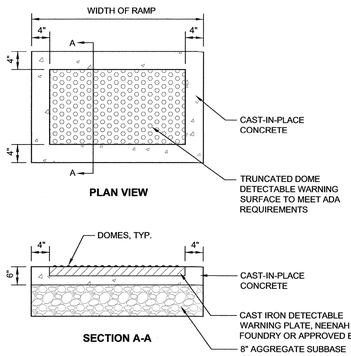
SHEET No.
C501

REV No.
0



TYPICAL PAVEMENT CROSS-SECTION

NTS **OFF SITE REPAIR AS NEEDED**

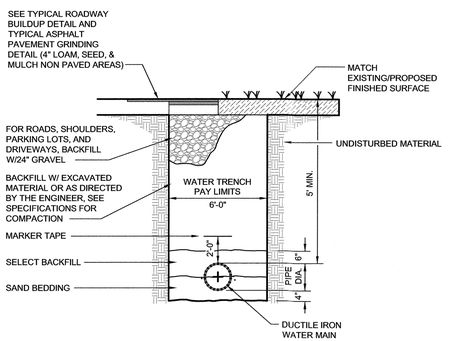


NOTES:

1. DETECTABLE WARNINGS SHALL BE AN INTEGRAL PART OF THE RAMP AND COMPLY WITH ALL SECTIONS OF THE ADA ACCESSIBILITY GUIDELINES AND ALL SECTIONS OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
2. ALL DETECTABLE WARNING AREAS SHALL START 6-10" FROM THE FLOW LINE OF THE CURB, BE 24" IN DEPTH AND COVER THE COMPLETE WIDTH OF THE RAMP AREA ONLY. MATCH ROADWAY RADIUS, TYP.

TYPICAL DETECTABLE WARNING SURFACE DETAIL

NTS

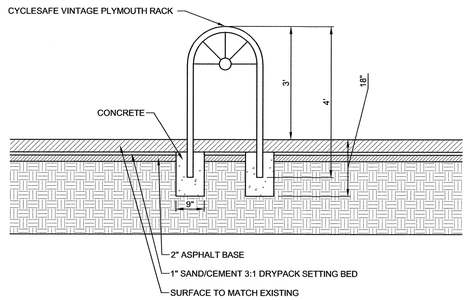


NOTE:

1. MATCH EXISTING SURFACE FINISH, EXCEPT WHERE NOTED. IN LAWN AREAS INSTALL 4" OF LOAM AND SEED AND MULCH.

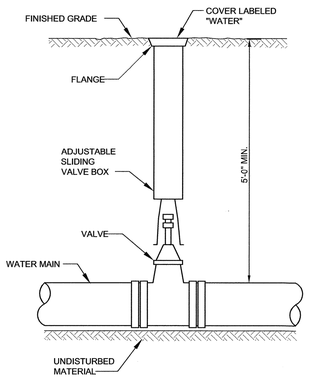
TYPICAL TRENCH DETAIL - DUCTILE IRON WATER MAIN

NTS



BIKE RACK DETAIL

NTS

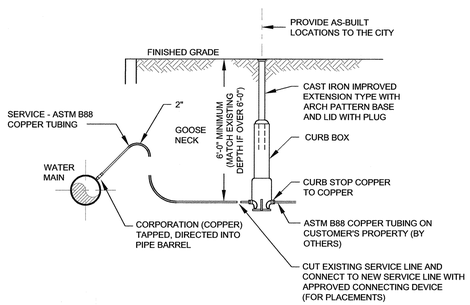


NOTES:

1. GATE VALVE TO BE LOCATED WITHIN ROADWAY PAVEMENT WHERE POSSIBLE.
2. PROPER SIZE VALVE BOX SHALL BE INSTALLED WHERE GATE VALVES ARE SHOWN ON PLANS.

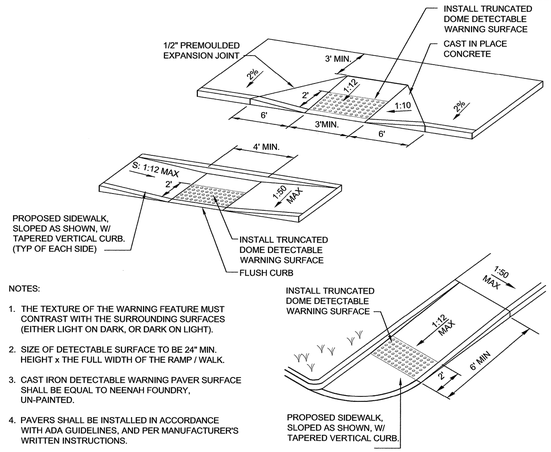
TYPICAL VALVE AND BOX DETAIL

NTS



TYPICAL WATER SERVICE CONNECTION DETAIL

NTS



NOTES:

1. THE TEXTURE OF THE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT ON DARK, OR DARK ON LIGHT).
2. SIZE OF DETECTABLE SURFACE TO BE 24" MIN. HEIGHT x THE FULL WIDTH OF THE RAMP / WALK.
3. CAST IRON DETECTABLE WARNING PAVER SURFACE SHALL BE EQUAL TO NEENAH FOUNDRY, UN-PAINTED.
4. PAVERS SHALL BE INSTALLED IN ACCORDANCE WITH ADA GUIDELINES, AND PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

TYPICAL HANDICAP CURB RAMP DETAILS

NTS

BRICK PAVEMENT NOTES

SCOPE OF WORK:

1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER AND COORDINATED WITH PORTSMOUTH DPW.
2) REVEAL SHALL BE COORDINATED WITH PORTSMOUTH DPW.

METHODS OF CONSTRUCTION:

A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.

B) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.

C) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.

D) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.

E) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.

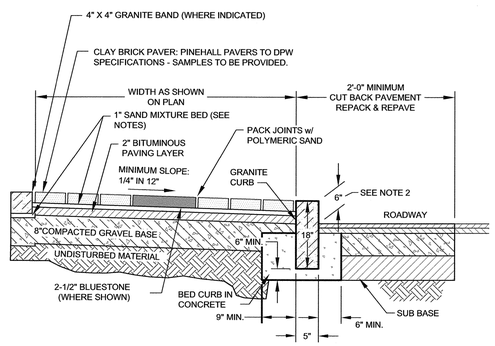
F) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.

G) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

H) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.

CONSTRUCTION NOTE:

EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.



BRICK SIDEWALK w/ VERTICAL GRANITE CURB

NTS **(STONE DUST BEDDING OVER BITUMINOUS PAVING)**

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION, (NHDES DECEMBER 2008).

4) ALL WATER MAIN & CONNECTIONS SHALL BE INSTALLED PER CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.

REV.	DATE	DESCRIPTION	BY	CHK.
0	08/18/2025	ISSUED FOR COMMENTS	CBA	JRC

DRAWING ISSUE STATUS

PERMIT PLANS

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd, Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

PROJECT

FLOROS BUILDING
STATE & PLEASANT STREET PORTSMOUTH

TITLE

SITE DETAILS

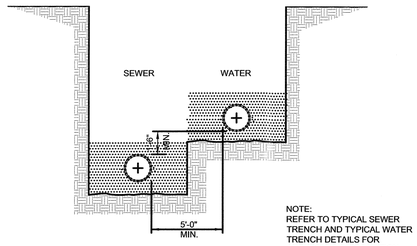
JOHN CHAGNON NO. 12651 LICENSED PROFESSIONAL ENGINEER STATE OF NEW HAMPSHIRE

DATE	SCALE
AUGUST 2024	NTS

DRAWN BY	DESIGNED BY	CHECKED BY
CBA	---	JRC

PROJECT No. 5010129.3150

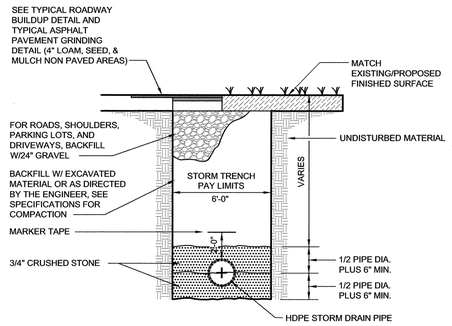
SHEET No. **C502** REV No. **0**



NOTE:
REFER TO TYPICAL SEWER TRENCH AND TYPICAL WATER TRENCH DETAILS FOR ADDITIONAL INFORMATION.

TYPICAL SEWER / WATER SEPARATION DETAIL

NTS

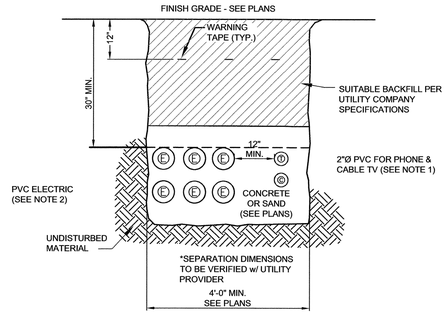


NOTE:

1. MATCH EXISTING SURFACE FINISH, EXCEPT WHERE NOTED. IN LAWN AREAS INSTALL 4" OF LOAM AND SEED AND MULCH.

TYPICAL STORM DRAIN TRENCH DETAIL

NTS



NOTES:
1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.

2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.

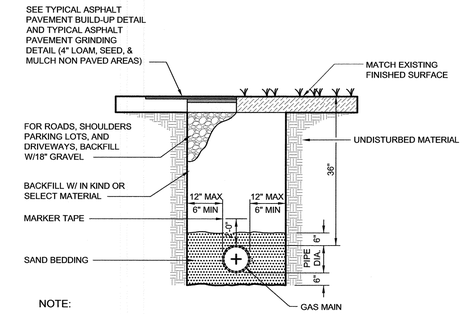
3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)

4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT

5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.

TYPICAL UNDERGROUND UTILITY TRENCH DETAIL

NTS

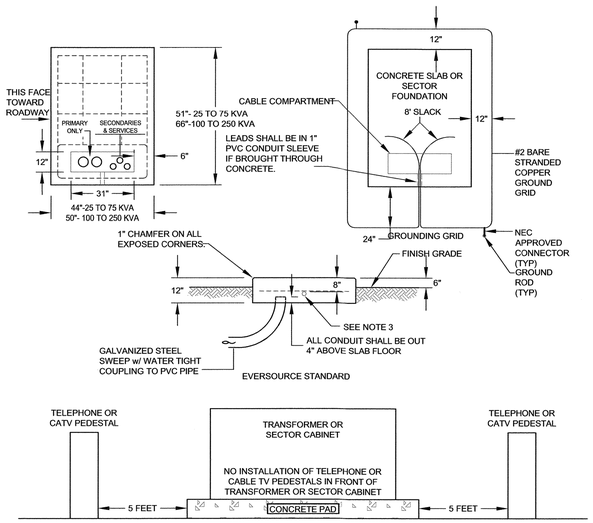


NOTE:

1. COMPACT ALL GRANULAR MATERIAL AND BACKFILL TO 95%.
2. SIDE CLEARANCE APPLICABLE TO BACKHOE OPERATIONS.

TYPICAL GAS TRENCH DETAIL

NTS



NOTES
1. ALL REINFORCING TO BE #6 BARS.
2. 1" PVC CONDUIT SLEEVE FOR GROUND GRID LEADS.
3. THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12" BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFOMER. THE TWO 8' GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.
4. NO SHRUBS, FENCES, OR PERMANENT STRUCTURES CAN BE PLACED WITHIN 10 FEET OF THE FRONT AND 5 FEET OF THE SIDES AND BACK OF PAD-MOUNTED EQUIPMENT. THE COMPANY HAS THE RIGHT TO REMOVE THESE OBJECTS WITHOUT NOTICE TO THE OWNER.

TRANSFORMER PAD

NTS **COORDINATE WITH EVERSOURCE**

REV.	DATE	DESCRIPTION	BY	CHK.
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PROJECT

FLOROS BUILDING
STATE & PLEASANT STREET PORTSMOUTH

TITLE

SITE DETAILS

STATE OF NEW HAMPSHIRE - JOHN CHAGNON No. 17659 LICENSED PROFESSIONAL ENGINEER

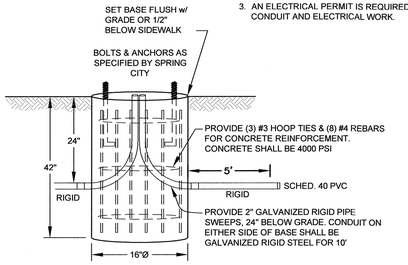
DATE	SCALE
AUGUST 2024	NTS

DRAWN BY	DESIGNED BY	CHECKED BY
CBA	---	JRC

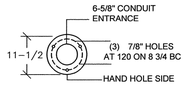
PROJECT No. 5010129.3150

SHEET No. **C503** REV No. **0**

NOTES:
1. ELECTRICAL INSTALLATION SHALL BE BY A LICENSED ELECTRICIAN.
2. LIGHTS SHALL BE WIRED IN ACCORDANCE WITH NEC AND CITY OR PORTSMOUTH ORDINANCES
3. AN ELECTRICAL PERMIT IS REQUIRED FOR ALL CONDUIT AND ELECTRICAL WORK.

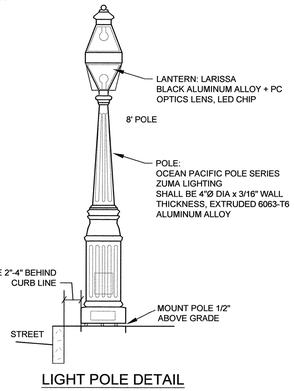


LIGHT POLE BASE DETAIL

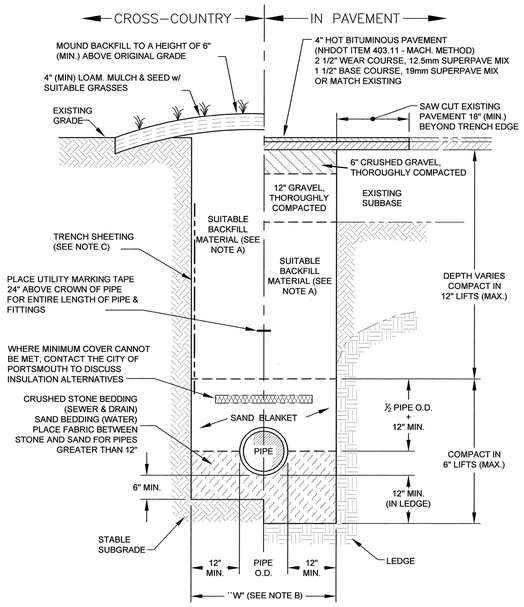


BOLT PATTERN

CITY STREET LIGHT
NTS



LIGHT POLE DETAIL



TYPICAL PIPE TRENCH
NTS

TRENCH NOTES:
A) TRENCH BACKFILL:
- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.

- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.

B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..

C) TRENCH SHEETING:
IF REQUIRED. WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.

D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
6' MINIMUM FOR SEWER (IN PAVEMENT)
4' MINIMUM FOR SEWER (CROSS COUNTRY)
3' MINIMUM FOR STORMWATER DRAINS
5' MINIMUM FOR WATER MAINS

E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

SEWER UTILITY GENERAL NOTES:

1) MINIMUM PIPE SIZE FOR COMMERCIAL SERVICE SHALL BE SIX INCHES.

2) PIPE AND JOINT MATERIALS:
A. PLASTIC SEWER PIPE

1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 To T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
AWWA C900	PVC (SOLID WALL)	8" THROUGH 18"

*PVC: POLYVINYL CHLORIDE

2. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE.

B. DUCTILE IRON PIPE, FITTINGS AND JOINTS.

1. DUCTILE IRON PIPE AND FITTINGS FOR SEWERS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:

A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.

A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOULDS OR SAND LINED MOULDS FOR SEWER APPLICATIONS.

2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYP. JOINTS AND GASKETS SHALL CONFORM TO:

A21.11 RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.

3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.

5) TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE DEPENDING ON THE PIPE ENCOUNTERED, FOR PVC PIPE, OR CUT IN A SANITARY TEE. FOR CLAY PIPE, USE INSERT-A-TEE OR CUT IN A SANITARY TEE. ALL WORK TO BE APPROVED BY GOVERNING BODY.

6) HOUSE SEWER INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH INSTALLATION GUIDES OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND REFILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4 INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DEWATER THE TRENCH.

7) TESTING: WHEN REQUIRED BY THE GOVERNING AUTHORITY, TESTING SHALL CONFORM TO ENV-WQ 704.07.

8) ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM DWELLING TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.

9) WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE, UNLESS IT IS ON A SHELF 12" HIGHER, AND 18" APART.

10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING 1 INCH SCREEN
90%-100% PASSING 3/4 INCH SCREEN
20%- 55% PASSING 3/8 INCH SCREEN
0%- 10% PASSING #4 SIEVE
0%- 5% PASSING #8 SIEVE

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.

11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.

12) CAST-IN-PLACE CONCRETE: SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:
CEMENT: 6.0 BAGS PER CUBIC YARD
WATER: 5.75 GALLONS PER BAG OF CEMENT
MAXIMUM AGGREGATE SIZE: 3/4 INCH

13) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

14) BACKFILL UP TO SUBBASE GRAVEL SHALL BE WITH EXCAVATED SOIL FROM TRENCHING OPERATIONS. COMPACT IN 8" LIFTS WITH VIBRATORY PLATE COMPACTORS TO 90% OF MODIFIED PROCTOR DENSITY. IF FINE-GRAINED, COMPACT WITH POGO STICKS OR SHEEPSFOOT ROLLERS. PLACE NO LARGE ROCKS WITHIN 24" OF PIPE. TRENCHES THAT ARE NOT ADEQUATELY COMPACTED SHALL BE RE-EXCAVATED AND BACKFILLED UNDER THE SUPERVISION OF THE DESIGN ENGINEER OR GOVERNING BODY. UNSUITABLE BACKFILL MATERIAL INCLUDES CHUNKS OF PAVEMENT, TOPSOIL, ROCKS OVER 6" IN SIZE, MUCK, PEAT OR PIECES OF PAVEMENT.

15) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY AND COMPLIANCE WITH GOVERNING REGULATIONS.

16) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. FOR TRENCH WIDTH SEE TRENCH DETAIL.

17) SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90% - 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #200 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.

18) BASE COURSE GRAVEL, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 300 OF THE LATEST EDITION OF THE:
"STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION".

19) FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUNDED TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

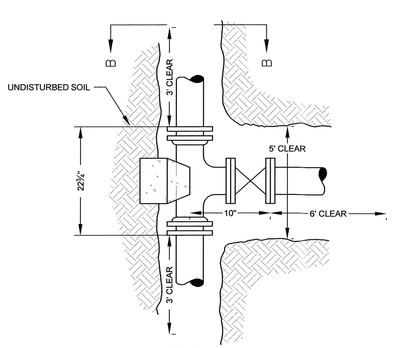
20) IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.

21) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

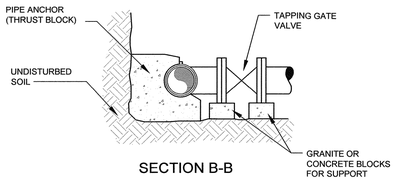
22) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.

23) THE PURPOSE OF THIS PLAN IS TO SHOW STANDARDS FOR SEWER CONSTRUCTION.

24) ALL WORK SHALL BE IN COMPLIANCE WITH NHDES CODE OF ADMINISTRATIVE RULES PART ENV-WQ 704 DESIGN OF SEWERS.



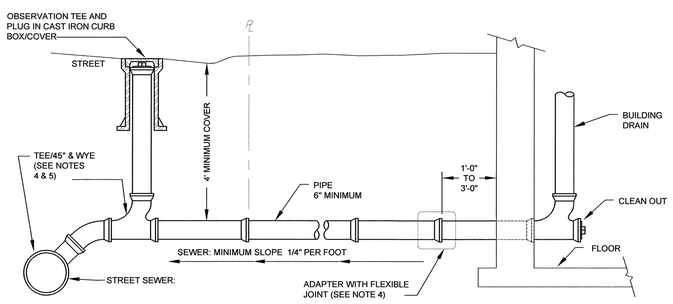
PLAN



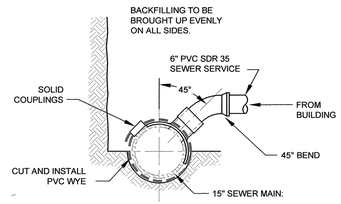
SECTION B-B

NOTES:
1) ALL MATERIALS SHALL BE APPROVED BY THE PORTSMOUTH WATER DEPARTMENT PRIOR TO INSTALLATION AND USE.
2) ALL JOINTS SHALL BE MECHANICAL.
3) "CLEAR" DIMENSIONS SHOWN ATE REQUIRED FOR WORKSPACE. NO JOINTS ON PIPE BEING TAPPED WITHIN "CLEAR" AREA.
4) FORD TYPE STAINLESS STEEL TAPPING SADDLES OR APPROVED EQUAL ARE ALSO ACCEPTABLE.

TAPPING SLEEVE AND GATE
NTS **INSTALL PER PORTSMOUTH REQUIREMENTS**

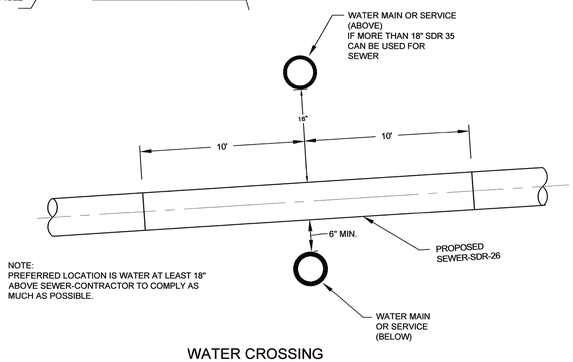


SEWER SERVICE



SECTION

SEWER SERVICE CONNECTION



NOTE:
PREFERRED LOCATION IS WATER AT LEAST 18" ABOVE SEWER-CONTRACTOR TO COMPLY AS MUCH AS POSSIBLE.

WATER CROSSING

SEWER SERVICE DETAILS
NTS **INSTALL PER PORTSMOUTH REQUIREMENTS**

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS.

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PROJECT
FLOROS BUILDING
STATE & PLEASANT STREET PORTSMOUTH

TITLE
SITE DETAILS

STATE OF NEW HAMPSHIRE – JOHN R. CHAGNON No. 7651 LICENSED PROFESSIONAL ENGINEER

DATE	SCALE
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DRAWN BY: CBA	DESIGNED BY: ---	CHECKED BY: JRC
PROJECT No.: 5010129.3150	
SHEET No.: **C504**	REV No.: **0**

P:\5010129-Floros_Realty_Group\3150-State Street-JBC\2024 Site Plan\Plans & Specs\Sht\3150 Site NEW 2024.dwg, 8/2/2025 10:29:50 AM

OVERVIEW

The Bio Clean Downspout Filter is the industry's leading solution for treatment of roof runoff. This technology is used to treat commercial and industrial rooftops along with highrise buildings, parking structures, and residential buildings.

Available in 3 sizes, this filter can easily adapt to downspouts 2" to 12" in diameter. The filter comes standard with rubber boots that allow for easy installation to the downspout.

Proven since 2003, the Downspout Filter has been used on hundreds of installations throughout the United States. All internal components are constructed of stainless steel.

The sleek in-line design allows the filter to be used in tight spaces. Approved by the IAPMO, this filter can meet all your needs.

PERFORMANCE

93% REMOVAL OF TSS

87% REMOVAL OF HYDROCARBONS

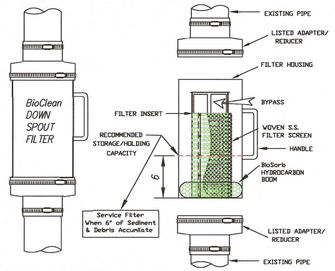
- EFFECTIVE AT REMOVING METALS, NUTRIENTS, AND BACTERIA (MEDIA TYPE)

ADVANTAGES

- 1-YEAR WARRANTY
- NO NETS OR GEOFABRICS
- SLEEK IN-LINE DESIGN
- HIGH TREATMENT FLOW RATE
- HIGH BYPASS FLOW RATE
- LOW COST

SERVICE MANUAL
(Cleaning Procedures)

Bio Clean DOWNSPOUT FILTER
Screen Type With Hydrocarbon Boom



DETAIL OF PARTS

TOOLS AND EQUIPMENT NEEDED:

1. Medium size flat scred driver
2. BioSorb hydrocarbon boom. 25-1/2" X 2" dia. (Call Bio Clean to order)
3. Trash container or bag
4. Wooden dowel approx. 3' x 1/2" dia.

Bio Clean
A Forterra Company

P.O. BOX 869, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net

REMOVING FILTER

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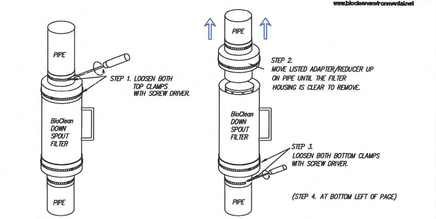
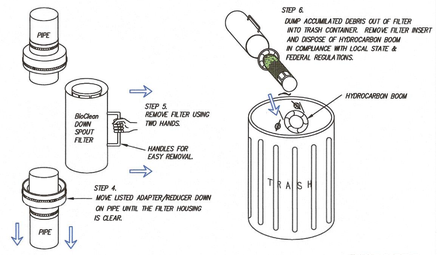


CLEANING FILTER



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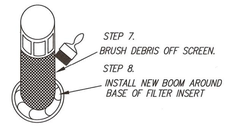
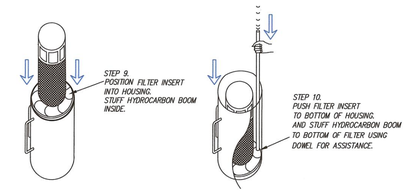


REPLACING FILTER INSERT



REPLACING FILTER

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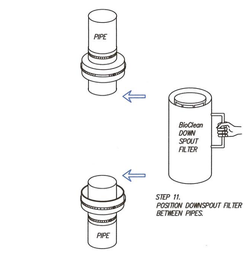
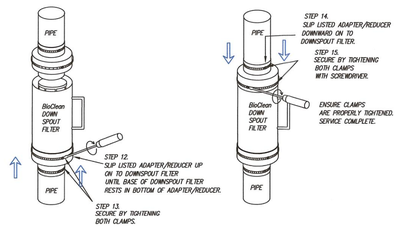
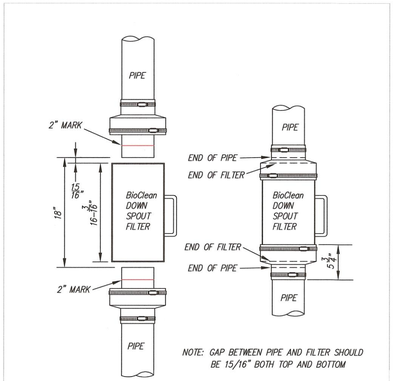




APPROPRIATE INSTALLATION

FILTER CENTERED BETWEEN PIPES WITH EVEN GAPS ON TOP AND BOTTOM



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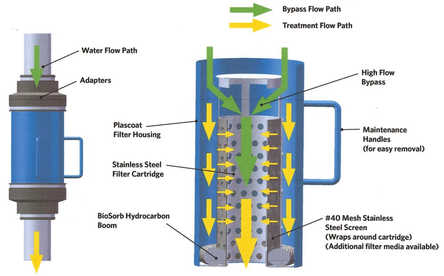
OPERATION



APPROVALS

IAPMO Testing & Approval Listing

UPC C ®

IAPMO R&T LAB

SPECIFICATIONS

MODEL #	INLET ID (dia., in.)	FILTER OD (dia., in.)	STORAGE CAP. (cu. ft.)	FILTERED FLOW (gpm)	BYPASS FLOW (gpm)
BC-DF4	4	6.625	0.09	249	566
BC-DF6	6	8.625	0.21	509	1006
BC-DF8	8	8.625	0.21	509	1006
BC-DF10	10	12.75	0.77	1145	2264
BC-DF12	12	12.75	0.77	1145	2264

DOWNSPOUT FILTER

MAINTENANCE:

THE FILTER IS DESIGNED TO ALLOW FOR THE USE OF MANUAL OR VACUUM REMOVAL OF CAPTURED MATERIALS IN THE FILTER

STRUCTURE. FILTERS CAN BE CLEANED EASILY BY SIMPLY LOOSENING THE METAL CLAMPS AND REMOVING THE FILTER. THE HYDROCARBON

ADSORBENT MEDIA THEN IS REMOVED AND THE TRASH AND DEBRIS CAN BE REMOVED FROM THE STRUCTURE. AT EACH CLEANING, NEW

HYDROCARBON ADSORBENT MEDIA SHOULD BE REINSTALLED.

MAINTENANCE NOTES:

1. BIO CLEAN ENVIRONMENTAL SERVICES, INC. RECOMMENDS CLEANING AND DEBRIS REMOVAL MAINTENANCE A MINIMUM OF TWO TO FOUR TIMES PER YEAR, AND REPLACEMENT OF MEDIA BOOMS A MINIMUM OF TWICE A YEAR.
2. THE DOWNSPOUT FILTER CAN BE CLEANED BY LOOSING THE METAL CLAMPS AT BOTTOM AND TOP OF RUBBER BOOTS. REMOVE THE FILTER BY GRASPING THE HANDLES, SLIDE DOWN THE BOTTOM BOOT OVER THE OUTFLOW PIPE AND SLIDE UP THE TOP BOOT OVER INFLOW PIPE. PLACE THE FILTER ON THE GROUND. DISPOSE OF ANY TRASH AND SEDIMENTS COLLECTED IN FILTER.
3. ONCE THE FILTER IS FREE, REMOVE THE INTERIOR INSERT. REMOVE THE HYDROCARBON ADSORBENT MEDIA BY UNWRAPPING IT FROM THE INTERIOR INSERT AND REPLACING WITH A NEW MEDIA, WRAPPING IT THE SAME WAY.
4. PLACE THE INTERIOR INSERT BACK INTO THE FILTER.
5. PLACE THE FILTER BACK IN LINE WITH THE PIPE AND SLIDE BACK THE TOP AND BOTTOM BOOTS IN PLACE AND TIGHTEN THE METAL CLAMPS SECURELY.
6. EVALUATION OF THE HYDROCARBON MEDIA SHALL BE PERFORMED AT EACH CLEANING. IF THE MEDIA IS FILLED WITH HYDROCARBONS AND OILS IT SHOULD BE REPLACED.
7. TRANSPORT ALL DEBRIS, TRASH, ORGANICS AND SEDIMENTS TO APPROVED FACILITY FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
8. THE HYDROCARBON MEDIA WITH ABSORBED HYDROCARBONS IS CONSIDERED HAZARDOUS WASTE AND NEEDS TO BE HANDLED AND DISPOSED OF AS HAZARDOUS MATERIAL. PLEASE REFER TO STATE AND LOCAL REGULATIONS FOR THE PROPER DISPOSAL OF USED MOTOR OIL/FILTERS.
9. FOLLOWING MAINTENANCE AND/OR INSPECTION, THE MAINTENANCE OPERATOR SHALL PREPARE A MAINTENANCE/INSPECTION RECORD. THE RECORD SHALL INCLUDE ANY MAINTENANCE ACTIVITIES PERFORMED, AMOUNT AND DESCRIPTION OF DEBRIS COLLECTED, AND CONDITION OF FILTER.
10. THE OWNER SHALL RETAIN THE MAINTENANCE/INSPECTION RECORD FOR A MINIMUM OF FIVE YEARS FROM THE DATE OF MAINTENANCE. THESE RECORDS SHALL BE MADE AVAILABLE TO THE GOVERNING MUNICIPALITY FOR INSPECTION UPON REQUEST AT ANY TIME.
11. ANY TOXIC SUBSTANCE OR ITEM FOUND IN THE FILTER IS CONSIDERED AS HAZARDOUS MATERIAL AND CAN ONLY BE HANDLED BY A CERTIFIED HAZARDOUS WASTE TRAINED PERSON (MINIMUM 24-HOUR HAZWOPER).

REV.	DATE	DESCRIPTION	BY	CHK.
0	08/18/2025	ISSUED FOR COMMENTS	CBA	JRC

DRAWING ISSUE STATUS

PERMIT PLANS

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

PROJECT

FLOROS BUILDING
STATE & PLEASANT STREET PORTSMOUTH

TITLE

SITE DETAILS

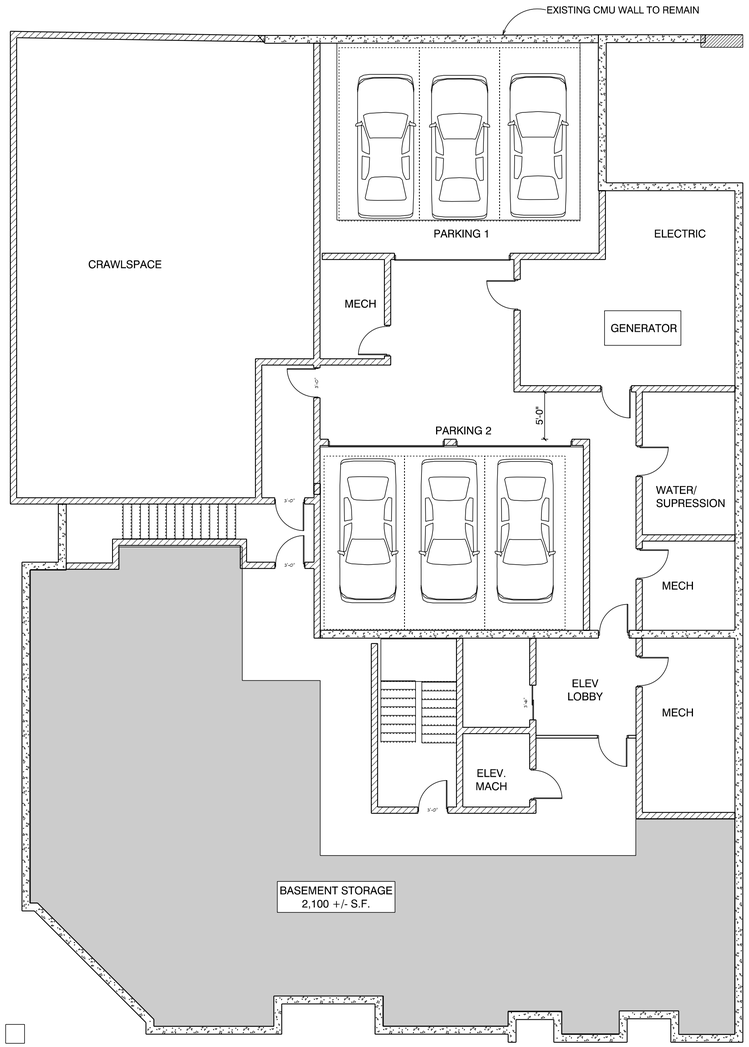
STATE OF NEW HAMPSHIRE – JOHN R. CHANNON No. 9651 – LICENSED PROFESSIONAL ENGINEER

DATE	SCALE
AUGUST 2024	NTS

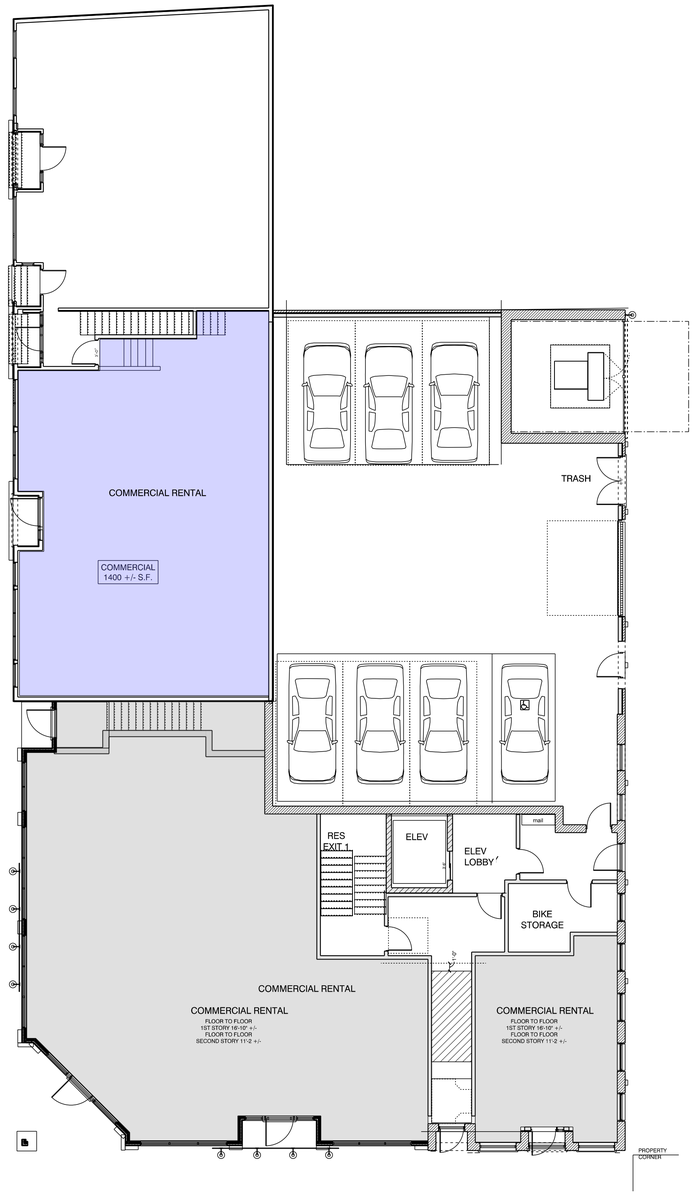
DRAWN BY	DESIGNED BY	CHECKED BY
CBA	---	JRC

PROJECT No. 5010129.3150

SHEET No. **C505** REV No. **0**



BASEMENT PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 0.1041" = 1'-0"

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DESIGN
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03857
603-292-1400
mjkarchitects.com

CONSULTANTS

REVISIONS

APPROVALS

HDC - 07/18/25

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PROJECT

MIXED USE DEVELOPMENT
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
Portsmouth, NH
03801

TITLE

BASEMENT & 1ST FLR PLAN

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CHECKED BY:

DATE: 7/18/2025

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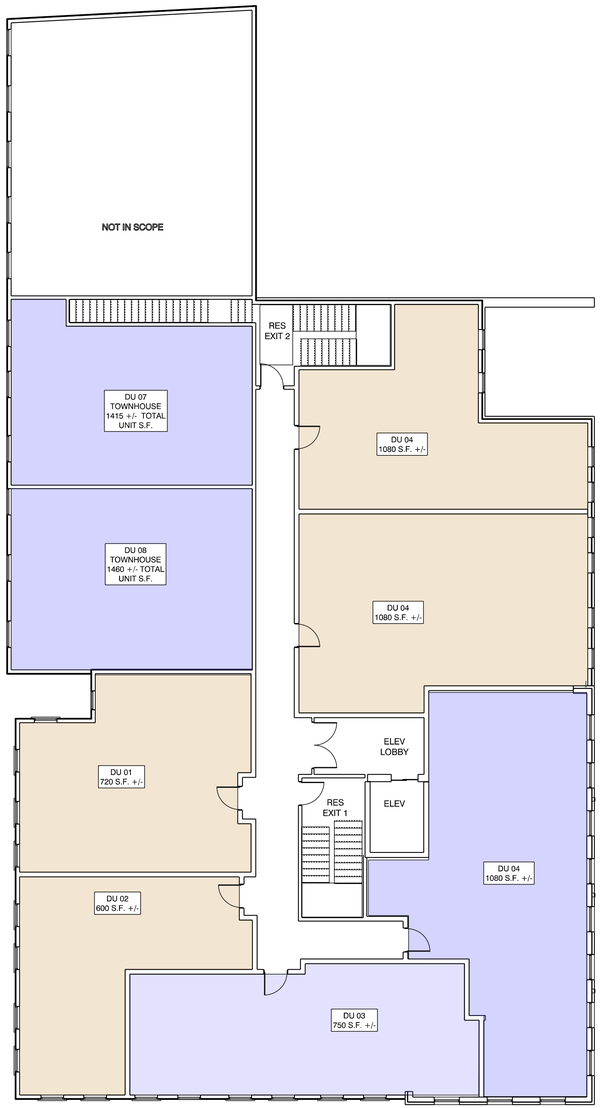
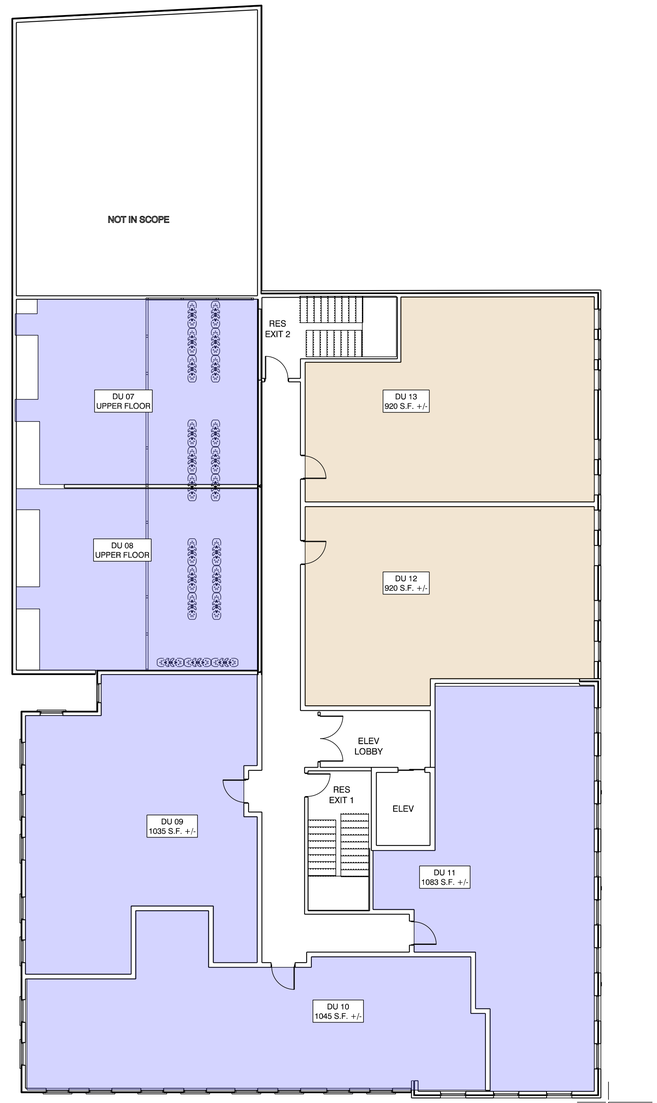
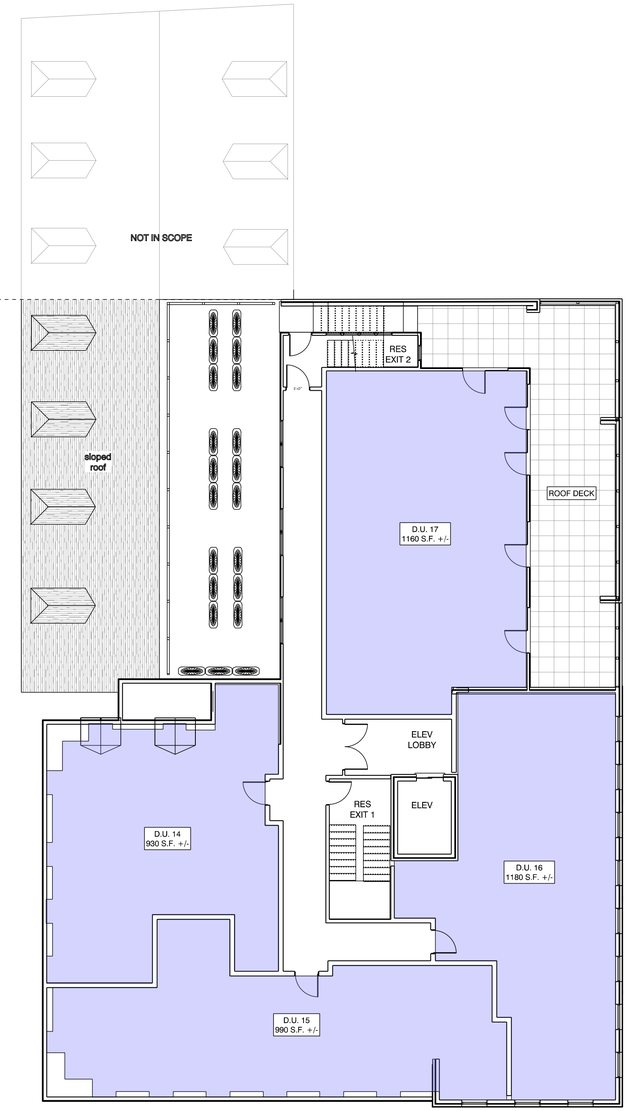
DO NOT SCALE PRINTS



SECOND FLOOR PLAN
SCALE: 1" = 10'-0"



THIRD FLOOR PLAN
SCALE: 1" = 10'-0"



FOURTH FLOOR PLAN
SCALE: 1" = 10'-0"

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CONSULTANTS

REVISIONS

APPROVALS

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AND 84 PLEASANT ST,
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Portsmouth, NH
03801

TITLE

UPPER LEVEL PLANS

DRAWN BY:

CHECKED BY:

DATE: 7/18/2025

SCALE: AS NOTED

DRAWING NO.

HDC.12

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PORTSMOUTH NH

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03801

TITLE

RENDERINGS

DRAWN BY:

CHECKED BY:

DATE: 7/18/2025

SCALE: AS NOTED

DRAWING NO.

HDC.6

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