

17 November 2025

Peter Stith, TAC Committee Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Technical Advisory Committee Review at 84 Pleasant Street and 266 – 278 State Street, Floros Building, Redevelopment Site Plan

Dear Mr. Stith and Technical Advisory Committee Members:

On behalf of the PNF Trust of 2013 and 282 Middle Street, LLC, we are pleased to submit the attached plan set for **Technical Advisory Committee (TAC) Review** for the above-mentioned project at your **December 2, 2025 TAC Meeting**. The project includes building construction and remodeling on Tax Map 107, Lots 77 – 80 with the associated and required site improvements. The proposal includes merging these four lots into one development parcel. On May 28, 2019, the Portsmouth Zoning Board of Adjustment (ZBA) granted dimensional variances for the proposed project, and on August 6, 2025 the Historic District Commission (HDC) granted approval for the architectural design.

The site was the scene of a devastating fire in 2017 destroying the structure(s) at the corner of State Street and Pleasant Street. This area of the lot is currently filled with gravel as the site awaits new building approval. The then existing structure at 278 State Street, known as the Times Building, has been demolished and removed.

Project Overview

The proposal is for some additional site demolition and new construction, keeping the 84 Pleasant Street façade. The plans show a replacement structure at the State Street / Church Street corner, with exterior elevation features similar to the former Times Building, which stood at that location. The project will have retail / commercial / restaurant space on the first floor, and residential units above. At 84 Pleasant Street there will be a reconstruction of the existing building fronting Pleasant Street, with demolition of the rear half (Church Street) of the existing building, and a new underground and street-level addition on Church Street. The remodeled building and addition will have parking garage connection non-residential uses at the ground level, residential use above, and a stepped back top story. Part of the front of the existing building parallel to Pleasant Street (sloped roof) will be removed and will be incorporated into the addition and remodeling. The residential component of the total project will include 17 two-bedroom dwelling units. The Church Street entrance leads to a car storage system at the first and basement floor levels. This system is designed to allow the storage of 16 vehicles. There is also a first-floor level ADA parking space, for a total of 17 parking spaces provided on site.

Site Zoning

The property is zoned Character District 4 (CD4). The CD4 District is an urban zoning district that allows for a wide array of higher density commercial and residential uses. The Property is also in the Downtown Overlay District (DOD). The Downtown Overlay District is a district to promote the economic viability of the downtown by ensuring continuity of pedestrian-oriented business uses along streets.

The project Site Plan C3 details information regarding the proposed uses, footprints, impervious surface areas, pedestrian and vehicle access. The required parking under the Portsmouth Zoning Ordinance (PZO) is as follows:

17 Dwelling Units at 1 space per unit = 17 Spaces Required

Visitor Spaces – 1 per 5 units = 4 Spaces Required

DOD Overlay Space Reduction (Section 10.1115.23) = 4 Spaces Deducted

Total Required Spaces = 17

Total Spaces Provided = 17 Spaces

Vehicular and Pedestrian Circulation

The project includes a proposed parking system which has been designed by the applicants parking consultant, Automotion. The final design and procurement may be with an equally qualified vendor with a similar design. The parking is accessed by a driveway entrance off Court Street, at the first-floor level. The Court Street entrance provides access to a car storage system at the first and basement floor levels. The car storage system is an automated user driven system that will activate at the users request. The system either retrieves or stores the vehicle in an owners designated storage spot. Once stored, the car can be retrieved by the owner at such time as the car is needed again. This system is designed to allow the storage of 16 vehicles. There is also a first-floor level ADA parking space, bringing the total on-site parking to 17 parking spaces. This is in conformance to the PZO Parking Requirements. Included in the submission material are vehicle turning movement diagrams.

The submission includes information about the car storage system. The system shuffles the vehicles mechanically, so more vehicles can fit in the selected space. The individual owner parking space selected is moved horizontally and vertically over the first and basement floor levels to the desired exit / entrance position by means of an automatic control system. The *Automation Parking System Racking*, the automatic Compact Parker (CP), makes it so the parking spaces on the first-floor parking level (coupled with the basement space), can be almost tripled, from three cars to eight cars. The Compact Parker software which runs the system is suitable for private parking with assigned access for customers, which is the intent in this application. The redevelopment of this parcel will not create a traffic increase from the previous, pre-fire uses, therefore we believe that the project will not impact traffic operations on the adjacent roadway network.

Pedestrian access to the commercial spaces is from the street level sidewalks. Access to the upper floor residential units is from the State Street and Pleasant Street sidewalks, and the parking garage. Pedestrian access to Church Street from the bicycle storage area is provided.

Landscaping

The site currently has no on-site landscaping. There was a single street tree on the State Street frontage that was removed due to damage from the building demolition. The city has indicated that they would be replacing the tree. No landscaping is proposed.

Water and Sewage Services

The site is served by municipal water and sewer. Water and sprinkler services will come from Pleasant Street, and the sewer service will connect to the sewer in State Street, shown on the Utility Plan C4. An in-basement grease interceptor will be provided to allow for a future first floor restaurant use, if leased. The grease interceptor is shown on the Basement Plan PB 7. The utility demand generated by the project is not expected to exceed the capacity of the existing infrastructure.

Stormwater Management

The proposed roof drains will capture roof runoff and deliver it to the adjacent city closed pipe system to a connection point on Church Street, as shown on the Roof Drainage Plan C6. The roof drains would have internal filters within the building to provide post-development runoff treatment for the site. The roof capture and treatment will treat 75% of the developed site area. Additional roof areas (the Mansard sections) will drain to street level via roof gutters and downspouts, as shown on the plan. The gutters will be connected to a piping network and directed to catch basins on Pleasant and State Streets. Erosion and sediment control practices will be implemented for both the temporary condition during construction, and for final stabilization after construction. The Inspection and Maintenance Plan document is included in the submission.

Site Lighting

The re-development will introduce some building mounted lighting at the pedestrian building entrances and along building frontages to provide a welcoming and safe pedestrian experience. All lighting will be building mounted. Lighting mounting heights will be as shown on the Architectural plans, with nothing mounted over 15 feet above grade. Spill of lighting, due to the proximity of the building to the street, is unavoidable, but is a bonus to the pedestrian safety and sidewalk utilization. The lighting specifications are included in the submission material, and the light intensities shown on the Lighting Plan C7.

Site Signage

The site will be served by building mounted street number identification signage, the final locations will be determined with city GIS / 911 input. Commercial storefronts will have building mounted signage. The only other signage is required traffic, delivery, and parking controls, such as the ADA signage for the interior parking space and labelling of the garage entrance. A “No Parking Here to Corner” sign in the street will be moved to the building façade.

Site Utilities and Solid Waste

Site utilities include natural gas, underground electric, and communications services. The gas service will be relocated to the Church Street side of the building with three meters, protected by bollards, serving the entire re-development. Communication services locations will be detailed by the chosen provider at the time of construction.

Solid Waste will be collected in an interior trash area, with direct access to Church Street for trash haulers pick up. The trash will be removed on a regular schedule, adjusted as needed to frequency based on demand.

The following plans are included in our Plan Set submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, Utility Contacts, and Site Zoning.
- Standard Boundary Survey– This plans show the existing property boundaries of all four lots in the development area (the proposed merged lot).
- License Plan – This plan shows a proposed cornice license area.
- Orthophoto Plan O1 – This plan shows an aerial view of the existing site.
- Existing Conditions Plan C1 – This plan shows the current features of the project area and site topography.
- Demolition Plan C2 – This plan shows the portions of the existing buildings which will be demolished for the site redevelopment.
- Site Plan C3 – This plan shows the site development area with the associated Zoning Calculations. The site was, and is proposed to be, 100% impervious.
- Architectural Rendering and Floor Plans - These plans show Floor Plans and Exterior Renderings.
- Utility Plan C4 – This plan shows proposed site utilities.
- Offsite Electrical Connection Plan C5 – Since the site re-development can't be served by the existing electrical capacity offsite work is required to feed a new pad mounted transformer on the property. This plan shows the proposed infrastructure.
- Roof Drainage Plan C6 – This plan shows the roof drainage patterns and the storm drainage connections.
- Lighting Plan C7 – This plan shows proposed site lighting.
- Site Details C501-505 – These plans show site construction details.

Also attached to this submission is additional material to aid in the review of the application:

- ✓ Site Plan Checklist
- ✓ Green Building Statement
- ✓ Parking System Schematic and Brochure
- ✓ Parking Garage Turning Templates
- ✓ Lighting Specifications
- ✓ Will Serve Letter
- ✓ Drainage Inspection and Maintenance Plan
- ✓ ZBA and HDC approval documents
- ✓ Average Grade Plane Calculation

We look forward to TAC review of this submission and look forward to an in-person presentation at your meeting. We hereby request approval of the project.

Sincerely,



John R. Chagnon, PE

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City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: PNF Trust of 2013 Peter N. Flores Trustee Date Submitted: 11/17/2025

Application # (in City's online permitting): LU-24-195

Site Address: 266, 270, 278 State Street and 84 Pleasant Street Map: 107 Lot: 77-80

Application Requirements			
☒	Required Items for Submittal	Item Location (e.g. Page or Plan Sheet/Note #)	Waiver Requested
☐	Complete application form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A))	Online	N/A
☐	All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8)	Online	N/A

Site Plan Review Application Required Information			
☒	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☐	Statement that lists and describes "green" building components and systems. (2.5.3.1B)	Online	
☐	Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C)	Architectural Plans	N/A
☐	Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D)	C1 Existing Conditions	N/A

Site Plan Review Application Required Information			
☒	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☐	Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E)	Cover Page	N/A
☐	Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F)	C1 Existing Conditions	N/A
☐	Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G)	Cover Sheet	N/A
☐	List of reference plans. (2.5.3.1H)	Standard Boundary Survey	N/A
☐	List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I)	Cover Sheet	N/A

Site Plan Specifications			
☒	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☐	Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A)	Required on all plan sheets	N/A
☐	Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B)	Required on all plan sheets	N/A
☐	GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C)	Complies	N/A
☐	Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D)	Required on all plan sheets	N/A
☐	Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E)	N/A	N/A
☐	Title (name of development project), north point, scale, legend. (2.5.4.2A)	Cover Sheet	N/A
☐	Date plans first submitted, date and explanation of revisions. (2.5.4.2B)	All Sheets	N/A
☐	Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C)	Required on all plan sheets	N/A
☐	Source and date of data displayed on the plan. (2.5.4.2D)	Standard Boundary Survey & C1 Existing Conditions Plan	N/A

Site Plan Specifications – Required Exhibits and Data			
☒	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☐	1. Existing Conditions: (2.5.4.3A) • Surveyed plan of site showing existing natural and built features; • Existing building footprints and gross floor area; • Existing parking areas and number of parking spaces provided; • Zoning district boundaries; • Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; • Existing impervious and disturbed areas; • Limits and type of existing vegetation; • Wetland delineation, wetland function and value assessment (including vernal pools); • SFHA, 100-year flood elevation line and BFE data, as required.	C1 Existing Conditions	
☐	2. Buildings and Structures: (2.5.4.3B) • Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; • Elevations: Height, massing, placement, materials, lighting, façade treatments; • Total Floor Area; • Number of Usable Floors; • Gross floor area by floor and use.	Architectural Plans	
☐	3. Access and Circulation: (2.5.4.3C) • Location/width of access ways within site; • Location of curbing, right of ways, edge of pavement and sidewalks; • Location, type, size and design of traffic signing (pavement markings); • Names/layout of existing abutting streets; • Driveway curb cuts for abutting prop. and public roads; • If subdivision; Names of all roads, right of way lines and easements noted; • AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC).	C3 Site Plan	
☐	4. Parking and Loading: (2.5.4.3D) • Location of off street parking/loading areas, landscaped areas/buffers; • Parking Calculations (# required and the # provided).	C3 Site Plan	
☐	5. Water Infrastructure: (2.5.4.3E) • Size, type and location of water mains, shut-offs, hydrants & Engineering data; • Location of wells and monitoring wells (include protective radii).	C4 Utility	
☐	6. Sewer Infrastructure: (2.5.4.3F) • Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period.	C4 Utility	

☐	7. Utilities: (2.5.4.3G) - The size, type and location of all above & below ground utilities; - Size type and location of generator pads, transformers and other fixtures.	C4 Utility Plan	
☐	8. Solid Waste Facilities: (2.5.4.3H) The size, type and location of solid waste facilities.	Building Plans	
☐	9. Storm water Management: (2.5.4.3I) - The location, elevation and layout of all storm-water drainage. - The location of onsite snow storage areas and/or proposed off-site snow removal provisions. - Location and containment measures for any salt storage facilities - Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures.	C6 Roof Drainage Plan	
☐	10. Outdoor Lighting: (2.5.4.3J) Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan.	C7 Lighting Plan	
☐	11. Indicate where dark sky friendly lighting measures have been implemented. (10.1)	All Fixtures	
☐	12. Landscaping: (2.5.4.3K) - Identify all undisturbed area, existing vegetation and that which is to be retained; - Location of any irrigation system and water source.	N/A	
☐	13. Contours and Elevation: (2.5.4.3L) Existing/Proposed contours (2 foot minimum) and finished grade elevations.	C6 Roof Drainage Plan	
☐	14. Open Space: (2.5.4.3M) Type, extent and location of all existing/proposed open space.	C3 Site Plan	
☐	15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N)	License Plan	
☐	16. Character/Civic District (All following information shall be included): (2.5.4.3P) - Applicable Building Height (10.5A21.20 & 10.5A43.30); - Applicable Special Requirements (10.5A21.30); - Proposed building form/type (10.5A43); - Proposed community space (10.5A46).	Cover Letter & Building Plans	
☐	17. Special Flood Hazard Areas (2.5.4.3Q) - The proposed development is consistent with the need to minimize flood damage; - All public utilities and facilities are located and construction to minimize or eliminate flood damage; - Adequate drainage is provided so as to reduce exposure to flood hazards.	N/A	

Other Required Information			
☒	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☐	Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2)	Supplemental Materials	
☐	Indicate where Low Impact Development Design practices have been incorporated. (7.1)	Detail Sheets	
☐	Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1)	N/A	
☐	Stormwater Management and Erosion Control Plan. (7.4)	Supplemental Materials	
☐	Inspection and Maintenance Plan (7.6.5)	Supplemental Materials	

Final Site Plan Approval Required Information			
☒	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☐	All local approvals, permits, easements and licenses required, including but not limited to: • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A)	Cover Sheet	
☐	Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post- construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B)	Online & On Plans	
☐	A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D)	Supplemental Materials	

Final Site Plan Approval Required Information			
☒	Required Items for Submittal	Item Location (e.g. Page/line or Plan Sheet/Note #)	Waiver Requested
☐	A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E)	Cover Sheet	
☐	A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E)	C3 Site Plan	N/A
☐	For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F)	N/A	
☐	Plan sheets submitted for recording shall include the following notes: a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3)	C3 Site Plan	N/A

Applicant's Signature:  Date: 11/17/2025

Green Energy Statement for 266, 270, 278 State Street and 84 Pleasant Street, Portsmouth NH

Exterior Wall Systems: The exterior walls will meet or exceed the 2021 IECC standards for energy efficient design with any applicable State of New Hampshire and/or City of Portsmouth Amendments.

Window Systems: All windows systems in the project will meet or exceed the 2021 IECC standards with any applicable State of New Hampshire and/or City of Portsmouth Amendments. for u-value, shading coefficient and solar heat gain including high-performance, low-e glazing.

Roofing Systems: Flat roof systems will consist of a roof membrane over continuous sloped insulation above the roof deck. Insulation value will meet or exceed the 2021 IECC standards with any applicable State of New Hampshire and/or City of Portsmouth Amendments. Slopes will direct water to interior roof drains.

Pitched roofs will be clad in shingles of various materials (asphalt and Vinyl Slate-look) insulation will be in the framing cavity. Rainwater will be collected in gutters and downspouts to be managed in the site drainage.

HVAC Systems: The dwelling units will be provided with individualized heating and cooling units. Systems may include electric heat pumps and energy recovery ventilation units with EnergyStar electric domestic hot water heaters. The enclosed parking areas will be minimally heat using gas-fired unit heaters.

Plumbing Systems: All plumbing fixtures in the project will be low-flow fixtures. Dwelling units will have individual EnergyStar rated hot water heaters.

Lighting Systems: All permanent interior light fixtures will use LED lamping or other high efficiency lights.

Appliances: All appliances provided with the project will be EnergyStar rated.

Electric Vehicles: Provisions will be made for charging electric vehicles and electric bicycles.



PARKING SOLUTIONS MADE BY
DEVELOPERS, **FOR DEVELOPERS**



AUTOMOTION
PARKING SYSTEMS

APS
AUTO-CP

AUTOMOTION PARKING SYSTEMS, LLC

411 Hempstead Turnpike, Suite 200
West Hempstead, NY 11552

+516-565-5600 | www.automotionparking.com | sales@automotionparking.com



AUTOMOTION **AUTO-CP**

AutoMotion Auto-CP is the top-of-the-line semi-automatic self-parking system, developed by STOPA. The Auto-CP is able to increase existing parking capacity by stacking vehicles on multiple levels with electromechanical deployment.

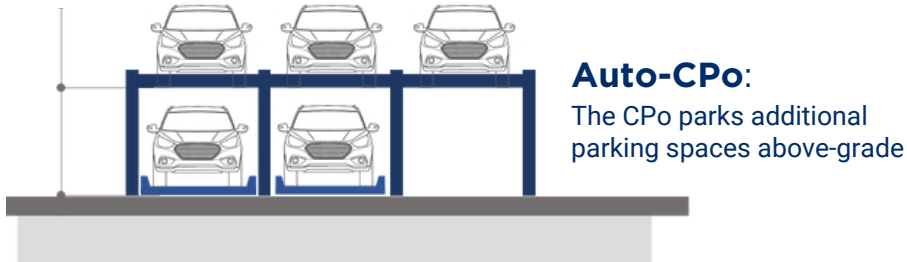
The parking space selected is moved horizontally on grade, or vertically on other levels, to the desired position by means of an automatic control system. With our automatic Compact Parker (CP), the parking spaces on one parking level can be tripled. Different design configurations allow the access level to be extended above, on, or below grade. The Compact Parker is suitable for private parking with assigned access for customers.



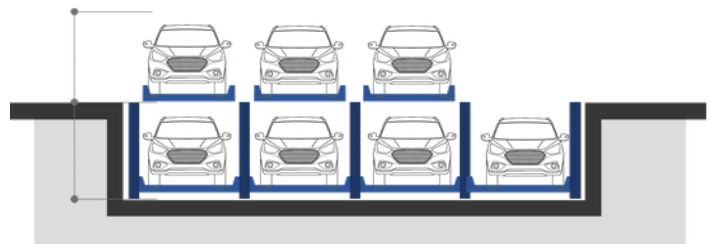
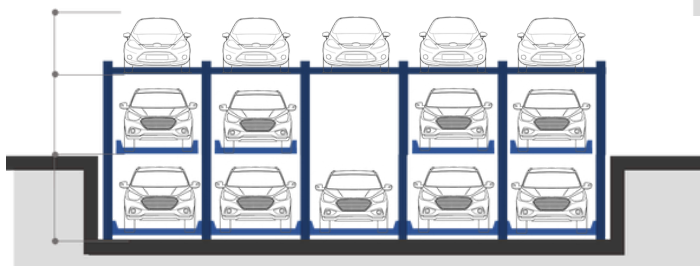
AUTO-CP **ADVANTAGES**

- One-minute retrieval times
- Maximizes land use
- Customizable design
- Independent supporting structure
- Safe, secure, and convenient
- Reduces construction costs
- Reduces operational costs
- Reduces vehicle damage
- Reduces infrastructure costs
- Environment friendly

SYSTEM VARIATIONS



Auto-CPu
The CPu parks additional parking spaces below-grade



Auto-CPc:
The CPc is a combination of parking spaces above and below grade

WHAT SETS OUR SYSTEM APART

- The only system on the market with remote maintenance
- Comfortable passable and walkable flat surface made of sustainable and non-slip plywood panels
- No hydraulics (no leaks and easy to maintain)
- Full-sized individual safety gates
- Suitable for a wide range of temperatures
- No need to back into the parking space
- EV Charging Compatibility
- No dripping of fluids from cars to spaces below



SPECIFICATIONS & **VEHICLE DIMENSIONS**

Clear platform width:	7'6 1/2" 8'2 3/8" 8'10 1/4"
Vehicle height:	5'2 7/8" 5'10 7/8" 6'6 3/4"
Vehicle length:	16'4 3/4" 17' 3/4"
Vehicle weight:	5,732 lbs. (wheel load max: 1,433 lbs.)
Minimum vehicle ground clearance:	5 1/2"

CONTROL UNITS & **CUSTOMIZED VERSIONS**

Additional installation space is required in the area of the parking system for the control cabinet. The operating terminal is mounted on the left or right of the system, with a view of all gates.

Special versions (optional)

- Electric sliding gates
- EV Charging
- Structure-borne sound insulation
- Customized dimensions on request
- Customized door surface on request

GATE **SPECIFICATIONS**

Standard gates:	Automatic sliding gates
Standard gate frame:	Aluminum profile, natural anodized
Standard gate filling:	Inside: galvanized steel wire mesh (mesh size 9/16" x 9/16")
Outside:	Aluminum smooth sheet, natural anodized (thickness 1/16")

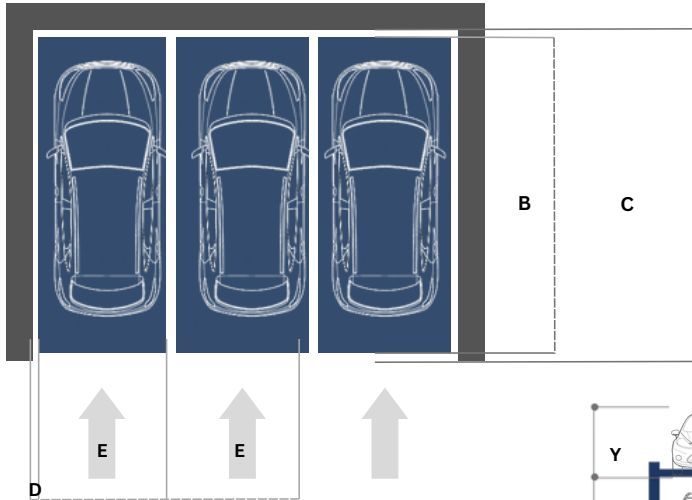
ADDITIONAL INFORMATION

Auto-CP mobilizes the existing space by using it at its highest efficiency. It can be used to park up to three cars stacked above each other and offer space from 5 to 38 SUV/s or Sedan vehicles.

A driving lane in front of the full width of the system is required to access all parking spaces, and one vacant space on the entry level allows for shuffling of the platforms. Each access level pallet is secured by a door that can only be opened when all shuffling of pallets is completed. This ensures the safety of the users as well as protects the vehicles from theft and vandalism. Additional features include:

- Flat, horizontal, non-slip platform surface
- Electromechanical drives
- Operation via RFID or IR/radio remote control

AUTO-CP DIMENSIONS



System Dimensions:

Auto-CPc (C) with 3 blocks
(platform width 90.55"; platform length: 204.72"
car height: 68.89"/78.74"/68.89");

Total height = Z + X + Y
total height = 68.89" + 17.71" + 78.74" + 5.90" + 68.89" + 5.90"
Total height = 246.06"

*All construction dimensions are minimum finished dimensions. Tolerance for construction dimensions +1.18"/-0". Tolerance of floor flatness max. +0.59"/-0".

Longitudinal Grid

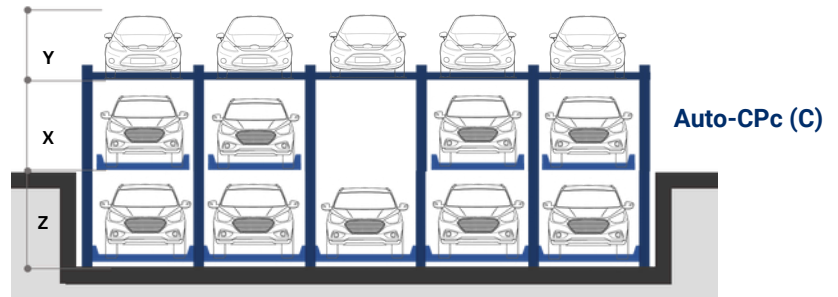
Construction length (C) = Platform length
(B) + 19.68"

Width Grid

Block width (E) = platform width + 7.87"
Distance (D) = 3.93"
System width (F) = 2 x D + E x number of blocks

Height Grid

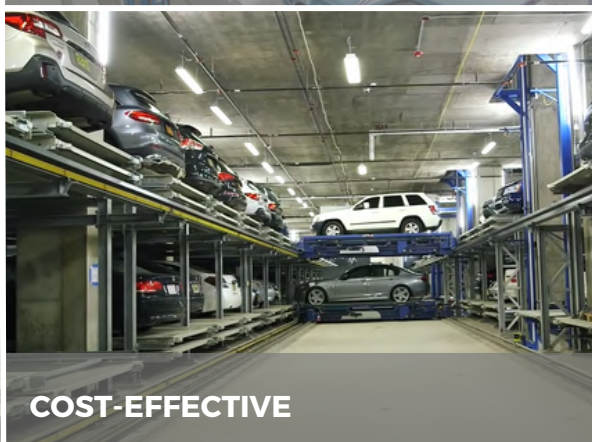
Above (Y) = Vehicle height + 5.90"
Entrance Level (X) = Vehicle height + 5.90"
Below (Z) = Vehicle height + 17.71"



Total length = B + 19.68" = C
Total length = 204.72" + 19.68" = 224.40"

Total width = 2 x D + 3 x E
Total width = 196.85" x 3.93" + 118.11" x (90.55" + 7.87") = 303.14"





PARKING SOLUTIONS MADE BY DEVELOPERS, FOR DEVELOPERS

LET'S TALK ABOUT YOUR PROJECT



AUTOMOTION PARKING SYSTEMS, LLC

411 Hempstead Turnpike, Suite 200
West Hempstead, NY 11552



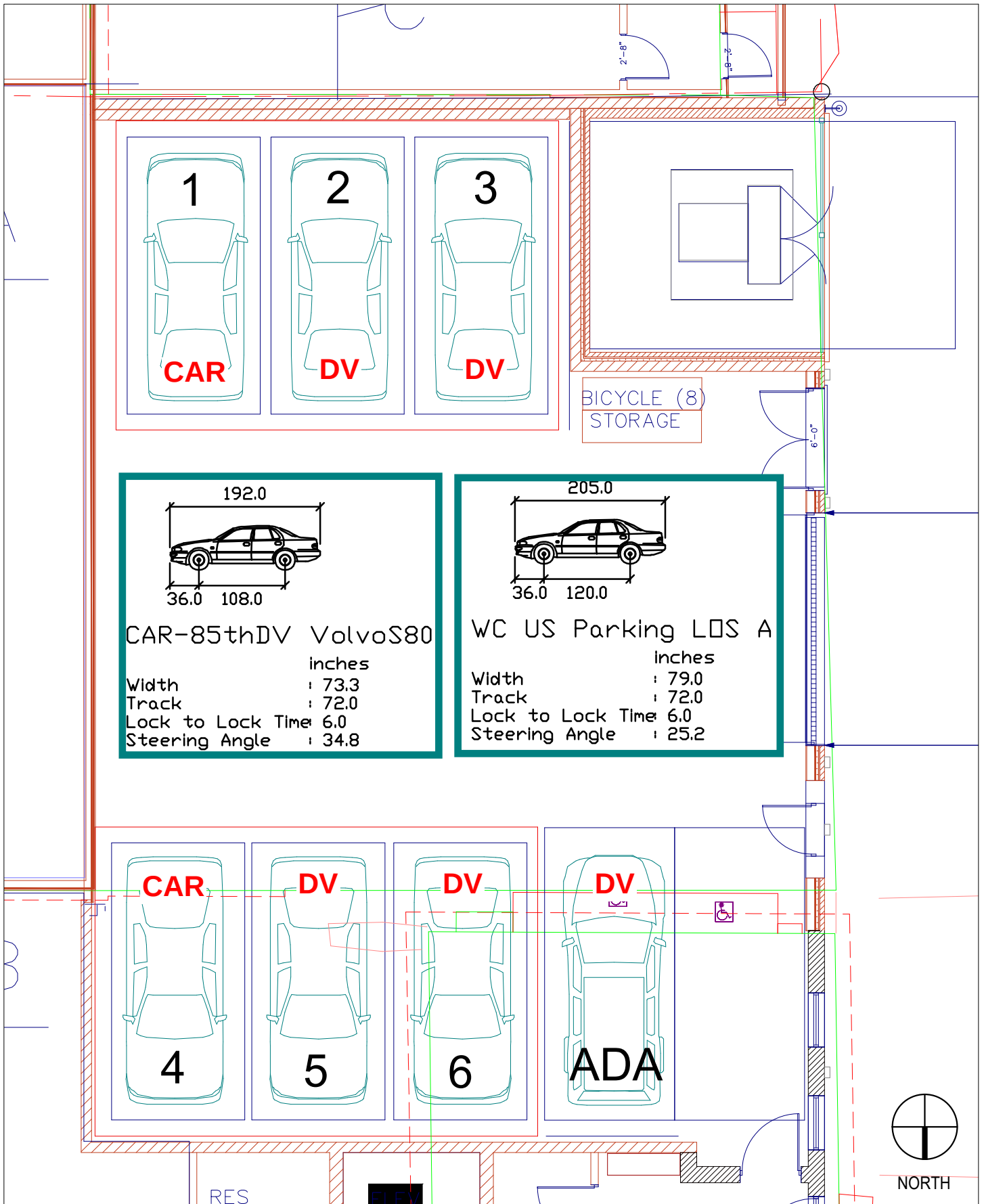
516-565-5600



sales@automotionparking.com



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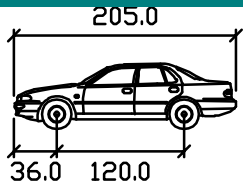
Job: 266 State Street

Job No: 16-003830.00

Date: November 14, 2025

No.

Summary



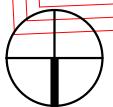
WC US Parking LOS A

Width : 79.0
Track : 72.0
Lock to Lock Time : 6.0
Steering Angle : 25.2

The design vehicle fits with this specific turning maneuver. The door width should remain this wide through design.

APPROXIMATE EXISTING WROUGHT IRON FENCE WITH GRANITE POSTS

CHURCH STREET



NORTH



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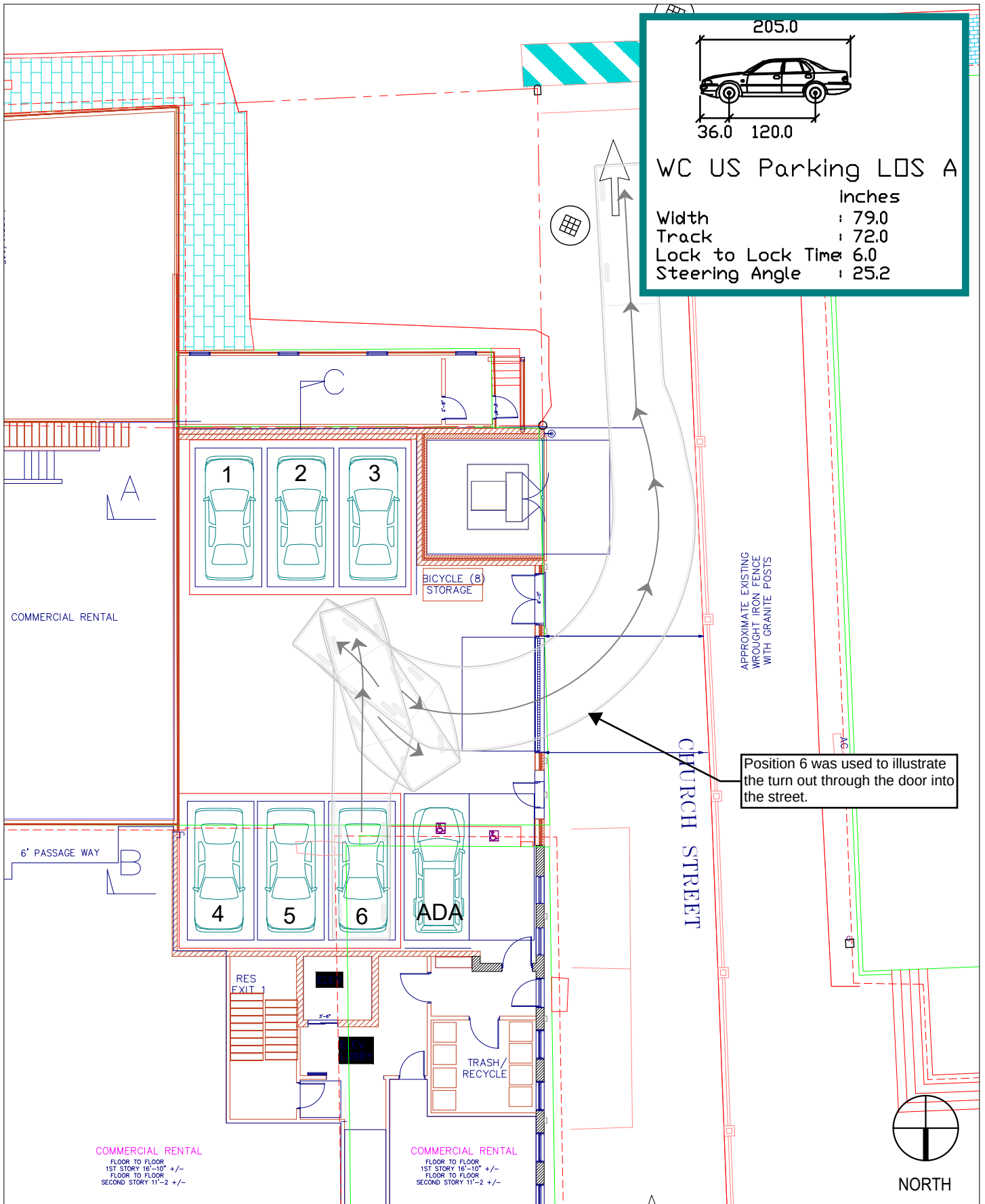
Job: 266 State Street

Job No: 16-003830.00

Date: November 14, 2025

No.

Site
Entry

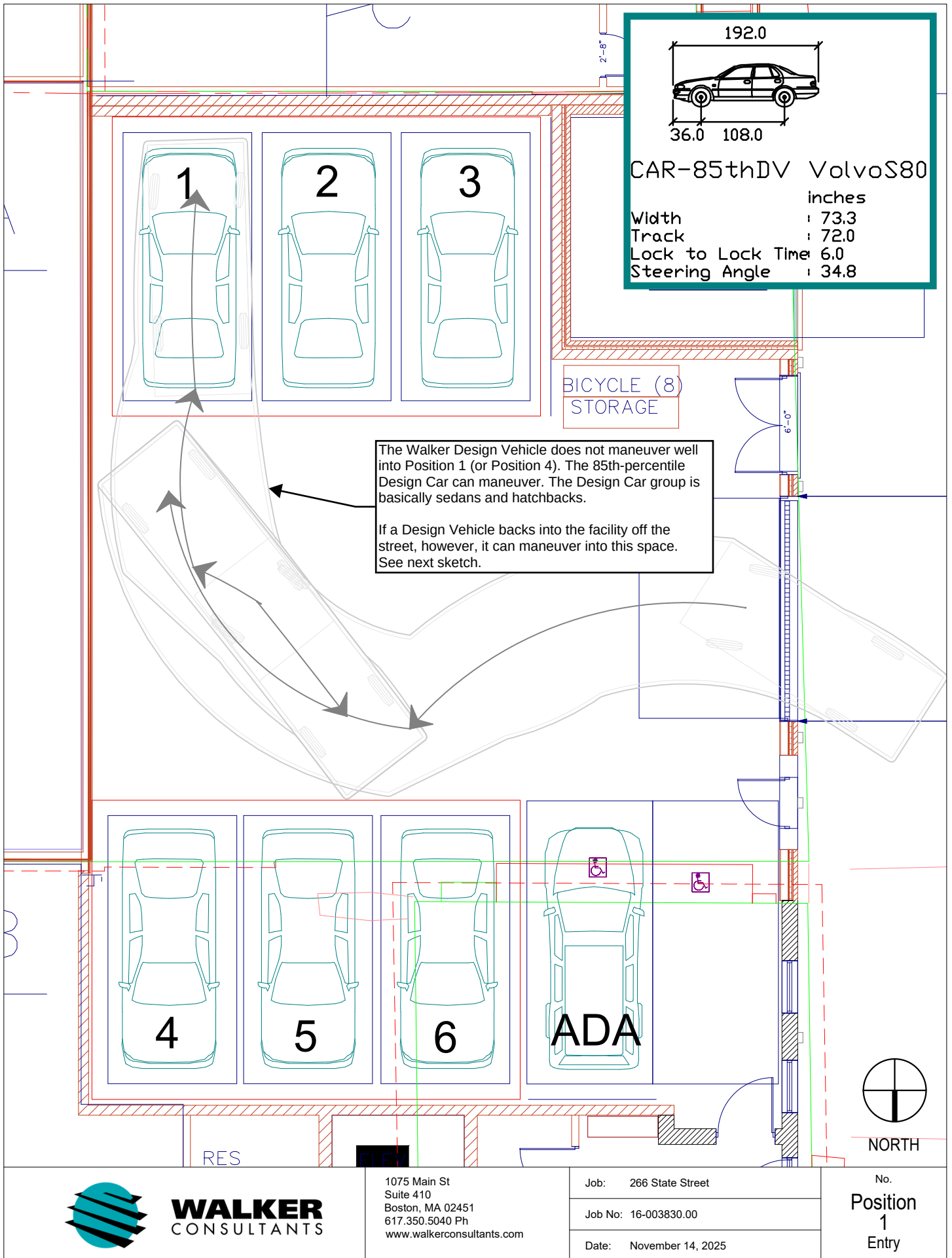


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Date: November 14, 2025

No.
Site
Exit

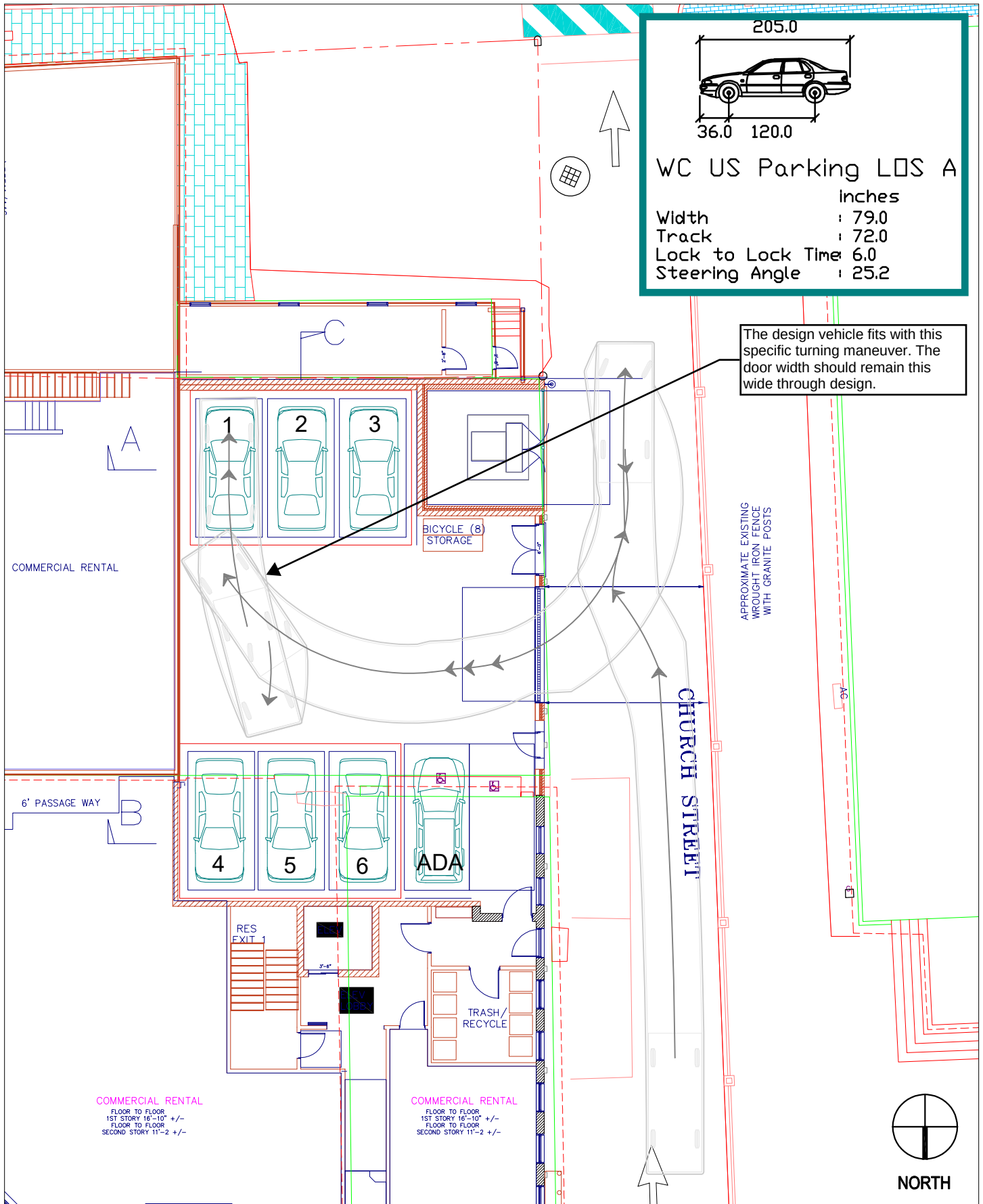


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No.
Position 1
Entry

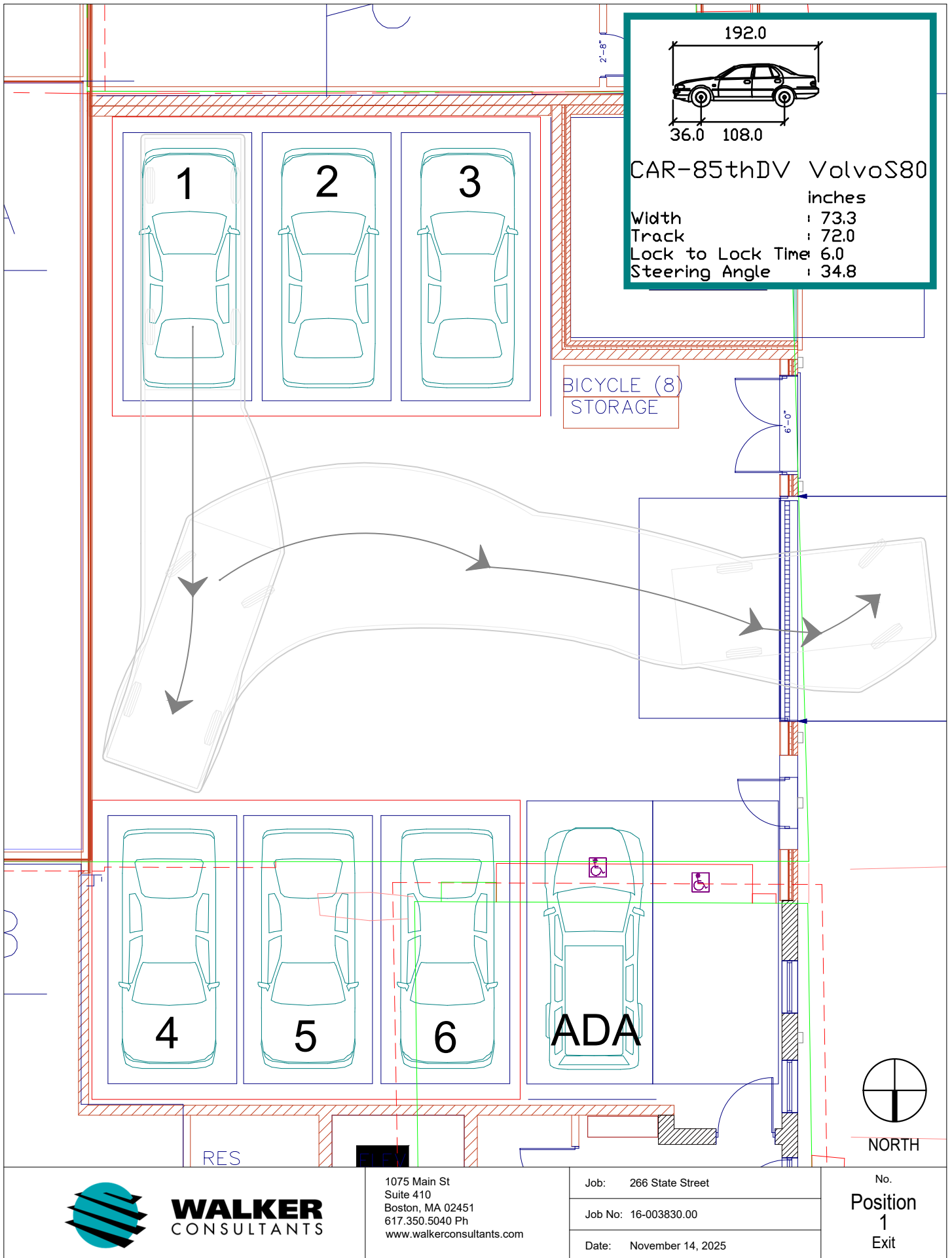


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Job No: 16-003830.00
Date: November 14, 2025

No.
Position 1
Walker DV
Reverse Entry

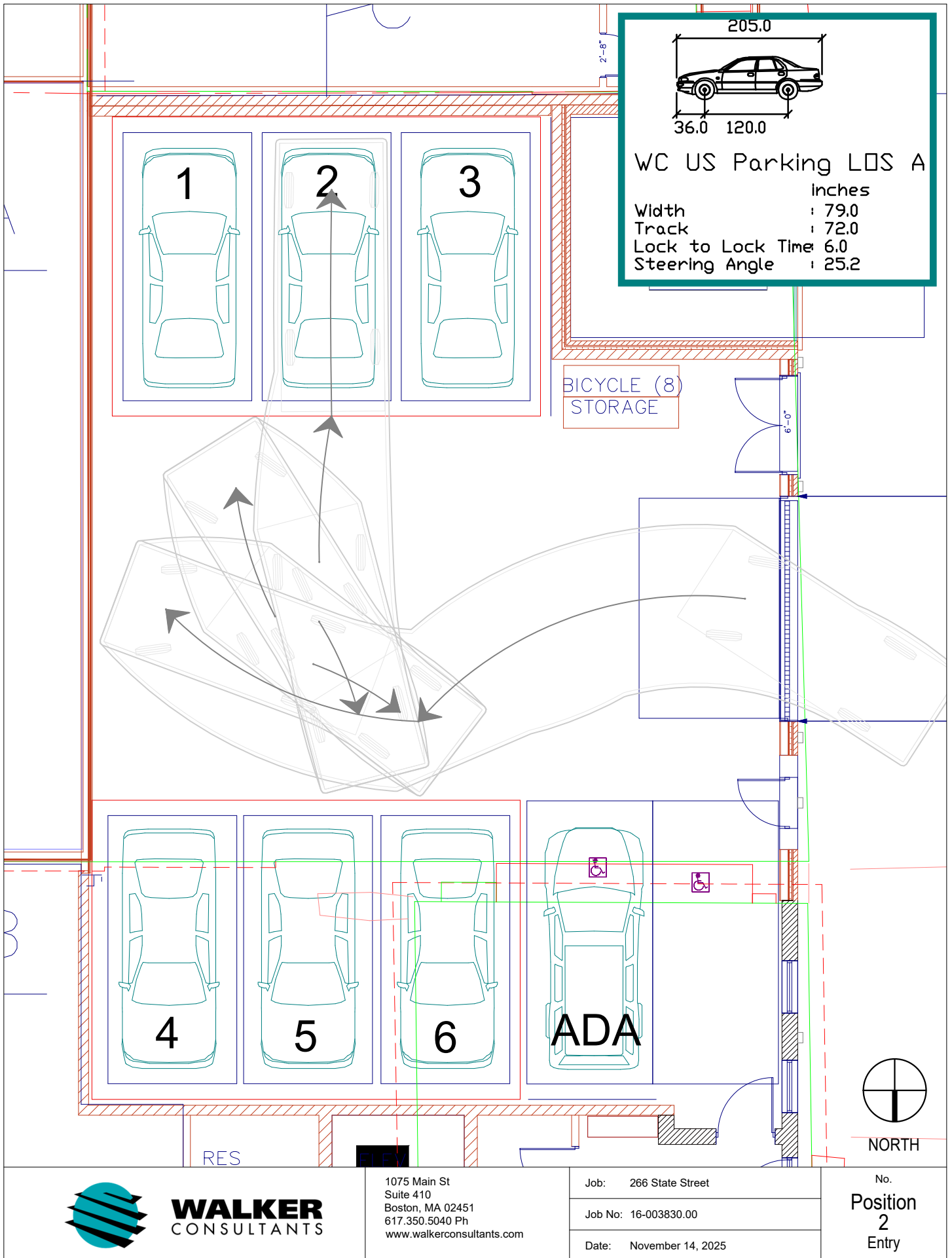


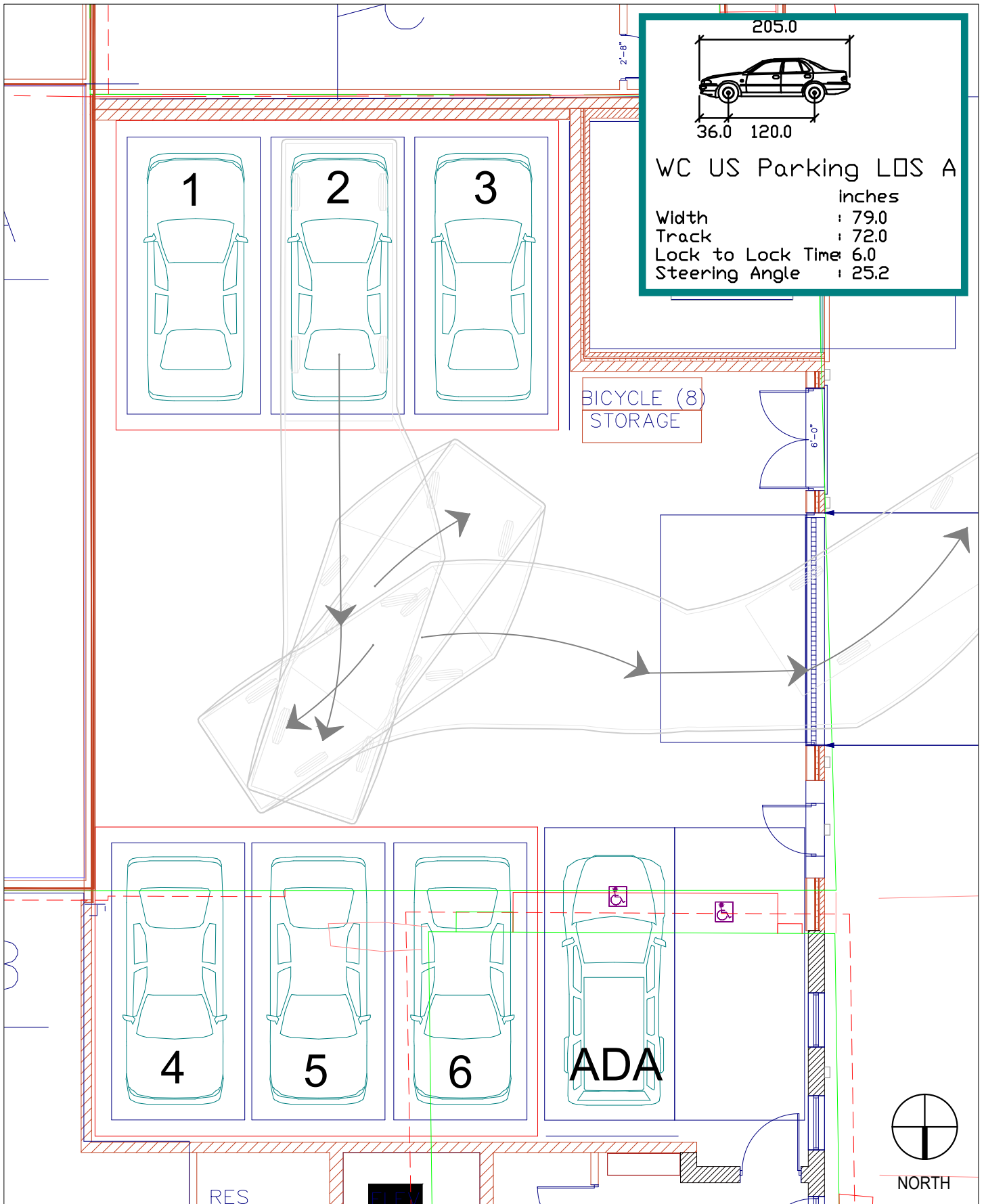
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Job: 266 State Street
Job No: 16-003830.00
Date: November 14, 2025

No.
Position 1
Exit





WC US Parking L0S A

Inches

Width : 79.0

Track : 72.0

Lock to Lock Time : 6.0

Steering Angle : 25.2

BICYCLE (8)
STORAGE



WALKER
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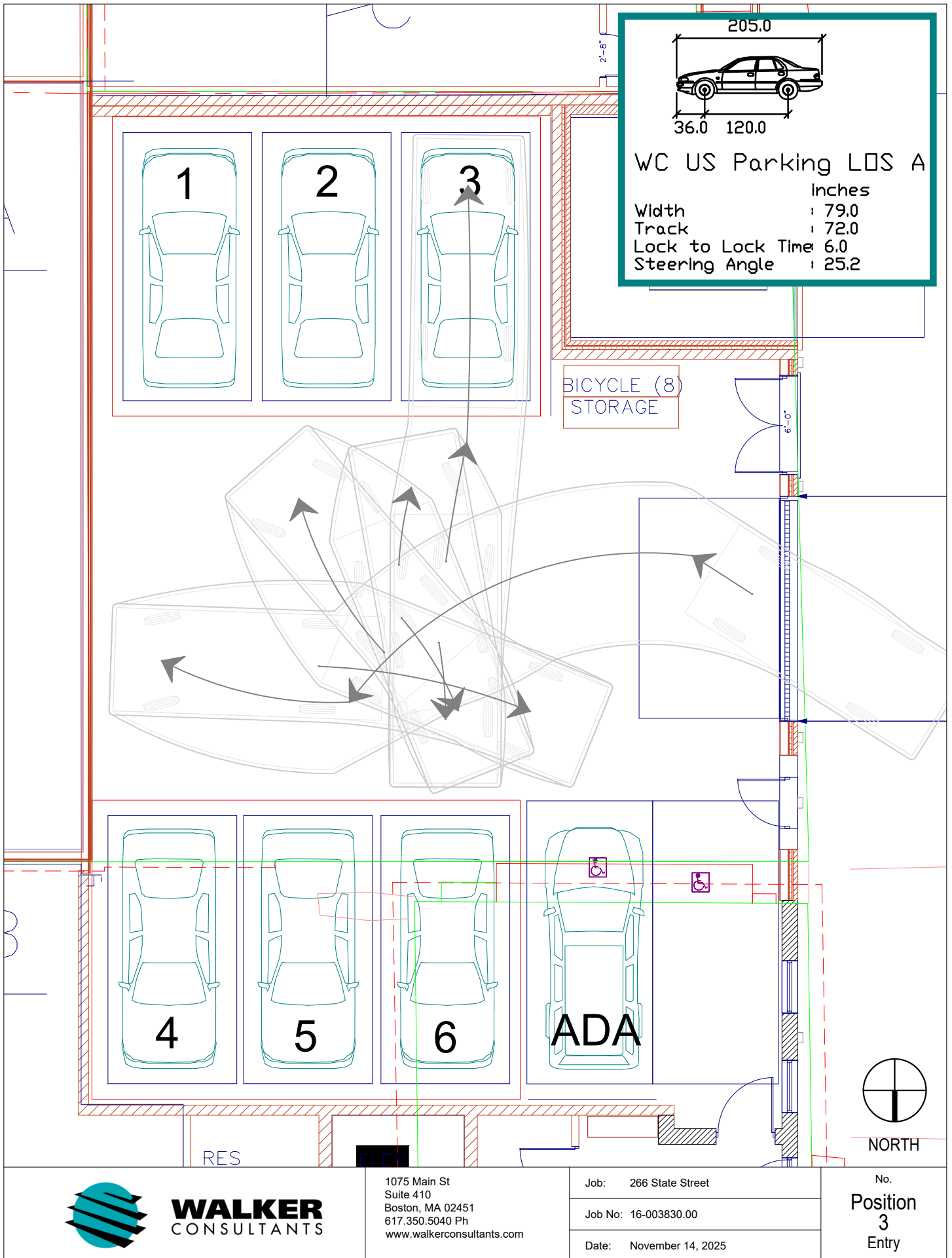
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Job: 266 State Street

Job No: 16-003830.00

Date: November 14, 2025

No.
Position
2
Exit



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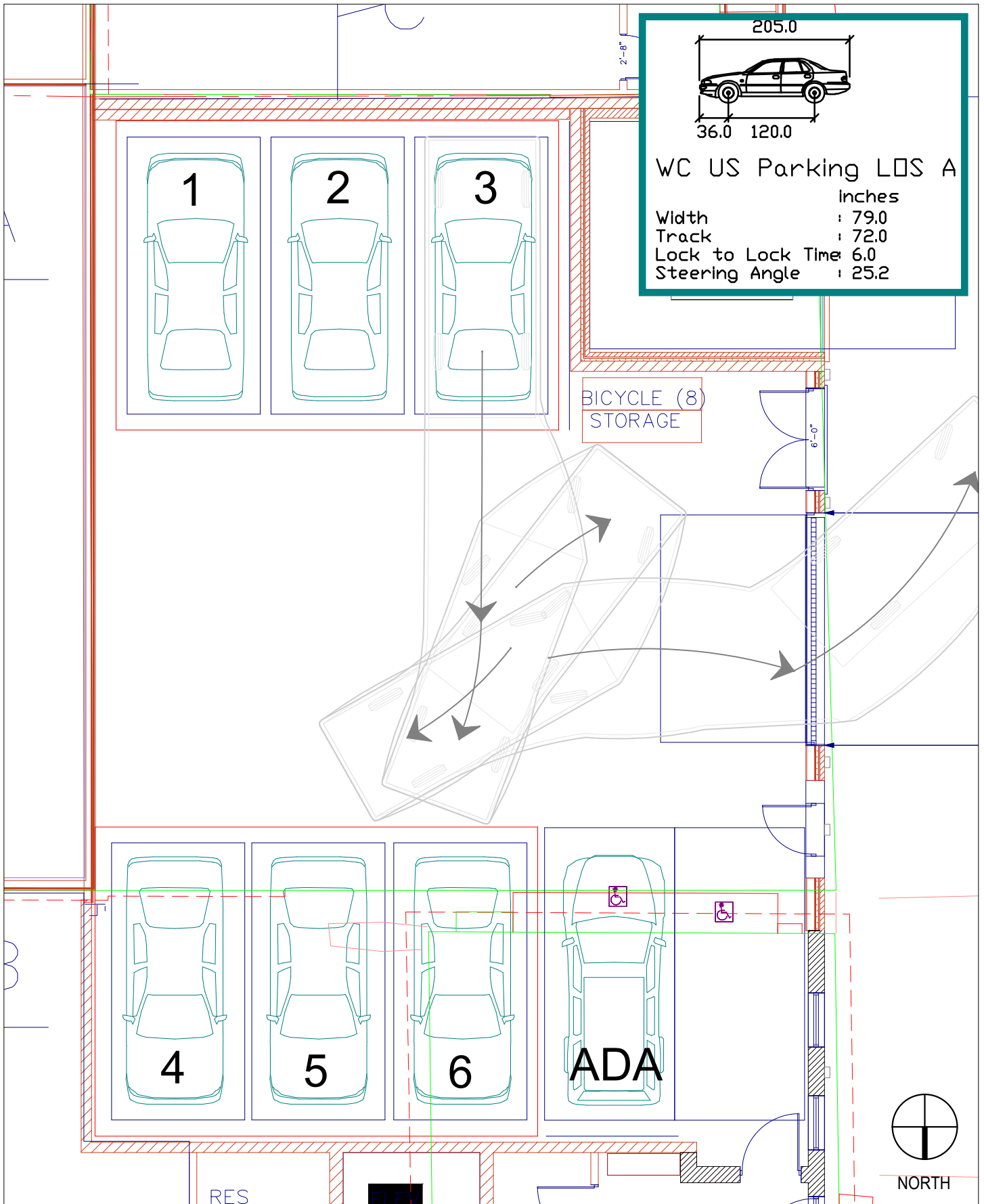
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Job: 266 State Street

Job No: 16-003830.00

Date: November 14, 2025

No.
Position
3
Entry



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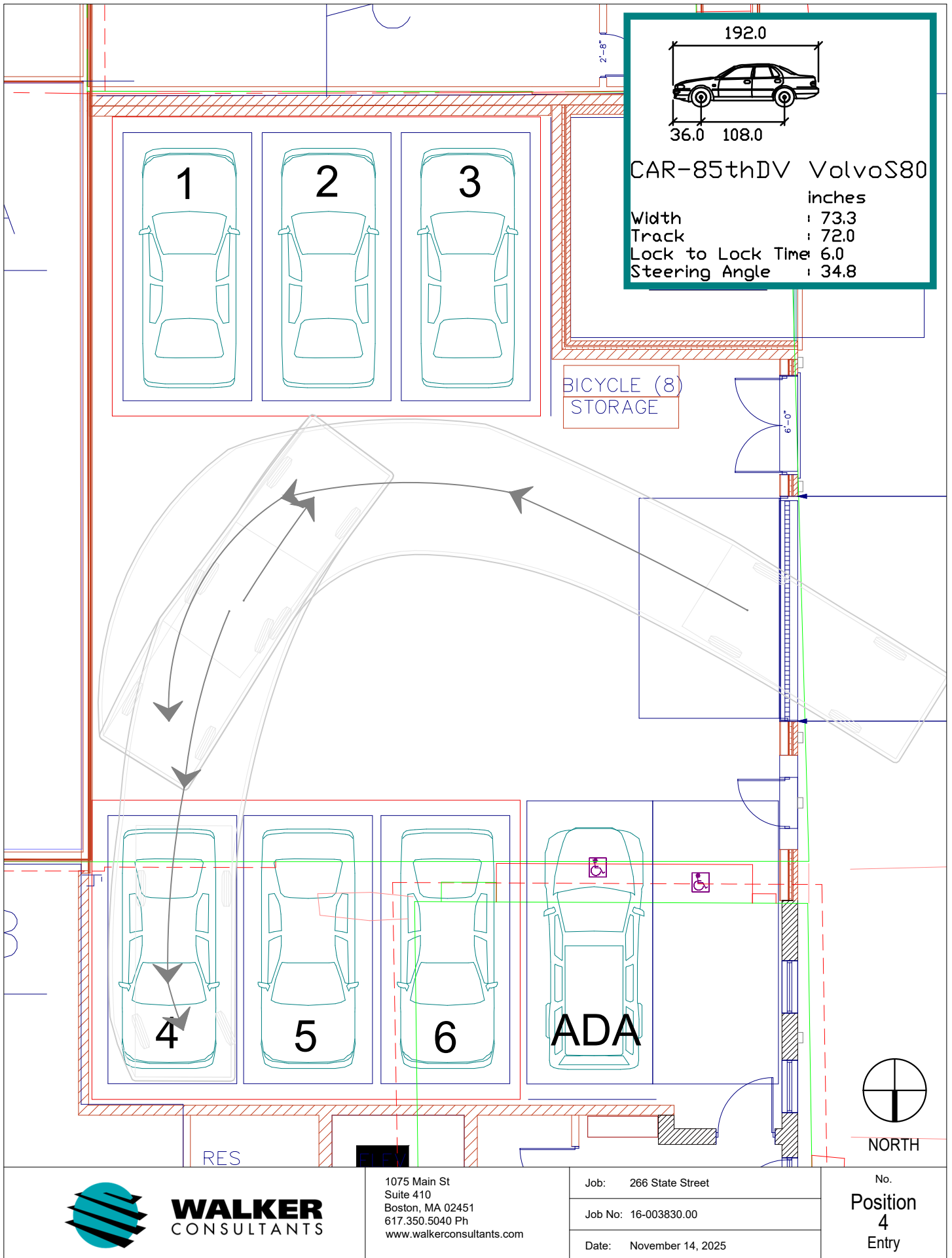
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Job: 266 State Street

Job No: 16-003830.00

Date: November 14, 2025

No.
Position
3
Exit

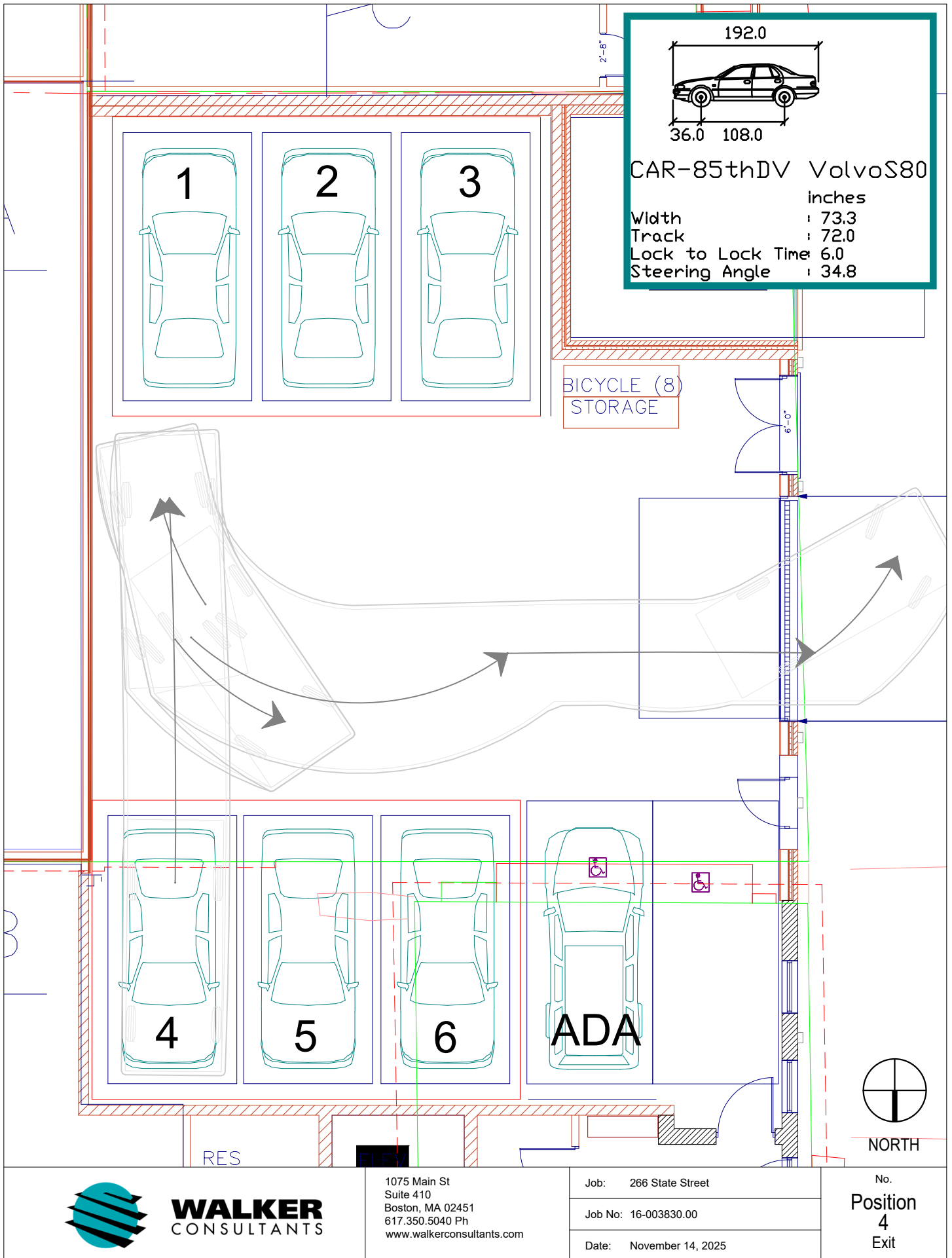


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Job: 266 State Street
Job No: 16-003830.00
Date: November 14, 2025

No.
**Position
4**
Entry

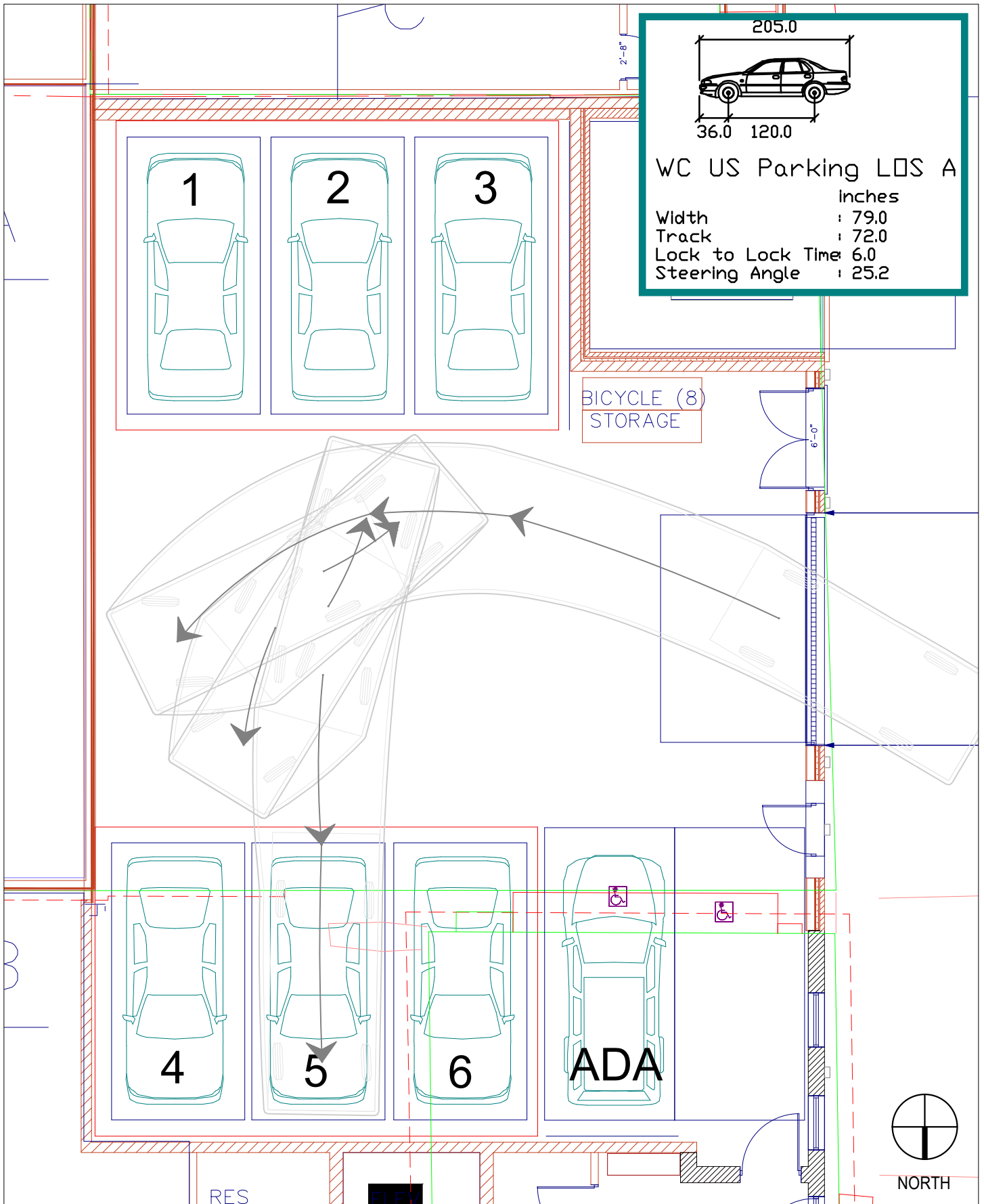


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Job: 266 State Street
Job No: 16-003830.00
Date: November 14, 2025

No.
Position 4
Exit



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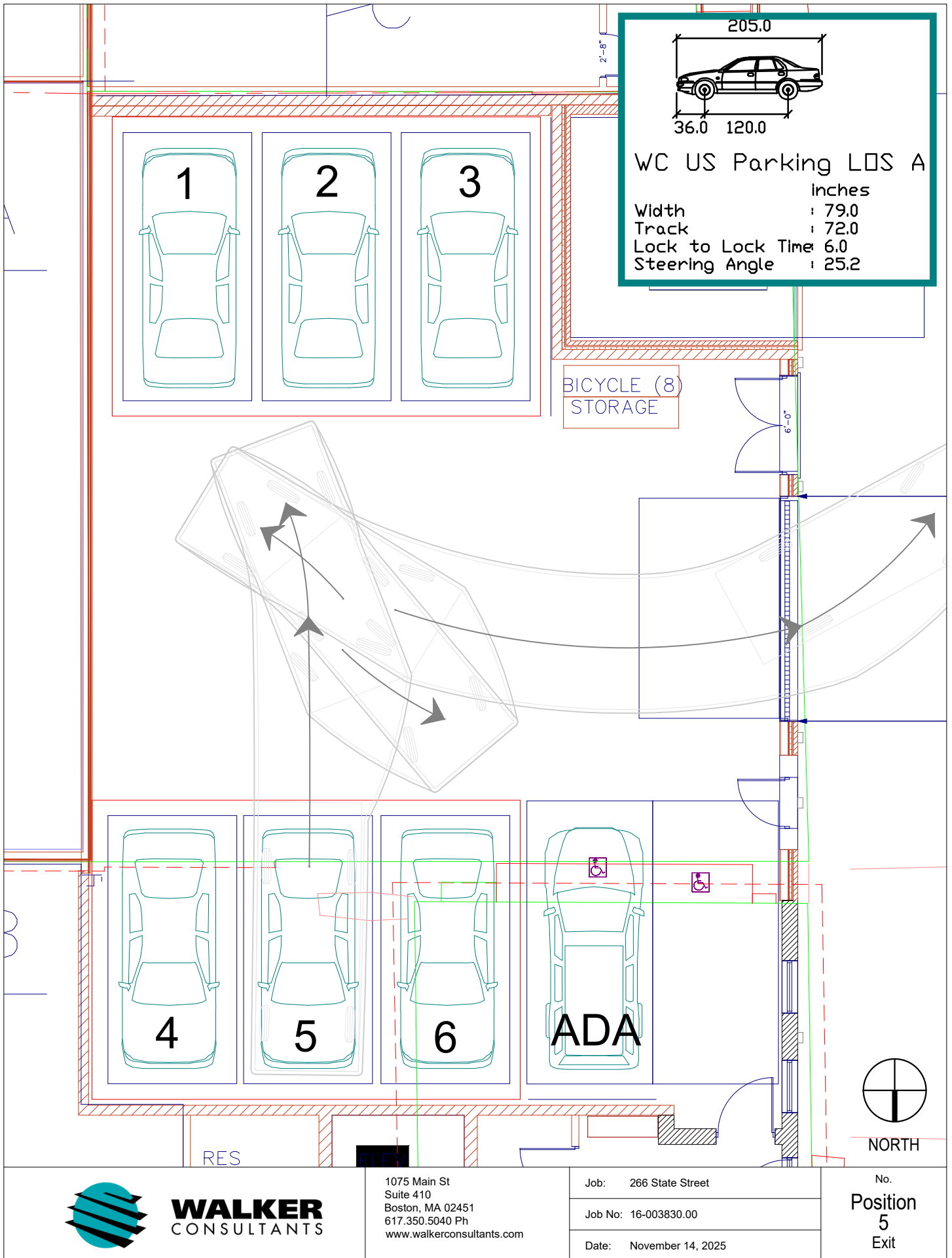
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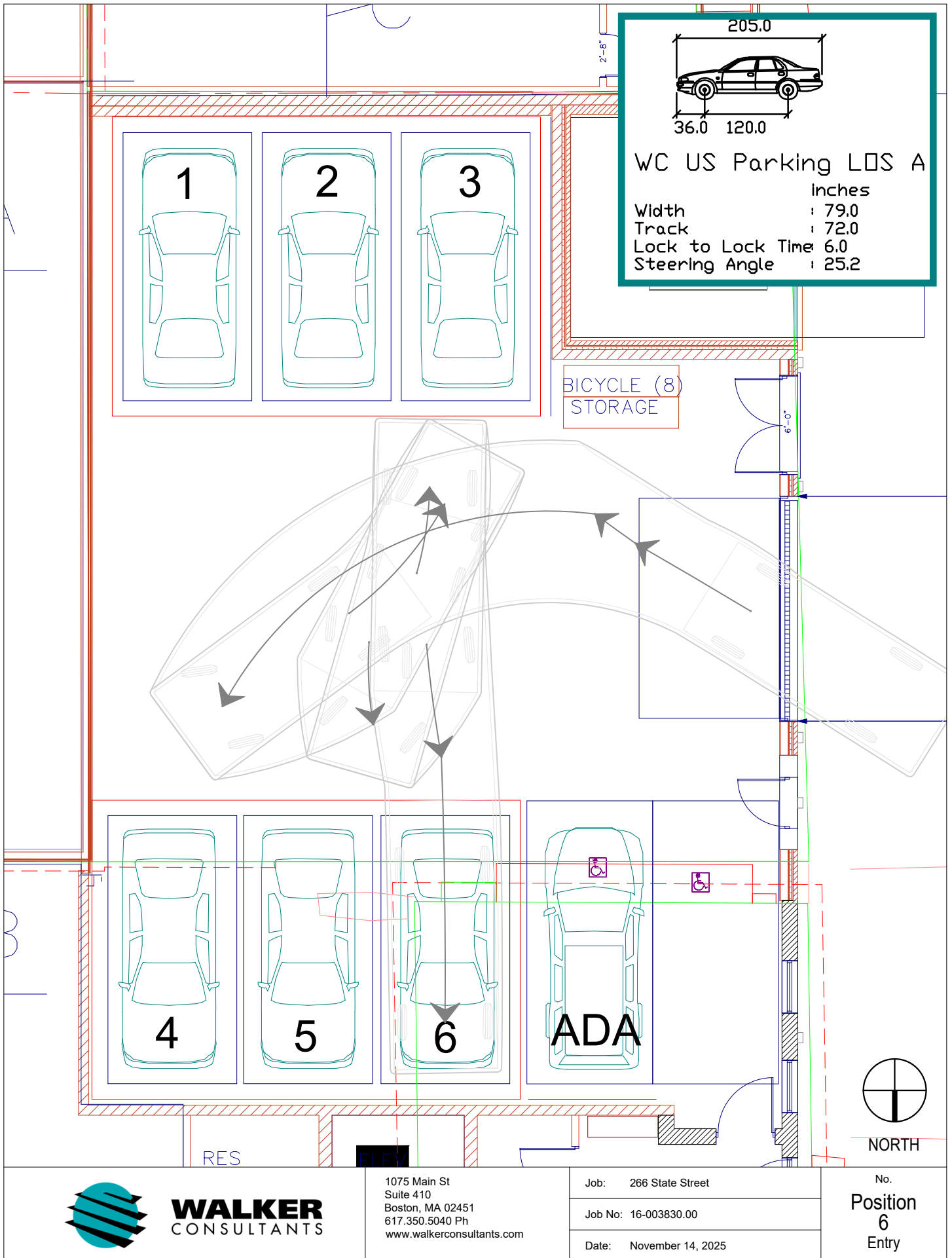
Job: 266 State Street

Job No: 16-003830.00

Date: November 14, 2025

No.
Position 5
Entry



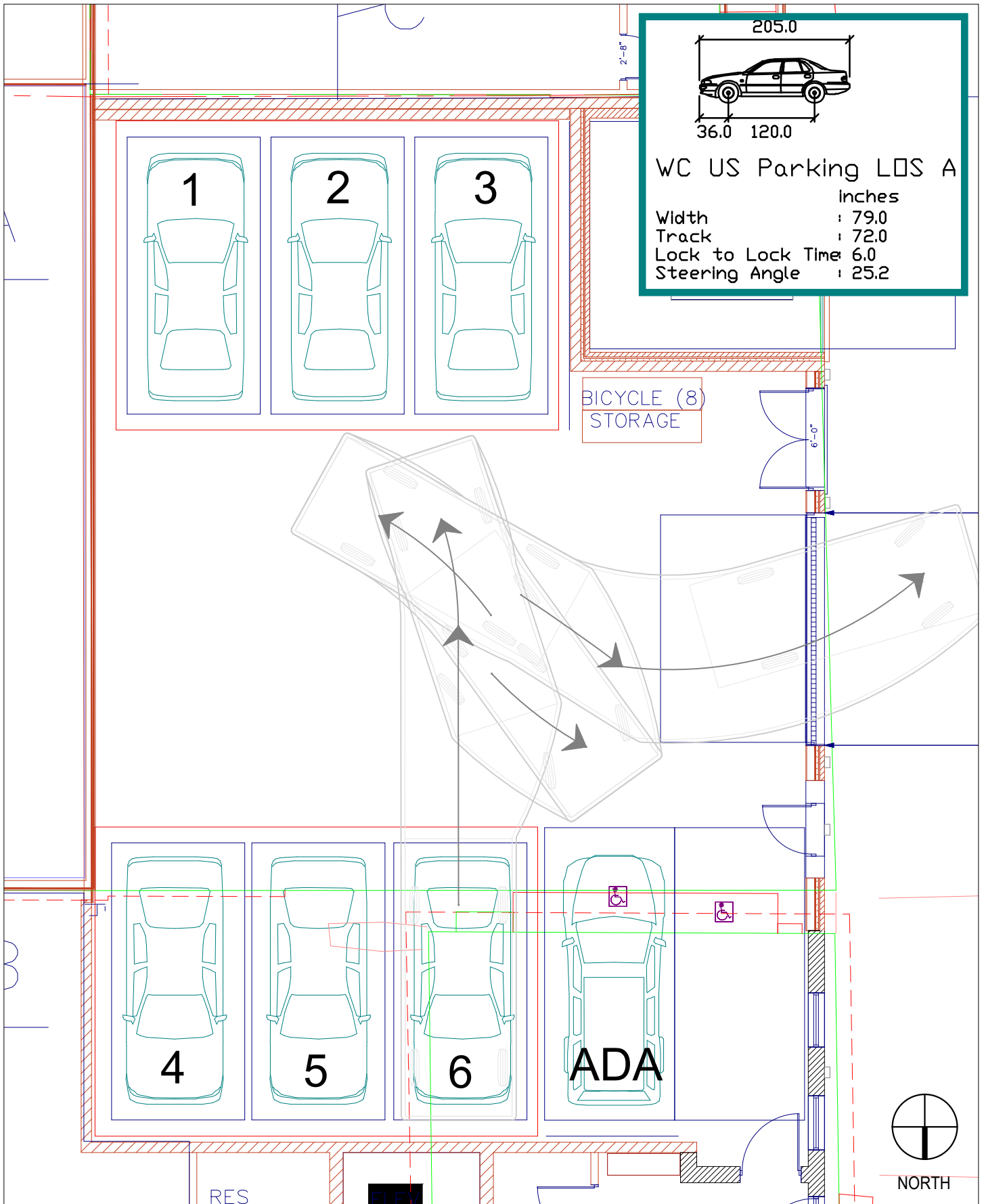


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No.
Position
6
Entry



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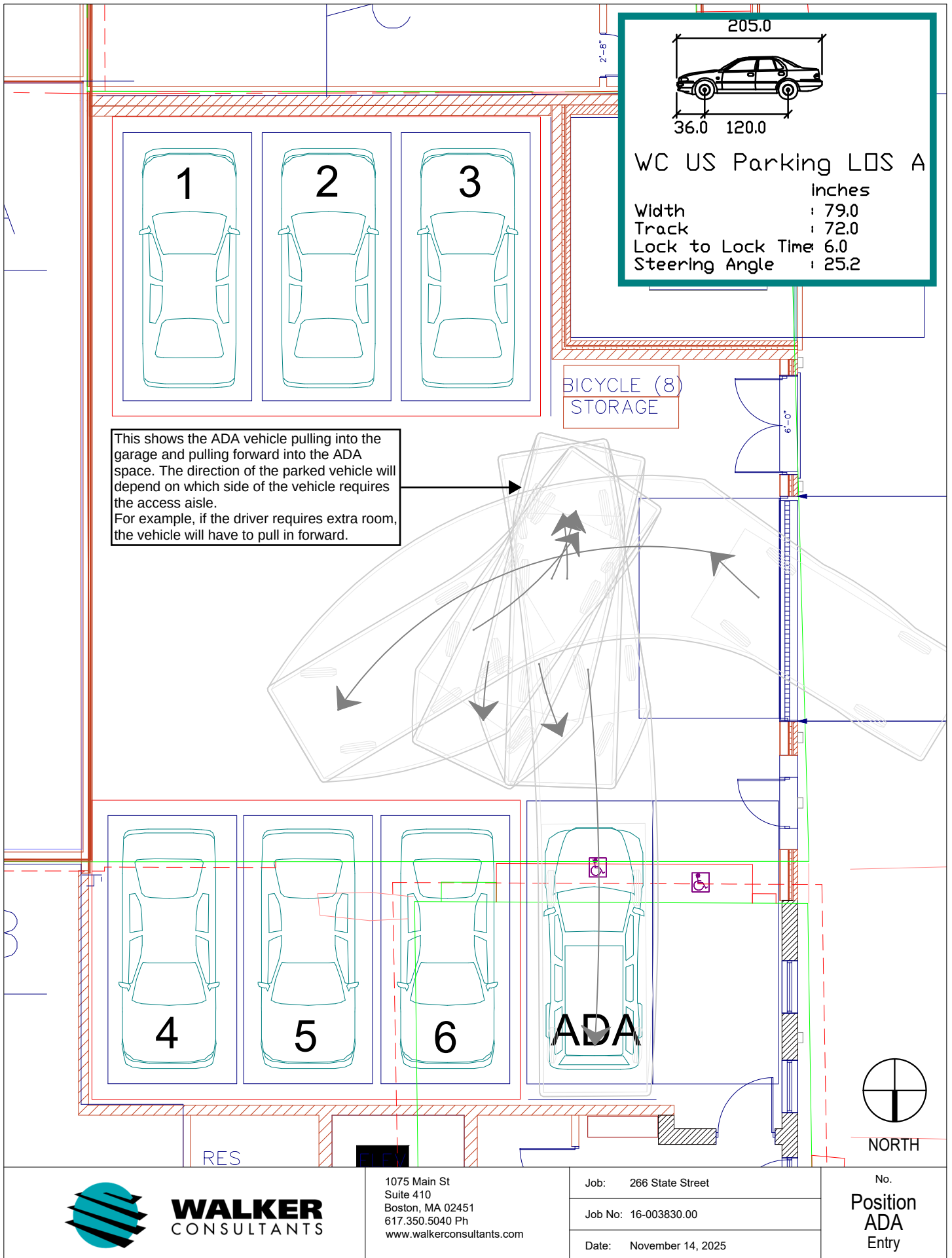
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Job: 266 State Street

Job No: 16-003830.00

Date: November 14, 2025

No.
Position 6
Exit

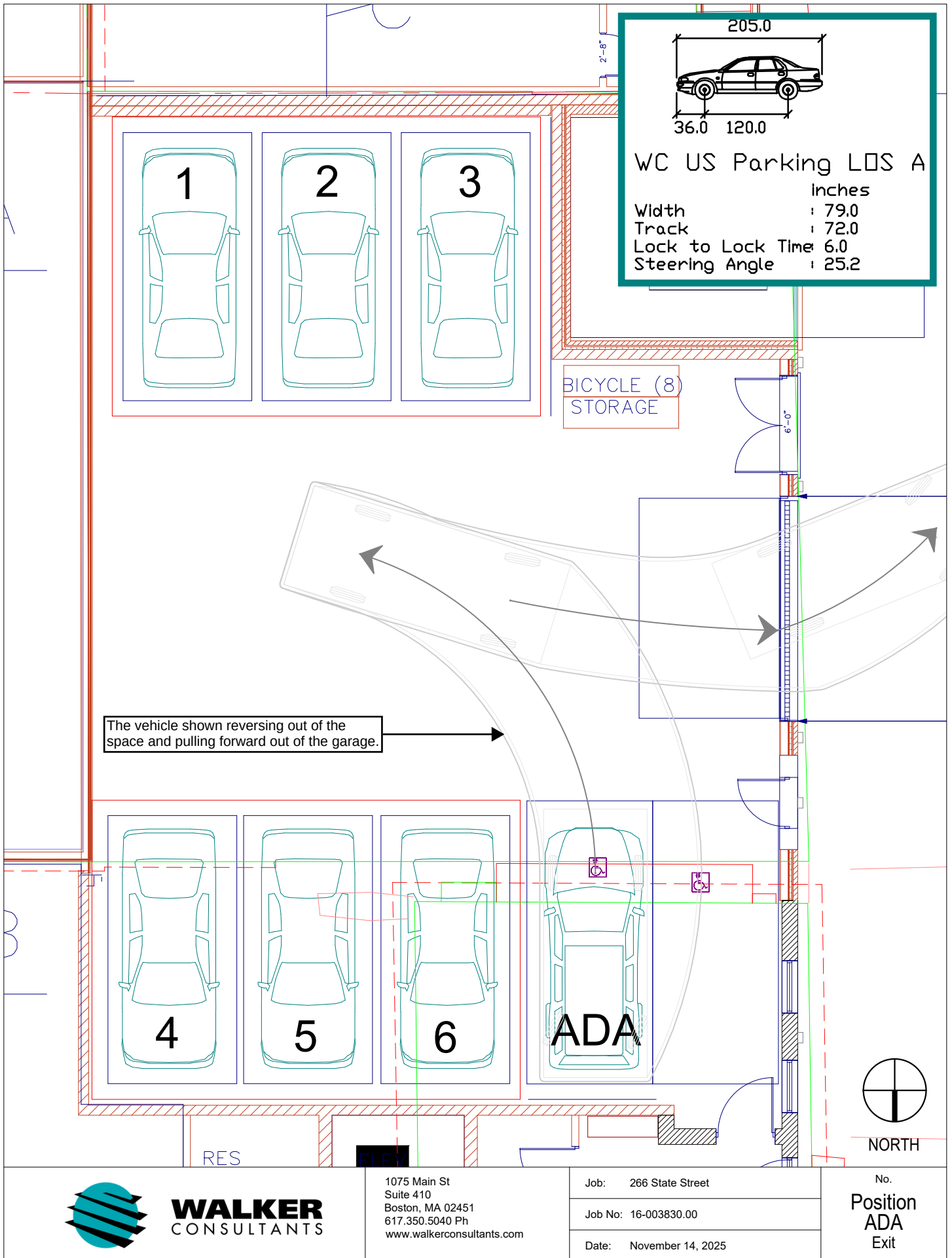


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Job: 266 State Street
Job No: 16-003830.00
Date: November 14, 2025

No.
Position
ADA
Entry

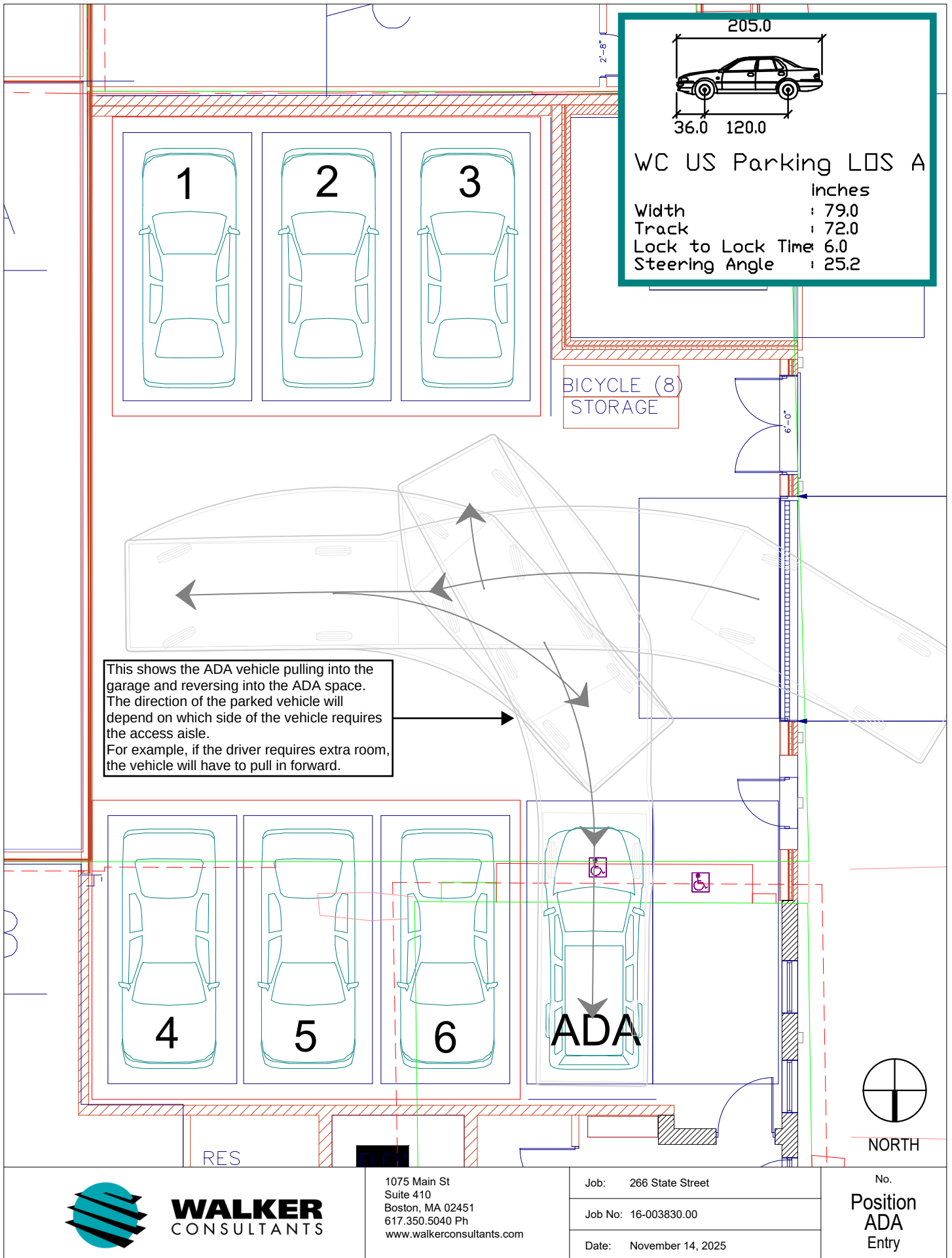


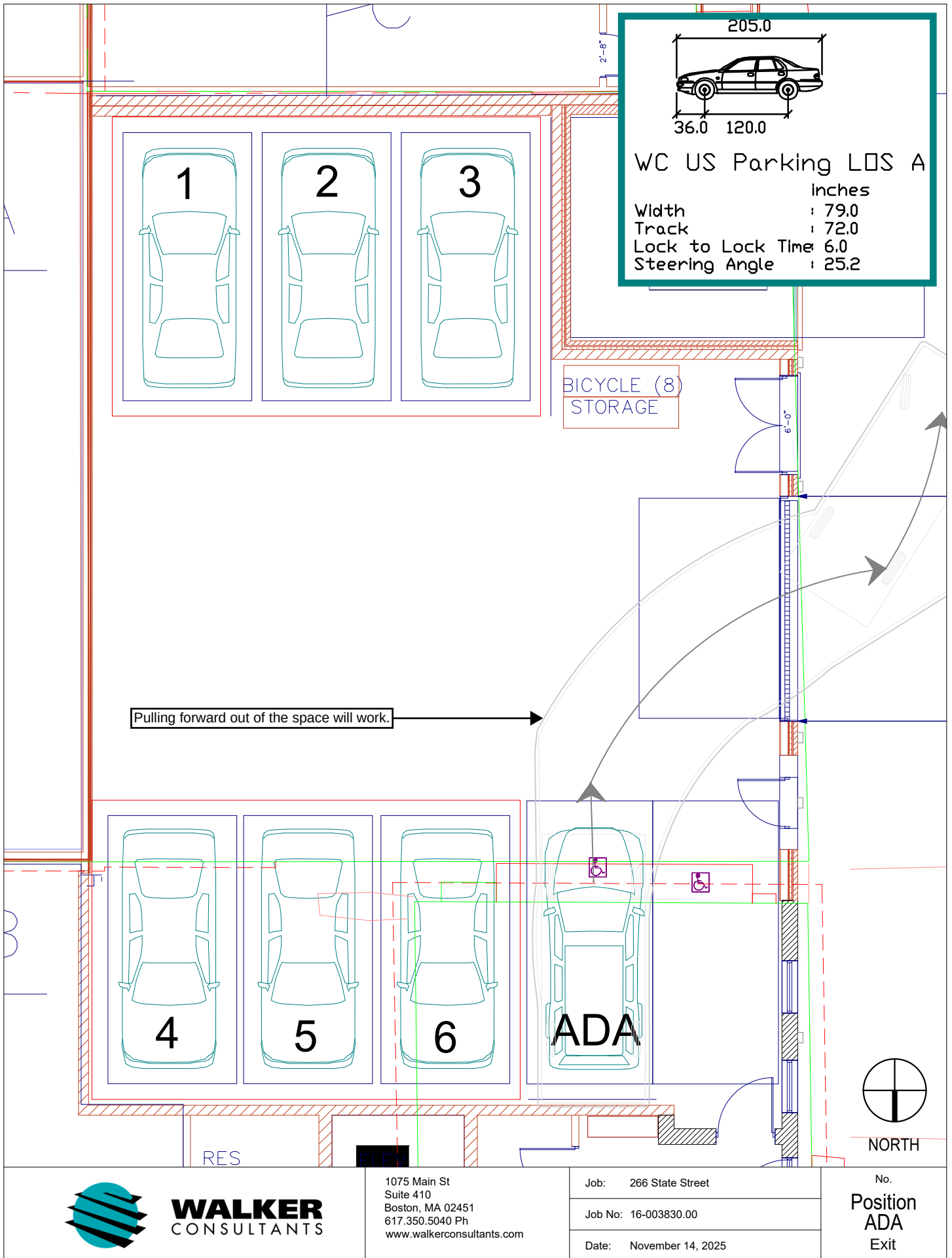
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Job No: 16-003830.00
Date: November 14, 2025

No.
Position
ADA
Exit





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No.
Position
ADA
Exit



AD

LSI Abolite® Angled Reflector



OVERVIEW	
Lumen Package (lm)	1,650 - 2,750
CCT (K)	27/30/35/40/50K
Wattage Range (W)	13 - 23

QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Heavy gauge spun steel with a thermally cured high quality polyester powder coat finish.
- Integrated power supply built into the fixture allowing the RLM to be connected directly to line voltage.
- Manufactured in the USA

Optical System

- Fully selectable 5000K, 4000K, 3500K, 3000K, and 2700K color temperatures and 1650-2750 lumen outputs
- Glass Globe required for outdoor applications
- Minimum CRI of 80

Electrical

- Standard Universal Voltage (120-277 Vac) Input 50/60Hz
- 0-10V dimming, 5% standard
- Operating Temperature -30°C to +50°C (-22°F to +122°F)

Installation

- Pre-wired with 96" leads standard.
- Optional 10' prewired cord set and canopy available in black and white
- Optional 10' prewired cord set, aircraft wire, and canopy available in black and white

- Fixed hub tapped for 3/4" NPT conduit.
- Not designed for upright applications.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.

Listings

- UL Listed
- Suitable for wet locations



ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: AD 300 17L UNV 35 GPT LDS96WL

Prefix/Size	Lumen Package, Color Temperature & CRI	Voltage	Lens	Finish	Mounting
AD 100/8 AD 150/10 AD 200/12 AD 300/14	FS2 (1650-2750, 2700-3000-3500-4000-5000K) INC- Medium E26 Socket 80 CRI min.	UNV - 120 - 277VAC	Blank - Flat lens clear/diffuse? CGG6 - Clear Glass Globe 6 3/4" FGG6 - Frosted Glass Globe 6 3/4" PGG6 - Prismatic Glass Globe 6 3/4" Colored globes by request*	GWT - Gloss White GBK - Gloss Black GRD - Gloss Red BBL - Bright Blue DKG - Dark Green SLV - Silver MBK - Matte Black RST - Rust HCP - Hammered Copper	LDS96WL - Pre wired leads



Need more information?
[Click here for our glossary](#)

Have additional questions?
Call us at (800) 436-7800

Accessory Ordering Information

Canopy Ordering Information (Accessories are field installed)	
Part Number	Description
BA 3 GWT	3/4" (19mm) Tap Decorative Box Cover Aligner - Gloss White

Standard BC600 finish is Gloss White Powder; other RLM colors available.

Wire Guard Ordering Information (Accessories are field installed)	
Part Number	Description
COG 10 MSV	10" (254mm) Convex Wire Guard - Metallic Silver

Standard finish is Metallic Silver Powder; other RLM colors available.

Globe Guard Ordering Information (Accessories are field installed)	
Part Number	Description
GGDC6	6-3/4" Cast Aluminum Globe Guard
GGW6	6-3/4" Wire Globe Guard

Standard finish is Natural Aluminum; other RLM colors available

Stem Ordering Information (Accessories are field installed)	
Part Number	Description
STMM 3 3 GWT	3/4" x 3" (19mm x 76mm) Aluminum Stem - Gloss White
STM 6 3 GWT	3/4" x 6" (19mm x 152mm) Aluminum Stem - Gloss White
STM 12 3 GWT	3/4" x 12" (19mm x .4m) Aluminum Stem - Gloss White
STM 18 3 GWT	3/4" x 18" (19mm x .5m) Aluminum Stem - Gloss White
STM 24 3 GWT	3/4" x 24" (19mm x .6m) Aluminum Stem - Gloss White
STM 36 3 GWT	3/4" x 36" (19mm x .9m) Aluminum Stem - Gloss White
STM 48 3 GWT	3/4" x 48" (19mm x 1.2m) Aluminum Stem - Gloss White
STM 60 3 GWT	3/4" x 60" (19mm x 1.5m) Aluminum Stem - Gloss White
STM 72 3 GWT	3/4" x 72" (19mm x 1.8m) Aluminum Stem - Gloss White

Standard finish is Gloss White Powder; other RLM colors available.

CA5 to be ordered for Stem mount applications.

Goose Neck Brackets Ordering Information (Accessories are field installed)	
Part Number	Description
GN A 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN B 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN C 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN D 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN E 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN F 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN G 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN H 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN J 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN K 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN P 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White
GN U 3 GWT	3/4" (19mm) Aluminum Gooseneck Bracket - Gloss White

Standard finish is Gloss White Powder; other RLM colors available.

PERFORMANCE

[Back to Quick Links](#)

Delivered Lumens														
Lumen Package	Distribution	Lens Type	CRI	2700K		3000K		3500K		4000K		5000K		Wattage
				Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	
AD FS2(1650L LOW SET)	100	STD.	90	1389	108	1425	110	1460	114	1484	116	1513	117	13
AD FS2(1650L LOW SET)CGG6	100	CGG6	90	1426	110	1462	112	1498	115	1523	118	1553	119	13
AD FS2(1650L LOW SET)FGG6	100	FGG6	90	1182	91	1213	93	1243	96	1263	98	1288	99	13
AD FS2(1650L LOW SET)PGG6	100	PGG6	90	1448	111	1485	114	1522	117	1547	120	1577	121	13
AD FS2(2050L MED SET)	100	STD.	90	1735	108	1780	111	1824	114	1854	114	1890	118	16
AD FS2(2750L HIGH SET)	100	STD.	90	2320	101	2380	103	2439	106	2479	111	2527	110	23
AD FS2(1650L LOW SET)	150	STD.	90	1307	101	1340	103	1373	106	1396	108	1427	110	13
AD FS2(1650L LOW SET)CGG6	150	CGG6	90	1349	104	1384	106	1418	109	1441	112	1469	113	13
AD FS2(1650L LOW SET)FGG6	150	FGG6	90	1099	85	1127	87	1155	89	1174	98	1197	92	13
AD FS2(1650L LOW SET)PGG6	150	PGG6	90	1368	105	1404	108	1438	111	1462	112	1491	115	13
AD FS2(2050L MED SET)	150	STD.	90	1634	102	1677	105	1718	107	1746	109	1780	111	16
AD FS2(2750L HIGH SET)	150	STD.	90	2190	95	2247	98	2302	100	2340	111	2386	104	23
AD FS2(1650L LOW SET)	200	STD.	90	1308	101	1341	103	1374	106	1397	108	1422	109	13
AD FS2(1650L LOW SET)CGG6	200	CGG6	90	1340	103	1375	106	1409	108	1432	113	1460	112	13
AD FS2(1650L LOW SET)FGG6	200	FGG6	90	1063	82	1091	84	1118	86	1136	89	1158	89	13
AD FS2(1650L LOW SET)PGG6	200	PGG6	90	1371	105	1407	108	1441	111	1465	114	1494	115	13
AD FS2(2050L MED SET)	200	STD.	90	1629	102	1671	104	1712	107	1740	108	1774	111	16
AD FS2(2750L HIGH SET)	200	STD.	90	2176	95	2233	97	2287	99	2325	105	2370	103	23
AD FS2(1650L LOW SET)	200	STD.	90	1308	101	1341	103	1374	106	1397	108	1422	109	13
AD FS2(1650L LOW SET)CGG6	200	CGG6	90	1340	103	1375	106	1409	108	1432	113	1460	112	13
AD FS2(1650L LOW SET)FGG6	200	FGG6	90	1063	82	1091	84	1118	86	1136	89	1158	89	13
AD FS2(1650L LOW SET)PGG6	200	PGG6	90	1371	105	1407	108	1441	111	1465	114	1494	115	13
AD FS2(2050L MED SET)	200	STD.	90	1629	102	1671	104	1712	107	1740	108	1774	111	16
AD FS2(2750L HIGH SET)	200	STD.	90	2176	95	2233	97	2287	99	2325	105	2370	103	23
AD FS2(1650L LOW SET)	300	STD.	90	1345	103	1380	106	1414	109	1437	108	1422	109	13
AD FS2(1650L LOW SET)CGG6	300	CGG6	90	1381	106	1416	109	1451	112	1475	113	1504	116	13
AD FS2(1650L LOW SET)FGG6	300	FGG6	90	1113	86	1142	88	1170	90	1189	89	1212	93	13
AD FS2(1650L LOW SET)PGG6	300	PGG6	90	1409	108	1445	111	1481	114	1505	114	1534	118	13
AD FS2(2050L MED SET)	300	STD.	90	1675	105	1719	107	1761	110	1790	108	1825	114	16
AD FS2(2750L HIGH SET)	300	STD.	90	2247	98	2306	100	2362	103	2401	105	2448	106	23

*Photometric performance values shown are representative with flat lens option. Alternate glass globe option outputs will vary. Consult factory.

PERFORMANCE

[Back to Quick Links](#)

Electrical Data*					
Lumen Package	Wattage	120V	208V	240V	277V
AD FS2(1650L LOW SET)	#REF!	#REF!	#REF!	#REF!	#REF!
AD FS2(2050L MED SET)	#REF!	#REF!	#REF!	#REF!	#REF!
AD FS2(2750L HIGH SET)	#REF!	#REF!	#REF!	#REF!	#REF!

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%.

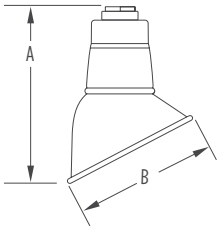
Recommended Lumen Maintenance ¹					
Ambient Temp C	Initial ²	25k hr ²	50k hr ²	75k hr ³	100k hr ³
0 C	100%	98%	95%	93%	91%
10 C	100%	97%	94%	91%	89%
20 C	100%	96%	93%	90%	87%
25 C	100%	96%	92%	89%	85%
30 C	100%	95%	91%	88%	84%
40 C	100%	92%	87%	83%	78%

- 1 Lumen maintenance values at 40C are calculated per TM-21 based on LM-80 data and in-situ testing.
- 2 In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- 3 In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing

PRODUCT DIMENSIONS

[Back to Quick Links](#)

Prefix	Height (A)	Diameter (B)
AD100	9 1/2"	8"
AD150	10"	12"
AD200	12"	14 1/4"
AD300	14"	15 1/4"





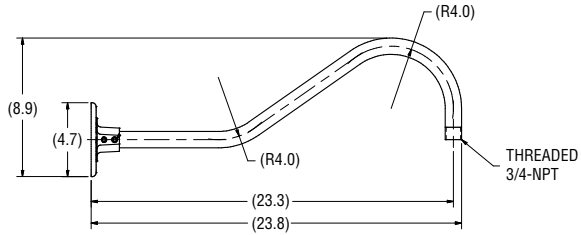
LSI Abolite Gooseneck and Wall Brackets

3/4" Single Reflector Gooseneck Wall Bracket. Features rigid conduit and cast wall plate which fits 4" octagonal box (by other). Brackets are finished in gloss white powder, additional colors are available.

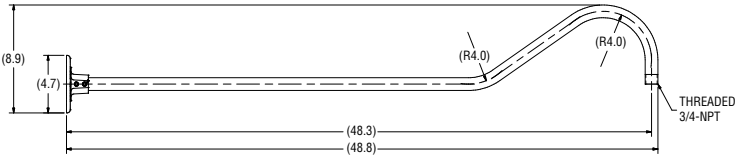
NOTE: Brackets feature 3/4" stems which slip fit into wall plate (wall end is unthreaded). Conduit may be cut down (in the field by other) to shorten bracket length. CA5 wall plate included with all goosenecks.

All dimensions displayed in inches.

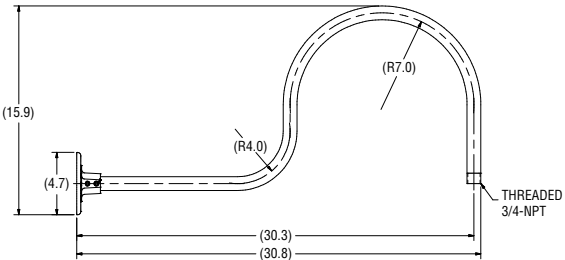
GB A 3 GWT



GB B 3 GWT

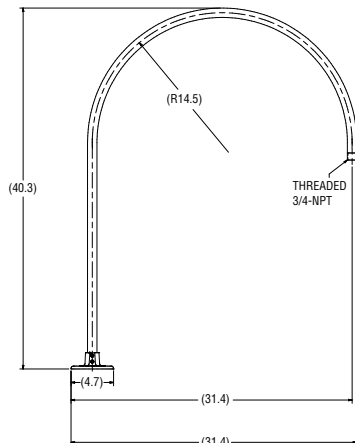


GB C 3 GWT

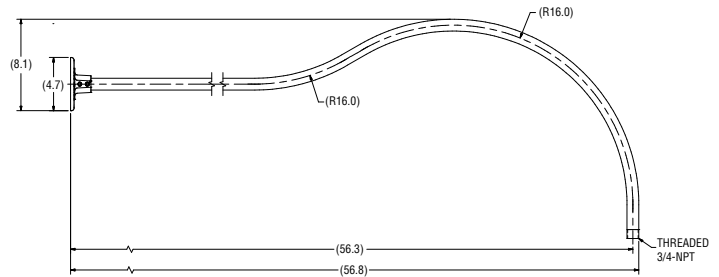


GB E 3 GWT

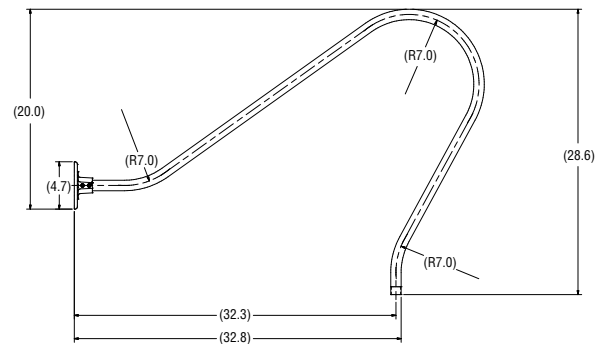
3/4" Single Reflector Gooseneck Wall Bracket. Features rigid conduit and cast wall plate which fits 4" octagonal box (by other). The bracket is designed to be mounted to a horizontal surface, but could also be mounted to a wall. The bracket features a gloss white powder finish, additional colors available.



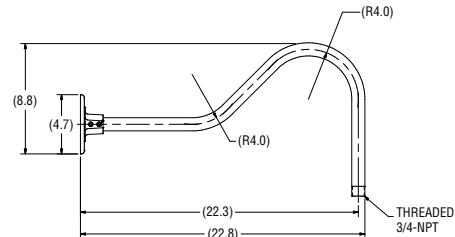
GB F 3 GWT



GB G 3 GWT

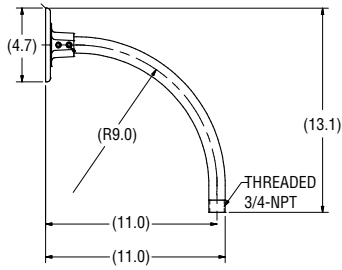


GB H 3 GWT

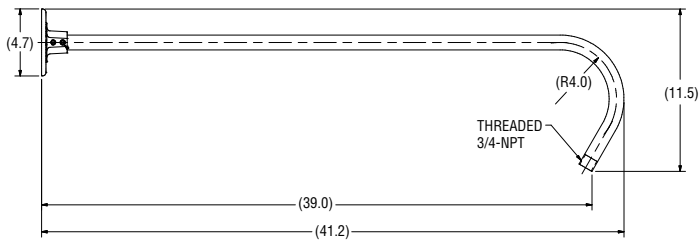




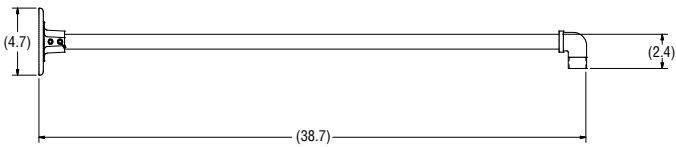
GB K 3 GWT



GB P 3 GWT

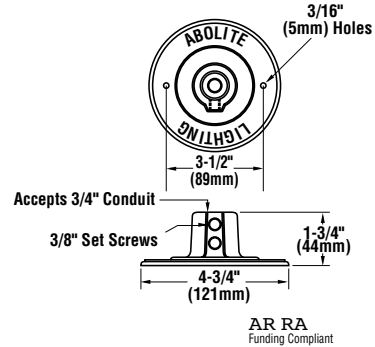


GB U 3 GWT



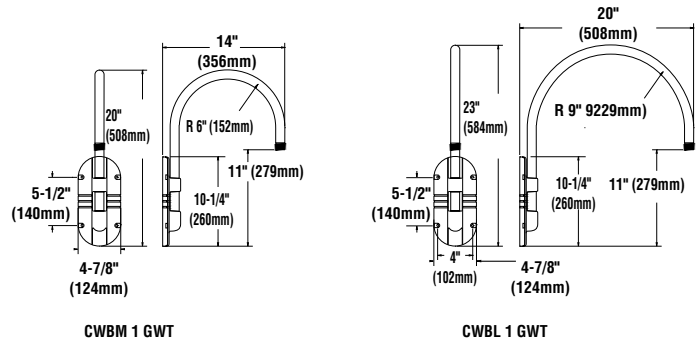
RECESSED CA-5

Gloss white powder finish (other colors available).
Mounts to recessed 4" octagon box (by others).



CWBM 1 GWT and CWBL 1 GWT

Contemporary Wall Bracket with gloss white powder finish, additional colors available.



CLRv3 Select

Commercial Recessed LED Downlight

Product Description

Designed for both new construction and retrofit applications, the CLR Select series can be installed directly into drywall, a ceiling grid or an existing 4", 6" or 8" mounting frame using spring loaded retention tabs. The CCT and output selectable design allows for easy adjustment to 3000, 3500, 4000, or 5000K and standard, medium or high output. With Standard and Low Output models available, the lighting can be easily tailored to match the space or meet rebate levels. With accessory trims in black and offering a full range of dimming via 1-10 volts, the CLR Select is adaptable to most any environment. The versatility of this light source is perfect for commercial applications, such as educational, governmental, retail and grocery, office or hospitality lighting.

Construction

- Spun aluminum trim
- Plastic driver housing
- 3' flexible metal conduit (FMC) whip
- Matte white powder coat
- Black faceplates available

Optical System

- Precision engineered polystyrene diffuser provides high uniformity, and reduced glare
- No visible diodes, hot-spots, or shadows
- 4 CCT selection (3000K, 3500K, 4000K, 5000K) via switch on driver cover

Electrical

- 5 Wire whip - 3 Input (L,N,G) and 2 controls (DIM+, DIM-)
- Universal range input 120 - 277 VAC, 60Hz
- 3 wattage selection (Standard, Medium, High) via switch on driver cover
- Default Setting of 4000K and Standard output
- 2 models of output - Standard and Low

Controls

- Dimming via 1-10VDC controls
- Available Bluetooth Wireless Controls Accessory. See: www.nicorlighting.com/network-lighting-controls

Mounting and Installation

- Adjustable, spring loaded retention tabs ensure secure fixture retention on ceilings up to 1 1/2" thick
- Easy installation into most 4", 6" or 8" incandescent or fluorescent frames
- Frame not needed for new construction installation
- NON-IC Operating temperature of 0°F to 104°F (-18°C to 40°C)
- IC Operating temperature of 0°F to 77°F (-18° to 25°C)
- Metal rough-in templates and frames available
- For installations where power surge may be possible, NICOR recommends installing additional surge protection at the fixture or electrical distribution panel

Listings

- cULus 1598 Listed for wet locations
- Certified for direct contact with insulation - 4" model only
- Meets ASTM E283 airtight requirements
- TAA compliant
- RoHS compliant
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- TM-21 Reported L70(9k) life >72,000 hours
- LM-79, LM-80 testing performed in accordance with IESNA standards

Warranty

- 5-year limited system warranty standard
- Warranty does not cover product failure due to an overvoltage event (power surge)

Project

Catalog

Type

Date



CLRv3 Commercial LED Downlight 4", 6", 8" Diameters Selectable Wattage & CCT



1) 4" only

CLRv3 Select

Commercial Recessed LED Downlight

Ordering

Ordering Information							Example: CLR63SUS9WH
Series	Diameter	Version	Wattage	Voltage	CCT	CRI	Color
CLR	☐ 4 (4 inch)	3 (Version 3.0)	☐ S (Selectable)	U (120-277V)	S (Selectable)	9 (90 CRI)	WH (White)
	☐ 6 (6 inch)		☐ SL (Selectable Low Lumen)				
	☐ 8 (8 inch)						

Specifications and dimensions subject to change without notice.

Recommended Dimmers*

- Lutron NTSTV-DV-WH
- Lutron DVSTV
- Cooper SF10P
- Legrand RH4FBL3PW

Accessories

Accessories sold separately

Black 4" Trim	CLR43-TR-BK
Black 6" Trim	CLR63-TR-BK
Black 8" Trim	CLR83-TR-BK
3", 4", 6" Rough In Flat Template	ROUGHIN-TEMPLATE-346
8" Rough in Template	ROUGHIN-TEMPLATE-8
4" Rough In Frame	DLE4-ROUGHIN-FRAME
6" Rough In Frame	DLE6-ROUGHIN-FRAME
3", 4", 6" Rough In Frame	MULTIFRAME-346-1
Emergency Battery Backup	EMI200-1-UNV
Bluetooth Wireless Controls	NLCDOWN1



CLRv3 Select

Commercial Recessed LED Downlight

Performance Data			Standard Output			Low Output		
Model Number	Output Setting	Nominal CCT	Light Output (lm)	Power Draw (W)	Efficiency (Lm/W)	Light Output (lm)	Power Draw (W)	Efficiency (Lm/W)
CLR43SUS9WH CLR43SLUS9WH	Standard	3000	806	7.0	115.2	594	6.9	86.5
		3500	818		116.9	615	6.7	91.6
		4000	829		118.4	622	6.6	93.9
		5000	830		118.6	600	6.8	88.4
	Medium	3000	1137	9.9	114.8	686	7.8	87.4
		3500	1164		117.6	710	7.7	92.6
		4000	1183		119.5	718	7.6	94.9
		5000	1174		118.6	693	7.8	89.3
	High	3000	1269	10.8	117.5	768	8.8	87.0
		3500	1300		120.4	795	8.6	92.2
		4000	1322		122.4	804	8.5	94.4
		5000	1309		121.2	776	8.7	88.9
CLR63SUS9WH CLR63SLUS9WH	Standard	3000	1238	12.8	96.7	639	6.9	92.1
		3500	1288		100.6	685	6.7	102.5
		4000	1314		102.7	703	6.7	105.5
		5000	1319		103.0	681	6.9	98.8
	Medium	3000	1654	17.5	94.5	798	8.9	89.6
		3500	1737		99.3	857	8.6	99.6
		4000	1782		101.8	879	8.6	102.6
		5000	1767		101.0	852	8.9	96.0
	High	3000	2119	24.0	88.3	1011	10.9	92.8
		3500	2132		88.8	1085	10.5	103.2
		4000	2250		93.8	1113	10.5	106.3
		5000	2273		94.7	1079	10.8	99.5
CLR83SUS9WH CLR83SLUS9WH	Standard	3000	2602	24.9	104.5	1017	11.6	87.3
		3500	2750		110.4	1042	11.4	91.1
		4000	2802		112.5	1044	11.5	91.0
		5000	2764		111.0	1026	11.6	88.4
	Medium	3000	2988	29.3	102.0	1525	15.5	98.3
		3500	3194		109.0	1564	15.3	102.5
		4000	3257		111.2	1566	15.3	102.4
		5000	3192		109.0	1539	15.5	99.5
	High	3000	3480	34.9	99.7	2135	21.3	100.0
		3500	3521		100.9	2189	21.0	104.4
		4000	3668		105.1	2193	21.0	104.2
		5000	3692		105.8	2154	21.3	101.3

CLRv3 Select

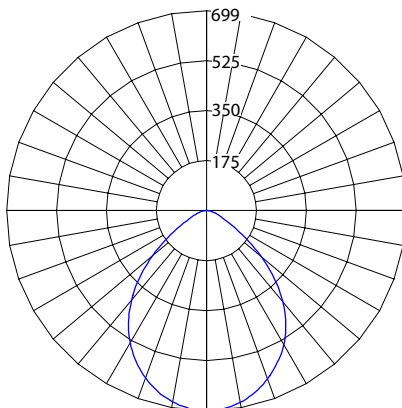
Commercial Recessed LED Downlight

Photometric Data - Standard Output

CLR4 11W, 3000K

Input Voltage (VAC)	120-277
System Level Power (W)	10.8
Delivered Lumens (Lm)	1269
System Efficacy (Lm/W)	117.5
Correlated Color Temp (K)	3048
Color Rendering Index (CRI)	95 R9=64
Beam Angle	83.6
Spacing Criteria	1.16

Data Multiplier				
	30K	35K	40K	50K
Low	0.635	0.645	0.653	0.654
Med	0.896	0.918	0.932	0.925
High	1.000	1.028	1.046	1.035



Intensity Summary (Candle Power)

Angle	Mean CP
0	699
5	696
15	663
25	594
35	480
45	312
55	150
65	73
75	37
85	10
90	0

Cone of Light Tabulation

Mounted height (Inches)	Footcandles Beam Center	Diameter (Feet)
4	43.7	7.2
6	19.4	10.7
8	10.9	14.3
10	7.0	17.9
12	4.8	21.5
14	3.5	25.0
16	2.7	28.6

Zonal Lumen Summary

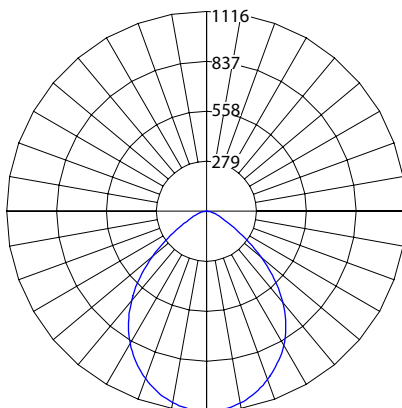
Zone	Lumens	% of Luminaire
0-30	519	40.9%
0-40	806	63.6%
0-60	1156	91.1%
0-90	1269	100%
90-180	0	0%
0-180	1269	100%

Data Multiplier applies to Lumens, Candle Power, Cone of Light, and Zonal Lumen Summary. See Performance Table for Lm, Watts and LPW values.

CLR6 24W, 3000K

Input Voltage (VAC)	120-277
System Level Power (W)	24.0
Delivered Lumens (Lm)	2119
System Efficacy (Lm/W)	88.3
Correlated Color Temp (K)	3000
Color Rendering Index (CRI)	93 R9=61
Beam Angle	87.9
Spacing Criteria	1.16

Data Multiplier				
	30K	35K	40K	50K
Low	0.548	0.608	0.620	0.622
Med	0.780	0.820	0.841	0.834
High	1.000	1.006	1.062	1.073



Intensity Summary (Candle Power)

Angle	Mean CP
0	1116
5	1108
15	1045
25	930
35	759
45	525
55	260
65	99
75	45
85	11
90	0

Cone of Light Tabulation

Mounted height (Inches)	Footcandles Beam Center	Diameter (Feet)
4	69.7	7.7
6	30.9	11.6
8	17.4	15.4
10	11.1	19.3
12	7.7	23.1
14	5.6	27.0
16	4.3	30.8

Zonal Lumen Summary

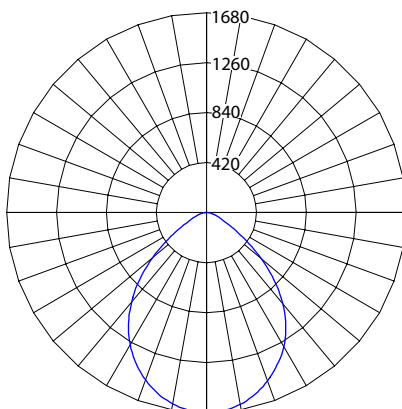
Zone	Lumens	% of Luminaire
0-30	829	39.1%
0-40	1305	61.6%
0-60	1953	92.2%
0-90	2119	100%
90-180	0	0%
0-180	2119	100%

Data Multiplier applies to Lumens, Candle Power, Cone of Light, and Zonal Lumen Summary. See Performance Table for Lm, Watts and LPW values.

CLR8 34W, 3000K

Input Voltage (VAC)	120-277
System Level Power (W)	34.9
Delivered Lumens (Lm)	3480
System Efficacy (Lm/W)	99.7
Correlated Color Temp (K)	3065
Color Rendering Index (CRI)	93 R9=62
Beam Angle	93.8
Spacing Criteria	1.18

Data Multiplier				
	30K	35K	40K	50K
Low	0.748	0.790	0.805	0.794
Med	0.859	0.918	0.936	0.917
High	1.000	1.012	1.054	1.061



Intensity Summary (Candle Power)

Angle	Mean CP
0	1678
5	1665
15	1574
25	1408
35	1183
45	895
55	551
65	208
75	61
85	15
90	0

Cone of Light Tabulation

Mounted height (Inches)	Footcandles Beam Center	Diameter (Feet)
4	104.9	8.5
6	46.6	12.8
8	26.1	17.1
10	16.7	21.4
12	11.6	25.6
14	8.5	29.9
16	6.5	34.2

Zonal Lumen Summary

Zone	Lumens	% of Luminaire
0-30	1252	36%
0-40	1992	57.2%
0-60	3178	91.3%
0-90	3480	100%
90-180	0	0%
0-180	3480	100%

Data Multiplier applies to Lumens, Candle Power, Cone of Light, and Zonal Lumen Summary. See Performance Table for Lm, Watts and LPW values.

CLRv3 Select

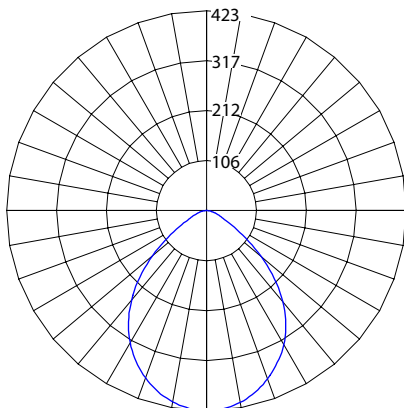
Commercial Recessed LED Downlight

Photometric Data - Low Output

CLR4 9W, 3000K

Input Voltage (VAC)	120-277
System Level Power (W)	8.8
Delivered Lumens (Lm)	768
System Efficacy (Lm/W)	87.0
Correlated Color Temp (K)	3048
Color Rendering Index (CRI)	95 R9=64
Beam Angle	80.1
Spacing Criteria	1.16

Data Multiplier				
	30K	35K	40K	50K
Low	0.773	0.801	0.810	0.781
Med	0.893	0.924	0.935	0.902
High	1.000	1.035	1.047	1.010



Intensity Summary (Candle Power)

Angle	Mean CP
0	423
5	421
15	401
25	359
35	290
45	189
55	91
65	44
75	22
85	6
90	0

Cone of Light Tabulation

Mounted height (Inches)	Footcandles Beam Center	Diameter (Feet)
4	26.4	12.8
6	11.7	19.2
8	6.6	25.6
10	4.2	32.0
12	2.9	38.4
14	2.1	44.8
16	1.6	51.2

Zonal Lumen Summary

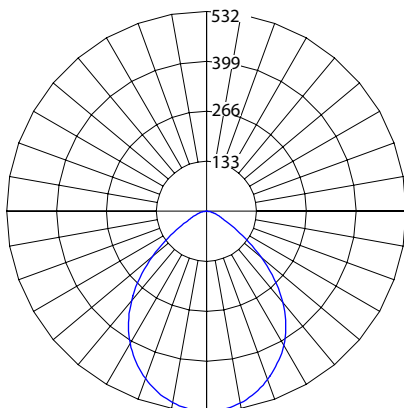
Zone	Lumens	% of Luminaire
0-30	314	40.9%
0-40	488	63.6%
0-60	699	91.1%
0-90	768	100%
90-180	0	0%
0-180	768	100%

Data Multiplier applies to Lumens, Candle Power, Cone of Light, and Zonal Lumen Summary. See Performance Table for Lm, Watts and LPW values.

CLR6 11W, 3000K

Input Voltage (VAC)	120-277
System Level Power (W)	10.9
Delivered Lumens (Lm)	1011
System Efficacy (Lm/W)	92.8
Correlated Color Temp (K)	3022
Color Rendering Index (CRI)	93 R9=61
Beam Angle	89.0
Spacing Criteria	1.16

Data Multiplier				
	30K	35K	40K	50K
Low	0.632	0.678	0.695	0.674
Med	0.789	0.848	0.869	0.843
High	1.000	1.073	1.101	1.067



Intensity Summary (Candle Power)

Angle	Mean CP
0	532
5	528
15	499
25	444
35	362
45	250
55	124
65	47
75	22
85	5
90	0

Cone of Light Tabulation

Mounted height (Inches)	Footcandles Beam Center	Diameter (Feet)
4	33.3	7.7
6	14.8	11.6
8	8.3	15.4
10	5.3	19.3
12	3.7	23.1
14	2.7	27.0
16	2.0	30.8

Zonal Lumen Summary

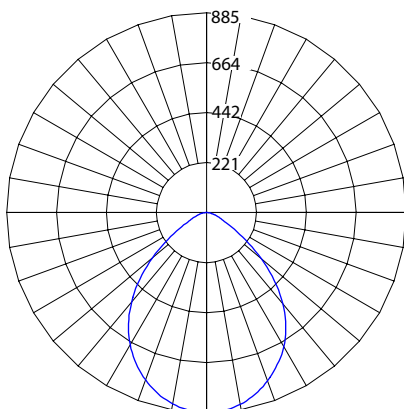
Zone	Lumens	% of Luminaire
0-30	395	39.1%
0-40	623	61.6%
0-60	932	92.2%
0-90	1011	100%
90-180	0	0%
0-180	1011	100%

Data Multiplier applies to Lumens, Candle Power, Cone of Light, and Zonal Lumen Summary. See Performance Table for Lm, Watts and LPW values.

CLR8 22W, 3000K

Input Voltage (VAC)	120-277
System Level Power (W)	21.3
Delivered Lumens (Lm)	2154
System Efficacy (Lm/W)	101.3
Correlated Color Temp (K)	3065
Color Rendering Index (CRI)	93 R9=62
Beam Angle	91.3
Spacing Criteria	1.18

Data Multiplier				
	30K	35K	40K	50K
Low	0.476	0.488	0.489	0.481
Med	0.714	0.733	0.733	0.721
High	1.000	1.025	1.027	1.009



Intensity Summary (Candle Power)

Angle	Mean CP
0	884
5	877
15	829
25	742
35	623
45	472
55	290
65	110
75	32
85	8
90	0

Cone of Light Tabulation

Mounted height (Inches)	Footcandles Beam Center	Diameter (Feet)
4	55.3	8.5
6	24.5	12.8
8	13.8	17.1
10	8.8	21.4
12	6.1	25.6
14	4.5	29.9
16	3.4	34.2

Zonal Lumen Summary

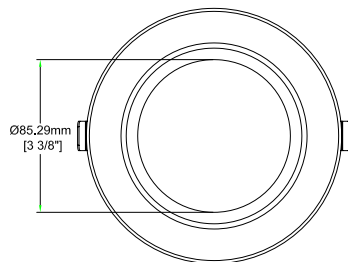
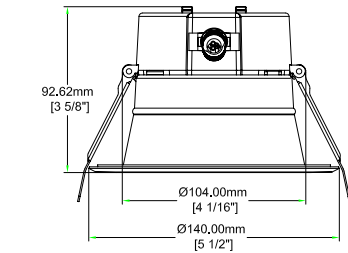
Zone	Lumens	% of Luminaire
0-30	659	36%
0-40	1049	57.2%
0-60	1674	91.3%
0-90	1833	100%
90-180	0	0%
0-180	1833	100%

Data Multiplier applies to Lumens, Candle Power, Cone of Light, and Zonal Lumen Summary. See Performance Table for Lm, Watts and LPW values.

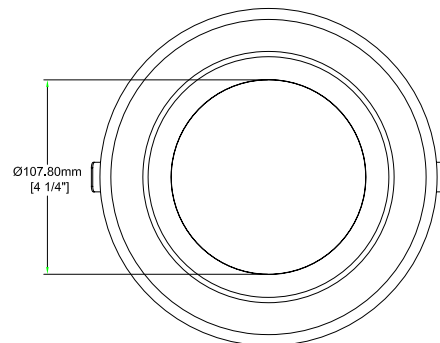
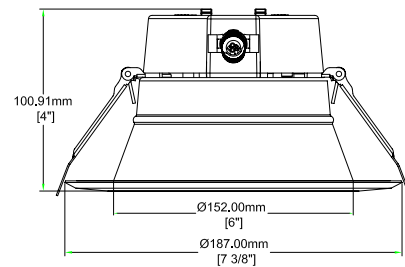
CLRv3 Select

Commercial Recessed LED Downlight

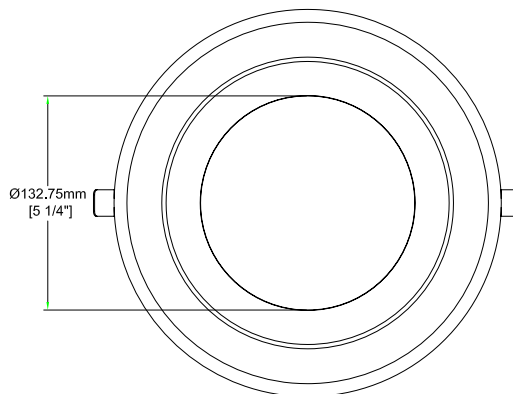
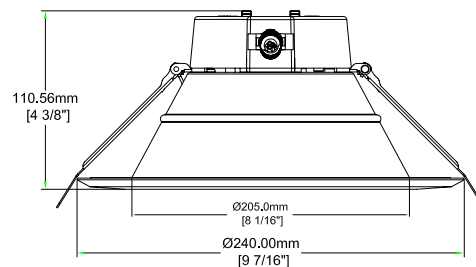
Dimensions



CLR4v3



CLR6v3



CLR8v3

This device complies with part 15 of the FCC Rules. Operation is subject to the following two conditions: (1) This device may not cause harmful interference, and (2) this device must accept any interference received, including interference that may cause undesired operation.

NOTE: This equipment has been tested and found to comply with the limits for a Class A digital device, pursuant to part 15 of the FCC Rules. These limits are designed to provide reasonable protection against harmful interference when the equipment is operated in a commercial environment. This equipment generates, uses, and can radiate radio frequency energy and, if not installed and used in accordance with the instruction manual, may cause harmful interference to radio communications. Operation of this equipment in a residential area is likely to cause harmful interference in which case the user will be required to correct the interference at his own expense.



Catalog # : _____ Project : _____ Type : _____

Prepared By : _____ Date : _____

Slim Wall Pack (WPSLS)

Small LED Slim Wall Pack



OVERVIEW

Lumen Package (lm)	1,000 - 4,000
Wattage Range (W)	12 - 40
Efficacy Range (LPW)	98 - 122
Weight lbs (kg)	3.8 (1.7)

QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

FEATURES & SPECIFICATIONS

Construction

- Rigid Precision Die cast-aluminum housing for durability and consistency.
- Vertical fins serve as a heat sink and resist accumulation of dust and debris.
- The Patent Pending thermal stacking heat removal technology extracts heat from within the housing moving it away from LEDs and integral components.
- Luminaire hinges open from the bottom to prevent leakage.
- Luminaire is proudly manufactured and tested in the U.S.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.

Optical System

- High-performance Chip On Board (COB) LEDs behind clear tempered glass for maximum light output.
- 3000K | 4000K | 5000K color temperatures.
- Minimum CRI of 71.
- Zero uplight.

Electrical

- High-performance driver features over-voltage, under voltage, short-circuit and over temperature protection.
- 0-10 volt dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz
- L70 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Power factor: >.85
- Input power stays constant over life.
- Driver Off-State Power is 0 watts.
- Chip On Board (COB) LEDs with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- Minimum 2.5kV surge rating
- Operating temperature: -40°C to +50°C (-40°F to +122°F).

Controls

- Optional 120V electronic button Photocontrol.
- Apertures for field or factory installed photocontrol.

Installation

- Surface mounts direct to J-box or wall.
- Features a bubble level and removable hinged face frame for ease of installation.

Warranty

- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsicorp.com/resources/terms-conditions-warranty/> for more information.
- 1 Year warranty on optional Button Photocell.

Listings

- Listed to UL 1598 and UL 8750.
- American Recovery and Reinvestment Act Funding Compliant.
- CSA Listed
- RoHS Compliant.
- State of California Title 24.
- Suitable For Wet Locations.
- DesignLights Consortium® (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.



Slim Wall Pack (WPSLS)

Type : _____

 Have questions? Call us at (800) 436-7800

ORDERING GUIDE

[Back to Quick Links](#)

TYPICAL ORDER EXAMPLE: WPSLS LED 1L UNV DIM 30 PCI 120 BZA

Prefix	Lumen Package	Color Temperature	Controls	Finish
WPSLS - Small Slim Wall Pack	1L - 1,000 2L - 2,000 4L - 4,000	50 - 5000K 40 - 4000K 30 - 3000K	PCI 120 - 120V Photocontrol PCI 208-277 - 208-277V Photocontrol	WHT - White BLK - Black BRZ - Bronze

Need more information?
[Click here for our glossary](#)

Have additional questions?
Call us at (800) 436-7800

PERFORMANCE

[Back to Quick Links](#)

Delivered Lumens							
Lumen Package	3000K		4000K		5000K		Wattage
	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	Delivered Lumens	Efficacy	
1L	1206	97.79	1206	97.79	1366	111.11	12
2L	2125	107.2	2125	107.2	2418	121.97	20
4L	3712	100.18	3712	100.18	4394	116.21	40

LED		HID			Annual Savings
Wattage	Annual Cost	Source Wattage	Total Wattage Used	Annual Cost	
12	\$5	50	72	\$52	\$47
		70	90	\$59	\$54
20	\$9	50	72	\$52	\$43
		70	90	\$59	\$50
		100	129	\$77	\$68
40	\$18	100	129	\$77	\$59
		150	185	\$100	\$82
		175	210	\$112	\$94

Slim Wall Pack (WPSLS)

Type : _____

 Have questions? Call us at (800) 436-7800

PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

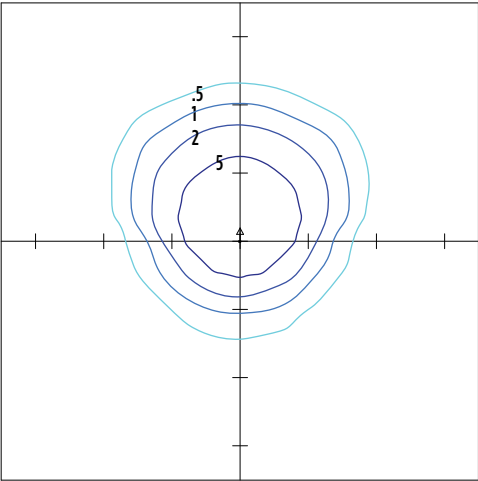
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

WPSLS-4L-40

Luminaire Data		
Wide Distribution		
Description	4000 Kelvin, 70 CRI	
Delivered Lumens	4,053	
Watts	37.0	
Efficacy	109	
IES Type	Type III - Very Short	
BUG Rating	B1-U0-G1	

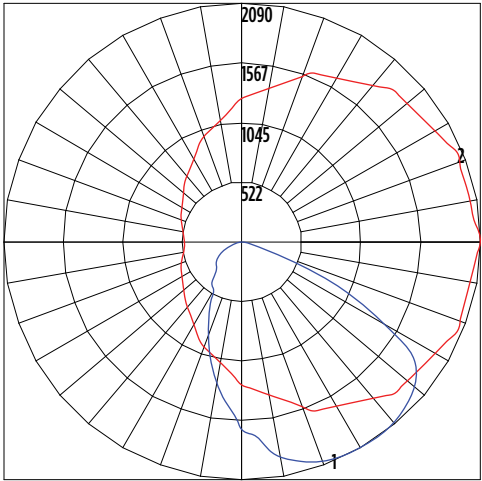
Zonal Lumen Summary		
Zone	Lumens	% Luminaire
Low (0-30°)	1239.6	30.6%
Medium (30-60°)	2246.2	55.4%
High (60-80°)	559.6	13.8%
Very High (80-90°)	7.3	0.2%
Uplight (90-180°)	0.0	0.0%
Total Flux	4052.7	100%

ISO Footcandle



10' Mounting Height / 10' Grid Spacing
10 FC 5 FC 2 FC 1 FC

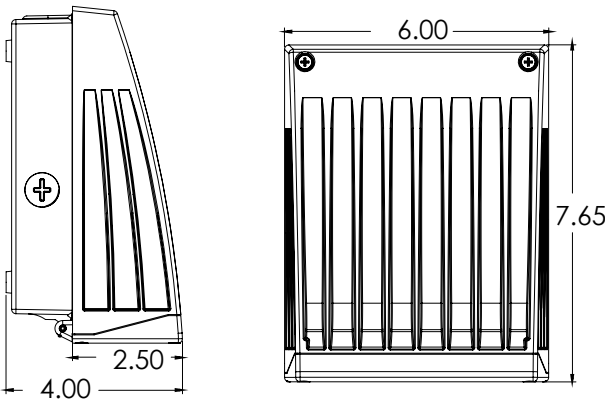
Polar Curve



Vertical Plane Horizontal Cone

PRODUCT DIMENSIONS

[Back to Quick Links](#)





September 2nd, 2025

John Chagnon
Vice President/ Senior Project Manager
Haley Ward
200 Griffin Rd Unit 14
Portsmouth, NH 03801

Natural Gas to Redevelopment at 84 Pleasant St in Portsmouth, NH

Hello John.

Unitil/Northern Utilities Natural Gas Division has reviewed the requested site for natural gas Service.

Unitil hereby confirms that natural gas is available for the proposed development on the corner of State St. and Pleasant St. in Portsmouth, NH.

Please note this property will be served from our low-pressure gas main and our gas service pressure will not exceed 7" Water Column.

If you have any questions, please contact me at 603-264-2033.

Sincerely,

A handwritten signature in blue ink that reads "Josh Wilk". The signature is fluid and cursive, with the first name "Josh" and last name "Wilk" clearly distinguishable.

Josh Wilk
Senior Business Development Rep



T 603.227.4628
M 603.264.2033
F 603.294.5264
Email wilkj@unitil.com



INSPECTION & LONG-TERM MAINTENANCE PLAN FOR MIXED-USE DEVELOPMENT

Floros Building
PORTSMOUTH, NH

Introduction

The intent of this plan is to provide PNF Trust and 288 Middle Street, LLC (herein referred to as the "Owner") with a list of procedures that document the inspection and maintenance requirements of the stormwater management system for proposed development at the Floros Building. Specifically, the proposed roof drain filters (collectively referred to as the "Stormwater Management System"). The contact information for the owner shall be kept current, and if there is a change of ownership of the property this plan must be transferred to the new owner.

The following inspection and maintenance program is necessary to keep the stormwater management system functioning properly and will help maintain a high quality of stormwater runoff to minimize potential environmental impacts. By following the enclosed procedures, the owner will be able to maintain the functional design of the stormwater management system and maximize its ability to remove sediment and other contaminants from site generated stormwater runoff.

Construction Inspections

During the construction period, inspections shall be conducted at least once every seven (7) calendar days or once every 14 calendar days and within 24 hours of the end of a storm event of 0.5 inch or greater.

Annual Report

Following construction, the owner shall prepare an annual Inspection & Maintenance Report. The report shall include a summary of the system's maintenance and repair by transmission of the Inspection & Maintenance Log and other information as required. A copy of the report shall be delivered annually to the Portsmouth DPW, if required.

Inspection & Maintenance Checklist/Log

The following pages contain the Stormwater Management System Inspection & Maintenance Requirements and a blank copy of the Stormwater Management System Inspection & Maintenance Log. These forms are provided to the owner as a guideline for performing the inspection and maintenance of the Stormwater Management System. This is a guideline and should be periodically reviewed for conformance with current practice and standards.

Stormwater Management System Components

The Stormwater Management System is designed to mitigate the quality of site-generated stormwater runoff. As a result, the design includes the following elements:

Non-Structural BMPs

Non-Structural best management practices (BMP's) include temporary and permanent measures that typically require less labor and capital inputs and are intended to provide protection against erosion of soils. Examples of non-structural BMP's on this project may include but are not limited to:

- Dust control
- Sediment barriers
- Stabilized construction entrance
- Catch basin basket
- Dewatering control

Structural BMPs

Structural BMPs are more labor and capital-intensive structures or installations that require more specialized personnel to install. Examples on this project include but are not limited to:

- Bio Clean Downspout Filter
- Closed Drainage System

Inspection and Maintenance Requirements

The following summarizes the inspection and maintenance requirements for the various BMP's that may be found on this project.

1. Bio Clean Downspout Filter: Refer to the manufacturer's Operation and Maintenance manual for guidance, included herewith.
2. Storm Drains: Monitor accumulation of debris in drainage structures monthly or after significant rain events. Remove sediments when they accumulate within the outlet pipe. During construction, maintain inlet protection until all areas have been stabilized. Prior to the end of construction, inspect the drains and basins for accumulations and remove and clean by jet- vacuuming.

Pollution Prevention

The following pollution prevention activities shall be undertaken to minimize potential impacts on stormwater runoff quality. The Contractor is responsible for all activities during construction. The Owner is responsible thereafter.

Spill Procedures

Any discharge of waste oil or other pollutant shall be reported immediately to the New Hampshire Department of Environmental Services (NHDES). The Contractor/Owner will be responsible for any incident of groundwater contamination resulting from the improper discharge of pollutants to the stormwater system, and may be required by NHDES to remediate incidents that may impact groundwater quality. If the property ownership is transferred, the new owner will be informed of the legal responsibilities associated with operation of the stormwater system, as indicated above.

Sanitary Facilities

Sanitary facilities shall be provided during all phases of construction.

Material Storage

The contractors are required to remove trash from the site. Hazardous material storage is prohibited. Salt and other de-icing materials must remain under covered storage. Salt storage areas shall be covered using permanent or semi-permanent measures and loading/offloading areas shall be located and designed to not drain directly to receiving waters and be maintained with good housekeeping measures in accordance with NHDES guidance documents. Snow will not be stored onsite – it will be removed from the site by a licensed contractor as needed. There are no wetlands, waterbodies, or other protected natural resources directly adjacent to the development area. Down-gradient stormwater structures will be protected as outlined in this

document.

Material Disposal

All waste material, trash, sediment, and debris shall be removed from the site and disposed of in accordance with applicable local, state, and federal guidelines and regulations. Removed sediments shall be if necessary dewatered prior to disposal.

Downspout Filter

PROVEN STORMWATER TREATMENT TECHNOLOGY

Bio Clean
A Forterra Company

Overview

The Bio Clean Downspout Filter is the industry's leading solution for treatment of roof runoff. This technology is used to treat commercial and industrial roof tops along with highrise buildings, parking structures and residential buildings.

Available in 3 sizes, this filter can easily adapt to downspouts 2" to 12" in diameter. The filter comes standard with rubber boots that allow for easy installation to the downspout.

Proven since 2003, the Bio Clean Downspout Filter has been used on hundreds of installations throughout the United States. All internal components are constructed of stainless steel.

The sleek in-line design allows the filter to be used in tight spaces. Approved by the IAPMO, this filter can meet all your needs.



Advantages

- 10 Year Warranty
- No Nets or Geofabrics
- Sleek In-Line Design
- High Treatment Flow Rate
- High Bypass Flow Rate
- Low Cost

Performance

- 93% Removal of TSS
- 87% Removal of Hydrocarbons
- Effective at Removing Metals, Nutrients and Bacteria (Media Type)

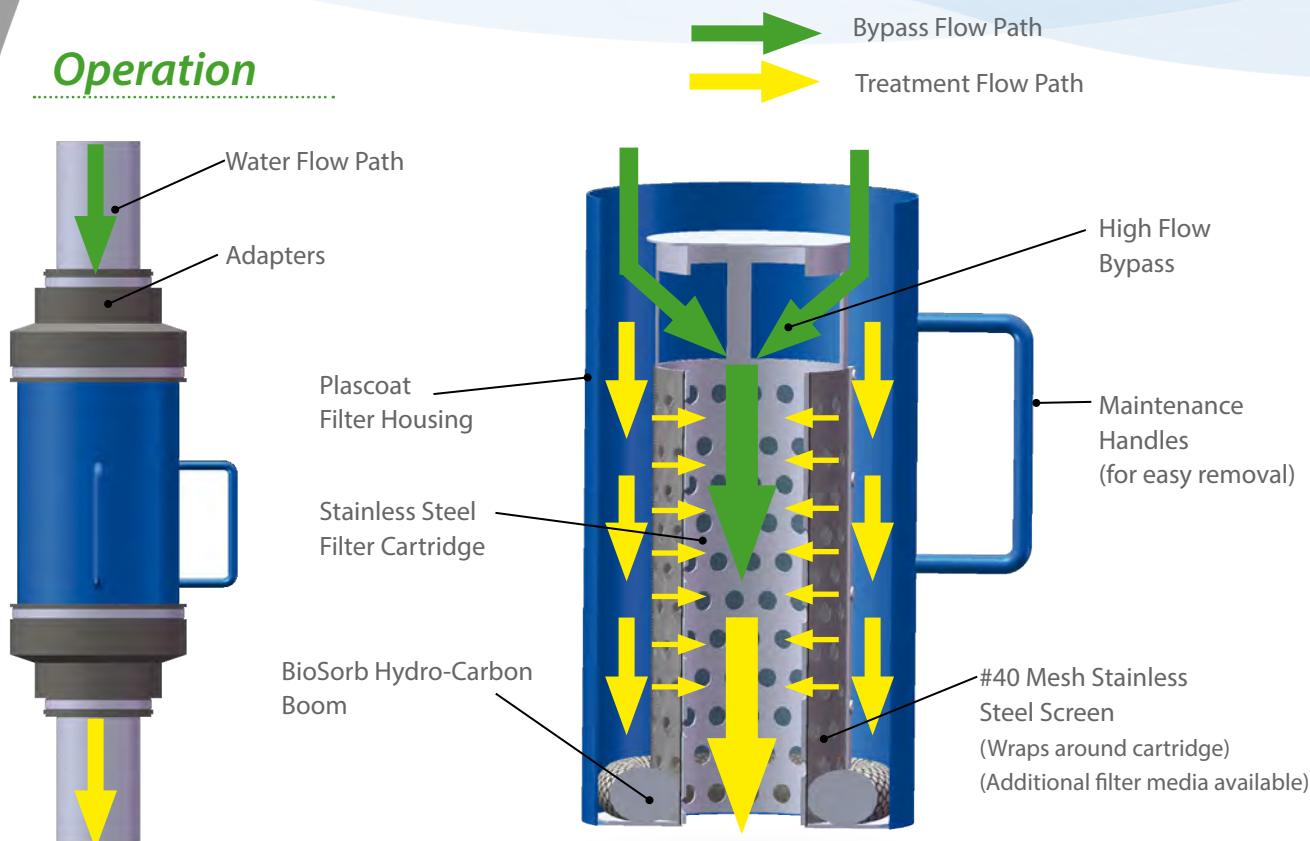
Specifications

Model #	Inlet ID (dia., in.)	Filter OD (dia., in.)	Storage Cap. (cu. ft.)	Filtered Flow (gpm)	Bypass Flow (gpm)
BC-DF4	4	6.625	.09	249	566
BC-DF6	6	8.625	0.21	509	1006
BC-DF8	8	8.625	0.21	509	1006
BC-DF10	10	12.75	0.77	1145	2264
BC-DF12	12	12.75	0.77	1145	2264

Downspout Filter

PROVEN STORMWATER TREATMENT TECHNOLOGY

Operation



Application



Easily adapts to square or rectangular downspouts

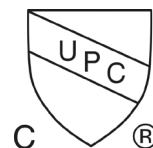
- Commercial
- Residential
- Parking Structures
- Mixed Use



Fits In-line with iron, steel or plastic pipe

Approvals

IAPMO Testing & Approval Listing



Installation & Maintenance

See Our Website for Installation & Maintenance Manuals at:
www.BioCleanEnvironmental.com/products/downspout

398 Via El Centro
Oceanside, CA 92058
p 760.433.7640 f 760.433.3176
www.BioCleanEnvironmental.com

Bio Clean
A Forterra Company

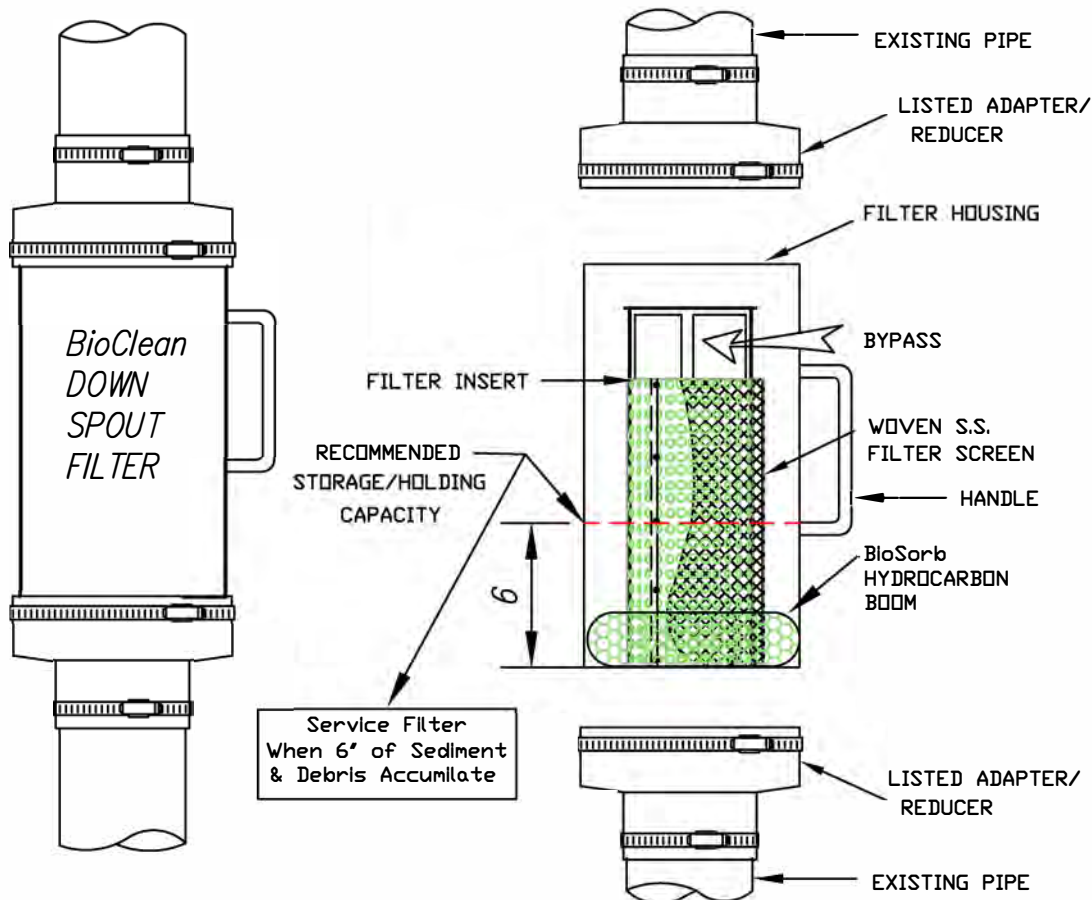
SERVICE MANUAL

(Cleaning Procedures)

Service filters
every six months

Bio Clean DOWNSPOUT FILTER

Screen Type With Hydrocarbon Boom



TOOLS AND EQUIPMENT NEEDED:

1. Medium size flat scribed driver
2. BioSorb hydrocarbon boom. 25-1/2" X 2" dia.
(Call Bio Clean to order)
3. Trash container or bag
4. Wooden dowel approx. 3' x 1/2' dia.

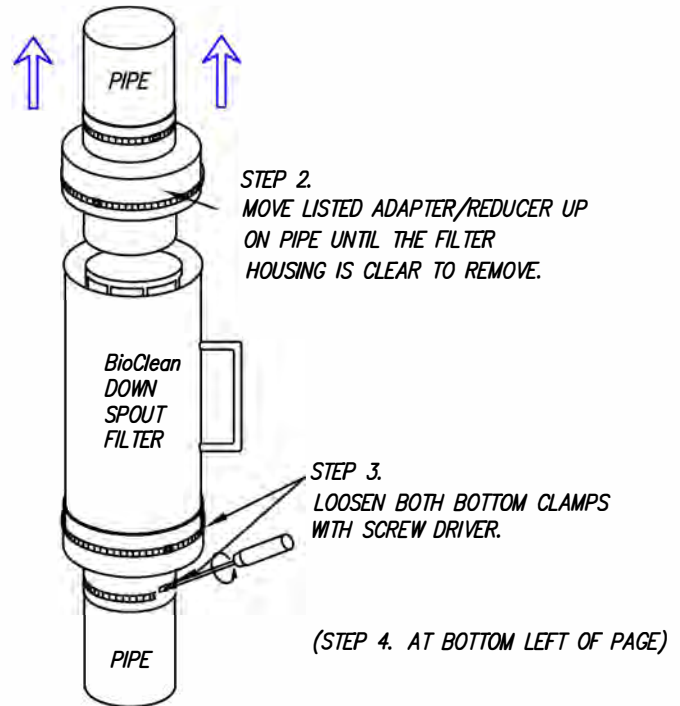
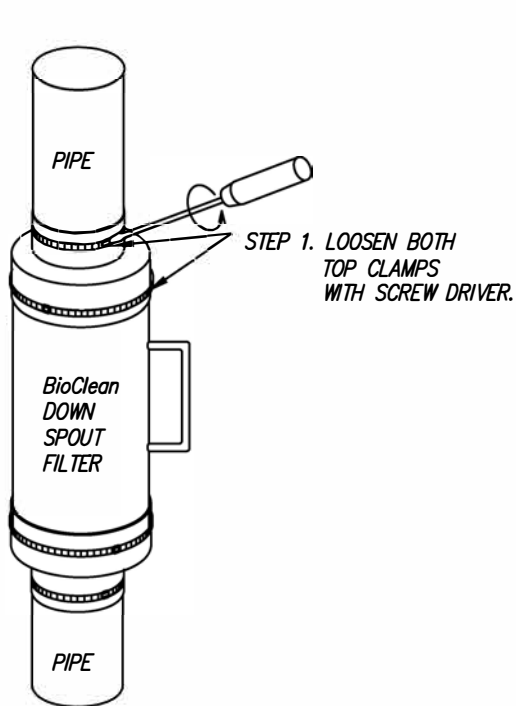
DETAIL OF PARTS

Bio Clean

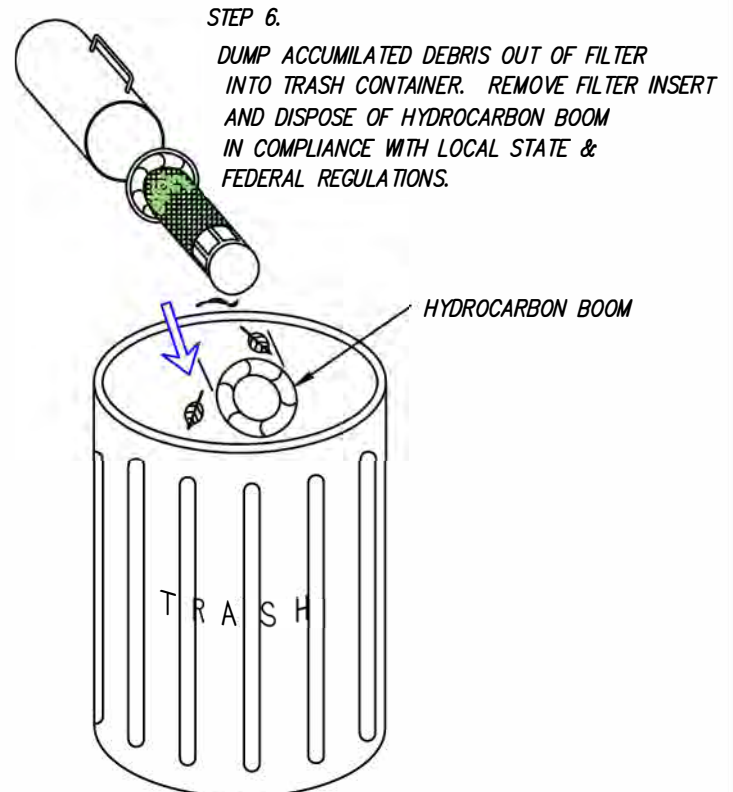
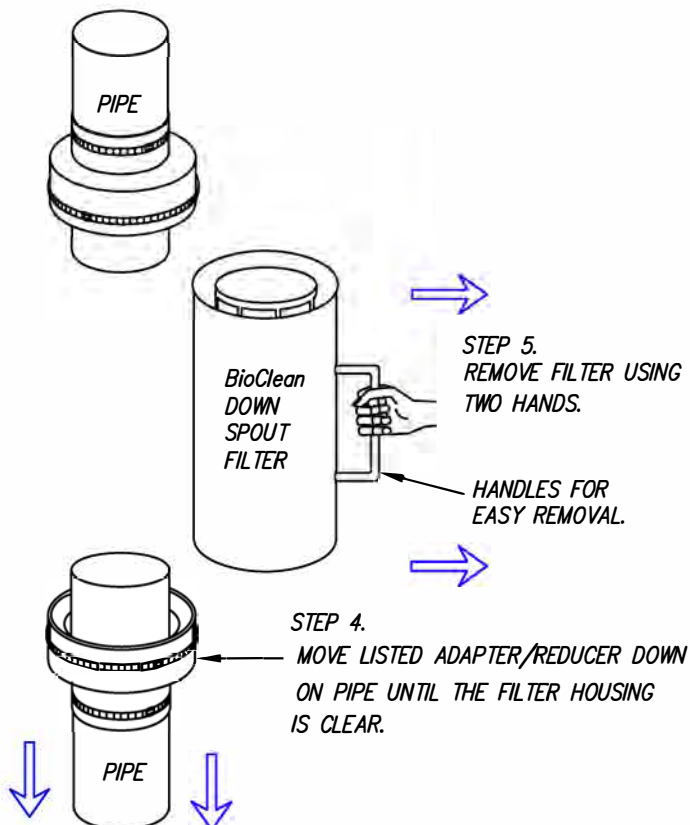
A Forterra Company

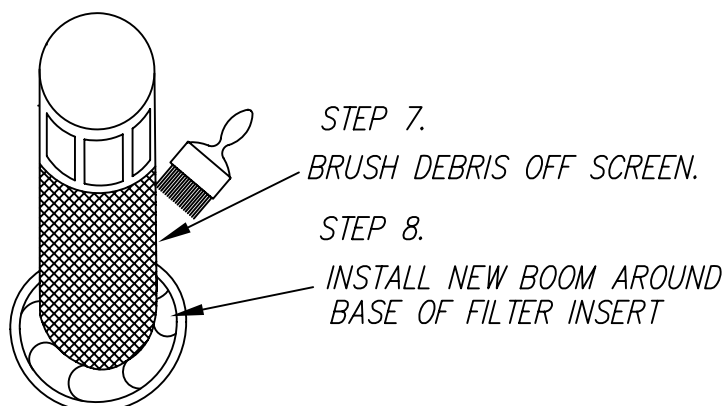
P.O. BOX 869, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net

REMOVING FILTER

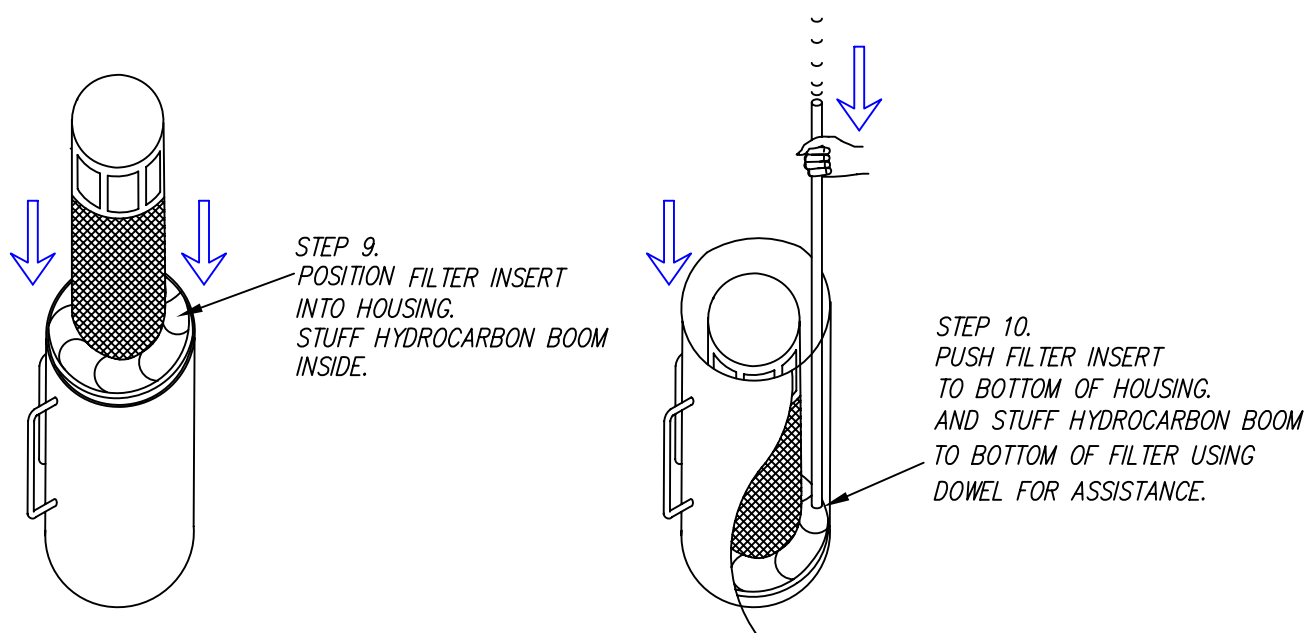


CLEANING FILTER



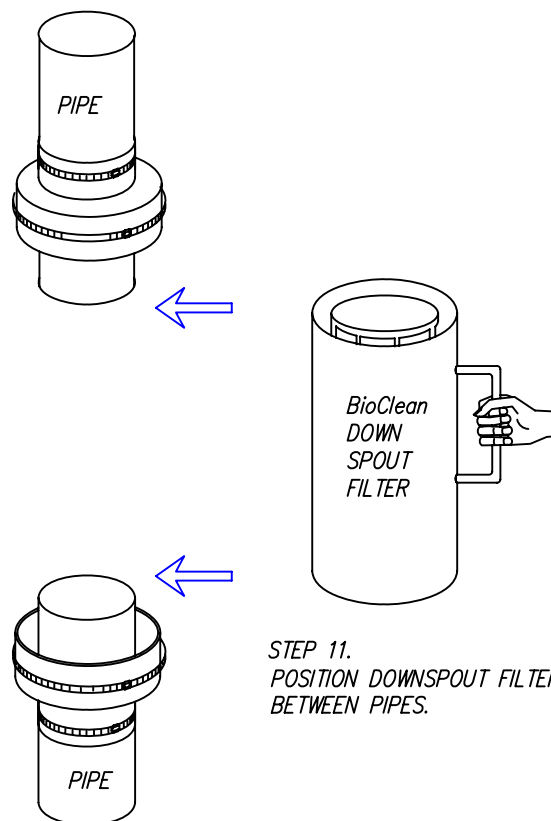


REPLACING FILTER INSERT

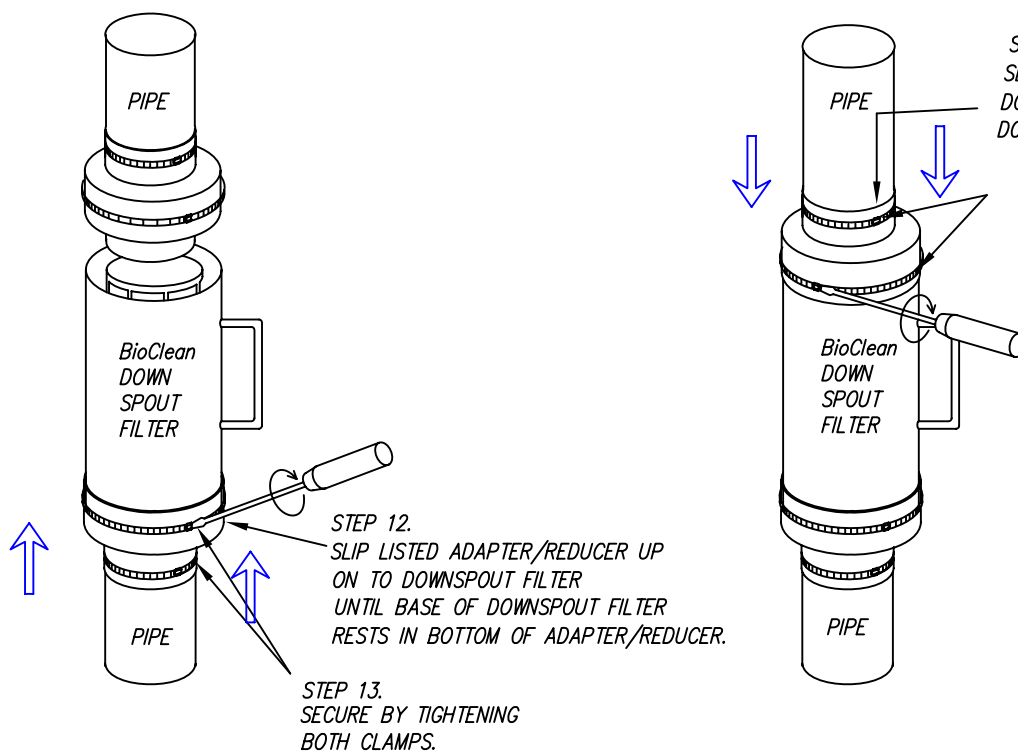


REPLACING FILTER

P.O. BOX 869, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net



STEP 11.
POSITION DOWNSPOUT FILTER
BETWEEN PIPES.



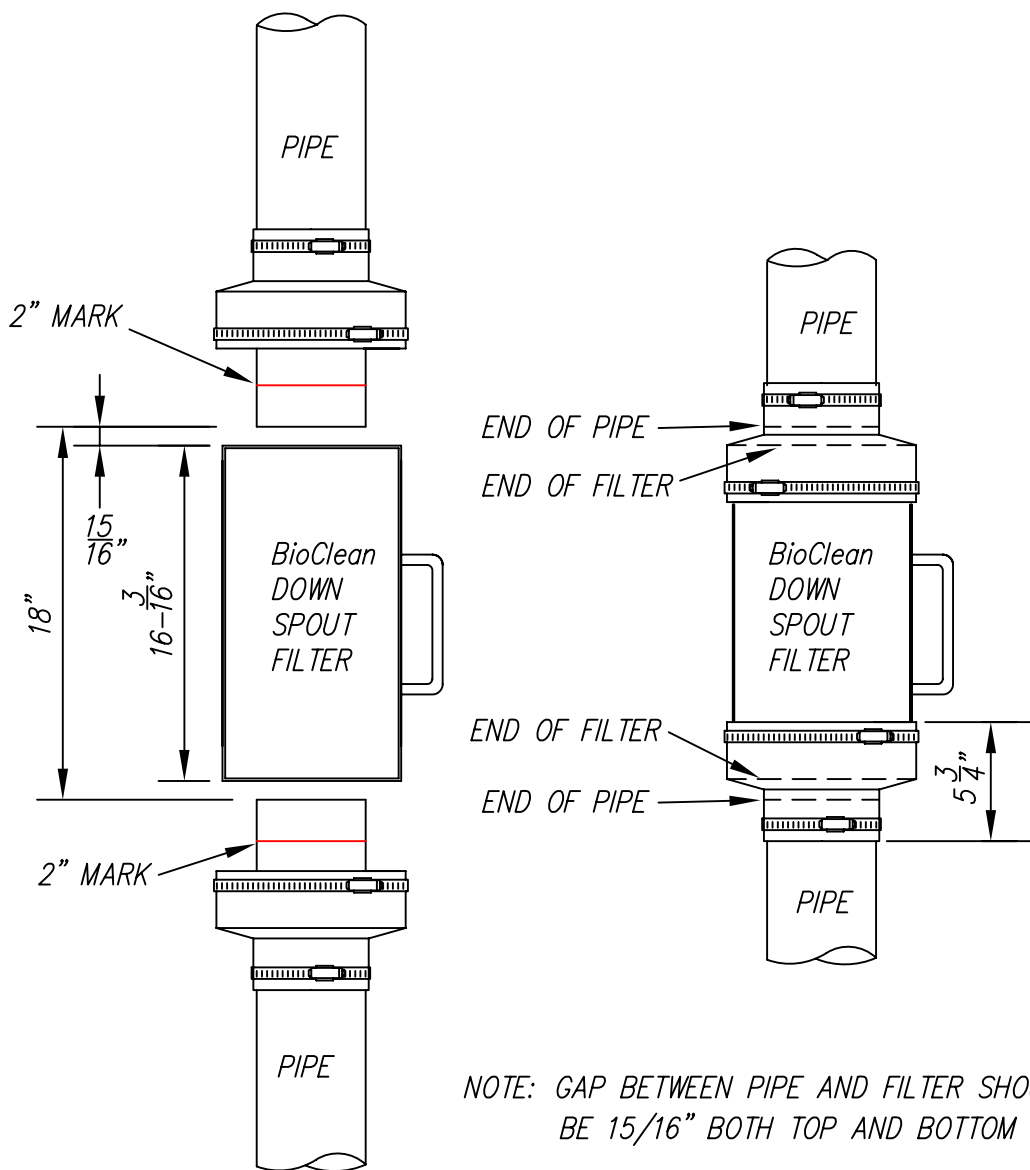
STEP 14.
SLIP LISTED ADAPTER/REDUCER
DOWNWARD ON TO
DOWNSPOUT FILTER.

STEP 15.
SECURE BY TIGHTENING
BOTH CLAMPS
WITH SCREWDRIVER.

ENSURE CLAMPS
ARE PROPERLY TIGHTENED.
SERVICE COMPLETE.

APPROPRIATE INSTALLATION

FILTER CENTERED BETWEEN PIPES WITH EVEN GAPS ON TOP AND BOTTOM



A Forterra Company

P.O. BOX 869, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net

CATCH BASIN BASKET CONSTRUCTION MAINTENANCE SHEET

INSPECTION REQUIREMENTS		
ACTION TAKEN	FREQUENCY	MAINTENANCE REQUIREMENTS
-Check for damage to basket -Remove sediment from basket	Within 24 hours of rainfall, Daily during extended rainfall	-Repair basket as necessary to prevent particles from reaching drainage system, or to prevent flooding. -Empty basket after every storm, or if clogged.

MAINTENANCE LOG	
PROJECT NAME	
INSPECTOR NAME	INSPECTOR CONTACT INFO
DATE OF INSPECTION	REASON FOR INSPECTION ☐ LARGE STORM EVENT ☐ PERIODIC CHECK-IN
IS CORRECTIVE ACTION NEEDED? ☐ YES ☐ NO	DESCRIBE ANY PROBLEMS, NEEDED MAINTENANCE
DATE OF MAINTENANCE	PERFORMED BY
NOTES	

CLOSED DRAINAGE STRUCTURE LONG-TERM MAINTENANCE SHEET

INSPECTION REQUIREMENTS		
ACTION TAKEN	FREQUENCY	MAINTENANCE REQUIREMENTS
-Outlet Control Structures -Drain Manholes -Catch Basins	Every other Month	Check for erosion or short-circuiting Check for sediment accumulation Check for floatable contaminants
-Drainage Pipes	1 time per 2 years	Check for sediment accumulation/clogging, or soiled runoff. Check for erosion at outlets.

MAINTENANCE LOG	
PROJECT NAME	
INSPECTOR NAME	INSPECTOR CONTACT INFO
DATE OF INSPECTION	REASON FOR INSPECTION ☐ LARGE STORM EVENT ☐ PERIODIC CHECK-IN
IS CORRECTIVE ACTION NEEDED? ☐ YES ☐ NO	DESCRIBE ANY PROBLEMS, NEEDED MAINTENANCE
DATE OF MAINTENANCE	PERFORMED BY
NOTES	

STABILIZED CONSTRUCTION ENTRANCE CONSTRUCTION MAINTENANCE SHEET

INSPECTION REQUIREMENTS		
ACTION TAKEN	FREQUENCY	MAINTENANCE REQUIREMENTS
ENTRANCE SURFACE -Check for sediment accumulation/clogging of stone -Check Vegetative filter strips	After heavy rains, as necessary	-Top dress pad with new stone. -Replace stone completely if completely clogged. -Maintain vigorous stand of vegetation.
WASHING FACILITIES (if applicable) -Monitor Sediment Accumulation	As often as necessary	-Remove Sediments from traps.

MAINTENANCE LOG	
PROJECT NAME	
INSPECTOR NAME	INSPECTOR CONTACT INFO
DATE OF INSPECTION	REASON FOR INSPECTION ☐ LARGE STORM EVENT ☐ PERIODIC CHECK-IN
IS CORRECTIVE ACTION NEEDED? ☐ YES ☐ NO	DESCRIBE ANY PROBLEMS, NEEDED MAINTENANCE
DATE OF MAINTENANCE	PERFORMED BY
NOTES	



CITY OF PORTSMOUTH

Planning & Sustainability
Department
1 Junkins Avenue
Portsmouth, New Hampshire
03801
(603) 610-7216

ZONING BOARD OF ADJUSTMENT

November 26, 2024

PNF Trust of 2013 Peter Floros, Trustee
282 Middle Street
Portsmouth, New Hampshire 03801

RE: Board Of Adjustment Request for Property Located at 84 Pleasant Street and 266, 270, 278 State Street, Portsmouth, NH (LU-24-195)

Dear Property Owner:

The Zoning Board of Adjustment, at its regularly scheduled meeting of **Tuesday, November 19, 2024**, considered your application for merging the lots and constructing a four-story mixed-use building which requires the following: 1) Variance from Section 10.5A41.10.C to allow a) 98% building coverage where 90% is maximum, b) 0% open space where 10% is minimum, and c) 53% shopfront façade glazing on Pleasant Street and 52% on State Street where 70% is the minimum required; 2) Variance from Section 10.5A21.B to allow a) 55 feet of building height where 47 feet is permitted with a penthouse, b) a fourth story addition at 50 feet in height to the Church street elevation where 3 full stories and a short fourth are allowed with 45 feet maximum height permitted; 3) Variance from Section 10.642 to allow 43% ground floor residential area where 20% is maximum. Said property is shown on Assessor Map 107 Lot 77 Map 107 Lot 78, Map 107 Lot 79, Map 107 Lot 80 and lies within the Character District 4 (CD4), Historic and Downtown Overlay Districts. As a result of said consideration, the Board voted to to **grant** the variances as presented and advertised **for Variance No. 1 in its entirety, Variance No. 3 in its entirety, and Variance 2(b) only.**

The Board voted to **deny** the request for **variance No. 2(a)** because it fails the hardship criterion as there are no special conditions of the property that drive the need for a penthouse.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning & Sustainability Department for more details about the appeals process.

Approvals may also be required from other City Commissions or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of two (2) years from the date granted unless an extension is granted in accordance with Section 10.236 of the Zoning Ordinance.

The Findings of Fact associated with this decision are available: attached here or as an attachment in the Viewpoint project record associated with this application and on the Zoning Board of Adjustment Meeting website:

<https://www.cityofportsmouth.com/planportsmouth/zoning-board-adjustment/zoning-board-adjustment-archived-meetings-and-material>

The minutes and audio recording of this meeting are available by contacting the Planning & Sustainability Department.

Very truly yours,

Phyllis Eldridge, Chair of the Zoning Board of Adjustment

cc: Shanti Wolph, Chief Building Inspector

Rosann Maurice-Lentz, City Assessor
Chris Mulligan, Bosen & Associates, PLLC
John Chagnon, Ambit Engineering



CITY OF PORTSMOUTH

Planning & Sustainability
Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

HISTORIC DISTRICT COMMISSION

August 27, 2025

PNF Trust of 2013 Peter Floros, Trustee
282 Middle Street
Portsmouth, New Hampshire 03801

RE: Certificate of Approval for Property Located at 84 Pleasant Street and 266, 270, 278 State Street, Portsmouth, NH (LU-24-195) (LU-24-219)

Dear Property Owner:

The Historic District Commission, at its regularly scheduled meeting of **August 06, 2025**, considered your application for the construction of a new 4-Story mixed-use building (266-278 State Street and the renovations of an existing structure (84 Pleasant Street) as per plans on file in the Planning & Sustainability Department. Said property is shown on Assessor Map 107 Lot 77 Map 107 Lot 78, Map 107 Lot 79, Map 107 Lot 80 and lies within the Character District 4 (CD4), Historic and Downtown Overlay Districts. As a result of said consideration, the Commission voted to **grant** the Certificate of Approval with the following stipulation:

1. The applicant shall further develop the wall on Court Street.

Findings of Fact

A. Purpose and Intent

The proposed application meets the following objective(s) of the Historic District (as provided in Section 10.631.20 of the Zoning Ordinance):

-Preserve the integrity of the District

B. Review Criteria

The proposed application also meets the following review criteria of the Historic District (as provided in Section 10.635.70 of the Zoning Ordinance):

-Compatibility of design with surrounding properties

The Commission's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Commission's decision during this appeal period shall be at the applicant's risk. Please contact the Planning & Sustainability Department for more details about the appeals process.

Approvals may also be required from other City Committees or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of one (1) year from the date granted by the Historic District Commission unless an extension is granted by the Commission in accordance with Section 10.636.70 of the Zoning Ordinance.

Please note that any changes or modifications to this application require review and approval from the Commission prior to implementation and additional fees may apply.

The minutes and audio recording of this meeting are available by contacting the Planning & Sustainability Department.

Very truly yours,

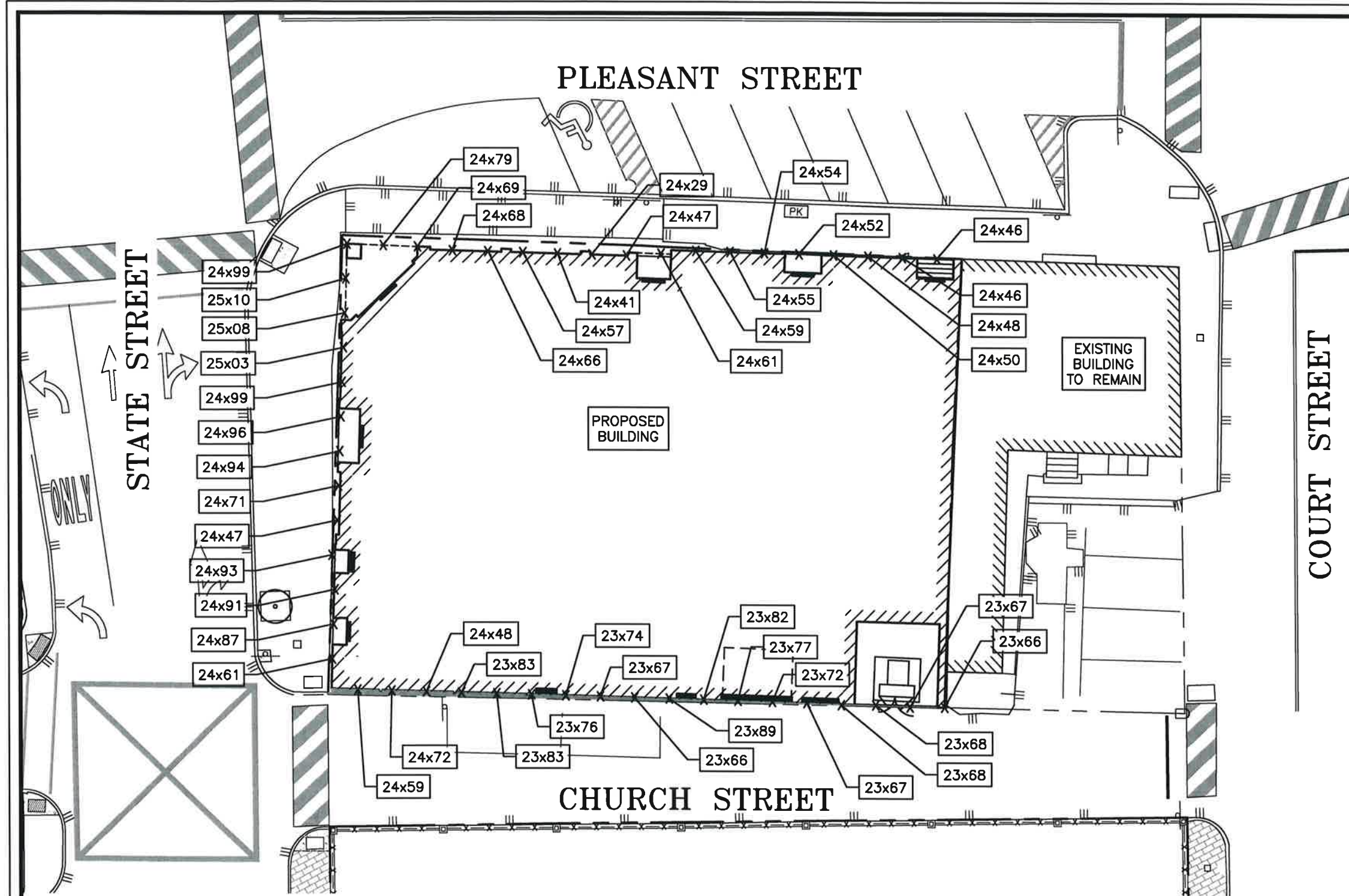
A handwritten signature in cursive script, appearing to read "Izak Gilbo".

Izak Gilbo, Planner 1
for Reagan Ruedig, Chair of the Historic District Commission

cc: Shanti Wolph, Chief Building Inspector
Rosann Maurice-Lentz, City Assessor

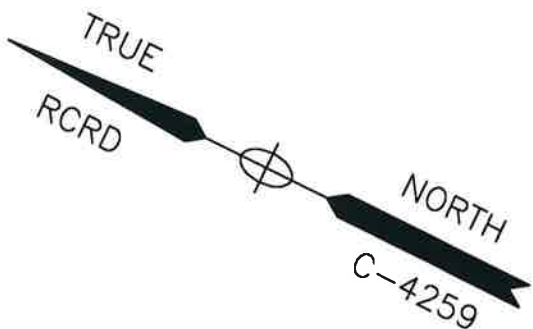
Chris Mulligan, Bosen & Associates, PLLC
John Chagnon, Ambit Engineering

P:\NH\5010129-Floros_Realty_Group\3150-State Street-RC\2024 Site Plan\Plans & Specs\Site\3150 State 2025.dwg, 11/10/2025 11:12:41 AM



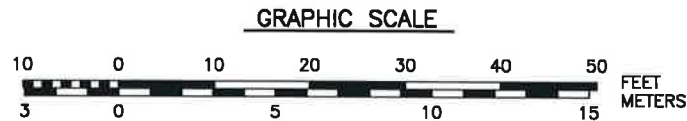
AVERAGE GRADE				
	SOUTH	WEST	NORTH	EAST
	23.66	24.61	24.79	N/A
	23.67	24.87	24.69	
	23.68	24.91	24.68	
	23.68	24.93	24.66	
	23.67	24.47	24.57	
	23.72	24.71	24.41	
	23.77	24.94	24.29	
	23.82	24.96	24.47	
	23.89	24.99	24.61	
	23.66	25.03	24.59	
	23.67	25.08	24.55	
	23.74	25.10	24.54	
	23.76	24.99	24.52	
	23.83		24.50	
	23.83		24.48	
	24.48		24.46	
	24.72		24.46	
	24.59			
TOTAL	429.84	323.59	417.27	N/A
/# GRADES	429.84/18	323.59/13	417.27/17	N/A
AVG. GRADE	23.88	24.89	24.55	N/A
*SPOT GRADES TAKEN AT POINTS 6' ON CENTER ALONG PROPOSED BUILDING FOOTPRINTS.				

AVERAGE GRADE: 24.44



AVERAGE GRADE PLANE

FLOROS BUILDING
STATE & PLEASANT STREET
PORTSMOUTH, N.H.



SCALE: 1"=20'


WWW.HALEYWARD.COM

FB 321 PG 58

HALEYWARD

ENGINEERING | ENVIRONMENTAL | SURVEYING

200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282

AUGUST 2025
REV. 11/17/25

5010129.3150

SITE REDEVELOPMENT
FLOROS BUILDING
266, 270, 278 STATE STREET
AND 84 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE
SITE PERMIT PLANS

PERMIT LIST:
PORTSMOUTH HDC: GRANTED 08/06/2025
PORTSMOUTH ZONING BOARD: GRANTED 11/19/2024
PORTSMOUTH SITE REVIEW: PENDING

OWNER/APPLICANT:

266 & 278 STATE STREET
PNF TRUST OF 2013
PETER N. FLORES TRUSTEE
282 MIDDLE STREET
PORTSMOUTH NH, 03801

CIVIL ENGINEER & LAND

SURVEYOR:

HALEY WARD
200 GRIFFIN ROAD, UNIT 14
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

OWNERS:

270 STATE STREET
282 MIDDLE STREET LLC
282 MIDDLE STREET
PORTSMOUTH NH, 03801

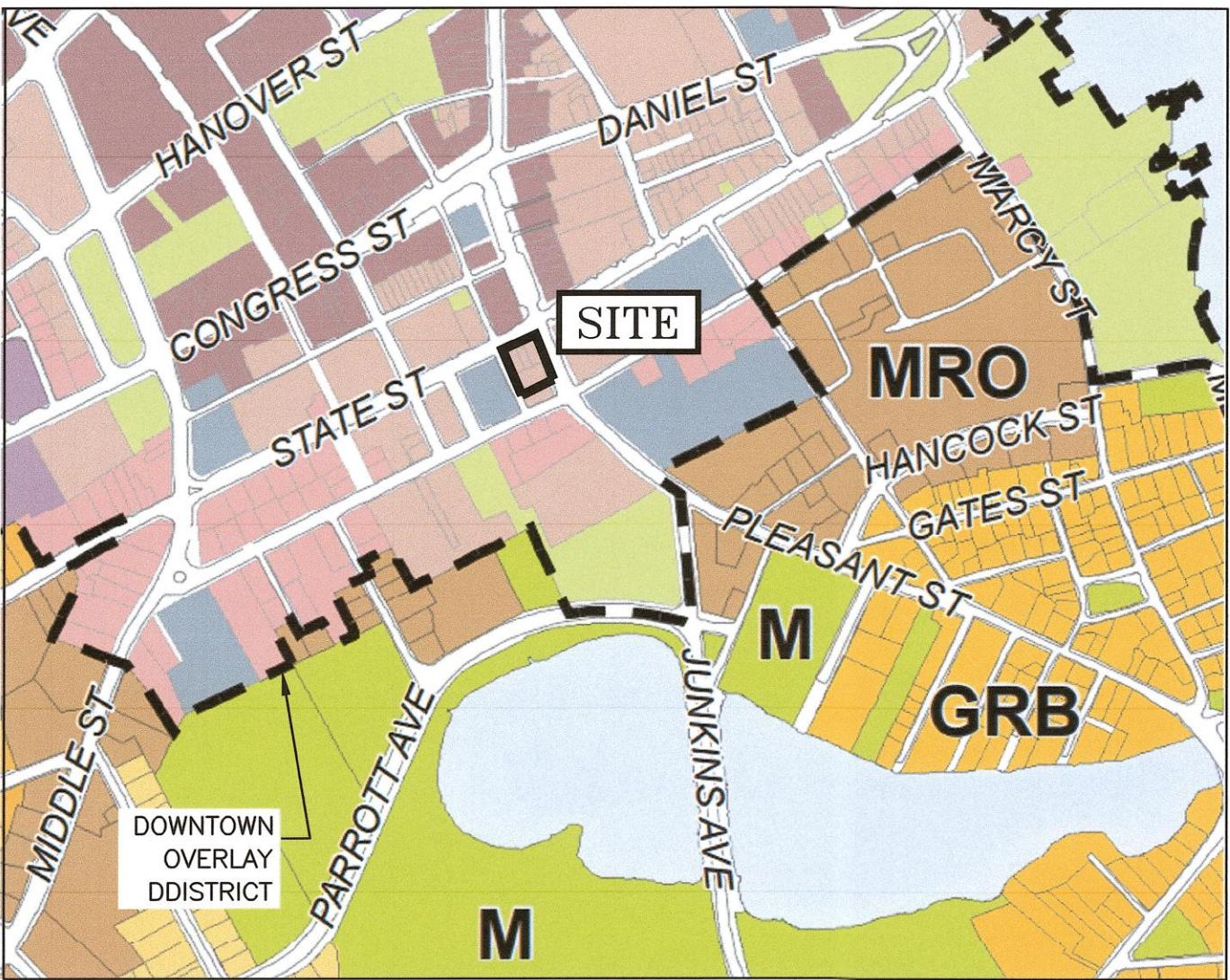
ATTORNEY:

HOEFLE, PHOENIX, GORMLEY &
ROBERTS, PLLC
127 PARROTT AVENUE
PORTSMOUTH NH, 03801
TEL. (603) 766-9106

ARCHITECT:

84 PLEASANT STREET
PNF TRUST OF 2013
PETER N. FLORES TRUSTEE
282 MIDDLE STREET
PORTSMOUTH NH, 03801

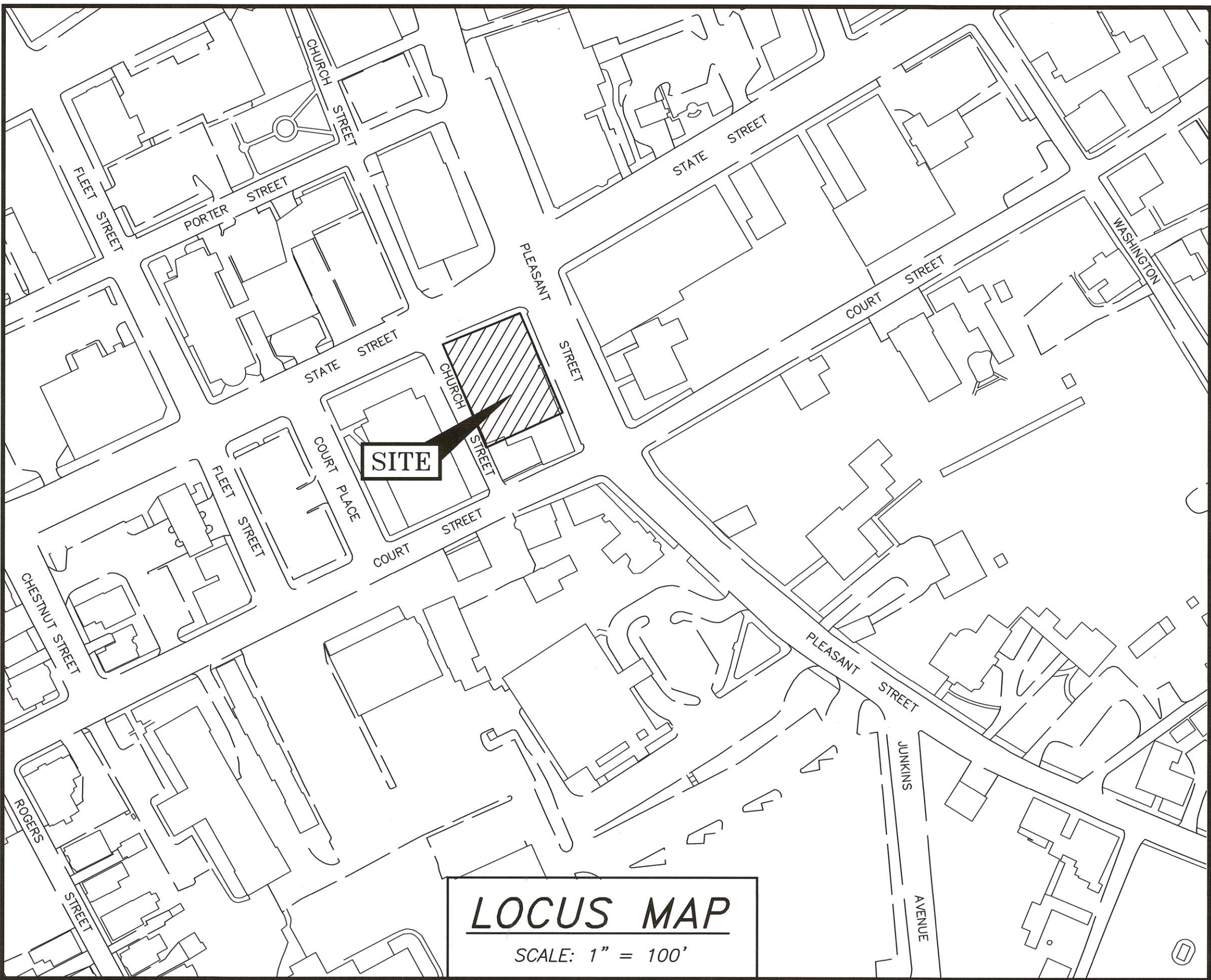
MICHAEL J. KEANE ARCHITECTS, PLLC
101 KENT PLACE
NEWMARKET NH 03857-1534
TEL. (603) 292-1400



Map 10.5A21A
Character Districts
and Civic Districts

Legend

	Downtown Overlay District
	Historic District
Character Districts	
	CD5 Character District 5
	CD4 Character District 4
	CD4-W Character District 4-W
	CD4-L1 Character District 4-L1
	CD4-L2 Character District 4-L2
Civic District	
	Civic District
Municipal District	
	Municipal District



LEGEND:

EXISTING	PROPOSED	
		PROPERTY LINE
		SETBACK
		SEWER PIPE
		SEWER LATERAL
		GAS LINE
		STORM DRAIN
		WATER LINE
		WATER SERVICE
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC WIRES
		FOUNDATION DRAIN
		EDGE OF PAVEMENT (EP)
		CONTOUR
		SPOT ELEVATION
		UTILITY POLE
		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
		SHUT OFFS (WATER/GAS)
		GATE VALVE
		HYDRANT
		CATCH BASIN
		SEWER MANHOLE
		DRAIN MANHOLE
		TELEPHONE MANHOLE
		PARKING SPACE COUNT
		PARKING METER
		LANDSCAPED AREA
		TO BE DETERMINED
		CAST IRON PIPE
		COPPER PIPE
		DUCTILE IRON PIPE
		POLYVINYL CHLORIDE PIPE
		REINFORCED CONCRETE PIPE
		ASBESTOS CEMENT PIPE
		VITRIFIED CLAY PIPE
		EDGE OF PAVEMENT
		ELEVATION
		FINISHED FLOOR
		INVERT
		SLOPE FT/FT
		TEMPORARY BENCH MARK
		TYPICAL



PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN
PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF
PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

INDEX OF SHEETS

DWG. No.	
-	STANDARD BOUNDARY SURVEY
-	LICENSE PLAN
01	ORTHOPHOTO PLAN
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
-	ARCHITECTURAL RENDERING & FLOOR PLANS
C4	UTILITY PLAN
C5	OFFSITE ELECTRICAL CONNECTION PLAN
C6	ROOF DRAINAGE PLAN
C7	LIGHTING PLAN
C501-C505	SITE DETAILS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708
ATTN: NICHOLAS KOSKO X3327565

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
TEL. (603) 427-1530
ATTN: DOUG SPARKS

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
TEL. (603) 264-2033
ATTN: JOSH WILK

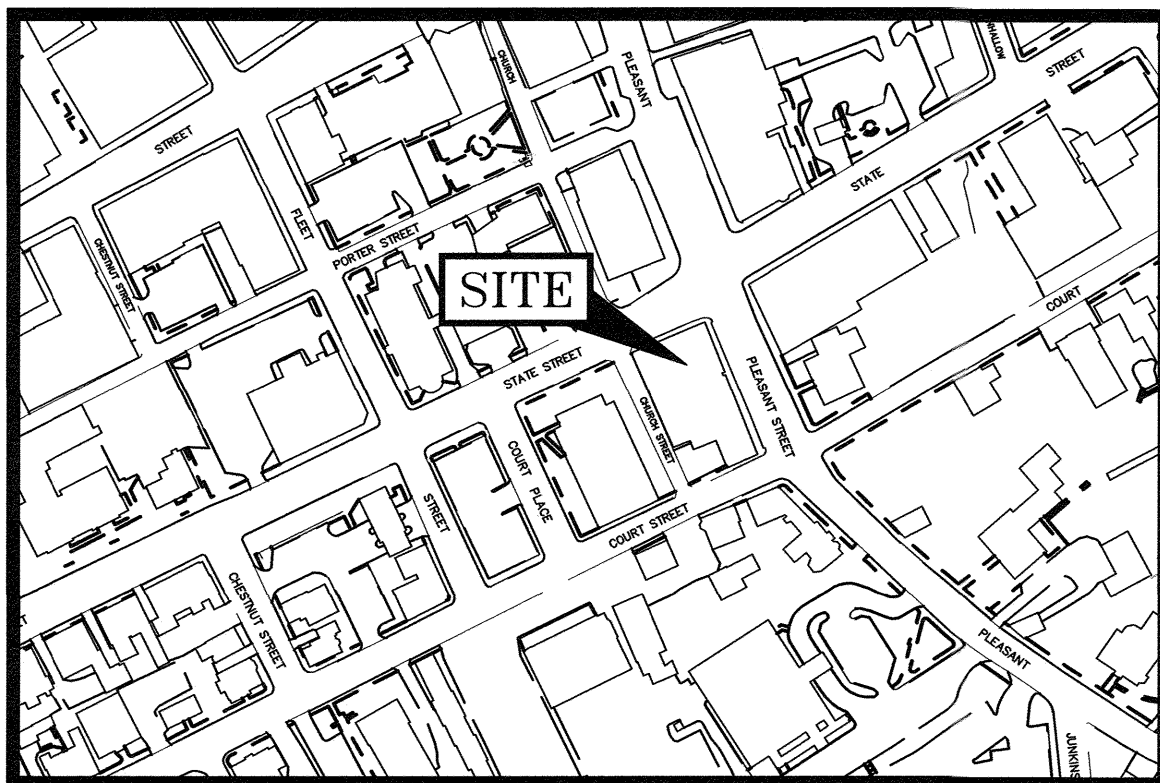
COMMUNICATIONS:
CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525
ATTN: BENJAMIN WILLS

CABLE:
XFINITY BY COMCAST
180 GREENLEAF AVE.
PORTSMOUTH, N.H. 03801
Tel. (603) 266-2278
ATTN: MIKE COLLINS

SITE PERMIT PLANS
FLOROS BUILDING
266, 270, 278 STATE STREET
AND 84 PLEASANT STREET
PORTSMOUTH, N.H.

HALEY WARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 17 NOVEMBER 2025



LOCATION MAP

SCALE: 1" = 200'

LEGEND:

- N/F
RP
RCRD
11
21
- NOW OR FORMERLY
RECORD OF PROBATE
ROCKINGHAM COUNTY
REGISTRY OF DEEDS
MAP 11 / LOT 21
- BOUNDARY
SETBACK
RAILROAD SPIKE FOUND
IRON ROD/PIPE FOUND
DRILL HOLE FOUND
STONE/CONCRETE BOUND FOUND
RAILROAD SPIKE SET
IRON ROD SET
DRILL HOLE SET
GRANITE BOUND SET

PLAN REFERENCES:

- 1) PLAN OF PROPERTIES ON STATE & PLEASANT STREETS, PORTSMOUTH, N.H., OWNED BY FREDERICK GARDNER AND PISCATAUA BANK, 1" = 10', SEPT 10, 1919 BY WM. A. GROVER. RCRD FILE 0249.
- 2) PLAN OF LOTS, SMITH & TIMES BLDGS., STATE ST., PORTSMOUTH, N.H., 1IN. = 10FT., APRIL 1954 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 2806, PLAN 1-490.
- 3) PLAN OF LOTS NOS. 202, 206, & 222 COURT ST., 1IN. = 10FT., JAN 1974 BY JOHN W. DURGIN CIVIL ENGINEERS. FILE 682, PLAN 4318, C-4259.
- 4) SUBDIVISION OF LAND, PORTSMOUTH, N.H., TRADER'S BLOCK TRUST, JOSEPH G. SAWTELLE, JR., TR., 1 INCH = 10 FEET, DECEMBER 1977 BY JOHN W. DURGIN CIVIL ENGINEERS. RCRD C-7497.
- 5) BREWSTER INN PARTNERSHIP, SUBDIVISION OF LAND, 93 PLEASANT STREET, 1"=10'-0", 10-26-87 BY KIMBALL CHASE COMPANY, INC. RCRD 01752, D-17511.
- 6) LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H., 1" = 20', 23 MAR. 1990 BY SEACOAST ENGINEERING ASSOC., INC. RCRD 12203, D-20209.
- 7) STANDARD BOUNDARY SURVEY TAX MAP 107 - LOT 76 THE CLIP JOINT FOR DEBORAH PHILLIPS 92 PLEASANT STREET CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE, SCALE 1" = 10' PREPARED BY AMBIT ENGINEERING, INC., DATED MAY 2007 REVISED 6/12/07, NOT RECORDED

MERGER NOTE:

THE PASSAGE WAY AND THESE LOTS ARE INTENDED TO BE MERGED TO CREATE ONE DEVELOPMENT PARCEL.



NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 77, 78, 79, AND 80.
- 2) OWNERS OF RECORD:

107/77-78-80
PNF TRUST OF 2013
PETER FLOROS, TRUSTEE
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 6131, PG 1663 (77)
BK 5540, PG 0293 (78)
BK 5540, PG 0293 (80)

107/79
282 MIDDLE STREET LLC
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 5877. PG 0511

3) PARCELS 107/77-80 ARE NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 3301SC0259E. EFFECTIVE 5/17/2005.
- 4) EXISTING LOT AREA:
LOT 107/ 77
EXISTING: 3,866 SF, 0.0887 ACRES

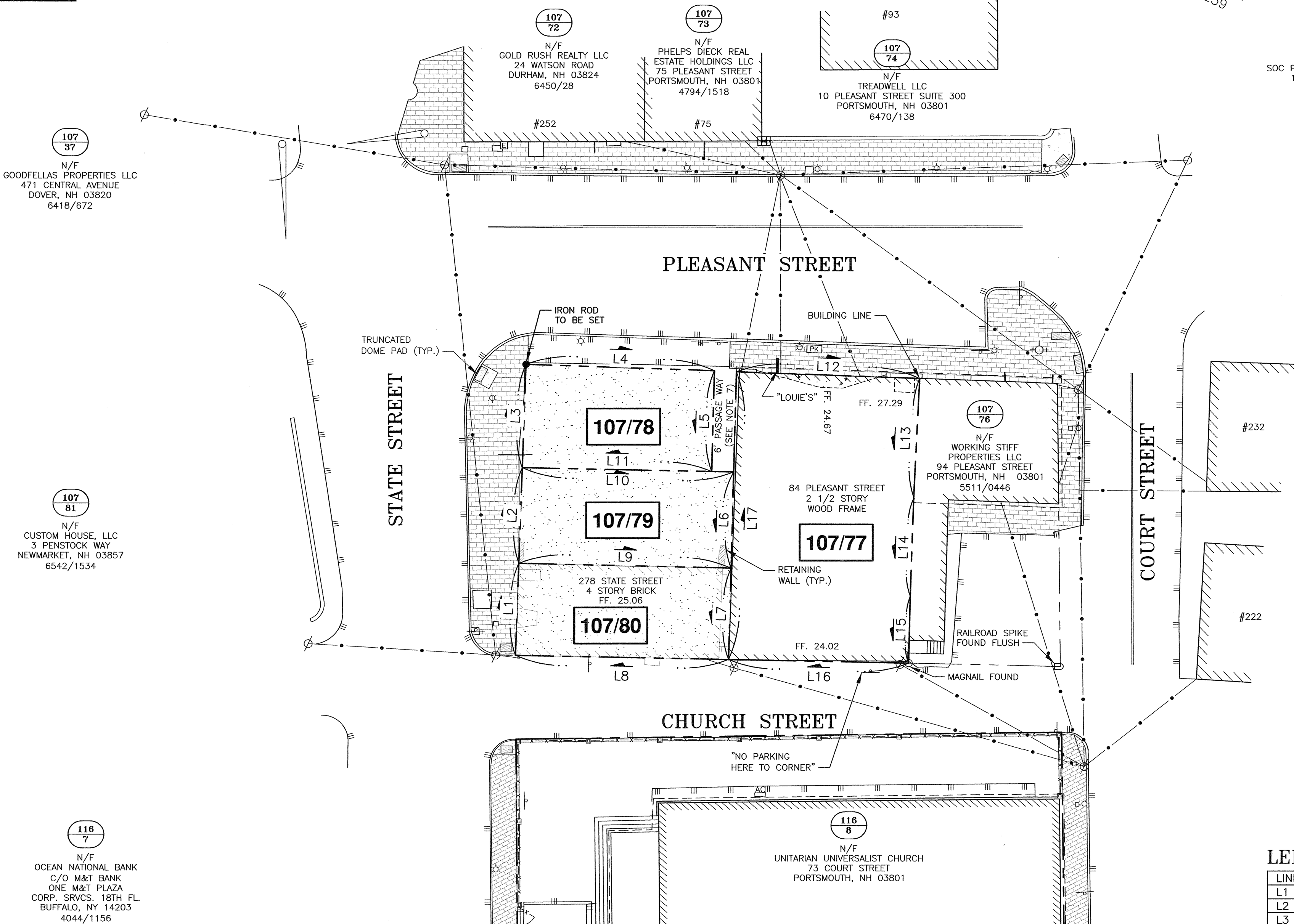
LOT 107/ 78
EXISTING: 1,440 SF, 0.0331 ACRES

LOT 107/ 79
EXISTING: 1,518 SF, 0.0348 ACRES

LOT 107/ 80
EXISTING: 1,458 SF, 0.0335 ACRES

6' PASSAGE WAY
EXISTING: 165 SF, 0.0038 ACRES

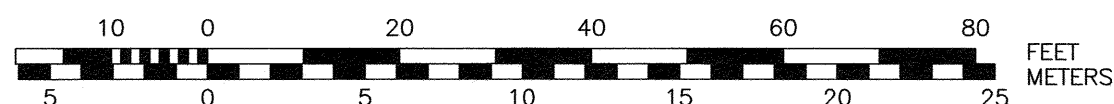
TOTAL MERGED LOT AREA:
8,447 SF, 0.1939 ACRES
- 5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ORDINANCE
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY OF TAX MAP 107 LOTS 77-80 IN THE CITY OF PORTSMOUTH.
- 7) PASSAGEWAY OWNERSHIP UNCLEAR; EITHER LOTS 78 & 79 HAVE FEE OWNERSHIP.



LENGTH TABLE

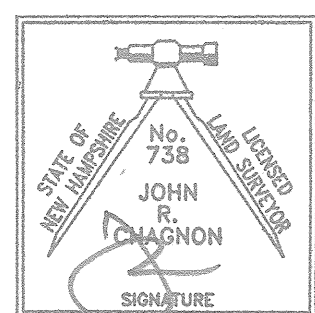
LINE	BEARING	DISTANCE
L1	N 66°00'29" E	25.16'
L2	N 66°00'29" E	26.17'
L3	N 66°00'29" E	28.27'
L4	S 24°01'53" E	51.47'
L5	S 65°27'29" W	27.54'
L6	S 65°27'29" W	26.30'
L7	S 65°27'29" W	25.01'
L8	N 24°51'30" W	58.24'
L9	S 24°42'40" E	57.99'
L10	S 24°50'15" E	57.74'
L11	N 24°50'15" W	51.74'
L12	S 23°57'38" E	50.06'
L13	S 66°47'06" W	32.82'
L14	S 65°52'55" W	26.82'
L15	S 65°14'37" W	18.24'
L16	N 24°54'06" W	49.17'
L17	N 65°27'29" E	78.68'

GRAPHIC SCALE



I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.



JOHN R. CHAGNON LLS #738

DATE

8.10.25

STANDARD BOUNDARY SURVEY TAX MAP 107 - LOTS 77-80

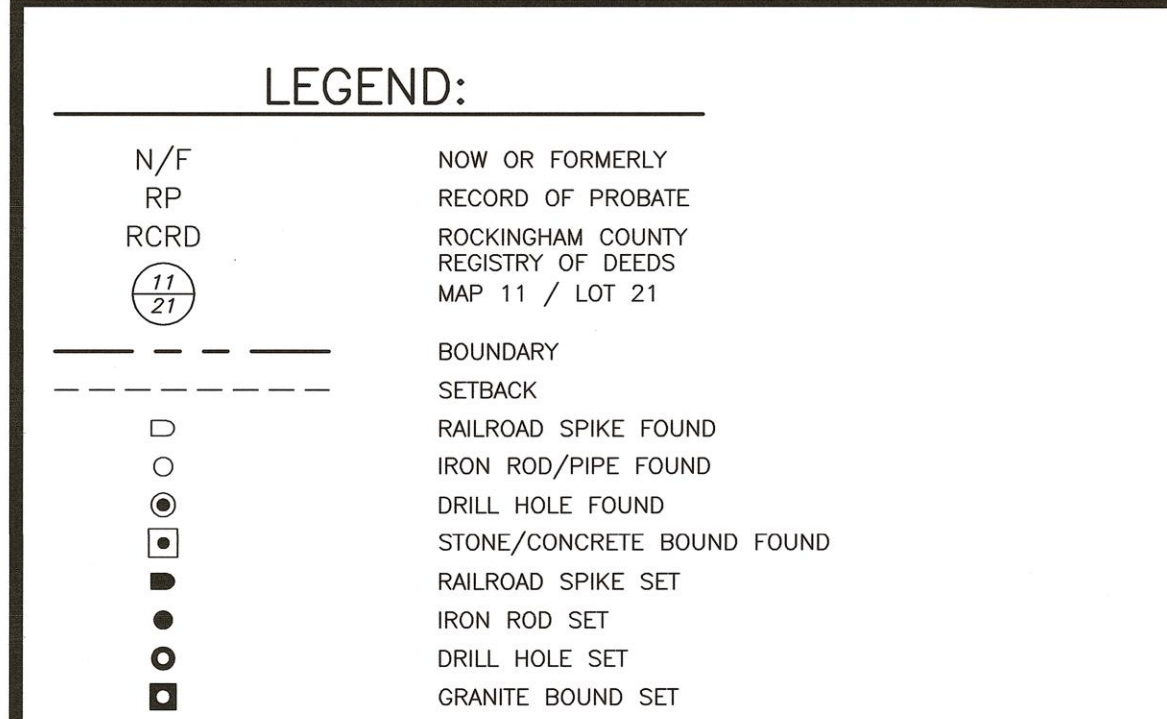
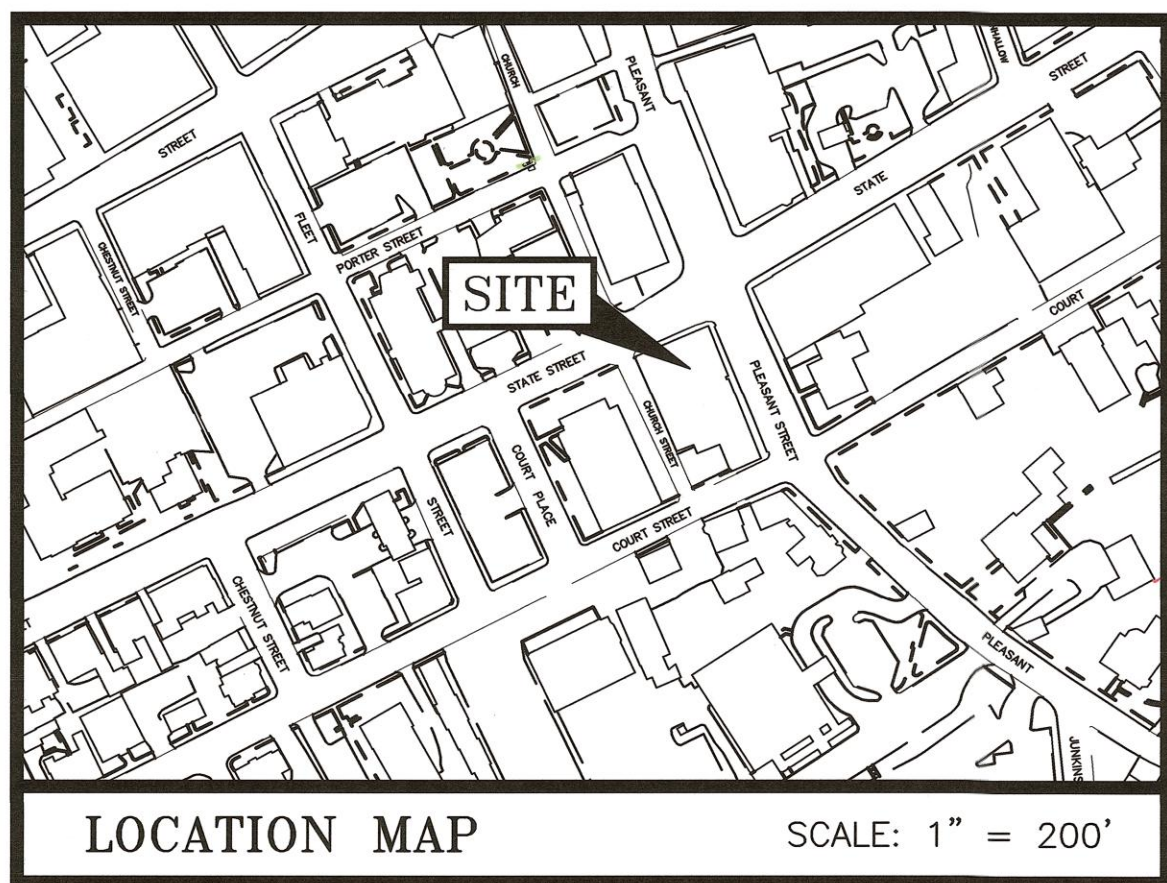
PROPERTY LOCATED AT:
266, 270, 278 STATE STREET
& 84 PLEASANT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1" = 20'

JANUARY 2020

FB 321 PG 58

5010129 3150



PLAN REFERENCES:

1) PLAN OF PROPERTIES ON STATE & PLEASANT STREETS, PORTSMOUTH, N.H., OWNED BY FREDERICK GARDNER AND PISCATAQUA BANK, 1" = 10', SEPT 10, 1919 BY WM. A. GROVER. RCRD FILE 0249.

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4) SUBDIVISION OF LAND, PORTSMOUTH, N.H., TRADER'S BLOCK TRUST, JOSEPH C. SAWTELLE, JR., TR., 1 INCH = 10 FEET, DECEMBER 1977 BY JOHN W. DURGIN CIVIL ENGINEERS. RCRD C-7497.

5) BREWSTER INN PARTNERSHIP, SUBDIVISION OF LAND, 93 PLEASANT STREET, 1"=10'-0", 10-26-87 BY KIMBALL CHASE COMPANY, INC. RCRD 01752, D-17511.

6) LOT LINE ADJUSTMENT PLAN FOR DAVID L. BAKER, SR. IN PORTSMOUTH, N.H., 1" = 20', 23 MAR. 1990 BY SEACOAST ENGINEERING ASSOC., INC. RCRD 12203, D-20209.

7) STANDARD BOUNDARY SURVEY TAX MAP 107 - LOT 76 THE CLIP JOINT FOR DEBORAH PHILLIPS 92 PLEASANT STREET CITY OF PORTSMOUTH COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE, SCALE 1" = 10' PREPARED BY AMBIT ENGINEERING, INC., DATED MAY 2007 REVISED 6/12/07, NOT RECORDED

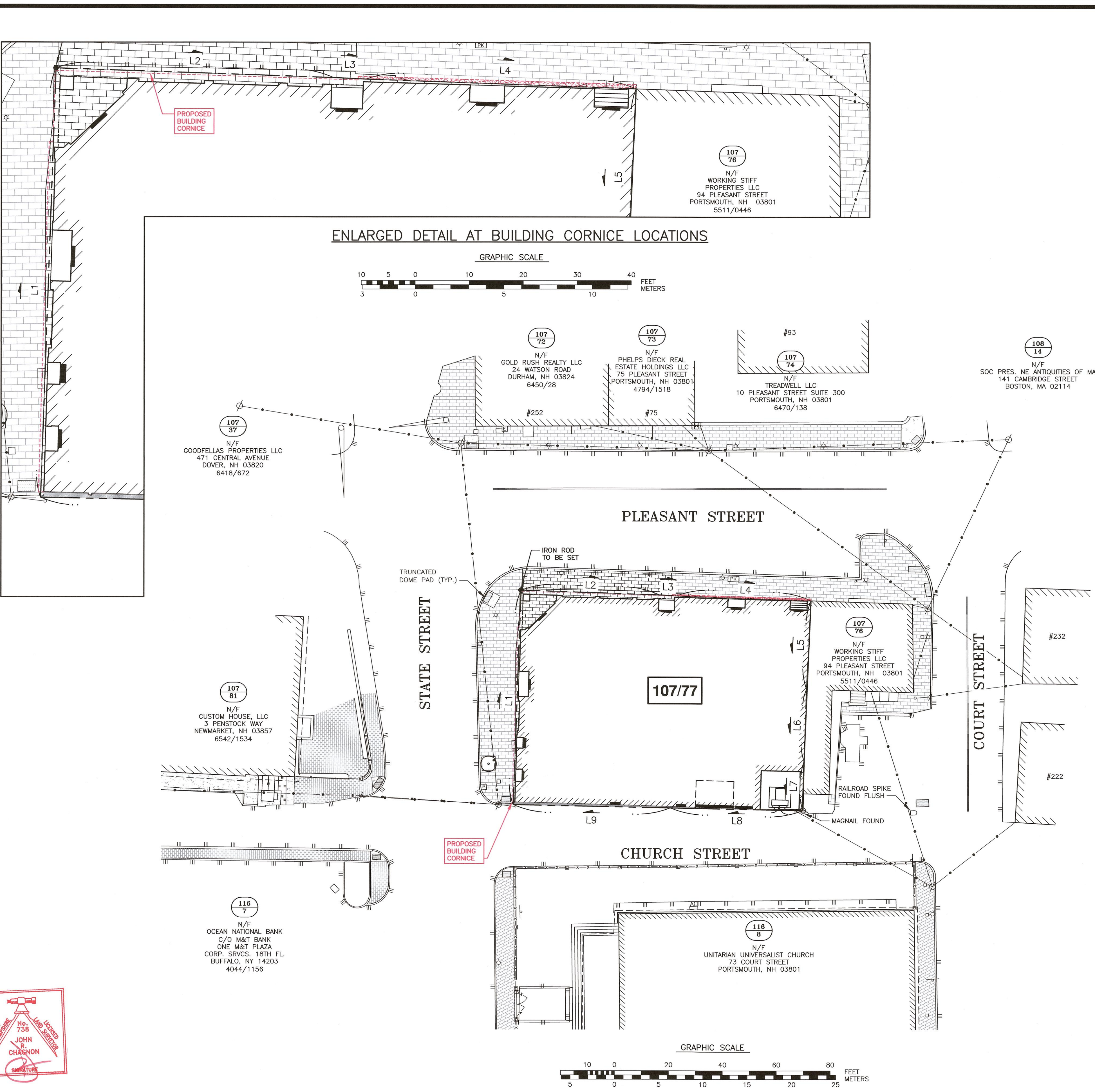
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

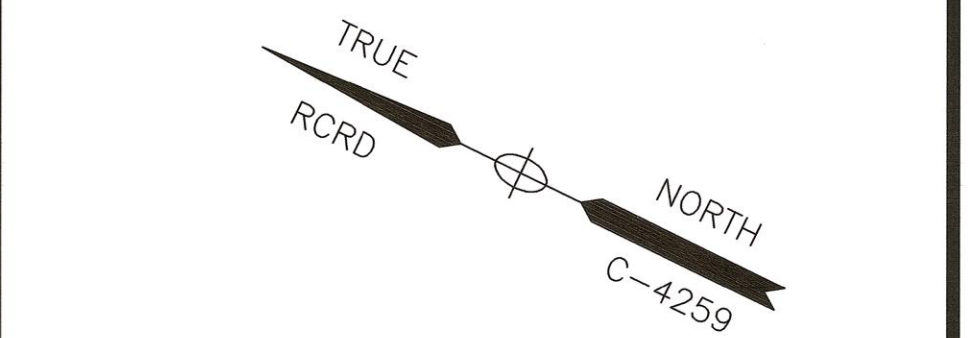
JOHN R. CHAGNON LLS #738

11-17-25

DATE



- NOTES:
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 77.
- 2) OWNER OF RECORD (PROPOSED MERGED LOT):
- 107/77
PNF TRUST OF 2013
PETER FLOROS, TRUSTEE
282 MIDDLE ST, PORTSMOUTH, NH 03801
BK 6131, PG 1663
- 3) PARCEL 107/77 IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 3301SC0259F. EFFECTIVE 01/21/2021.
- 4) MERGED LOT AREA:
8,446 S.F.
0.1939 ACRES
- 5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4) DIMENSIONAL REQUIREMENTS:
SEE PORTSMOUTH ORDINANCE
- 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATIONS FOR A BUILDING CORNICE LICENSE ON TAX MAP 107 LOT 77 IN THE CITY OF PORTSMOUTH.
- 7) FOOTING EASEMENTS MAY BE REQUIRED.



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	N 66°00'29" E	79.60'
L2	S 24°01'53" E	51.47'
L3	S 23°14'26" E	6.00'
L4	S 23°57'38" E	50.06'
L5	S 66°47'06" W	32.82'
L6	S 65°52'55" W	26.82'
L7	S 65°14'37" W	18.24'
L8	N 24°54'06" W	49.17'
L9	N 24°51'30" W	58.24'

NO.	DESCRIPTION	DATE
1	ISSUED FOR TAC REVIEW	11/17/25
0	ISSUED FOR COMMENT	08/18/25

REVISIONS

LICENSE PLAN
CITY OF PORTSMOUTH
TAX MAP 107 - LOT 77

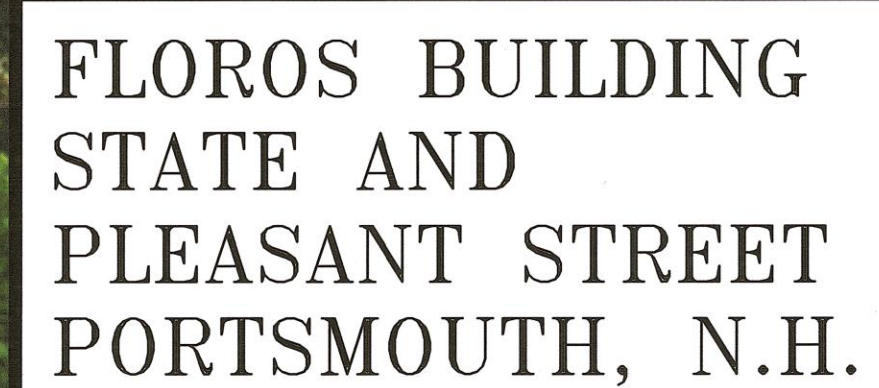
PROPERTY LOCATED AT:
266, 270, 278 STATE STREET
& 84 PLEASANT STREET
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE: 1"=20' & 1"=10'

AUGUST 2025

FB 321 PG 58

5010129 3150



0	ISSUED FOR COMMENT	11/17/25
NO.	DESCRIPTION	DATE
REVISIONS		

SCALE: 1"=10'

APRIL 2024

ORTHOPHOTO
PLAN

01

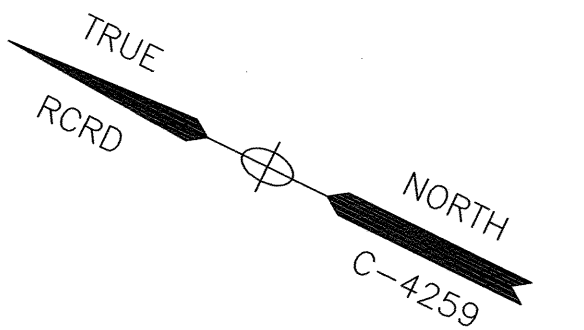
FB 321 PG 58

5010129	3150
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\\NH15010129-Floris_Realty_Group\3150-State Street-JRC.2024 Site Plan\Plans & Specs\Site\3150 Site 2025.dwg, 11/10/2025 10:45:25 AM

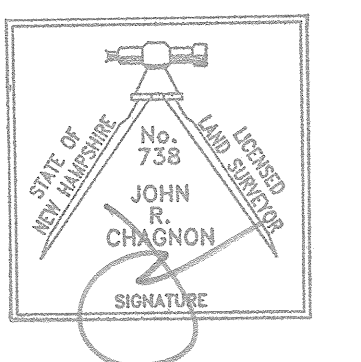
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN 30 DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) MERGER NOTE: THE PASSAGE WAY AND THESE LOTS ARE INTENDED TO BE MERGED TO CREATE ONE DEVELOPMENT PARCEL.



FLOROS BUILDING
STATE AND
PLEASANT STREET
PORTSMOUTH, N.H.

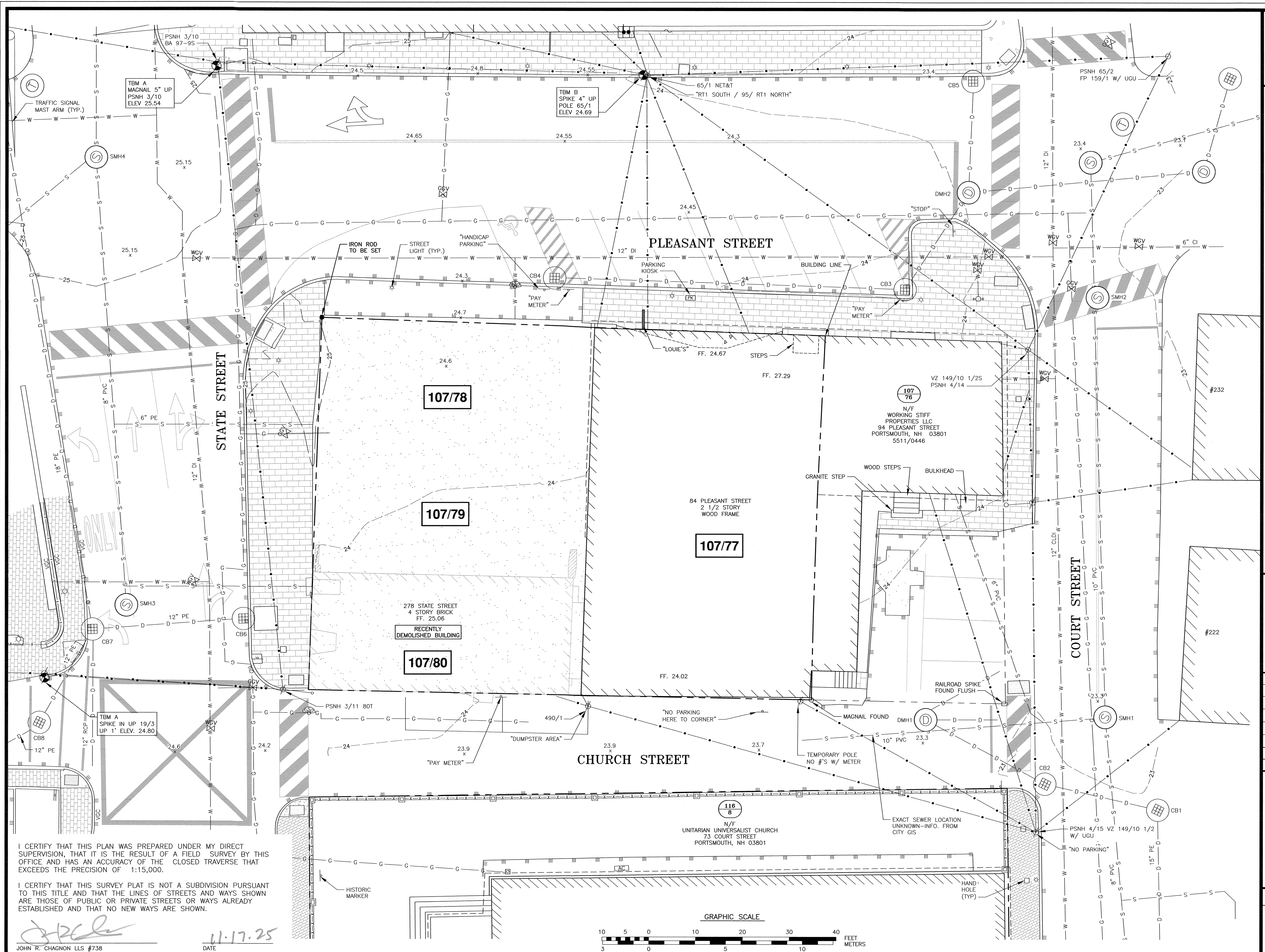
NO.	DESCRIPTION	DATE
1	UPDATED CHURCH ST. SURVEY	11/17/25
2	TREES	08/18/25
1	RECENTLY DEMOLISHED BUILDING	10/23/24
0	ISSUED FOR COMMENT	5/1/24



SCALE: 1"=10' OCTOBER 2024

EXISTING CONDITIONS
PLAN

C1



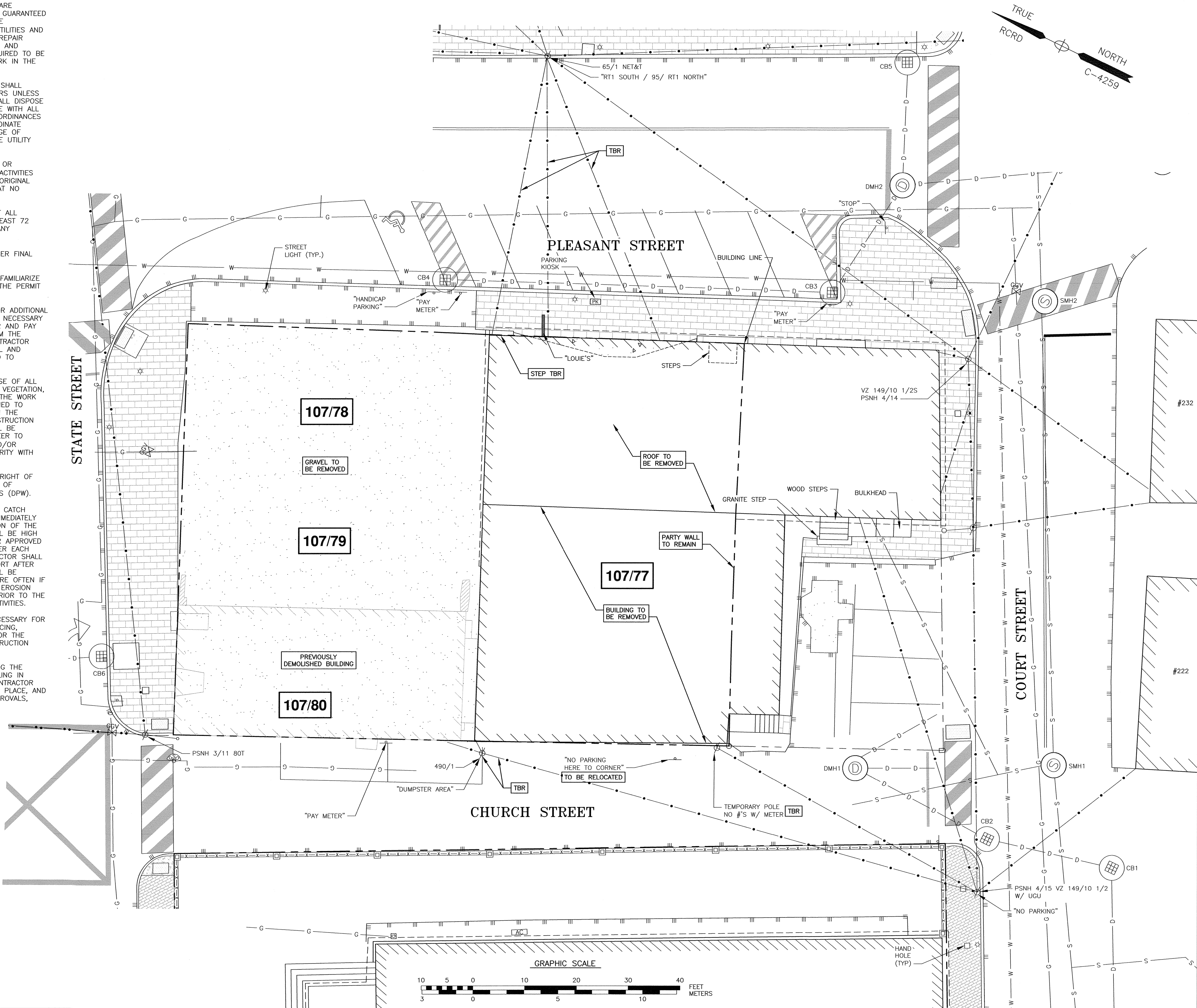
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

JOHN R. CHAGNON LLS #738
DATE 11.17.25

DEMOLITION NOTES

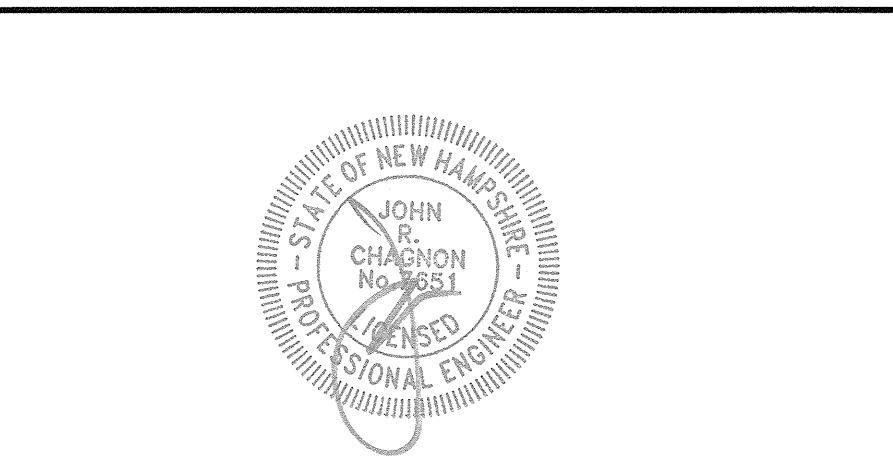
- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT OR BRICK PER FINAL SITE PLAN APPROVAL AND CMMF PLAN.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND IMMEDIATELY OFF-SITE TO BE MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- K) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- L) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



- NOTES:
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN 30 DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

FLOROS BUILDING
STATE AND
PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ELECTRICAL LINES, SIGNAGE	11/17/25
1	TREE PREVIOUSLY REMOVED, ELEC. LINES	08/18/25
0	ISSUED FOR COMMENT	10/23/24



SCALE: 1"=10' OCTOBER 2024

DEMOLITION
PLAN C2

IMPERVIOUS SURFACE AREAS (TOTAL PARCELS)(TO PROPERTY LINE)		
STRUCTURES	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	5,154	8,218
STAIRS/LANDING	87	21
RETAINING WALL	15	0
CONCRETE/STEPS	62	99
GRAVEL	3,129	0
SIDEWALK	0	57
PAVEMENT	0	52
TOTAL	8,447	8,447
LOT SIZE	8,447	8,447
% LOT COVERAGE	100.0%	100.0%

*NOTES: 1. FIRST FLOOR OPEN ENTRANCE AREAS: 500 S.F.
2. EXISTING AREAS PRIOR TO SEPTEMBER 2024 DEMOLITION.

FIRST FLOOR FOOTPRINT:

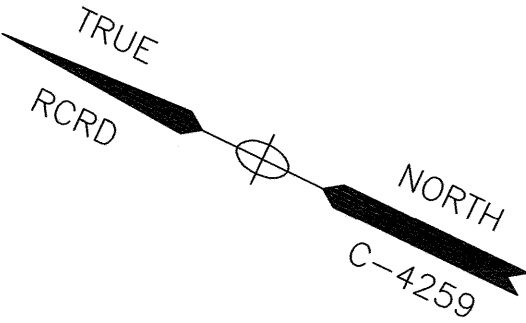
MAIN STRUCTURE: 7,802 S.F.
OPEN AREA "A": 106 S.F.
OPEN AREA "B": 26 S.F.
OPEN AREA "C": 35 S.F.
OPEN AREA "D": 10 S.F.
OPEN AREA "E": 11 S.F.
OPEN AREA "F": 20 S.F.
TRANSFORMER AREA "G": 208 S.F.
TOTAL BUILDING FOOTPRINT: 8,218 S.F.

ZONING VARIANCES:

1) VARIANCE FROM SECTION 10.5A41.10.C TO ALLOW A) 98% BUILDING COVERAGE WHERE 90% IS MAXIMUM, B) 0% OPEN SPACE WHERE 10% IS MINIMUM, AND C) 53% SHOP FRONT FACADE GLAZING ON PLEASANT STREET AND 52% ON STATE STREET WHERE 70% IS THE MINIMUM REQUIRED.
2) VARIANCE FROM SECTION 10.5A21.B TO ALLOW A FOURTH STORY ADDITION AT 50 FEET IN HEIGHT TO THE CHURCH STREET ELEVATION WHERE 3 FULL STORIES AND A SHORT FOURTH ARE ALLOWED WITH 45 FEET MAXIMUM HEIGHT PERMITTED.
3) VARIANCE FROM SECTION 10.642 TO ALLOW 43% GROUND FLOOR RESIDENTIAL AREA WHERE 20% IS MAXIMUM.
APPROVED NOVEMBER 19, 2024

APPROVED CONDITIONS:

1. (2.5.4.2E): ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
2. (2.13.3):
a. THIS SITE SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
b. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL THE FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



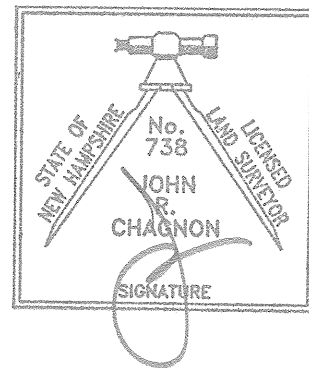
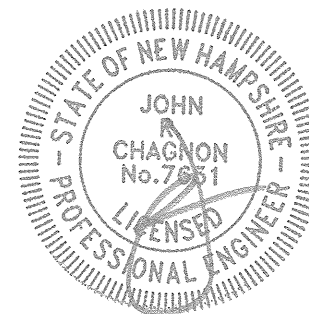
NOTES:

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOTS 77, 78, 79, AND 80.
- OWNERS OF RECORD:
SEE BOUNDARY SURVEY
- PARCELS 107/77-80 ARE NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE 1/29/2021.
- EXISTING COMBINED AREA:
8,446 SF
0.1939 ACRES
- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 4 (CD4) ZONING DISTRICT. PARCELS ARE LOCATED WITHIN THE DOWNTOWN OVERLAY DISTRICT (DOD) AND THE HISTORIC DISTRICT (HDC).
- THE PURPOSE OF THIS PLAN IS TO SHOW SITE LAYOUT FOR BUILDING ON THE PARCELS IN THE CITY OF PORTSMOUTH, FOR APPLICATION FOR VARIANCE.
- PROPOSED USE:
BASEMENT: STORAGE AND PARKING.
FIRST FLOOR: COMMERCIAL RENTAL, RESIDENTIAL AND GARAGE ACCESS.
FLOORS 2 & 3: 13 RESIDENTIAL UNITS
FLOOR 4 & PENTHOUSE: 4 RESIDENTIAL UNITS.
- PARKING CALCULATION:
17 DWELLING UNITS
1 SPACE/UNIT=17 SPACES REQUIRED
4 SPACE DOD REDUCTION=13 SPACES REQUIRED
17 SPACES PROVIDED
- SITE GENERATOR TO BE LOCATED IN BUILDING BASEMENT-SEE ARCHITECTURAL PLANS.

FLOROS BUILDING
STATE AND
PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	REVISED BUILDING	11/17/25
1	REVISED BUILDING	08/18/25
0	ISSUED FOR COMMENT	10/23/24

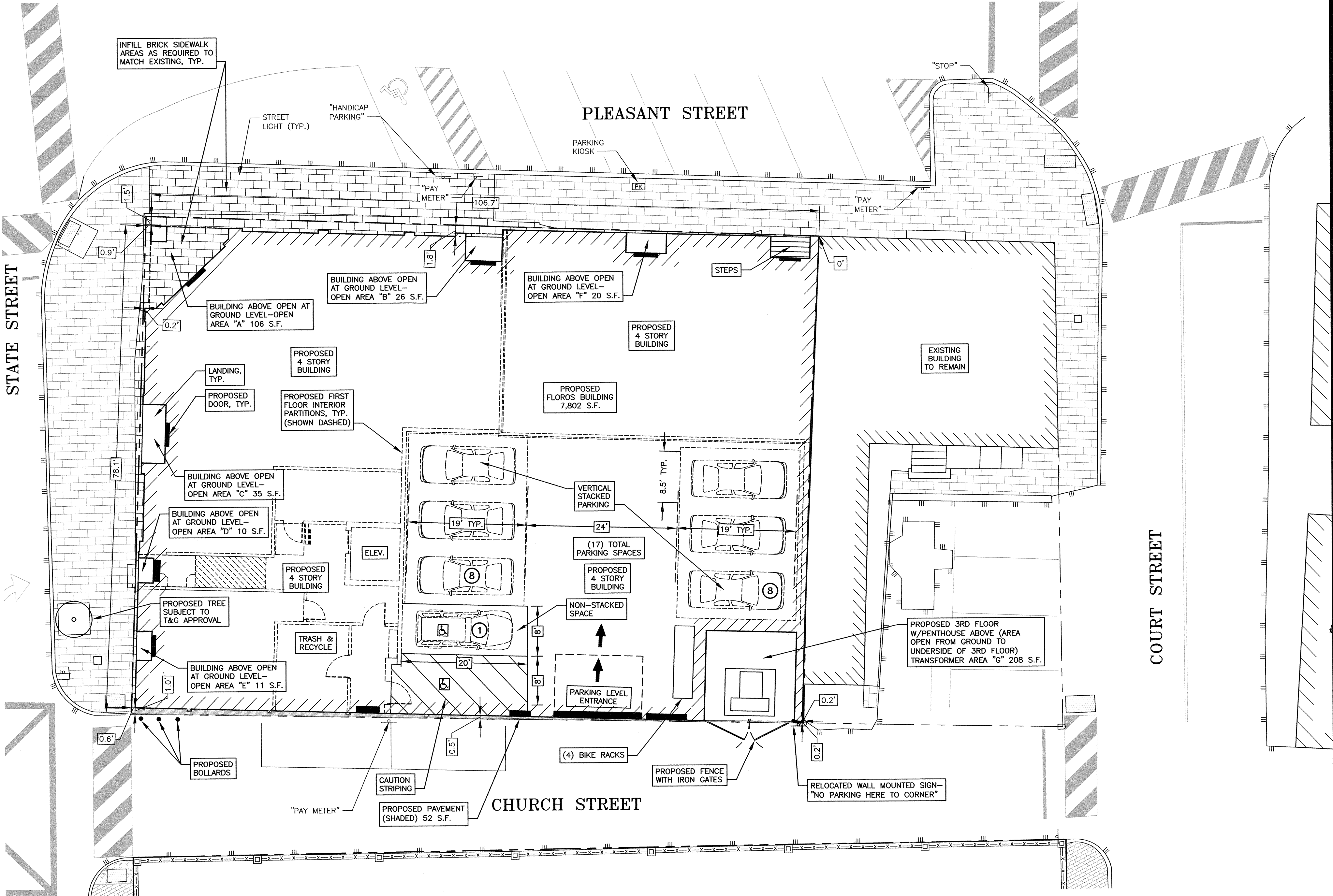
REVISIONS



SCALE: 1"=10' OCTOBER 2024

SITE
PLAN

C3



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



mjk

Michael J. Keane
Architects, PLLC

ARCHITECTURE
PLANNING
DESIGN

101 Kent Place
Newmarket, NH
03857

603-292-1400
mjkarchitects.com

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CONSULTANTS

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_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
1	11/17/2025

APPROVALS

PLANNING BOARD REVIEW

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PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
Portsmouth, NH
03801

TITLE

RENDERINGS.

DRAWN BY:

CHECKED BY:

DATE:

SCALE: AS NOTED

DRAWING NO.

PB.1

DO NOT SCALE PRINTS



DO NOT SCALE PRINTS

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PORTSMOUTH NH

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282 MIDDLE STREET
Portsmouth, NH
03801

TITLE

RENDERINGS

DRAWN BY:

CHECKED BY:

DATE:

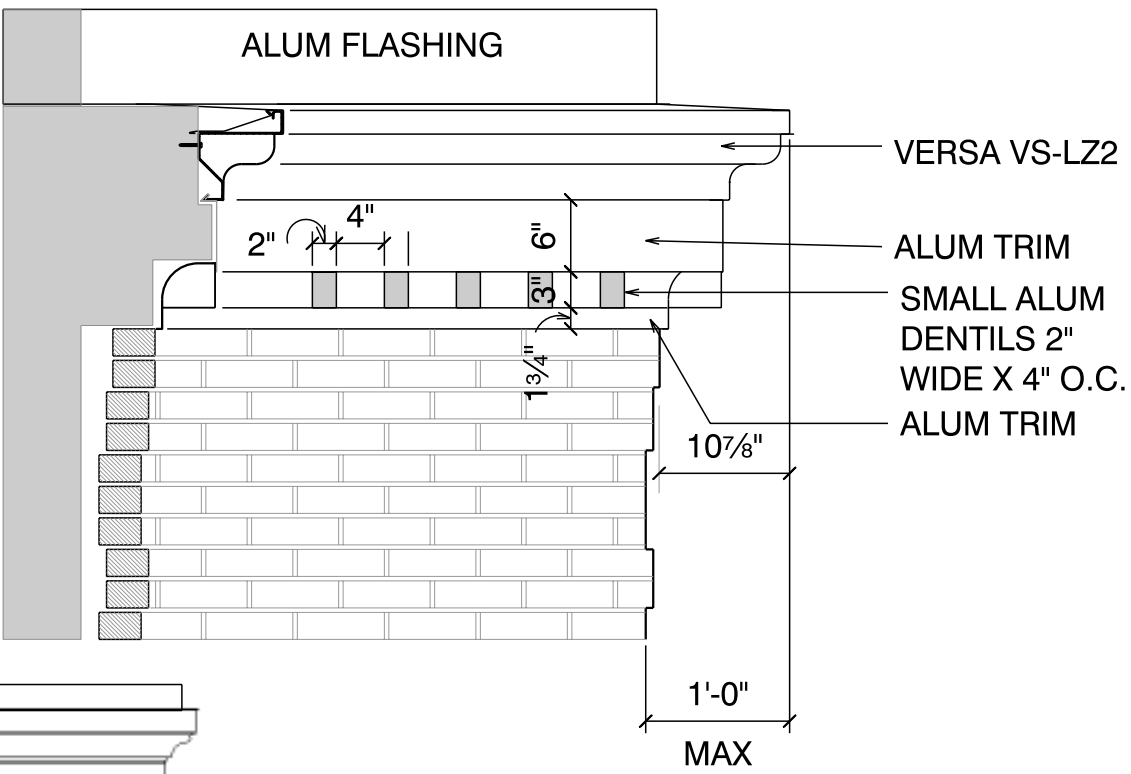
SCALE: AS NOTED

DRAWING NO.

PB.2



CORNICE



STATE STREET ELEVATION
SCALE: 1/4" = 1'-0"

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_____	_____
_____	_____
_____	_____
_____	_____
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1	11/17/2025

APPROVALS

PLANNING BOARD REVIEW

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PROJECT

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266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

PNF TRUST OF 2013
282 MIDDLE STREET
Portsmouth, NH
03801

TITLE

STATE STREET ELEVATION

DRAWN BY:

CHECKED BY:

DATE:

SCALE: AS NOTED

DRAWING NO.

PB.3

DO NOT SCALE PRINTS



PLEASANT STREET ELEVATION
SCALE: 1/4" = 1'-0"

DO NOT SCALE PRINTS

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_____	_____
_____	_____
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APPROVALS

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PORTSMOUTH NH

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282 MIDDLE STREET
Portsmouth, NH
03801

TITLE

PLEASANT ST ELEV

DRAWN BY:

CHECKED BY:

DATE:

SCALE: AS NOTED

DRAWING NO.

PB.4



CHURCH STREET ELEVATION
SCALE: 3/16" = 1'-0"

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REVISIONS

_____	_____
_____	_____
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1	11/17/2025

APPROVALS

PLANNING BOARD REVIEW

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PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
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PORTSMOUTH NH

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Portsmouth, NH
03801

TITLE

CHURCH STREET ELEVATION

DRAWN BY:

CHECKED BY:

DATE:

SCALE: AS NOTED

DRAWING NO.

PB.5

DO NOT SCALE PRINTS



COURT STREET ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT

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282 MIDDLE STREET
Portsmouth, NH
03801

TITLE

COURT STREET ELEVATION

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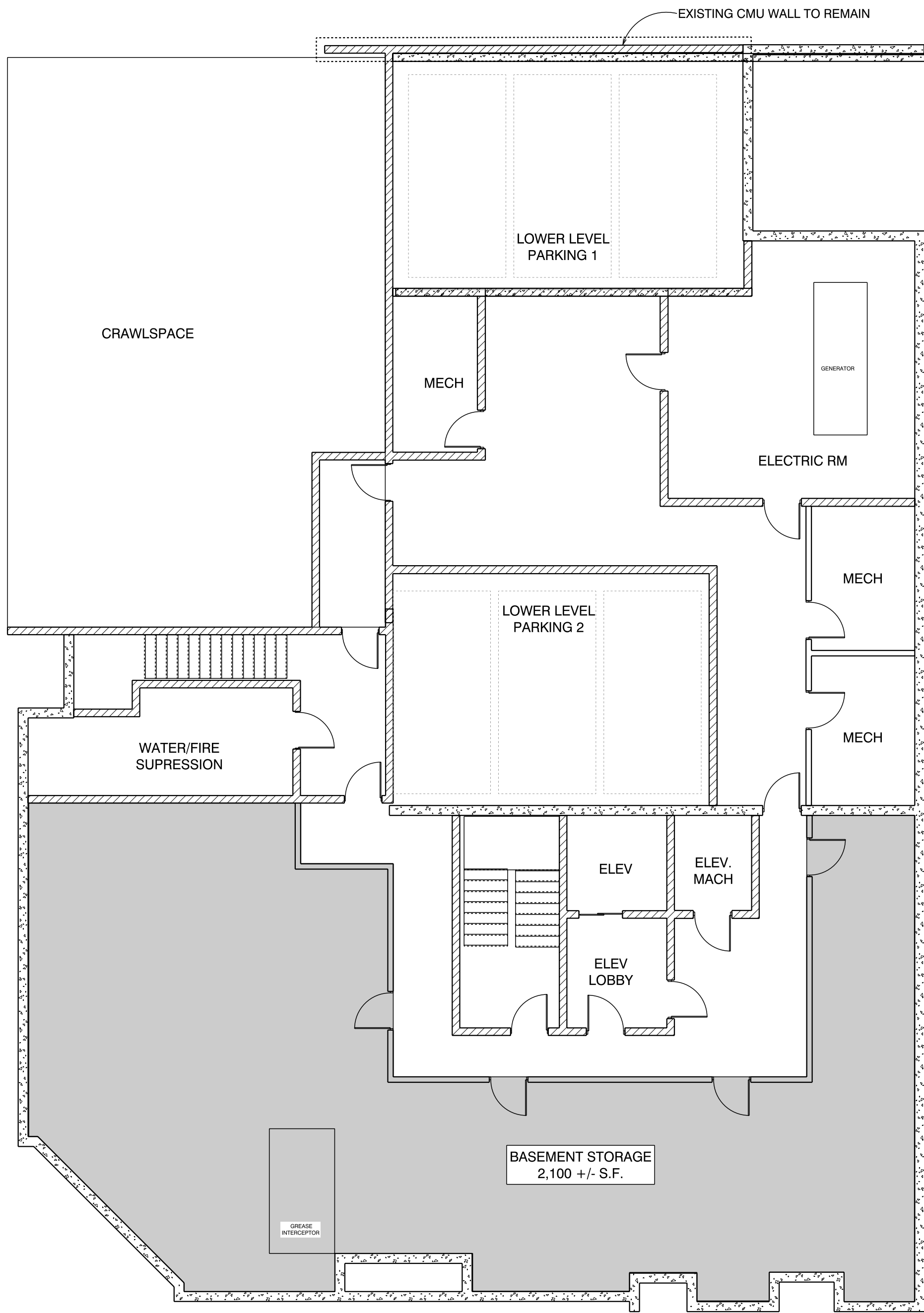
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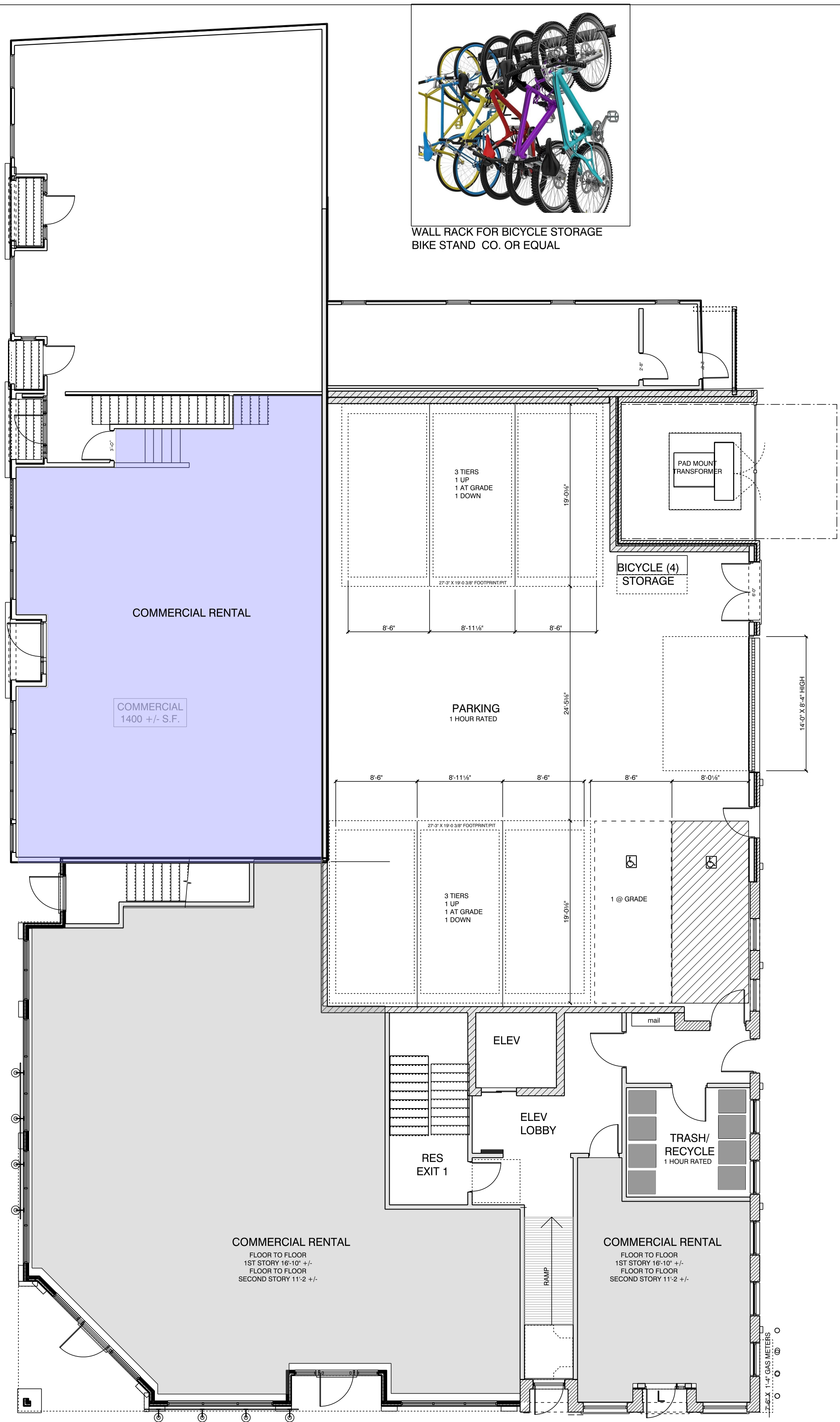
DRAWING NO.

PB.6

DO NOT SCALE PRINTS



BASEMENT PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



WALL RACK FOR BICYCLE STORAGE
BIKE STAND CO. OR EQUAL

mjk

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1	11/17/2025
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PROJECT

RESTORATION AND EXPANSION OF
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PORTSMOUTH NH

PNF TRUST OF 2013

282 MIDDLE STREET
Portsmouth, NH
03801

TITLE

BASEMENT & 1ST FLR PLAN

DRAWN BY:

CHECKED BY:

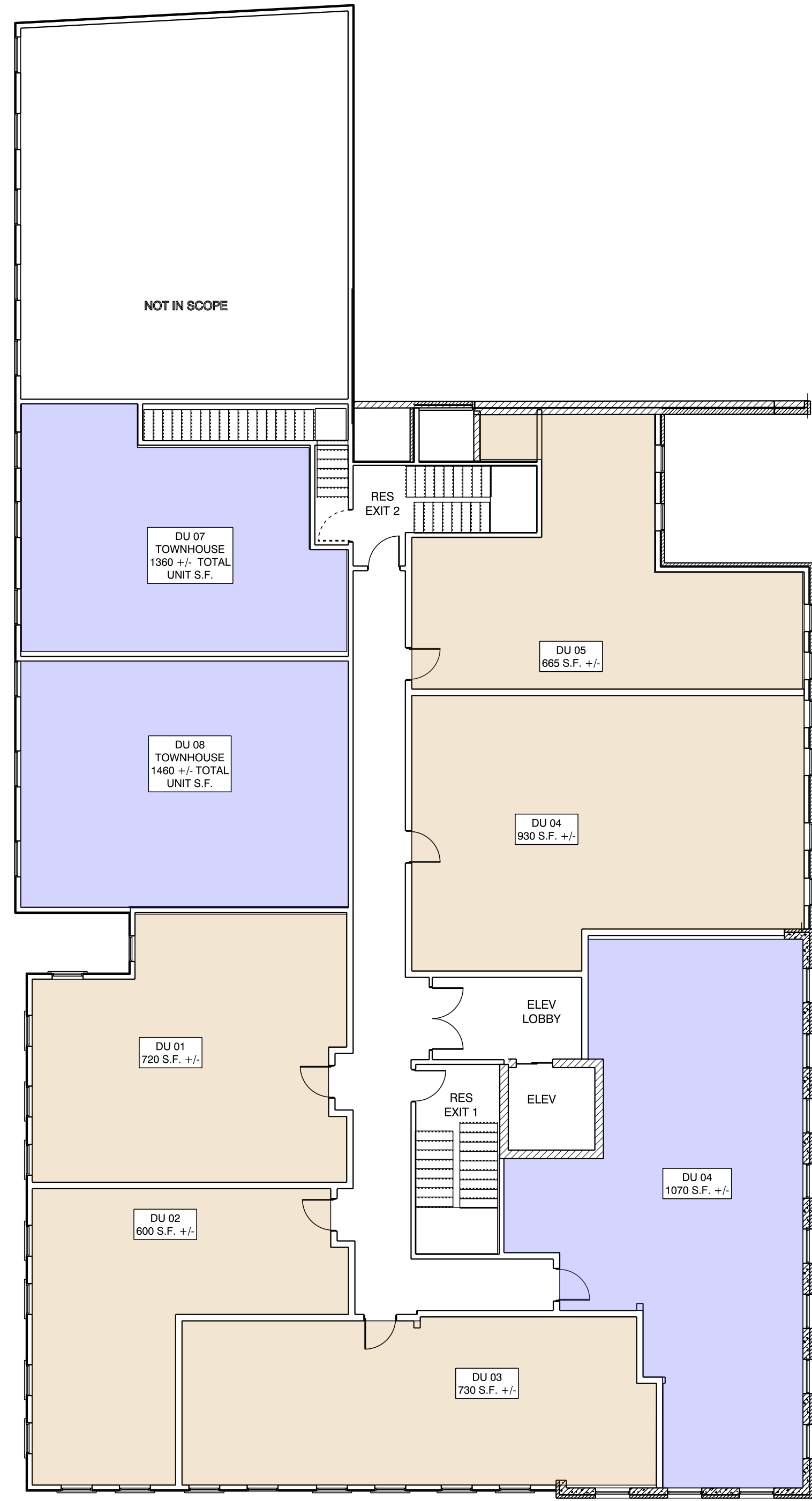
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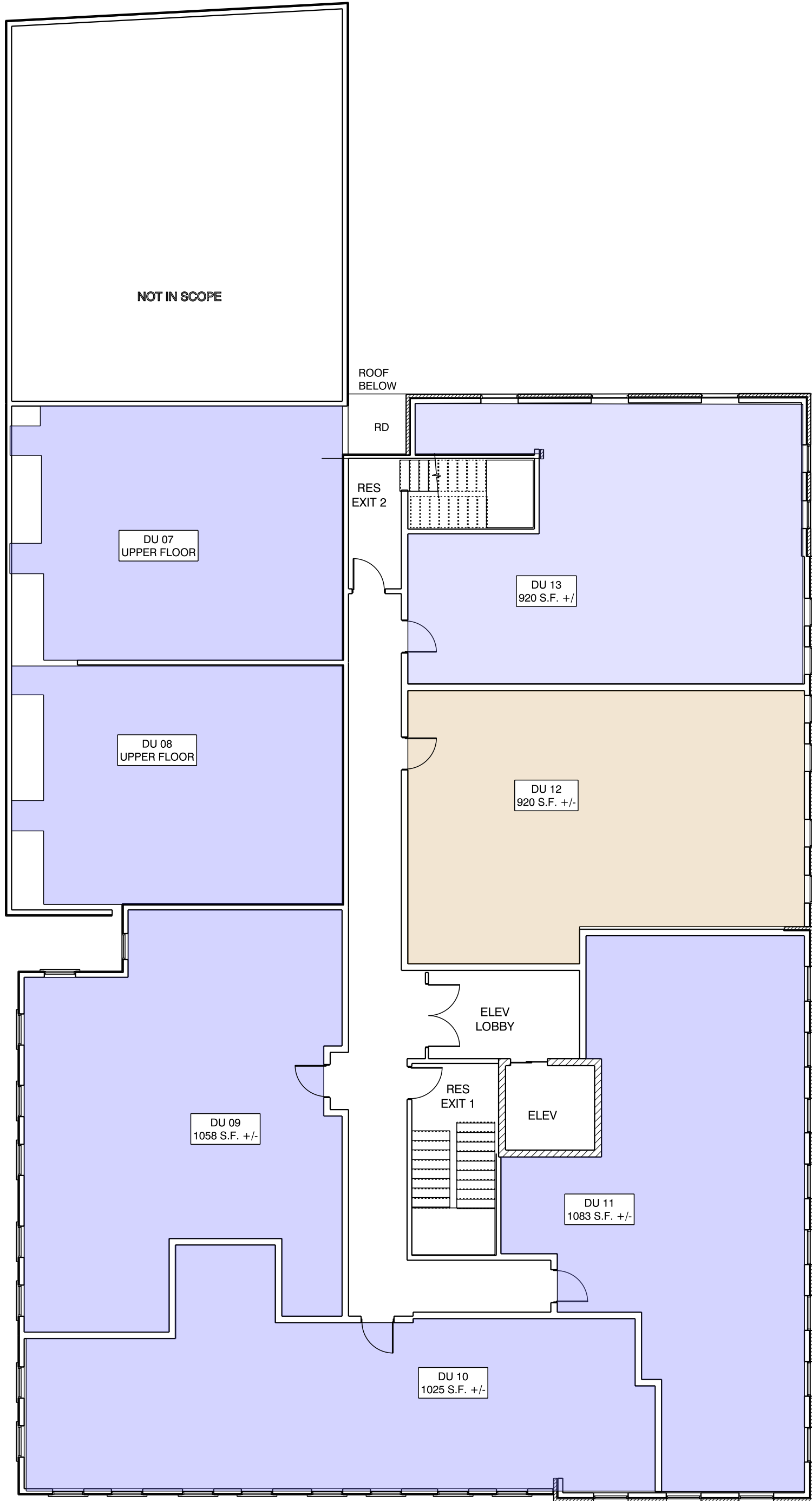
DRAWING NO.

PB.7

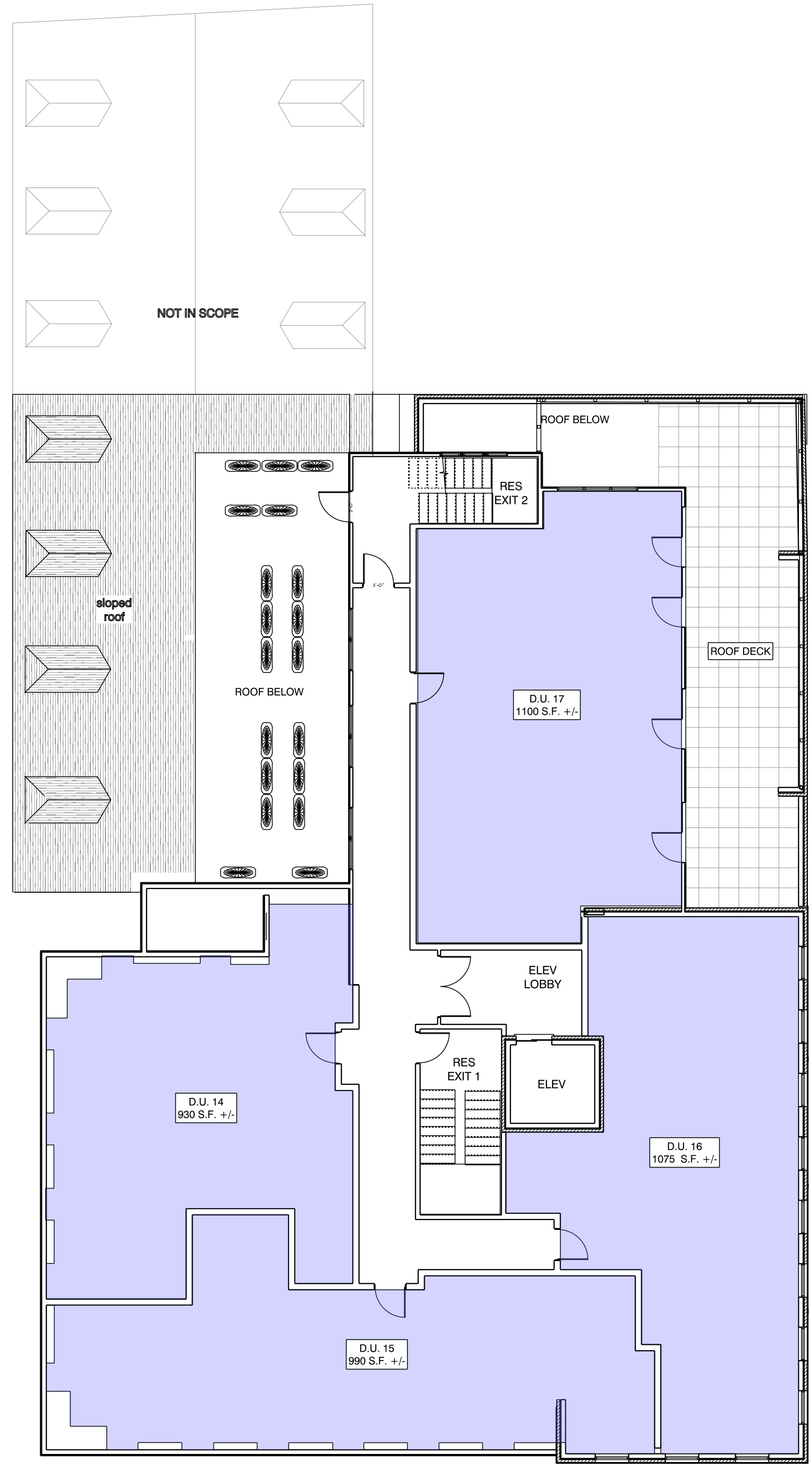
DO NOT SCALE PRINTS



SECOND FLOOR PLAN
SCALE: 1" = 10'-0"



THIRD FLOOR PLAN
SCALE: 1" = 10'-0"



FOURTH FLOOR PLAN
SCALE: 1" = 10'-0"



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1	11/17/2025

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PROJECT

RESTORATION AND EXPANSION OF
266, 270 278 STATE STREET
AND 84 PLEASANT ST,
PORTSMOUTH NH

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Portsmouth, NH
03801

TITLE

UPPER LEVEL PLANS

DRAWN BY:

CHECKED BY:

DATE:

SCALE: AS NOTED

DRAWING NO.

PB.8

DO NOT SCALE PRINTS

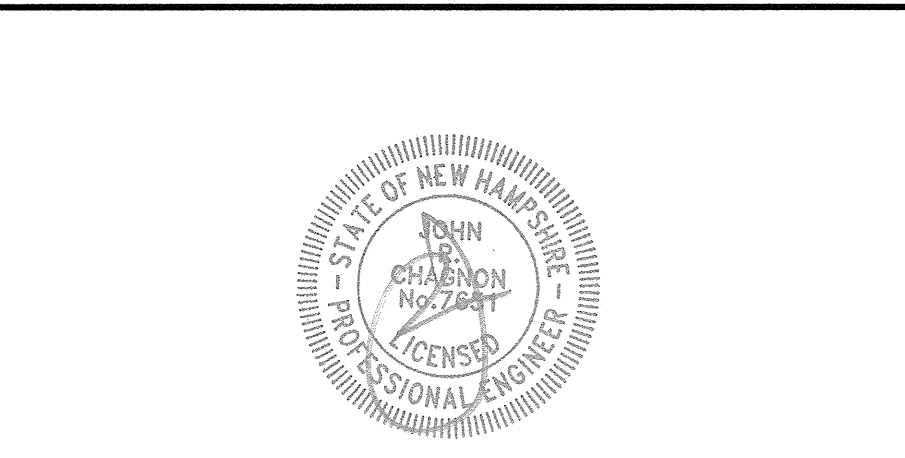
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS (IN THE PROJECT VICINITY) UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER 22436499.
- 8) PROPOSED SEWER FLOW:
RESIDENTIAL:
17 UNITS X 170 GPD/UNITS = 2,890 GPD
COMMERCIAL:
3,802 S.F.
3,802 X 5 GPD/100 S.F. = 190 GPD.
TOTAL PROPOSED SEWER FLOW: 3,080 GPD.
- 9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY; THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 10) FINAL CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.
- 11) EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.
- 12) THERE WILL BE A 1,000 GALLON GREASE TRAP IN THE BASEMENT FOR POTENTIAL FUTURE RESTAURANT USE.

FLOROS BUILDING
STATE AND
PLEASANT STREET
PORTSMOUTH, N.H.

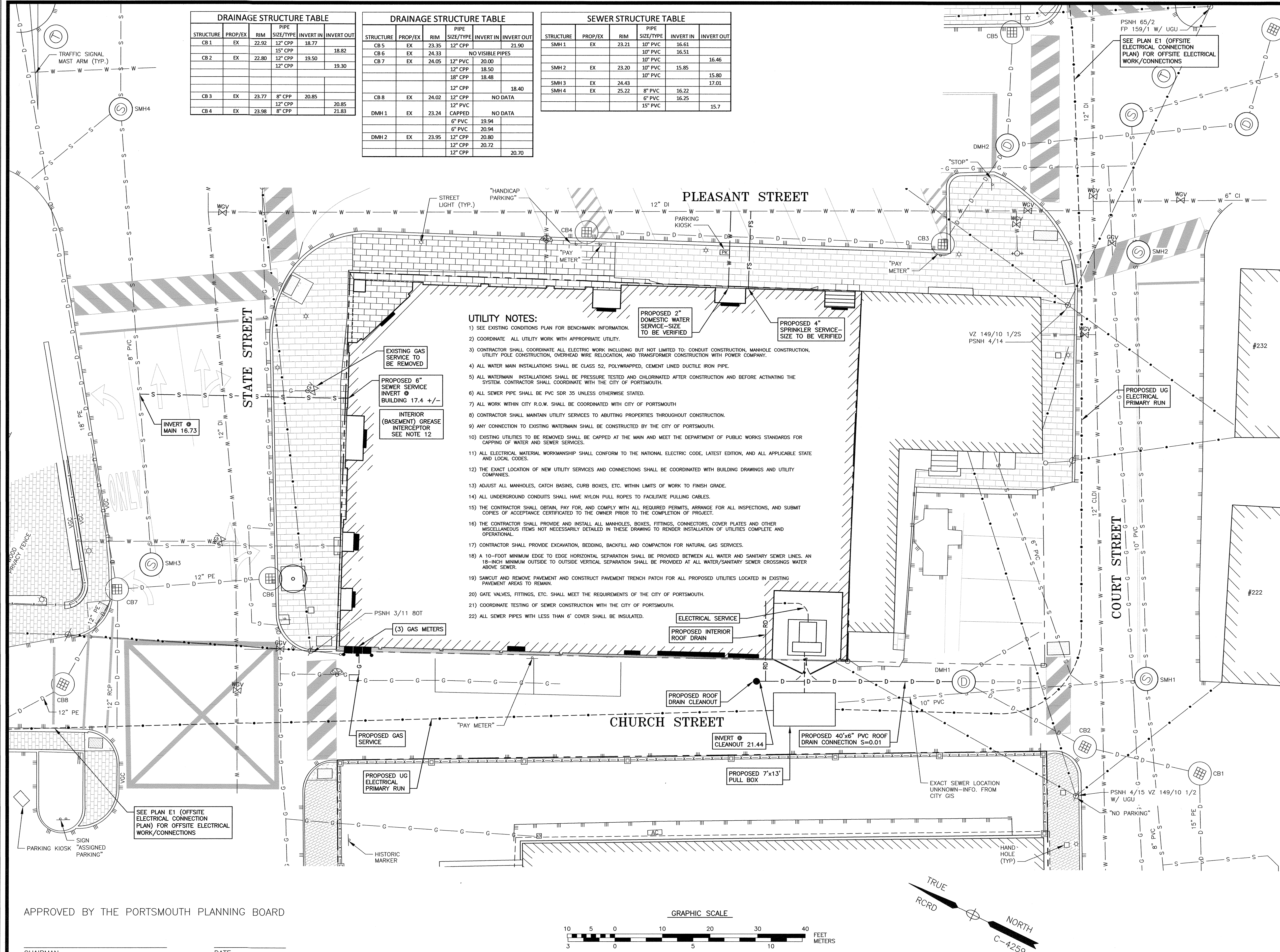
NO.	DESCRIPTION	DATE
2	ELECTRICAL CONNECTIONS, INVERTS	11/17/25
1	REVISED BUILDING	08/18/25
0	ISSUED FOR COMMENT	5/1/24

REVISIONS



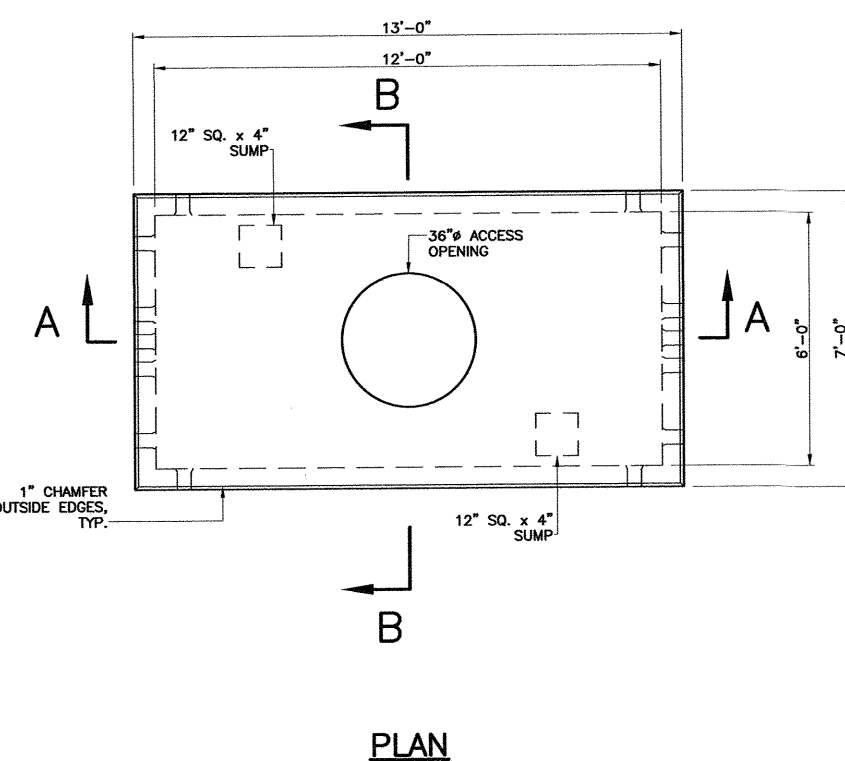
SCALE: 1"=10' APRIL 2024

UTILITY PLAN C4



UTILITY NOTES:

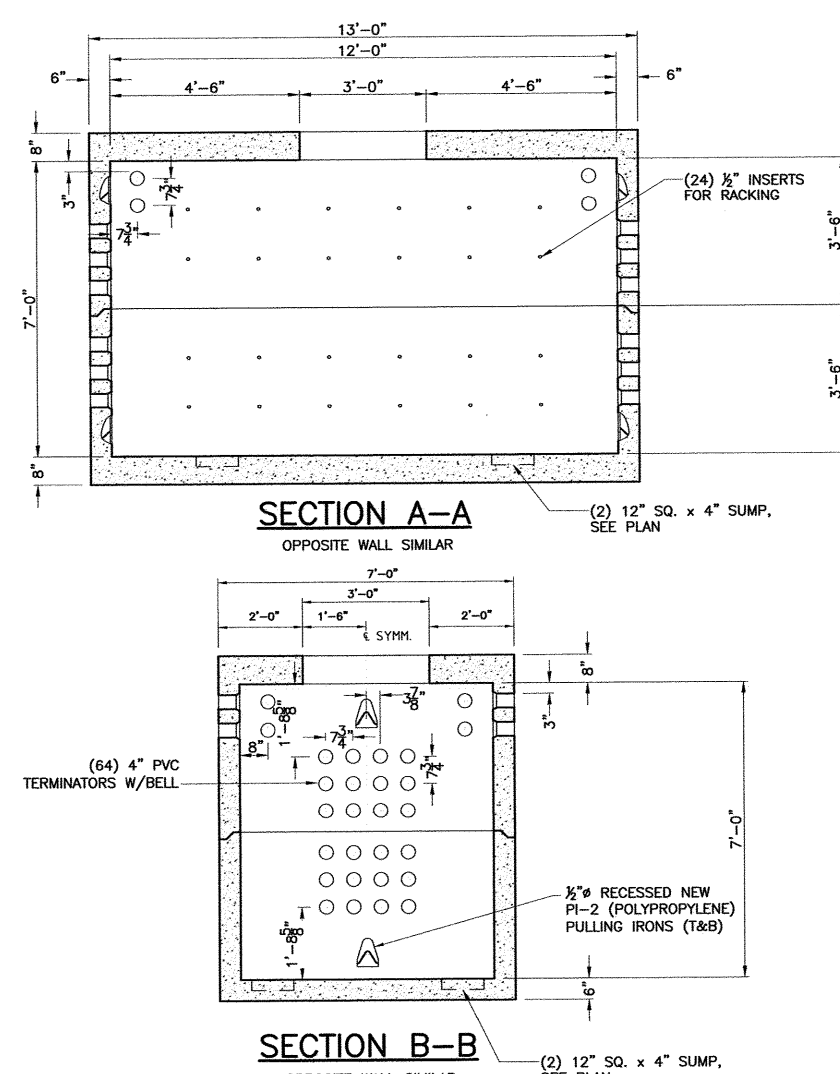
- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SANICUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.



NOTES:

1. CONCRETE, 5000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN LOADS: ASDHS HESB-A4, 0 TO 3 FEET COVER.
3. STEEL REINFORCEMENT CONFORMS TO ASTM A615, GRADE 60.
4. MINIMUM STEEL COVER 1".

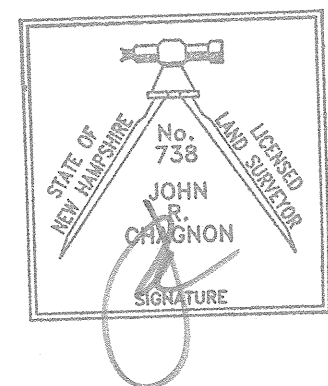
SHEA PROJECT NO: MH-6127 SHEA NAME: MH 6X12X7
SHEA LBS: 36880 SHEA DATE: 2/6/2018 SHEA I.C.11-1
773 Salem Street-Wilmington, MA 1153 Cranbury Hwy-Rochester, MA 1 87 Haverhill Road-Amesbury, MA 1 180 Old Temple Rd-Hatfield, MA
Specifications subject to change without notice



SHEA PROJECT NO: MH-6127 SHEA NAME: MH 6X12X7
SHEA LBS: 36880 SHEA DATE: 2/6/2018 SHEA I.C.11-2
773 Salem Street-Wilmington, MA 1153 Cranbury Hwy-Rochester, MA 1 87 Haverhill Road-Amesbury, MA 1 180 Old Temple Rd-Hatfield, MA
Specifications subject to change without notice

1
E1 PULL BOX STRUCTURE

NTS



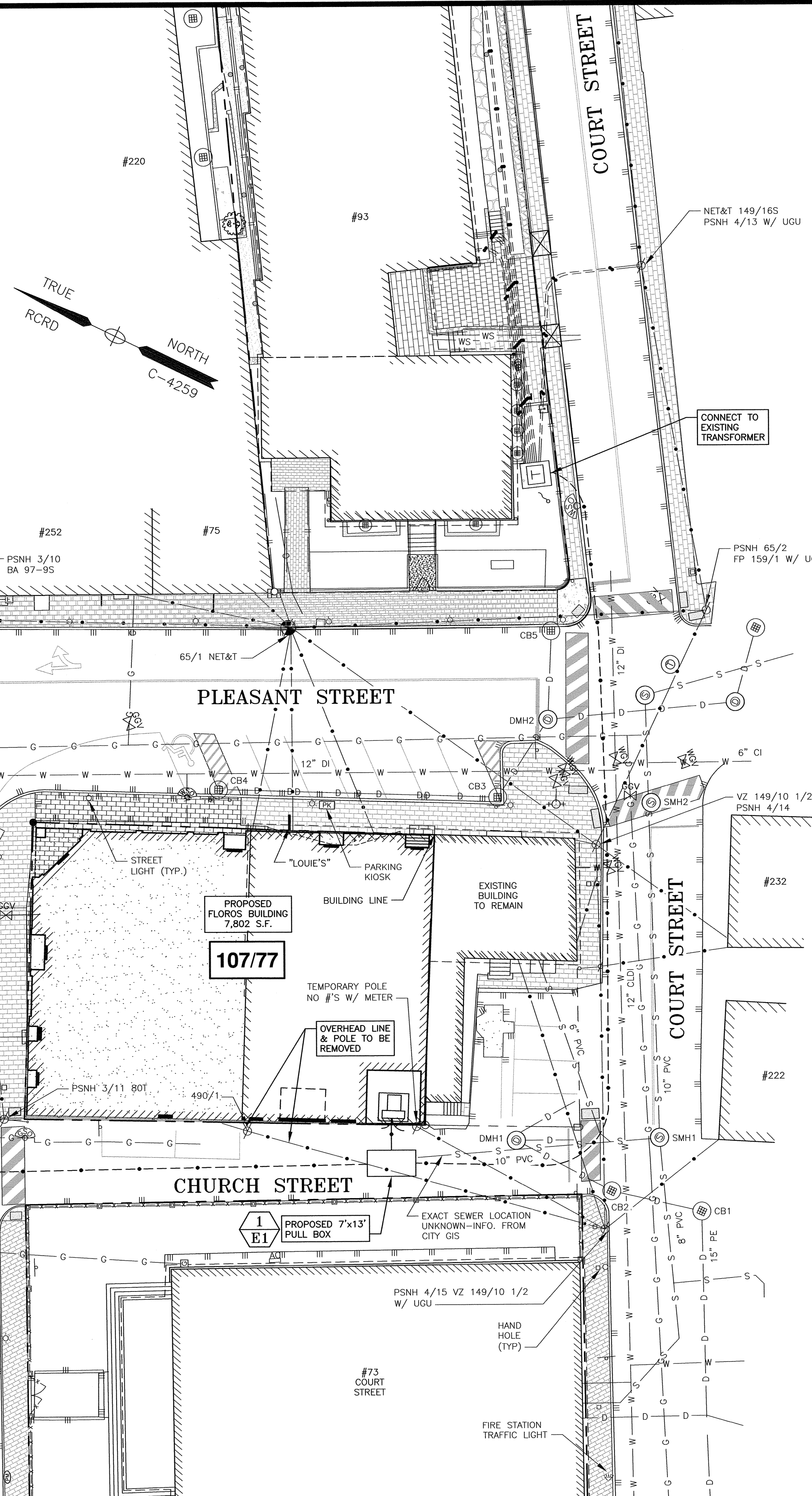
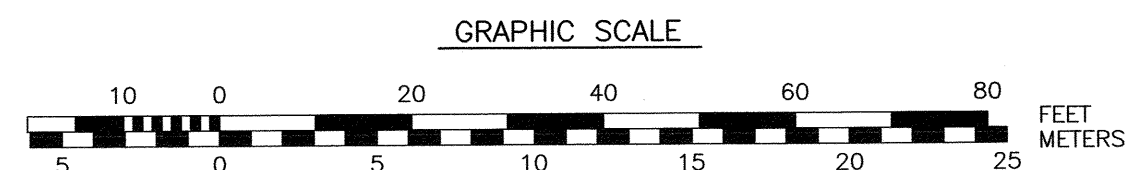
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

JOHN R. CHAGNON LLS #738

DATE

11.17.25



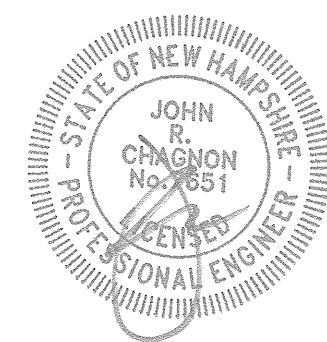
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN 30 DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

FLOROS BUILDING
STATE AND
PLEASANT STREET
PORTSMOUTH, N.H.

1	ISSUED TO TAC	11/17/25
0	ISSUED FOR COMMENT	09/25/25
NO.	DESCRIPTION	DATE

REVISIONS



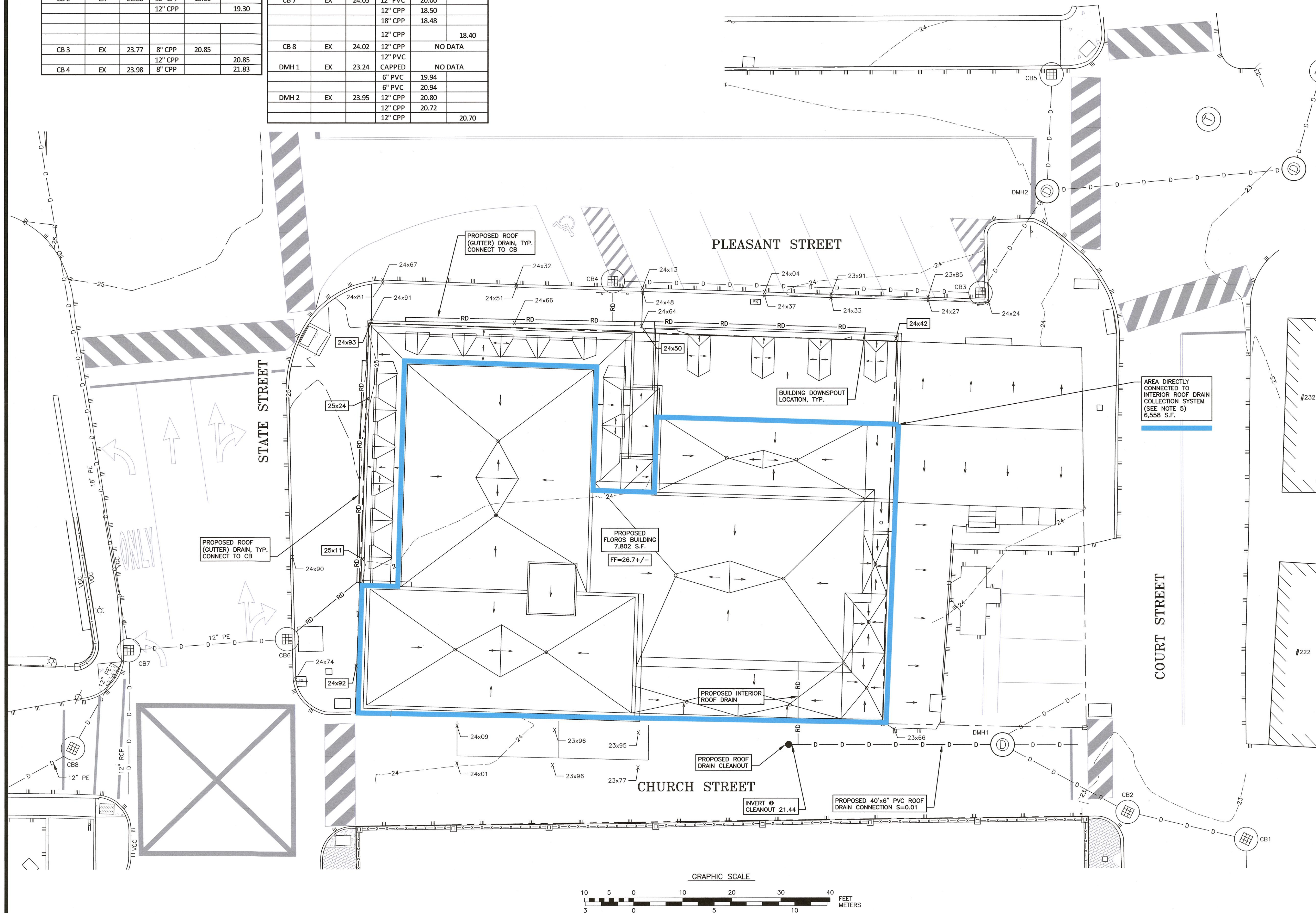
SCALE: 1"=20' SEPTEMBER 2025

OFFSITE ELECTRICAL
CONNECTION PLAN

C5

DRAINAGE STRUCTURE TABLE					
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT
CB 1	EX	22.92	12" CPP	18.77	18.82
CB 2	EX	22.80	12" CPP	19.50	19.30
			12" CPP		19.30
CB 3	EX	23.77	8" CPP	20.85	
			12" CPP		20.85
CB 4	EX	23.98	8" CPP		21.83

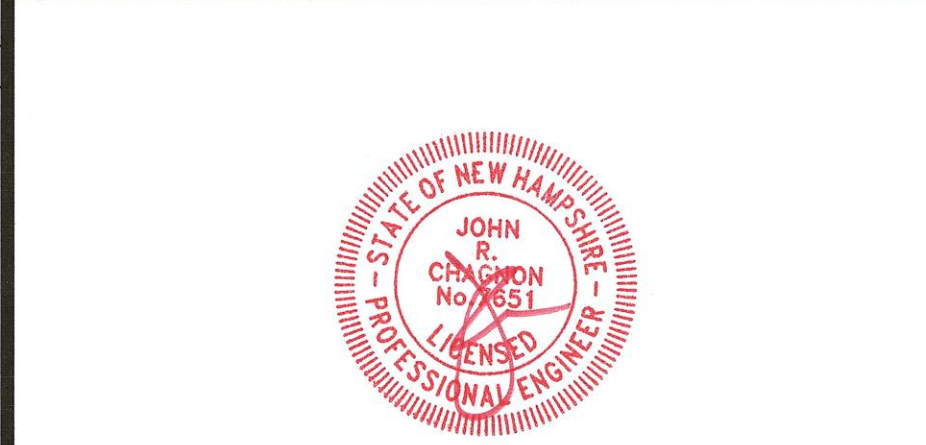
DRAINAGE STRUCTURE TABLE					
STRUCTURE	PROP/EX	RIM	PIPE SIZE/TYPE	INVERT IN	INVERT OUT
CB 5	EX	23.35	12" CPP		21.90
CB 6	EX	24.33	NO VISIBLE PIPES		
CB 7	EX	24.05	12" PVC	20.00	
			12" CPP	18.50	
			18" CPP	18.48	
			12" CPP		18.40
CB 8	EX	24.02	12" CPP	NO DATA	
DMH 1	EX	23.24	12" PVC CAPPED	NO DATA	
			6" PVC	19.94	
			6" PVC	20.94	
DMH 2	EX	23.95	12" CPP	20.80	
			12" CPP	20.72	
			12" CPP		20.70



- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) THE PURPOSE OF THIS PLAN IS TO SHOW THE ROOF DRAIN CONNECTIONS TO THE DRAINAGE SYSTEM.
 - 5) THE ROOF DRAIN TREATMENT DEVICES ON SHEET C505 TO BE INSTALLED INSIDE STRUCTURE.

**FLOROS BUILDING
STATE AND
PLEASANT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	11/17/25
REVISIONS		



SCALE: 1"=10' OCTOBER 2024

**ROOF DRAINAGE
PLAN** **C6**

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT:

1. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE CITY OF PORTSMOUTH CMMP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER;
2. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR;
3. A REPRESENTATIVE OF THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;
4. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

INSTALL PERIMETER CONTROLS, I.E., SILT/SOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES. PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. CONSTRUCT FOUNDATIONS.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES TO THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING SIDEWALK WORK.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A BUILDING REDEVELOPMENT WITH ASSOCIATED UTILITIES AND PARKING.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.275 ACRES.

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND WHICH HAS AN UNSPECIFIED HYDROLOGIC SOIL GROUP RATING, ASSUMED D.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM TO THE CITY OF PORTSMOUTH CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY FLOWS TO THE PISCATAQUA RIVER.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT/SOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT/SOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED
- IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:

- TEMPORARY SEEDING;
- MULCHING.

MAINTENANCE AND PROTECTION

THE SILT/SOXX BARRIER AND CATCH BASIN FILTERS SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

STOCKPILES

1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.

3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE.

1. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
2. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
3. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
4. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

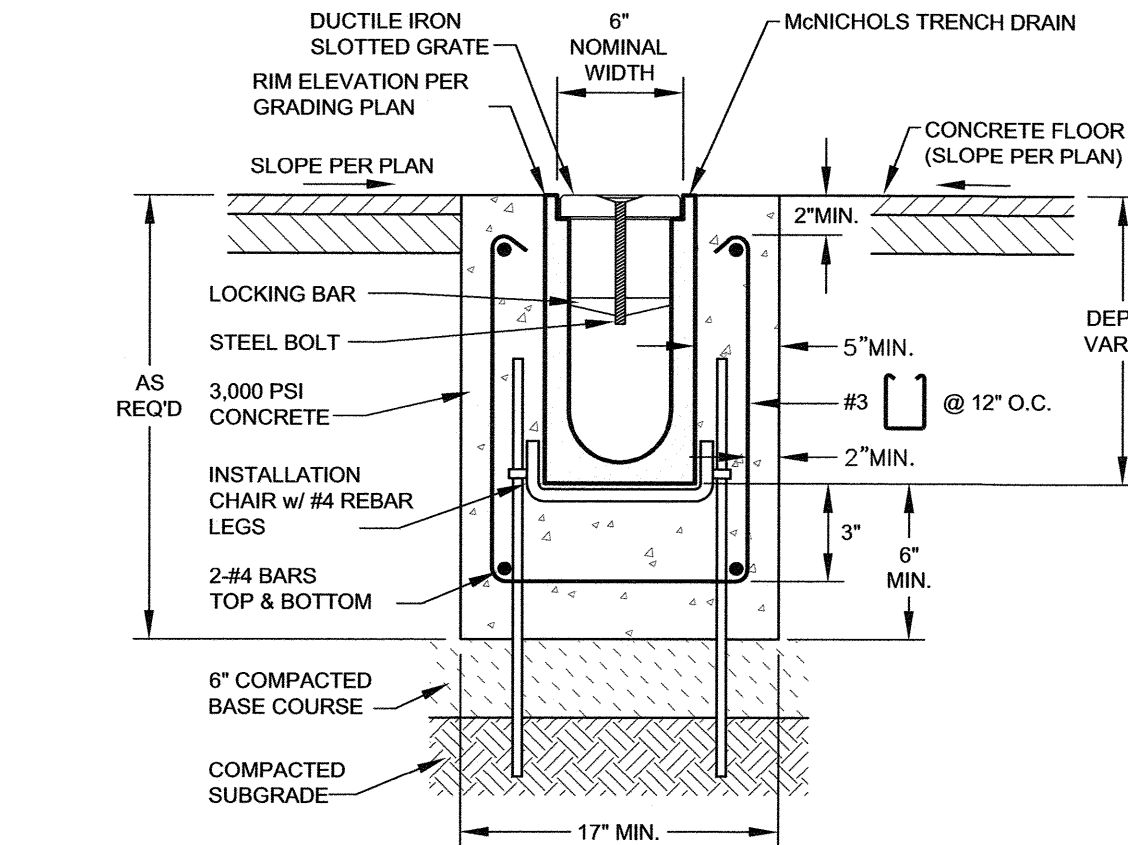
1. FIRE-FIGHTING ACTIVITIES;
2. FIRE HYDRANT FLUSHING;
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
4. WATER USED TO CONTROL DUST;
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
11. UNCONTAMINATED EXCAVATION DEWATERING;
12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL

1. WASTE MATERIAL.
 - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
 - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
 - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE.
 - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
 - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE.
 - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

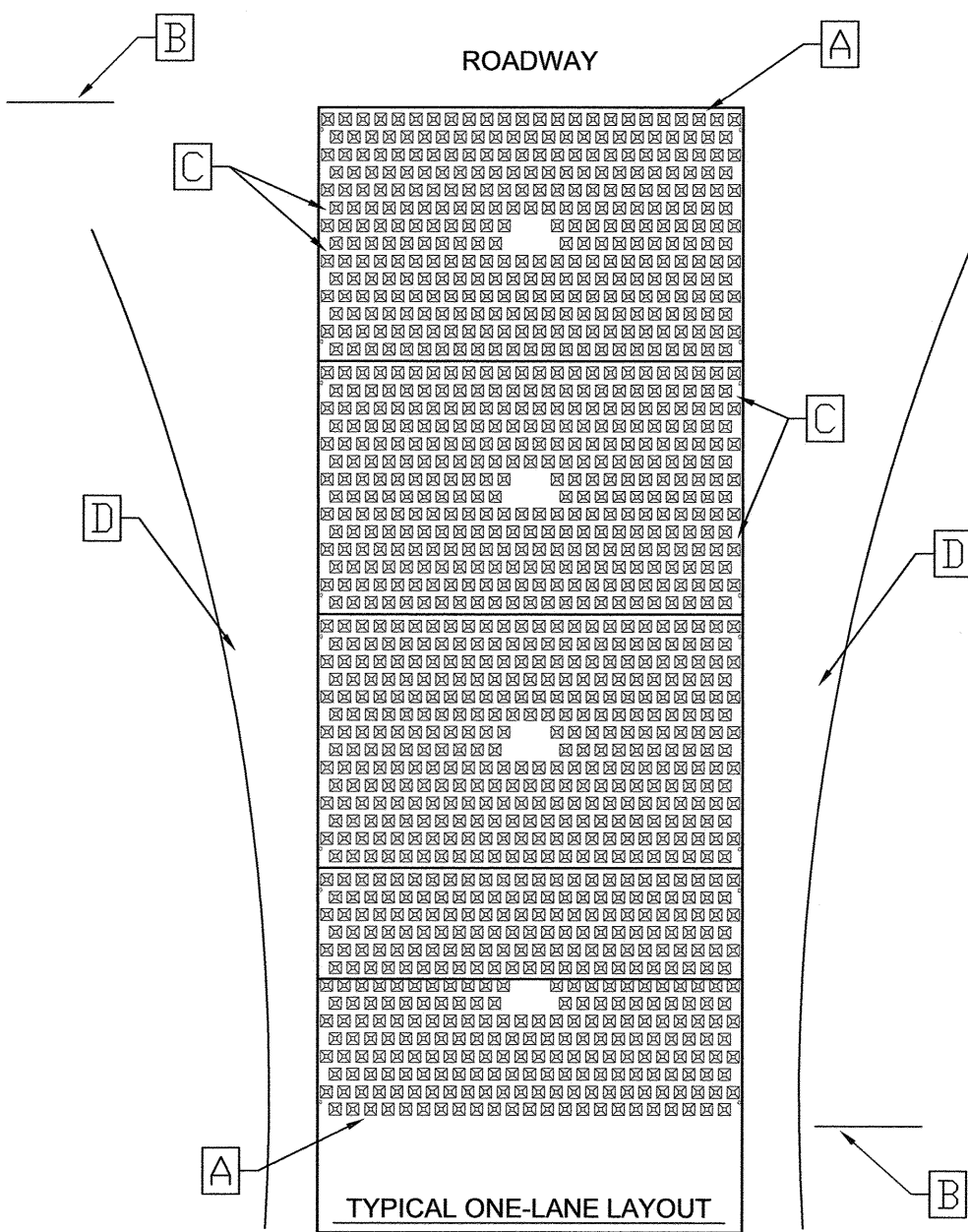
BLASTING NOTES

1. CONTRACTOR SHALL CONTACT THE NHDES AND/OR LOCAL JURISDICTION PRIOR TO
2. COMMENCING ANY BLASTING ACTIVITIES.
3. FOR ANY PROJECT FOR WHICH BLASTING OF BEDROCK IS ANTICIPATED, THE APPLICANT SHALL SUBMIT A BLASTING PLAN THAT IDENTIFIES:
 - WHERE THE BLASTING ACTIVITIES ARE ANTICIPATED TO OCCUR;
 - THE ESTIMATED QUANTITY OF BLAST ROCK IN CUBIC YARDS; AND
 - SITE-SPECIFIC BLASTING BEST MANAGEMENT PRACTICES.



EVAPORATOR TRENCH DETAIL

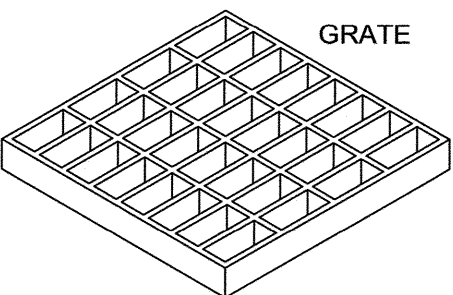
NTS



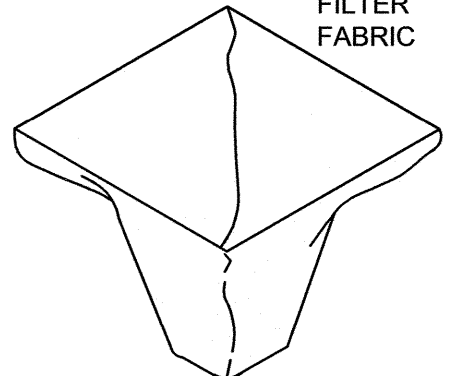
INSTALLATION:
THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE). THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE. ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

KEY NOTES:

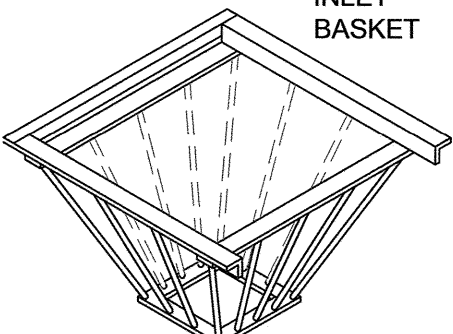
- A. FODS TRACKOUT CONTROL SYSTEM MAT.
- B. FODS SAFETY SIGN.
- C. ANCHOR POINT.
- D. SILT OR ORANGE CONSTRUCTION FENCE.



GRATE

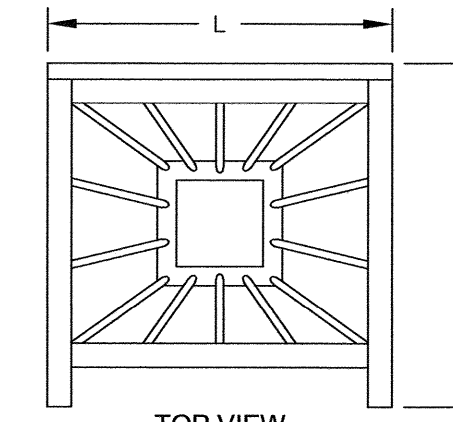


FILTER FABRIC



INLET BASKET

LENGTH (L) & WIDTH (W) AS REQUIRED TO FIT NHDOT TYPE GRATE & FRAME.



TOP VIEW

SIDE VIEW

CATCH BASIN INLET BASKET

NTS

0	08/18/2025	ISSUED FOR COMMENTS	CBA	JRC
REV.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS

PERMIT PLANS



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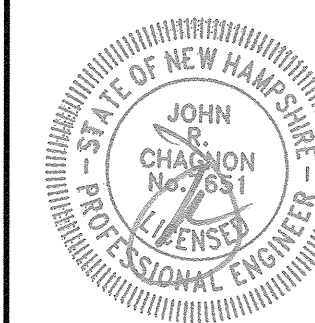
PROJECT

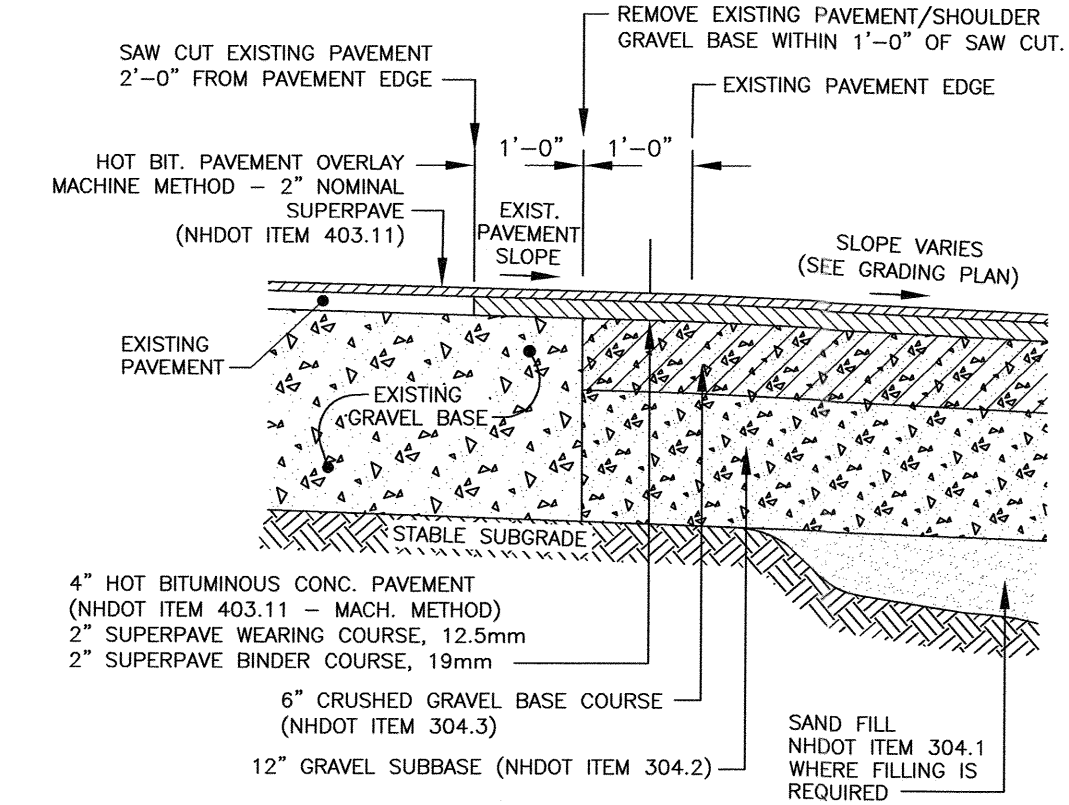
FLOROS BUILDING
STATE & PLEASANT STREET PORTSMOUTH

TITLE

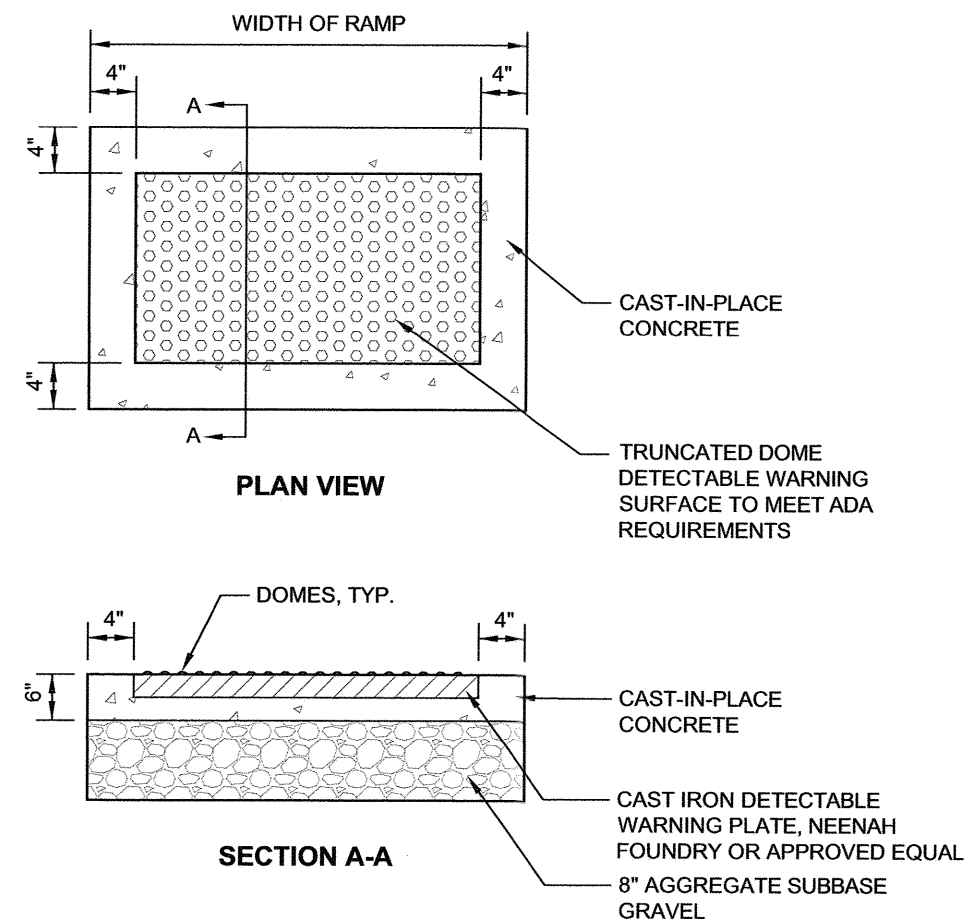
SITE DETAILS

DATE	AUGUST 2024	SCALE	NTS
DRAWN BY	CBA	DESIGNED BY	---
CHECKED BY	JRC		
PROJECT No.	5010129.3150		
SHEET No.	C501		REV No.
	0		



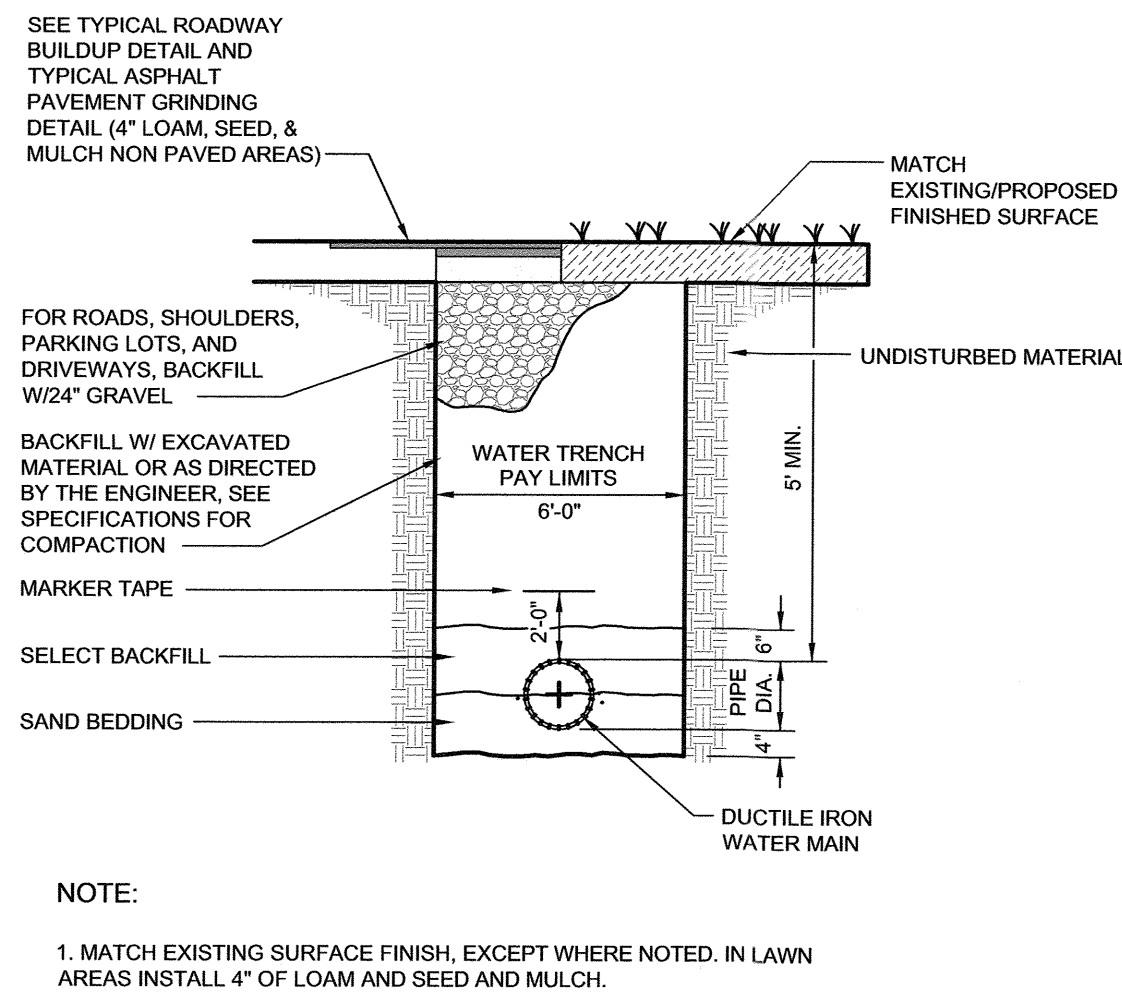


TYPICAL PAVEMENT CROSS-SECTION
NTS
OFF SITE REPAIR AS NEEDED

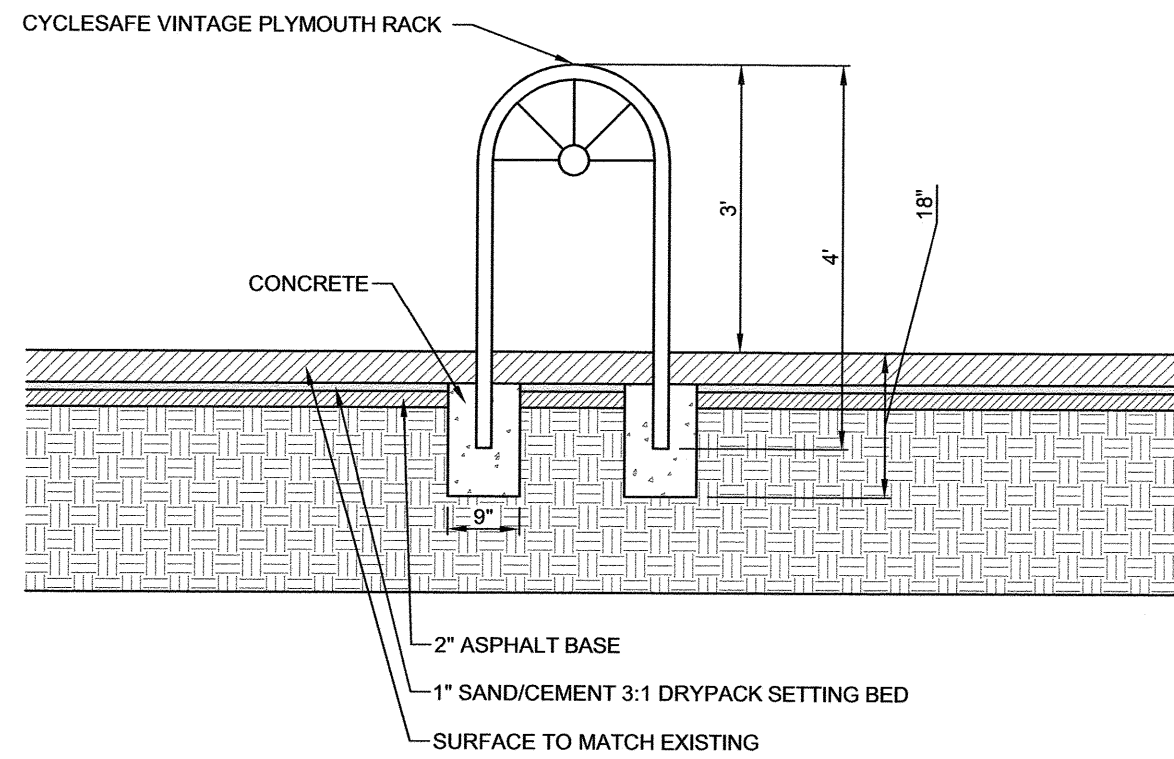


- NOTES:
- DETECTABLE WARNINGS SHALL BE AN INTEGRAL PART OF THE RAMP AND COMPLY WITH ALL SECTIONS OF THE ADA ACCESSIBILITY GUIDELINES AND ALL SECTIONS OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - ALL DETECTABLE WARNING AREAS SHALL START 6'-10" FROM THE FLOW LINE OF THE CURB, BE 24" IN DEPTH AND COVER THE COMPLETE WIDTH OF THE RAMP AREA ONLY. MATCH ROADWAY RADIUS, TYP.

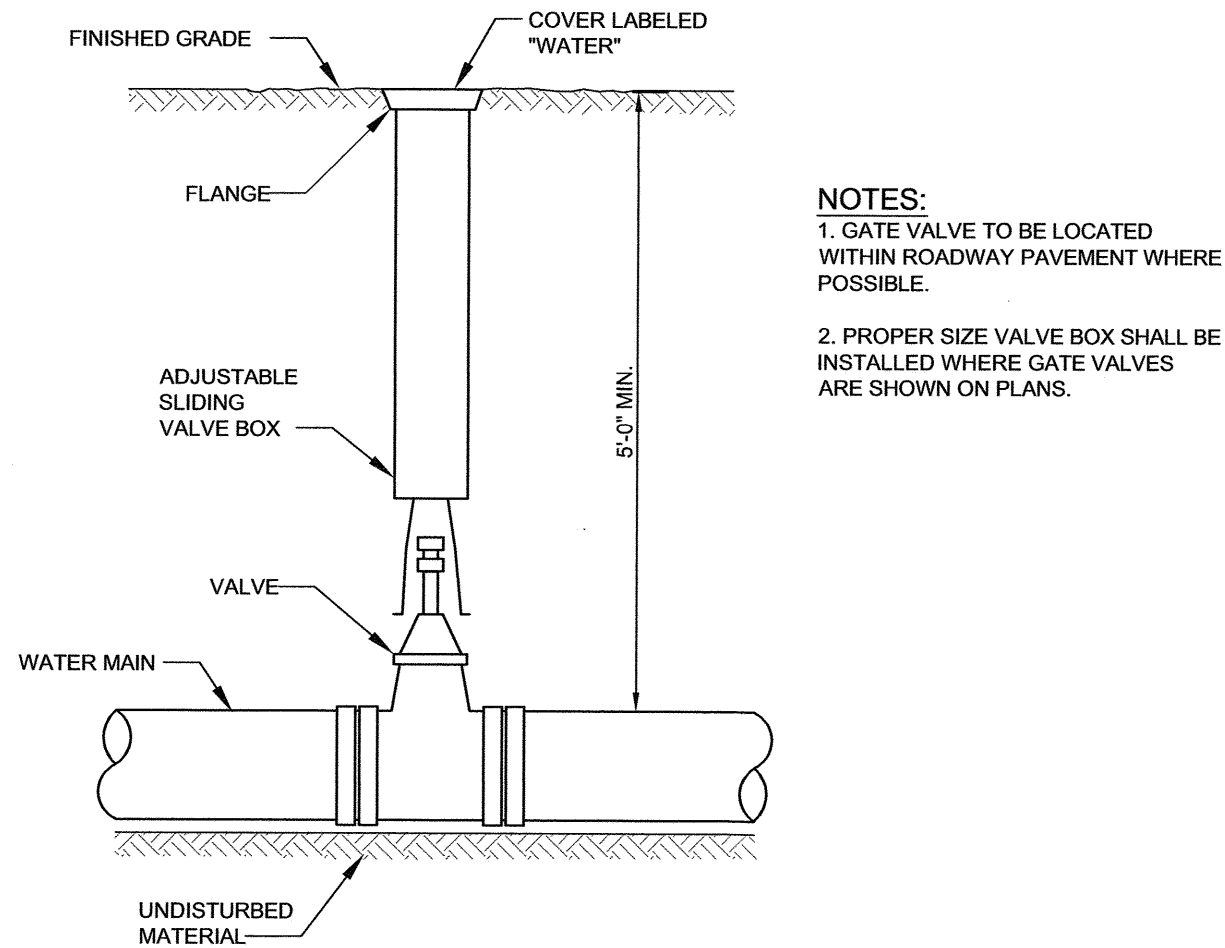
TYPICAL DETECTABLE WARNING SURFACE DETAIL
NTS



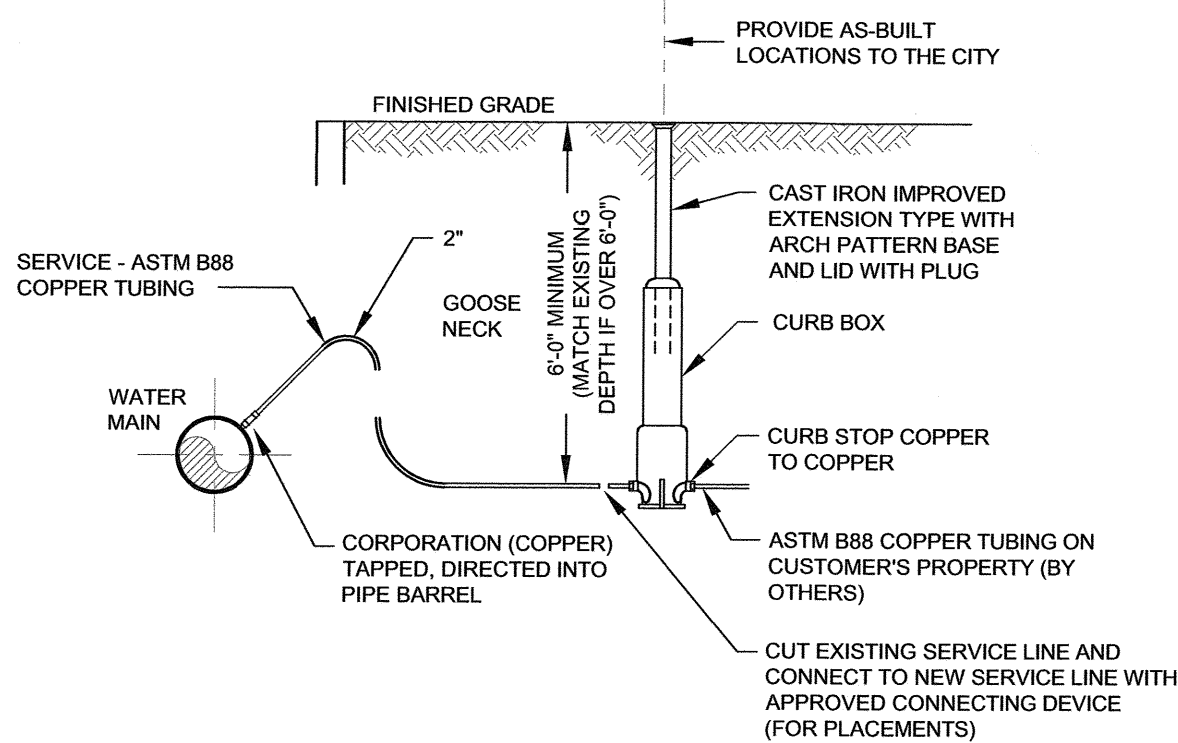
TYPICAL TRENCH DETAIL - DUCTILE IRON WATER MAIN
NTS



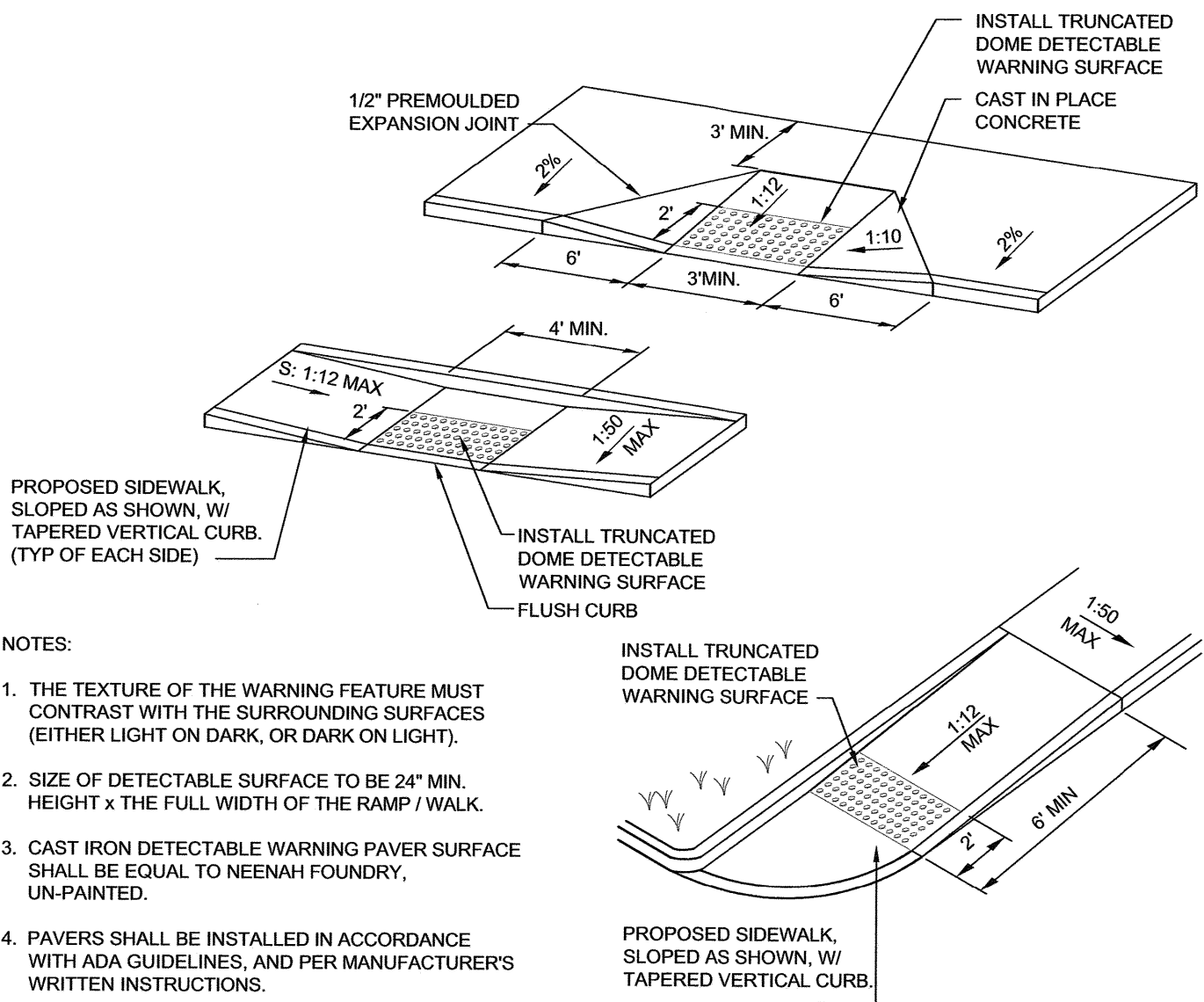
BIKE RACK DETAIL
NTS



TYPICAL VALVE AND BOX DETAIL
NTS



TYPICAL WATER SERVICE CONNECTION DETAIL
NTS



- NOTES:
- THE TEXTURE OF THE WARNING FEATURE MUST CONTRAST WITH THE SURROUNDING SURFACES (EITHER LIGHT ON DARK, OR DARK ON LIGHT).
 - SIZE OF DETECTABLE SURFACE TO BE 24" MIN. HEIGHT x THE FULL WIDTH OF THE RAMP / WALK.
 - CAST IRON DETECTABLE WARNING PAVES SURFACE SHALL BE EQUAL TO NEENAH FOUNDRY, UN-PAINTED.
 - PAVERS SHALL BE INSTALLED IN ACCORDANCE WITH ADA GUIDELINES, AND PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

TYPICAL HANDICAP CURB RAMP DETAILS
NTS

BRICK PAVEMENT NOTES

SCOPE OF WORK:

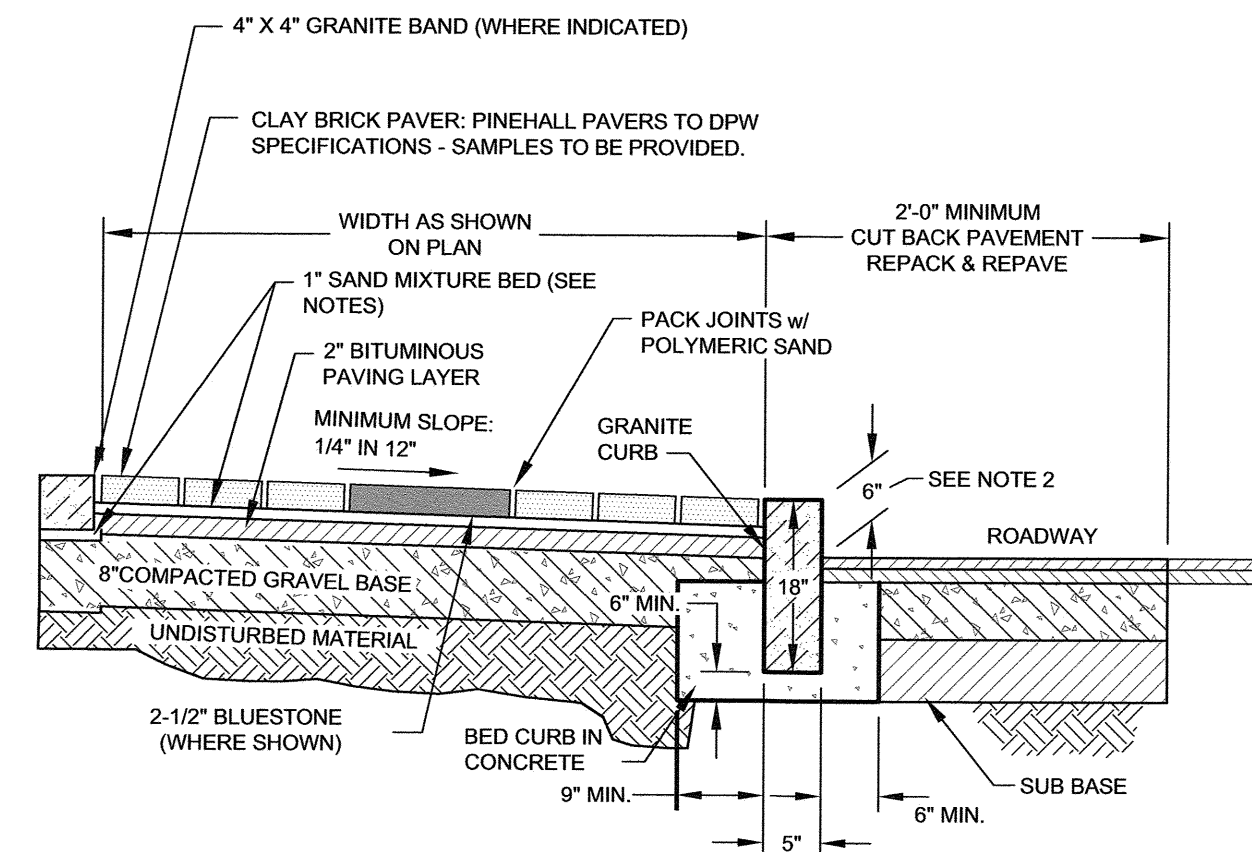
- THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER AND COORDINATED WITH PORTSMOUTH DPW.
- REVEAL SHALL BE COORDINATED WITH PORTSMOUTH DPW.

METHODS OF CONSTRUCTION:

- ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.
- THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.

CONSTRUCTION NOTE:

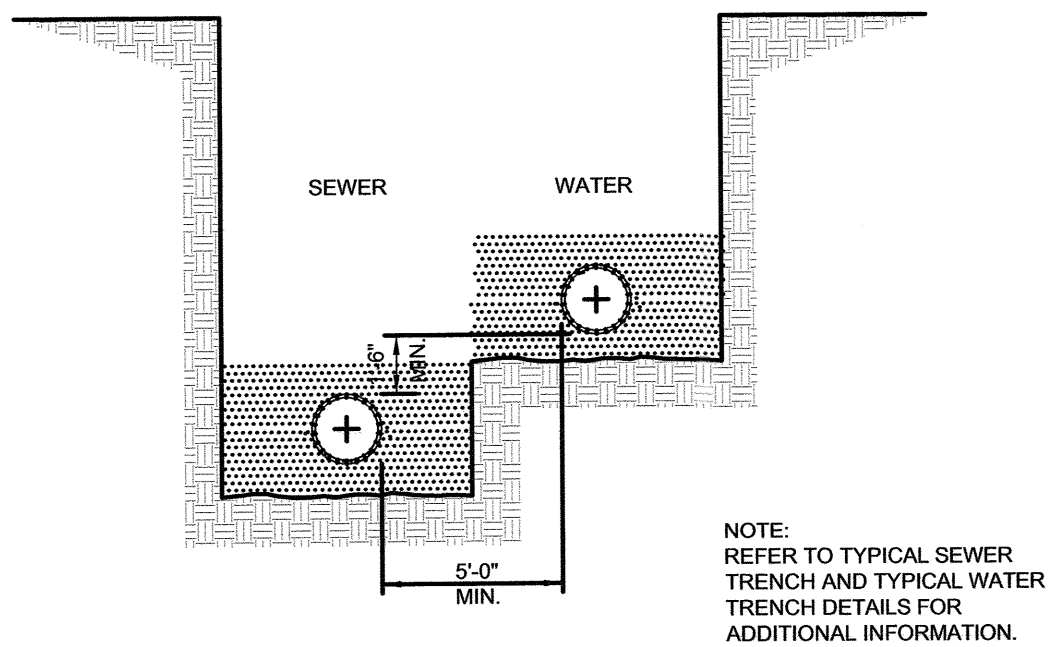
EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.



BRICK SIDEWALK w/ VERTICAL GRANITE CURB
NTS
(STONE DUST BEDDING OVER BITUMINOUS PAVING)

- NOTES:
- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (REVISED DECEMBER 2008).
 - ALL WATER MAIN & CONNECTIONS SHALL BE INSTALLED PER CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.

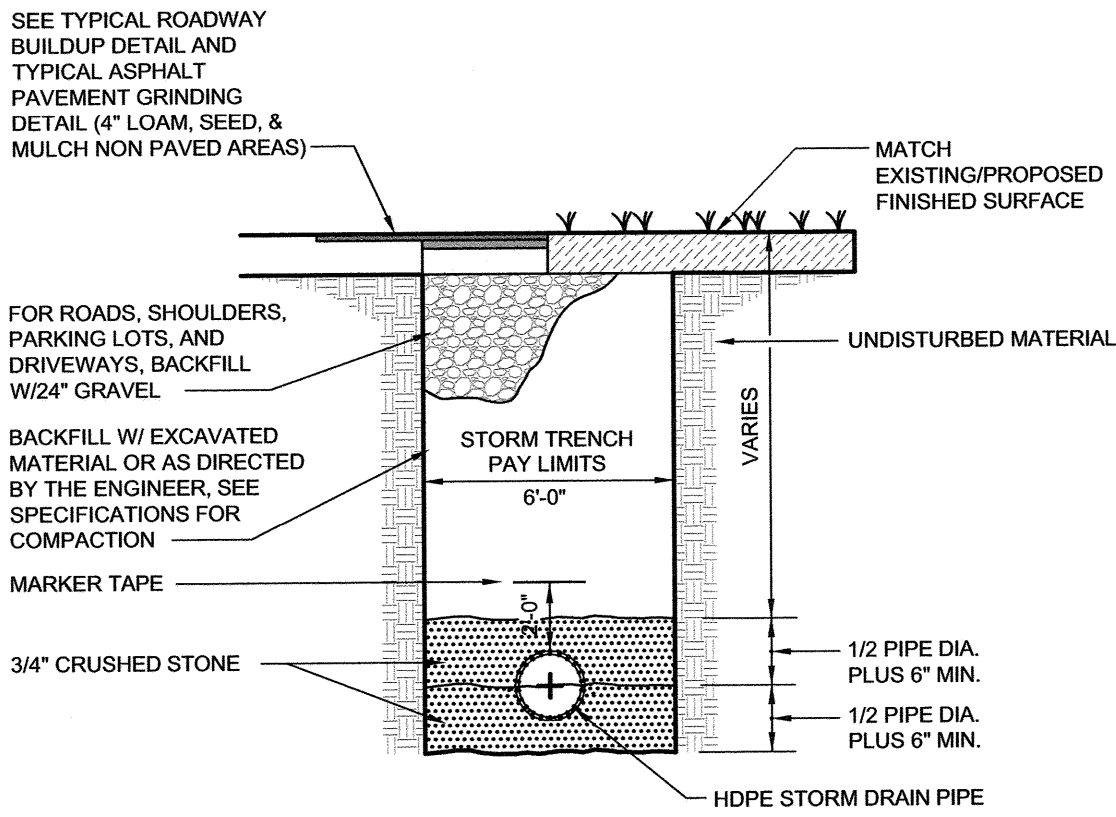
0	08/18/2025	ISSUED FOR COMMENTS	CBA	JRC
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
PERMIT PLANS				
HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Rd. Unit 14 Portsmouth, New Hampshire 03801 603.430.9282				
PROJECT FLOROS BUILDING STATE & PLEASANT STREET PORTSMOUTH				
TITLE				
SITE DETAILS				
DATE AUGUST 2024		SCALE NTS		
DRAWN BY CBA		DESIGNED BY ---		CHECKED BY JRC
PROJECT No. 5010129.3150				
SHEET No. C502				REV No. 0



NOTE:
REFER TO TYPICAL SEWER
TRENCH AND TYPICAL WATER
TRENCH DETAILS FOR
ADDITIONAL INFORMATION.

TYPICAL SEWER / WATER SEPARATION DETAIL

NTS

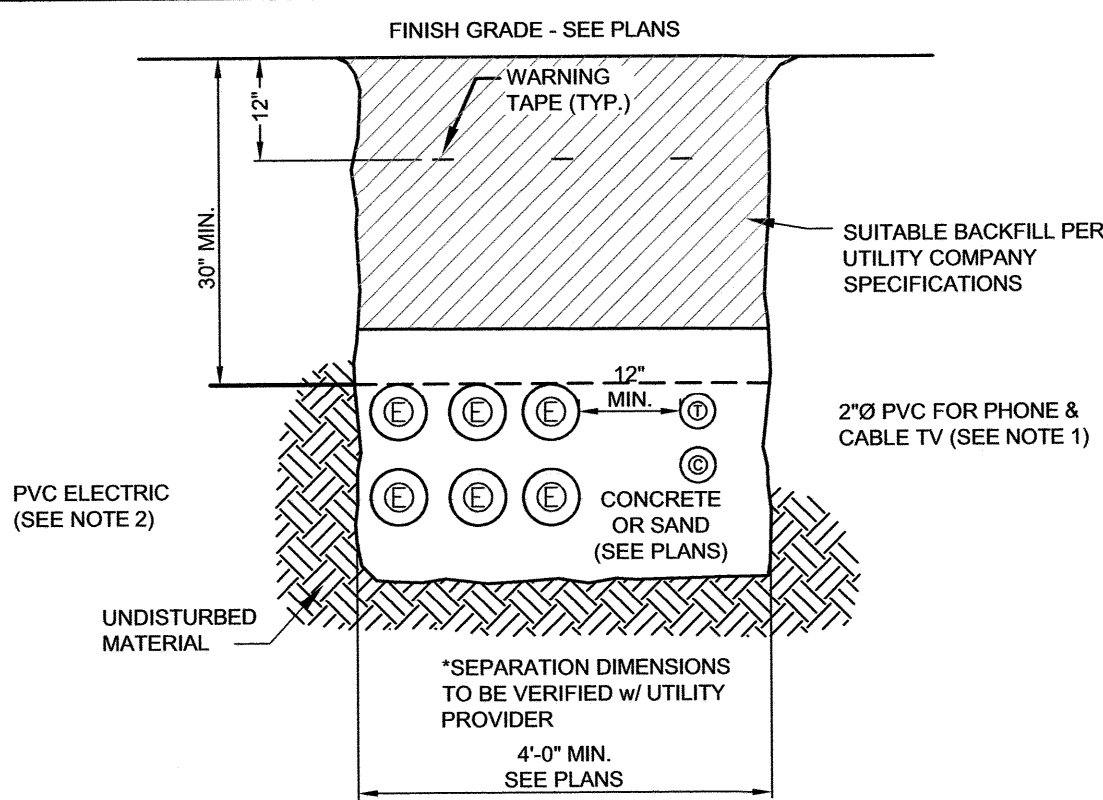


NOTE:

1. MATCH EXISTING SURFACE FINISH, EXCEPT WHERE NOTED. IN LAWN AREAS INSTALL 4" OF LOAM AND SEED AND MULCH.

TYPICAL STORM DRAIN TRENCH DETAIL

NTS

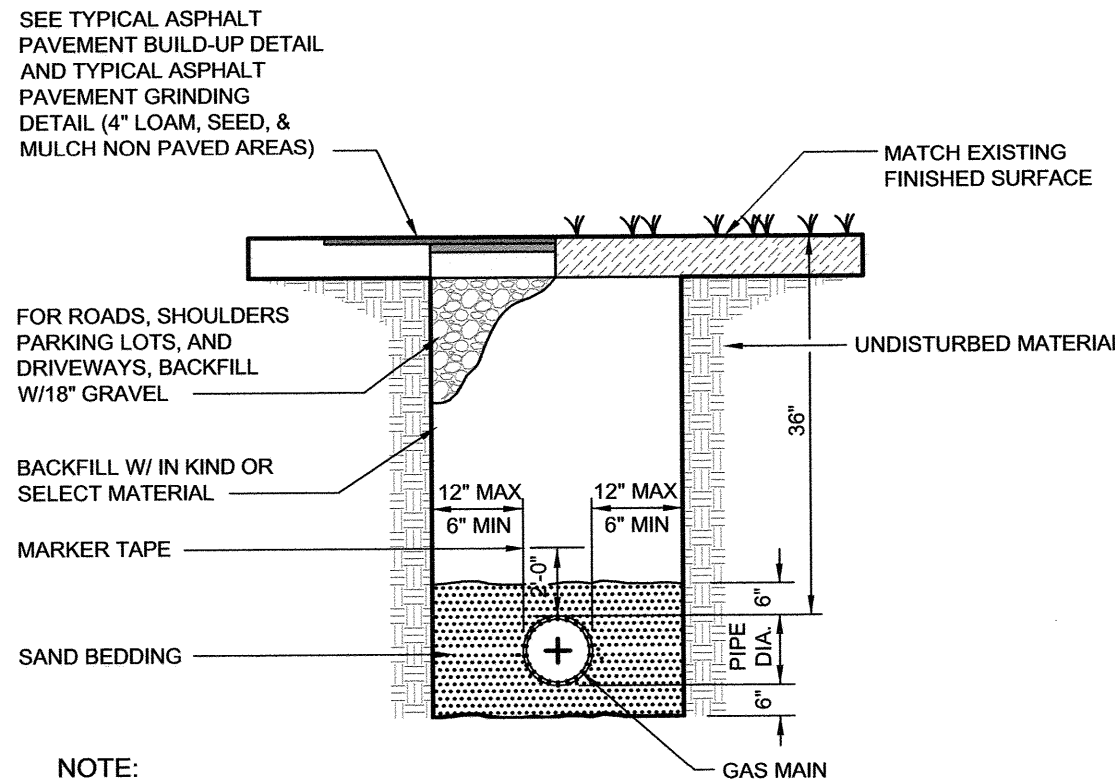


NOTES:

- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.
- 2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
- 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
- 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
- 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.

TYPICAL UNDERGROUND UTILITY TRENCH DETAIL

NTS

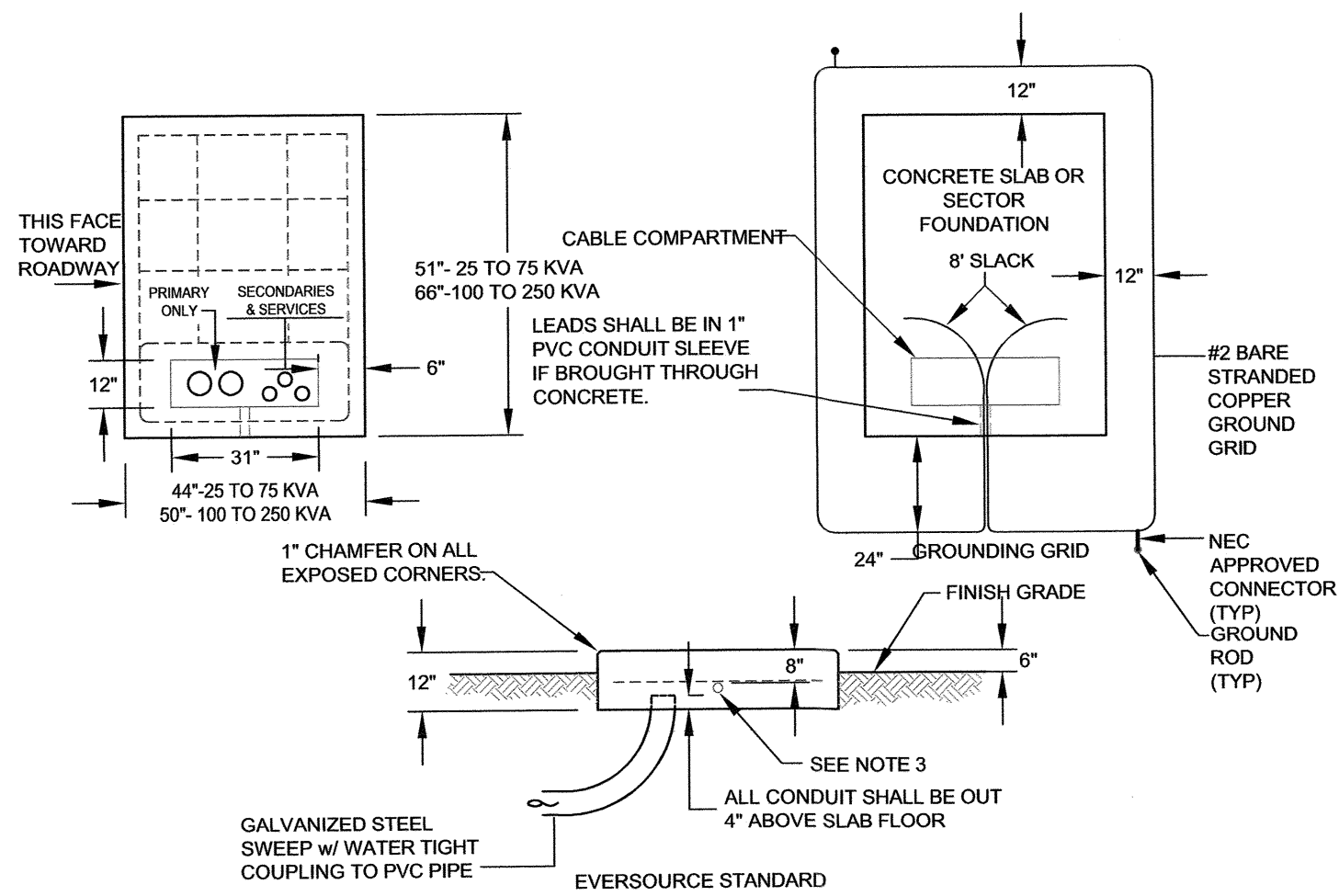


NOTE:

1. COMPACT ALL GRANULAR MATERIAL AND BACKFILL TO 95%.
2. SIDE CLEARANCE APPLICABLE TO BACKHOE OPERATIONS.

TYPICAL GAS TRENCH DETAIL

NTS



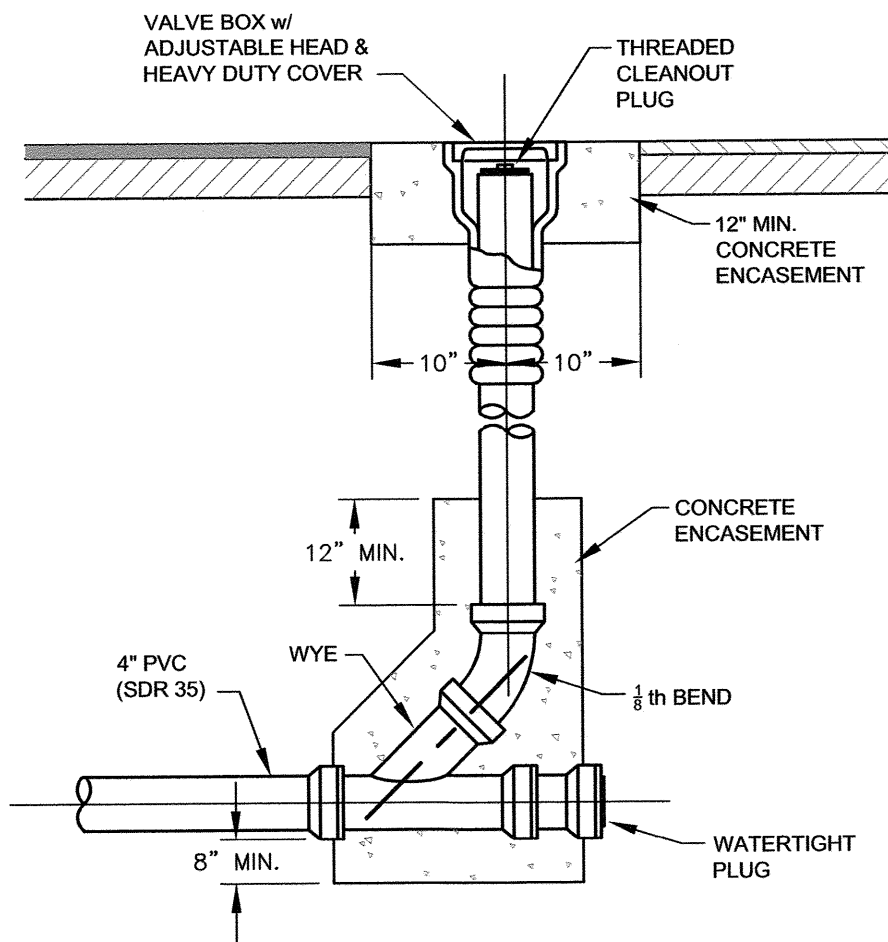
NOTES:

1. ALL REINFORCING TO BE #6 BARS.
2. 1" PVC CONDUIT SLEEVE FOR GROUND GRID LEADS.
3. THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12" BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8" GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.
4. NO SHRUBS, FENCES, OR PERMANENT STRUCTURES CAN BE PLACED WITHIN 10 FEET OF THE FRONT AND 5 FEET OF THE SIDES AND BACK OF PAD-MOUNTED EQUIPMENT. THE COMPANY HAS THE RIGHT TO REMOVE THESE OBJECTS WITHOUT NOTICE TO THE OWNER.

TRANSFORMER PAD

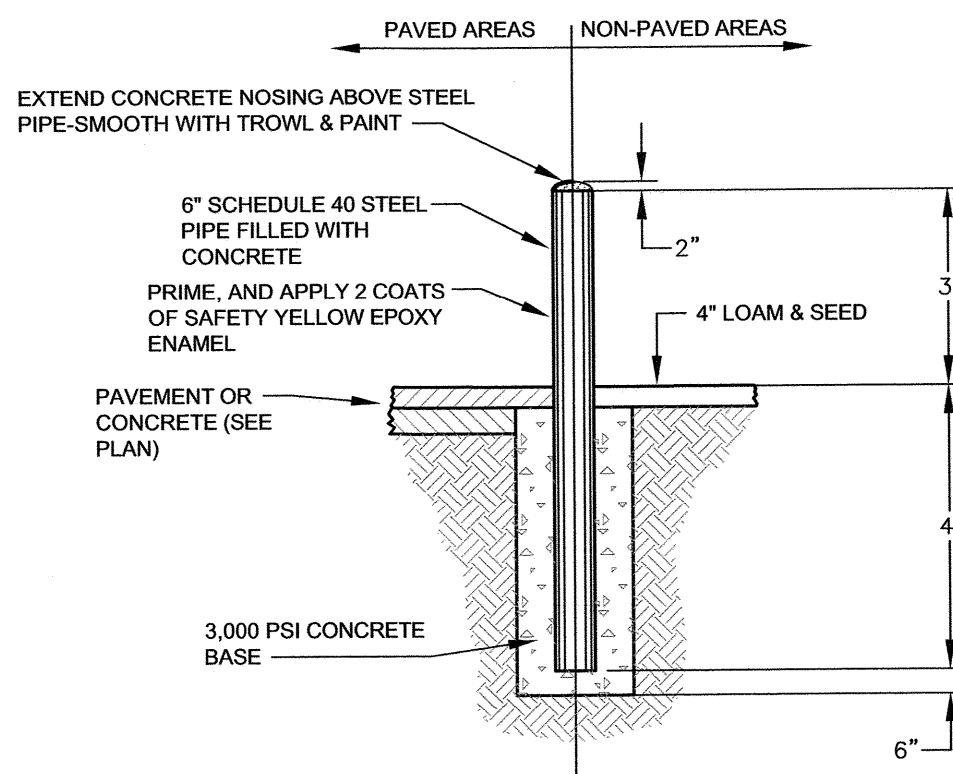
NTS

COORDINATE WITH EVERSOURCE



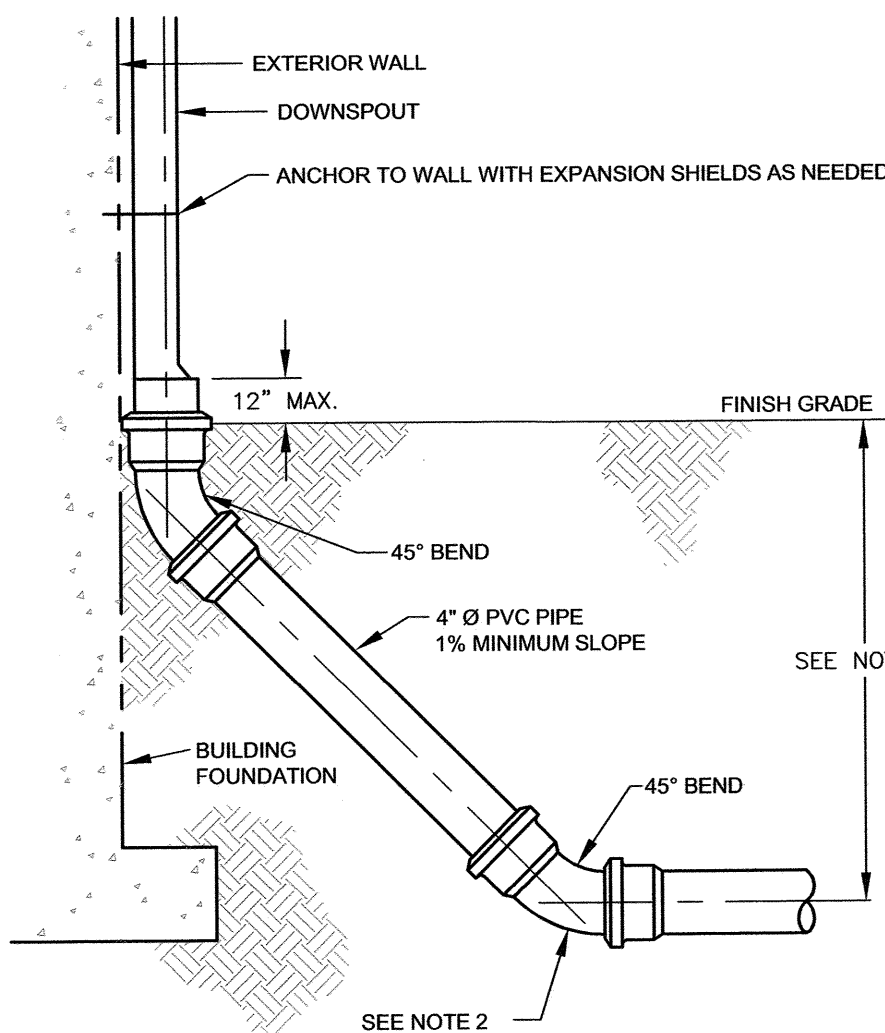
ROOF DRAIN CLEANOUT

NTS



PIPE BOLLARD

NTS



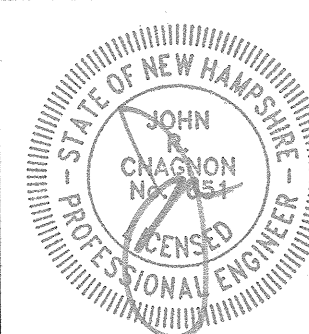
GUTTER/DOWNSPOUT

NTS

NOTES:

- 1) FOR ALL DEPTHS OF COVER LESS THAN 2 FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN 2 FEET, FLEXIBLE PIPE MAY BE USED.
- 2) A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
- 3) THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO CONNECTION TO EXISTING GUTTERS.

0	08/18/2025	ISSUED FOR COMMENTS	CBA	JRC
REV.	DATE	DESCRIPTION	BY	CHK.
DRAWING ISSUE STATUS				
PERMIT PLANS				
 HALEY WARD ENGINEERING ENVIRONMENTAL SURVEYING 200 Griffin Rd. Unit 14 Portsmouth, New Hampshire 03801 603.430.9282 WWW.HALEYWARD.COM				
PROJECT				
FLOROS BUILDING STATE & PLEASANT STREET PORTSMOUTH				
TITLE				
SITE DETAILS				
DATE AUGUST 2024 SCALE NTS DRAWN BY CBA DESIGNED BY — CHECKED BY JRC PROJECT No. 5010129.3150 SHEET No. C503 REV No. 0				



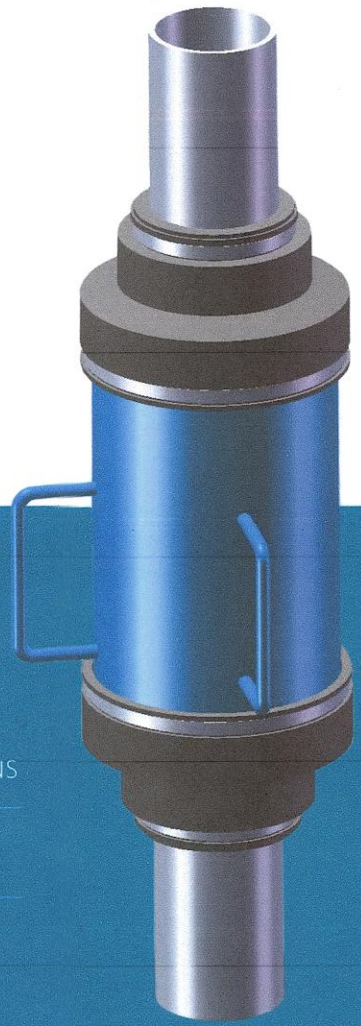
OVERVIEW

The Bio Clean Downspout Filter is the industry's leading solution for treatment of roof runoff. This technology is used to treat commercial and industrial rooftops along with highrise buildings, parking structures, and residential buildings.

Available in 3 sizes, this filter can easily adapt to downspouts 2" to 12" in diameter. The filter comes standard with rubber boots that allow for easy installation to the downspout.

Proven since 2003, the Downspout Filter has been used on hundreds of installations throughout the United States. All internal components are constructed of stainless steel.

The sleek in-line design allows the filter to be used in tight spaces. Approved by the IAPMO, this filter can meet all your needs.



PERFORMANCE

93% REMOVAL OF TSS
87% REMOVAL OF HYDROCARBONS

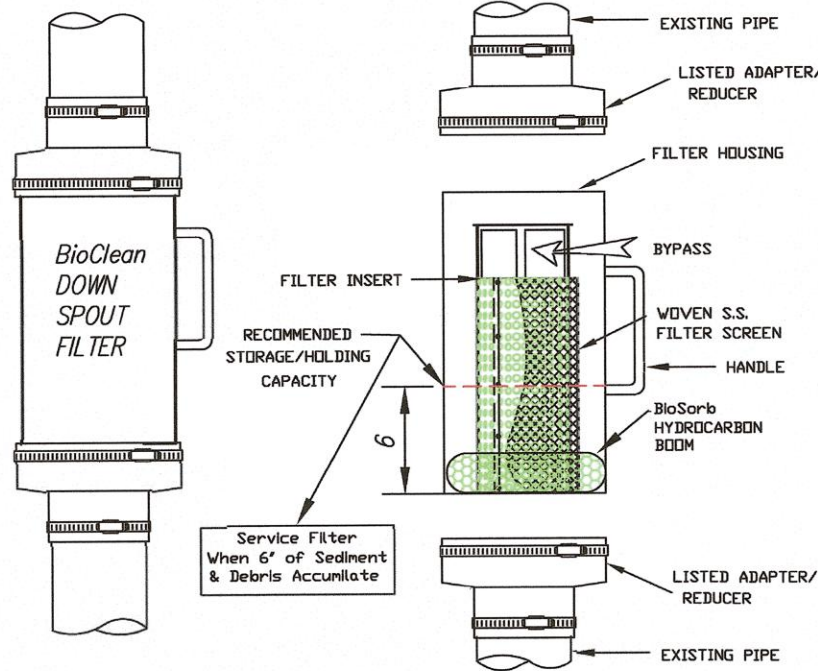
EFFECTIVE AT REMOVING METALS, NUTRIENTS, AND BACTERIA (MEDIA TYPE)

ADVANTAGES

- 1-YEAR WARRANTY
- HIGH TREATMENT FLOW RATE
- NO NETS OR GEOFABRICS
- HIGH BYPASS FLOW RATE
- SLICK IN-LINE DESIGN
- LOW COST

SERVICE MANUAL (Cleaning Procedures)

Bio Clean DOWNSPOUT FILTER Screen Type With Hydrocarbon Boom



TOOLS AND EQUIPMENT NEEDED:

- Medium size flat sored driver
- BioSorb hydrocarbon boom. 25-1/2" X 2" dia. (Call Bio Clean to order)
- Trash container or bag
- Wooden dowel approx. 3' x 1/2" dia.

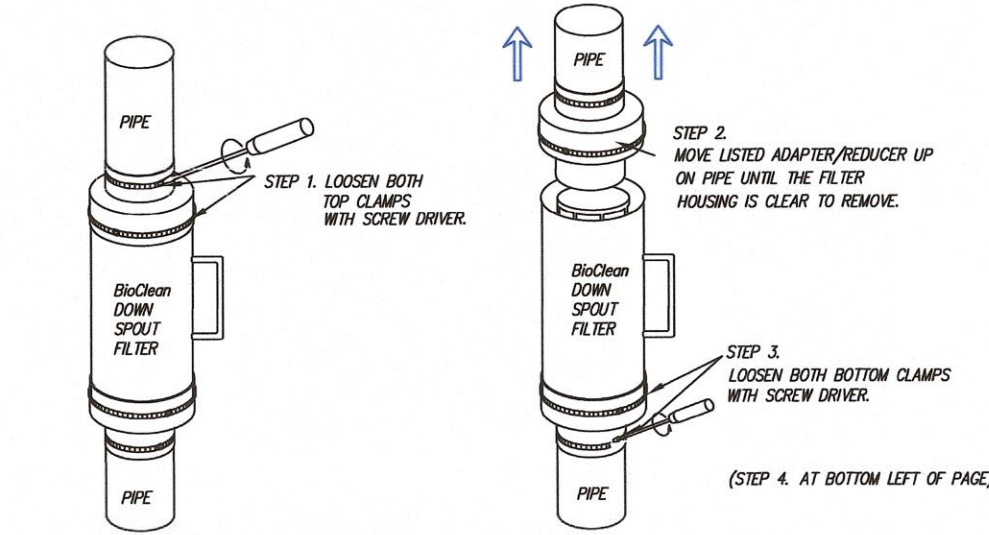
DETAIL OF PARTS

Bio Clean
A Forterra Company

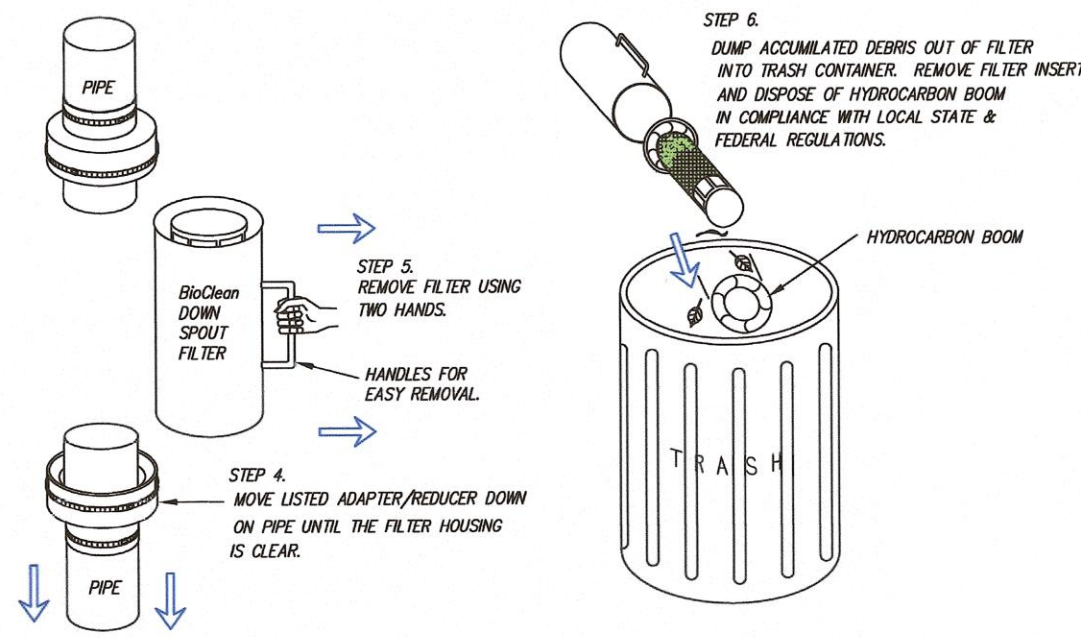
P.O. BOX 888, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net

PAGE 1 OF 5

REMOVING FILTER

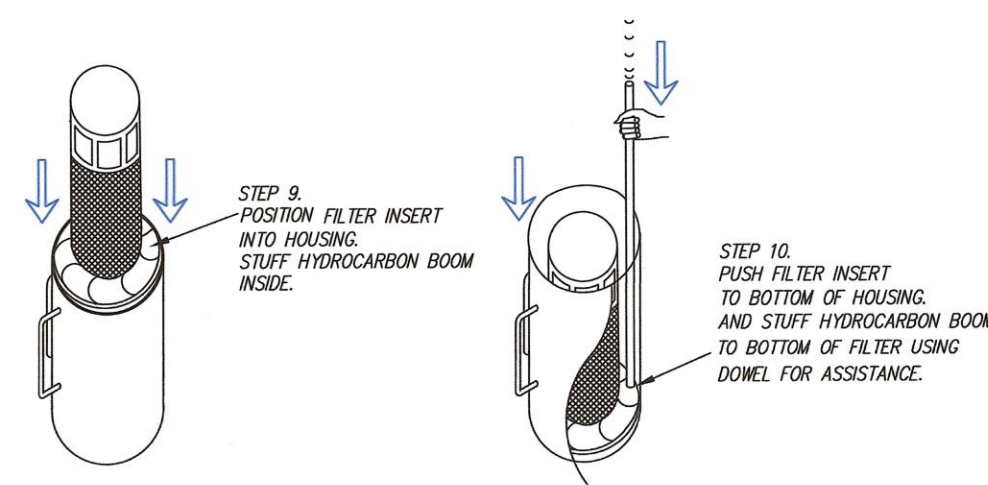


CLEANING FILTER



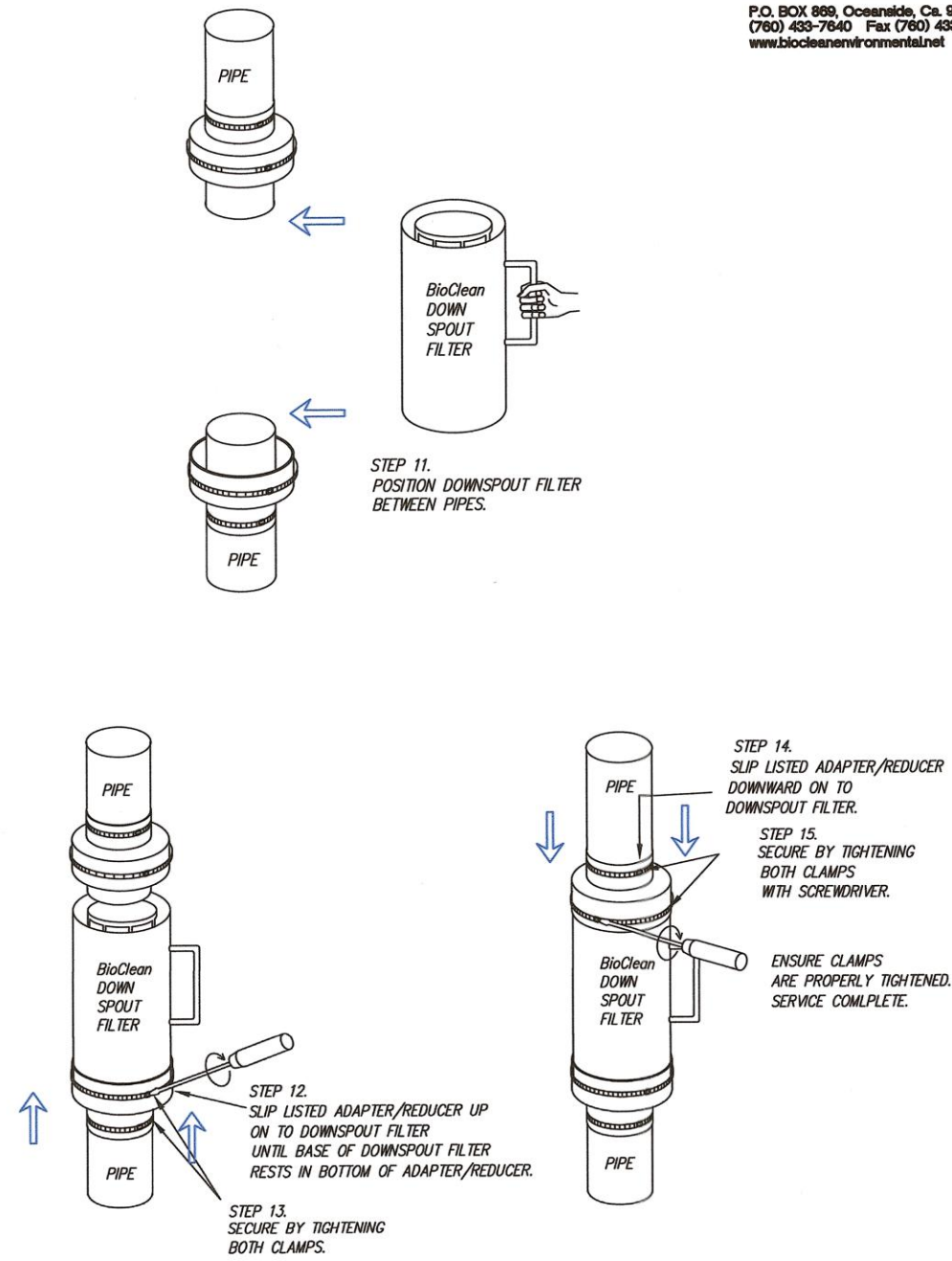
PAGE 2 OF 5

REPLACING FILTER INSERT



PAGE 3 OF 5

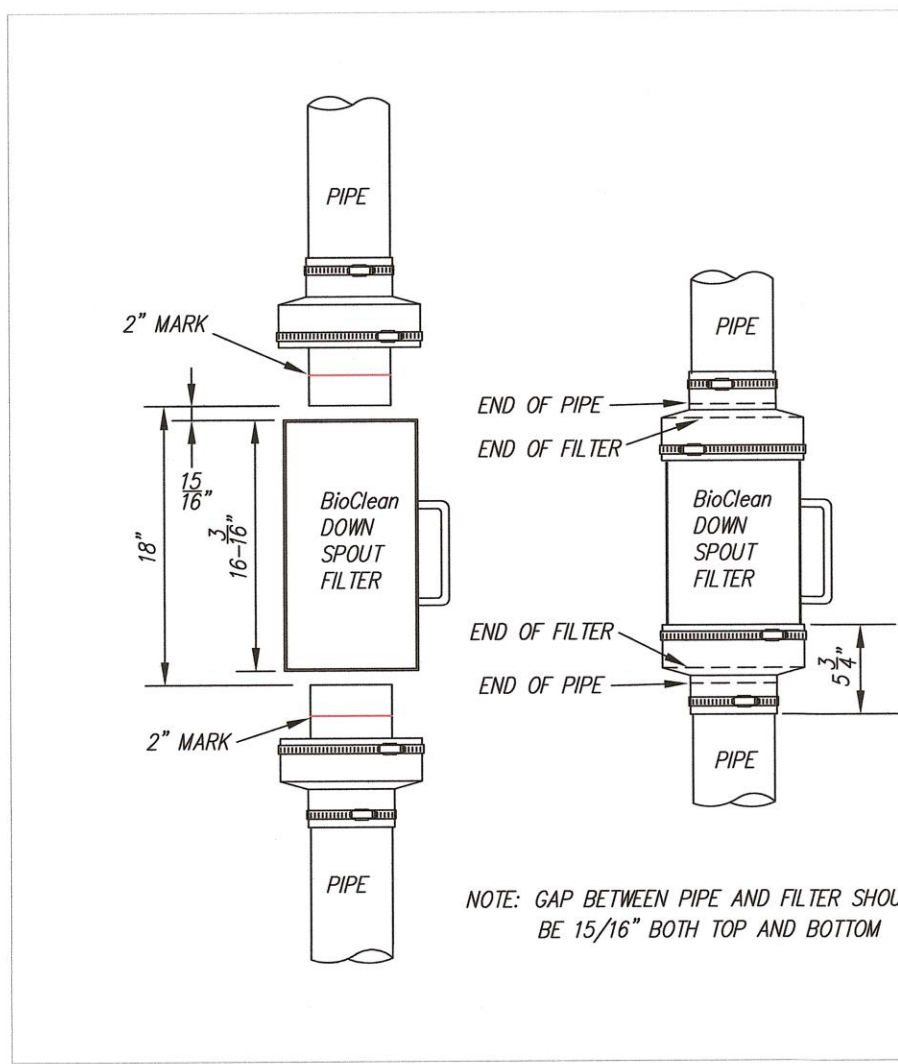
REPLACING FILTER



PAGE 4 OF 5

APPROPRIATE INSTALLATION

FILTER CENTERED BETWEEN PIPES WITH EVEN GAPS ON TOP AND BOTTOM



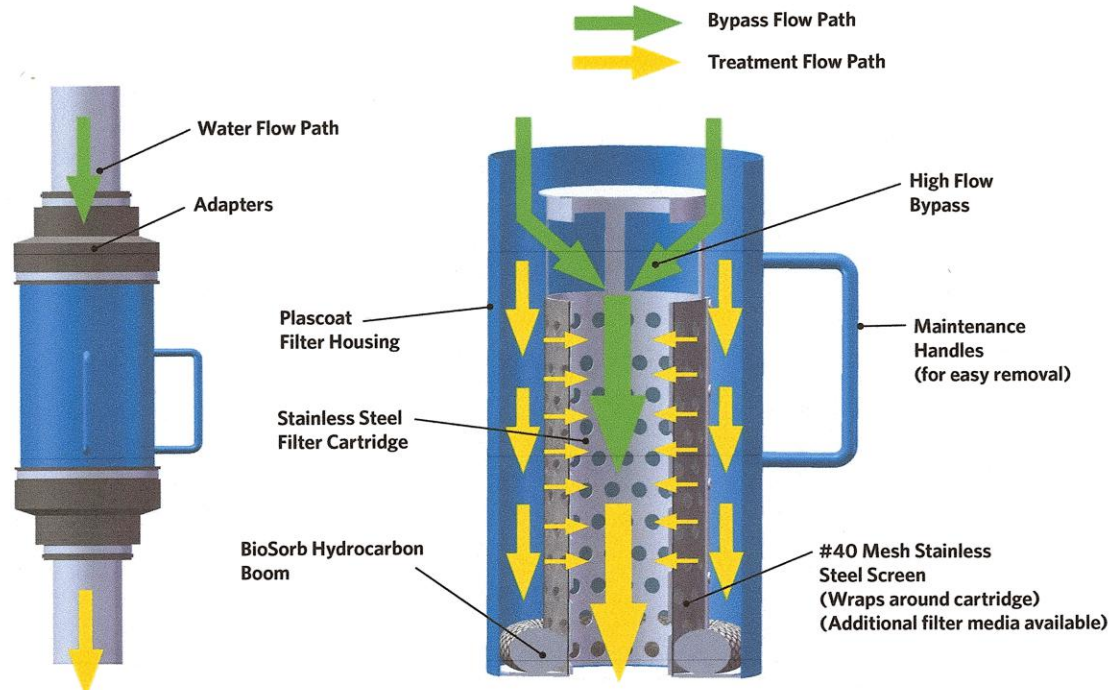
NOTE: GAP BETWEEN PIPE AND FILTER SHOULD BE 15/16" BOTH TOP AND BOTTOM

Bio Clean
A Forterra Company

P.O. BOX 888, Oceanside, Ca. 92049
(760) 433-7640 Fax (760) 433-3176
www.biocleanenvironmental.net

PAGE 5 OF 5

OPERATION



APPROVALS

IAPMO Testing & Approval Listing



SPECIFICATIONS

MODEL #	INLET ID (dia., in.)	FILTER OD (dia., in.)	STORAGE CAP. (cu. ft.)	FILTERED FLOW (gpm)	BYPASS FLOW (gpm)
BC-DF4	4	6.625	0.09	249	566
BC-DF6	6	8.625	0.21	509	1006
BC-DF8	8	8.625	0.21	509	1006
BC-DF10	10	12.75	0.77	1145	2264
BC-DF12	12	12.75	0.77	1145	2264

DOWNSPOUT FILTER

MAINTENANCE:

THE FILTER IS DESIGNED TO ALLOW FOR THE USE OF MANUAL OR VACUUM REMOVAL OF CAPTURED MATERIALS IN THE FILTER STRUCTURE. FILTERS CAN BE CLEANED EASILY BY SIMPLY LOOSENING THE METAL CLAMPS AND REMOVING THE FILTER. THE HYDROCARBON ADSORBENT MEDIA THEN IS REMOVED AND THE TRASH AND DEBRIS CAN BE REMOVED FROM THE STRUCTURE. AT EACH CLEANING, NEW HYDROCARBON ADSORBENT MEDIA SHOULD BE REINSTALLED.

MAINTENANCE NOTES:

- BIO CLEAN ENVIRONMENTAL SERVICES, INC. RECOMMENDS CLEANING AND DEBRIS REMOVAL MAINTENANCE A MINIMUM OF TWO TO FOUR TIMES PER YEAR, AND REPLACEMENT OF MEDIA BOOMS A MINIMUM OF TWICE A YEAR.
- THE DOWNSPOUT FILTER CAN BE CLEANED BY LOOSING THE METAL CLAMPS AT BOTTOM AND TOP OF RUBBER BOOTS. REMOVE THE FILTER BY GRASPING THE HANDLES, SLIDE DOWN THE BOTTOM BOOT OVER THE OUTFLOW PIPE AND SLIDE UP THE TOP BOOT OVER INFLOW PIPE. PLACE THE FILTER ON THE GROUND. DISPOSE OF ANY TRASH AND SEDIMENTS COLLECTED IN FILTER.
- ONCE THE FILTER IS FREE, REMOVE THE INTERIOR INSERT. REMOVE THE HYDROCARBON ADSORBENT MEDIA BY UNWRAPPING IT FROM THE INTERIOR INSERT AND REPLACING WITH A NEW MEDIA, WRAPPING IT THE SAME WAY.
- PLACE THE INTERIOR INSERT BACK INTO THE FILTER.
- PLACE THE FILTER BACK IN LINE WITH THE PIPE AND SLIDE BACK THE TOP AND BOTTOM BOOTS IN PLACE AND TIGHTEN THE METAL CLAMPS SECURELY.
- EVALUATION OF THE HYDROCARBON MEDIA SHALL BE PERFORMED AT EACH CLEANING. IF THE MEDIA IS FILLED WITH HYDROCARBONS AND OILS IT SHOULD BE REPLACED.
- TRANSPORT ALL DEBRIS, TRASH, ORGANICS AND SEDIMENTS TO APPROVED FACILITY FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REQUIREMENTS.
- THE HYDROCARBON MEDIA WITH ABSORBED HYDROCARBONS IS CONSIDERED HAZARDOUS WASTE AND NEEDS TO BE HANDLED AND DISPOSED OF AS HAZARDOUS MATERIAL. PLEASE REFER TO STATE AND LOCAL REGULATIONS FOR THE PROPER DISPOSAL OF USED MOTOR OIL/FILTERS.
- FOLLOWING MAINTENANCE AND/OR INSPECTION, THE MAINTENANCE OPERATOR SHALL PREPARE A MAINTENANCE/INSPECTION RECORD. THE RECORD SHALL INCLUDE ANY MAINTENANCE ACTIVITIES PERFORMED, AMOUNT AND DESCRIPTION OF DEBRIS COLLECTED, AND CONDITION OF FILTER.
- THE OWNER SHALL RETAIN THE MAINTENANCE/INSPECTION RECORD FOR A MINIMUM OF FIVE YEARS FROM THE DATE OF MAINTENANCE. THESE RECORDS SHALL BE MADE AVAILABLE TO THE GOVERNING MUNICIPALITY FOR INSPECTION UPON REQUEST AT ANY TIME.
- ANY TOXIC SUBSTANCE OR ITEM FOUND IN THE FILTER IS CONSIDERED AS HAZARDOUS MATERIAL AND CAN ONLY BE HANDLED BY A CERTIFIED HAZARDOUS WASTE TRAINED PERSON (MINIMUM 24-HOUR HAZWOPER).

REV.	DATE	DESCRIPTION	BY	CHK.
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PERMIT PLANS



HALEY WARD

ENGINEERING | ENVIRONMENTAL | SURVEYING

WWW.HALEYWARD.COM

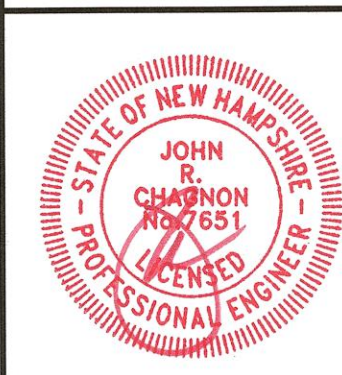
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282

PROJECT

FLOROS BUILDING STATE & PLEASANT STREET PORTSMOUTH

TITLE

SITE DETAILS



DATE	AUGUST 2024	SCALE	NTS
DRAWN BY	CBA	DESIGNED BY	---
CHECKED BY	JRC		
PROJECT NO.	5010129.3150		
SHEET NO.	C505	REV. NO.	0