

FRANCIS X. BRUTON, III
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OF COUNSEL
JAMES H. SCHULTE

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December 23, 2024

VIA HAND DELIVERY

David Rheame, Chair
City of Portsmouth Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth, NH 03801

RE: Application for Special Exception
Owner/Applicant: Treadwell, LLC
Property: 93 Pleasant Street, Portsmouth, NH
Tax Map 107, Lot 74
Case Number: LU-24-216

Dear Chair Rheame:

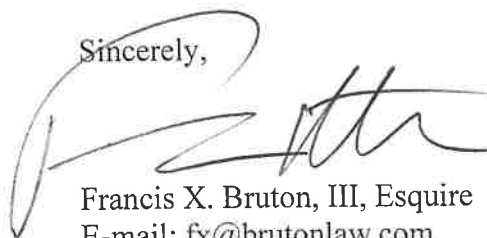
Enclosed please find an application for Special Exception relative to the above referenced property, with one copy of the associated application materials.

Please note that the property subject to this Application has previously been submitted to the City under other Planning Department applications and, as such, the Applicant has not submitted a new application for the relief from the special exception being requested herein, as these requests are associated with the same property.

In addition to the above, we understand, by submitting this application today, that this matter will be placed on the Board's agenda for its meeting of January 22, 2025.

Should there be any questions regarding this application, please do not hesitate to contact us.

Sincerely,



Francis X. Bruton, III, Esquire
E-mail: fx@brutonlaw.com

FXB/mas
Enclosure

cc: Treadwell, LLC

**SPECIAL EXCEPTION NARRATIVE
ARTICLE 10.1113.112**

FOR PROPERTY LOCATED AT:

93 PLEASANT STREET, PORTSMOUTH

BY

TREADWELL, LLC

Treadwell, LLC., owns the property located at 93 Pleasant Street (Map 107 Lot 74). This property is referred to by its historic name, Treadwell Mansion. For the reasons set forth herein, Treadwell, LLC is seeking a special exception, permitted by Article 10.1113.112 of the Portsmouth Zoning Ordinance to permit 5 on-site parking spaces to be located on a separate lot within 300 feet of 93 Pleasant Street.

Treadwell, LLC filed land use permit LU-24-216 on December 4, 2024, to change the use of the proposed property from business office to a 40-room hotel (the “Treadwell Hotel”). Treadwell, LLC also filed building permit application BLDG-24-1059 for the fit-up associated with the 40 rooms.

Treadwell, LLC has actively marketed and advertised the Treadwell Mansion for the last two years for business office use and has had very few showings and no offers. Treadwell, LLC has experienced a profound downward shift in office demand, with significant office vacancies in Portsmouth to fill. Treadwell LLC’s research indicates this downward shift for office space will continue for the foreseeable future.

The existing building permit BLDG-22-451 covers the existing building activity, which includes specifically all exterior work (including all site work) and the building core and shell and complete renovation of the historic Treadwell Mansion. This building permit also covers, through MEP (mechanical, electrical & plumbing) permits, the finishing of the parking level, common lobbies, both stair towers, full-service elevator, HVAC (heating, ventilation and air-conditioning), fire alarms and sprinkler system for the entire building.

Treadwell, LLC believes a 40-room hotel is compliant with the Zoning Ordinance for the use change from business office to hotel, except for parking. Pursuant to Article 10.1115.20, the parking calculation for the hotel use is as follows: 40 hotel rooms @ 0.75/spaces per room – 4 spaces – 1 space for bike credit = 25 parking spaces. There will be no function rooms or food service within the proposed hotel use. There are 20 parking spaces on site, leaving an off-street parking deficiency of 5 parking spaces. Treadwell Hotel will be operated using cloud-based software that downloads access to a guest’s smart phone to access parking and hotel rooms. Treadwell, LLC will have a full-time employee live at the Treadwell Hotel to ensure guests have 24/7 coverage for any problems.

The separate lot being used to satisfy the 5 parking spaces required, is located at 134 Pleasant Street (Map 116 Lot 30) and owned by Double Mc, LLC., and currently leased to Citizens Bank. The membership of Treadwell, LLC is identical to the membership of Double Mc, LLC.

Within the Portsmouth Zoning Ordinance, owners of property are considered the principals, such as members of a limited liability company and the same two individuals own both Treadwell, LLC and Double Mc, LLC.

As depicted on the attached copy of the tax map, the property is well within the 300 foot adjacency requirement.

To memorialize the use of the five spaces at the 134 Pleasant Street property, a license agreement for such use is proposed, such as was used in a similar circumstance for the Inn at Court Street (copy attached).

Special Exception Standards (Per Article 10.232.20)

1) 10.232.21 Standards as provided by this Ordinance for the particular use permitted by special exception:

Article 10.1113.112 permits the grant of a special exception for the provision of required parking on another lot in the same ownership in question and within 300 feet of the property (134 Pleasant Street) of the property line of the lot in question (93 Pleasant Street). As demonstrated above, this requirement is satisfied.

2) 10.232.22 No hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials:

There is no negative aspect to the proposal set forth herein as to potential fire, explosion or release of toxic materials.

3) 10.232.23 No detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials:

The use of five parking spaces at the Citizens property is de minimis, with the Citizens parking lot significantly underutilized and the proximity of the uses are located on the same road in very close proximity and thus will not have any adverse impact on the essential characteristics of any of the area, particularly as the parking area for the Citizens property is surrounded by municipal parking spaces, which is unique within the City. The use of the parking spaces will have no adverse impact on the matters raised in this prong of the inquiry.

4) 10.232.24 No creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity:

As set forth within Item #3, the use of the spaces is de minimis, particularly considering the overall use of the immediate vicinity as a very large municipal parking lot.

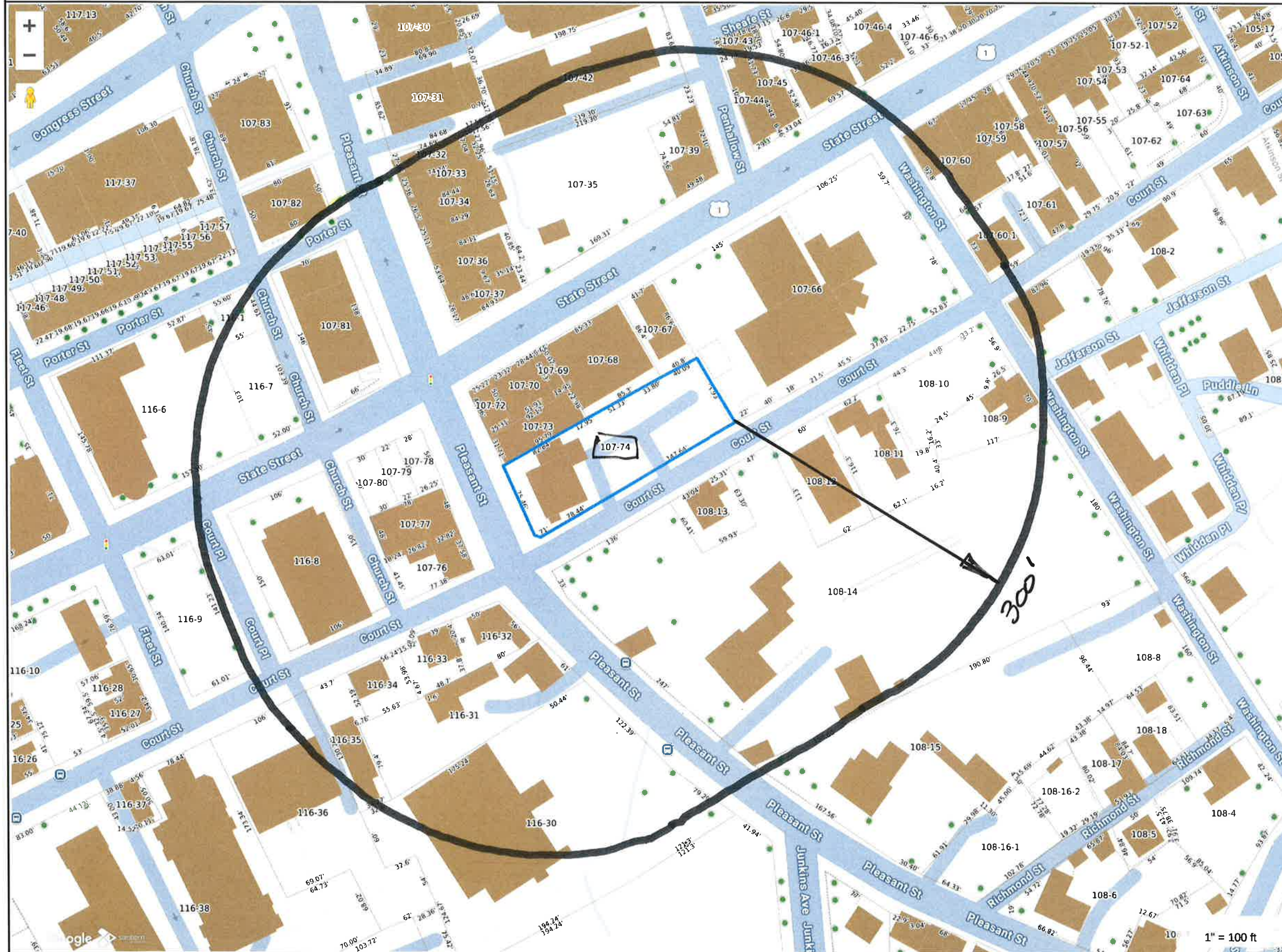
5) 10.232.25 No excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools:

Given the use proposed, there shall be no impact on municipal services, as referenced herein.

6) 10.232.26 No significant increase of stormwater runoff onto adjacent property or streets:

Given the use proposed, and the lack of any change to the parking lot at 134 Pleasant Street, there shall be no impact on stormwater runoff, as referenced herein.

93 Pleasant Location



Property Information
Property ID 0107-0074-0000
Location 93 PLEASANT ST
Owner TREADWELL LLC



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 09/26/2024

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

1" = 100 ft



RECORDING	18.00
SURCHARGE	2.00

PARKING LOT LICENSE AGREEMENT

159 Middle Street, Portsmouth, Rockingham County, NH

September 30, 2022

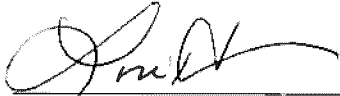
Licensee: Davenport Inn, LLC
c/o 266 Middle Street
Portsmouth NH 03801

PARKING LOT LICENSE AGREEMENT

1. **Licensor.** ASRT, LLC (“Licensor”)
2. **Licensee.** DAVENPORT INN, LLC (collectively the “Licensee”)
c/o 266 Middle Street, Portsmouth NH 03801
3. **Property.** The Licensor’s real property thereon located at 159 Middle Street, Portsmouth New Hampshire, and more particularly described in a deed recorded in the Rockingham County Registry of Deeds at Book 5943 Page 1363, which shall be referred to hereinafter as the “Property”.
4. **Purpose and Terms.** To permit the Licensee and Licensee’s guests and invitees (collectively “Licensee Permittees”) to use Licensor’s parking lot located on the Property, for up to 3 parking spaces. The intent of this license is to enable the Licensee Permittees to park vehicles at the Property while guests at the Davenport Inn located at 70 Court Street.
5. **Grant.** Licensor grants Licensee Permittees a non revocable, royalty free license to the right to use of the Licensor’s parking lot located on the Property, for up to 3 parking spaces for the stated Purpose, which will be marked with exclusive right to park signs, with exclusive right to such 3 parking spaces, and a non-exclusive right to access the same by vehicle across the Property, subject further to such other terms and conditions as are set forth in this License):
 - a. The Licensor shall not be responsible for any loss, injury, or damage to persons or property in or about the Property relating directly or indirectly to this License, except to the extent caused by Licensor’s negligence or willful misconduct. The Licensee, on its behalf and on behalf of all those claiming by, through or under Licensee, hereby remises, discharges, and releases forever the Licensor, its successors and assigns, and agents from any and all actions, causes of actions, demands, damages, costs, debts, and other claims, in law or in equity, which the Licensee and said parties hereafter can, shall or may have against the Licensor, its assigns, and agents on account of or in any way arising out of, directly or indirectly, loss of life, personal injuries, and/or damage to real or personal property and equipment or any other loss, on account of or in any way arising from any act or omission of or by the Licensee in or upon the Property, or in any way connected to this License, except to the extent caused by the negligence or willful misconduct of Licensor or any of the other parties released hereby.
 - b. Licensee hereby covenants to indemnify and hold harmless the Licensor, its assigns, agents, or representatives of and from any and all actions, causes of action, claims, demands, damages, costs, debts, fees and expenses, including reasonable attorney's fees, that the Licensor may have to pay in connection with the loss of life, personal injury, and/or damage to real or personal property or equipment arising, directly or indirectly, from any negligent act or omission by the Licensee and/or all those claiming by, through or under Licensee while in or upon the Property pursuant to this License, however, the Licensee’s obligations to indemnify shall not exceed the amount of insurance coverage carried by the Licensee.
 - c. The Licensee shall use the Property only in full accordance and compliance with all applicable laws, regulations and ordinances, and to otherwise use the Property in a safe and reasonable manner at all times.

6. **Miscellaneous.** This License constitutes the entire agreement between the parties as to the subject matter contained herein. Any modification and amendment to this License must be in writing and signed by the parties. This License shall be governed by the laws of the State of New Hampshire.

The parties hereto accept this License pursuant to its terms and conditions set forth herein as of this 30 day of September 2022.




Witness

LICENSOR:
ASRT, LLC

By: 

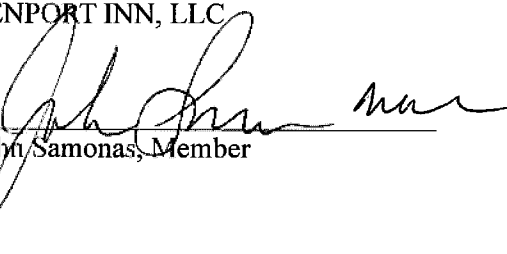
John Samonas, Member

LICENSEE HEREBY ACCEPTS THIS LICENSE PURSUANT TO THE TERMS AND CONDITIONS SET FORTH HEREIN.



Witness

LICENSEE:
DAVENPORT INN, LLC

By: 

John Samonas, Member

FRANCIS X. BRUTON, III
CATHERINE A. BERUBE
JOSHUA P. LANZETTA

OF COUNSEL
JAMES H. SCHULTE

Bruton & Berube, PLLC

ATTORNEYS AT LAW

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Dover, NH 03820

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FAX (603) 343-2986

www.brutonlaw.com

January 9, 2025

Phyllis Eldridge, Chair
City of Portsmouth Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth, NH 03801


RE: Application for Special Exception
Owner/Applicant: Treadwell, LLC
Property: 93 Pleasant Street, Portsmouth, NH
Tax Map 107, Lot 74
Case Number: LU-24-216

Dear Chair Eldridge:

For the purposes of the above referenced land use case, please accept this correspondence as confirmation that we are familiar with the corporate structure and records of both Double Mc, LLC and Treadwell, LLC. It is our legal opinion that the owners are identical for both entities, with identical interests in each entity.

Should there be any further questions, please do not hesitate to contact us.

Sincerely,



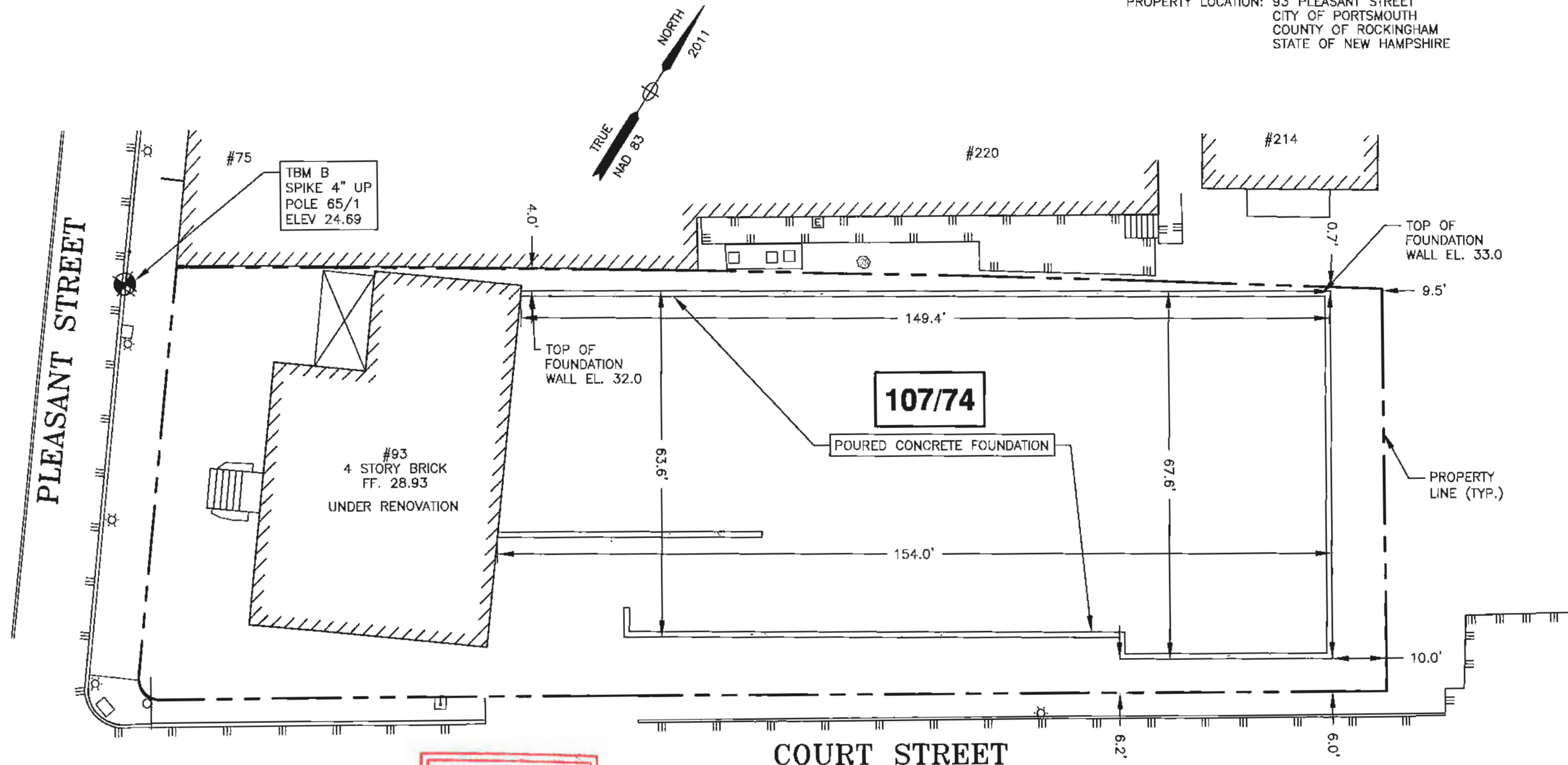
Francis X. Bruton, III, Esquire
E-mail: fx@brutonlaw.com

FXB/mas

cc: Treadwell, LLC
Double Mc, LLC

AS-BUILT FOUNDATION PLAN

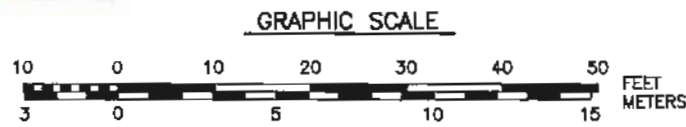
OWNER: TREADWELL LLC
 PROPERTY LOCATION: 93 PLEASANT STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE



P:\N\5010121-Dagpry_Teggart.LLC\3059\01-Pleasant St., Portsmouth-JRC\3059\2020 Site Plan\Plans & Specs\Site\3059 Construction 2021.dwg, AS-BUILT FOUNDATION, 1/11/2024 10:29:45 AM

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

[Signature]
 JOHN R. CHAGNON, LLS
 DATE: 1.10.24



DEED REFERENCE: 6470/138
 PLAN REFERENCE: D-17511

SCALE: 1" = 20" 10 JANUARY 2024

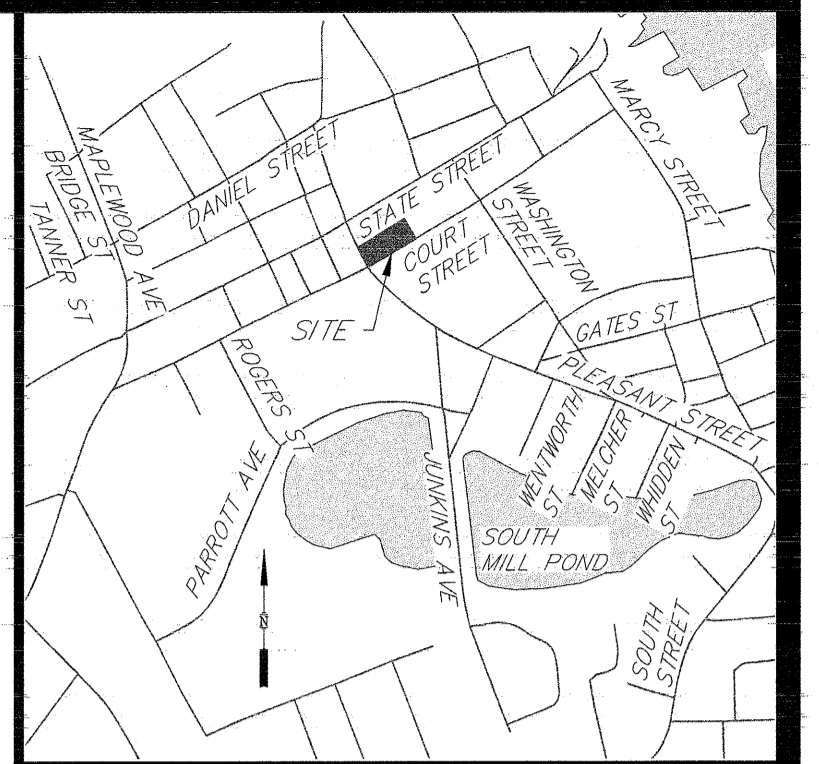
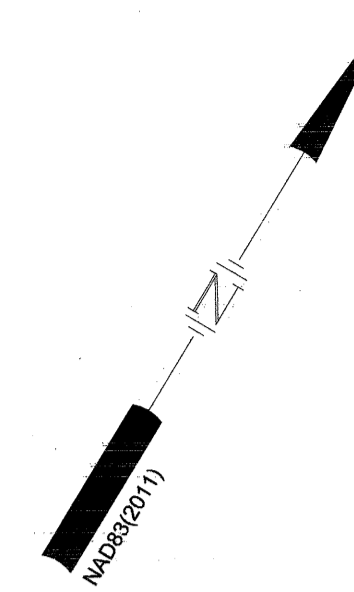


WWW.HALEYWARD.COM
 200 Griffin Road, Unit 3
 Portsmouth, NH 03801
 603.430.9282

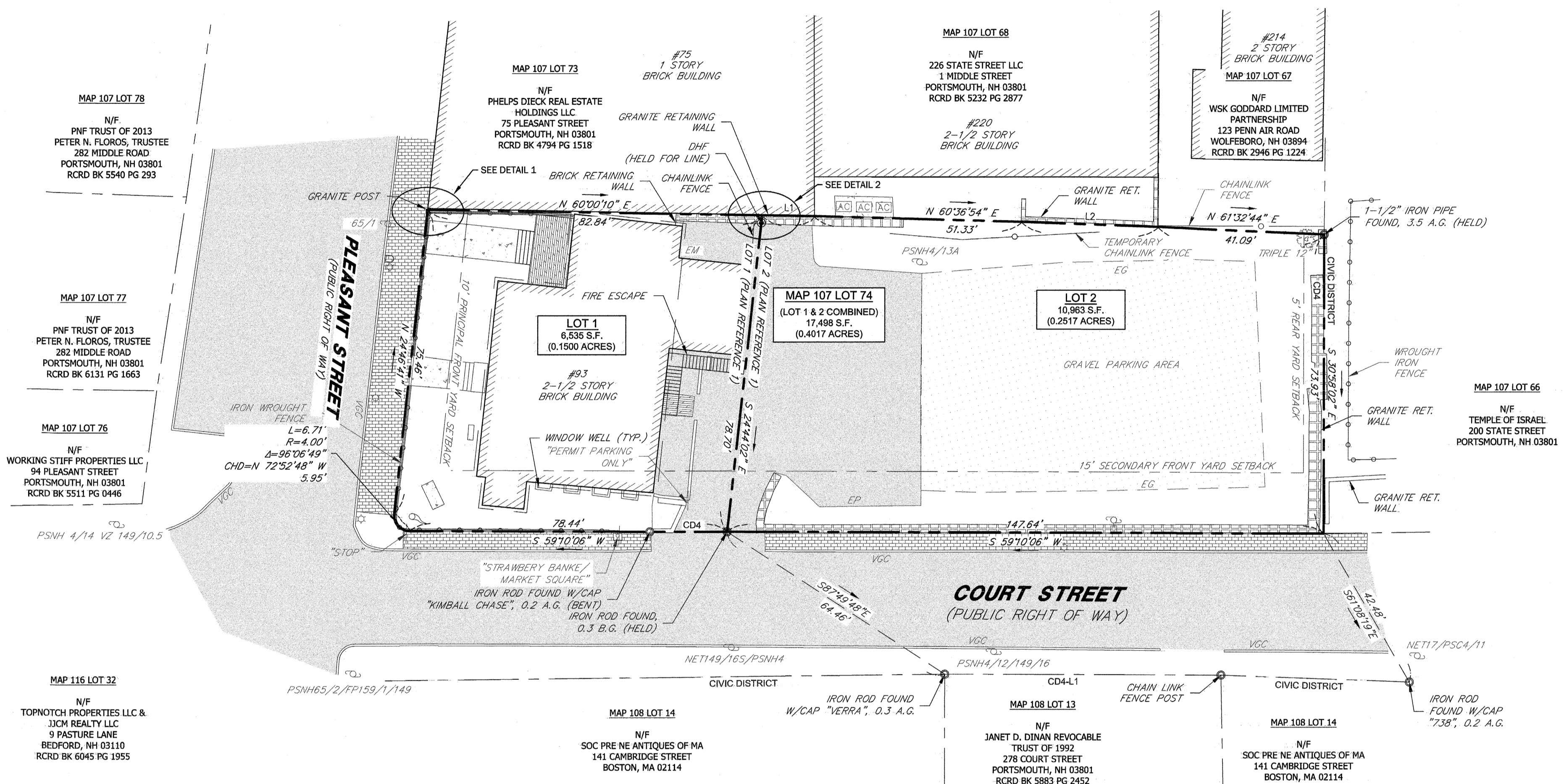
LEGEND:

- MAP 137 LOT 11**
- A CENTRAL ANGLE
 - A.G. ABOVE GRADE
 - B.G. BELOW GRADE
 - BK PG BOOK / PAGE
 - CHD CHORD
 - CD4 CHARACTER DISTRICT 4
 - CD4-L1 CHARACTER DISTRICT 4 - LIMITED 1
 - EG EDGE OF GRAVEL
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - DHF DRILL HOLE FOUND
 - L LENGTH
 - N/F NOW OR FORMERLY
 - NET NEW ENGLAND TELEPHONE
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - R RADIUS
 - PSNH PUBLIC SERVICE OF NEW HAMPSHIRE
 - S.F. SQUARE FEET
 - RET. RETAINING
 - TYP. TYPICAL
 - VGC VERTICAL GRANITE CURB
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - WALBOX
 - AIR CONDITIONER
 - LIGHT POLE
 - UTILITY POLE
 - FLAG POLE
 - DECIDUOUS TREE
 - SIGN
 - CHAINLINK FENCE
 - WROUGHT IRON FENCE
 - BOUNDARY LINE
 - SETBACK LINE
 - CONCRETE
 - PAVEMENT
 - BRICK
 - WOODEN DECK
 - GRANITE BLOCK RETAINING WALL
 - GRAVEL PARKING AREA

LINE	BEARING	DISTANCE
L1	N 60°00'10" E	12.95'
L2	N 61°05'47" E	33.80'



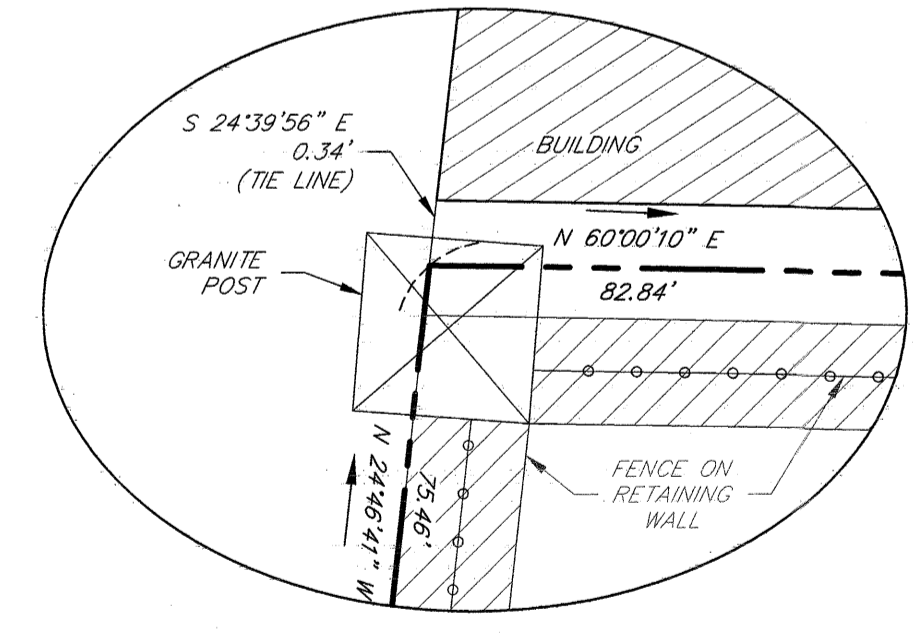
LOCATION PLAN



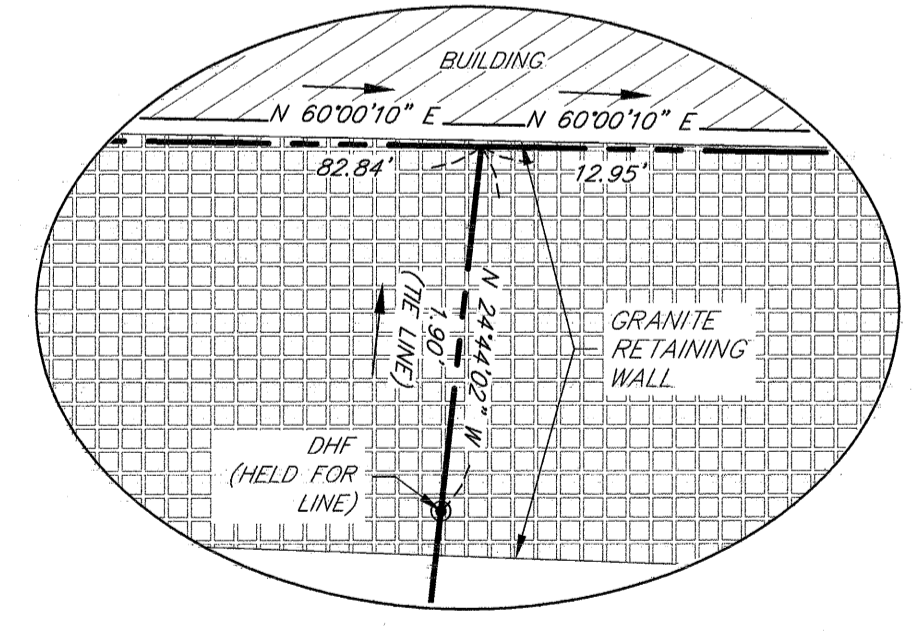
NOTES:

- THE PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) & THE DOWNTOWN & HISTORIC OVERLAY DISTRICTS.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.
- THE PARCEL IS LOCATED IN ZONE "X" AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, VERSION NUMBER 2.3.2.1, MAP NUMBER 33015C0259F, MAP REVISED JANUARY 29, 2021.
- DIMENSIONAL REQUIREMENTS:**

REQUIRED:	REQUIRED:
BUILDING PLACEMENT - PRINCIPAL BUILDING:	
MAXIMUM PRINCIPAL FRONT YARD:	10'
MAXIMUM SECONDARY FRONT YARD:	15'
SIDE YARD:	NR
MINIMUM REAR YARD:	5'
MINIMUM FRONT LOT LINE BUILDOUT:	50%
BUILDING AND LOT OCCUPATION:	
MAXIMUM BUILDING COVERAGE:	90%
MAXIMUM BUILDING FOOTPRINT:	15,000 S.F./30,000 S.F.*
MINIMUM LOT AREA:	NR
MINIMUM OPEN SPACE:	NR
MAXIMUM GROUND FLOOD GFA PER USE:	10%
BUILDING FORM - PRINCIPAL BUILDING:	
BUILDING HEIGHT:	2 STORIES & SHORT 3RD STORY/35'
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36"
MINIMUM GROUND STORY HEIGHT:	12'
MINIMUM SECOND STORY HEIGHT:	10'
BUILDING PLACEMENT - OUTBUILDING:	
MINIMUM FRONT YARD:	20' BEHIND A FACADE OF A PRINCIPAL BUILDING
MINIMUM SIDE YARD:	0'
MINIMUM REAR YARD:	3'
NR = NO REQUIREMENT	
- OWNER OF RECORD:
MAP 107 LOT 74:
DAGNY TAGGART, LLC
30 PENHOLLOW STREET, SUITE 300
PORTSMOUTH, NH 03801
RCRD BK #6162 PG.#0074 (SECOND PARCEL)
- PARCEL AREA:
MAP 107 LOT 74:
17,498 S.F.
(0.4017 ACRES)
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND MAJOR SITE FEATURES OF MAP 107 LOT 74.
- FIELD SURVEY COMPLETED BY T.C.E. IN JANUARY 2020 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
- HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.



DETAIL 1
1"=1'



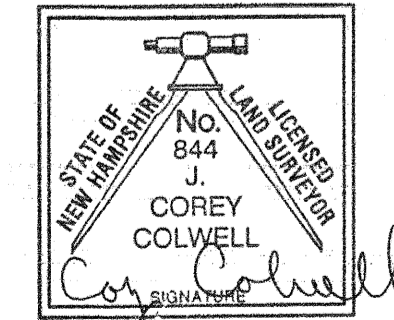
DETAIL 2
1"=1'

PLAN REFERENCES:

- "SUBDIVISION OF LAND/ 93 PLEASANT ST. PORTSMOUTH, NEW HAMPSHIRE FOR BREWSTER INN PARTNERSHIP" BY KIMBALL CHASE COMPANY, INC. DATED 10-26-1987 WITH REVISION DATE 1-5-1988. RCRD PLAN D-17511.
- "SUBDIVISION OF LAND PORTSMOUTH, N.H. TRADER'S BLOCK TRUST JOSEPH G. SAWTELLE, JR., TR." BY JOHN W. DURGIN CIVIL ENGINEERS, DATED DECEMBER 1977. RCRD PLAN C-7497.
- "SUBDIVISION OF LAND PORTSMOUTH, N.H. TRADER'S BLOCK TRUST JOSEPH G. SAWTELLE, JR., TR." BY JOHN W. DURGIN CIVIL ENGINEERS, DATED MARCH 1977 LAST REVISED APRIL 12, 1977. RCRD PLAN C-6815.
- "BOUNDARY LINE CONFIRMATION BETWEEN T. & M. LAURIE & STRAWBERRY BANK INC. PORTSMOUTH, N.H." BY M.E. JENKINS, DATED APRIL 1989. RCRD PLAN C-19507.
- "PLAN OF LAND 278 COURT STREET PORTSMOUTH, NEW HAMPSHIRE FOR STRAWBERRY BANKE, INC." BY JAMES VERRA AND ASSOCIATES, INC., DATED 10-29-2009. RCRD PLAN D-36475.
- "220-226 STATE STREET CONDOMINIUMS AMENDED SITE PLAN FOR PROPERTY AT 220-226 STATE STREET PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE OWNED BY 226 STATE STREET LLC" BY NORTH EASTERLY SURVEYING, INC. DATED 10-24-2012. RCRD PLACE D-37475.

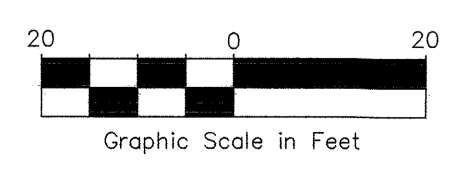
PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II AND III AND 672:14:
I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JANUARY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



LICENSED LAND SURVEYOR

DATE
02-24-2021



REV.	DATE	DESCRIPTION	DR	CK

**TAX MAP 107 LOT 74
STANDARD BOUNDARY SURVEY**

**93 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
DAGNY TAGGART, LLC**

SCALE: 1" = 20' (22x34)
1" = 40' (11x17)

FEBRUARY 23, 2021

Seacoast Division



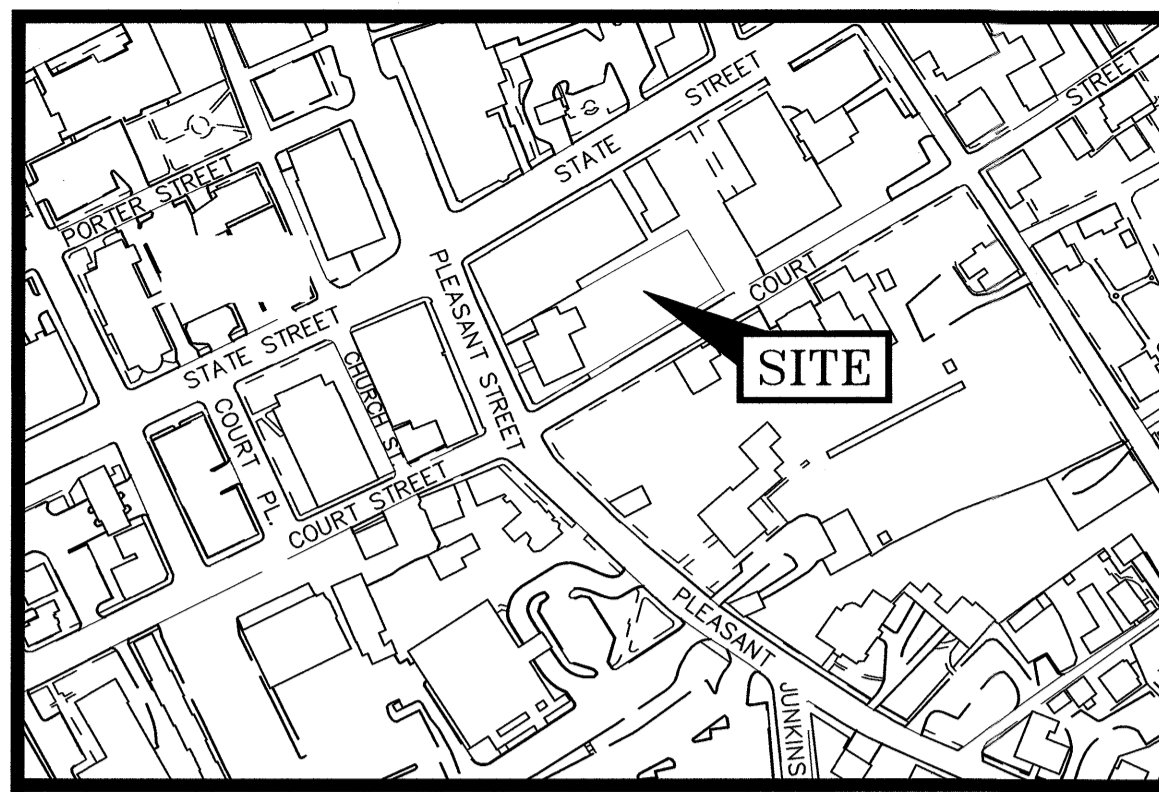
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

F.I.C.	47230-21	DR	ID	FB

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48 Constitution Drive, Bedford, N.H. 03110
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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.





LOCATION MAP SCALE: 1" = 200'

PLAN REFERENCES:

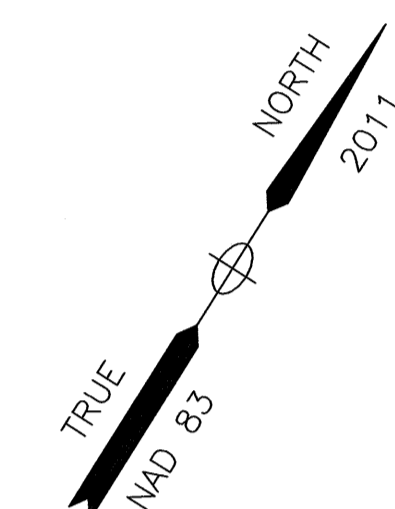
- 1) BOUNDARY SURVEY PLAN BY T.F.MORAN/MSC.

SEWER STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
SMH 5367	22.34	15.75	SMH 5368
6" PVC	L = 191', SLOPE = 0.016 ft./ft.		
SMH 5330	23.20	15.85	SMH 6101
8" PVC	L = 29', SLOPE = 0.024 ft./ft.		
SMH 6101	23.35	17.89 (E)	SMH 6102
		15.10 (W)	
		15.05 (OUT)	
8" PVC	L = 41', SLOPE = 0.019 ft./ft.		
SMH 6102	22.78	14.23	SMH 893

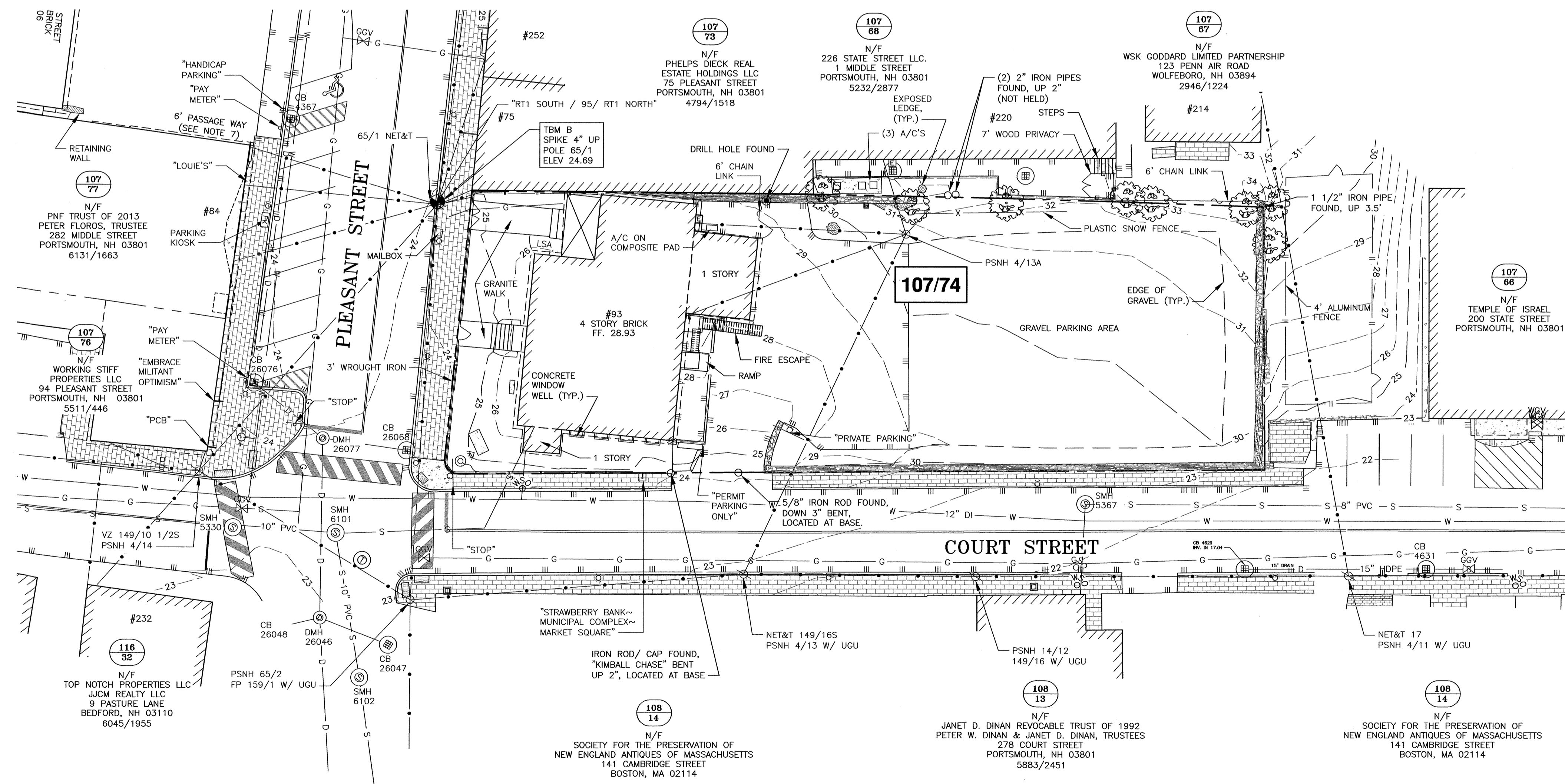
DRAINAGE STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
CB 4367	23.98	N/A	CB 26076
8" HDPE	L = 75', SLOPE = 0.013 ft./ft.		
CB 26076	23.77	20.82	DMH 26077
12" HDPE	L = 25', SLOPE = 0.005 ft./ft.		
CB 26068	23.35	N/A	DMH 26077
12" HDPE	L = 24', SLOPE = 0.046 ft./ft.		
CB 26047	22.79	N/A	DMH 26046
8" HDPE	L = 21', SLOPE = 0.010 ft./ft.		
DMH 26077	23.95	20.80 (E)	DMH 26046
		20.72 (W)	
		20.70 (OUT)	
12" HDPE	L = 50', SLOPE = 0.048 ft./ft.		
DMH 26046	22.90	19.70 (N)	DMH 26050
		18.48 (E)	
		18.40 (W)	
		18.30 (OUT)	
12" HDPE	L = 51', SLOPE = 0.016 ft./ft.		
CB 4629	21.19	N/A	CB 4631
15" HDPE	L = 51', SLOPE = 0.016 ft./ft.		
CB 4631	20.85	16.10	CB 4632
		16.10	
15" HDPE	L = 51', SLOPE = 0.016 ft./ft.		



LEGEND

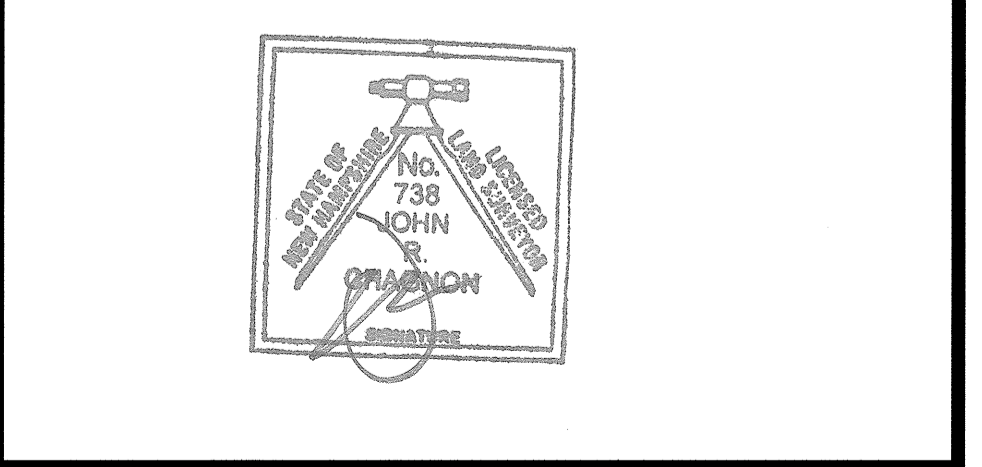
- | EXISTING | DESCRIPTION |
|------------|---------------------------------------|
| (124/21) | MAP 124 / LOT 21 |
| N/F | NOW OR FORMERLY |
| RP | RECORD OF PROBATE |
| RCRD | ROCKINGHAM COUNTY REGISTRY OF DEEDS |
| --- | BOUNDARY LINE |
| --- | SETBACK LINE |
| RR SPK FND | RAILROAD SPIKE FOUND |
| IR FND | IRON ROD FOUND |
| IP FND | IRON PIPE FOUND |
| DH FND | DRILL HOLE FOUND |
| BND w/ DH | BOUND w/ DRILL HOLE |
| FM | FORCE MAIN |
| S | SEWER LINE |
| G | GAS LINE |
| D | STORM DRAIN |
| W | POTABLE WATER LINE |
| --- | UNDERGROUND ELECTRIC |
| --- | OVERHEAD WIRES |
| 100 | CONTOUR LINE |
| 97x3 | SPOT ELEVATION |
| --- | EDGE OF PAVEMENT |
| --- | WOODS / TREE LINE |
| U | UTILITY POLE (w/ GUY) (w/ LIGHT) |
| L | LIGHT POLE |
| S | SHUTOFF/CURB STOP (WATER, GAS, SEWER) |
| G | GATE VALVE |
| H | HYDRANT |
| CB | CATCH BASIN |
| TM | TELEPHONE MANHOLE |
| SM | SEWER MANHOLE |
| DM | DRAIN MANHOLE |
| FF | FINISHED FLOOR |
| INV. | INVERT |
| TBM | TEMPORARY BENCHMARK |
| TYP. | TYPICAL |



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.
 - 2) OWNERS OF RECORD:
DAGNY TAGGART LLC
3 PLEASANT STREET SUITE 400
PORTSMOUTH, NH 03801
6162/74
D-17511
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
17,498 S.F.
0.4017 ACRES
 - 5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4), THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC OVERLAY DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ZONING ORDINANCE.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.
 - 8) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').
 - 9) SITE BOUNDARY PER PLAN REFERENCE 1.

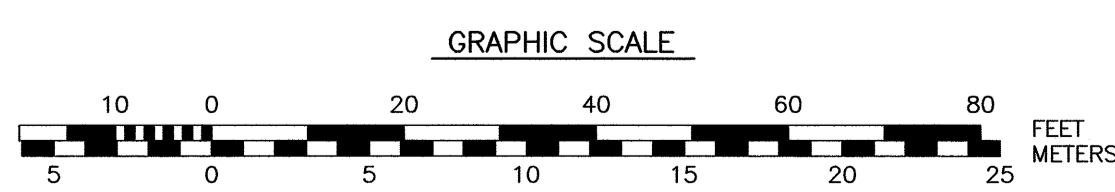
**COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	BUILDING HEIGHTS	6/18/21
1	ISSUED FOR APPROVAL	4/2/21
0	ISSUED FOR COMMENT	12/17/20



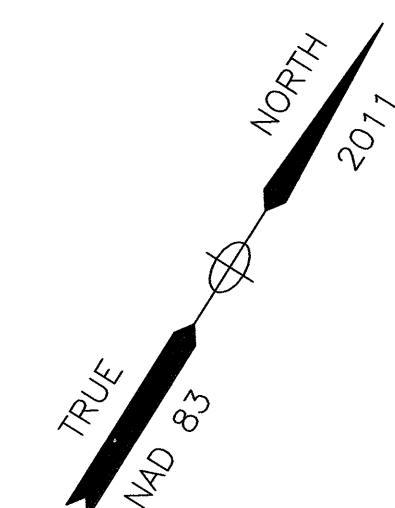
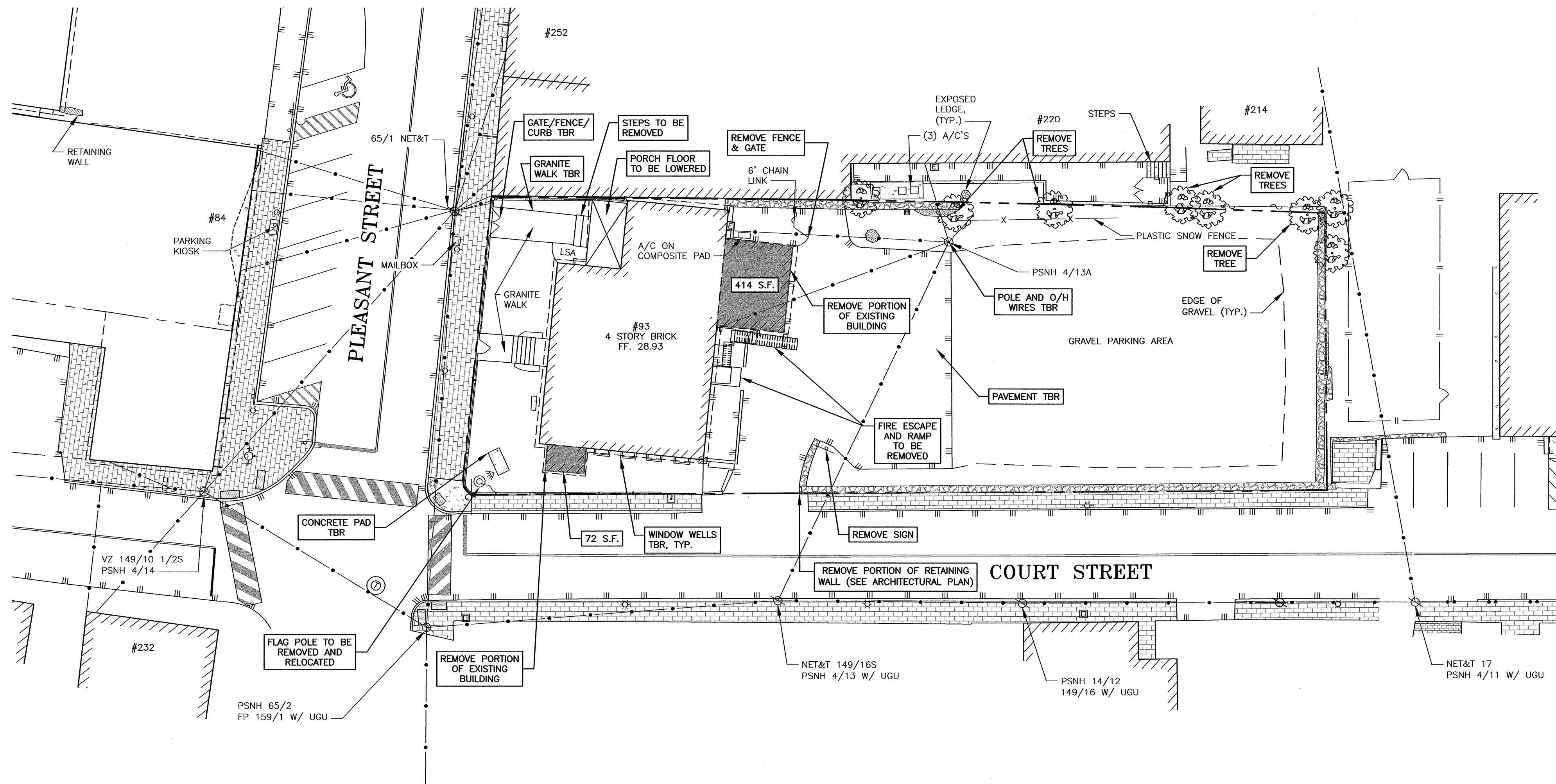
SCALE: 1" = 20' DECEMBER 2020

EXISTING CONDITIONS PLAN **C1**



DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS

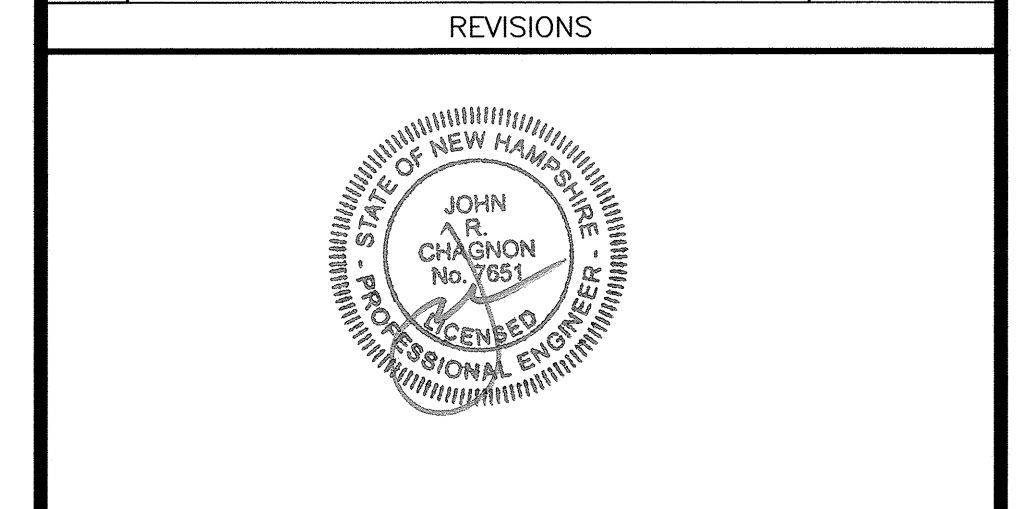


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- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

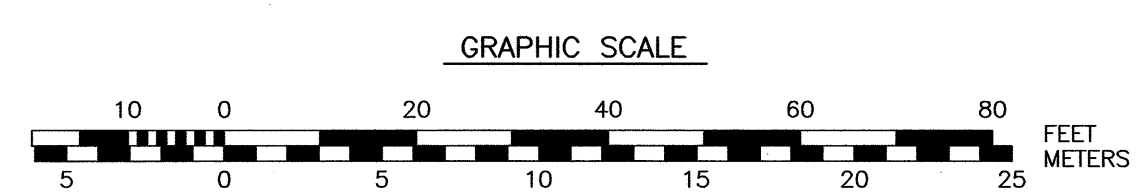
**COMMERCIAL DEVELOPMENT
 93 PLEASANT STREET
 PORTSMOUTH, N.H.**

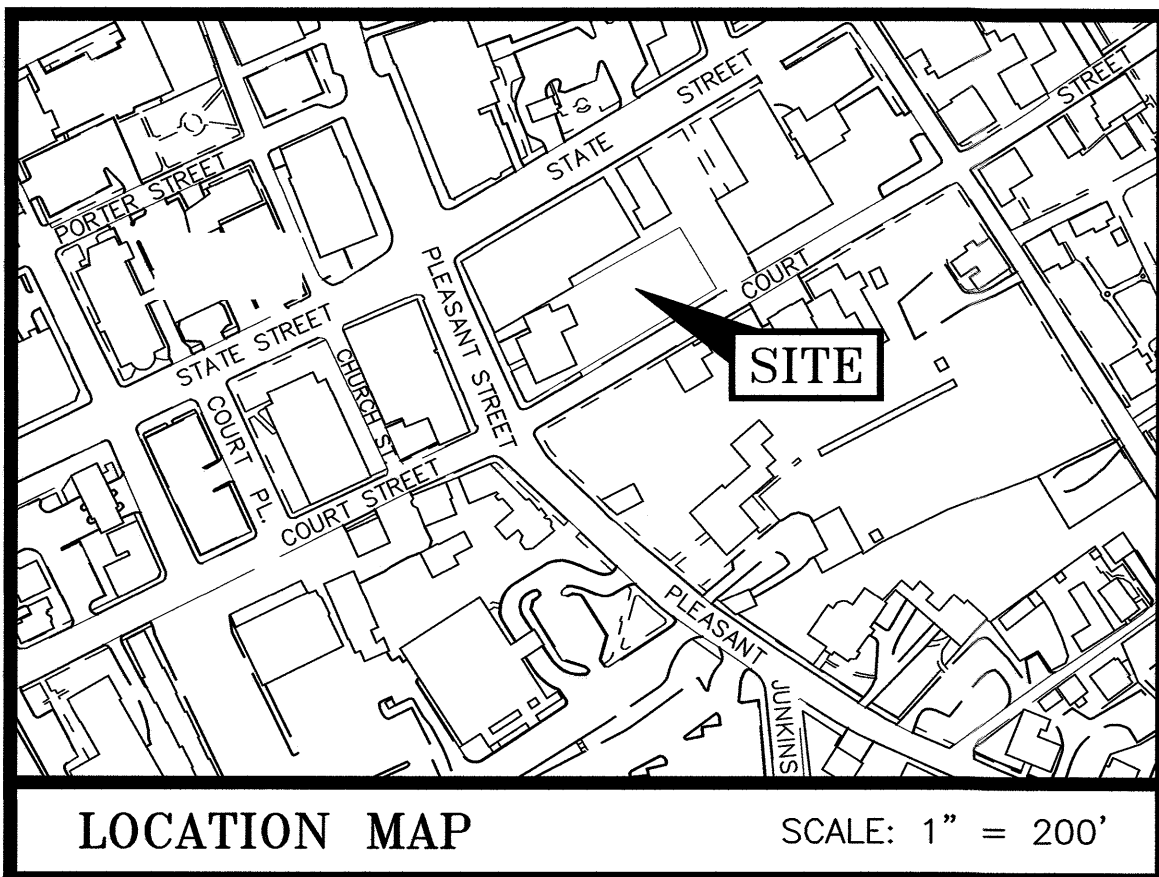
4	STEPS	5/4/22
3	WALL TBR	11/22/21
2	SUBMIT FOR TAC	9/20/21
1	SUBMIT FOR 93 ONLY	6/18/21
0	ISSUED FOR COMMENT	4/2/21
NO.	DESCRIPTION	DATE



SCALE: 1" = 20' DECEMBER 2020

DEMOLITION PLAN **C2**





LOCATION MAP

SCALE: 1" = 200'

BUILDING DATA:

PROPOSED BUILDING:
8,116 S.F. FOOTPRINT
OFFICE SPACE
1 LEVEL OF PARKING

ZONING DEVELOPMENT STANDARD

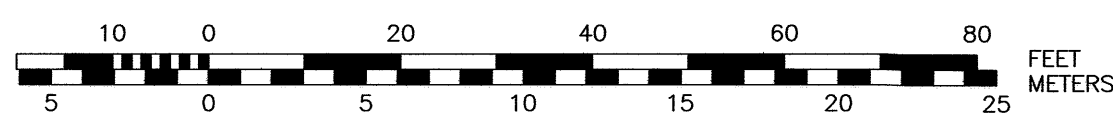
CD4: CHARACTER DISTRICT 4					
BUILDING PLACEMENT (PRINCIPAL):					
	REQUIRED	EXISTING	PROPOSED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	10 FEET	19.2'	NC	NA	NA
MAX. SECONDARY FRONT YARD:	15 FEET	9.0'	-	-	30.8'
MIN. SIDE YARD:	NR	0.6'	NC	-	-
MIN. REAR YARD:	5 FEET	158.8'	-	-	9.6'
FRONT LOT LINE BUILDOUT:	50% MIN	85%	85%	-	-

BUILDING TYPES:					
ALLOWED BUILDING TYPES: APARTMENT, LIVE/WORK.					
PROHIBITED: HOUSE & DUPLEX					
ALLOWED FACADE TYPE: STOOP, STEP, SHOPFRONT, OFFICEFRONT, RECESSED-ENTRY, TERRACE WITH STEP AND DOORYARD.					
PROHIBITED: PORCH & FORECOURT					
BUILDING FORM:					
	REQUIRED	EXISTING	PROPOSED	EXISTING	PROPOSED
MAX. STRUCTURE HEIGHT:	35 FEET	35'-9"	NC	-	32'-5"
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	54"	NC	-	VARIABLE BETWEEN 24" TO 60" AT UPPER GROUND LEVEL. LOWER GROUND LEVEL IS 60" BELOW GRADE.
MIN. GROUND STORY HEIGHT:	12 FEET	11'-6"	NC	-	10'-8"
MIN. SECOND STORY HEIGHT:	10 FEET	10'-8"	NC	-	10'-8"
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP	-	NC	-	20-50% OTHER
ROOF TYPE ALLOWED: FLAT, GABLE, HIP					
LOT OCCUPATION:					
	REQUIRED	EXISTING	PROPOSED	EXISTING	PROPOSED
MAX. BUILDING BLOCK:	200 FEET	65'	-	-	199'-6"
MAX. FACADE MOD. LENGTH:	80 FEET	40'	NC	-	75'-4"
MIN. ENTRANCE SPACING:	50 FEET	-	-	-	75'
MAX. BUILDING COVERAGE:	90%	19%	-	-	61%
MAX. BUILDING FOOTPRINT:	15,000 SF	2,625 S.F.	-	-	*10,741 S.F.
MIN. LOT AREA:	NR	17,498 S.F.	-	-	NC
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	-	-	-	-
MIN. OPEN SPACE :	10%	14%	-	-	26.1%

NC = NO CHANGE
NA = NOT APPLICABLE
* WITH BASEMENT 12,211 S.F.

LEVEL	TOTAL GROSS AREA	GARAGE/SUPPORT	OFFICE
3	9,834	0	9,834
2	10,714	0	10,714
1	10,308	0	10,308
B	11,854	8,444	3,410
TOTAL	42,710	8,444	34,266

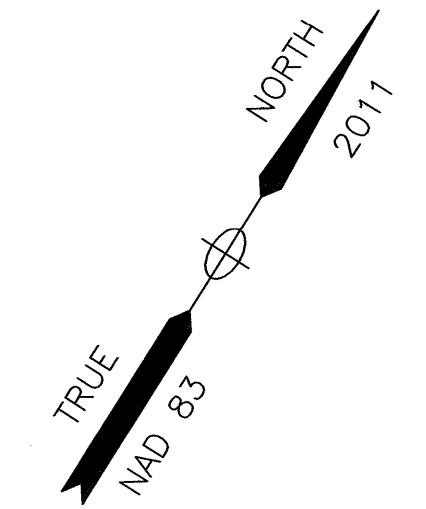
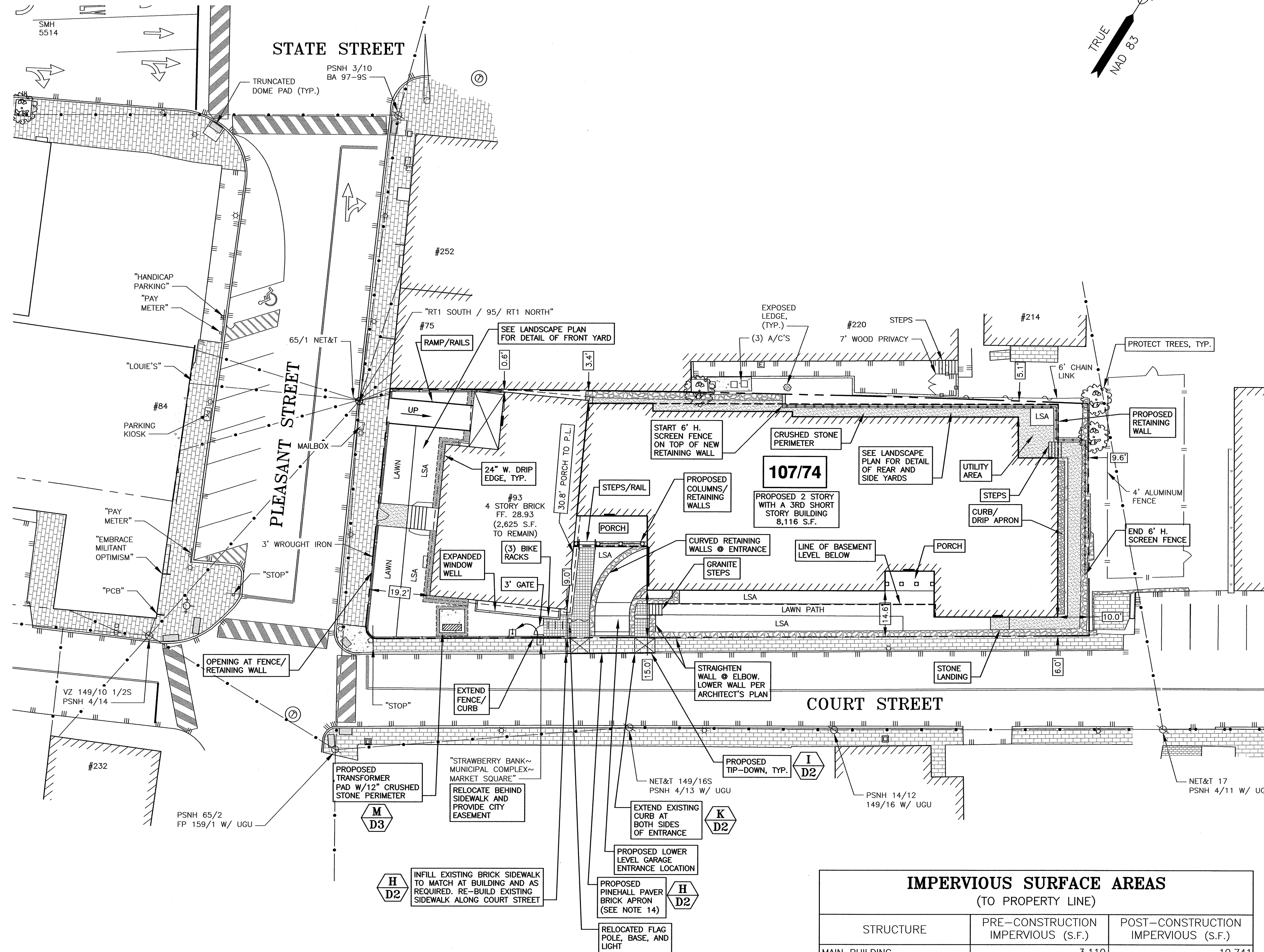
GRAPHIC SCALE



PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

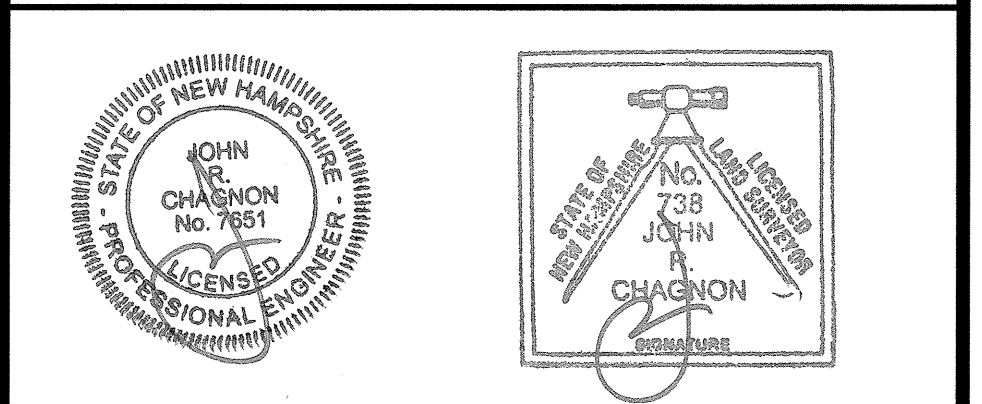


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Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.
 - 2) OWNERS OF RECORD:
DAGNY TAGGART LLC
3 PLEASANT STREET SUITE 400
PORTSMOUTH, NH 03801
6162/74
D-17511
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
17,498 S.F.
0.4017 ACRES
 - 5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4), THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC OVERLAY DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ZONING ORDINANCE.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.
 - 8) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').
 - 9) SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE AREA. PICK UP SCHEDULE AS NEEDED TO MAINTAIN CAPACITY.
 - 10) THE SECTION OF COURT STREET FROM PLEASANT STREET TO WASHINGTON STREET SHALL BE MILLED AND RE-PAVED WITH A 1.5" OVERLAY AT THE END OF PROJECT CONSTRUCTION.
 - 11) PROVIDE AN AUDIBLE PEDESTRIAN WARNING SIGNAL AT THE PROPOSED DRIVE ENTRANCE. ALSO PROVIDE A SUITABLE MIRROR ON THE NEW POLE FOR USE BY THE VEHICLES EXITING THE GARAGE.
 - 12) A PORTSMOUTH CMMP IS REQUIRED FOR THIS PROJECT, TO BE COMPLETED PRIOR TO CONSTRUCTION.
 - 13) PROPOSED USE: 34,266 S.F. OFFICE SPACE. NO PARKING IS REQUIRED AS THE PROJECT IS IN THE DOWNTOWN OVERLAY DISTRICT.
 - 14) DRIVEWAY PAVERS WILL REQUIRE A DRIVEWAY PERMIT. THE PROPERTY OWNER IS RESPONSIBLE FOR ALL FUTURE MAINTENANCE.
 - 15) ANY REQUIRED SIDEWALK REPAIRS TO THE SOUTH SIDE OF COURT STREET SHALL BE PERFORMED TO THE SATISFACTION OF THE PORTSMOUTH PUBLIC WORKS DEPARTMENT.

COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
10	BUILDING LAYOUT, STEPS	6/3/22
9	BUILDING LAYOUT/ENTRANCE	5/4/22
8	NOTES 10, 14, 15, SIGN	12/7/21
7	NOTE 13, USE	11/22/21
6	REVISED LAYOUT	11/1/21
5	ISSUED TO TAC, NOTES 10, 11, & 12	10/20/21



SCALE: 1" = 20' DECEMBER 2020

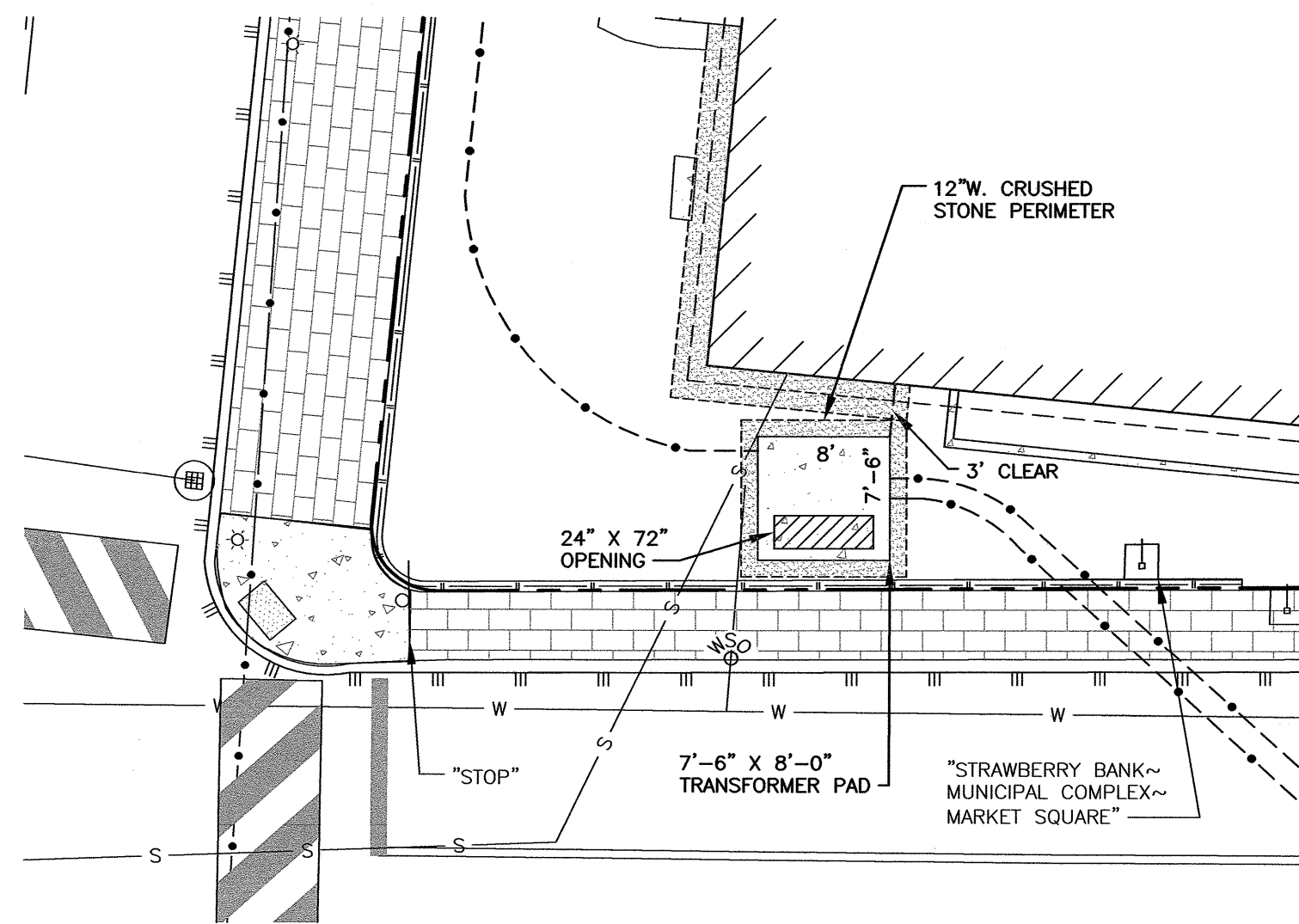
SITE LAYOUT PLAN **C3**

IMPERVIOUS SURFACE AREAS
(TO PROPERTY LINE)

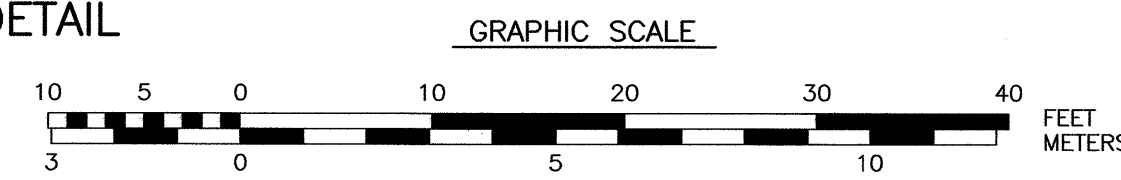
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN BUILDING	3,110	10,741
PORCH	165	304
STAIRS	101	120
WALKWAYS & RAMPS	292	569
PAVEMENT	3612	0
RETAINING WALL	584	798
GRAVEL	5308	0
CONCRETE	105	399
TOTAL	13277	12931
LOT SIZE	17,498	17,498
% LOT COVERAGE	75.9%	73.9%

UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6" COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.

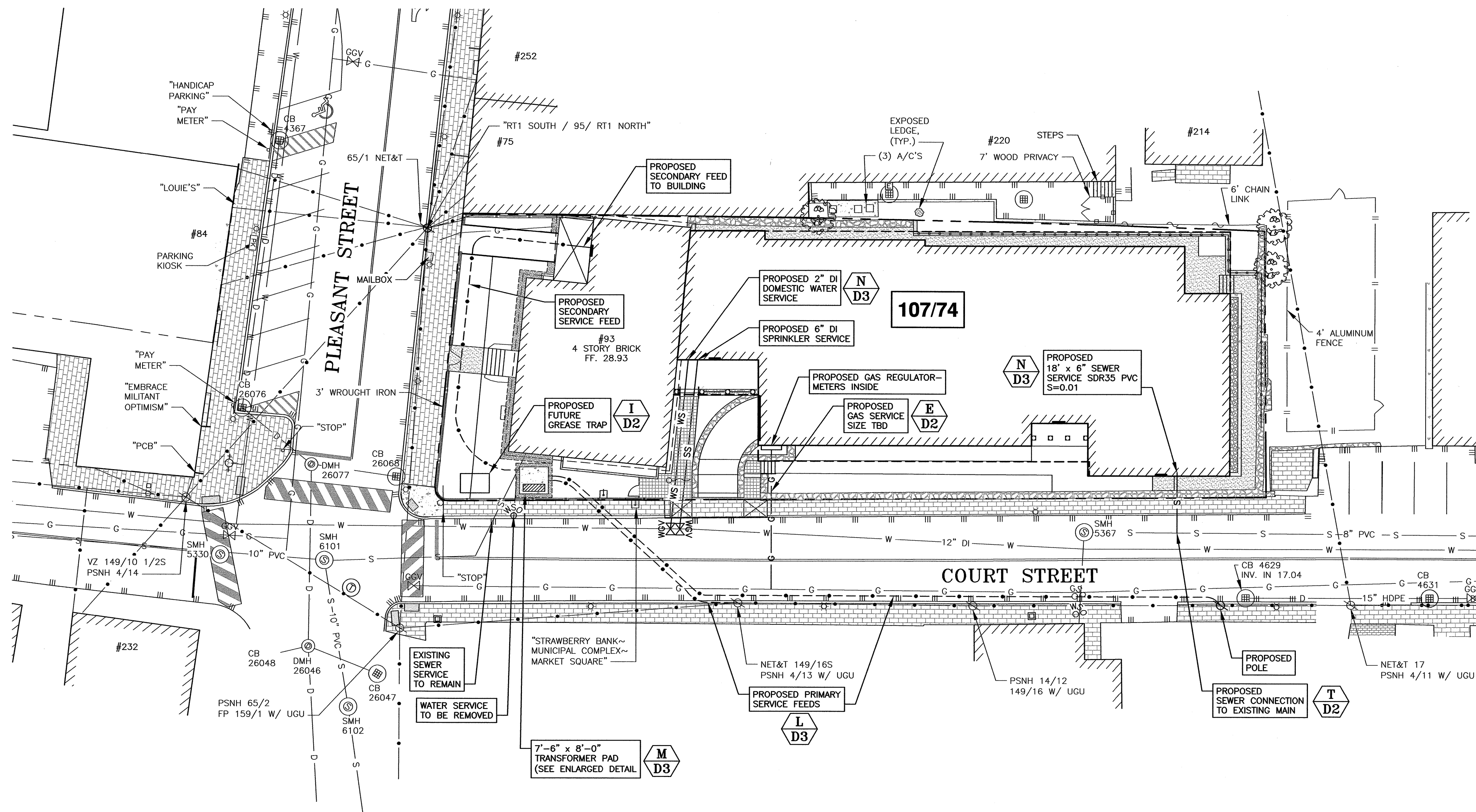
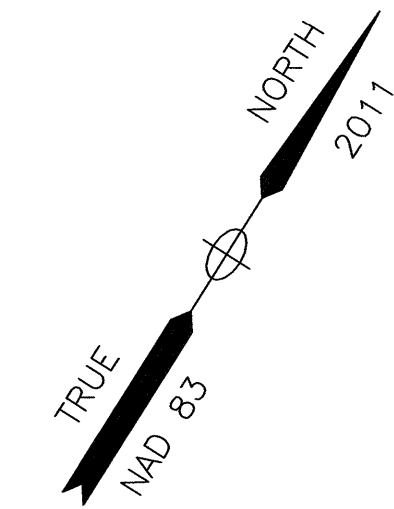


TRANSFORMER DETAIL



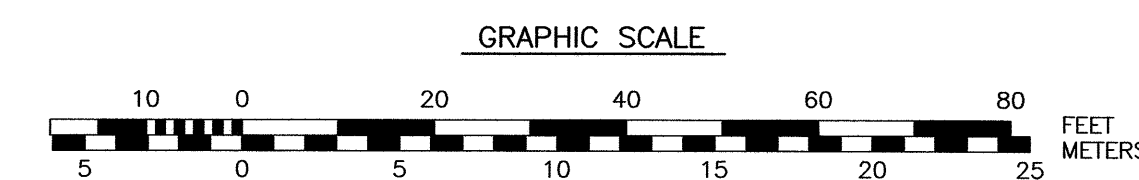
SEWER STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
SMH 5367	22.34	15.75	SMH 5368
8" PVC	L = 191', SLOPE = 0.016 ft./ft.		
SMH 5330	23.20	15.85	SMH 6101
8" PVC	L = 29', SLOPE = 0.024 ft./ft.		
SMH 6101	23.35	17.89 (E)	SMH 6102
		15.10 (W)	
		15.05 (OUT)	
8" PVC	L = 41', SLOPE = 0.019 ft./ft.		
SMH 6102	22.78	14.28	SMH 893
		14.23	



PROPOSED SEWER CONNECTION

STRUCTURE	RIM ELEV.	INV. ELEV. IN	PIPE SIZE & TYPE (FROM/TO)
SMH 5367 (EXISTING)	22.34	15.75	6" PVC (5368)
		15.74	
		15.70	
BUILDING CONNECTION		15.5 +/-	INV. OUT @ BLDG.
			INV. @ MAIN



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NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #5127007
- 8) PROPOSED SEWER FLOW:
OFFICE:
34,266 S.F. X 5 GPD PER 100 S.F.
342.66 X 5 = 1,713 GPD
TOTAL PROPOSED FLOW = 1,713 GPD
- 9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 10) COMMUNICATIONS CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.
- 11) THE EXISTING WATER MAIN IN COURT STREET IS SHALLOW. INSTALL NEW UTILITIES WITH CAUTION. ELECTRICAL SERVICE WILL BE PLACED UNDER THE WATER MAIN. FIRE SERVICE SHALL BE INSTALLED WITH 5' OF COVER AND INSULATION IMMEDIATELY AFTER TAPPING THE MAIN. NOTIFY CITY WHEN WORK IS TO TAKE PLACE.

**COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
6	BUILDING, GREASE TRAP	6/3/22
5	REVISED LAYOUT	11/1/21
4	NOTE 11	10/20/21
3	SUBMIT FOR TAC	9/20/21
2	REVISED BUILDING/EXTERIOR LAYOUT	9/7/21
1	ELECTRICAL FEED	4/28/21

REVISIONS

SCALE: 1" = 20' DECEMBER 2020

UTILITY PLAN **C5**

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

DRAINAGE STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH	PIPE SLOPE	
CB 4367	23.98	N/A	CB 26076
	21.83		
8" HDPE	L = 75'	SLOPE = 0.013 ft./ft.	
CB 26076	23.77	20.82	DMH 26077
	20.82		
12" HDPE	L = 25'	SLOPE = 0.005 ft./ft.	
CB 26068	23.35	N/A	DMH 26077
	21.90		
12" HDPE	L = 24'	SLOPE = 0.046 ft./ft.	
CB 26047	22.79	N/A	DMH 26046
	18.69		
8" HDPE	L = 21'	SLOPE = 0.010 ft./ft.	

DRAINAGE STRUCTURE TABLE-CONT.

STRUCTURE	RIM ELEV.	INV. ELEV. IN	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH	PIPE SLOPE	
DMH 26077	23.95	20.80 (E)	DMH 26046
		20.72 (W)	
		20.70 (OUT)	
DMH 26046	22.90	19.70 (N)	DMH 26050
		18.48 (E)	
		18.40 (W)	
		18.30 (OUT)	
CB 4629	21.19	N/A	CB 4631
		16.94	
15" HDPE	L = 51'	SLOPE = 0.016 ft./ft.	
CB 4631	20.85	16.10	CB 4632
		16.10	
15" HDPE			

DRAINAGE STRUCTURE SCHEDULE

STRUCTURE	PROP/EX	RIM	PIPE SIZE	INVERT	DIRECTION
DMH 1	PROP	28.0	12"	17.24	IN
DMH 1	PROP	28.0	4" RD	24.0	IN
DMH 1	PROP	28.0	6"	24.0	IN
DMH 1	PROP	28.0	12"	17.14	OUT
OCS 1	PROP	28.0	12"	23.43	IN
OCS 1	PROP	28.0	12"	17.44	OUT

PIPE SCHEDULE

PIPE #	PIPE SIZE	LENGTH	SLOPE
P1	12"	30'	0.0034
P2	12"	46'	0.0034
P3	12"	20'	0.0034
P4	12"	32'	0.0034
P5	8"	4'	0.02
P6	8"	7'	0.02

*ALL PIPE TO BE HDPE

R-TANK SYSTEM "A"

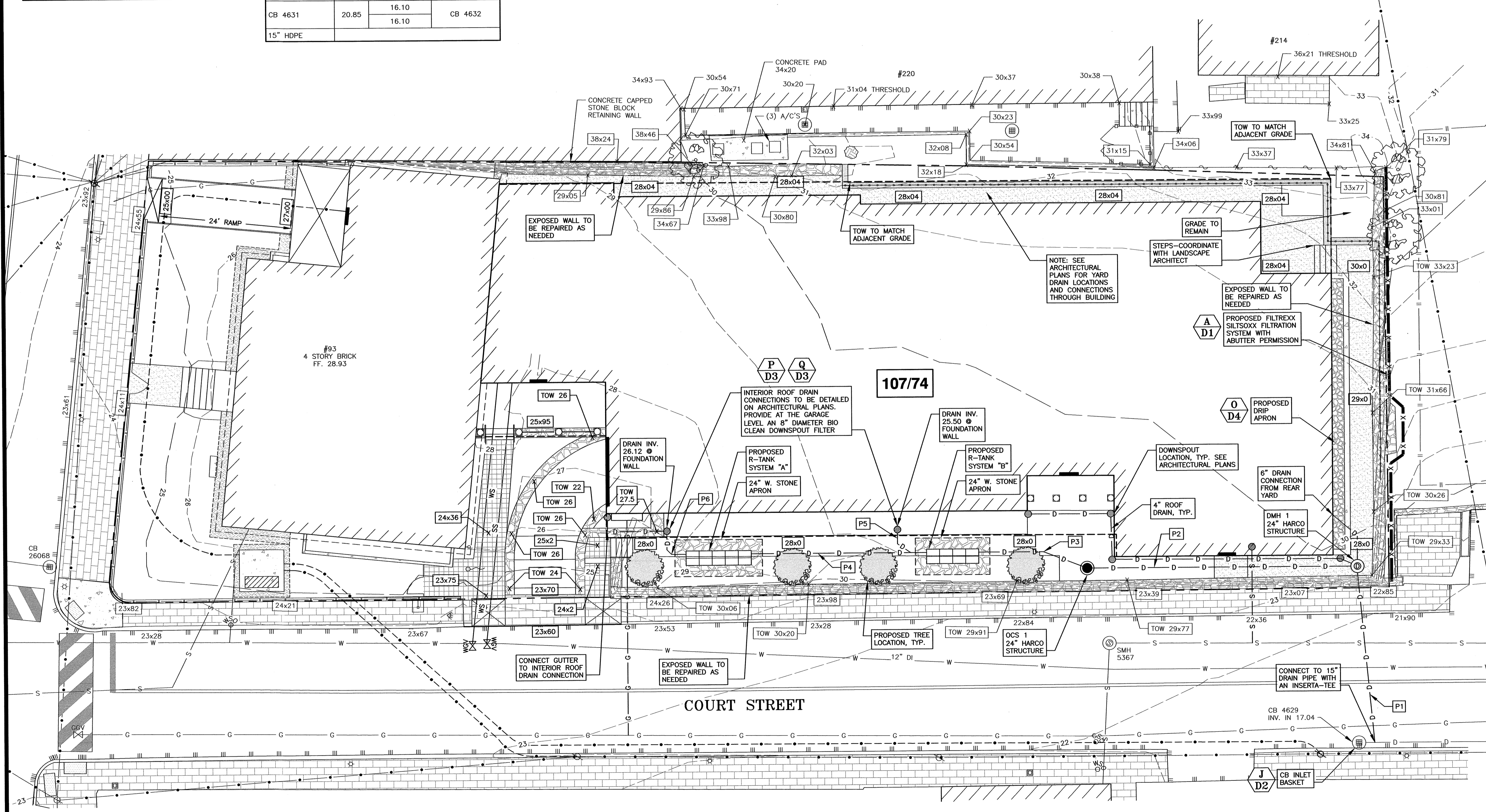
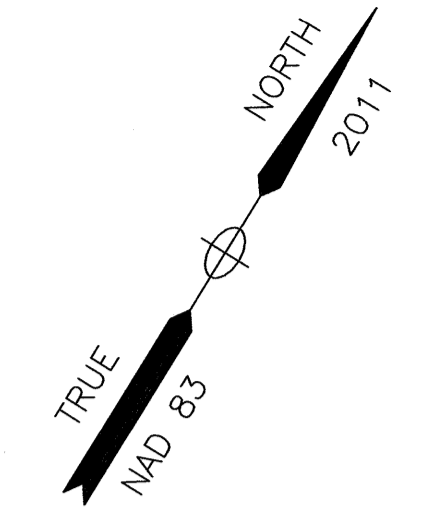
MODULE TYPE	SINGLE + MINI
TRAFFIC LOAD	PEDESTRIAN
# OF TANKS	10
TANK STORAGE	63.3 C.F.
STONE STORAGE	115.7 C.F.
TOTAL STORAGE	179.0 C.F.
TOP OF COVER STONE	27.00
TOP OF R-TANK	26.00
BOTTOM OF TANK	23.83
STONE BASE INVERT	23.58

SYSTEM IS 2.35' WIDE BY 11.7' LONG

R-TANK SYSTEM "B"

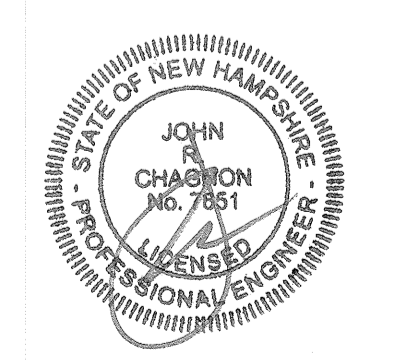
MODULE TYPE	SINGLE + MINI
TRAFFIC LOAD	PEDESTRIAN
# OF TANKS	8
TANK STORAGE	50.7 C.F.
STONE STORAGE	99.8 C.F.
TOTAL STORAGE	150.5 C.F.
TOP OF COVER STONE	26.90
TOP OF R-TANK	25.90
BOTTOM OF TANK	23.73
STONE BASE INVERT	23.48

SYSTEM IS 2.35' WIDE BY 9.38' LONG



**COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.**

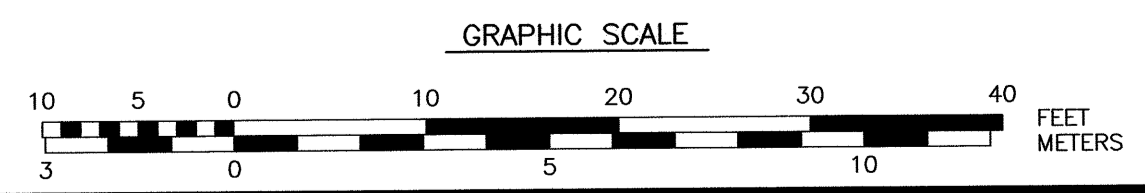
NO.	DESCRIPTION	DATE
5	BUILDING, GRADES	6/3/22
4	BUILDING	5/4/22
3	DRAINS	12/7/21
2	DRAIN SYSTEM	11/22/21
1	ISSUED FOR APPROVAL	10/20/21
0	ISSUED FOR COMMENT	4/2/21

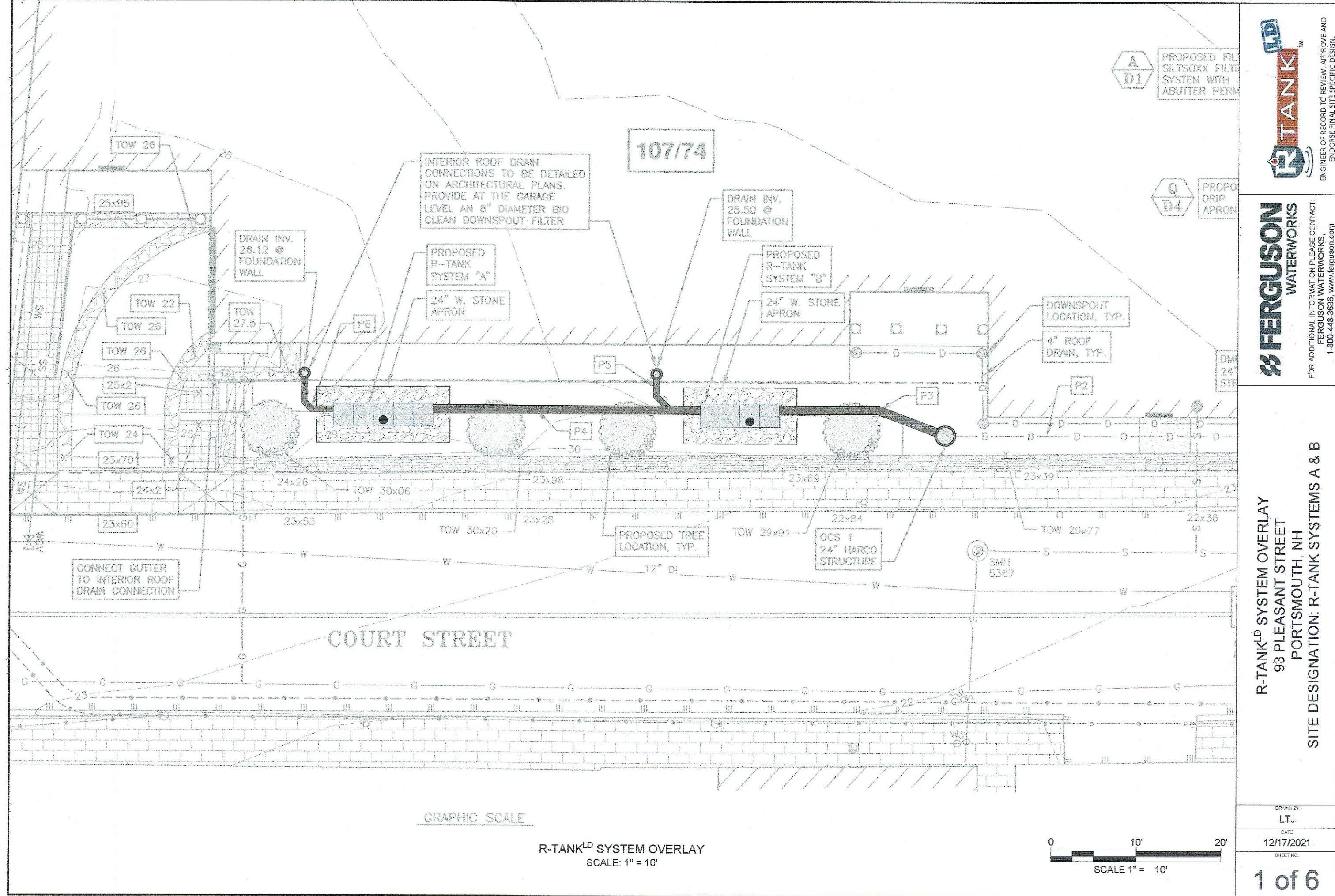


SCALE: 1" = 10' DECEMBER 2020

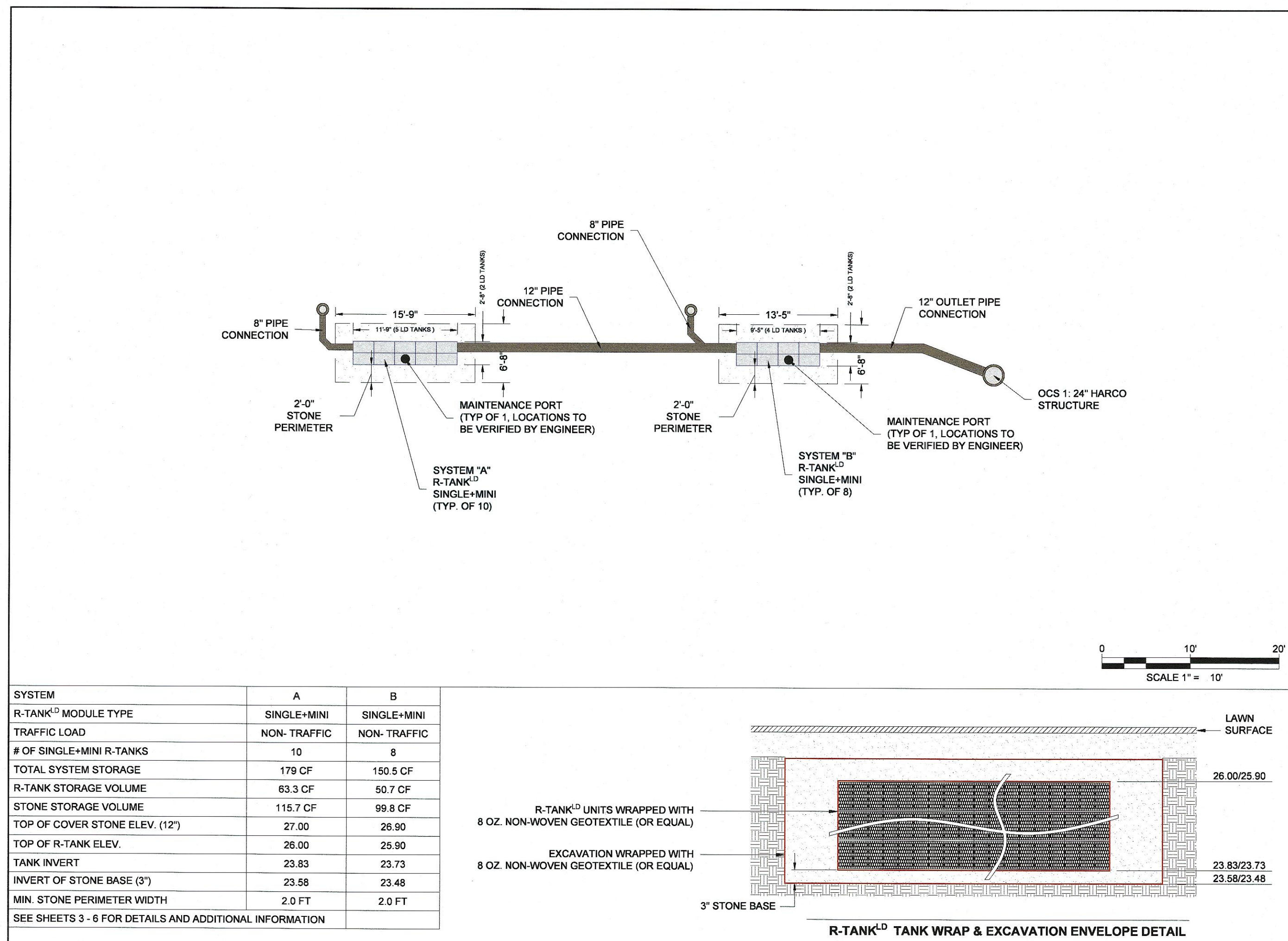
GRADING & EROSION CONTROL PLAN

C6

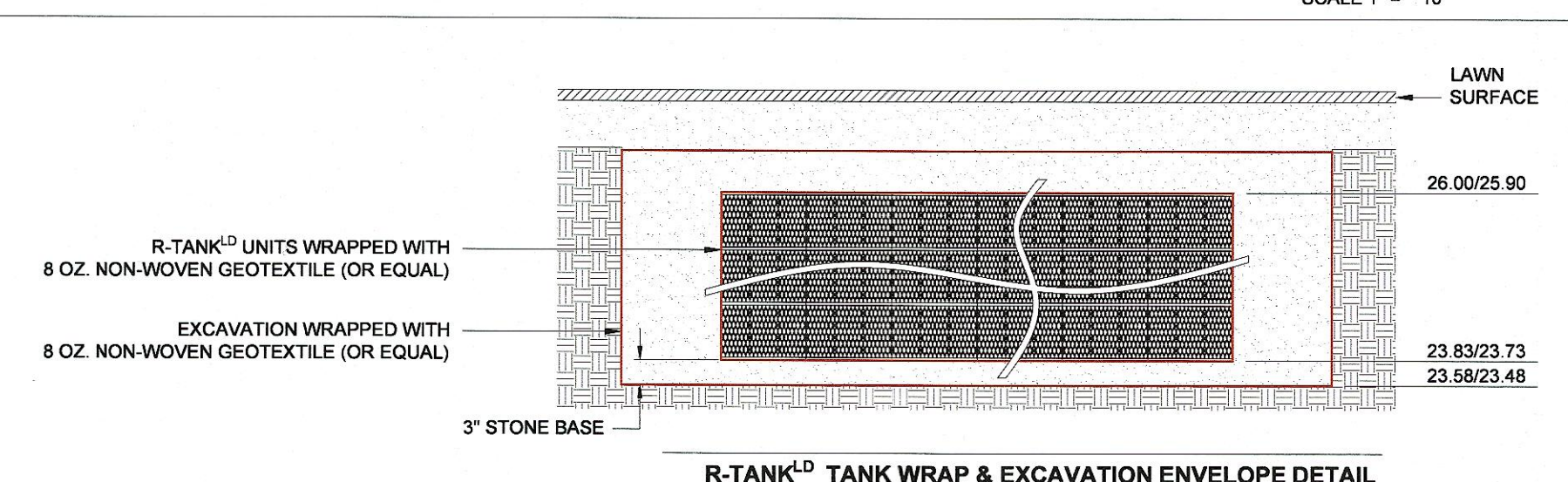




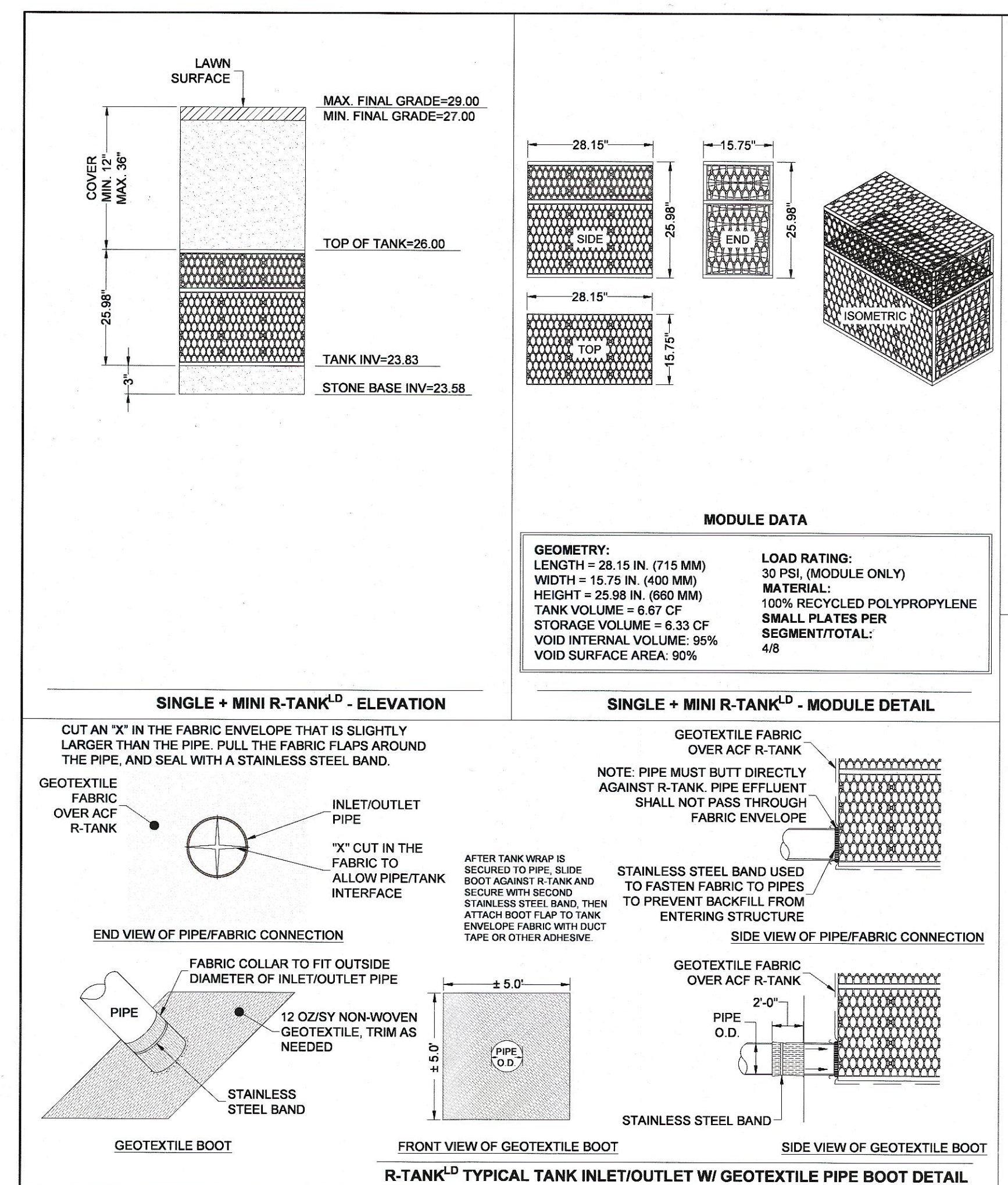
FERGUSON WATERWORKS
 PORTSMOUTH, NH
 SITE DESIGNATION: R-TANK SYSTEMS A & B
 1 of 6



SYSTEM	A	B
R-TANK ^{LD} MODULE TYPE	SINGLE+MINI	SINGLE+MINI
TRAFFIC LOAD	NON-TRAFFIC	NON-TRAFFIC
# OF SINGLE+MINI R-TANKS	10	8
TOTAL SYSTEM STORAGE	179 CF	150.5 CF
R-TANK STORAGE VOLUME	63.3 CF	50.7 CF
STONE STORAGE VOLUME	115.7 CF	99.8 CF
TOP OF COVER STONE ELEV. (12")	27.00	26.90
TOP OF R-TANK ELEV.	26.00	25.90
TANK INVERT	23.83	23.73
INVERT OF STONE BASE (3")	23.58	23.48
MIN. STONE PERIMETER WIDTH	2.0 FT	2.0 FT



FERGUSON WATERWORKS
 PORTSMOUTH, NH
 SITE DESIGNATION: R-TANK SYSTEMS A & B
 2 of 6

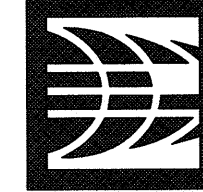


R-TANK ^{LD} QUANTITIES		
SYSTEM	A	B
R-TANK ^{LD} MODULE TYPE	SINGLE+MINI	SINGLE+MINI
# OF SINGLE+MINI R-TANKS	10	8
TOTAL SYSTEM STORAGE	179.0 CF	150.5 CF
R-TANK STORAGE VOLUME	63.3 CF	50.7 CF
STONE STORAGE VOLUME	115.7 CF	99.8 CF
STONE BED FOOTPRINT	104.2 SF	88.7 SF
STONE QUANTITY	11 CY	10 CY
8 OZ. NON-WOVEN GEOTEXTILE TANK WRAP	13 SY	10 SY
8 OZ. NON-WOVEN GEOTEXTILE EXCAVATION WRAP	29 SY	25 SY
12\"/>		

NOTE: STONE QUANTITY INCLUDES 12\"/>

NOTE: GEOTEXTILE / LINER QUANTITIES INCLUDE A 15% WASTE FACTOR.

FERGUSON WATERWORKS
 PORTSMOUTH, NH
 SITE DESIGNATION: R-TANK SYSTEMS A & B
 3 of 6

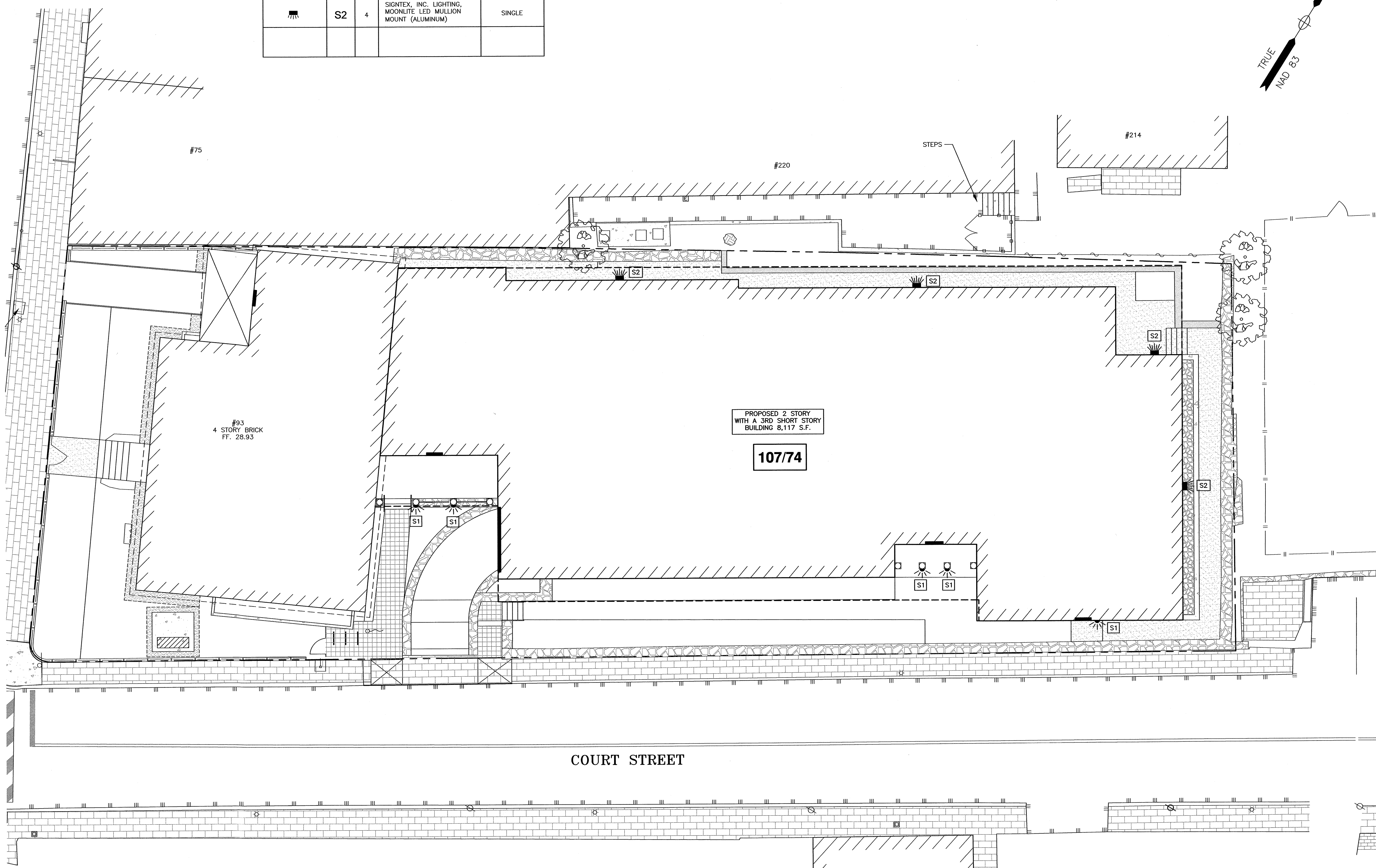
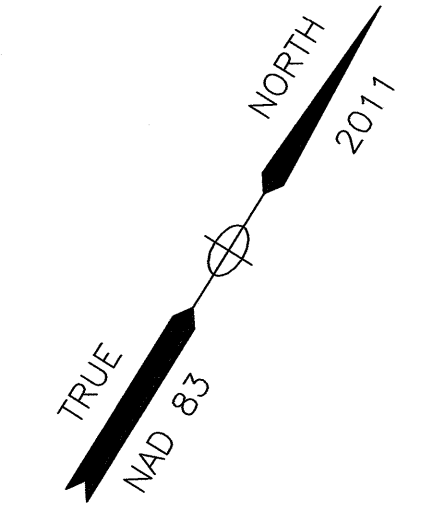
**AMBIT ENGINEERING, INC.**

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315**NOTES:**

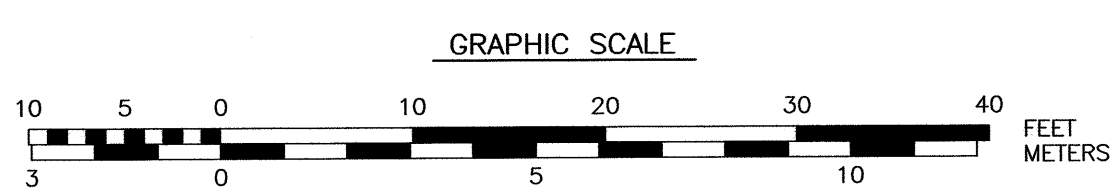
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.
- 2) OWNERS OF RECORD:
DAGNY TAGGART LLC
3 PLEASANT STREET SUITE 400
PORTSMOUTH, NH 03801
6162/74
D-17511
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LIGHTING ON THE PROPOSED BUILDING ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.
- 4) SEE LANDSCAPE PLAN L2 FOR SITE LIGHTING.

LUMINAIRE SCHEDULE				
SYMBOL	LABEL	QTY.	DESCRIPTION	ARRANGMENT
	S1	5	SEAGULL, CAPE MAY 88241-12 (ALUMINUM)	SINGLE
	S2	4	SIGNTEX, INC. LIGHTING, MOONLITE LED MULLION MOUNT (ALUMINUM)	SINGLE

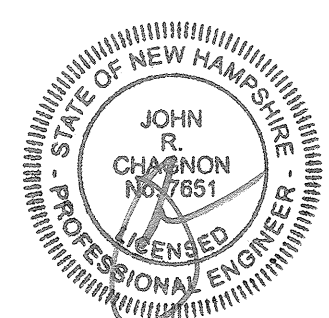


PROPOSED 2 STORY
WITH A 3RD SHORT STORY
BUILDING 8,117 S.F.
107/74

COURT STREET


COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	BUILDING	5/4/22
0	ISSUED FOR COMMENT	11/22/21

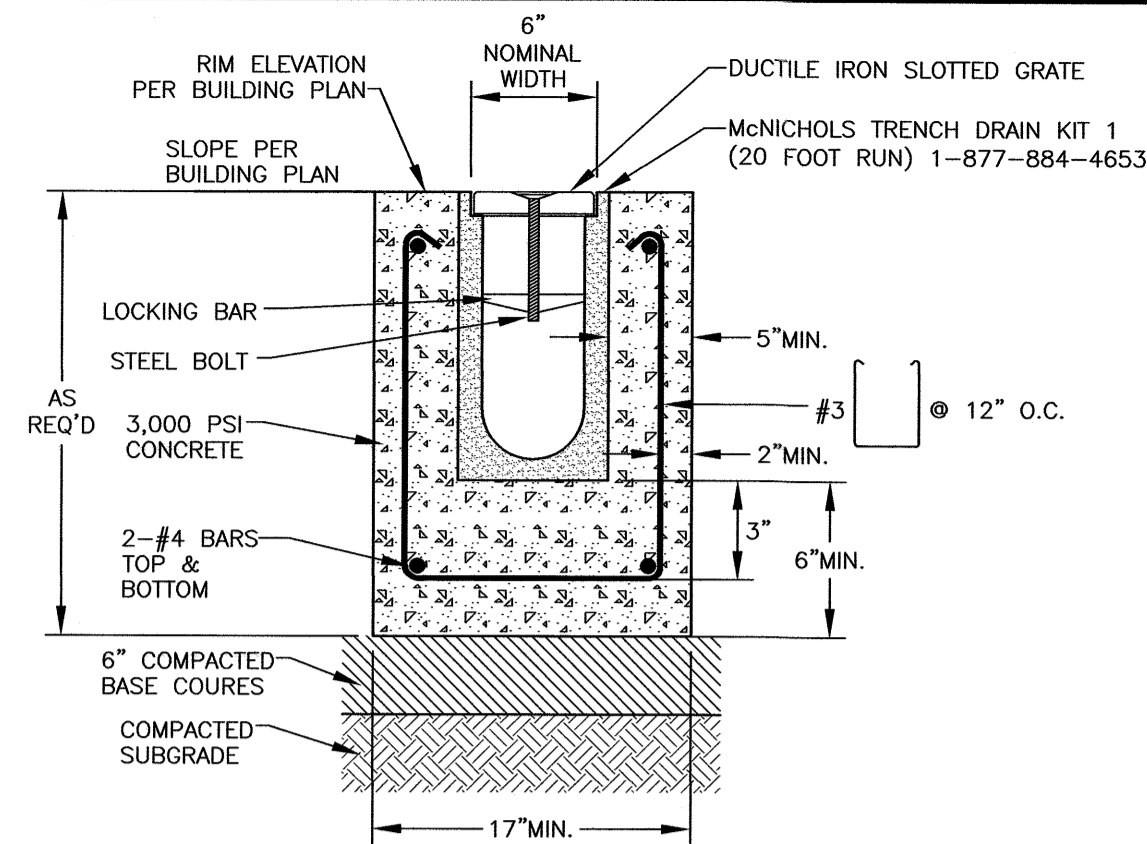


SCALE: 1" = 10' DECEMBER 2020

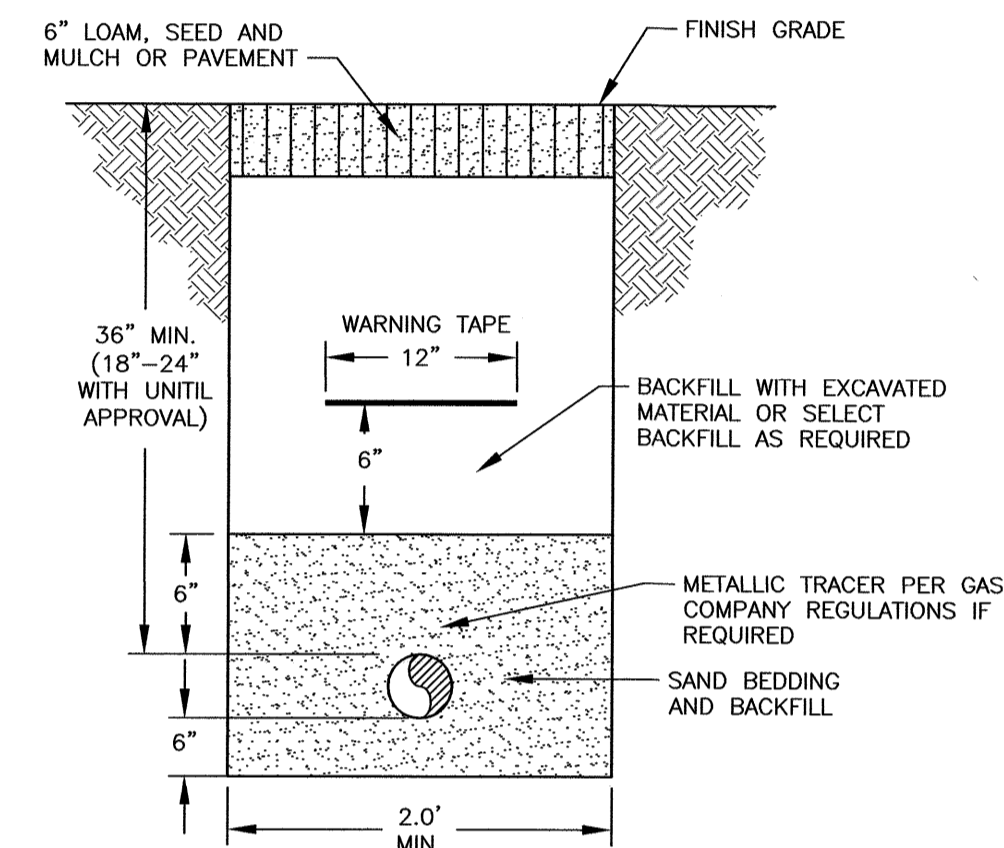
LIGHTING PLAN

LT1

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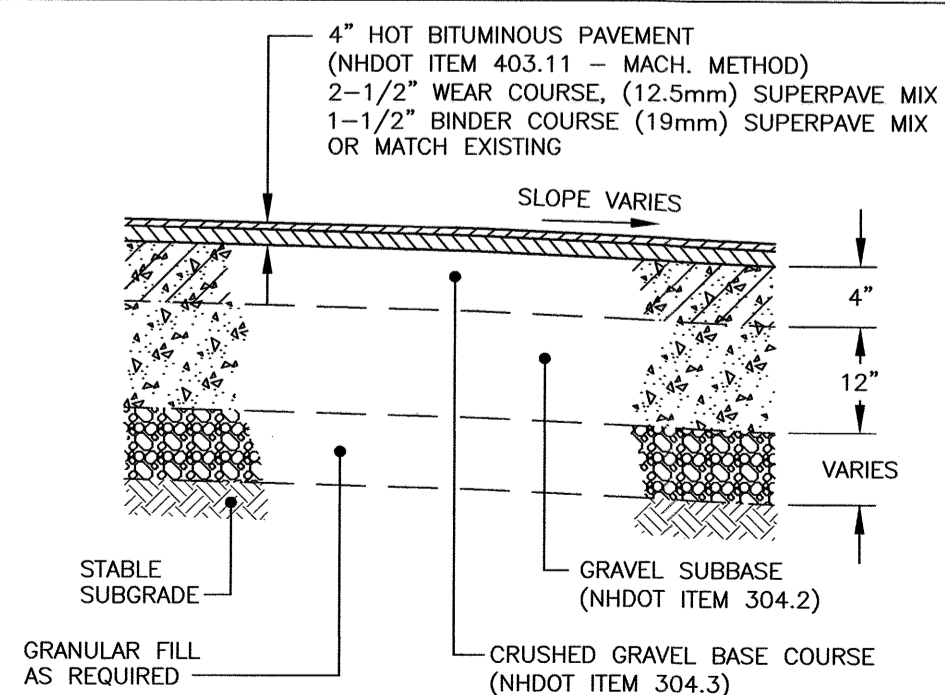


D TRENCH DRAIN DETAIL
C4 EVAPORATIVE NTS



E GAS SERVICE TRENCH
C5 NTS

F RESERVED
NTS



G TYPICAL PAVEMENT CROSS-SECTION
C3 NTS

CONSTRUCTION NOTE:

EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.

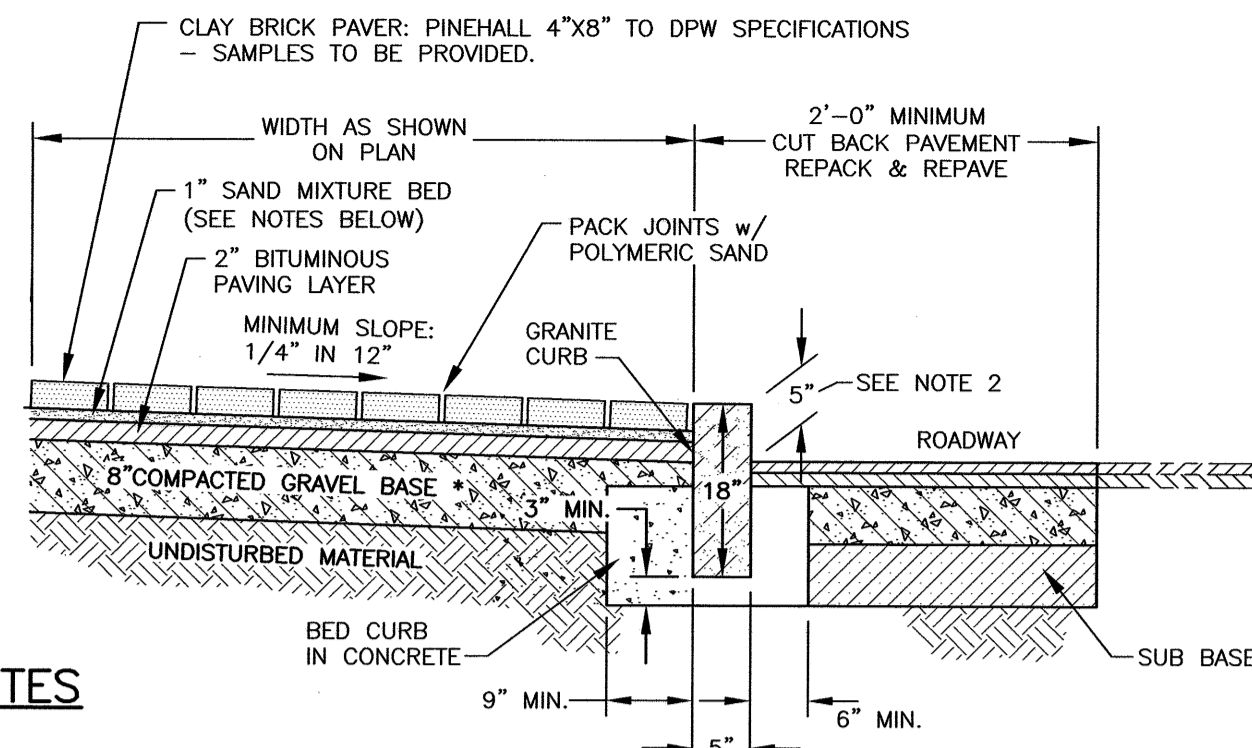
BRICK PAVEMENT NOTES

SCOPE OF WORK:

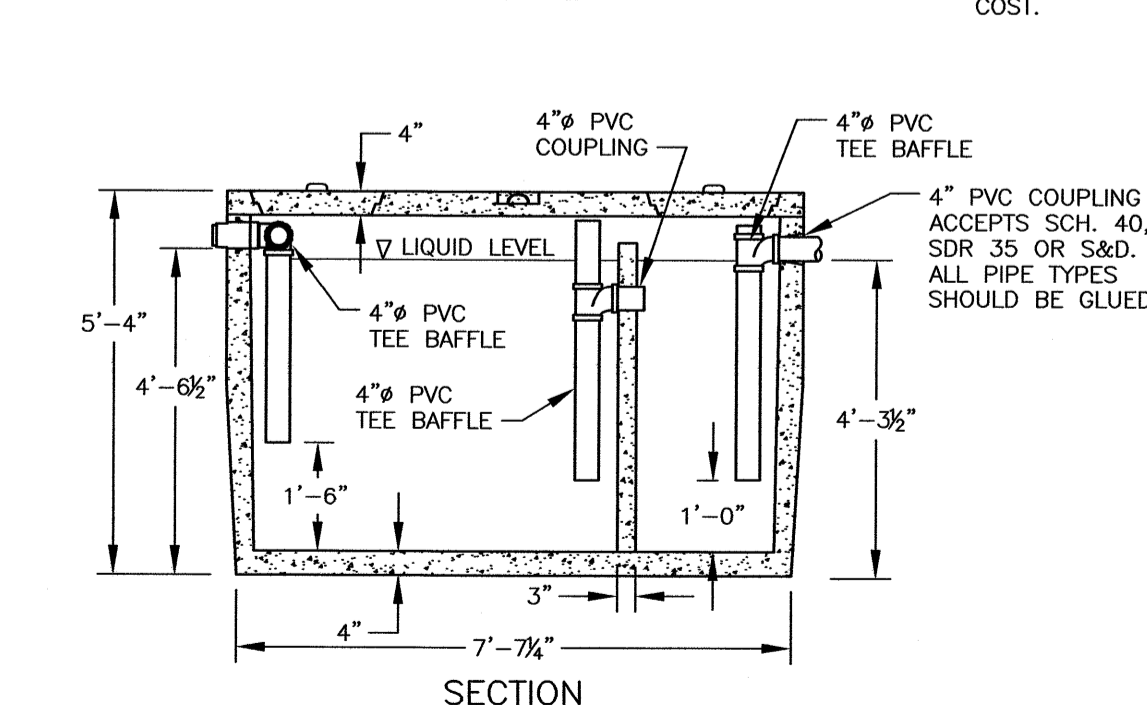
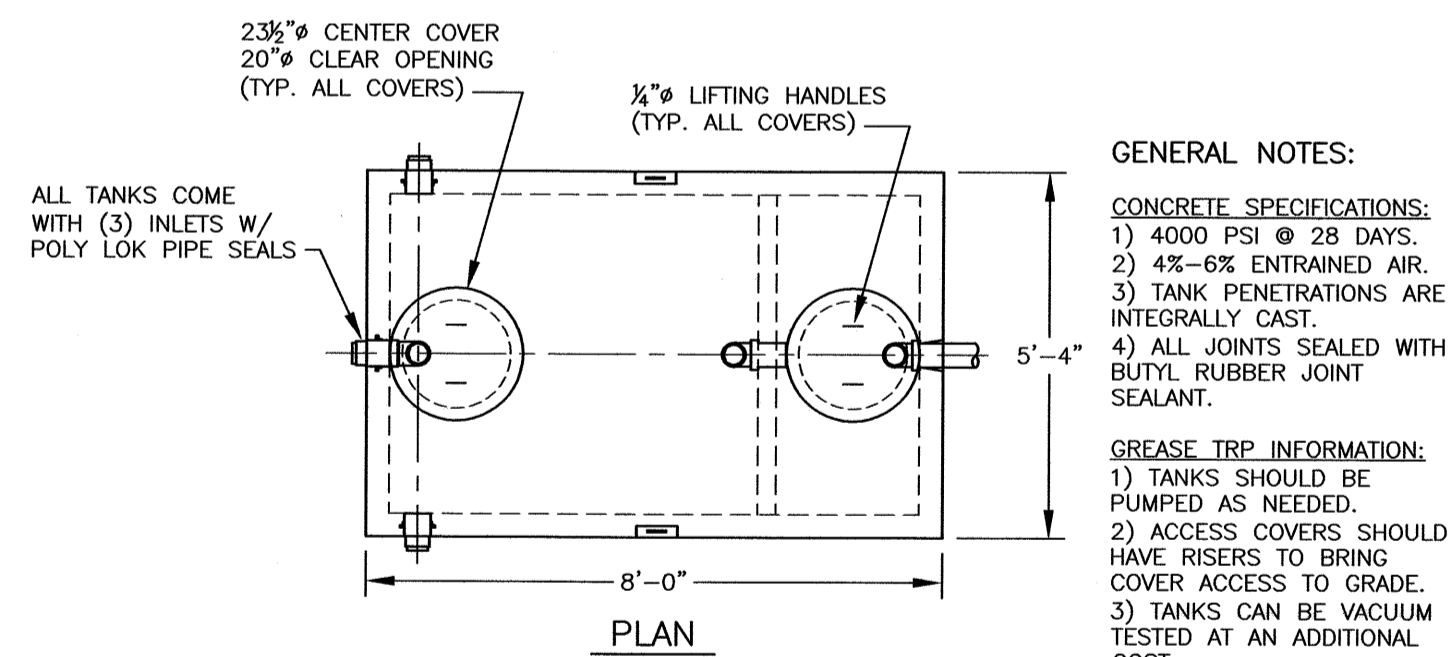
- 1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AND DRIVEWAY PAVERS AS DIRECTED IN THE FIELD BY THE ENGINEER.
- 2) REVEAL SHALL BE 5" (COORDINATE WITH PORTSMOUTH DPW).

METHODS OF CONSTRUCTION:

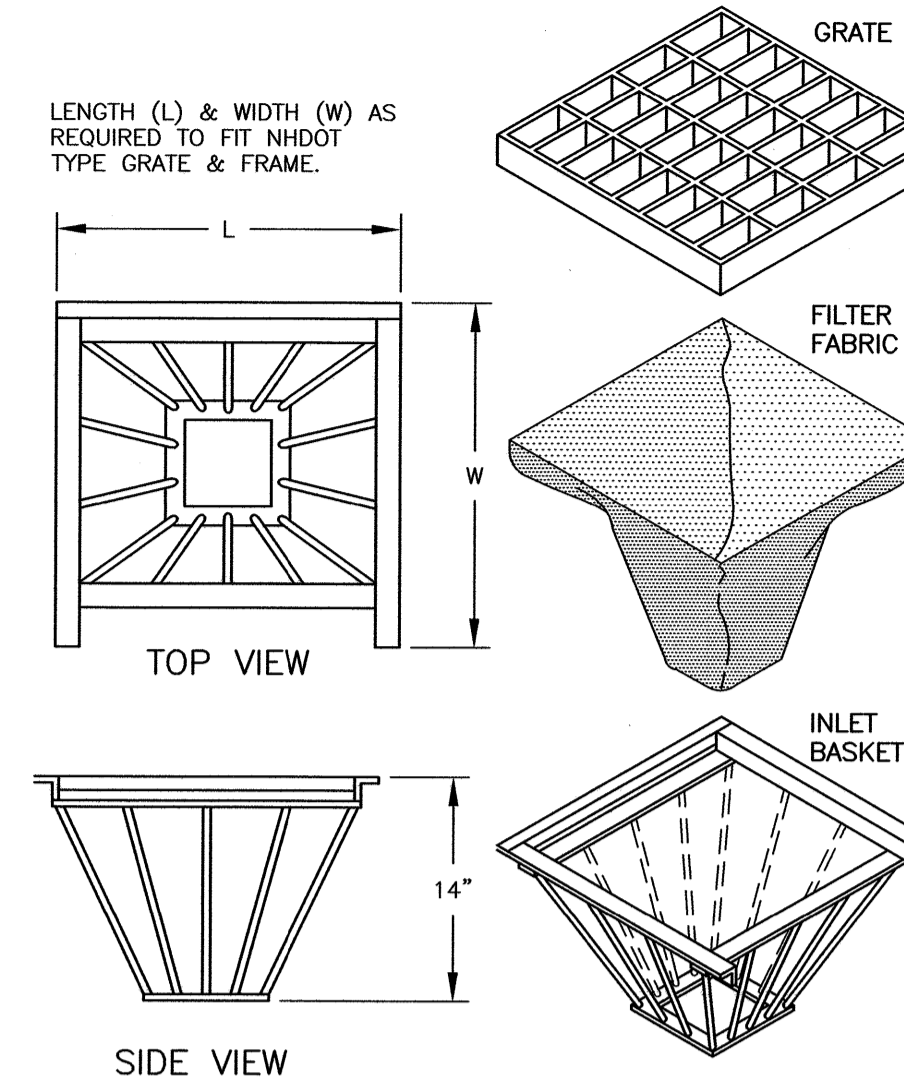
- A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8"). 60 MM FOR SIDEWALK AND 80 MM FOR DRIVEWAY ENTRANCE.
- C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.
- G) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.



H BRICK SIDEWALK w/ VERTICAL GRANITE CURB
C3 (STONE DUST BEDDING OVER BITUMINOUS PAVING) NTS

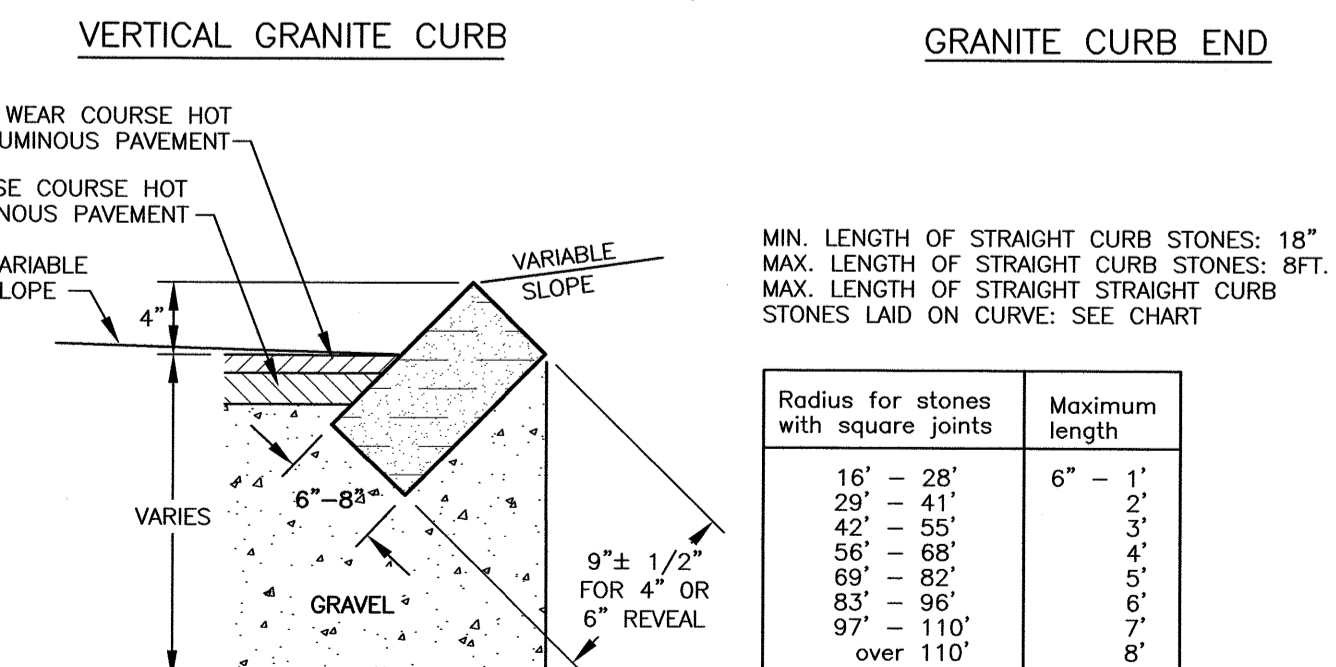
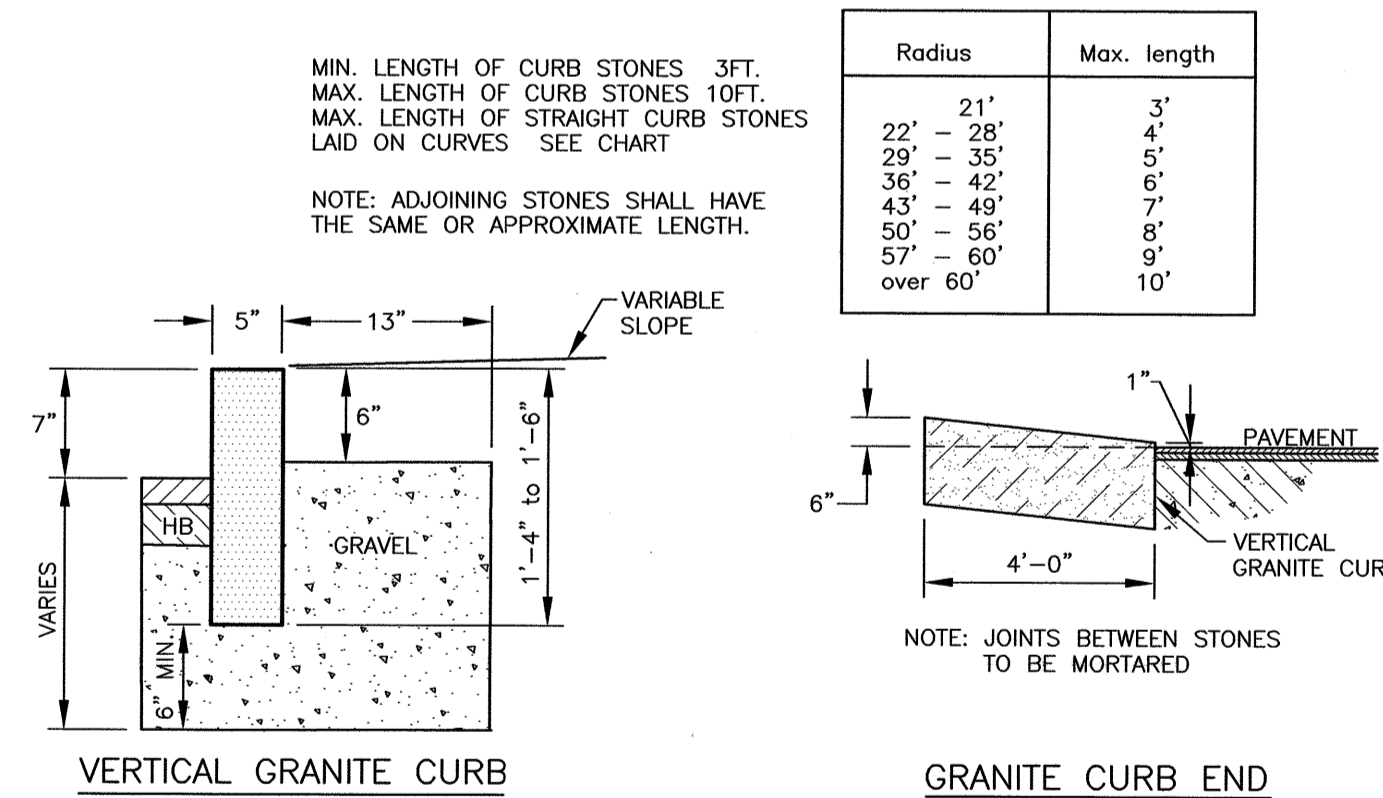


I AMERICAN CONCRETE INDUSTRIES
C5 1000 GALLON 2 COMP. GREASE TRAP NTS
9,200 Lbs ITEM # 8827



- 1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- 3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
-RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
-MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)
- 4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITTIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- 5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- 6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

J CATCH BASIN INLET BASKET
C6 NTS



K GRANITE CURBING DETAILS
C3 NTS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

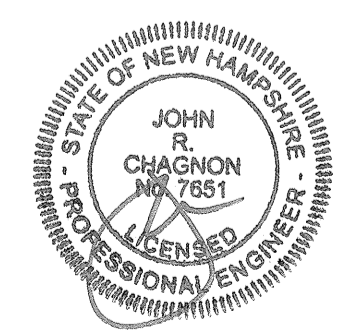
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
3	GREASE TRAP, DETAIL F	6/3/21
2	DETAIL F, H, I & J	12/7/21
1	DETAIL E	10/20/21
0	ISSUED FOR COMMENT	4/2/21

REVISIONS

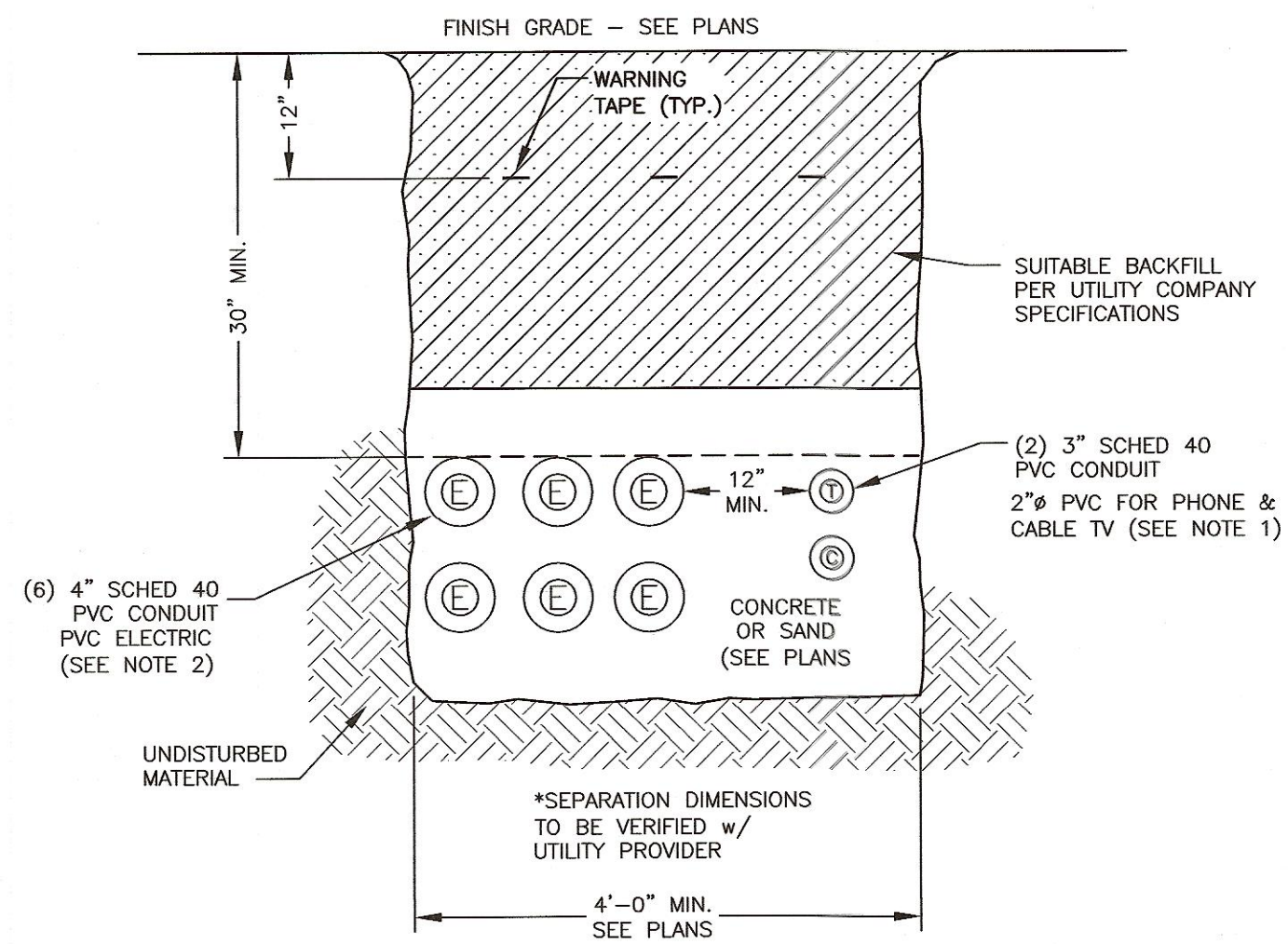


SCALE: AS SHOWN DECEMBER 2020

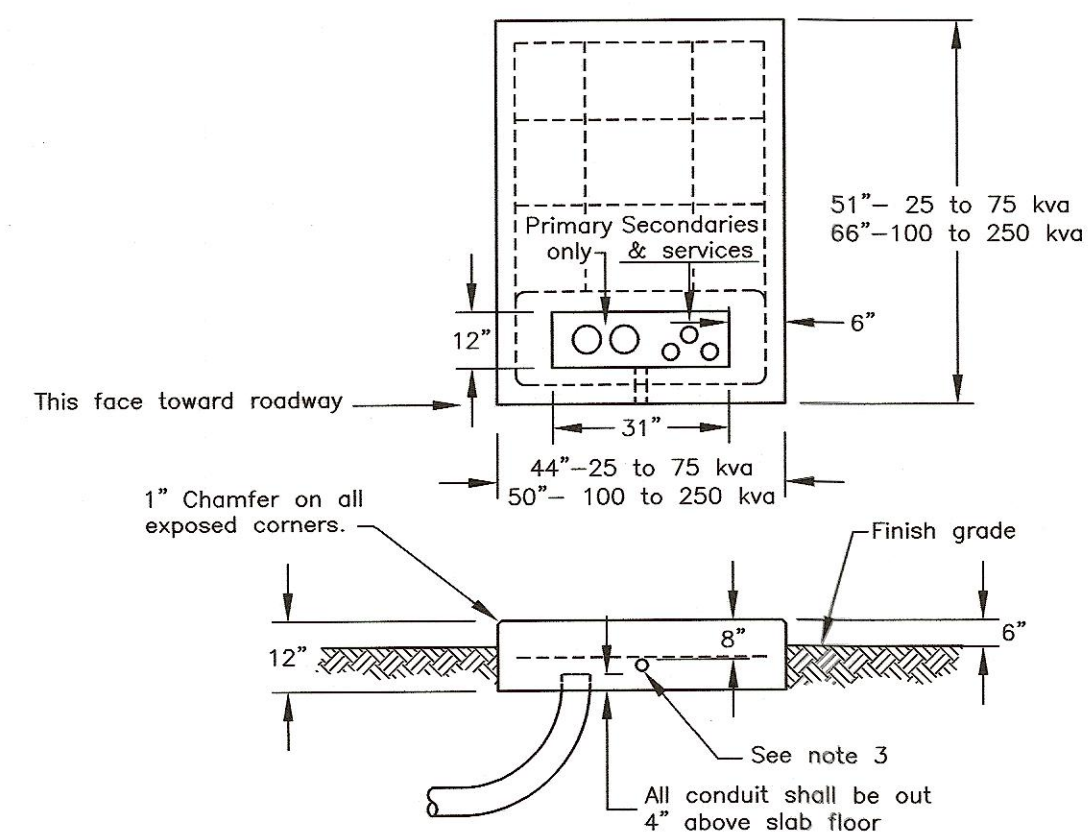
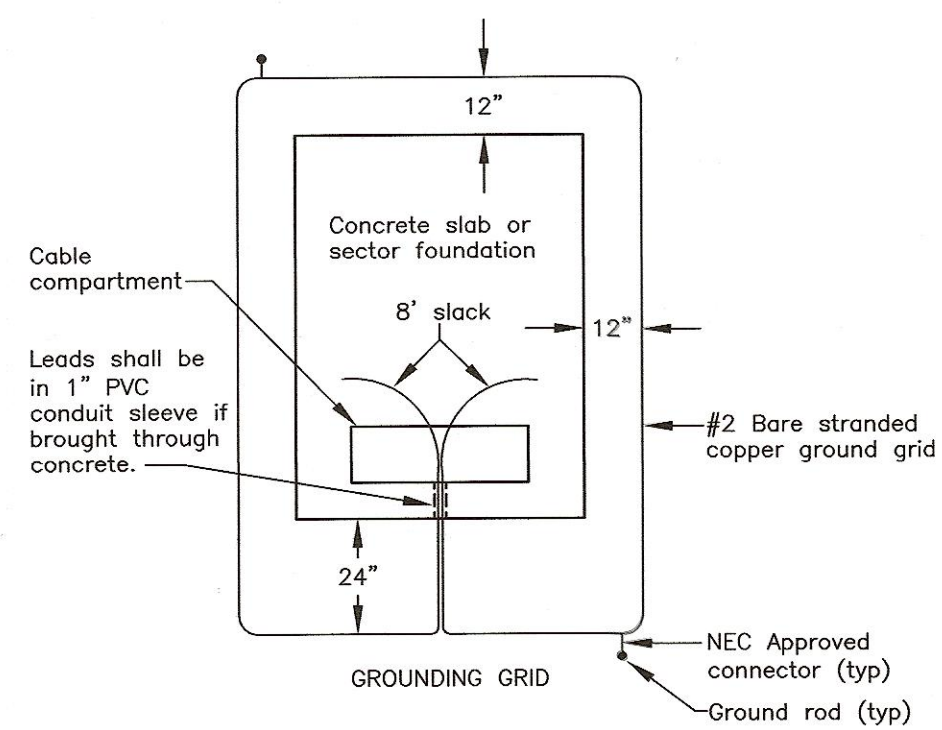
DETAILS

D2

- NOTES:
- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.
 - 2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
 - 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
 - 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
 - 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.

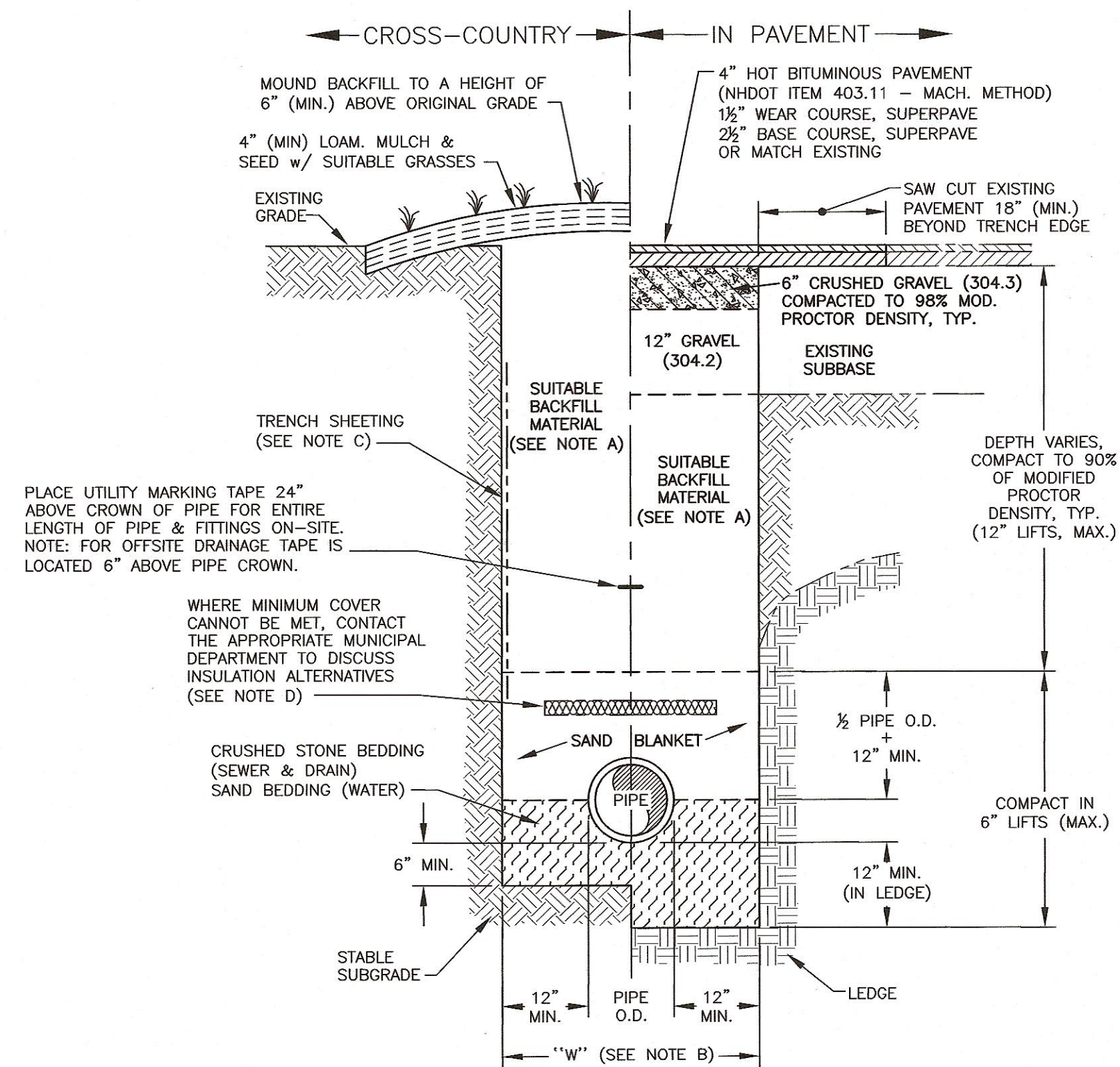


L BURIED ELEC/COMM CABLE
C5 NTS



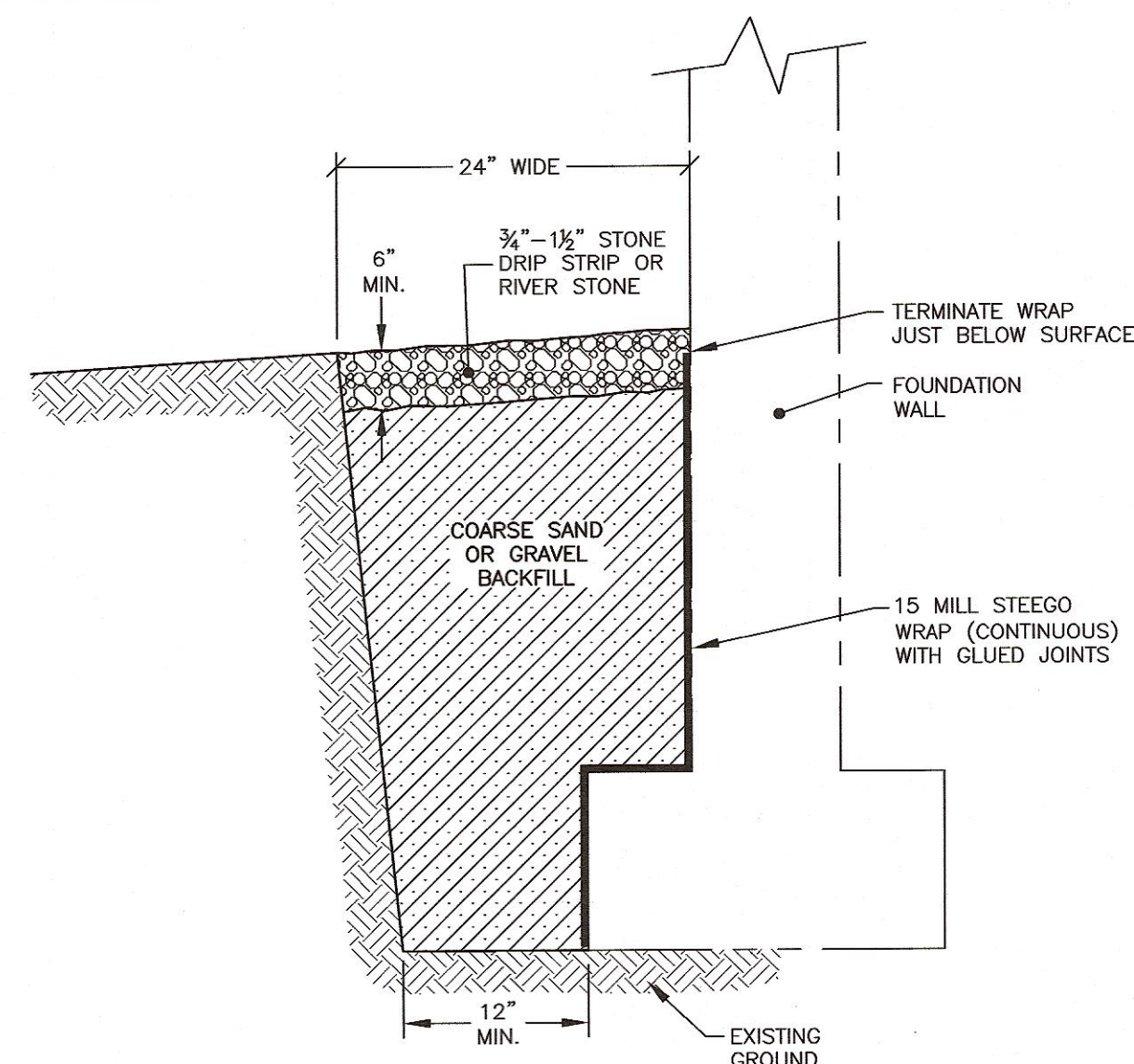
- NOTES:
1. See sheet "Requirements for Padmounted Transformer Slab Details".
 2. All reinforcing to be #6 bars.
 3. 1" PVC conduit sleeve for ground grid leads.
 4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transformer. The two 8" ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

M TRANSFORMER PAD
C5 PSNH NTS



- TRENCH NOTES:
- A) TRENCH BACKFILL:
- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
- B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D.
- C) TRENCH SHEETING:
THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFE EXCAVATION PRACTICES.
- D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
5' MINIMUM FOR SEWER (IN PAVEMENT)
4' MINIMUM FOR SEWER (CROSS COUNTRY)
3' MINIMUM FOR STORMWATER DRAINS
5' MINIMUM FOR WATER MAINS
- E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

N TYPICAL PIPE TRENCH
C5 NTS



O STONE DRIP APRON
C6 (UNDER BUILDING DRIP LINE) NTS

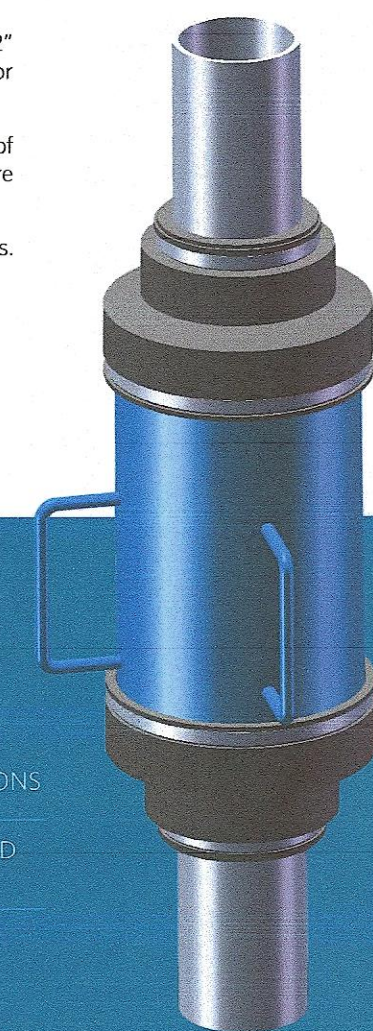
OVERVIEW

The Bio Clean Downspout Filter is the industry's leading solution for treatment of roof runoff. This technology is used to treat commercial and industrial rooftops along with highrise buildings, parking structures, and residential buildings.

Available in 3 sizes, this filter can easily adapt to downspouts 2" to 12" in diameter. The filter comes standard with rubber boots that allow for easy installation to the downspout.

Proven since 2003, the Downspout Filter has been used on hundreds of installations throughout the United States. All internal components are constructed of stainless steel.

The sleek in-line design allows the filter to be used in tight spaces. Approved by the IAPMO, this filter can meet all your needs.



PERFORMANCE

93% REMOVAL OF TSS
87% REMOVAL OF HYDROCARBONS

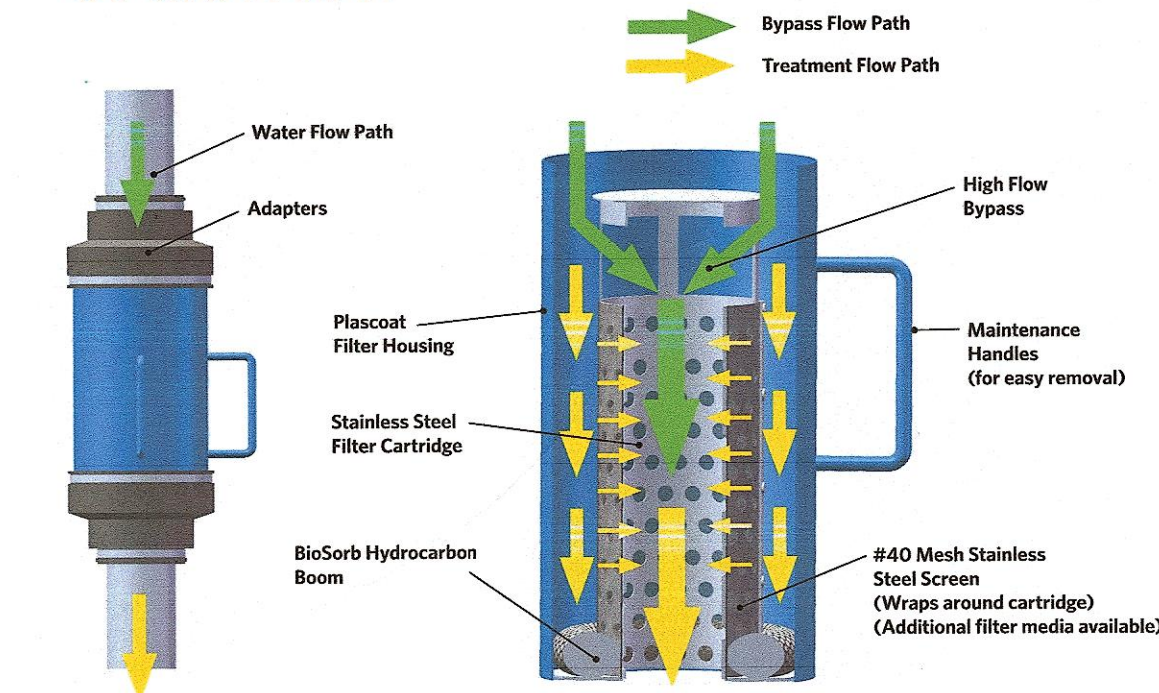
EFFECTIVE AT REMOVING METALS, NUTRIENTS, AND BACTERIA (MEDIA TYPE)

ADVANTAGES

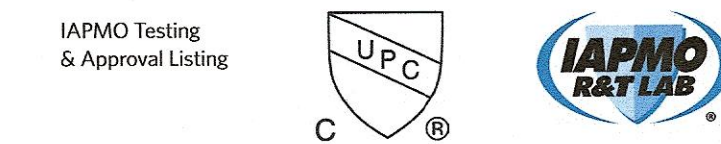
- 1-YEAR WARRANTY
- HIGH TREATMENT FLOW RATE
- NO NETS OR GEOFABRICS
- HIGH BYPASS FLOW RATE
- SLEEK IN-LINE DESIGN
- LOW COST

P ROOF DRAIN FILTER OVERVIEW
C6 NTS

OPERATION



APPROVALS



SPECIFICATIONS

MODEL #	INLET ID (dia., in.)	FILTER OD (dia., in.)	STORAGE CAP (cu. ft.)	FILTERED FLOW (gpm)	BYPASS FLOW (gpm)
BC-DF4	4	6.625	0.09	249	566
BC-DF6	6	8.625	0.21	509	1006
BC-DF8	8	8.625	0.21	509	1006
BC-DF10	10	12.75	0.77	1145	2264
BC-DF12	12	12.75	0.77	1145	2264

Q ROOF DRAIN FILTER OPERATION
C6 NTS

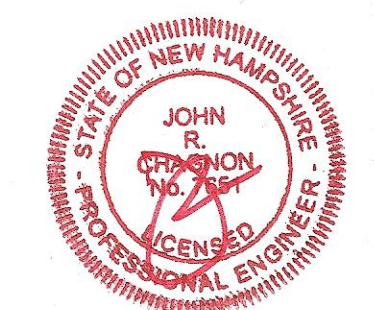
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

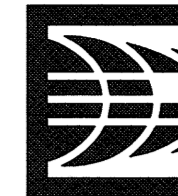
NO.	DESCRIPTION	DATE
3	DETAILS, O, P, Q	6/3/22
2	DETAILS O & P	12/7/21
1	DETAIL Q	10/20/21
0	ISSUED FOR COMMENT	4/2/21

REVISIONS



SCALE: AS SHOWN DECEMBER 2020

DETAILS D3



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

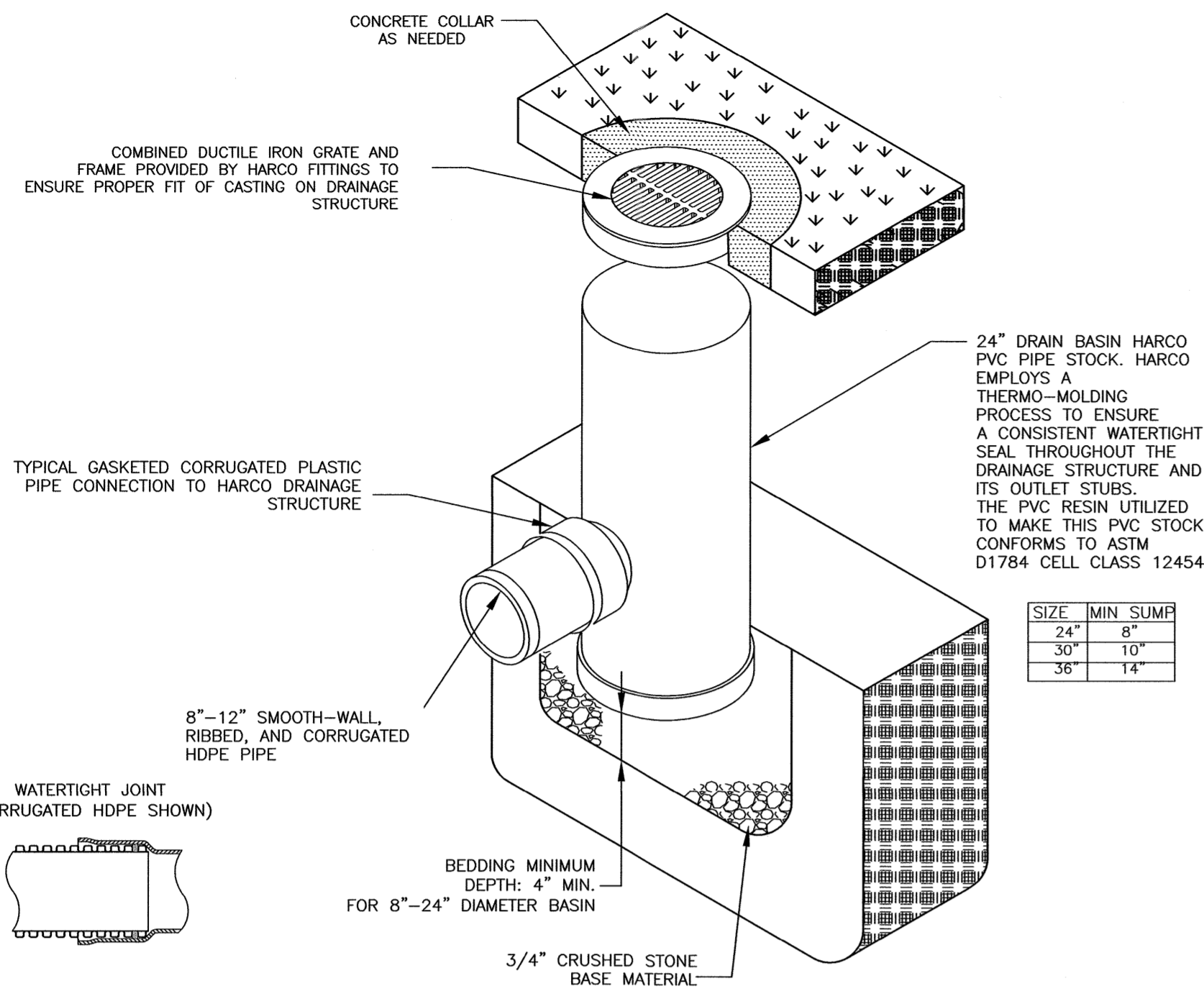
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114

Tel (603) 430-9282

Fax (603) 436-2315

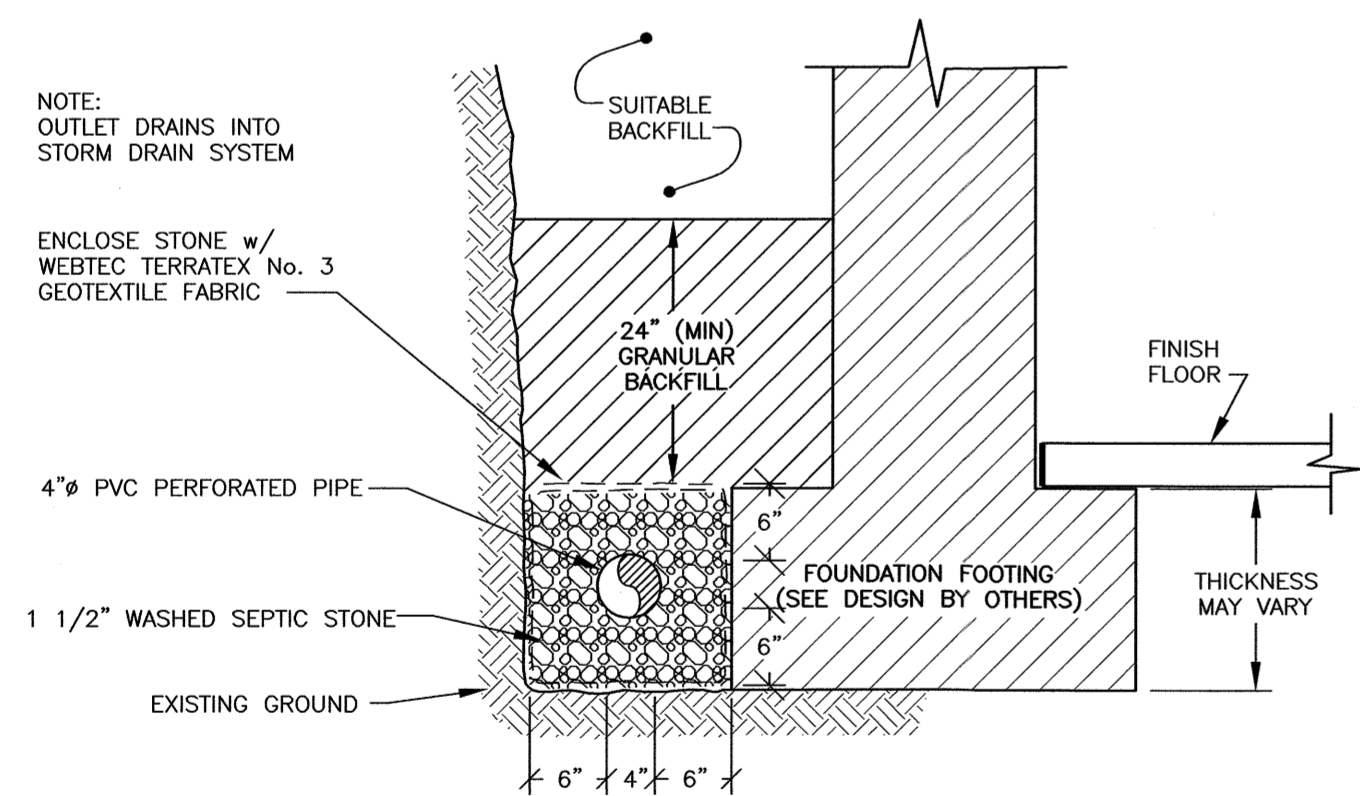
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

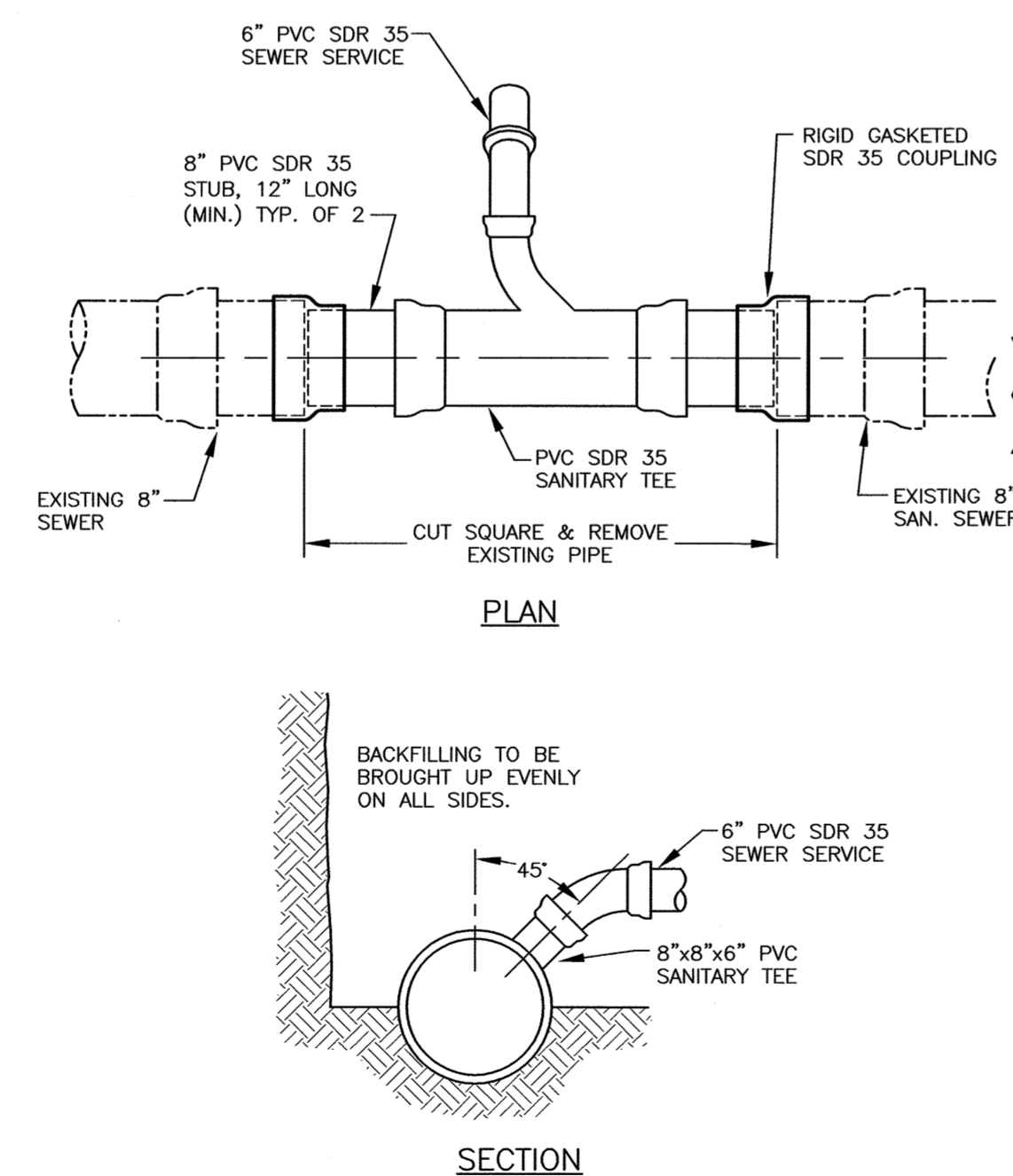


- NOTES:
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 3. SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR LOCATIONS.

Q C6 HARCO DRAIN BASIN DETAIL NTS

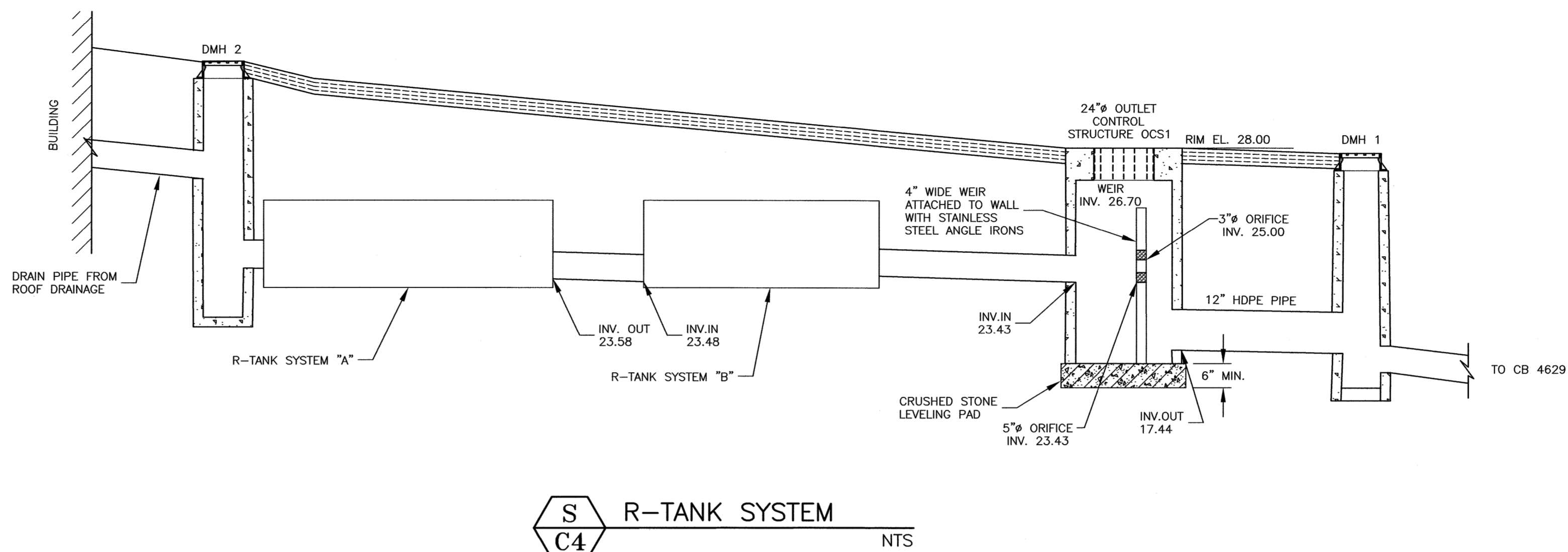


R C6 TYPICAL FOUNDATION DRAIN NTS



T C4 SEWER SERVICE CONNECTION DETAIL NTS

NOTE: COORDINATE DESIGN OF SEWER CONNECTION WITH CITY OF PORTSMOUTH DPW. PROVIDE SHOP DRAWINGS FOR REVIEW.



S C4 R-TANK SYSTEM NTS

GENERAL NOTES:

- 1) MINIMUM PIPE SIZE FOR HOME SERVICES SHALL BE SIX INCHES.
- 2) PIPE AND JOINT MATERIALS:
 - A. PLASTIC SEWER PIPE:

ASTM STANDARDS	GENERIC PIPE MATERIAL	SIZES APPROVED
D3034	*PVC (SOLID WALL)	8" THROUGH 15" (SDR 35)
F679	PVC (SOLID WALL)	18" THROUGH 27" (T-1 & T-2)
F789	PVC (SOLID WALL)	4" THROUGH 18" (T-1 To T-3)
F794	PVC (RIBBED WALL)	8" THROUGH 36"
AWWA C900	PVC (SOLID WALL)	8" THROUGH 18"

 *PVC: POLYVINYL CHLORIDE
 - B. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 AND SHALL BE PUSH-ON BELL AND SPIGOT TYPE.
 - C. DUCTILE IRON PIPE, FITTINGS AND JOINTS:
 1. DUCTILE IRON PIPE AND FITTINGS FOR SEWERS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:

A21.50	THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
A21.51	DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND LINED MOLDS FOR SEWER APPLICATIONS.
 2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:

A21.11	RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS.
--------	--
- 3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
- 4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.

GENERAL NOTES- CONT'D:

- 10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE, FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33 STONE SIZE NO. 67.

100% PASSING	1 INCH SCREEN
90%-100% PASSING	3/4 INCH SCREEN
20%- 55% PASSING	3/8 INCH SCREEN
0%- 10% PASSING	#4 SIEVE
0%- 5% PASSING	#8 SIEVE

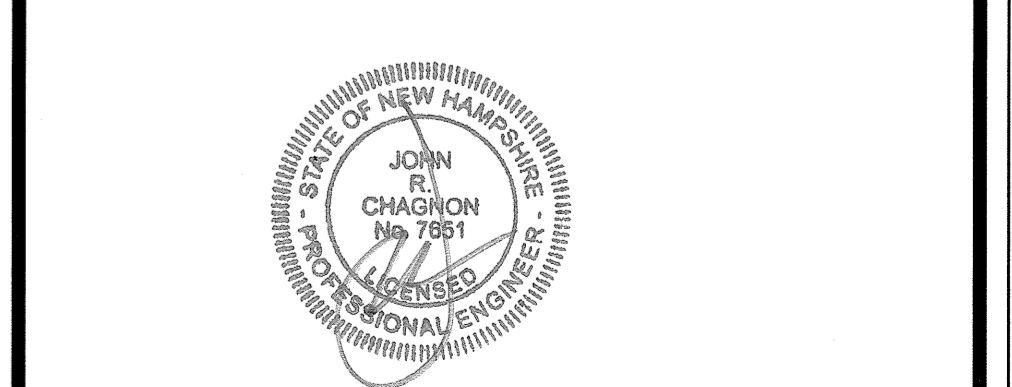
 WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED.
- 11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPE FINDER.
- 12) CAST-IN-PLACE CONCRETE: SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS AS FOLLOWS:

CEMENT:	6.0 BAGS PER CUBIC YARD
WATER:	5.75 GALLONS PER BAG OF CEMENT
MAXIMUM AGGREGATE SIZE:	3/4 INCH
- 13) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION OR MAIN. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.
- 14) BACKFILL UP TO SUBBASE GRAVEL SHALL BE WITH EXCAVATED SOIL FROM TRENCHING OPERATIONS. COMPACT IN 8" LIFTS WITH VIBRATORY PLATE COMPACTORS TO 90% OF MODIFIED PROCTOR DENSITY. IF FINE-GRAINED, COMPACT WITH POCO STICKS OR SHEEPSFOOT ROLLERS. PLACE NO LARGE ROCKS WITHIN 24" OF PIPE. TRENCHES THAT ARE NOT ADEQUATELY COMPACTED SHALL BE RE-EXCAVATED AND BACKFILLED UNDER THE SUPERVISION OF THE DESIGN ENGINEER OR GOVERNING BODY. UNSUITABLE BACKFILL MATERIAL INCLUDES CHUNKS OF PAVEMENT, TOPSOIL, ROCKS OVER 6" IN SIZE, MUCK, PEAT OR PIECES OF PAVEMENT.
- 15) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB-SITE SAFETY AND COMPLIANCE WITH GOVERNING REGULATIONS.
- 16) ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE. REFILL WITH BEDDING MATERIAL. FOR TRENCH WIDTH SEE TRENCH DETAIL.
- 17) SAND BLANKET: CLEAN SAND, FREE FROM ORGANIC MATTER, SO GRADED THAT 90% - 100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% WILL PASS A #20 SIEVE. BLANKET MAY BE OMITTED FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED THAT NO STONE LARGER THAN 2 INCHES IS IN CONTACT WITH THE PIPE.
- 18) BASE COURSE GRAVEL, IF ORDERED BY THE ENGINEER, SHALL MEET THE REQUIREMENTS OF DIVISION 500 OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION.
- 19) FOR CROSS COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- 20) IF FULL ENCASEMENT IS UTILIZED, DEPTH OF CONCRETE BELOW PIPE SHALL BE 1/4 I.D. (4" MIN.) BLOCK SUPPORT SHALL BE SOLID CONCRETE BLOCKS.
- 21) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 22) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION.
- 23) THE PURPOSE OF THESE NOTES IS TO DETAIL STANDARDS FOR SEWER CONSTRUCTION.
- 24) ALL WORK SHALL BE IN COMPLIANCE WITH NHDES CODE OF ADMINISTRATIVE RULES PART ENV-WQ 704 DESIGN OF SEWERS.

COMMERCIAL DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	DETAIL T	12/7/21
1	DETAIL S	11/22/21
0	ISSUED FOR COMMENT	10/20/21

REVISIONS		
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SCALE: AS SHOWN DECEMBER 2020

DETAILS

D4

BUILDING SUMMARY	GSF	% BUILDING	RSF
TOTAL PARKING	8,038.847	17.012%	
TOTAL BUILDING TENANT AREA	28,419.401	60.141%	
TOTAL BUILDING COMMON PORCH & DECK	10,796.717	22.848%	
TOTAL BUILDING AREA	47,254.965	100.000%	

LOWER LEVEL			
COMMON	1,834.536		
LL1	1,106.489	3.893%	1,526.851
LL2	1,028.727	3.620%	1,419.547
PARKING	8,038.847		
SUBTOTAL	12,008.599	7.513%	2,946.399

FIRST			
COMMON	2,670.802		
101	1,107.030	3.895%	1,527.598
102	1,026.564	3.612%	1,416.562
103	435.491	1.532%	600.937
104	374.613	1.318%	516.931
105	396.039	1.394%	546.497
106	383.741	1.350%	529.527
107	354.909	1.249%	489.741
108	363.318	1.278%	501.345
109	356.111	1.253%	491.400
110	365.626	1.287%	504.530
111	341.542	1.202%	471.296
112	443.023	1.559%	611.330
113	441.896	1.555%	609.775
114	486.749	1.713%	671.668
115	356.101	1.253%	491.386
116	375.928	1.323%	518.746
117	296.122	1.042%	408.621
118	485.647	1.709%	670.147
SUBTOTAL	11,061.252	29.524%	11,578.037

SECOND			
COMMON	1,913.995		
201	1,100.404	3.872%	1,518.454
202	1,000.463	3.520%	1,380.545
203	525.173	1.848%	724.690
204	803.356	2.827%	1,108.556
205	770.946	2.713%	1,063.833
206	748.527	2.634%	1,032.897
207	740.435	2.605%	1,021.731
208	772.210	2.717%	1,065.578
209	809.841	2.850%	1,117.505
210	748.285	2.633%	1,032.563
211	985.190	3.467%	1,359.470
SUBTOTAL	10,918.824	31.685%	12,425.823

THIRD			
COMMON	1,606.480		
301	2,365.581	8.324%	3,264.281
302	523.692	1.843%	722.646
303	802.246	2.823%	1,107.025
304	774.073	2.724%	1,068.148
305	744.871	2.621%	1,027.852
306	739.916	2.604%	1,021.015
307	771.307	2.714%	1,064.332
308	1,034.707	3.641%	1,427.799
309	1,132.513	3.985%	1,562.762
SUBTOTAL	10,495.386	31.28%	12,265.860

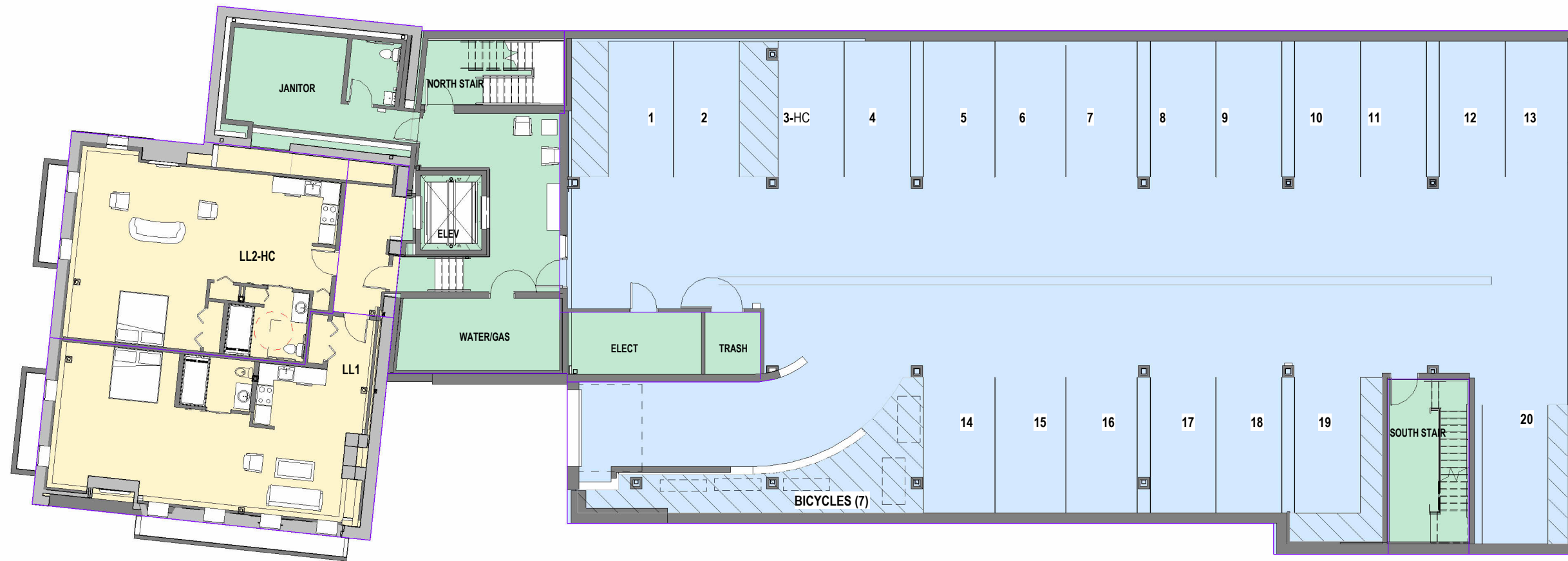
ROOF			
COMMON	2,770.904		
SUBTOTAL	2,770.904		

0

**AREA CALCULATIONS
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801**

10/29/24

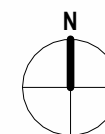




LL

LOWER LEVEL PLAN
 HOTEL TREADWELL
 93 PLEASANT STREET
 PORTSMOUTH, NH 03801

10/29/24

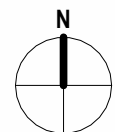




1

FIRST FLOOR
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801

10/29/24

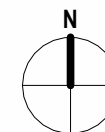


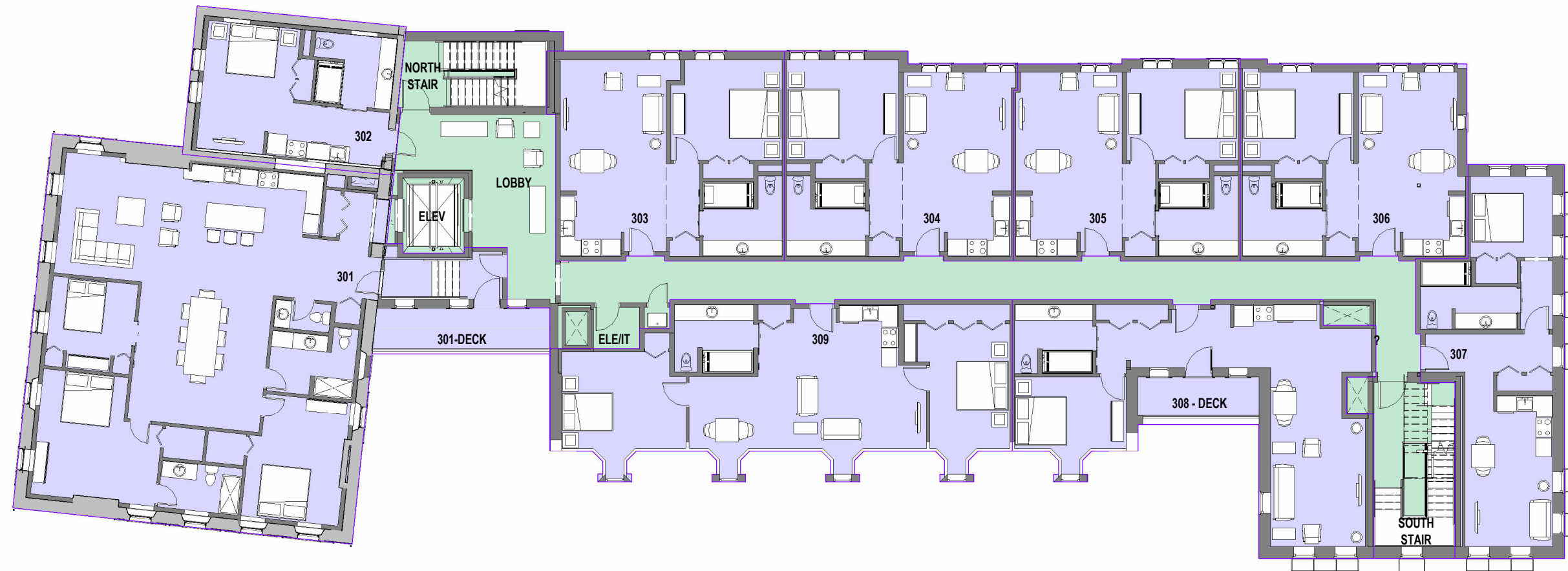


2

**SECOND FLOOR
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801**

10/29/24

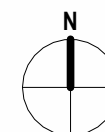


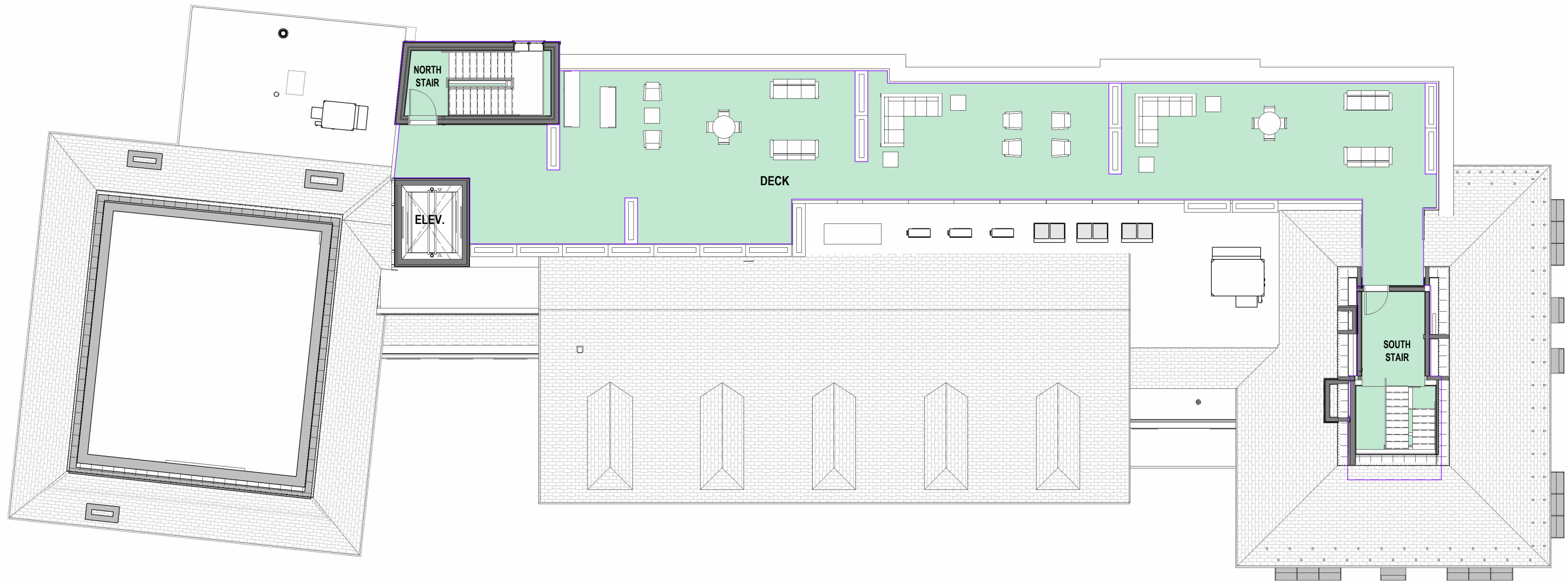


3

**THIRD FLOOR
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801**

10/29/24

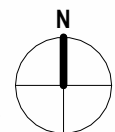




4

ROOF
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801

10/29/2024





5

SOUTH ELEVATION - COURT STREET
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801

10/29/2024





6

WEST ELEVATION - PLEASANT STREET
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801

10/29/2024





7

**NORTH ELEVATION
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801**

10/29/2024





8

**EAST ELEVATION
HOTEL TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801**

10/29/2024



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ARCHITECTS SUPPLEMENTAL INSTRUCTIONS NO. 44

Date: 11/13/2024

Project: 93 Pleasant Street
Core & Shell
ARCove & JSA Project No. 1003/P150.00

Owner: DAGNY TAGGART LCC, McNABB PROPERTIES

To Contractor: McNABB PROPERTIES

Description

Re: Arch1 Modifications

Revisions:

ARCove Architects is issuing updates which include the architectural revisions for the Treadwell mansion and new addition.

Architectural updates include the following:

- Apartel unit partition types and layout dimensions at all levels including the new ERV mechanical shaft near Stair 2 in Units 113, 209, & 308.
- Adjusted the parking garage ceiling slope for a min 98" ambulance height clearance,
- And the exterior landing pad and railing details outside stair 2 covered entry.

Attachments:

- T-01 COVER SHEET
- T-02 DRAWING INDEX
- A-1.00 BASEMENT FLOOR PLAN
- A-1.01 FIRST FLOOR PLAN
- A-1.02 SECOND FLOOR PLAN
- A-1.03 THIRD FLOOR PLAN
- A-3.03 BUILDING SECTIONS
- A-7.10 EXTERIOR SECTION DETAILS

Source information:

- RFI-091 PARKING GARAGE DOOR RELOCATION
- RFI-092 93 STORMWATER DRAINAGE SYSTEM
- RFI-097 COURT ST STONE WALLS & PARKING RAMP & STAIRS
- ASI-043 ARCH, CE, PLA REVS

1. Please promptly execute this ASI, which interprets the Contract or orders minor changes in the work without change in the Contract Sum or Contract Time. If you consider that change in the Contract Sum or Contract Time is required, please submit your itemized proposal before proceeding with this work.

93 Pleasant Street

ASI NO.044

11/13/2024

- 2. Please submit a proposal with itemized cost breakdown labor and materials for the proposed change, showing either credit or extra to Contract Sum or Contract Time. You are not authorized to proceed with this work unless directed in writing.
- 3. Please proceed with the work immediately and submit an itemized cost breakdown of labor and materials showing either credit or extra to the Contract Sum or the Contract Time.
- 4. Please proceed with this work on a time and materials basis.

Issued by:

ARCove Architects Tracy Kozak/ Doug Reitmeyer

Accepted by:

Contractor: PM's name

Owner: Owner's representative's name

HOTEL TREADWELL



CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

9/30/2024

REVISIONS THROUGH ASI-044 (REV.44) 11/13/2024



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www.arcove.com



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JSA DESIGN
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CIVIL ENGINEER & LAND SURVEYOR
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(603) 430-9282

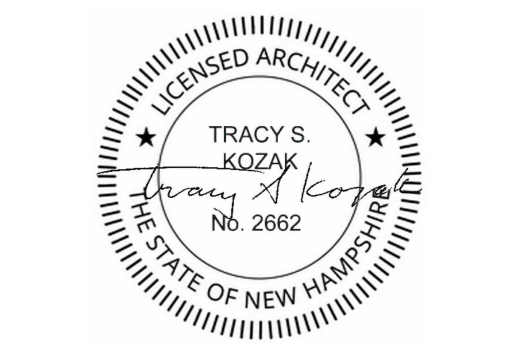
LANDSCAPEARCHITECT Terra Firma
Landscape Architecture
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&
FIRE PROTECTION ENGINEERS
WV Engineering & Associates
11 King Court Keene,
NH 03431

HOTEL
TREADWELL
93 PLEASANT STREET
PORTSMOUTH, NH 03801

Dagny Taggart, LLC
McNabb Properties



Scale:
Project Number: 1003/P150.00
Date: 9/30/2024

REVISIONS		
NO.	DESCRIPTION	DATE
22	ASI-26 Structural Shoring	09.01.23
24	ASI-28 Structural	10.02.23
26	ASI-30 WV MEP REVS	02.13.24
27	ASI-31 Architectural Stairs	02.27.24
31	ASI-34 Electrical and trash room	04.17.24
33	ASI-36 Core & Shell	05.22.24
35	ASI-38 Stair 2 Arch & Structural	06.05.24
38	ASI-38 R1 Stair 2 roof over-run	06.20.24
40	ASI-40 Arch&PE Revisions	7/10/2024
41	ASI-41 ARCH&MEP REVS	7/28/2024
42	ASI-42 ARCH&MEP REVS	8/23/2024
43	ASI-43 ARCH REVS	10/31/2024
44	ASI-44 ARCH REVS	11/13/2024

CONSTRUCTION
DOCUMENTS - FOR
CONSTRUCTION
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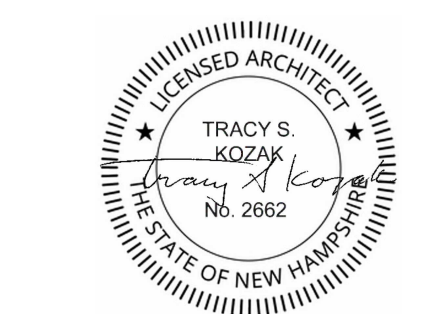
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PORTSMOUTH, NH 03801

Dagny Taggart, LLC
McNabb Properties



Scale: As indicated
Date: 9/30/2024
Project Number: 1003/P150.00

REVISIONS		
NO.	DESCRIPTION	DATE
1	ADDENDUM 1	8.30.22
3	ASI-05 basement lounge & roof deck	11.04.22
10	ASI-13 Mansions Revisions	04.17.23
14	ASI-17 Structural & Architectural	05.10.23
17	ASI-20 Windows, elevator, lobby stairs	06.21.23
25	ASI-29 Architectural	01.15.24
31	ASI-34 Electrical and trash room	04.17.24
33	ASI-36 Core & Shell	05.22.24
34	ASI-37 Parking Ramp & Hardscape	06.03.24
36	ASI-37 R1 Parking Ramp	06.20.24
42	ASI-42 ARCH&MEP REVS	8/23/2024
43	ASI-43 ARCH REVS	10/31/2024
44	ASI-44 ARCH REVS	11/13/2024

CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

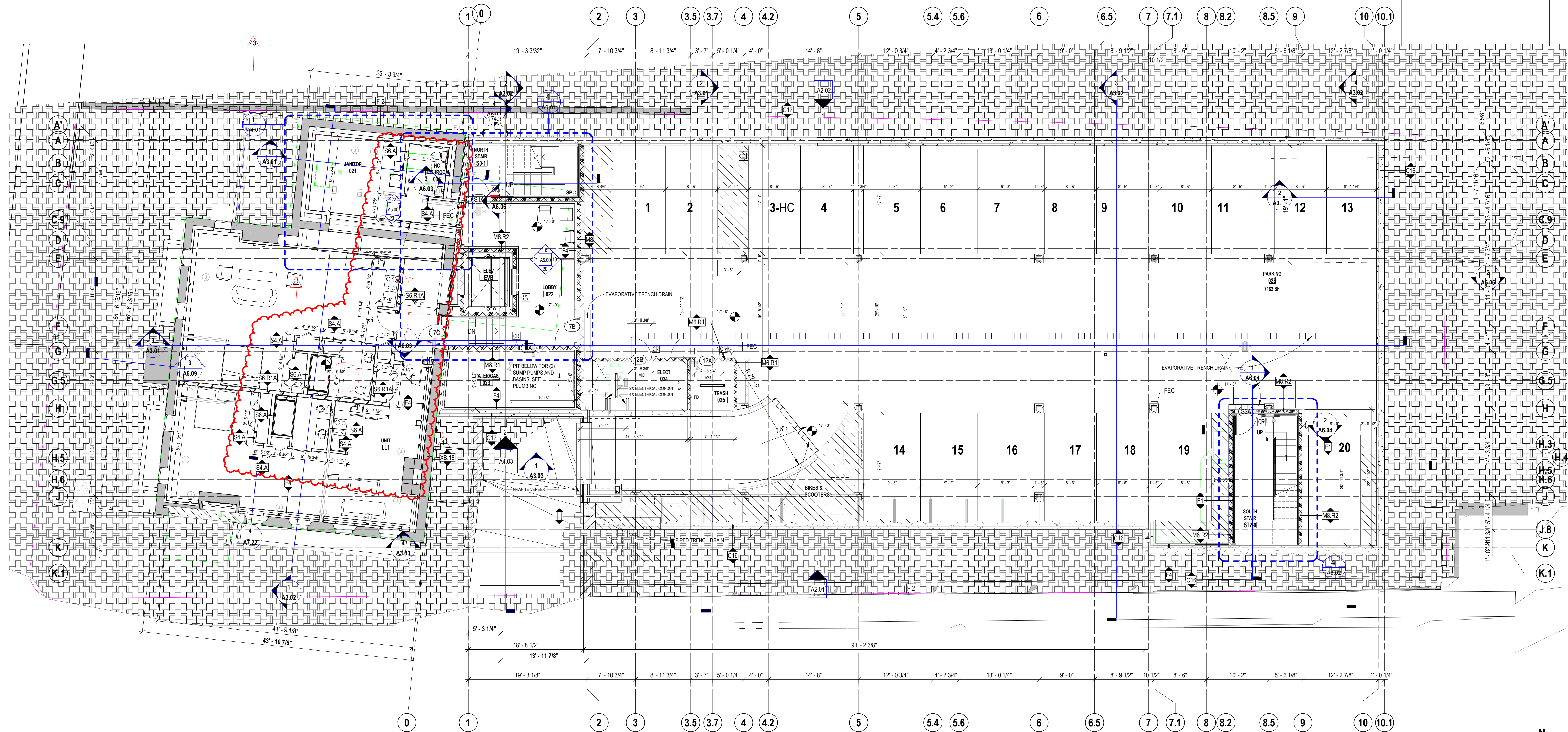
BASEMENT FLOOR PLAN

A1.00

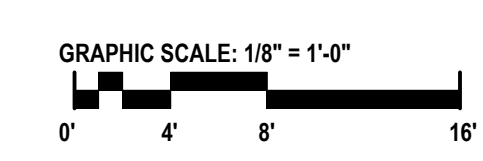
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GENERAL EXTERIOR NOTES

- GENERAL CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DRAWINGS.
- REFERENCE LIFE SAFETY DRAWINGS LS.00-LS.03 FOR ADDITIONAL INFORMATION.
- REFERENCE DRAWING A8.02 & A8.03 FOR EXTERIOR WALL AND HORIZONTAL ASSEMBLY TYPES.
- REFERENCE CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURAL DRAWINGS FOR SITE SPECIFIC INFORMATION. SITE INFORMATION SHOWN HERE FOR REFERENCE ONLY.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF STUD TO FACE OF STUD, TYP.
- ALL DOORS SHALL BE INSTALLED WITH HINGED SIDE OF FINISHED OPENING 6" FROM ADJACENT WALL, OR CENTERED WITHIN WALL, UNLESS NOTED OTHERWISE.
- ALL DOORS INTENDED FOR PASSAGE MUST MEET ACCESSIBILITY MANEUVERING CLEARANCES.
- EXTERIOR OPENINGS ARE DIMENSIONED TO CENTER LINE OF OPENING UNLESS NOTED OTHERWISE.
- ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL CODES AS WELL AS STATE AND FEDERAL GUIDELINES.
- REFER TO A8.11 FOR WINDOW AND LOUVER TYPES.
- REFER TO A8.21 FOR DOOR TYPES AND SCHEDULE.
- REFER TO A2 SERIES FOR ENLARGED ELEVATIONS, A3 SERIES FOR COMPILATION SHEETS, AND A4 SERIES SHEETS FOR ENLARGED PLANS.
- ALL EXPOSED STEEL ELEMENTS, INCLUDING EXPOSED DECK TO BE FINISHED PER 099113.1.2C



1 NEW - 0 BASEMENT FLOOR PLAN
1/8" = 1'-0"



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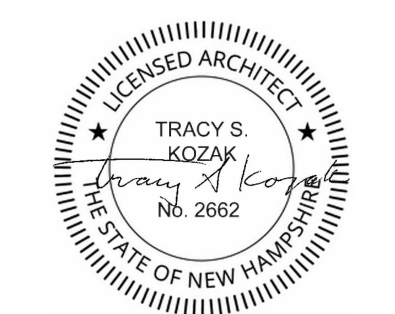
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Scale: 1/8" = 1'-0"
Date: 9/30/2024
Project Number: 1003/P150.00

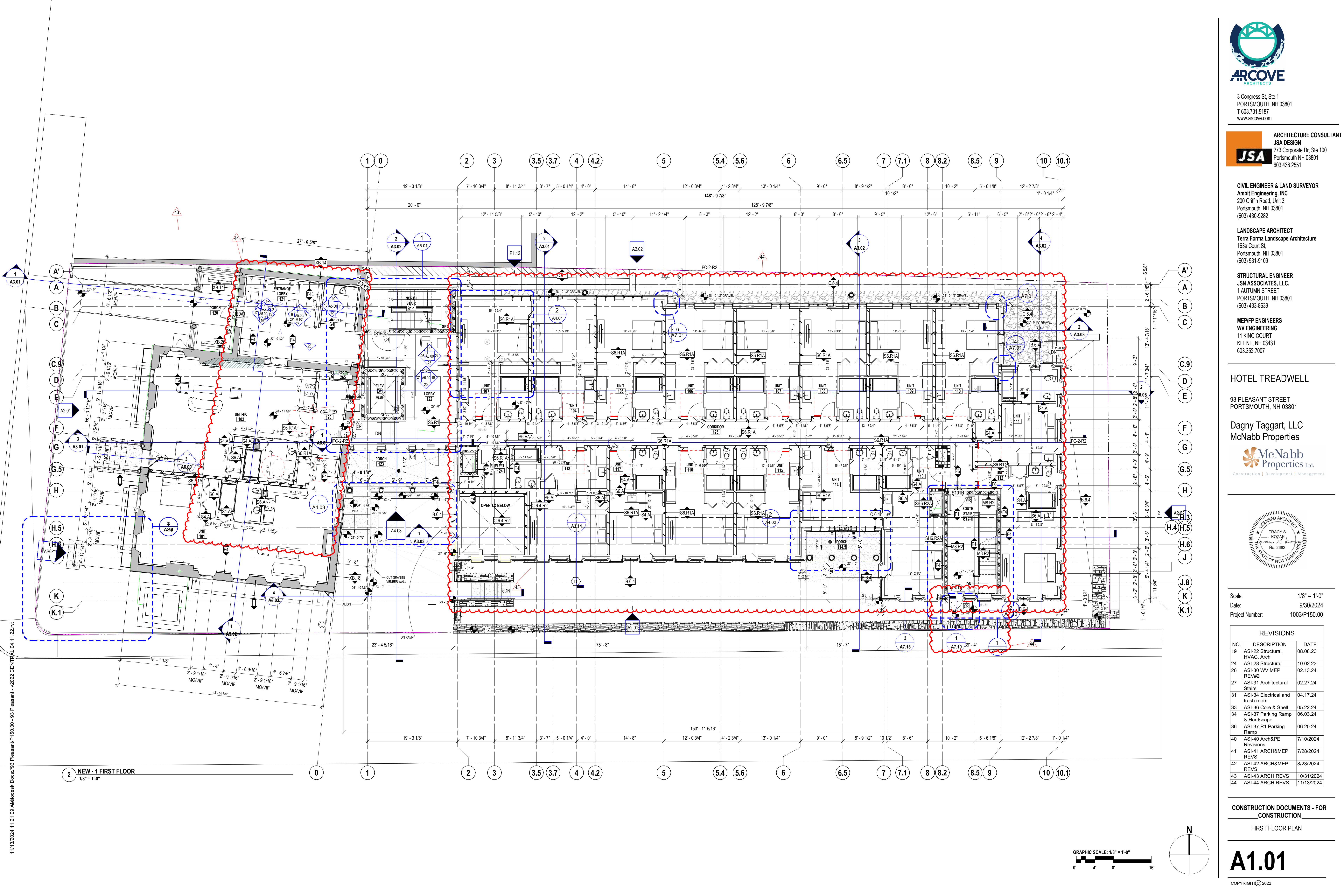
NO.	DESCRIPTION	DATE
19	ASI-22 Structural, HVAC, Arch	08.08.23
24	ASI-28 Structural	10.02.23
26	ASI-30 WV MEP REV#2	02.13.24
27	ASI-31 Architectural Stairs	02.27.24
31	ASI-34 Electrical and trash room	04.17.24
33	ASI-36 Core & Shell	05.22.24
34	ASI-37 Parking Ramp & Hardscape	06.03.24
36	ASI-37-R1 Parking Ramp	06.20.24
40	ASI-40 Arch&PE Revisions	7/10/2024
41	ASI-41 ARCH&MEP REVS	7/28/2024
42	ASI-42 ARCH&MEP REVS	8/23/2024
43	ASI-43 ARCH REVS	10/31/2024
44	ASI-44 ARCH REVS	11/13/2024

CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

FIRST FLOOR PLAN

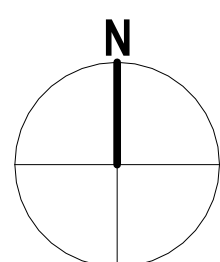
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2 NEW - 1 FIRST FLOOR
1/8" = 1'-0"

GRAPHIC SCALE: 1/8" = 1'-0"
0 4 8 16



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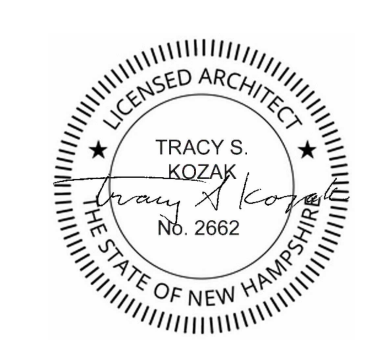
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McNabb Properties



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Date: 9/30/2024
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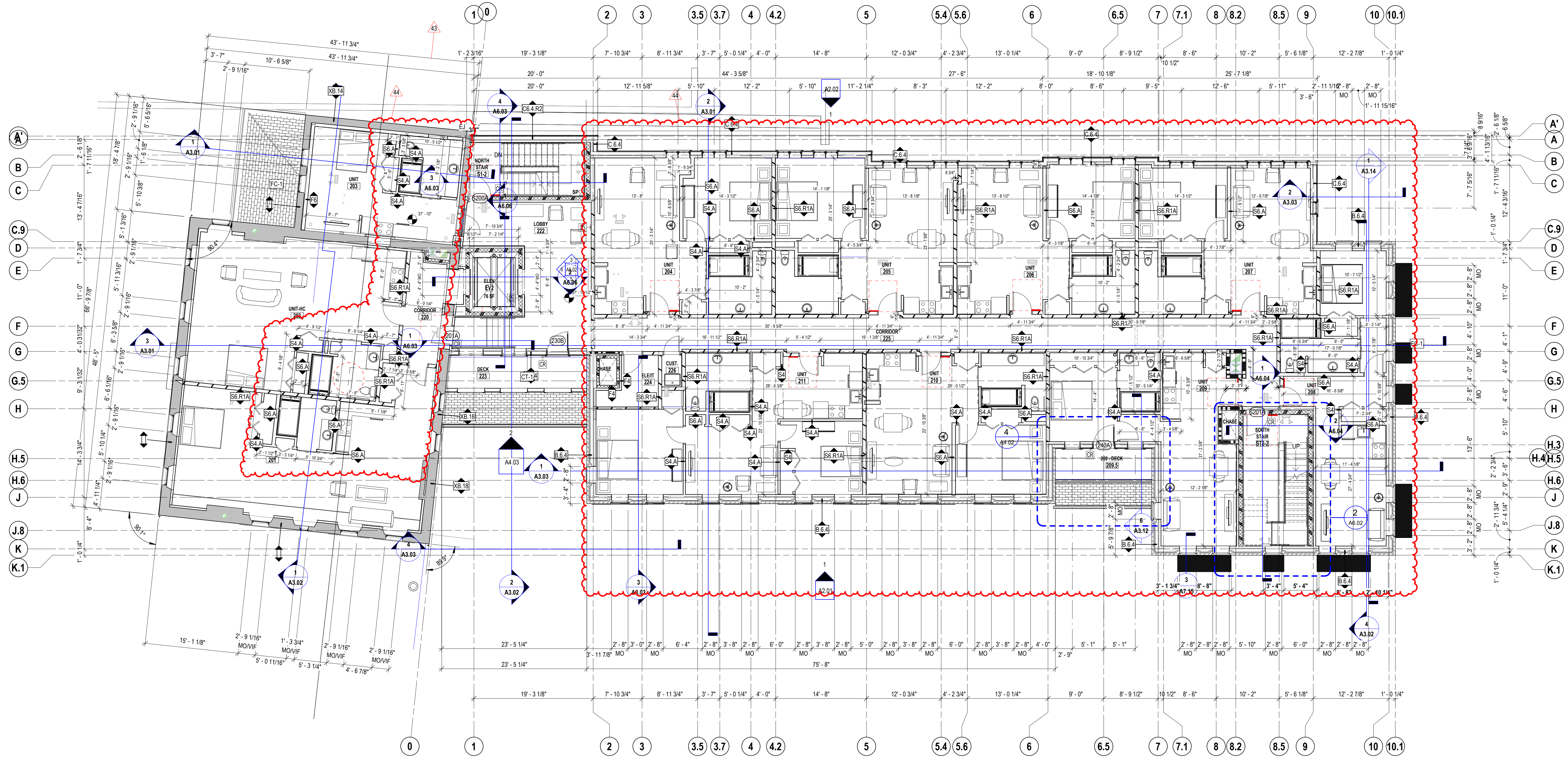
NO.	DESCRIPTION	DATE
10	ASI-13 Manston Revisions	04.17.23
12	ASI-15 Stair Adjustments, plans and sections	04.28.23
14	ASI-17 Structural & Architectural	05.10.23
19	ASI-22 Structural, HVAC, Arch	08.08.23
31	ASI-34 Electrical and trash room	04.17.24
33	ASI-36 Core & Shell	05.22.24
40	ASI-40 Arch&PE Revisions	7/10/2024
41	ASI-41 ARCH&MEP REVS	7/28/2024
42	ASI-42 ARCH&MEP REVS	8/23/2024
43	ASI-43 ARCH REVS	10/31/2024
44	ASI-44 ARCH REVS	11/13/2024

CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

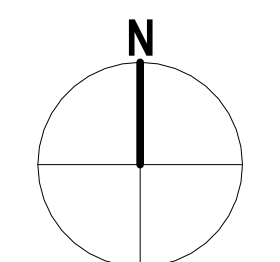
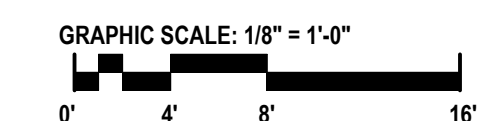
SECOND FLOOR PLAN

A1.02

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1 NEW - 2 SECOND FLOOR PLAN
1/8" = 1'-0"



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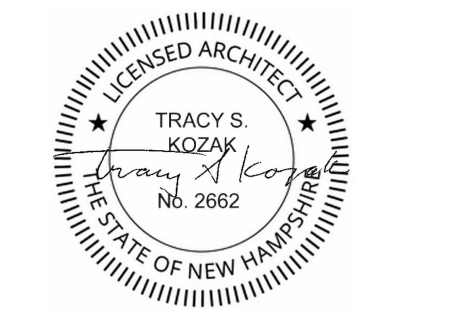
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HOTEL TREADWELL

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Dagny Taggart, LLC
 McNabb Properties



Scale: 1/8" = 1'-0"
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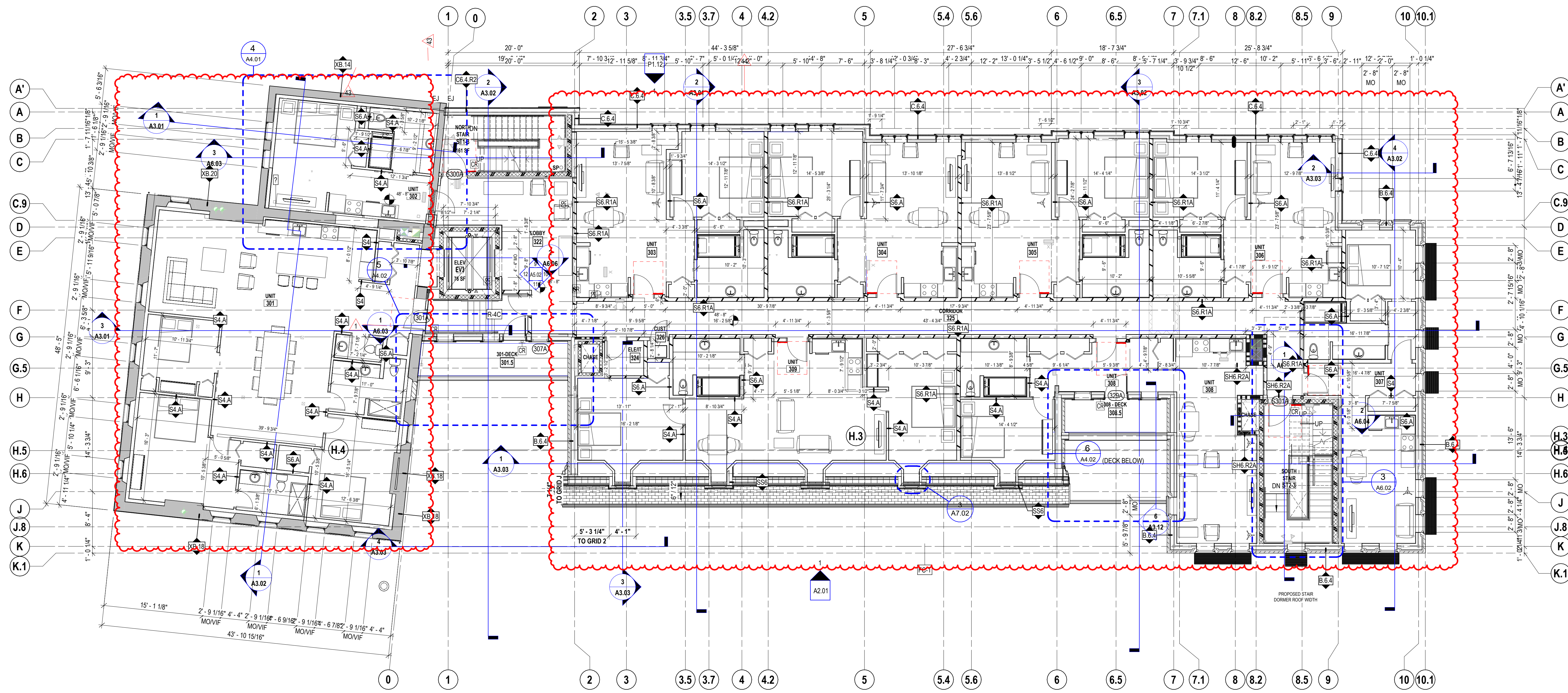
NO.	DESCRIPTION	DATE
12	ASI-15 Stair Adjustments, plans and sections	04.28.23
14	ASI-17 Structural & Architectural	05.10.23
19	ASI-22 Structural, HVAC, Arch	08.08.23
31	ASI-34 Electrical and trash room	04.17.24
32	ASI-35 Dormer and Roof Dimensions	05.08.24
33	ASI-36 Core & Shell	05.22.24
35	ASI-38 Stair 2 Arch & Structural	06.05.24
40	ASI-40 Arch&PE Revisions	7/10/2024
41	ASI-41 ARCH&MEP REVS	7/28/2024
42	ASI-42 ARCH&MEP REVS	8/23/2024
43	ASI-43 ARCH REVS	10/31/2024
44	ASI-44 ARCH REVS	11/13/2024

CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

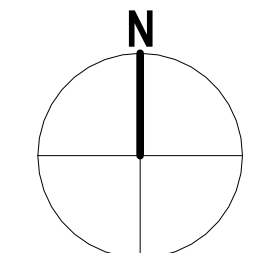
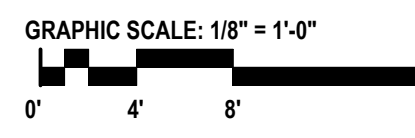
THIRD FLOOR PLAN

A1.03

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1 NEW - 3 THIRD FLOOR PLAN
 1/8" = 1'-0"

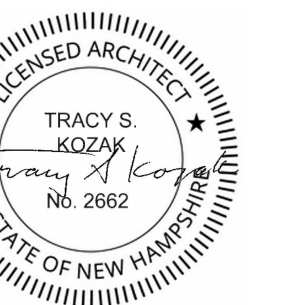


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Date: 9/30/2024
Project Number: 1003/P150.00

REVISIONS		
NO.	DESCRIPTION	DATE
3	ASI-05 basement lounge & roof deck	11.04.22
32	ASI-35 Dormer and Roof Dimensions	05.08.24
33	ASI-36 Core & Shell	05.22.24
34	ASI-37 Parking Ramp & Hardscape	06.03.24
35	ASI-38 Stair 2 Arch & Structural	06.05.24
40	ASI-40 Arch&PE Revisions	7/10/2024
41	ASI-41 ARCH&MEP REVS	7/28/2024
42	ASI-42 ARCH&MEP REVS	8/23/2024
44	ASI-44 ARCH REVS	11/13/2024

CONSTRUCTION DOCUMENTS - FOR CONSTRUCTION

BUILDING SECTIONS

A3.03



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