# Tighe&Bond

P0595-007 March 10, 2021

Mr. Dexter Legg, Chairman City of Portsmouth Planning Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

### Re: **Design Review Phase Proposed Mixed-Use Development, Raynes Avenue, Portsmouth, NH**

Dear Chairman Legg:

On behalf of One Raynes Ave, LLC, 31 Raynes Ave, LLC & 203 Maplewood Ave, LLC (owners), and North Mill Pond Holdings, LLC (applicant), we are pleased to submit the following revised and supplemental information for a Design Review hearing with the Planning Board for the above referenced project originally submitted on December 1, 2020:

- Site Plan Set, last revised March 10, 2021;
- Planning Board Design Review Presentation Slides for March 25, 2021

On December 17, 2020, the proposed project had a Conceptual Consultation with the Planning Board in which the board provided initial feedback on the site design. In addition, the Planning Board voted to hold a Design Review public hearing on January 21, 2021 for the proposed project, which the applicant had requested to postpone until the March 2021 Planning Board meeting. The project also met for a work session with Technical Advisory Committee (TAC) on December 8, 2020 and a work session with Conservation Commission (CC) on December 9, 2020.

The enclosed Site Plans have been revised in response to feedback from the TAC work session, CC work session, and the Planning Board Conceptual Consultation. In addition, we have enclosed a copy of the applicant's Preliminary Design Review Presentation for your review in advance of the Planning Board hearing.

We look forward to meeting with the Planning Board on March 25, 2021. If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at <u>pmcrimmins@tighebond.com</u>.

Sincerely,

**TIGHE & BOND, INC.** 

Patrick M. Crimmins, PE Senior Project Manager

Copy: North Mill Pond Holdings, LLC

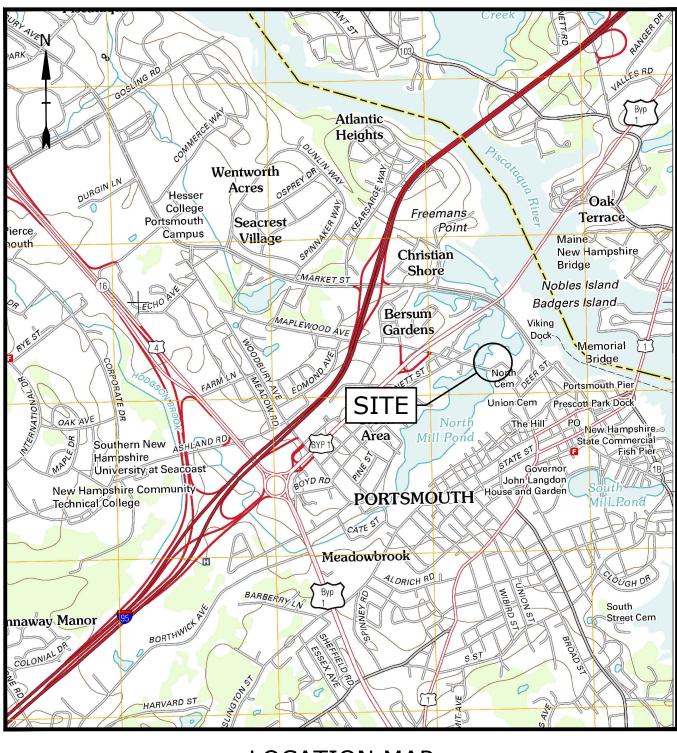
Neil A. Hansen, PE Project Engineer

# PROPOSED MIXED USE DEVELOPMENT RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE MARCH 10, 2021

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	3/10/2021
G-100	GENERAL NOTES AND LEGEND	3/10/2021
1 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
2 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
3 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
C-101	DEMOLITION PLAN	3/10/2021
C-102	OVERALL SITE PLAN	3/10/2021
C-102.1	SITE PLAN	3/10/2021
C-103	GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/10/2021
C-104	UTILITIES PLAN	3/10/2021
L-101	SITE LANDSCAPE PLAN	3/10/2021
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	3/10/2021
C-502	DETAILS SHEET	3/10/2021
C-503	DETAILS SHEET	3/10/2021
C-504	DETAILS SHEET	3/10/2021
C-505	DETAILS SHEET	3/10/2021
C-506	DETAILS SHEET	3/10/2021

LIST OF PERMITS			
LOCAL	STATUS	DATE	
SITE PLAN REVIEW PERMIT			
CONDITIONAL USE PERMIT- WETLAND BUFFER			
STATE			
NHDES - ALTERATION OF TERRAIN PERMIT			
NHDES - WETLAND PERMIT			
NHDES - SHORELAND PERMIT			
NHDES - SEWER CONNECTION PERMIT			

# T & B PROJECT NO: P-0595-007



LOCATION MAP SCALE: 1" = 2,000'

**PREPARED BY: Tiahe&Bond** 177 CORPORATE DRIVE

PORTSMOUTH, NEW HAMPSHIRE 03801 603-433-8818

**OWNERS:** 

TAX MAP 123, LOT 10 & 13 31 RAYNES LLC C/O PORTSMOUTH CHEVROLET 549 ROUTE 1 BYPASS PORTSMOUTH, NEW HAMPSHIRE 03801

TAX MAP 123, LOT 12 203 MAPLEWOOD AVENUE LLC 549 HIGHWAY 1 BYPASS PORTSMOUTH, NH 03801

TAX MAP 123, LOT 14 ONE RAYNES AVE LLC 1359 HOOKSETT RD HOOKSETT, NEW HAMPSHIRE 03106



# **DESIGN REVIEW RESUBMISSION SET COMPLETE SET 17 SHEETS**

**APPLICANT:** NORTH MILL POND HOLDINGS LLC 1359 HOOKSETT ROAD HOOKSETT, NEW HAMPSHIRE 03106



# **GENERAL NOTES:**

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH. 3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- 4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- 6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- 7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- 9. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
- 11. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- 12. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

# **DEMOLITION NOTES:**

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- 2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- 3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- 4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- 7. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY/TOWN OF STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
- 8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- 10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, 10. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- 11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
- 14. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 15. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 16. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

# SITE NOTES:

- 1. PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- 3. SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
- 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES. 6. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO
- CURRENT MUTCD STANDARDS. 7. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.

- EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 9. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS 23. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR. LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER. 24. CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION 10. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW. WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING. 11. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR
- 12. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO 25. FINAL LOCATIONS OF ALL UTILITY LINES SHALL BE APPROVED BY THE CITY OF PORTSMOUTH DPW PRIOR TO CONSTRUCTION. BUILDING.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM STRUCTURAL ENGINEER AND/OR WALL MANUFACTURER. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTAL BLOCK WALL SYSTEM AS OUTLINED IN THE DETAILS.
- 14. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 15. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- 16. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER 3 MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION. THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY PLANT MATERIAL SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS ORIGINAL PLANTING GRADE PRIOR TO DIGGING. FOR THE CITY.
- 5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON 17. THE PROPOSED LOADING ZONE ON RAYNES AVE SHALL BE REVIEWED BY THE PARKING & TRAFFIC THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN SAFETY COMMITTEE ON AUGUST 1, 2019. ANY ADDITIONAL LOADING ZONES WILL REQUIRE THE THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE APPROVAL OF THE PARKING & TRAFFIC SAFETY COMMITTEE. DRAWINGS, THE GREATER NUMBER SHALL APPLY.
- 18. THE VALUE OF A FAIR CONTRIBUTION TOWARDS OFF-SITE PUBLIC IMPROVEMENT PROJECTS SHALL BE AGREED UPON BETWEEN THE APPLICANT AND CITY PRIOR TO PLANNING BOARD APPROVALS.
- 19. RAYNES AVE LAYOUT DESIGNED AS PART OF THE CITY OF PORTSMOUTH'S COMPLETE STREETS IMPROVEMENT PROJECT THAT IS BEING DESIGNED BY THE CITY'S CONSULTANT.
- 20. ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS. 21. THE APPLICANT SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMMP)
- FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING DEPARTMENTS. 22. A TEMPORARY SUPPORT OF EXCAVATION (SOE) PLAN SHALL BE PREPARED BY THE APPLICANT'S
- CONTRACTOR TO CONFIRM ANY TEMPORARY ENCUMBRANCES OF THE CITY'S RIGHT-OF-WAY. IF LICENSES ARE REQUIRED FOR THE SOE, THE APPLICANT WILL BE REQUIRED TO OBTAIN THESE FROM THE CITY PRIOR TO CONSTRUCTION.
- 23. THE APPLICANT AGREES TO EXECUTE A PROSPECTIVE DEVELOPMENT INCENTIVE AGREEMENT FOR PROVIDED WITH AN IRRIGATION SYSTEM. THE EXCESS COMMUNITY SPACE AREAS PRIOR TO CONSTRUCTION. 11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

- 1. COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL BELOW LOAM AND SEED AREAS
- \* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
- 17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW GRADE. FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE 4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR AND LOADING DOCK AREAS ADJACENT TO THE BUILDING. SHRUB.
- 5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
- 6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHOOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION. 7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4'
- STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.

- NATURAL GAS UNITIL
- WATER/SEWER CITY OF PORTSMOUTH • ELECTRIC - EVERSOURCE COMMUNICATIONS - COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
- 2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- 3. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
- 4. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED. 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 10. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES. 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE,
- LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES. 14. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED
- ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL. 16. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- PREPARED BY RADAR SOLUTIONS INTERNATIONAL, INC. 17. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN 10. "VAUGN ST. BNDER ELEVATIONS AS BUILT DRAWING" BY S.U.R. CONSTRUCTION, INC. DATED ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL 8/12/2019. SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- 18. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN 19. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF
- PORTSMOUTH.
- 20. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH. 21. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
- 22. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO:

8. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1

# **GRADING AND DRAINAGE NOTES:**

- 95%
- 95%
- 90%

# **EROSION CONTROL NOTES:**

- 1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.

CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.

# LANDSCAPE NOTES:

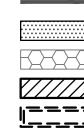
- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN
- 2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- 8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- 9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
- 10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE
- 12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
- 13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
- 14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL
- 15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
- 16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
- 18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
- 19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
- 21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

# **EXISTING CONDITIONS PLAN NOTES:**

- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY DOUCET SURVEY INC. DURING 8/12. SEE REFERENCE PLAN #1.
- 2. FLOOD HAZARD ZONE BASED ON REFERENCE PLAN #1.
- 3. HORIZONTAL DATUM BASED ON REFERENCE PLAN #2.
- 4. VERTICAL DATUM BASED ON REFERENCE PLAN #1.

# **REFERENCE PLANS:**

- 1. ""EXISTING CONDITIONS PLAN OF TAX MAP 123, LOT 10, 12, 13 & 14" PREPARED BY DOUCET SURVEY INC., DATED JUNE 17, 2020.
- 2. "SITE PLAN PLAN FOR 111 MAPLEWOOD AVENUE" PREPARED BY TIGHE & BOND INC., DATED MARCH 18, 2019, LAST REVISED NOVEMBER 21, 2019.
- 3. "EXISTING CONDITIONS PLAN OF TAX MAP 123, LOT 15 & TAX MAP 124, LOTS 10 & 11" PREPARED BY DOUCET SURVEY INC., DATED FEBRUARY 3, 2016.
- 4. "UTILITIES PLAN" AC HOTEL AND COMMUNITY SPACE, PREPARED BY TIGHE & BOND INC., DATED JULY 23, 2018
- "DISPOSITION PLAN PARCEL 3" DATED 6/73 BY ANDERSON-NICHOLS & CO., INC., R.C.R.D. PLAN #D-4019.
- 6. "PLAN OF LAND, VAUGHAN AND GREEN STREETS, PORTSMOUTH NH" DATED JULY 1955 BY JOHN W. DURGIN R.C.R.D. PLAN #02541.
- "SEVERINO TRUCKING CO., INC. ELECTRIC DUCT BANK LOCATION PLAN" DATED MARCH 25, 2014.
- "EXISTING FEATURES PLAN, TAX MAP 118 LOT 28, TAX MAP 119 LOT 4, TAX MAP 124 LOT 12 & TAX MAP 125 LOT 21" DATED NOVEMBER 27, 2013, REVISED 1/16/15 BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC.
- "FIGURE 1 AREA OF INVESTIGATION WITH EMI", 111 MAPLEWOOD AVENUE, DATED JULY 2019,
- 11. COMPLETE STREETS CONCEPTUAL DESIGN BY SEBAGO TECHNICS. DATED 05/31/2019.





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APPROXIMATE LIMIT OF PRO LIMIT OF WORK PROPOSED SILT SOCK	DPOSED SAW CUT
APPROXIMATE LIMIT OF	
PAVEMENT TO BE REMOVED PROPOSED CONSTRUCTION	
BUILDING TO BE REMOVED	
	JILDING
INLET PROTECTION SILT SA	СК
PROPERTY LINE	
PROPOSED EDGE OF PAVEM	ENT
PROPOSED CURB	
PROPOSED BUILDING	
PROPOSED PAVEMENT SECT	ION
PROPOSED CONCRETE SIDE	WALK
PROPOSED BRICK SIDEWAL	
(SEE SITE NOTE #27)	
PROPOSED BOLLARD     PROPOSED MAJOR CONTOUR	
PROPOSED MAJOR CONTOUR     PROPOSED MINOR CONTOUR	
PROPOSED DRAIN LINE (TYP	·)
PROPOSED SILT SOCK	
INLET PROTECTION SILT SA	ск
PROPOSED CATCHBASIN	
PROPOSED DOUBLE GRATE	
PROPOSED DRAIN MANHOLE	
PROPOSED YARD DRAIN	
EXISTING STORM DRAIN	
SS     EXISTING SANITARY SEWER     EXISTING SANITARY SEWER     EXISTING SANITARY SEWER	
EXISTING UNDERGROUND	
W     TELECOMMUNICATION       EXISTING WATER	
G	
EXISTING UNDERGROUND E	
ssssss	
PW     PROPOSED WATER       PG     PG       PG     PGOPOSED GAS	
PE PE PROPOSED UNDERGROUND	ELECTRIC
COM PROPOSED UNDERGROUND	
TELECOMMUNICATION PROPOSED UNDERGROUND	
ELECTRIC & TELECOMMUNIC	Mixed Use
(D) EXISTING DRAIN MANHOLE	
(S) EXISTING SEWER MANHOLE	Development
+(·)+ EXISTING HYDRANT	
EXISTING WATER VALVE	North Mill Pond
© EXISTING ELECTRIC MANHO	
EXISTING TELEPHONE MANH	
PROPOSED CATCHBASIN	
Image: Optimized constraintsPROPOSED DRAIN MANHOLEImage: Optimized constraintsPROPOSED SEWER MANHOLImage: Optimized constraintsPROPOSED WATER VALVE	<u>-</u>
PROPOSED SEWER MANHOL	E Portsmouth
PROPOSED WATER VALVE	Portsmouth,
-O- PROPOSED HYDRANT	New Hampshire
PROPOSED HYDRANTPROPOSED GAS VALVE	
PROPOSED ELECTRIC MANH	OLE
PROPOSED LIGHT POLE BAS	F
VIF VERIFY IN FIELD	
PROPOSED DECIDUOUS TRE     (W/ BARK MULCH)	
PROPOSED DECICUOUS TRE	E
(W/O BARK MULCH)	
Composed Shrubs (W/ BAComposed Shrubs (W/ BAComposed Shrubs (W/ BAComposed Shrubs (W/ BA	
PROPOSED GROUND COVER	B 3/10/2021 Design Review Resubmission
PROPOSED EVERGREEN TRE	E A 12/1/2020 TAC Work Session
PROPOSED EVERGREEN SHR	
TBR TO BE REMOVED BLDG BUILDING	PROJECT NO:         P-0595-007           DATE:         December 22, 2020
TYP TYPICAL	FILE: P-0595-007-C-DSGN.DWG
COORD COORDINATE	DRAWN BY: CJK CHECKED BY: NAH/PMC
30'RPROPOSED CURB RADIUSVGCPROPOSED VERTICAL GRANI	
SGC PROPOSED SLOPED GRANIT	E CURB
TC TOP OF CURB BC BOTTOM OF CURB	GENERAL NOTES AND LEGEND
TW TOP OF WALL	
BW BOTTOM OF WALL	SCALE: AS SHOWN
	G-100

	TES: REFERENCE:	TAX MAP 123, LOT 10 TAX MAP 123. LOT 12 TAX MAP 123, LOT 13 TAX MAP 123, LOT 14 RAYNES AVENUE & MAPLEWOOD AVENUE PORTSMOUTH, NEW HAMPSHIRE D.S. PROJECT NO. 6082	
2.	TOTAL PARCEL AREA:	71,149 SQ. FT. OR 1.633 AC. (COME 39,459 SQ. FT. OR 0.906 AC. (LOT	
3.	OWNER OF RECORD:	TAX MAP 123, LOTS 10 & 13 31 RAYNES LLC C/O PORTSMOUTH CHEVROLET 549 ROUTE 1 BYPASS PORTSMOUTH, NH 03801 R.C.R.D. BOOK 4676, PAGE 654 R.C.R.D. BOOK 4676, PAGE 657	203 MAPLEWOOD AVENUE LLC C/O PORTSMOUTH CHEVROLET 549 ROUTE 1 BYPASS
		TAX MAP 123, LOT 14 ONE RAYNES AVENUE LLC 1359 HOOKSETT ROAD HOOKSETT, NH 03106	
4.		R.C.R.D. BOOK 6088, PAGE 1268	
5.	-HISTO	NTHE CITY OF PORTSMOUTH ZONING SITE ON 11/18/19. SEE CITY OF PO	
	ARTICLE 5A, SECTION 10.5A4 FOR COMPLYING WITH ALL A	O FOR DIMÉNSIONAL REGULATIONS. 1 PPLICABLE MUNICIPAL, STATE AND FI	THE LAND OWNER IS RESPONSIBLE EDERAL REGULATIONS.
6	NHDES WEBSITE FOR SPECIFI	E STATE OF NH SHORELAND WATER C DIMENSIONAL REQUIREMENT. IY D.C.B. & K.J.L. DURING NOVEMBER	
υ.	DURING JUNE 2020 USING A	TRIMBLE S7 TOTAL STATION AND A COLLECTOR AND A TRIMBLE DINI DIO	TRIMBLE R8 SURVEY GRADE GPS
		Y M.J.C. ON OCTOBER 2019 USING A BASED ON LEAST SQUARE ANALYSIS.	
7.	ACCORDANCE WITH 1987 CO REPORT Y-87-1 AND THE I	ELINEATED BY TIGHE & BOND, DURIN RPS OF ENGINEERS WETLANDS DELINE NTERIM REGIONAL SUPPLEMENT TO TH H CENTRAL AND NORTHEAST REGION	EATION MANUAL, TECHNICAL HE CORPS OF ENGINEERS WETLAND
		ON NGVD29 PER DISK B2 1923.	
9.		ON NEW HAMPSHIRE STATE PLANE(28 ONS UTILIZING THE KEYNET GPS VRS	
10.	ANY MODIFICATION OF THIS	WERE FOLLOWED IN ORDER TO GENE INTERVAL WILL DIMINISH THE INTEGRI RESPONSIBLE FOR ANY SUCH ALTERA	TY OF THE DATA, AND DOUCET
11.	UNDERGROUND UTILITIES SHO PAINT MARKS FOUND ON-SI	OWN HEREON ARE BASED ON OBSERV TE.	ABLE PHYSICAL EVIDENCE AND
12.	FIELD CONDITIONS, INCLUDING	ED UTILITY INVERTS AND PIPE SIZES/ 3; THE ABILITY TO MAKE VISUAL OBS NHOLE CONFIGURATION, ETC.	
13.	WATER BOUNDARIES ARE DY CAUSES SUCH AS EROSION	NAMIC IN NATURE AND ARE SUBJECT OR ACCRETION.	TO CHANGE DUE TO NATURAL
14.	MEAN HIGH WATER (EL. 3.0' NGVD1929) AND HIGHEST OBSERVABLE TIDE (EL. 4.3' NGVD1929) ELEVATIONS PER "MAPLEWOOD AVENUE CULVERT REPLACEMENT AND NORTH MILL POND RESTORATION, WATERFRONT/STRUCTURAL BASIS OF DESIGN, BY WATERFRONT ENGINEERS, LLC, DATED DECEMBER 30, 2009", PROVIDED BY TIGHE & BOND ON 11–30–15.		
15.	IN RELATION TO THE CURREN	S TO SHOW THE LOCATION OF BOUND NT LEGAL DESCRIPTION, AND IS NOT NE THE EXTENT OF OWNERSHIP, OR I	AN ATTEMPT TO DEFINE
16.	UNORGANIZED, INCONCLUSIVE UNCERTAINTY INVOLVED WHE ROADWAY RIGHT OF WAY. TH RESEARCH CONDUCTED AT T	RESEARCHING ROAD RECORDS AS A , OBLITERATED, OR LOST DOCUMENTS N ATTEMPTING TO DETERMINE THE LO IE EXTENT OF GREEN STREET AS DEI HE CITY OF PORTSMOUTH CITY HALL RKS & THE ROCKINGHAM COUNTY RE	S, THERE IS AN INHERENT OCATION AND WIDTH OF A PICTED HEREON IS/ARE BASED ON , THE CITY OF PORTSMOUTH
	PER REFERENCE PLANS #10	SED ON HOLDING 52 FOOT WIDE RIGH & #11. THE GEOMETRY FROM REFERI WIN ON THE NORTHERLY SIDE OF MA	ENCE PLAN #11 WAS THEN
17.	IN SCHEMATIC FASHION, THE WORK WHATSOEVER SHALL E CONSULT WITH THE PROPER	(ELECTRIC, GAS, TEL. WATER, SEWEI IR LOCATIONS ARE NOT PRECISE OR E UNDERTAKEN USING THIS PLAN TO AUTHORITIES CONCERNED WITH THE	NECESSARILY ACCURATE. NO D LOCATE THE ABOVE SERVICES. SUBJECT SERVICE LOCATIONS FOR
18.	TAX MAP 123, LOTS 10, 12,	CH. CALL DIG-SAFE AT 1-888-DIG- 13 & 14 IS/ARE EITHER SUBJECT TO	
	<ul> <li>A) 12' WIDE RIGHT OF WAY</li> <li>B) RIGHT OF WAY, SEE R.C</li> <li>C) SEWER RIGHTS, SEE R.C</li> <li>D) 15' WIDE WALKWAY &amp; L</li> </ul>	EASEMENTS/RIGHTS OF RECORD: (, SEE R.C.R.D. BOOK 4676, PAGE 65 C.R.D. BOOK 4676, PAGE 657 & BOO C.R.D. BOOK 4676, PAGE 657 (LOCAT ANDSCAPE EASEMENT, SEE R.C.R.D.	0K 5621, PAGE 420. 110N UNKNOWN). BOOK 4676, PAGE 657.
		EE R.C.R.D. BOOK 3205, PAGE 1449. IS SUBJECT TO LEASEHOLD RIGHTS A	

REFERENCE PLANS: 1. "STANDARD BOUNDARY SURVEY, TA REVISED 4/25/13 BY AMBIT ENGINE

- 2. PROPERTY STAKEOUT SKETCH, POR AMBIT ENGINEERING, INC., DATED JA
- VAUGHAN STREET URBAN RENEWAL ANDERSON-NICHOLS & CO., INC., D
- "STANDARD BOUNDARY SURVEY, TA INC., NOT RECORDED.
- 5. "EASEMENT PLAN, EGRESS EASEMEN MAP 123, LOT 15, PROPERTY OF 29 AMBIT ENGINEERING, INC., DATED MA
- EASEMENT PLAN SIDEWALK EASEME VAUGHAN STREET CENTER, LLC", BY #D-38315.
- 7. "PLAN OF LAND PORTSMOUTH, NH AT JAMES VERRA & ASSOCIATES.
- STANDARD PROPERTY SURVEY FOR DATED 1/31/06, R.C.R.D. PLAN #D-
- 9. "VAUGHAN STREET URBAN RENEWAL BY ANDERSON—NICHOLS & CO., INC
- 10. "VAUGHAN STREET URBAN RENEWAL ANDERSON-NICHOLS & CO., INC., D
- 11. ILAND OF HEIRS OF JOHN AUGUST VERRA AND ASSOCIATES.
- 12. "LAND IN PORTSMOUTH, NH OWNED AT JAMES VERRA AND ASSOCIATES.
- 13. "LAND ON VAUGHAN STREET PORTS W. DURGIN, DATED AUGUST 1937, O
- 14. "SKETCH TO RALPH SPINNEY", DATE
- 15. "PLOT PLAN OF LAND PORTSMOUTH
  - DATED APRIL 1973, ON FILE AT JAN
  - 16. PLAN OF PROPERTY IN PORTSMOU 1919, ON FILE AT JAMES VERRA AN
  - 17. PLAN OF LAND PORTSMOUTH, NH F AT JAMES VERRA AND ASSOCIATES.
  - PROPERTY OF ELDRED V. AND BAR C-3277.
  - 19. "SUBDIVISION PLAN OF TAX MAP 12 DATED MAY 19, 2017, R.C.R.D. PLAN
  - 20. "LICENSE, EASEMENT & LAND TRAN LLC", BY DOUCET SURVEY INC., DAT

DRAINAGE STRUCTURES DMH 1096 RIM ELEV.=8.2' OUTSIDE OF SCOPE

DMH 1099 RIM ELEV.=8.2' OUTSIDE OF SCOPE

MH 4046 RIM ELEV.=11.8' (4275) 12" UNKN INV.=3.2' (4827) 24" DIP INV.=2.5' (4839) 24" DIP INV.=2.3'

CB 4099 RIM ELEV.=13.3' (4275) 12" RCP INV.=11.1' SUMP ELEV.=10.3'

CB 4237 RIM ELEV.=12.9' (4241) 12" CLAY INV.=10.1' SUMP ELEV.=9.3'

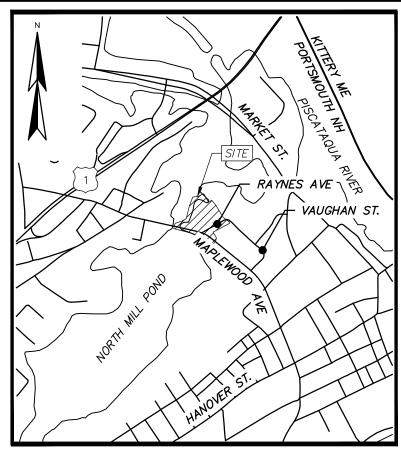
DMH 4241 RIM ELEV.=13.3' (4243) 12" CLAY INV.=9.8' (4237) 12" CLAY INV.=9.5' (4275) 12" CLAY INV.=7.0' (4829) 12" CLAY INV.=7.0'

595 Pro Con General Proposals/P0595-007 Raynes Ave Hote/Drawings\_Figures/From Others/Doucet/60828 (EC) (SHIPPED 6-19-20)/60828 (EC) (SHIPPED 6-19-20).dwg LAYOUT NAME: TOPO PLAN (1) PLOTTED: Wednesday, July 22, 2020 - 1:17

	LEGEND
	APPROXIMATE ABUTTERS LOT LINE
	$$ $\circ$ $$ $\circ$ $$ Chain link fence
TAX MAP 123 – LOT 15 & TAX MAP 124 LOT 10" DATED JULY 2008,	
INEERING, INC. R.C.R.D. PLAN #D-37722.	E UNDERGROUND ELECTRIC LINE
ORTSMOUTH PROPERTY TRUST, PE SPAULDING REVOCABLE TRUST", BY	
JANUARY 30, 2007, NOT RECORDED.	OHW OHW OVERHEAD WIRE
	TREE LINE
VAL PROJECT N.H. R-10 PORTSMOUTH, NH, CONDEMNATION MAP", BY	SHRUB LINE
DATED FEBRUARY 1971, R.C.R.D. PLAN D-2425.	
DATED TEDROART 1971, N.C.N.D. TEAN D 2420.	
TAX MAP 123, LOTS 10 & 13 FOR RAYNES, LLC", BY AMBIT ENGINEERING,	EDGE OF WETLAND AREA
	(SEE NOTE #7)
IENT TO 319 VAUGHAN STREET CENTER, LLC, TAX MAP 124, LOT 9 & TAX	CONCRETE
	RIP RAP
299 VAUGHAN STREET, LLC C/O CATHARTES PRIVATE INVESTMENTS", BY	
MARCH 2014, R.C.R.D. PLAN #D-38358.	LANDSCAPED AREA
MENT TO CITY OF PORTSMOUTH, TAX MAP 124, LOT 9 PROPERTY OF 319	UTILITY POLE & GUY WIRE
BY AMBIT ENGINEERING, INC., DATED FEBRUARY 2014, R.C.R.D. PLAN	LIGHT POLE W/ARM
	SIGN
	BOUND FOUND
H FOR WILLIAM A. HYDER", BY JOHN W. DURGIN, DATED JUNE 1955, ON FILE	O IRON PIPE/ROD FOUND
	• POST
OR PROPERTY AT 111 MAPLEWOOD AVENUE", BY EASTERLY SURVEYING, INC.,	FIRE HYDRANT
£D−33786.	WATER GATE VALVE
VAL PROJECT N.H. R-10 PORTSMOUTH, NH, DISPOSITION PLAN PARCEL 3",	WATER SHUTOFF VALVE
NC., DATED JUNE 1973, R.C.R.D. PLAN $D-4019$ .	🛱 🛛 🗛 GAS GATE VALVE
NO., DATED CONE 1973, N.C.N.D. TEAN $D=-013$ .	
VAL PROJECT N.H. R-10 PORTSMOUTH, NH, DISPOSITION MAP", BY	AC AIR CONDITIONING UNIT
DATED NOVEMBER 1969, R.C.R.D. PLAN D-2408	CATCH BASIN
DATED NOVEMBER 1909, N.C.N.D. FLAN D-2400	D DRAIN MANHOLE
ST HETT", BY JOHN W. DURGIN, DATED APRIL 1938, ON FILE AT JAMES	
ST HETT, BT JOHN W. DORGIN, DATED AFRIL 1930, ON FILE AT JAMES	M MANHOLE
	S SEWER MANHOLE
ED BY ARMOUR & CO.", BY JOHN W. DURGIN DATED OCTOBER 1938, ON FILE	
ES.	
TENOLITI NUL ESTATE OF CARRIE LIAM TO LAWRENCE V RECAN" BY JOIN	CONIFEROUS TREE
RTSMOUTH, NH ESTATE OF CARRIE HAM TO LAWRENCE V. REGAN", BY JOHN	
, ON FILE AT JAMES VERRA AND ASSOCIATES.	ECIDUOUS TREE
ATED APRIL 23, 1936, ON FILE AT JAMES VERRA AND ASSOCAIATES.	$\oplus$ MONITORING WELL LOCATION
TH, NH FOR JOHN R. AND WINNFIELD R. WELCH", BY JOHN W. DURGIN.,	ROCK/BOULDER
	× 100.0 SPOT GRADE
JAMES VERRA AND ASSOCIATES.	BND. FND. BOUND FOUND
DUTH, NH OWNED BY R.I. SUGDEN", BY WM A. GROVER, DATED APRIL 15,	
	CONC. CONCRETE
AND ASSOCIATES.	EP EDGE OF PAVEMENT
LEAD WILLIAM A LIVEED" DV JOLAL W DUDONL DATED HAVE ADER ON FUE	VGC VERTICAL GRANITE CURB
H FOR WILLIAM A. HYDER", BY JOHN W. DURGIN, DATED JUNE 1955, ON FILE	VCC VERTICAL CONCRETE CURB
ES.	SWL SINGLE WHITE LINE
	EM ELECTRIC METER
ARBARA J. STRAW", BY C.RE. LAWSON, DATED JUNE 1971, R.C.R.D. PLAN	
	GM GAS METER
	PM PARKING METER
123, LOT 15 FOR 299 VAUGHAN STREET, LLC", BY DOUCET SURVEY, INC.,	● 5/8" REBAR W/ID CAP TO BE SET
LAN D-40759.	
ANSFER PLAN FOR 299 VAUGHAN STREET, LLC & VAUGHAN STREET HOTEL,	
DATED AUGUST 2017, R.C.R.D. PLAN D-40760.	

<u>LEGEND</u>

		SEWER STRUCTURES	
CB 4243	DMH 4827	SMH 4242	SMH 4831
RIM ELEV.=12.9'	RIM ELEV.=10.4'	RIM ELEV.=13.4'	RIM ELEV.=18.2'
(4241) 12" CLAY INV.=10.1'	(4046) 24" DIP INV.=2.7' (RECESSED)	(4276) 12" DIP INV.=5.1'	(A) 8" CLAY INV.=12.4'
	(A) 18" RCP INV.=2.4'	(4830) 12" DIP INV.=5.1'	(B) 10" PVC INV.=10.2'
CB 4270	(OUTLET NOT FOUND)		(4271) 24" DIP INV.=2.7'
RIM ELEV.=11.7'	(B) 18" RCP INV.=2.3'	SMH 4271	(C) 24" DIP INV.=2.6'
(A) 10" CLAY INV.=8'	(C) 12" RCP INV.=6.2'	RIM ELEV.=13.2'	
SUMP ELEV.=6.9'		(A) 12" CLAY TOP OF PIPE=7.2'	SMH 5419
	DMH 4829	(4411) 24" CLAY INV.=3.0'	RIM ELEV.=10.7'
DMH 4275	RIM ELEV.=15.8'	(4831) 24" CLAY INV.=3.0'	(4276) 10" PVC INV.=4.2
RIM ELEV.=13.4'	(A) 12" CLAY INV.=12'		(A) 12" PVC INV.=3.7'
(4099) 12" CLAY INV.=10.9'	(B) 12" CLAY INV.=11.9'	SMH 4276	
(4408) 12" CLAY INV.=9.7'	(C) UNKN INV.=9.2'	RIM ELEV.=13.3'	
(4046) 12" CLAY INV.=5.6'	(4241) UNKN INV.=9.2'	(5419) 10" PVC INV.=5.5'	
(4241) 12" CLAY INV.=0.5'		(4242) 10" CLAY INV.=4.9'	
	DMH 4839		
MH 4290	RIM ELEV.=9.8'	SMH 4411	
RIM ELEV.=13.8'	(4046) 24" RCP INV.=1.8'	RIM ELEV.=12.0'	
NOT OPENED	(4840) 24" RCP INV.=1.7'	(4412) 24" CLAY INV.=3.5'	
		(4271) 24" CLAY INV.=3.5'	
CB 4408	DMH 4840		
RIM ELEV.=12.6'	RIM ELEV.=9.4'	SMH 4412	
(4275) 12" RCP INV.=10.0'	(4839) 24" RCP INV.=1.6'	RIM ELEV.=12.0'	
SUMP ELEV.=9.5'	(OUTFALL) 24" RCP INV.=1.6'	NOT OPENED	
CB 4410	CB 5564	SMH 4830	
RIM ELEV.=11.6'	RIM ELEV.=10.1'	RIM ELEV.=18.2'	
(4270) 10" CLAY INV.=6.8'	(A) 12" RCP INV.=6.3'	(A) 12" DIP INV.=10.4'	
SUMP ELEV.=6.1'		(4242) 12" DIP INV.=10.2'	



LOCATION MAP (n.t.s.)

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE (NHRSA TITLE LXIV) AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

\_\_\_\_\_L.L.S. **#**989

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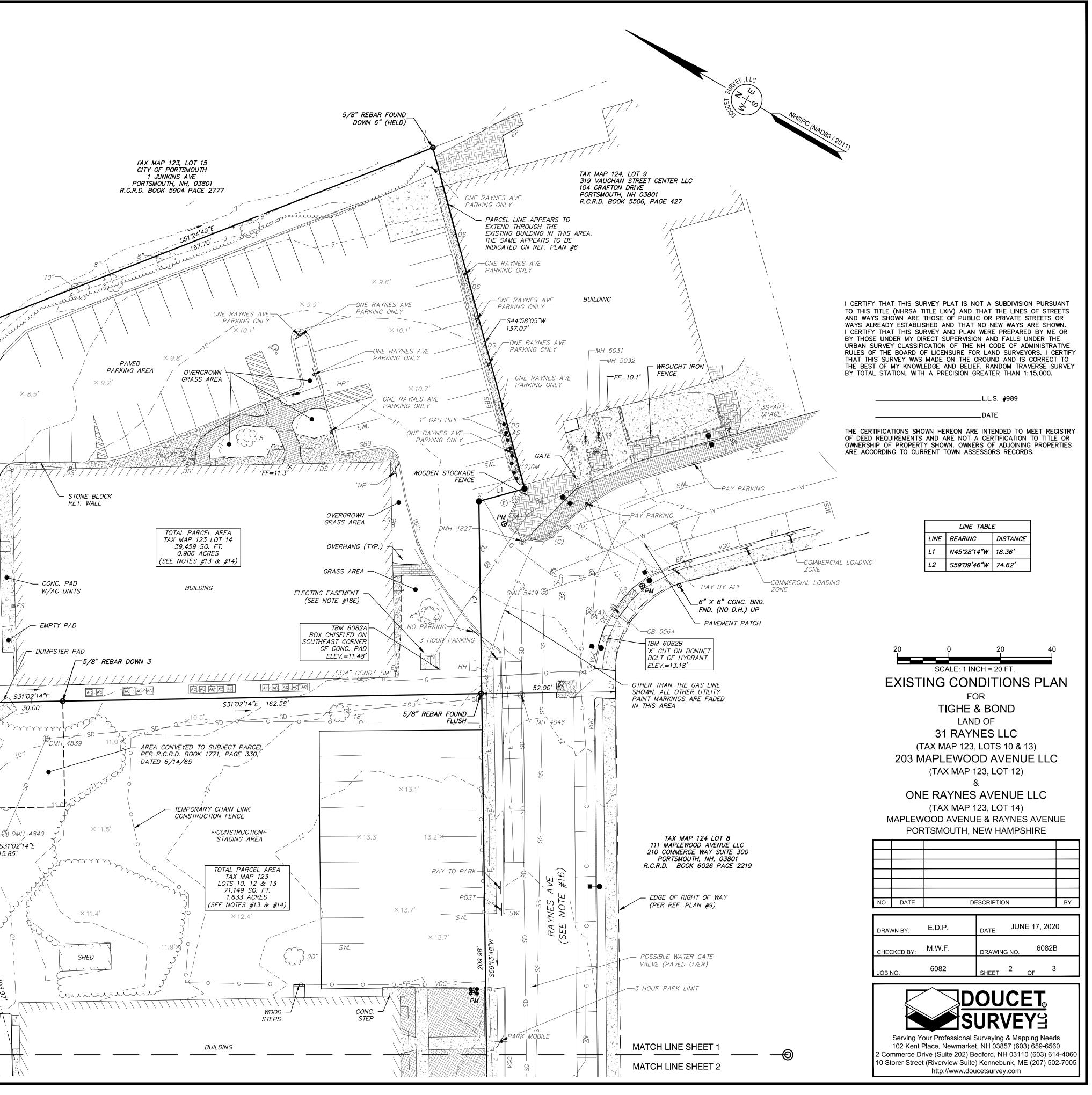
\_\_\_\_\_DATE

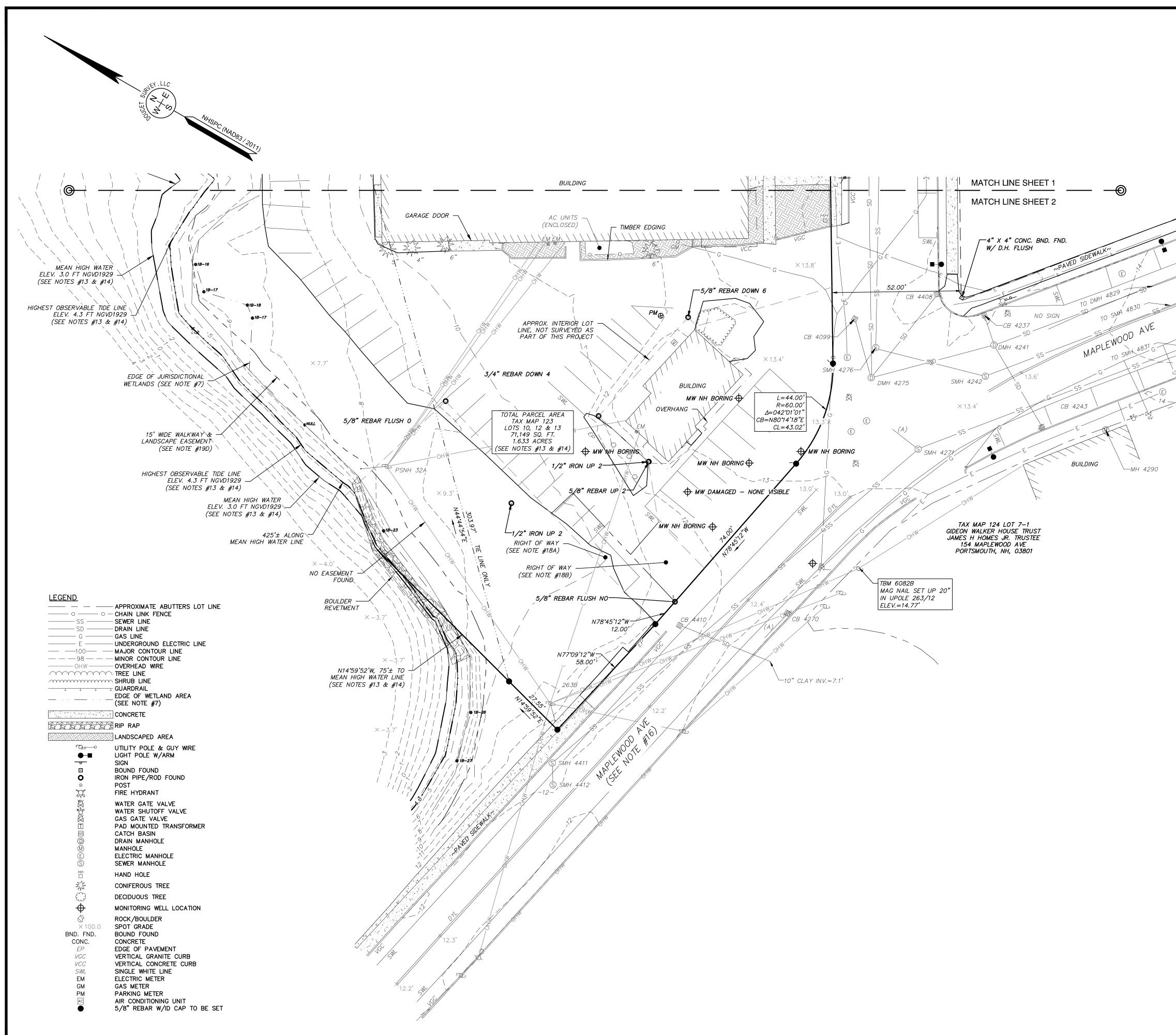
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

SCALE: 1 INCH = 20 FT. **EXISTING CONDITIONS PLAN** FOR TIGHE & BOND LAND OF 31 RAYNES LLC (TAX MAP 123, LOTS 10 & 13) 203 MAPLEWOOD AVENUE LLC (TAX MAP 123, LOT 12) & ONE RAYNES AVENUE LLC (TAX MAP 123, LOT 14) MAPLEWOOD AVENUE & RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE NO. DATE DESCRIPTION BY DATE: JUNE 17, 2020 DRAWN BY: E.D.P. DRAWING NO. 6082B CHECKED BY: M.W.F. 6082 HEET 1 OF 3 JOB NO. Serving Your Professional Surveying & Mapping Needs 102 Kent Place, Newmarket, NH 03857 (603) 659-6560 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060 10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005 http://www.doucetsurvey.com

	APPROXIMATE ABUTTERS LOT LINE CHAIN LINK FENCE		
SS	SEWER LINE DRAIN LINE		
G	GAS LINE		
	UNDERGROUND ELECTRIC LINE MAJOR CONTOUR LINE		
	MAJOR CONTOUR LINE		
	OVERHEAD WIRE		
<u> </u>	GUARDRAIL		
	EDGE OF WETLAND AREA (SEE NOTE #7)		
	CONCRETE		
	LANDSCAPED AREA		
	UTILITY POLE & GUY WIRE		
●─■	LIGHT POLE W/ARM		
	SIGN BOUND FOUND		
0	RON PIPE/ROD FOUND		
	POST FIRE HYDRANT		5/8" REBAR FOUND UP
·9Y\\			3" W/CAP LLS #738
*	WATER GATE VALVE WATER SHUTOFF VALVE		(HELD)
ĞV ⊠	GAS GATE VALVE		
	PAD MOUNTED TRANSFORMER AIR CONDITIONING UNIT		
	CATCH BASIN		/ /
	DRAIN MANHOLE MANHOLE		/ ////
Ĕ	ELECTRIC MANHOLE		
-	SEWER MANHOLE		
	HAND HOLE		I I B
	CONIFEROUS TREE		/ / /
Ê	DECIDUOUS TREE		/ / 1/
<b>\$</b>	MONITORING WELL LOCATION		/ / /
$\Diamond$	ROCK/BOULDER	4"	PVC INV.=6.8'
	SPOT GRADE BOUND FOUND		/
CONC.	CONCRETE		SD -
	EDGE OF PAVEMENT VERTICAL GRANITE CURB		/ Je Bus/
VCC	VERTICAL CONCRETE CURB		
	SINGLE WHITE LINE ELECTRIC METER		/ / / / / / /
	GAS METER	TAX MAP 123, LOT 15	
PM	PARKING METER	299 VAUGHAN STREET L	
•	5/8" REBAR W/ID CAP TO BE SET	C/O CATHARTES PRIVA INVESTMEN	
		100 SUMMER STREET, SUITE 16	500 / 🍋 🍋 🏹
		BOSTON, MA 02 R.C.R.D. BOOK 5434, PAGE 29	
			$\beta \beta \beta \gamma \gamma$
			$\langle \langle                                    $
			/ X///3/
			$/$ $e^{\chi} \chi^{2} \chi^{2}$
		/	/ / / / / / / × 10.
		TAX MAP 123, LOT 15 ' CITY OF PORTSMOUTH /	
		1 JUNKINS AVE PORTSMOUTH, NH, 03801	
		R.C.R.D. BOOK 5904 PAGE 2777	
		1	
		/	-10
		10' WIDE PEDESTRIAN /	-7 8.9
		ACCESS EASEMENT $ /$	
		(SEE REF. PLAN #19)	
		5/8" REBAR SET UP 3"	S18'07'38"E
		W/CAP LLS #989	<b>€18-1</b> / 29.42' / ( (TIE LINE) / /
		MEAN HIGH WATER LINE (SEE NOTES #13 & #14)	
		$(SEE NOTES #13 & #14) \longrightarrow (SEE NOTES #15 & #15 & #14) \longrightarrow (SEE NOTES #15 & #15 & #16) \longrightarrow (SEE NOTES #16) \longrightarrow (SEE NOTES$	
		0.35'± ALONG MEAN HIGH WATER LINE	
	LIMITS OF HISTORIC WHARF $-$	-1	
	(PER REFERENCE PLAN #1)	—	30'± TO =-1-
			ATER LINE 13 & #14)
	∑−3.1' — —		RET. WALL // ///////////////////////////////
		×-3.2'	N 18-5
		3.5'	
	× -3		
			#10 + Level
	EDGE OF JURISDICTIONAL	NULL 1B-8	
	WETLANDS (SEE NOTE #7)		
	<i>1</i> ₿—	.10	
		× 7.3' × 7.9'	© / /
	×-3.7' / / .	1' RET. WALL	
	425'± ALONG	18-12	
	MEAN HIGH WATER LINE		
	· · · ·		

NAME: Y:\PROJECTS\6082 C3D\EMAILED DATA\OUT\2020-6-19\6082B (EC) (SHIPPED 6-19-20).dwg LAYOUT NAME: TOPO PLAN (2) PLOTTED: Fridoy, June 19, 2020 - 9:39am





NAME: Y:\PROJECTS\6082 C3D\EMAILED DATA\OUT\2020-6-19\6082B (EC) (SHIPPED 6-19-20).dwg LAYOUT NAME: TOPO PLAN (3) PLOTTED: Fridoy, June 19, 2020 - 9:400

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE (NHRSA TITLE LXIV) AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

\_\_\_L.L.S. **#**989

\_DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

> 20 0 20 40 SCALE: 1 INCH = 20 FT.

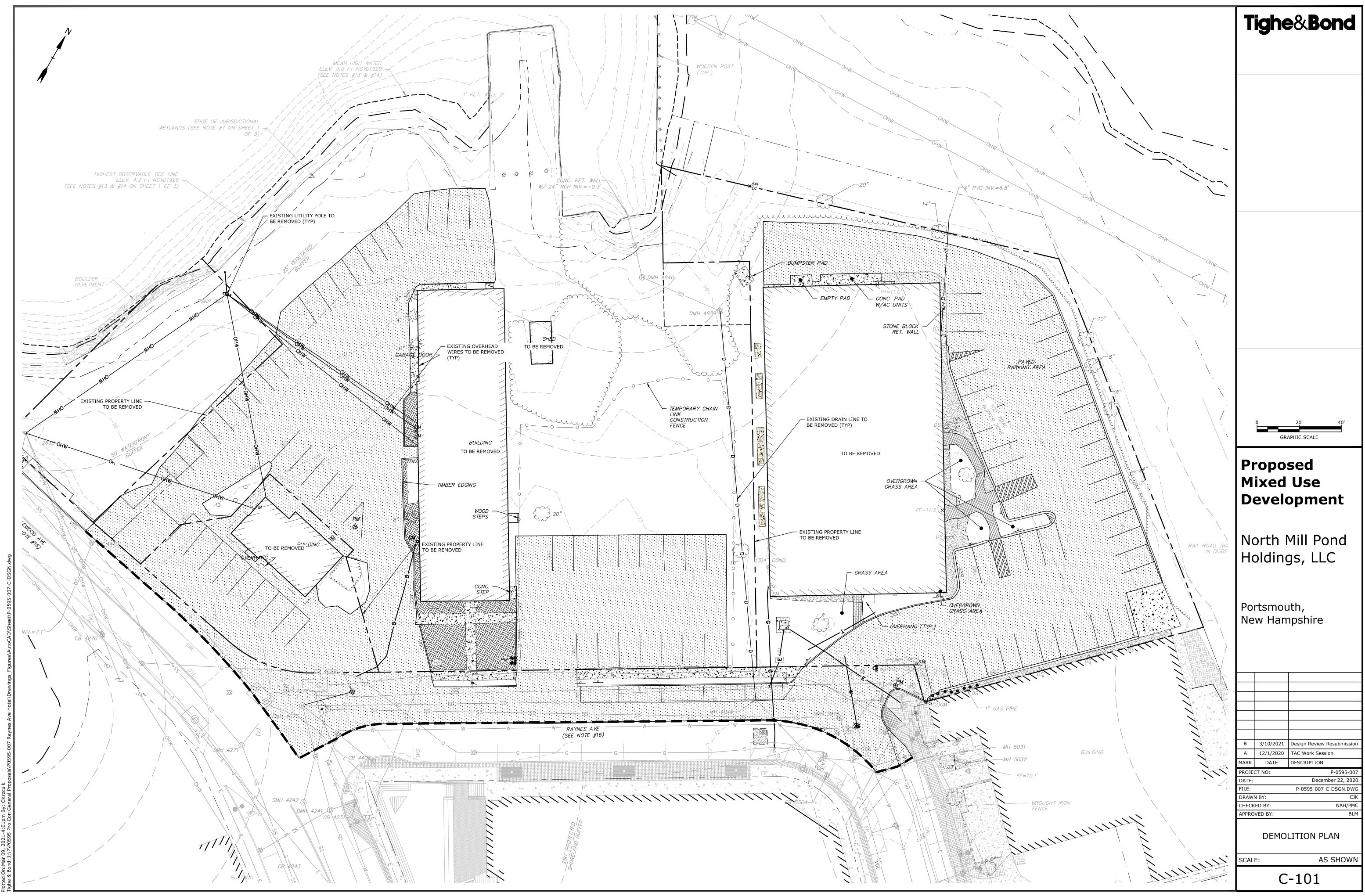
EXISTING CONDITIONS PLAN FOR

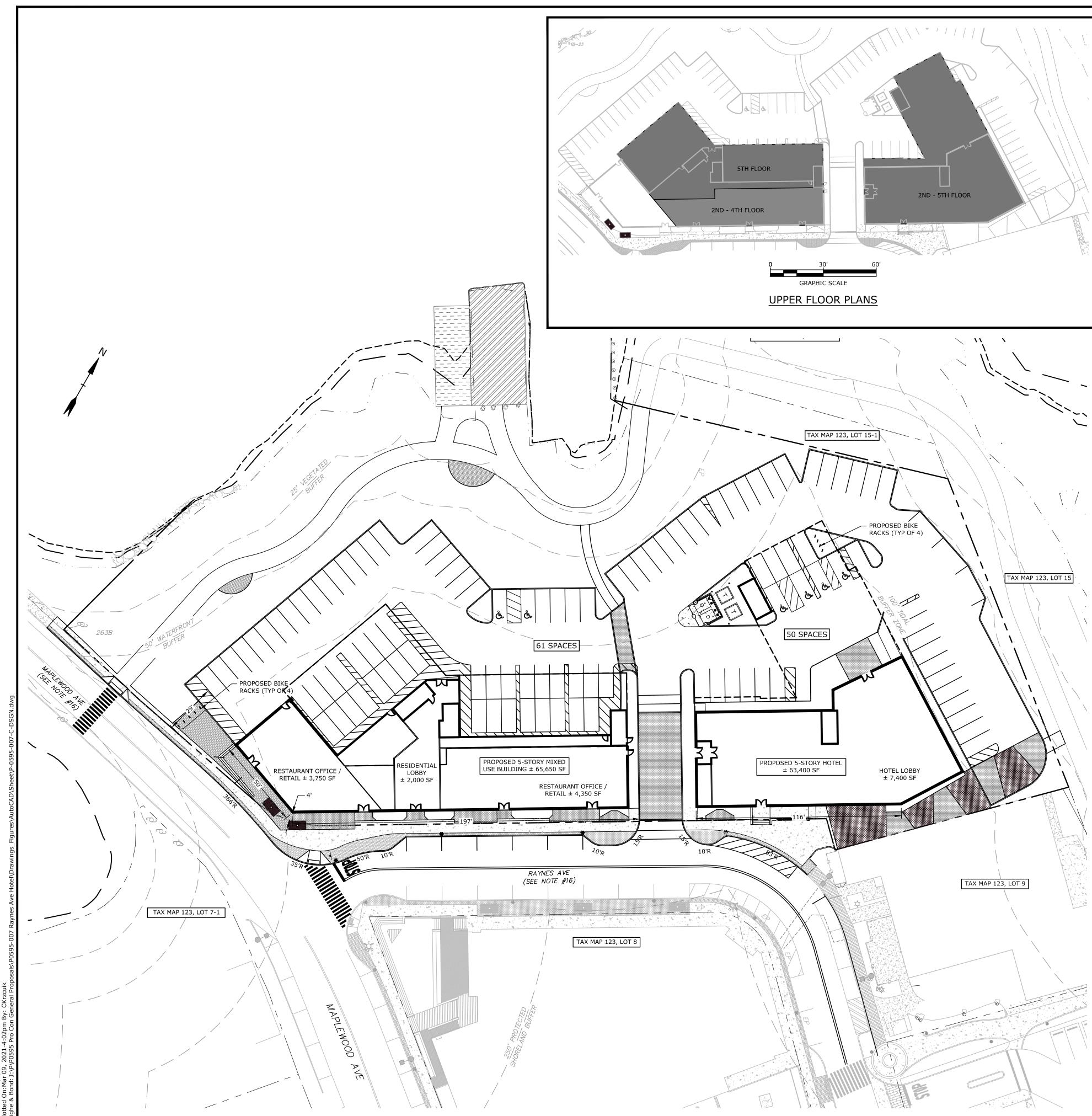
TIGHE & BOND LAND OF 31 RAYNES LLC (TAX MAP 123, LOTS 10 & 13) 203 MAPLEWOOD AVENUE LLC (TAX MAP 123, LOT 12) &

ONE RAYNES AVENUE LLC (TAX MAP 123, LOT 14) MAPLEWOOD AVENUE & RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE

NO.	DATE	DE	ESCRIPTION	BY	
DRAWN BY: E.D.P.			JUNE 17, 202	0	
CHECKED BY: M.W.F.		M.W.F.	DRAWING NO. 6082E	5	
JOBI	NO.	6082	SHEET 3 OF 3		
DOUCET DOUCET SURVEY					
	Serving Your Professional Surveying & Mapping Needs 102 Kent Place, Newmarket, NH 03857 (603) 659-6560 2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060 10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005				

http://www.doucetsurvey.com





### SITE DATA: LOCATION: TAX MAP 123, LOT 10 TAX MAP 123, LOT 12 TAX MAP 123, LOT 13 TAX MAP 123, LOT 14 TAX MAP 123, LOT 12 RAYNES AVENUE ZONING DISTRICT: CHARACTER DIST DOWNTOWN OVER NORTH END INCEN HISTORIC DISTRI PROPOSED USE: MULTI FAMILY DWE HOTEL RETAIL/RESTAURA PROPOSED LOT SIZE: ±2.53 ACRES (±1 DEVELOPMENT STANDARDS BUILDING PLACEMENT (PRINCIPAL BUILD MAXIMUM PRINCIPAL FRONT YARD: MAXIMUM SECONDARY FRONT YARD SIDE YARD: MINIMUM REAR YARD: MINIMUM FRONT LOT LINE BUILDOU BUILDING AND LOT OCCUPATION: MAXIMUM BUILDING BLOCK LENGTH MAXIMUM FACADE MODULATION LEN MAXIMUM ENTRANCE SPACING: MAXIMUM BUILDING COVERAGE: MAXIMUM BUILDING FOOTPRINT: MINIMUM LOT AREA: MINIMUM LOT AREA PER DWELLING MINIMUM OPEN SPACE: MAXIMUM GROUND FLOOR GFA PER

INCENTIVES TO DEVELOPMENT STANDAR MAXIMUM BUILDING FOOTPRINT PLUS 1-STORY, MAX 10 FT MINIMUM SIDEWALK WIDTH

# OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:

DWELLING UNITS: 0 SF TO 500 SF, 0.5 SPACES PER U 500 SF TO 750 SF, 1.0 SPACES PER OVER 750 SF, 1.3 SPACES PER UNIT TOTAL MINIMUM RESIDENTIAL SPAC

VISITORS: 1 SPACES PER 5 DWELLING UNITS

0.75 SPACES PER GUEST ROOM

DOWNTOWN OVERLAY DISTRICT

TOTAL MINIMUM PARKING SPACES REQU

# TOTAL PARKING SPACES PROVIDED: TOTAL PARKING SPACES PROVIDED =

SIX (6) ADA ACCESSIBLE SPACES REQUIR

PARKING STALL SIZE: DRIVE AISLE: \*\*\*ZONING ORDINANCE 10.1114.21 ALLC

BIKE SPACES REQUIRED: 1 BIKE SPACE / 10 PARKING SPACES

Р	PROPOSED HOTEL GROSS FLOOR AREA			
FLOOR	LOBBY (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	7,400	0	0	7,400
SECOND	0	32	14,000	14,000
THIRD	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
TOTAL	7,400	128	56,000	63,400
PRC	POSED MIXE	ED USE GRO	SS FLOOR A	REA
FLOOR	TENANT (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	8,100	0	2,000	10,100
SECOND	0	17	15,200	15,200
THIRD	0	17	15,200	15,200
FOURTH	0	17	15,200	15,200
FOURTH	0	9	9,950	9,950
TOTAL	8,100	60	57,550	65,650

SITE RECORDING NOTES:1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

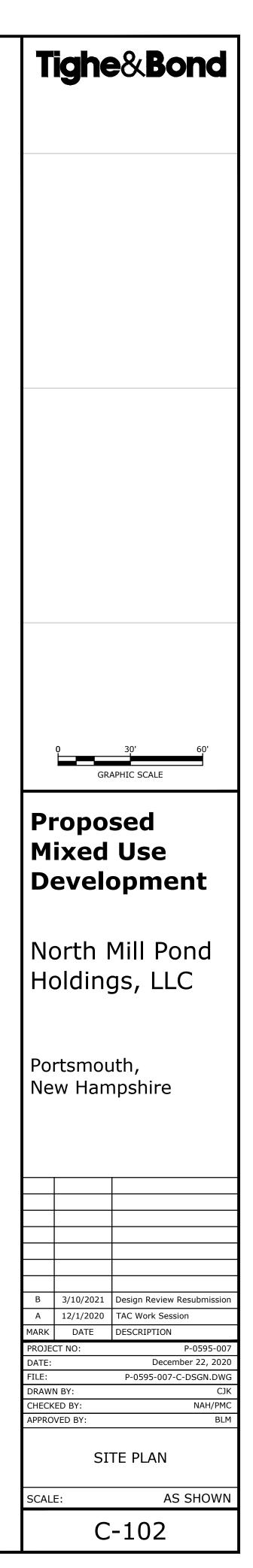
3. THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

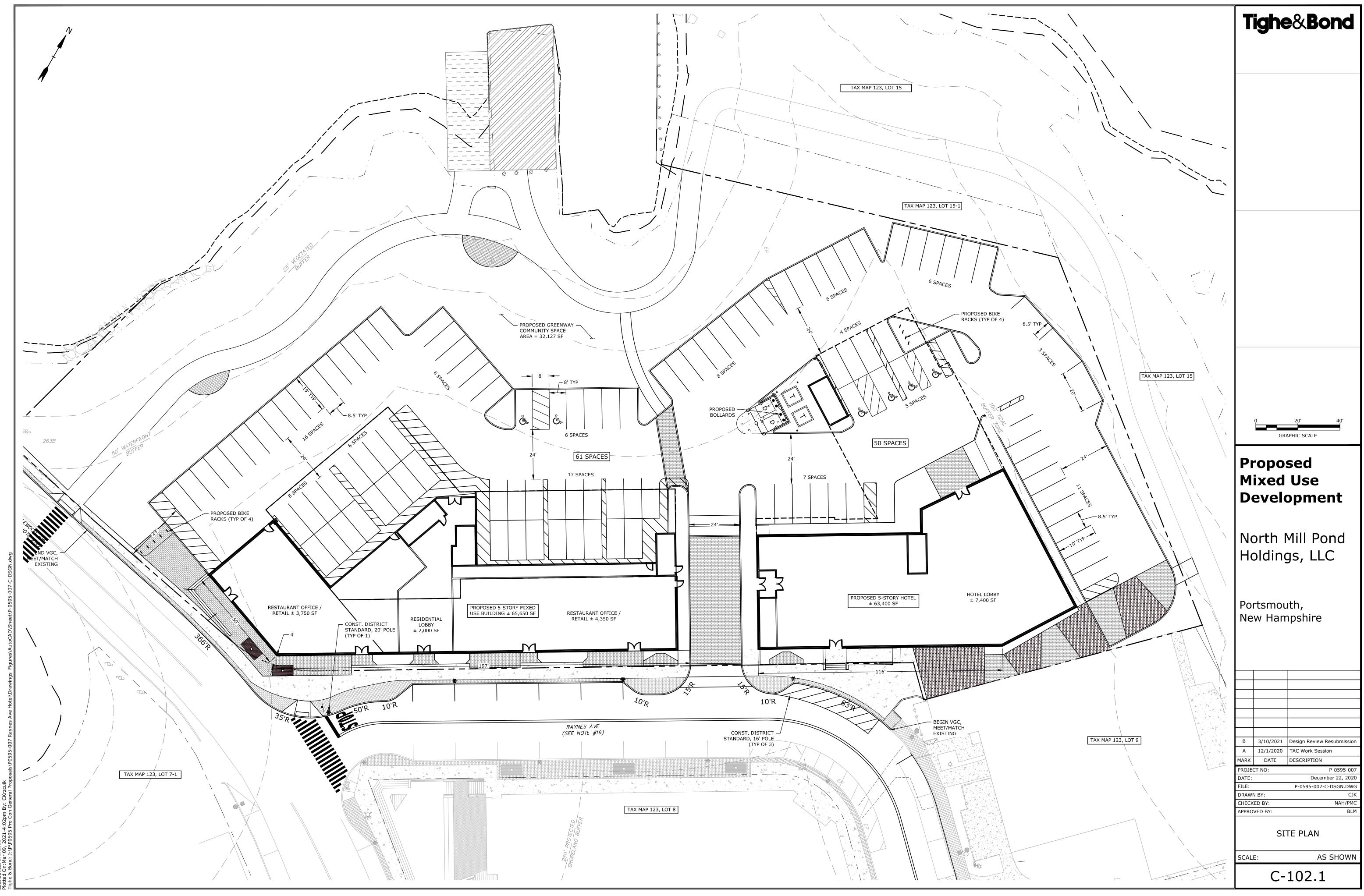
TAX MAF TAX MAF TAX MAF	P 123, LOT 10 P 123, LOT 12 P 123, LOT 13 P 123, LOT 14 P 123, LOT 12 AVENUE		
ZONING DISTRICT:	CHARACTER DISTRICT 4 (CD4) DOWNTOWN OVERLAY DISTRIC NORTH END INCENTIVE OVERLA HISTORIC DISTRICT		
PROPOSED USE:	MULTI FAMILY DWELLING HOTEL RETAIL/RESTAURANT		
PROPOSED LOT SIZE	: ±2.53 ACRES (±110,415 SF)		
DEVELOPMENT BUILDING PLACEMEN	<u>STANDARDS</u> T (PRINCIPAL BUILDING):	REQUIRED	PROPOSED
MAXIMUM SECON SIDE YARD: MINIMUM REAR Y	IPAL FRONT YARD: NDARY FRONT YARD: (ARD: LOT LINE BUILDOUT:	15 FT 12 FT NR 5 FT 50%	±5 FT ±5 FT NR N/A ±68.8%
BUILDING AND LOT C	OCCUPATION:	REQUIRED	PROPOSED
	ING COVERAGE:	200 FT 80 FT 50 FT 90% *15,000 SF	197 FT <100 FT <50 FT ±47.0% 17,565 SF
MINIMUM OPEN S	REA PER DWELLING UNIT:	NR NR 10% 15,000 SF	13,815 SF 25.3% 6,514 SF
*ZONING ORDINANC	E 10.5A46.20 ALLOWS 30,000SF	BUILDING FOOTPRINT W	VITH 20% COMMUNITY SPACE.
BUILDING FORM (PRI BUILDING HEIGH		<u>REQUIRED</u> **LOT 12 -2ST, 35' **LOT 13 -3ST, 40' **LOT 14 -4ST, 50'	PROVIDED
GROUND FLOOR MINIMUM GROUN MINIMUM SECON FACADE GLAZINO SHOP FRO	ONT FACADE TYPE	36 IN 12 FT 10 FT 70%	<36" 12 FT 10 FT 70%
ALLOWED ROOF FLAT, GAE	TYPES BLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT
**ZONING ORDINAN	CE 10.5A46.20 ALLOWS A 1-STOP	RY, UP TO 10' HEIGHT IN	ICREASE WITH 20% COMMUNITY SPACE.
COMMUNITY SPACE:		21,274 SF 20%	21,402 SF 20.1%
INCENTIVES TO DEVE MAXIMUM BUIL	ELOPMENT STANDARDS DING FOOTPRINT	30,000 SF	20,155 SF

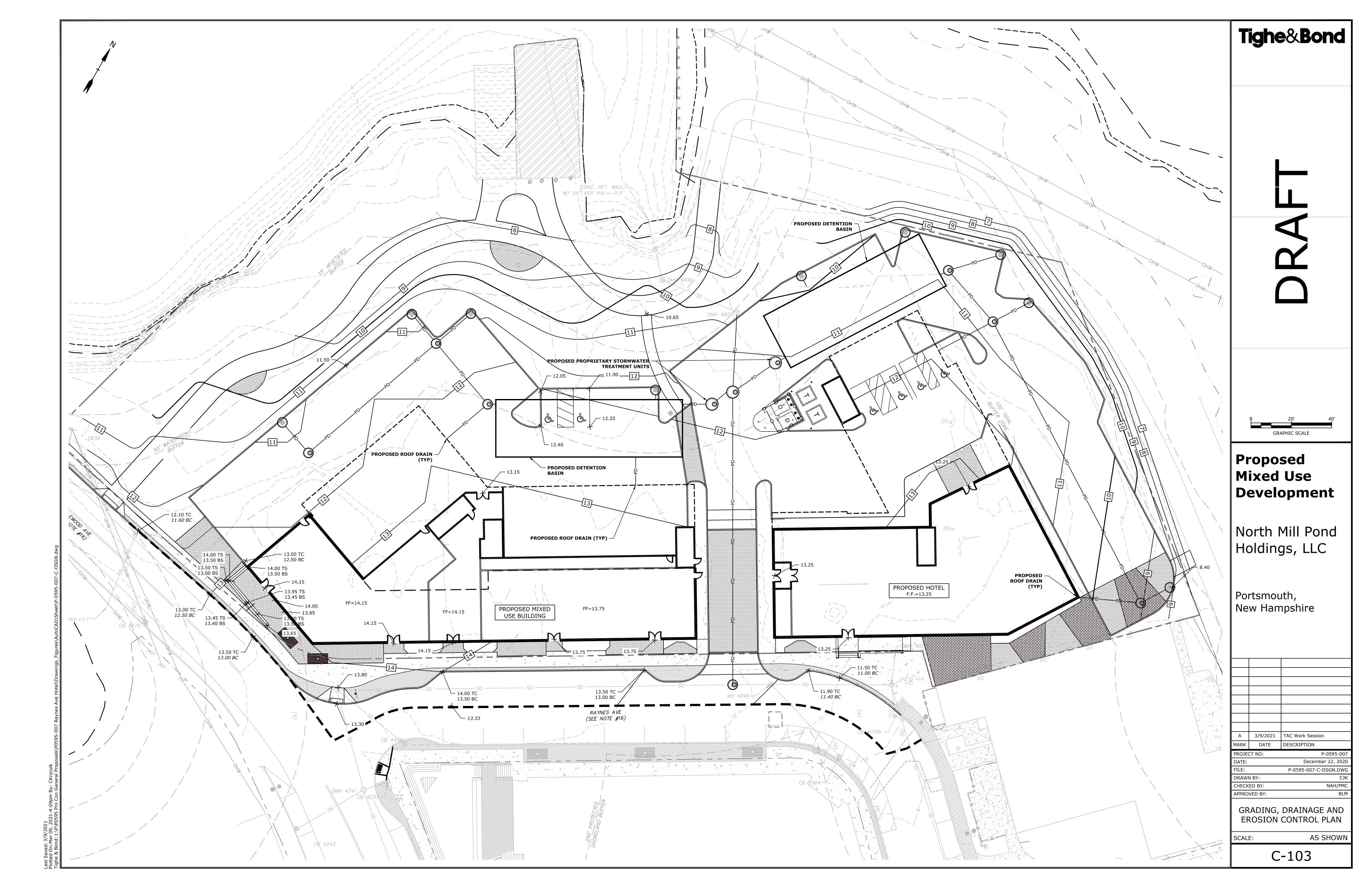
-		
5	30,000 SF	20,155 SF
	**60 FT	55 FT
	***14 FT	14 FT

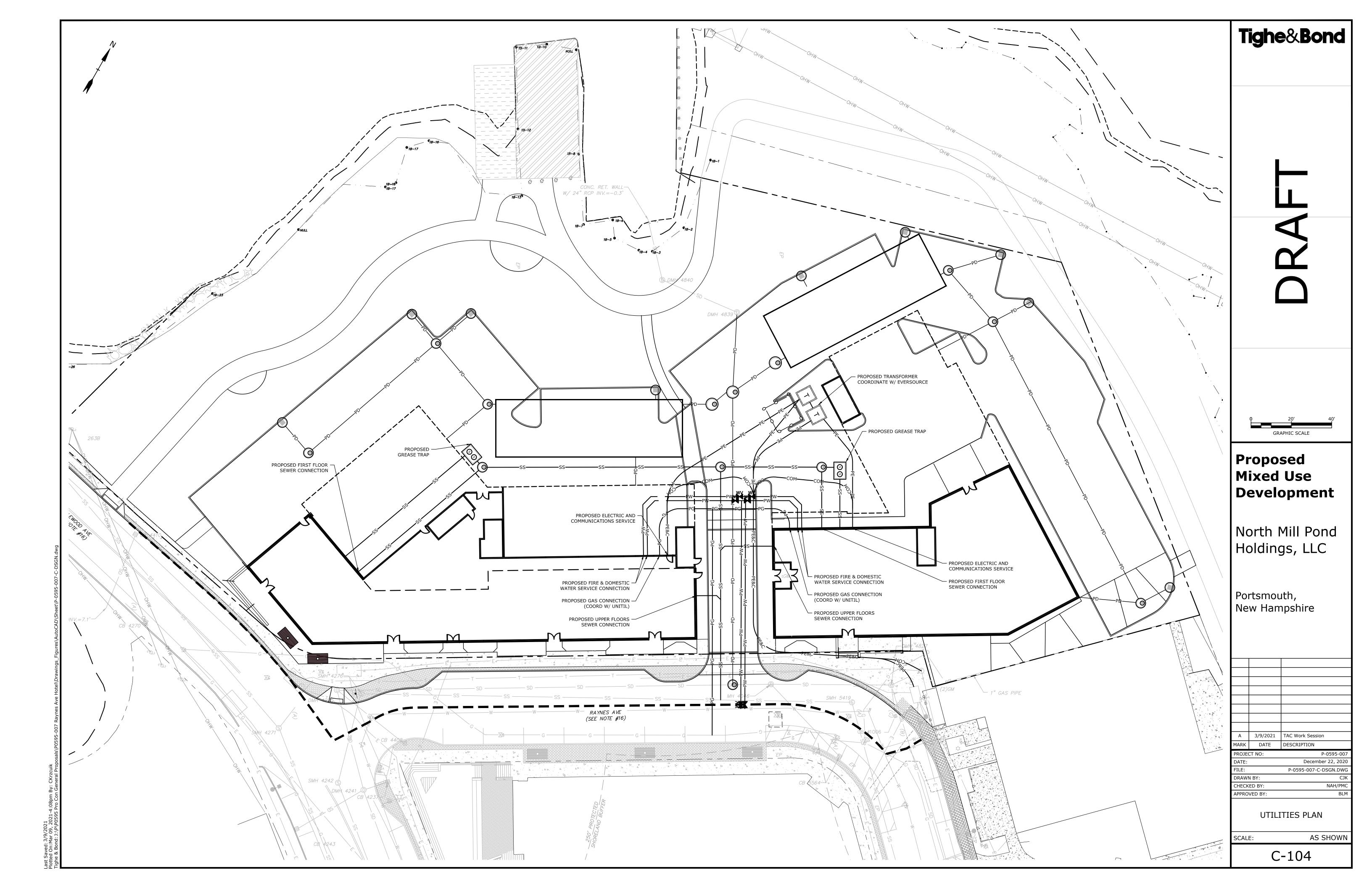
\*\*\*ZONING ORDINANCE 10.5A46.10, FOOTNOTE 4 REQUIRES THE SIDEWALK WIDTH TO BE 10 FT PLUS AN EXTRA 2 FT FOR EACH STORY OF BUILDING HEIGHT ABOVE 3 STORIES.

UNIT R UNIT IT	17 UNITS 33 UNITS 10 UNITS	8.5 SPACES 33 SPACES 13 SPACES
ACES REQUIRED		55 SPACES
;	60 UNITS	12 SPACES
	128 ROOMS	96 SPACES
		- 4 SPACES
		- 4 SPACES
UIRED =		159 SPACES
		111 SPACES
IRED		
IRED	REQUIRED	PROVIDED
	8.5' X 19'	8.5' X 19'
	***22' 22' ΔΙSI E WIDTH FOR	22' 90 DEGREE PARKING IN A PARKING STRUCTURE
	ZZ AIGEL WIDTH FOR	SUBLICKEL FARMING IN A FARMING STRUCTURE
	159 SPACES	16 SPACES
	139 SPACES	IO SPACES











RAYNES AVE - PORTSMOUTH, NH

2/17/2021

FUTURE GREEN-WAY COMMUNITY PARK

RECONSTRUCTED TIMBER PIER

CURRENT BOAT/ KAYAK LAUNCH RAMP

CONNECTION TO FUTURE GREEN-WAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREEN-WAY COMMUNITY PARK

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

WAYFINDING SIGNAGE

SITE LANDSCAPE PLAN

**Tighe&Bond** 

**L-101** 

GENERAL PROJECT INFORMATION PROJECT APPLICANT: NORTH MILL POND HOLDINGS, LLC 1359 HOOKSETT ROAD	<ol> <li>VEGETATIVE PRACTICE:</li> <li>A. FOR PERMANENT MEASURES AND PLANTINGS:</li> <li>a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED</li> </ol>
HOOKSETT, NH 03106 PROJECT NAME: PROPOSED MIXED USE DEVELOPMENT PROJECT MAP / LOT: MAP 123 / LOTS 10, 12, 13 & 14 PROJECT ADDRESS: NAP / LOT: MAP 123 / LOTS 10, 12, 13 & 14 PROJECT ADDRESS: PROJECT LATITUDE: 42°-04'-48" N PORTSMOUTH, NH 03801 PROJECT LONGITUDE: 70°-45'-50" W	ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER O APPLICATION RATE SHALL BE 800 POUNDS PER ACR c. SOIL CONDITIONERS AND FERTILIZER SHALL BE AP THOROUGHLY WORKED INTO THE LOAM. LOAM SHA SMOOTH AND EVEN, AND THEN COMPACTED TO AN
PROJECT DESCRIPTION THE PROPOSED PROJECT INCLUDES TWO BUILDINGS, A 5 STORY MIXED USE BUILDING AND A 5 STORY 128 ROOM HOTEL. THE MIXED-USE BUILDING INCLUDES RESIDENTIAL, RESTAURANT AND TENANT SPACE ON THE FIRST FLOOR AND RESIDENTIAL UNITS ON THE TOP 4 FLOORS. THE HOTEL BUILDING INCLUDES A 6,515 SF LOBBY ON THE FIRST FLOOR WITH 4 FLOORS OF HOTEL ROOMS ABOVE. THE PROJECT WILL ALSO CONSIST OF ASSOCIATED SITE IMPROVEMENTS SUCH AS PAVING, STORMWATER MANAGEMENT, UTILITIES AND LIGHTING.	GRADES WITH APPROVED ROLLERS WEIGHING BETV d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENC SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SH/ RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SH 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIG
DISTURBED AREA THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY ACRES.	<ul> <li>e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER</li> <li>f. THE SURFACE SHALL BE WATERED AND KEPT MOIST THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WE</li> </ul>
SOIL CHARACTERISTICS BASED ON THE USCS SITE SPECIFIC SOIL SURVEY CONDUCTED BY, CSS, ON THE SOILS ON SITE CONSIST OF URBAN LAND AND UDORTHENTS SOILS WHICH ARE EXCESSIVELY DRAINED SOILS WITH A HYDROLOGIC SOIL GROUP RATING OF	g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN T h. A GRASS SEED MIXTURE CONTAINING THE FOLLOW INDICATED RATE: SEED MIX APPLICATION RATE
NAME OF RECEIVING WATERS THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA A CLOSED DRAINAGE SYSTEM ULTIMATELY FLOWS TO NORTH MILL POND THEN TO THE PISCATAQUA RIVER.	CREEPING RED FESCUE 20 LBS/ACRE TALL FESCUE 20 LBS/ACRE REDTOP 2 LBS/ACRE IN NO CASE SHALL THE WEED CONTENT EXCEED ON
<ul> <li><u>CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:</u></li> <li>1. CUT AND CLEAR TREES.</li> <li>2. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:</li> </ul>	STATE AND FEDERAL SEED LAWS. SEEDING SHALL E SEEDING TAKE PLACE OVER SNOW. 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL): A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZ TWICE THE INDICATED RATE. APPLY MULCH AS INDICAT
<ul> <li>NEW CONSTRUCTION</li> <li>CONTROL OF DUST</li> <li>NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS</li> <li>CONSTRUCTION DURING LATE WINTER AND EARLY SPRING</li> <li>ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING RUNOFF TO THEM.</li> <li>CLEAR AND DISPOSE OF DEBRIS.</li> <li>CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.</li> <li>GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72</li> </ul>	<ul> <li><u>CONCRETE WASHOUT AREA:</u></li> <li>THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHA ARE PROHIBITED ON SITE:         <ul> <li>THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER PROJECT FACILITY;</li> <li>IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGN/ HANDLE ANTICIPATED WASHOUT WATER;</li> <li>CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAS WATERS ON DELINEATED WETLANDS;</li> </ul> </li> </ul>
<ul> <li>HOURS OF ACHIEVING FINISHED GRADE.</li> <li>7. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.</li> <li>8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.</li> <li>9. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.</li> <li>10. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.</li> </ul>	WATERS OR DELINEATED WETLANDS; D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS REMOVED. <u>ALLOWABLE NON-STORMWATER DISCHARGES:</u> 1. FIRE-FIGHTING ACTIVITIES; 2. FIRE HYDRANT FLUSHING; 3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS AR
<ol> <li>INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.</li> <li>COMPLETE PERMANENT SEEDING AND LANDSCAPING.</li> <li>REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.</li> <li><u>SPECIAL CONSTRUCTION NOTES:</u> <ol> <li>THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.</li> <li>THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND</li> </ol> </li> </ol>	<ol> <li>WATER USED TO CONTROL DUST;</li> <li>POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE</li> <li>ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGET;</li> <li>PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT US</li> <li>UNCONTAMINATED AIR CONDITIONING/COMPRESSOR COND</li> <li>UNCONTAMINATED GROUND WATER OR SPRING WATER;</li> <li>FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED EXCAVATION DEWATERING;</li> </ol>
CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.           EROSION CONTROL NOTES:           1.         ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL	12. LANDSCAPE IRRIGATION.
<ol> <li>ALL EXOSION CONTROL MEASURES AND PRACTICES STALL CONTOUNT TO THE INCLUDING STIRLE STOMMATER MANDAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.</li> <li>PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.</li> <li>CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.</li> <li>SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.</li> <li>PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.</li> <li>THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.</li> <li>ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.</li> </ol>	<ol> <li>WASTE MATERIAL:         <ul> <li>ALL WASTE MATERIALS SHALL BE COLLECTED AND STOF CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPC</li> <li>B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIE</li> <li>C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE SUPERINTENDENT.</li> </ul> </li> <li>HAZARDOUS WASTE:         <ul> <li>ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSE REGULATION OR BY THE MANUFACTURER;</li> <li>B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACE</li> </ul> </li> <li>SANITARY WASTE:         <ul> <li>ALL SANITARY WASTE SHALL BE COLLECTED FROM THE LICENSED SANITARY WASTE MANAGEMENT CONTRACTO</li> </ul> </li> </ol>
<ol> <li>INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.</li> <li>CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.</li> <li>STABILIZATION:</li> </ol>	SPILL PREVENTION: 1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW TH
<ol> <li>AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:         <ol> <li>AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:</li></ol></li></ol>	<ul> <li>BELOW.</li> <li>2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTIC OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTA</li> <li>A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEK</li> </ul>
<ul> <li>D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;</li> <li>E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.</li> <li>2. WINTER STABILIZATION PRACTICES:</li> </ul>	CONSTRUCTION: a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO T b. ALL REGULATED MATERIALS STORED ON SITE SHAL (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSS IMPERVIOUS SURFACE;
A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE	<ul> <li>c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER</li> <li>d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY</li> <li>e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANO</li> <li>f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE</li> <li>g. THE TRAINING OF ON-SITE EMPLOYEES AND THE OM</li> </ul>
<ul> <li>COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;</li> <li>B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;</li> <li>C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER</li> </ul>	DESCRIBING WHAT TO DO IN THE EVENT OF A SPILL B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES S HAZARDOUS MATERIALS: a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CON b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHA
<ul> <li>SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;</li> <li>3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:</li> </ul>	<ul> <li>c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SH RECOMMENDED METHODS OF DISPOSAL.</li> <li>C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PROD a. PETROLEUM PRODUCTS:</li> <li>i. ALL ON SITE VEHICLES SHALL BE MONITORED FOR I REDUCE LEAKAGE;</li> </ul>
<ul> <li>A. TEMPORARY SEEDING;</li> <li>B. MULCHING.</li> <li>4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.</li> <li>5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.</li> </ul>	<ul> <li>ii. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHT ASPHALT BASED SUBSTANCES USED ON SITE SHALL RECOMMENDATIONS.</li> <li>iii. SECURE FUEL STORAGE AREAS AGAINST UNAUTHOR</li> <li>iv. INSPECT FUEL STORAGE AREAS WEEKLY;</li> <li>v. WHEREVER POSSIBLE, KEEP REGULATED CONTAINEL SURFACE WATER AND STORM DRAINS, 75 FEET FRO</li> <li>vi. COVER REGULATED CONTAINERS IN OUTSIDE STOR</li> <li>vii. SECONDARY CONTAINMENT IS REQUIRED FOR CONT</li> </ul>
CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15. DUST CONTROL:	OUTSIDE, EXCEPT FOR ON PREMISE USE HEATING F TANKS OTHERWISE REGULATED. viii. THE FUEL HANDLING REQUIREMENTS SHALL INCLUE (1) EXCEPT WHEN IN USE, KEEP CONTAINERS O (2) PLACE DRIP PANS UNDER SPIGOTS, VALVES
<ol> <li>THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.</li> <li>DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.</li> <li>DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.</li> </ol>	<ul> <li>(3) HAVE SPILL CONTROL AND CONTAINMENT E</li> <li>(4) USE FUNNELS AND DRIP PANS WHEN TRANS</li> <li>(5) PERFORM TRANSFERS OF REGULATED SUBS</li> <li>ix. FUELING AND MAINTENANCE OF EXCAVATION, EART</li> <li>SHALL COMPLY WITH THE REGULATIONS OF THE NE</li> <li>THESE REQUIREMENTS ARE SUMMARIZED IN WD-D</li> </ul>
<ol> <li>LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.</li> <li>ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.</li> <li>PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT</li> </ol>	MAINTENANCE OF EXCAVATION AND EARTHMOVING HTTPS://WWW.DES.NH.GOV/ORGANIZATION/COMM b. FERTILIZERS: i. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE ii. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO iii. STORAGE SHALL BE IN A COVERED SHED OR ENCLO
<ol> <li>PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.</li> <li>OFF SITE VEHICLE TRACKING:</li> </ol>	OF FERTILIZER SHALL BE TRANSFERRED TO A SEALA c. PAINTS: i. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND S ii. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE iii. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY A LOCAL REGULATIONS.
VEGETATION: 1 TEMPORARY GRASS COVER:	D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HC DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWIN CLEANUP:
<ul> <li>A. SEEDBED PREPARATION:         <ul> <li>a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;</li> <li>B. SEEDING:</li></ul></li></ul>	<ul> <li>a. MANUFACTURER'S RECOMMENDED METHODS FOR SI SHALL BE MADE AWARE OF THE PROCEDURES AND T</li> <li>b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST FOR THIS PURPOSE;</li> </ul>
<ul> <li>b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;</li> <li>c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;</li> </ul>	<ul> <li>c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AF</li> <li>d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED A</li> <li>CLOTHING TO PREVENT INJURY FROM CONTACT WIT</li> <li>e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL</li> <li>AGENCIES AS REQUIRED;</li> </ul>
<ul> <li>C. MAINTENANCE:         <ul> <li>a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).</li> </ul> </li> </ul>	<ul> <li>f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY AND CLEANUP COORDINATOR.</li> <li>E. VEHICLE FUELING AND MAINTENANCE PRACTICE:</li> <li>a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM</li> </ul>

D INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ) 6.5; OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER

- RE OF 10-20-20 FERTILIZER; PPLIED AT THE RECOMMENDED RATES AND SHALL BE ALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, VEVEN SURFACE CONFORMING TO THE REQUIRED LINES AND WEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH; . SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY
- CED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL HALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT HALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER HING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH; SEEDING AS INDICATED ABOVE;
- WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY . ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH EEDS REMOVED; THE SEEDED AREAS UNTIL ACCEPTED;
- NING SEED REQUIREMENTS SHALL BE APPLIED AT THE

NE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL

ZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TED FOR PERMANENT MEASURES.

ARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR NATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO ST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE

RE NOT USED;

E FLUSHING; GENTS ARE NOT USED; SED: DENSATION; 1INATED;

DRED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND OSITED IN A DUMPSTER; ED ON SITE; E CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE

ED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE

ACTICES BY THE SUPERINTENDENT. PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A

MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED

CES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR ANCES DURING CONSTRUCTION TO STORMWATER RUNOFF: KEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING

THE JOB SHALL BE STORED ON SITE; LL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER SIBLE, UNDER A ROOF OR OTHER ENCLOSURE, ON AN

USE AND DISPOSAL SHALL BE FOLLOWED; TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS THER UNLESS RECOMMENDED BY THE MANUFACTURER: E USED UP BEFORE DISPOSING OF THE CONTAINER. ON-SITE POSTING OF RELEASE RESPONSE INFORMATION L OF REGULATED SUBSTANCES. SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH

NTAINERS UNLESS THEY ARE NOT RESEALABLE; ALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION; SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S

DUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE: LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO

ITLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY L BE APPLIED ACCORDING TO THE MANUFACTURER'S

RIZED ENTRY; ERS THAT ARE STORED OUTSIDE MORE THAN 50 FEET FROM OM PRIVATE WELLS, AND 400 FEET FROM PUBLIC WELLS; RAGE AREAS: TAINERS CONTAINING REGULATED SUBSTANCES STORED

FUEL TANKS, OR ABOVEGROUND OR UNDERGROUND STORAGE

CONTAINING REGULATED SUBSTANCES CLOSED AND SEALED; 5, AND PUMPS; EQUIPMENT READILY AVAILABLE IN ALL WORK AREAS;

ISFERRING REGULATED SUBSTANCES; STANCES OVER AN IMPERVIOUS SURFACE.

THMOVING AND OTHER CONSTRUCTION RELATED EQUIPMENT EW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES DWGB-22-6 BEST MANAGEMENT PRACTICES FOR FUELING AND G EQUIPMENT, OR ITS SUCCESSOR DOCUMENT. 1ISSIONER/PIP/FACTSHEETS/DWGB/DOCUMENTS/DWGB-22-6.PDF

MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS; THE SOIL TO LIMIT EXPOSURE TO STORMWATER; DSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS LABLE PLASTIC BIN TO AVOID SPILLS.

STORED WHEN NOT REQUIRED FOR USE; STORM SEWER SYSTEM;

ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND OUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES NG PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND

SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; L CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON E BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS,

AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FTER DISCOVERY; AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE

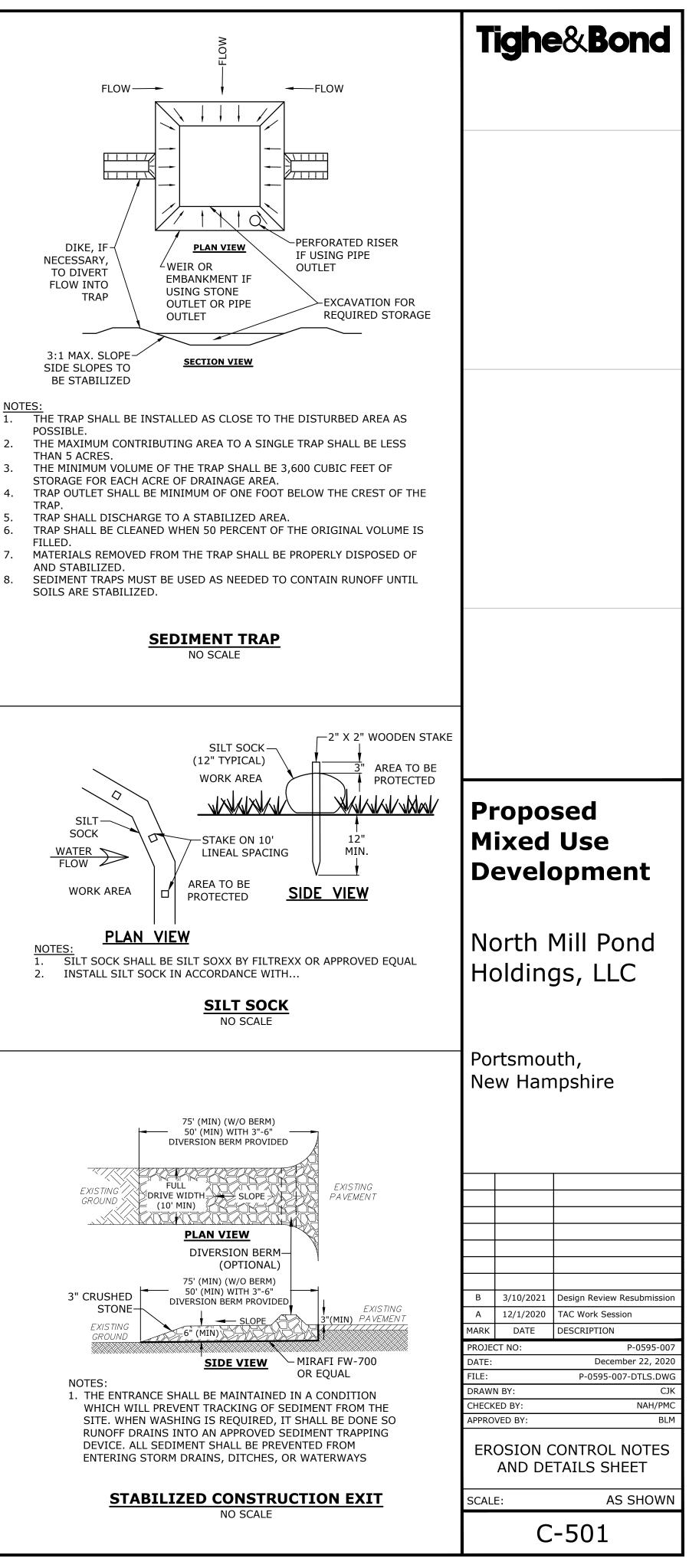
ITH A HAZARDOUS SUBSTANCE; L BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL Y-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION

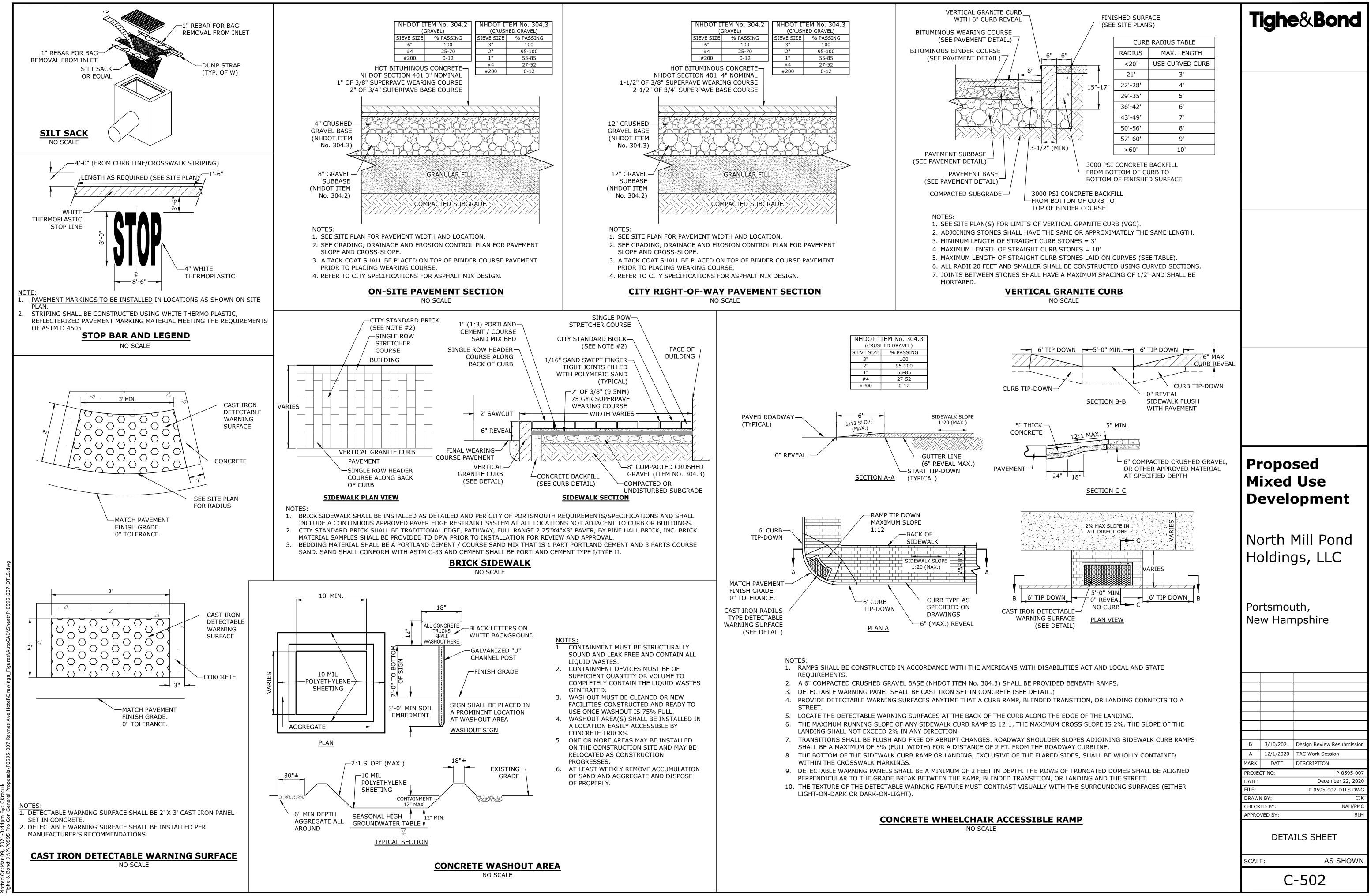
EQUIPMENT/VEHICLE FUELING AND MAINTENANCE AT AN

- OFF-SITE FACILITY; b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
- c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED; d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
- e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
- f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.
- EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES 1. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES. 2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS
- PART OF THIS PROJECT: A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER; B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE
- OWNER, AND THE CONTRACTOR; C. A REPRÉSENTATIVE OF THE SITÉ CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES; D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

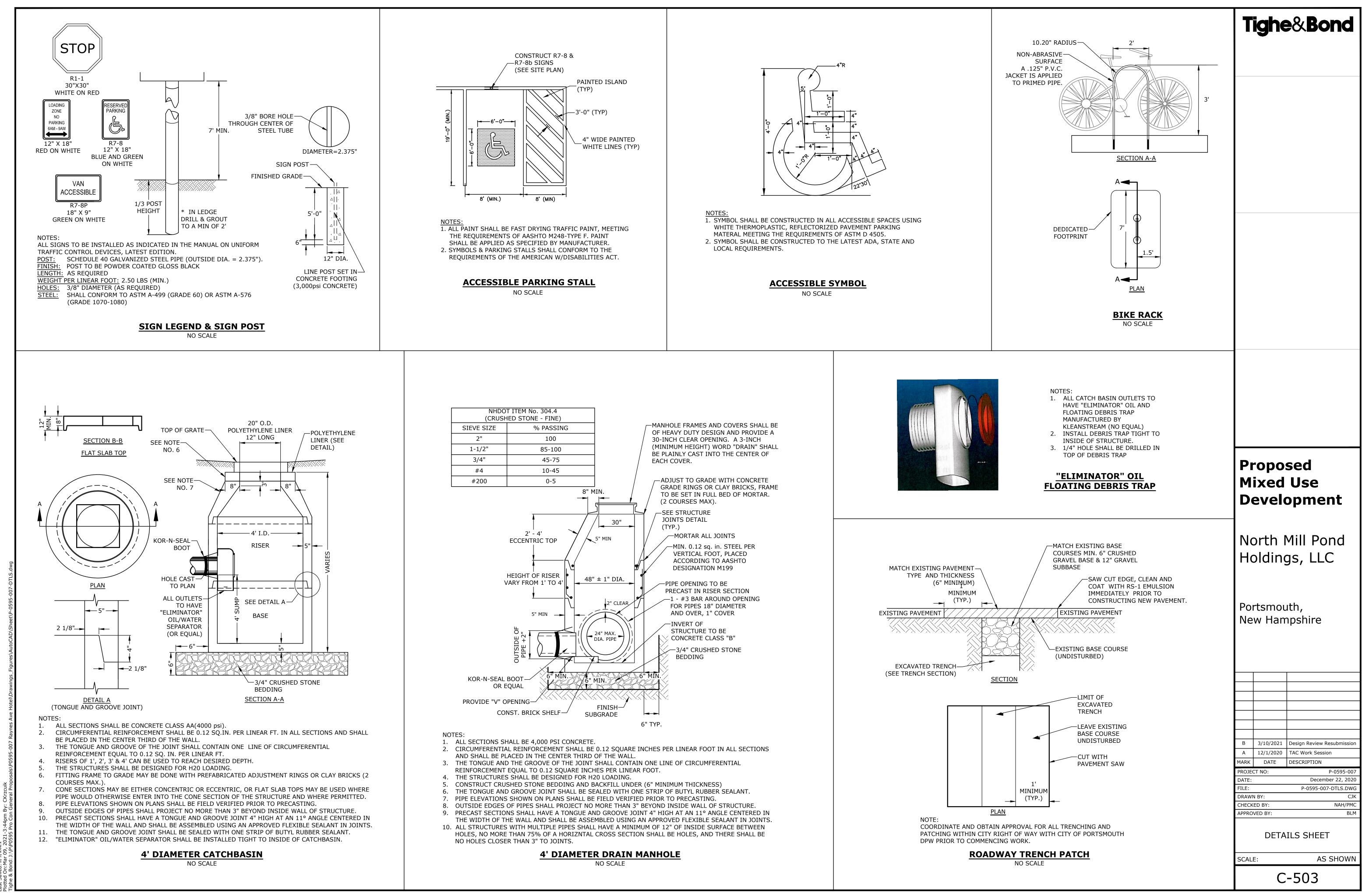
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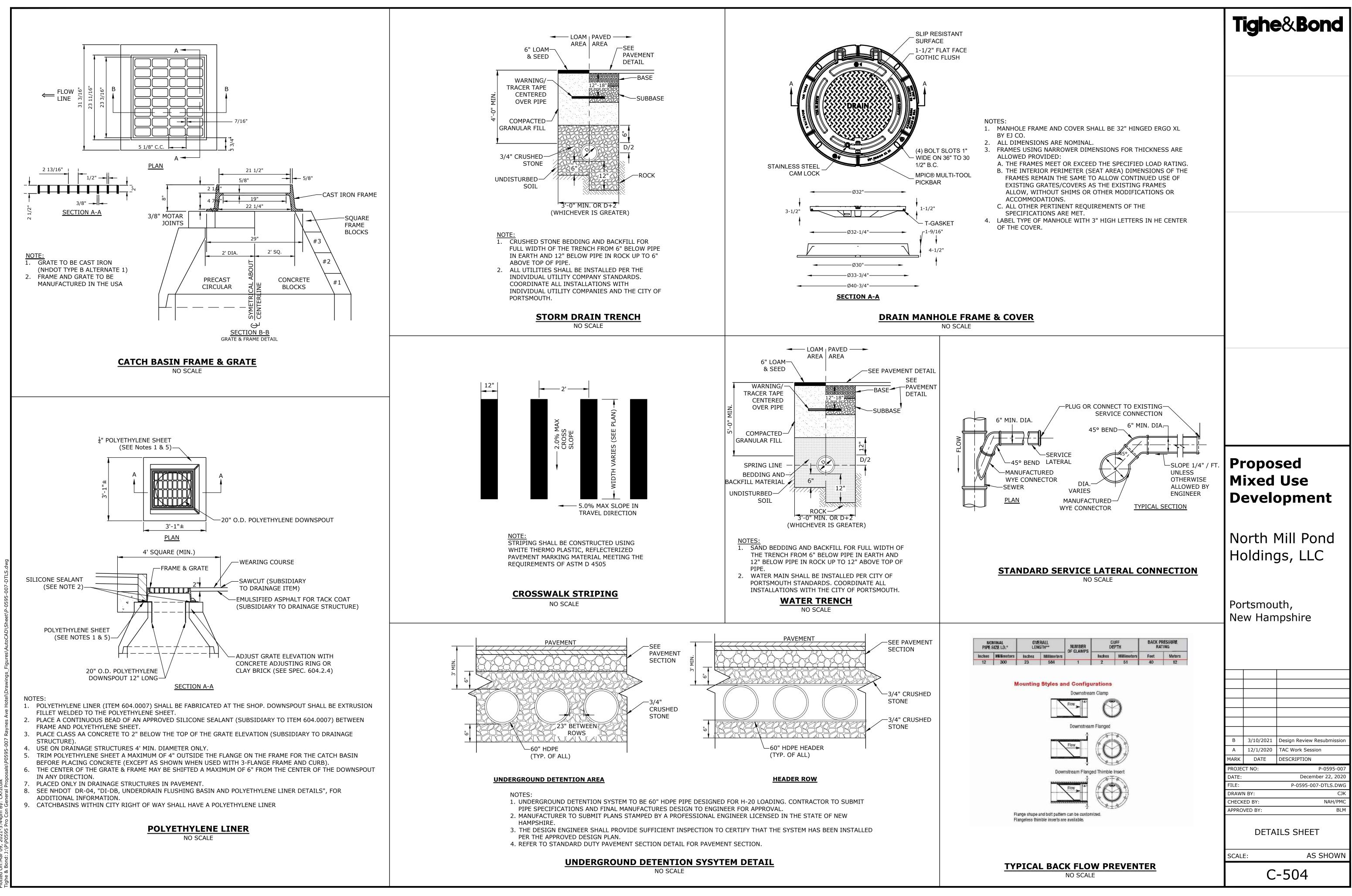
- 6.
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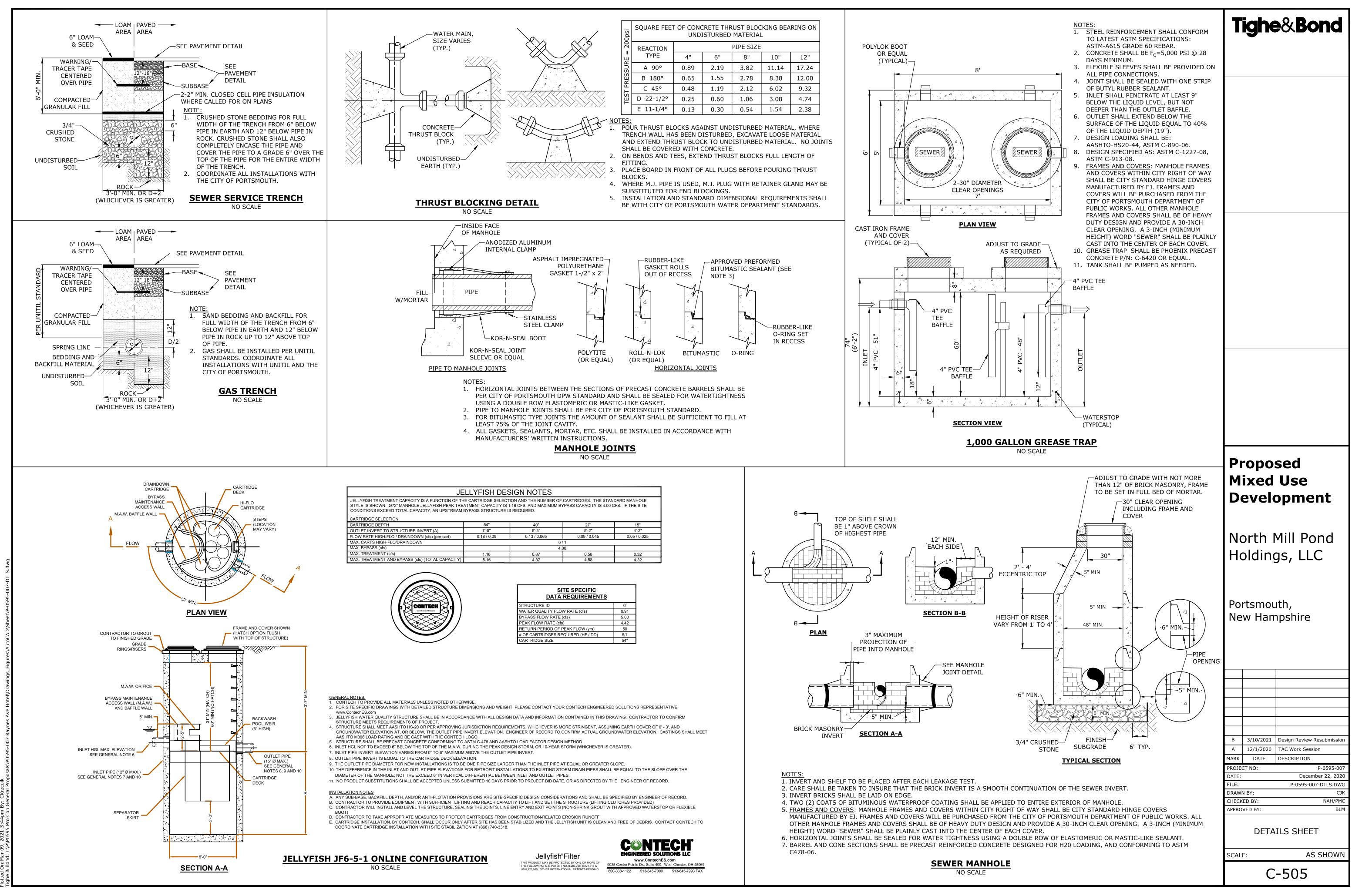


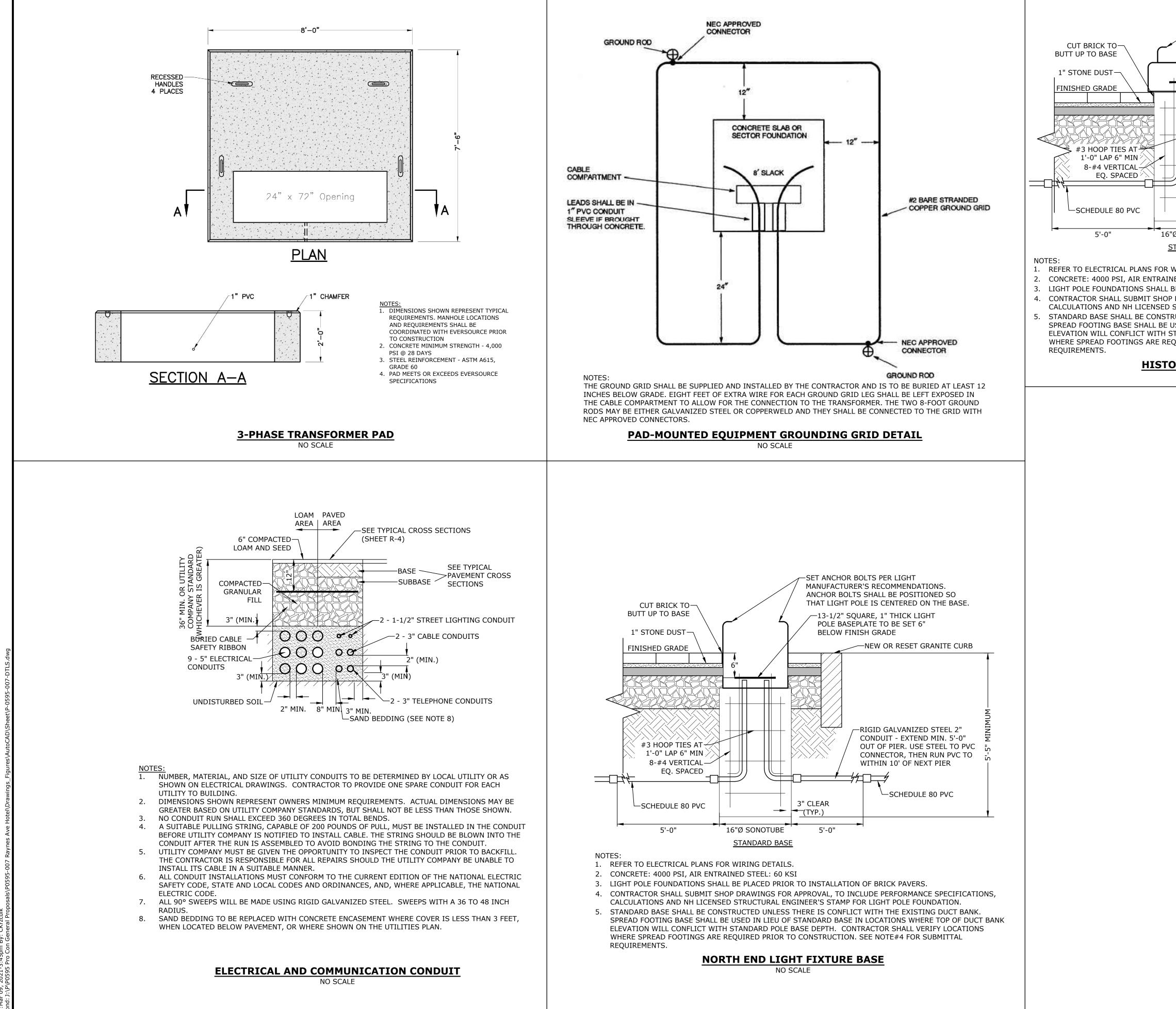


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SET ANCHOR BOLTS PER LIGHT MANUFACTURER'S RECOMMENDATIONS. ANCHOR BOLTS SHALL BE POSITIONED SO THAT LIGHT POLE IS CENTERED ON THE BASE. -11" Ø LIGHT POLE MOUNTING PLATE -LIGHT POLES SHALL BE PLACED ON	<b>Tighe&amp;Bond</b>
THE OUTSIDE EDGE OF SINGLE STACKED COURSE OF PAVERS. NEW OR RESET GRANITE CURB	
OUT OF PIER. USE STEEL TO PVC CONNECTOR, THEN RUN PVC TO WITHIN 10' OF NEXT PIER SCHEDULE 80 PVC 3" CLEAR (TYP.) 16"Ø SONOTUBE 5'-0"	
STANDARD BASE OR WIRING DETAILS. RAINED STEEL: 60 KSI ALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS. HOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, SED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION. NSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK IH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL	
NO SCALE	
	Proposed Mixed Use Development
	North Mill Pond Holdings, LLC
	Portsmouth, New Hampshire
	Image: Constraint of the second se
	DATE: December 22, 2020 FILE: P-0595-007-DTLS.DWG DRAWN BY: CJK CHECKED BY: NAH/PMC APPROVED BY: BLM DETAILS SHEET SCALE: AS SHOWN
	C-506



PORTSMOUTH, NEW HAMPSHIRE

# PROPOSED CONCEPT



# 1. Furthering the Goals of the Master Plan

**Master Plan Goals** 

Goal 1.1: Support The Continued Vitality Of The Urban Core Through Publi Investment and Land Use Regulations.

Action Item 1.1.1: Support reinvestment in underutilized buildings and

Action Item 1.1.2: Enhance the quality and connectivity of pedestrian fa

Action Item 1.1.3: Promote the creation of open spaces, seating areas a outdoor amenities.

Action Item 1.1.5: Encourage public access, use and enjoyment of the d waterfront.

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROJECT BENEFITS TO THE PUBLIC REALM



	Our Plan
ic	✓
land.	$\checkmark$
acilities.	$\checkmark$
and other	$\checkmark$
lowntown	$\checkmark$



PORTSMOUTH, NEW HAMPSHIRE

# NORTH END -NEIGHBORHOOD DEVELOPMENT PLANNING BOARD PRESENTATION: MAR 25, 2021





PORTSMOUTH, NEW HAMPSHIRE

# EXISTING CONDITIONS





PORTSMOUTH, NEW HAMPSHIRE

# PROPOSED CONCEPT



SITE USAGE - EXISTING		
1) SITE USAGE - EXISTING		
COMPARISON SENTATION: MAR 25, 2021	HOTELS	PROCON CONNECT • CREATE • CONSTRUCT

SITE USAGE AREA				
	EXISTING CONDITION	FLOOR PROPOSED DEVELOPMENT		
PEDESTRIAN*	1,537 SF	19,964 SF		
OPEN SPACE	46,010 SF	30,933 SF		
PARKING LOT	43,326 SF	31,720 SF		
BUILDING	20,466 SF	32,074 SF		

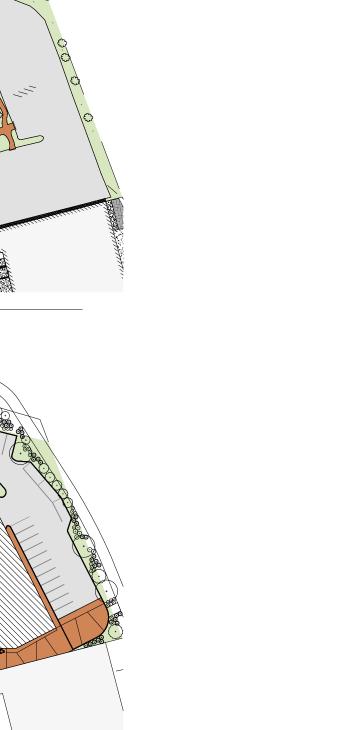
\* INCLUDES IMPROVEMENTS TO PUBLIC RIGHT OF WAY

# RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

### SITE USAGE C ARISOT







HOTELS

PORTSMOUTH, NEW HAMPSHIRE

PLANNING BOARD PRESENTATION: MAR 25, 2021





# Tighe&Bond

WAYFINDING SIGNAGE

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

CONNECTION TO FUTURE GREEN-WAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREEN-WAY COMMUNITY PARK

CURRENT BOAT/ KAYAK LAUNCH

WAY COMMUNITY PARK



PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MARSH LANE PARK





PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MAPLEWOOD AVENUE BRIDGE

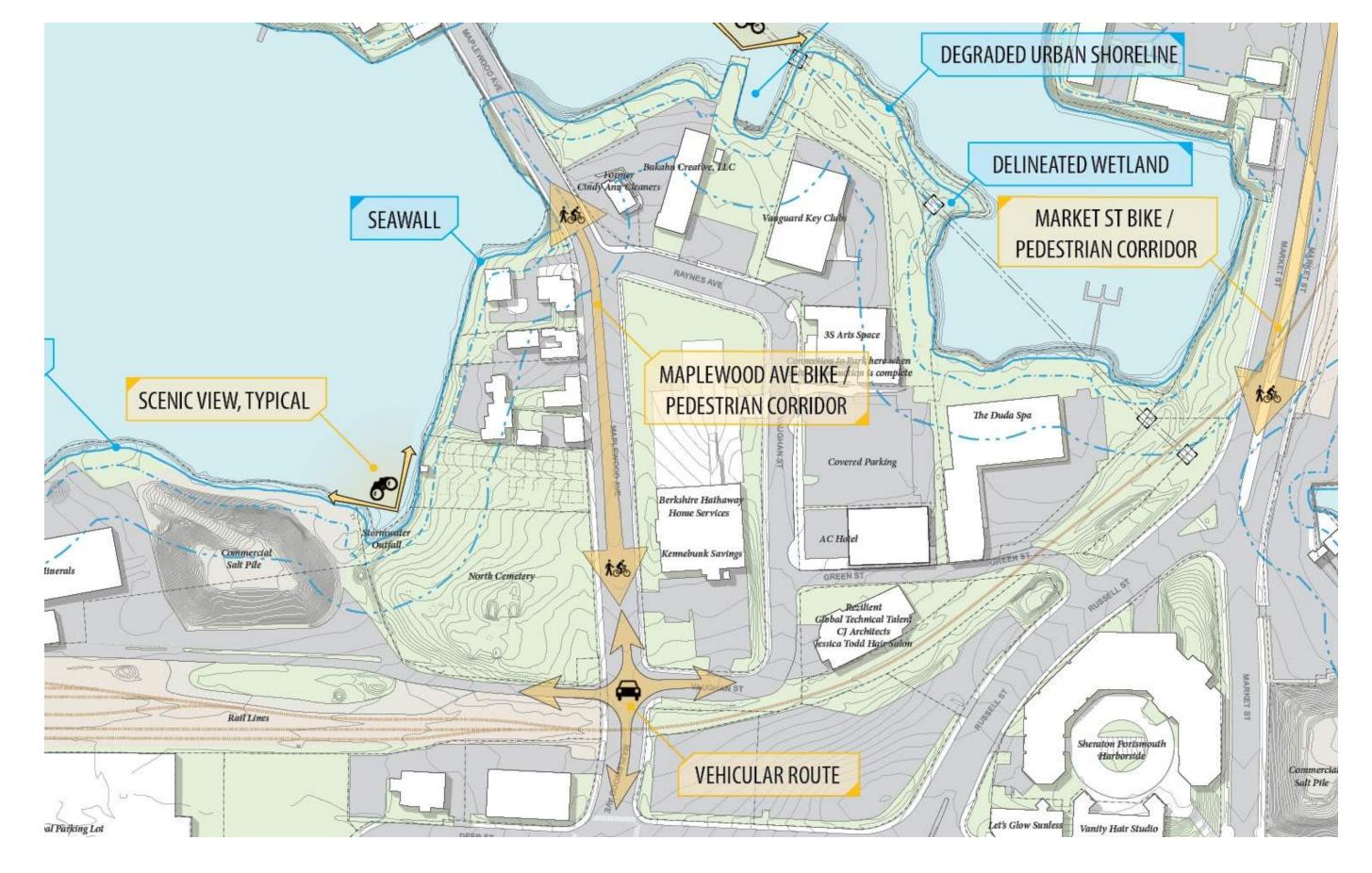




PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MAPLEWOOD AVENUE



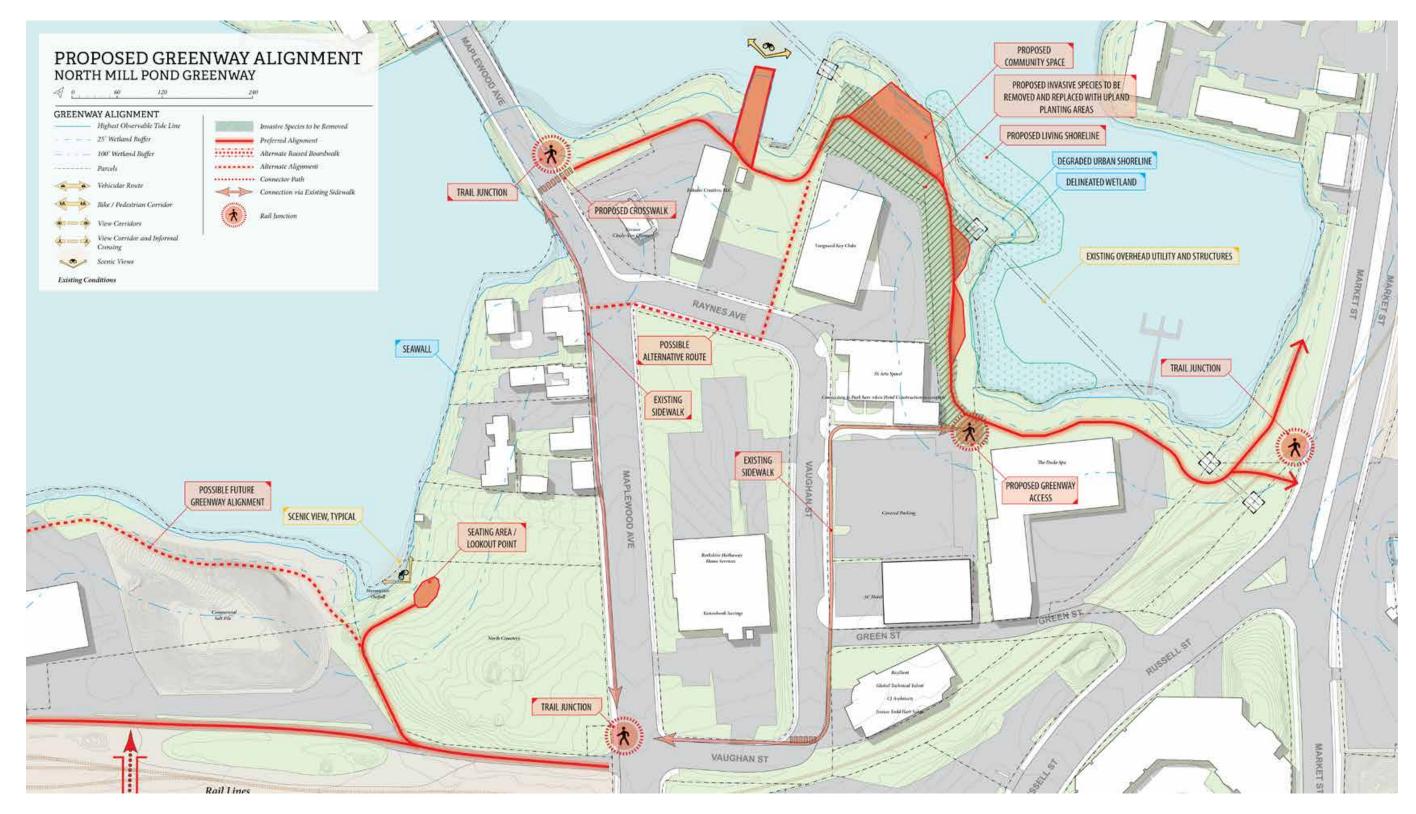


PORTSMOUTH, NEW HAMPSHIRE

EXISTING NORTH END CIRCULATION



# OVERALL CONCEPTUAL AREA 1 ENLARGEMENT NORTH MILL POND COMMUNITY PARK AND GREENWAY TRAIL | 07/09/2020

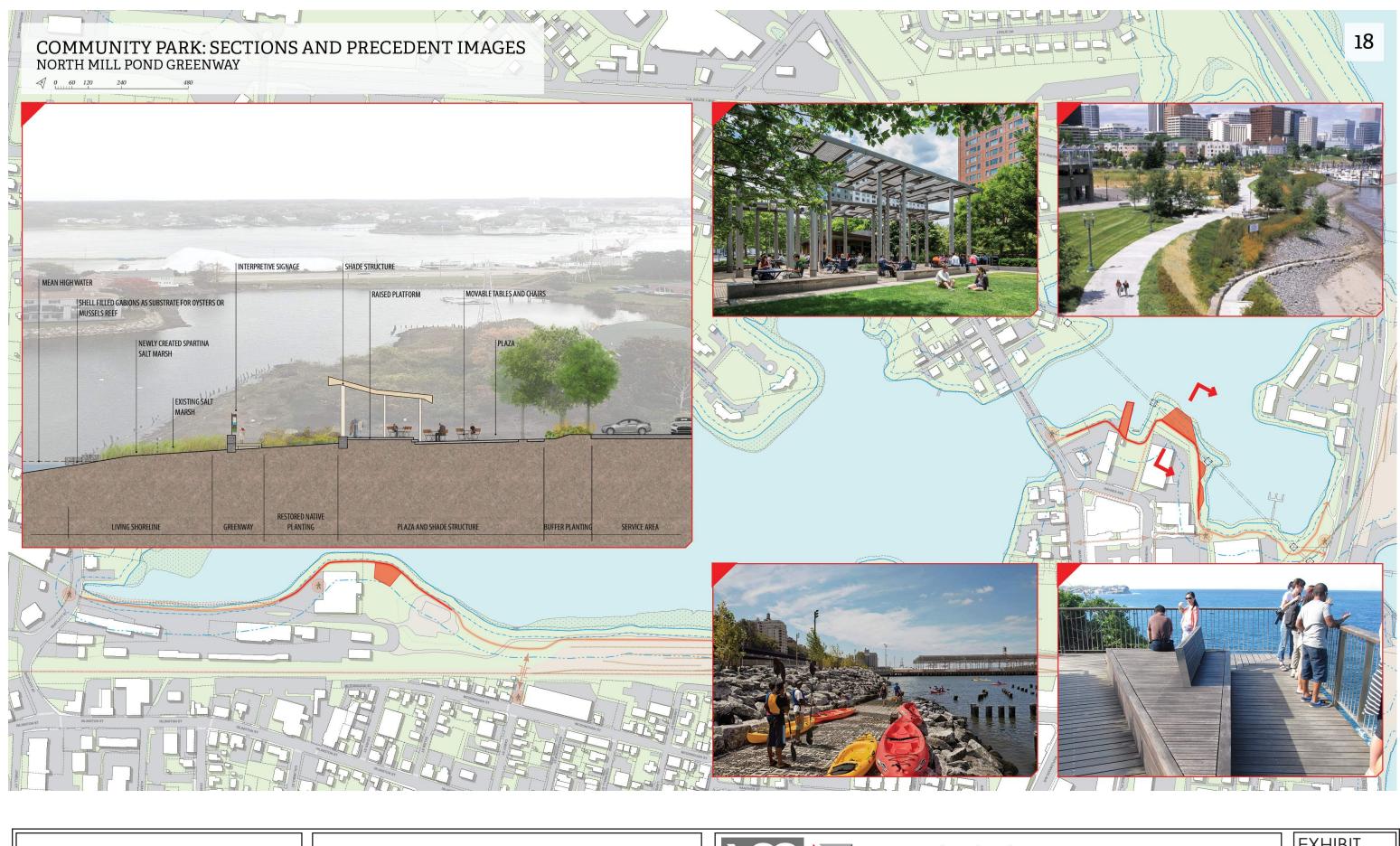


 RAYNES AVENUE
 CITY C

 PORTSMOUTH, NEW HAMPSHIRE
 PLANNING BC

CITY GREENWAY PROPOSAL





PORTSMOUTH, NEW HAMPSHIRE

# CITY GREENWAY PROPOSAL





PORTSMOUTH, NEW HAMPSHIRE





OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

NORTH END -NEIGHBORHOOD APPROVED PROJECTS PLANNING BOARD PRESENTATION: MAR 25, 2021





AC HOTEL - 299 VAUGHAN STREET



PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MARSH LANE PARK





PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MAPLEWOOD AVENUE BRIDGE





PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MAPLEWOOD AVENUE





RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM THE CORNER OF MAPLEWOOD & RAYNES AVENUE









RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

### NORTH END -NEIGHBORHOOD DEVELOPMENT PLANNING BOARD PRESENTATION: MAR 25, 2021





# Master Plan and Zoning Ordinance Compliance

Our Plan complies with the City's Zoning Ordinance and requires no variances:

- Both hotel and multifamily uses are permitted by right in the CD4 district
- Building heights comply with height standards in the CD4 district and North End Incentive Overlay District
- Design complies with density and dimensional requirements of the CD4 district
- Consistent with recent development North End neighborhood
- Substantial reinvestment in four lots of presently underutilized buildings and land.

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRF

MASTER PLAN & ZONING COMPLIANCE PLANNING BOARD PRESENTATION: MAR 25, 2021





PORTSMOUTH, NEW HAMPSHIRE





OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

NORTH END -NEIGHBORHOOD APPROVED PROJECTS PLANNING BOARD PRESENTATION: MAR 25, 2021





AC HOTEL - 299 VAUGHAN STREET

# Project Benefits to the Public Realm

- 1.Revitalizing the North End
- 2.Creation of the City's North Mill Pond Greenway and Park
- 3. Stewardship of Natural Resources

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROJECT BENEFITS





**Master Plan Goals** 

Goal 1.1: Support The Continued Vitality Of The Urban Core Through Public Investment and Land Use Regulations.

Action Item 1.1.1: Support reinvestment in underutilized buildings and

Action Item 1.1.2: Enhance the quality and connectivity of pedestrian fa

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RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROJECT BENEFITS TO THE PUBLIC REALM



	Our Plan
ic	✓
land.	$\checkmark$
acilities.	$\checkmark$
and other	$\checkmark$
lowntown	~

Master Plan Goals
Goal 3.2: Accommodate The Housing Needs of Low and Moderate Income
Residents
Action Item 3.2.2: Promote the development of mixed-income multifami
housing in appropriate locations with incentive zoning provisions; such a
reduction in parking requirement and increased maximum heights
Action Item 3.2.5: Encourage the creation of smaller housing units.
Goal 4.1: Ensure That transportation Improvements are designed to Create
Convenient, Safe and Accessible Streets for all users.
Action Item 4.1.4: Complete implementation of citywide wayfinding prog
Action Item 4.1.7: Incorporate 'green streets' sustainable stormwater strategies

RAYNES AVENUE

PROJECT BENEFITS TO THE PUBLIC REALM PLANNING BOARD PRESENTATION: MAR 25, 2021 PORTSMOUTH, NEW HAMPSHIRE

**PROCON Tighe&Bond** CONNECT - CREATE HOTELS

	Our Plan
	✓
nily a	$\checkmark$
	$\checkmark$
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## **Master Plan Goals**

## Goal 1.4: Improve Access To ... Outdoor Recreation Facilities Throughout Th

Action Item 1.4.1: Enhance neighborhood parks, recreational facilities a playgrounds, and add new ones where appropriate.

Action Item 1.4.3: Develop a consolidated recreation facility for resident ages and income levels.

Action Item 1.4.4: Seek innovative partnerships for the development of recreational facilities where opportunities arise.

Action Item 1.4.6: Create new public spaces that can be used for both recreation and flood-plain storage.

Goal 2.3: Maintain and Establish Usable Public Access To and Along the Waterfront

Action Item 2.3.2: Actively protect, enhance and acquire public waterfrom access.

RAYNES AVENUE

PROJECT BENEFITS TO THE PUBLIC REALM PORTSMOUTH, NEW HAMPSHIRE PLANNING BOARD PRESENTATION: MAR 25, 2021

	Our Plan
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Master Plan Goals	Our Plan
Goal 4.2: Ensure That Biking and Walking are Safe, Convenient and Comfortable Throughout the City.	$\checkmark$
Action Item 4.2.1: Implement Bicycle and Pedestrian Plan priorities in the neighborhoods.	$\checkmark$
Action Item 4.2.4: Identify and implement off-road multi-use paths along North Mill Pond and other transportation corridors.	$\checkmark$
Goal 4.3: Manage Public and Private Parking Supply to Serve Development Needs Without Compromising Community Character.	$\checkmark$
Action Item 4.3.4: Develop strategies for determining parking requirements for large projects, including parking study requirement, shared parking provisions and site coverage maximums.	$\checkmark$

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE PROJECT BENEFITS TO THE PUBLIC REALM



### **Master Plan Goals**

Goal 5.1: Implement Best Management Practices and Site Design Standards To Ensure Sustain and Resilience of Public and Private infrastructure.

Action Item 5.1.3: Adjust site design standards to include sustainable stormwater measure increase on-site infiltration, improve water quality, and reduce downstream erosion, sedimentation, and flooding impacts.

**Goal 5.2: Manage Public Open Spaces for Passive Recreation and Environmental Preservation** 

Action Item 5.2.1: Identify and prioritize undeveloped land for acquisition and preservatio

Action Item 5.2.2: Pursue open space acquisitions that create wildlife corridors and ecolog connections.

Action Item 5.2.4: Create a passive recreational program focused on expansion and mainter of recreational trails.

Action Item 5.2.6: Develop wayfinding and environmental design consistency for all public space parcels.

RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE PROJECT BENEFITS TO THE PUBLIC REALM



	Our Plan
ability	$\checkmark$
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**Master Plan Goals** 

Goal 5.3: Promote Effective Stewardship To Enhance The City's Natural Reso

Action Item 5.3.1: Implement watershed restoration measures and plan improve water quality and habitat values.

Action Item 5.3.2: Protect and care for existing trees, native vegetation woodlands, and identify areas for new plantings.

Action Item 5.3.3: Evaluate health of wetlands and implement restoration measures where necessary.

Action Item 5.4.7: Use sustainable design and construction rating system as LEED.

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROJECT BENEFITS TO THE PUBLIC REALM



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**Master Plan Goals** 

**Goal 5.4: Promote Efficient Use and Management of Resources.** 

PROJECT BENEFITS TO THE PUBLIC REALM

Action Item 5.4.3: Strengthen site design standards to prioritize low imp stormwater treatment systems to protect water quality and habitat valu Action Item 5.4.4: Promote use of low-emission and alternative energy vehicles through incentives, preferred parking, charging stations and oth means.

Action Item 5.4.6: Identify and protect wildlife habitat corridors through acquisition, easements, and other preservation methods.

Action 5.4.7: Use sustainable design and construction rating systems such as LEED.

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE PLANNING BOARD PRESENTATION: MAR 25, 2021

HOTELS PROCON CONNECT - CREATE - CONSTRUCT

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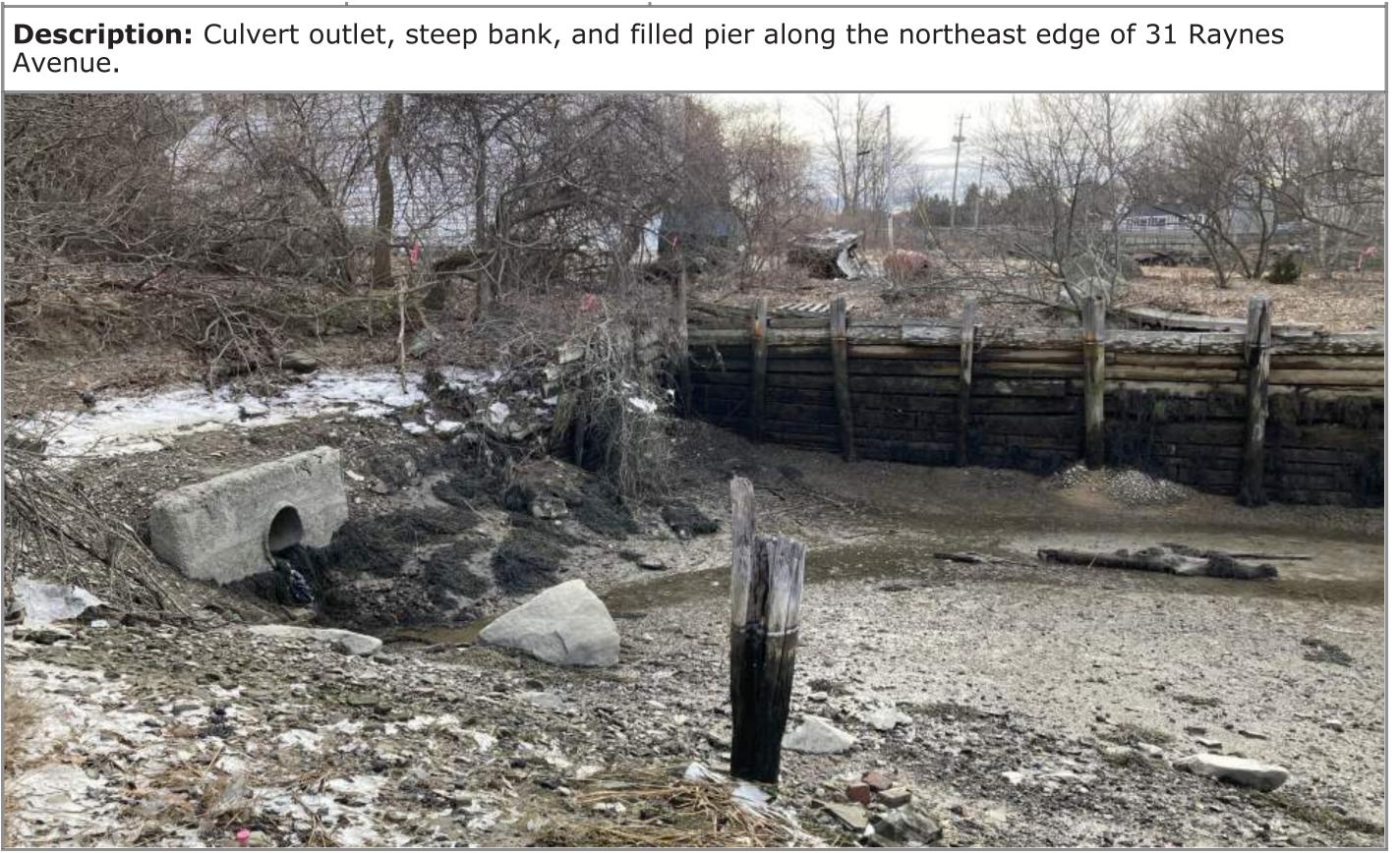


RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

EXISTING SHORELINE CONDITIONS





RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

EXISTING SHORELINE CONDITIONS



**Description:** Commercial buildings and parking lot in the tidal buffer viewed from near the wetland edge, with the 31 Raynes Avenue building to the left and 203 Maplewood building to the right.

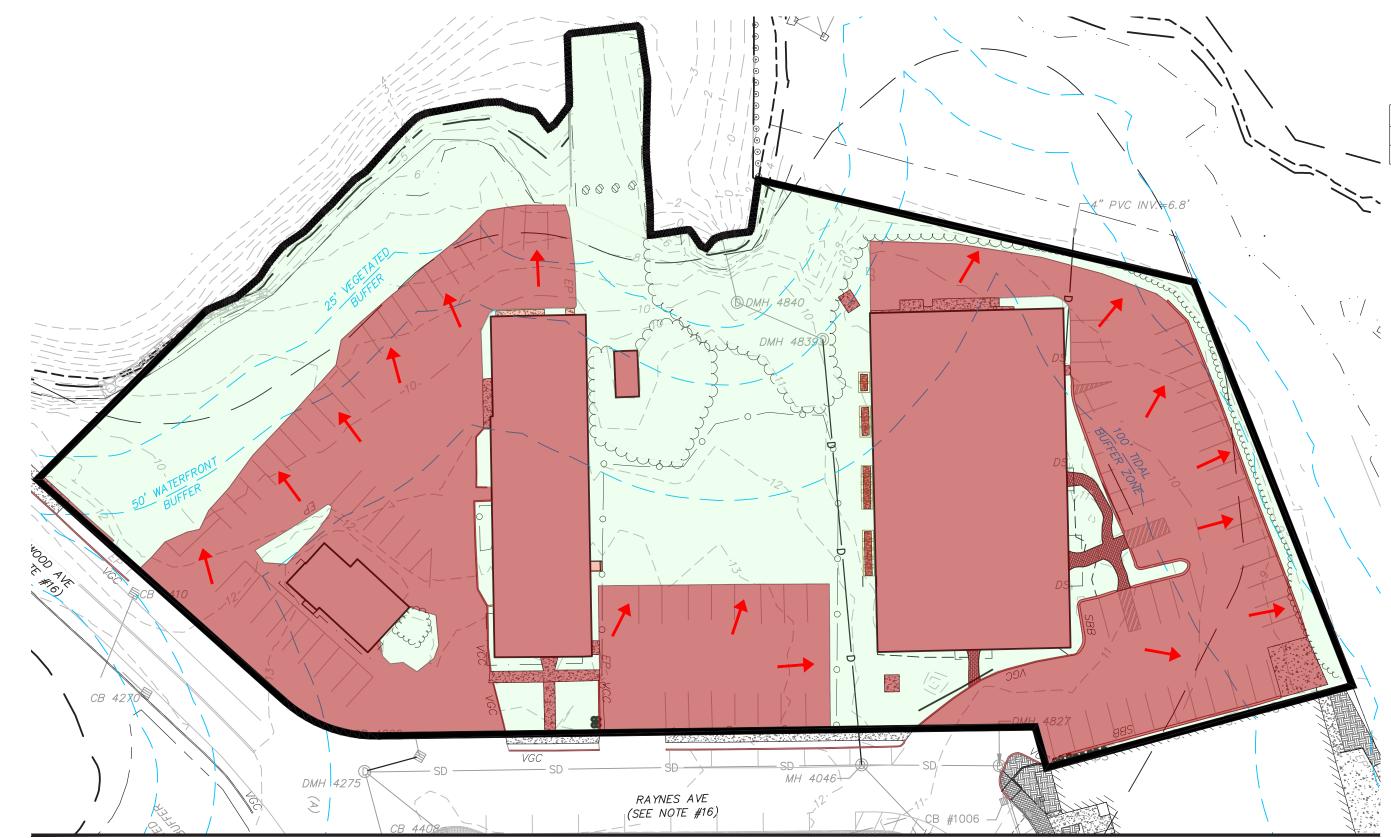


RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

EXISTING SHORELINE CONDITIONS





### **EXISTING DRAINAGE AREA**

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

EXISTING DRAINAGE CONDITIONS

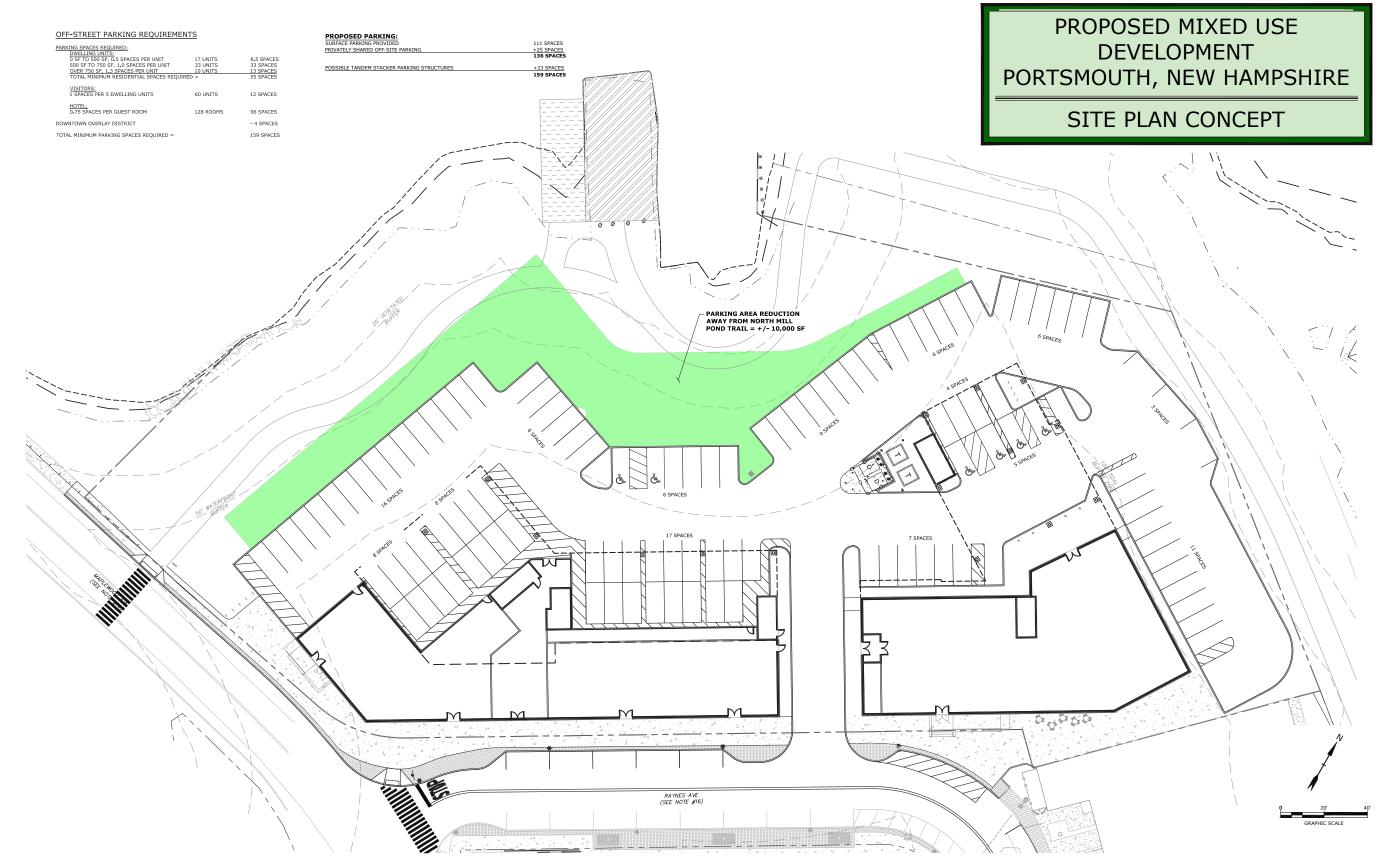
PLANNING BOARD PRESENTATION: MAR 25, 2021





PRE-DEVELOPMENT PERVIOUS AREA PRE-DEVELOPMENT IMPERVIOUS AREA NOT TREATED

PRE -DEVELOPMENT IMPERVIOUS TREATMENT AREA		
IMPERVIOUS TREATED	0.00%	0 SF
IMPERVIOUS NOT TREATED	100.00%	64,085 SF



RAYNES AVENUE

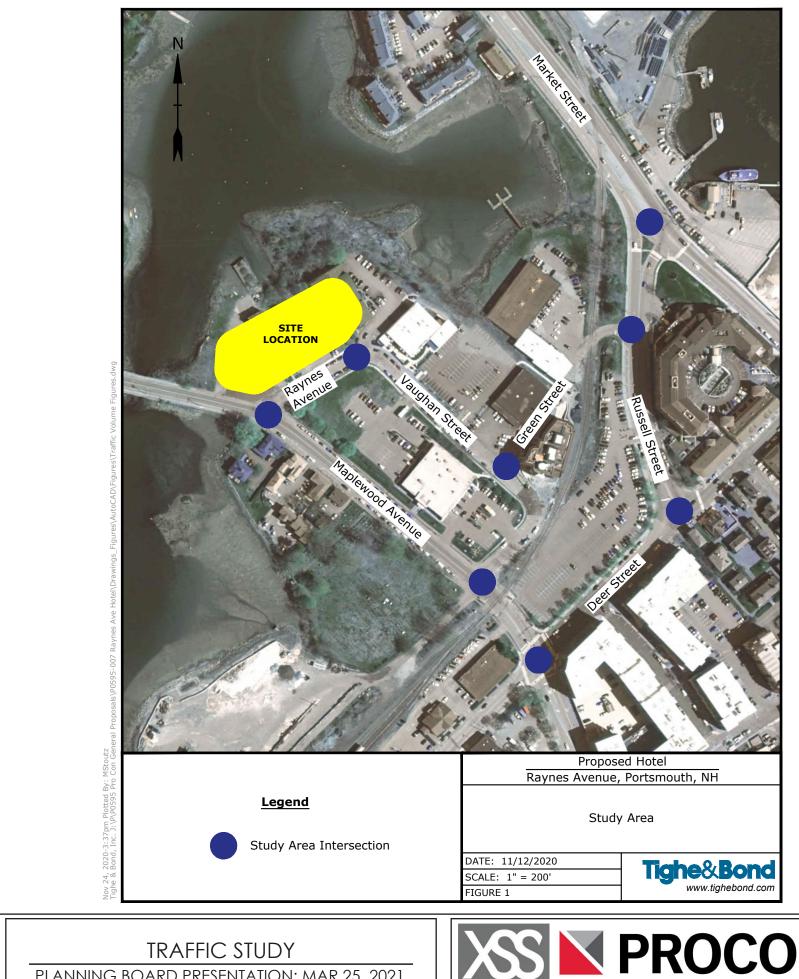
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SITE PLAN

PLANNING BOARD PRESENTATION: MAR 25, 2021



January 29, 2021 P-0595-007-C-DSGN.dwg



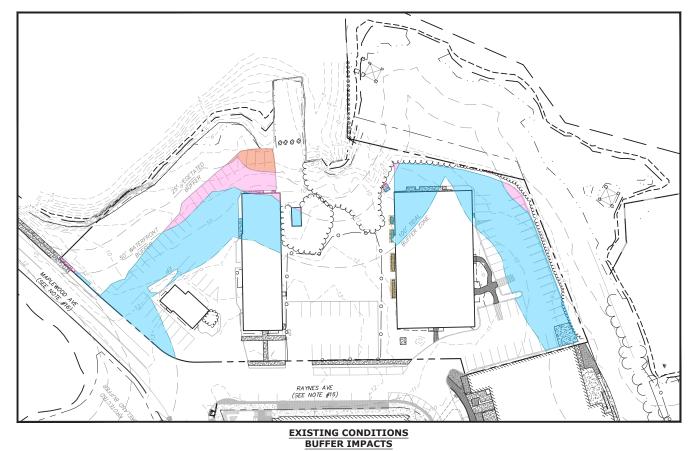
HOTELS

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

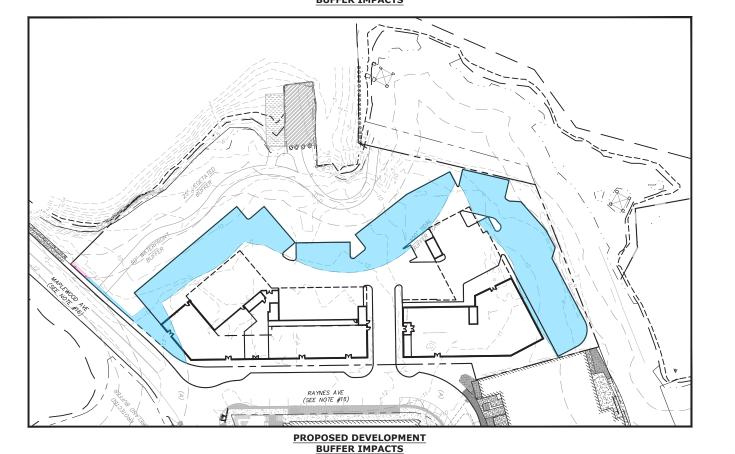






Buffer Impact Area for Project			
	Buffer Impact		
Wetland Buffer Setback	Existing Condition	Previous TAC Work Session	Proposed Development
0 - 25 FT	848 SF	220 SF	0 SF
25 - 50 FT	3,006 SF	3,762 SF	67 SF (1)
50 - 100 FT	24,473 SF	28,411 SF	24,528 SF
Total Lot Impact	28,327 SF	32,393 SF	24,595 SF

(1) Existing City Sidewalk Area

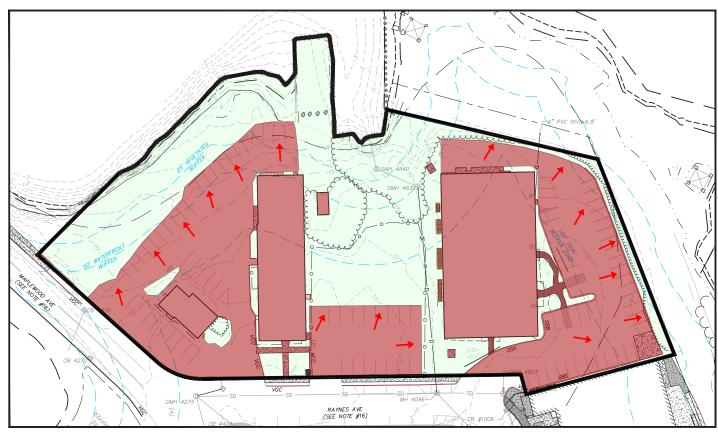


RAYNES AVENUE

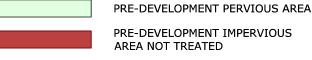
PORTSMOUTH, NEW HAMPSHIRE

WETLAND BUFFER IMPACTS



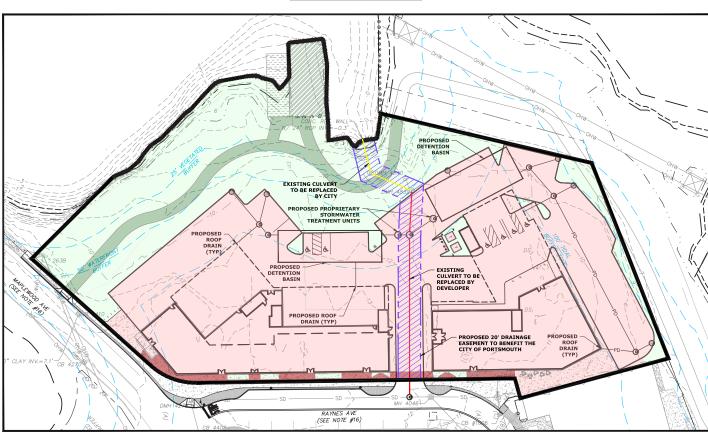


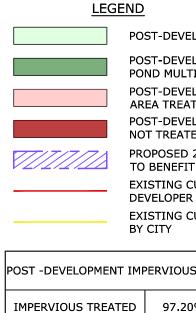




PRE -DEVELOPMENT IMPERVIOUS TREATMENT AREA		
IMPERVIOUS TREATED	0.00%	0 SF
IMPERVIOUS NOT TREATED	100.00%	64,085 SF

EXISTING DRAINAGE AREA





IMPERVIOUS NOT TREATED

PROPOSED DRAINAGE AREA

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

DRAINAGE TREATMENT COMPARISON PLANNING BOARD PRESENTATION: MAR 25, 2021





VIOUS TREATMENT AREA		
97.20%	69,072 SF	
2.80%	1,984 SF	

EXISTING CULVERT TO BE REPLACED

- TO BENEFIT THE CITY OF PORTSMOUT EXISTING CULVERT TO BE REPLACED E
- PROPOSED 20' DRAINAGE EASEMENT
- POST-DEVELOPMENT IMPERVIOUS ARE NOT TREATED (WIDE CITY SIDEWALK)
- AREA TREATED
- POND MULTI-USE PATH POST-DEVELOPMENT IMPERVIOUS
- POST-DEVELOPMENT NORTH MILL
- POST-DEVELOPMENT PERVIOUS AREA



HOTELS

PORTSMOUTH, NEW HAMPSHIRE

PLANNING BOARD PRESENTATION: MAR 25, 2021





## Tighe&Bond

#### SITE LANDSCAPE PLAN

WAYFINDING SIGNAGE

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY

CONNECTION TO FUTURE GREEN-WAY COMMUNITY

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREEN-WAY COMMUNITY

RECONSTRUCTED TIMBER PIER

WAY COMMUNITY



 $\overline{}$ 80 SCALE: 1" = 20'-0"

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

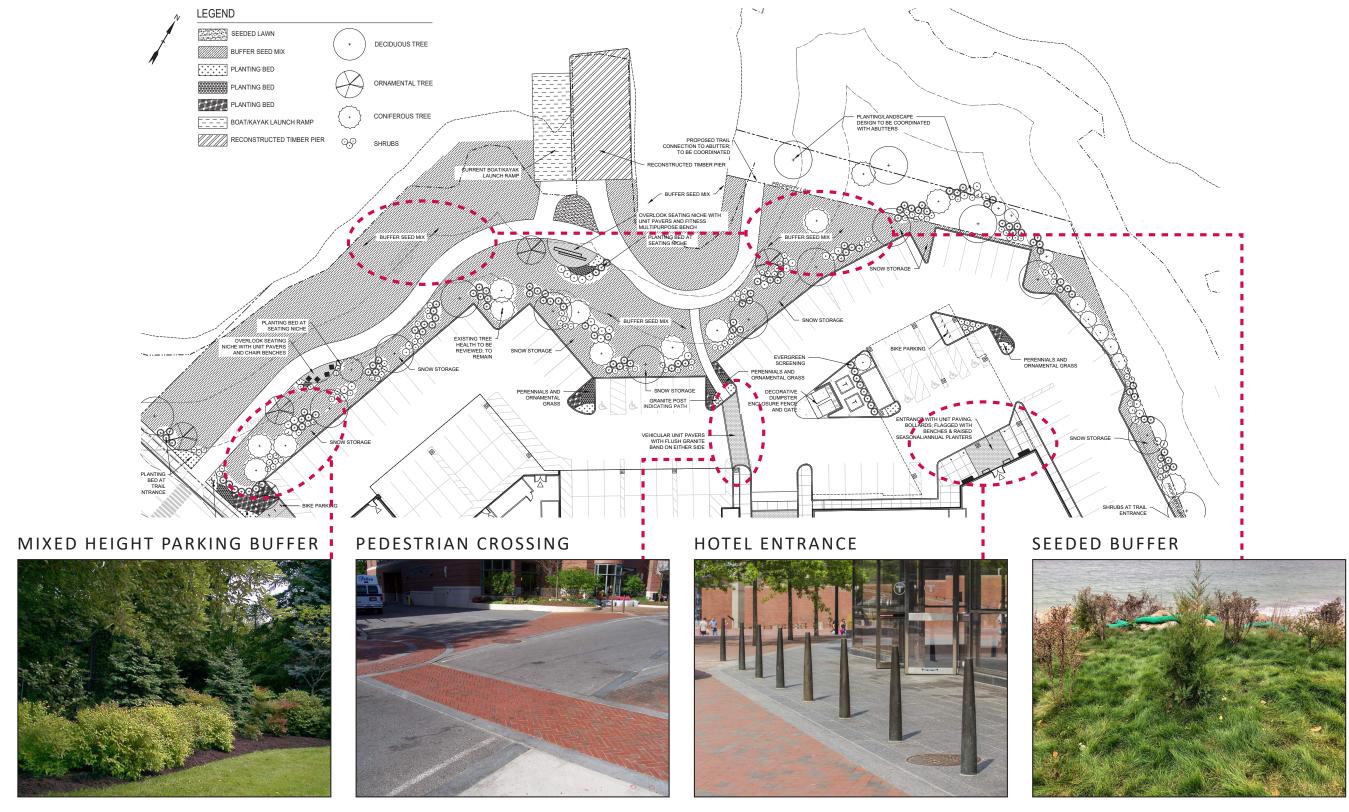
PROPOSED LANDSCAPE CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021





# Tighe&Bond



80 SCALE: 1" = 20'-0"

PROPOSED LANDSCAPE CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021



PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE



## Tighe&Bond



80 SCALE: 1" = 20'-0"

PROPOSED LANDSCAPE CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021

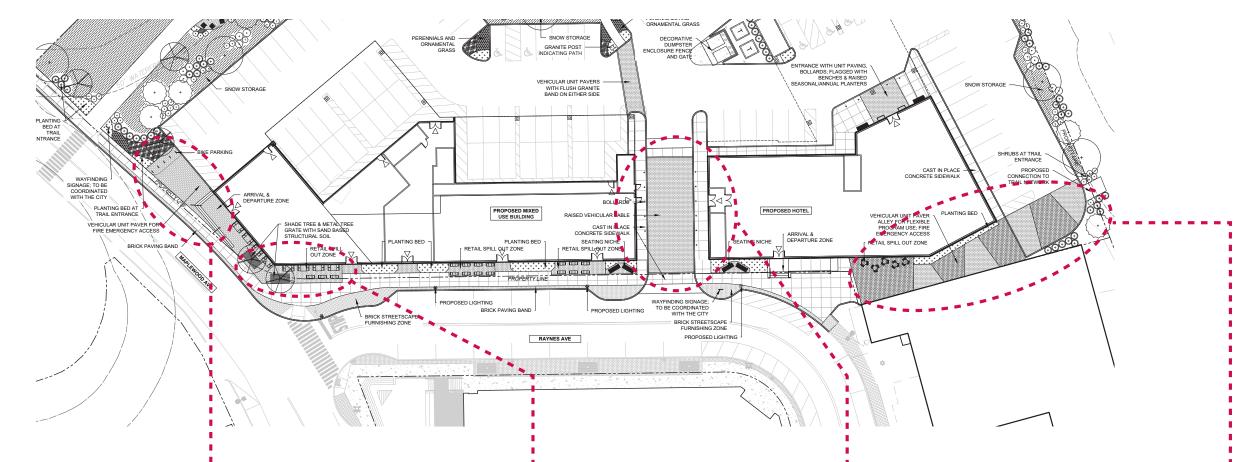


PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE



# Tighe&Bond



#### BRICK PAVING FIELD / CONCRETE SIDEWALK



#### RETAIL SPILL OUT AT CORNER



#### RAISED UNIT PAVER TABLE



80 SCALE: 1" = 20'-0" **RAYNES AVE - PORTSMOUTH, NH** 

1/29/2021

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### PROPOSED LANDSCAPE CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021



PORTSMOUTH, NEW HAMPSHIRE

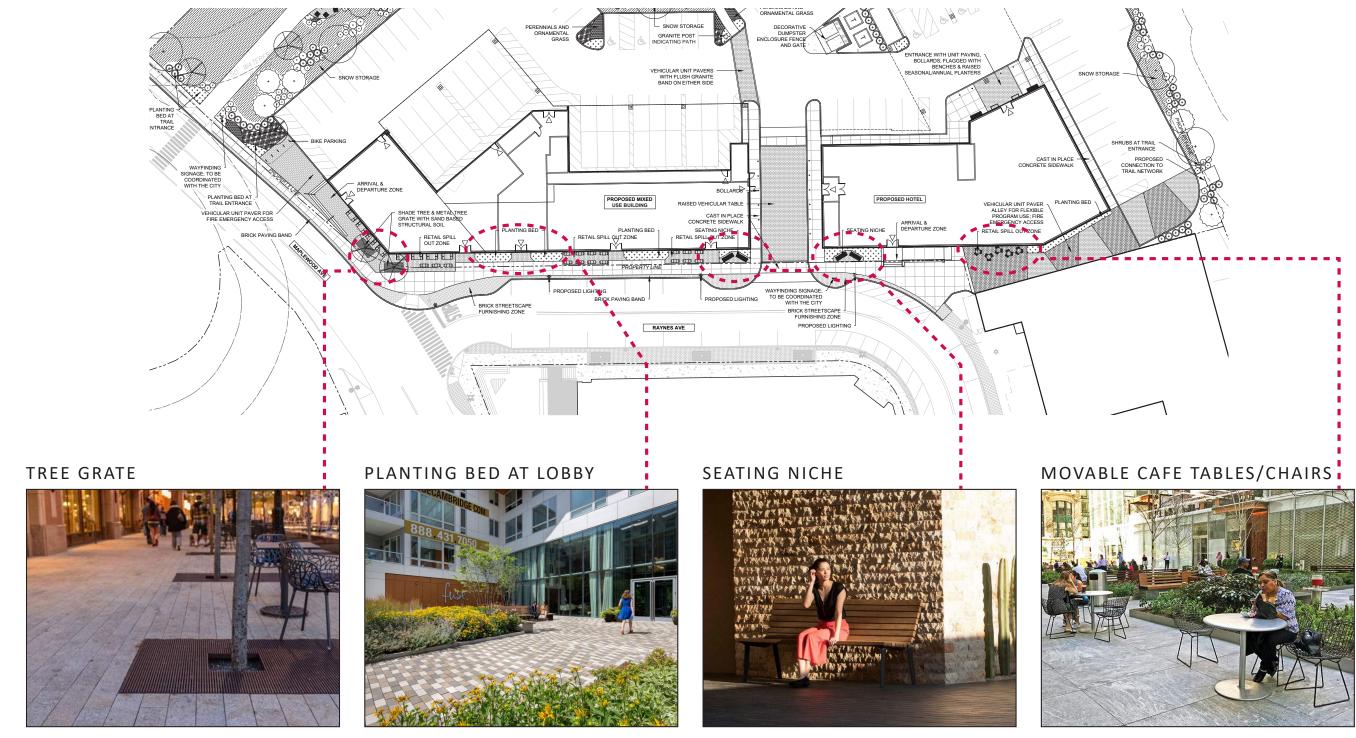
RAYNES AVENUE



## Tighe&Bond



ALTERNATING PAVING PATTERN



80 SCALE: 1" = 20'-0"

PROPOSED LANDSCAPE CONCEPT

PLANNING BOARD PRESENTATION: MAR 25, 2021



RAYNES AVENUE PORTSMOUTH, NEW HAMPSHIRE



## Tighe&Bond



**EXISTING SHORELINE BUFFER** 



### RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

#### SHORELINE BUFFER CONDITIONS PLANNING BOARD PRESENTATION: MAR 25, 2021



**Description:** Shrubby vegetation in the tidal buffer at the northeast corner of 31 Raynes Avenue.



