

P0595-007
March 10, 2021

Mr. Dexter Legg, Chairman
City of Portsmouth Planning Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: **Design Review Phase
Proposed Mixed-Use Development, Raynes Avenue, Portsmouth, NH**

Dear Chairman Legg:

On behalf of One Raynes Ave, LLC, 31 Raynes Ave, LLC & 203 Maplewood Ave, LLC (owners), and North Mill Pond Holdings, LLC (applicant), we are pleased to submit the following revised and supplemental information for a Design Review hearing with the Planning Board for the above referenced project originally submitted on December 1, 2020:

- Site Plan Set, last revised March 10, 2021;
- Planning Board Design Review Presentation Slides for March 25, 2021

On December 17, 2020, the proposed project had a Conceptual Consultation with the Planning Board in which the board provided initial feedback on the site design. In addition, the Planning Board voted to hold a Design Review public hearing on January 21, 2021 for the proposed project, which the applicant had requested to postpone until the March 2021 Planning Board meeting. The project also met for a work session with Technical Advisory Committee (TAC) on December 8, 2020 and a work session with Conservation Commission (CC) on December 9, 2020.

The enclosed Site Plans have been revised in response to feedback from the TAC work session, CC work session, and the Planning Board Conceptual Consultation. In addition, we have enclosed a copy of the applicant's Preliminary Design Review Presentation for your review in advance of the Planning Board hearing.

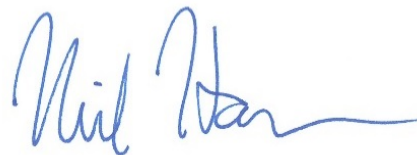
We look forward to meeting with the Planning Board on March 25, 2021. If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,

TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Senior Project Manager



Neil A. Hansen, PE
Project Engineer

Copy: North Mill Pond Holdings, LLC



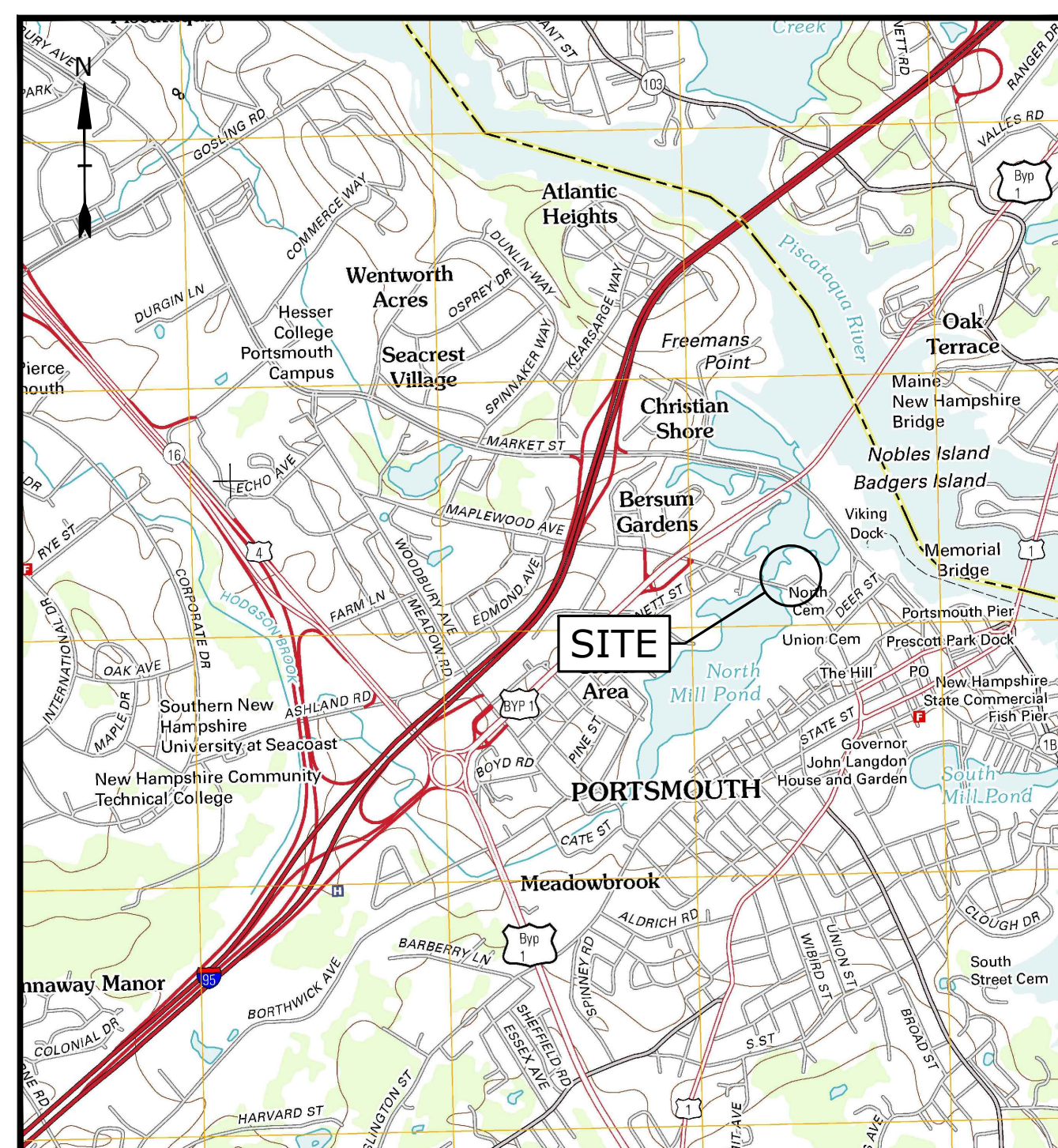
PROPOSED MIXED USE DEVELOPMENT

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

MARCH 10, 2021

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	3/10/2021
G-100	GENERAL NOTES AND LEGEND	3/10/2021
1 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
2 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
3 OF 3	EXISTING CONDITIONS PLAN	6/17/2020
C-101	DEMOLITION PLAN	3/10/2021
C-102	OVERALL SITE PLAN	3/10/2021
C-102.1	SITE PLAN	3/10/2021
C-103	GRADING, DRAINAGE AND EROSION CONTROL PLAN	3/10/2021
C-104	UTILITIES PLAN	3/10/2021
L-101	SITE LANDSCAPE PLAN	3/10/2021
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	3/10/2021
C-502	DETAILS SHEET	3/10/2021
C-503	DETAILS SHEET	3/10/2021
C-504	DETAILS SHEET	3/10/2021
C-505	DETAILS SHEET	3/10/2021
C-506	DETAILS SHEET	3/10/2021

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
CONDITIONAL USE PERMIT- WETLAND BUFFER		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - WETLAND PERMIT		
NHDES - SHORELAND PERMIT		
NHDES - SEWER CONNECTION PERMIT		



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:
Tighe & Bond
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

APPLICANT:
NORTH MILL POND HOLDINGS LLC
1359 HOOKSETT ROAD
HOOKSETT, NEW HAMPSHIRE 03106

OWNERS:
TAX MAP 123, LOT 10 & 13
31 RAYNES LLC C/O PORTSMOUTH CHEVROLET
549 ROUTE 1 BYPASS
PORTSMOUTH, NEW HAMPSHIRE 03801

TAX MAP 123, LOT 12
203 MAPLEWOOD AVENUE LLC
549 HIGHWAY 1 BYPASS
PORTSMOUTH, NH 03801

TAX MAP 123, LOT 14
ONE RAYNES AVE LLC
1359 HOOKSETT RD
HOOKSETT, NEW HAMPSHIRE 03106

**DESIGN REVIEW RESUBMISSION SET
COMPLETE SET 17 SHEETS**

GENERAL NOTES:

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.

DEMOLITION NOTES:

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

SITE NOTES:

- 1. PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES.

- 8. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.

GRADING AND DRAINAGE NOTES:

- 1. COMPACTION REQUIREMENTS: BELOW PAVED OR CONCRETE AREAS 95% TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95% BELOW LOAM AND SEED AREAS 90%

EROSION CONTROL NOTES:

- 1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.

LANDSCAPE NOTES:

- 1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER.

EXISTING CONDITIONS PLAN NOTES:

- 1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY DOUCET SURVEY INC. DURING 8/12. SEE REFERENCE PLAN #1.

REFERENCE PLANS:

- 1. ""EXISTING CONDITIONS PLAN OF TAX MAP 123, LOT 10, 12, 13 & 14" PREPARED BY DOUCET SURVEY INC., DATED JUNE 17, 2020.

LEGEND

Legend table with symbols and descriptions: APPROXIMATE LIMIT OF PROPOSED SAW CUT, LIMIT OF WORK, PROPOSED SILT SOCK, APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED, PROPOSED CONSTRUCTION EXIT, BUILDING TO BE REMOVED, LOCATION OF PROPOSED BUILDING, INLET PROTECTION SILT SACK, PROPERTY LINE, PROPOSED PROPERTY LINE, PROPOSED EDGE OF PAVEMENT, PROPOSED CURB, PROPOSED BUILDING, PROPOSED PAVEMENT SECTION, PROPOSED CONCRETE SIDEWALK, PROPOSED BRICK SIDEWALK, PAVING AND STRIPING AREA (SEE SITE NOTE #27), PROPOSED BOLLARD, PROPOSED MAJOR CONTOUR LINE, PROPOSED MINOR CONTOUR LINE, PROPOSED DRAIN LINE (TYP), PROPOSED SILT SOCK, INLET PROTECTION SILT SACK, PROPOSED CATCHBASIN, PROPOSED DOUBLE GRATE CATCHBASIN, PROPOSED DRAIN MANHOLE, PROPOSED YARD DRAIN, EXISTING STORM DRAIN, EXISTING SANITARY SEWER, EXISTING SANITARY SEWER TO BE REMOVED, EXISTING UNDERGROUND TELECOMMUNICATION, EXISTING WATER, EXISTING GAS, EXISTING UNDERGROUND ELECTRIC, EXISTING OVERHEAD UTILITY, PROPOSED SANITARY SEWER, PROPOSED WATER, PROPOSED GAS, PROPOSED UNDERGROUND ELECTRIC, PROPOSED UNDERGROUND TELECOMMUNICATION, PROPOSED UNDERGROUND COMBINED ELECTRIC & TELECOMMUNICATION, EXISTING CATCHBASIN, EXISTING DRAIN MANHOLE, EXISTING SEWER MANHOLE, EXISTING HYDRANT, EXISTING WATER VALVE, EXISTING ELECTRIC MANHOLE, EXISTING TELEPHONE MANHOLE, PROPOSED CATCHBASIN, PROPOSED DRAIN MANHOLE, PROPOSED SEWER MANHOLE, PROPOSED WATER VALVE, PROPOSED HYDRANT, PROPOSED GAS VALVE, PROPOSED ELECTRIC MANHOLE, PROPOSED LIGHT POLE BASE, VERIFY IN FIELD, PROPOSED DECIDUOUS TREE (W/ BARK MULCH), PROPOSED DECIDUOUS TREE (W/O BARK MULCH), PROPOSED SHRUBS (W/ BARK MULCH), PROPOSED SHRUBS (W/O BARK MULCH), PROPOSED GROUND COVER, PROPOSED EVERGREEN TREE, PROPOSED EVERGREEN SHRUB, TO BE REMOVED, BUILDING, TYPICAL, COORDINATE, PROPOSED CURB RADIUS, PROPOSED VERTICAL GRANITE CURB, PROPOSED SLOPED GRANITE CURB, TOP OF CURB, BOTTOM OF CURB, TOP OF WALL, BOTTOM OF WALL

Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

Table with columns: MARK, DATE, DESCRIPTION. Row B: 3/10/2021, Design Review Resubmission. Row A: 12/1/2020, TAC Work Session.

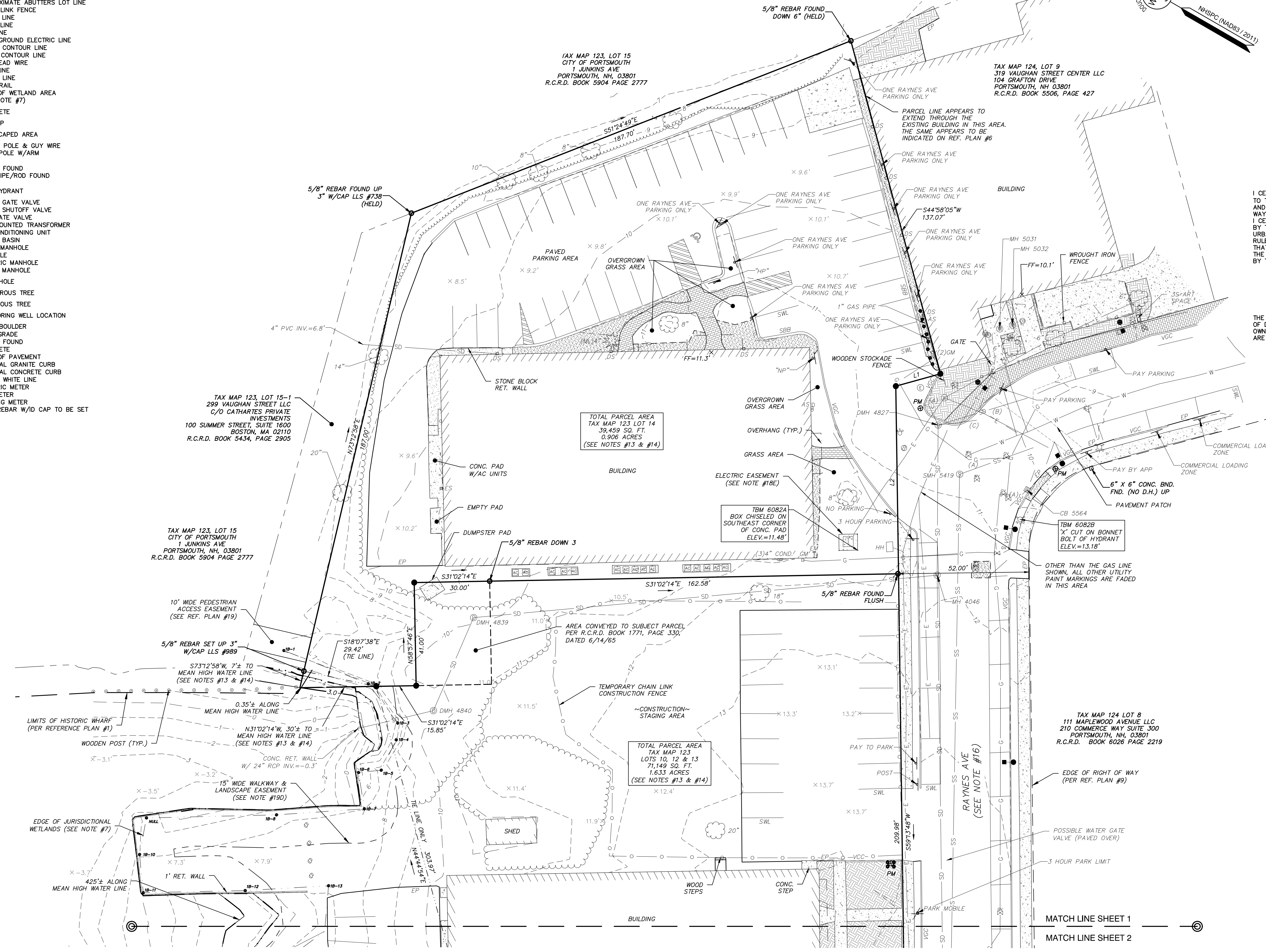
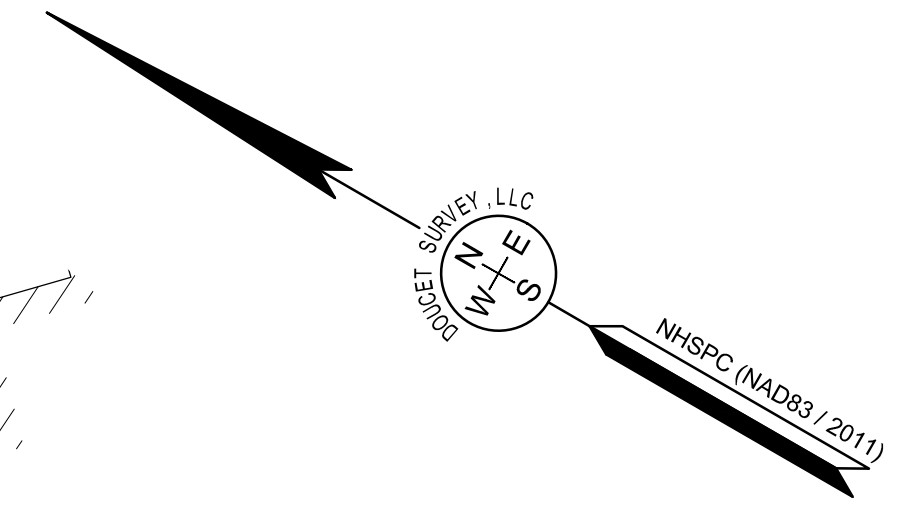
Table with columns: PROJECT NO, DATE, FILE, DRAWN BY, CHECKED BY, APPROVED BY. Values: P-0595-007, December 22, 2020, P-0595-007-C-DSGN.DWG, CLK, NAH/PMC, BLM.

GENERAL NOTES AND LEGEND

SCALE: AS SHOWN

Last Saved: 3/9/2021, 4:01pm by: CKrczuk. Plotted On: 03/09/2021, 4:01pm by: CKrczuk. Tighe & Bond 21000325 Proj. Con. General Proposal 10595-007 - 0595-007 - C-DSGN.dwg

- LEGEND**
- APPROXIMATE ABUTTERS LOT LINE
 - CHAIN LINK FENCE
 - SS SEWER LINE
 - SD DRAIN LINE
 - G GAS LINE
 - E UNDERGROUND ELECTRIC LINE
 - 100 MAJOR CONTOUR LINE
 - 98 MINOR CONTOUR LINE
 - OHW OVERHEAD WIRE
 - ~ TREE LINE
 - ~ SHRUB LINE
 - GUARDRAIL
 - EDGE OF WETLAND AREA (SEE NOTE #7)
 - CONCRETE
 - RIP RAP
 - LANDSCAPED AREA
 - UTILITY POLE & GUY WIRE
 - LIGHT POLE W/ARM
 - SIGN
 - BOUND FOUND
 - IRON PIPE/ROD FOUND
 - POST
 - FIRE HYDRANT
 - WATER GATE VALVE
 - WATER SHUTOFF VALVE
 - GAS GATE VALVE
 - PAD MOUNTED TRANSFORMER
 - AIR CONDITIONING UNIT
 - CATCH BASIN
 - DRAIN MANHOLE
 - MANHOLE
 - ELECTRIC MANHOLE
 - SEWER MANHOLE
 - HAND HOLE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - MONITORING WELL LOCATION
 - ROCK/BOULDER
 - SPOT GRADE
 - BOUND FOUND
 - CONC.
 - EP EDGE OF PAVEMENT
 - VCC VERTICAL GRANITE CURB
 - VCC VERTICAL CONCRETE CURB
 - SWL SINGLE WHITE LINE
 - EM ELECTRIC METER
 - GM GAS METER
 - PM PARKING METER
 - 5/8" REBAR W/ID CAP TO BE SET



TAX MAP 123, LOT 15
CITY OF PORTSMOUTH
1 JUNKINS AVE
PORTSMOUTH, NH, 03801
R.C.R.D. BOOK 5904 PAGE 2777

TAX MAP 124, LOT 9
319 VAUGHAN STREET CENTER LLC
104 GRAFTON DRIVE
PORTSMOUTH, NH 03801
R.C.R.D. BOOK 5506, PAGE 427

TAX MAP 123, LOT 15-1
299 VAUGHAN STREET LLC
C/O CATHARTES PRIVATE INVESTMENTS
100 SUMMER STREET, SUITE 1600
BOSTON, MA 02110
R.C.R.D. BOOK 5434, PAGE 2905

TAX MAP 123, LOT 15
CITY OF PORTSMOUTH
1 JUNKINS AVE
PORTSMOUTH, NH, 03801
R.C.R.D. BOOK 5904 PAGE 2777

TAX MAP 124 LOT 8
111 MAPLEWOOD AVENUE LLC
210 COMMERCE WAY SUITE 300
PORTSMOUTH, NH, 03801
R.C.R.D. BOOK 6026 PAGE 2219

TOTAL PARCEL AREA
TAX MAP 123 LOT 14
39,459 SQ. FT.
0.906 ACRES
(SEE NOTES #13 & #14)

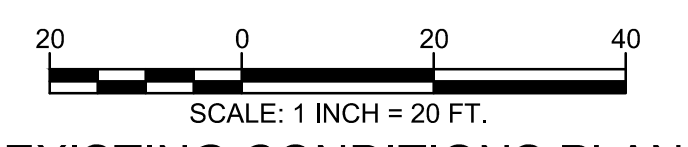
TOTAL PARCEL AREA
TAX MAP 123
LOTS 10, 12 & 13
71,149 SQ. FT.
1.633 ACRES
(SEE NOTES #13 & #14)

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE (NHRSA TITLE LXIV) AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

____ L.L.S. #989
____ DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N45°28'14"W	18.36'
L2	S59°09'46"W	74.62'



EXISTING CONDITIONS PLAN
FOR
TIGHE & BOND
LAND OF
31 RAYNES LLC
(TAX MAP 123, LOTS 10 & 13)
203 MAPLEWOOD AVENUE LLC
(TAX MAP 123, LOT 12)
&
ONE RAYNES AVENUE LLC
(TAX MAP 123, LOT 14)
MAPLEWOOD AVENUE & RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

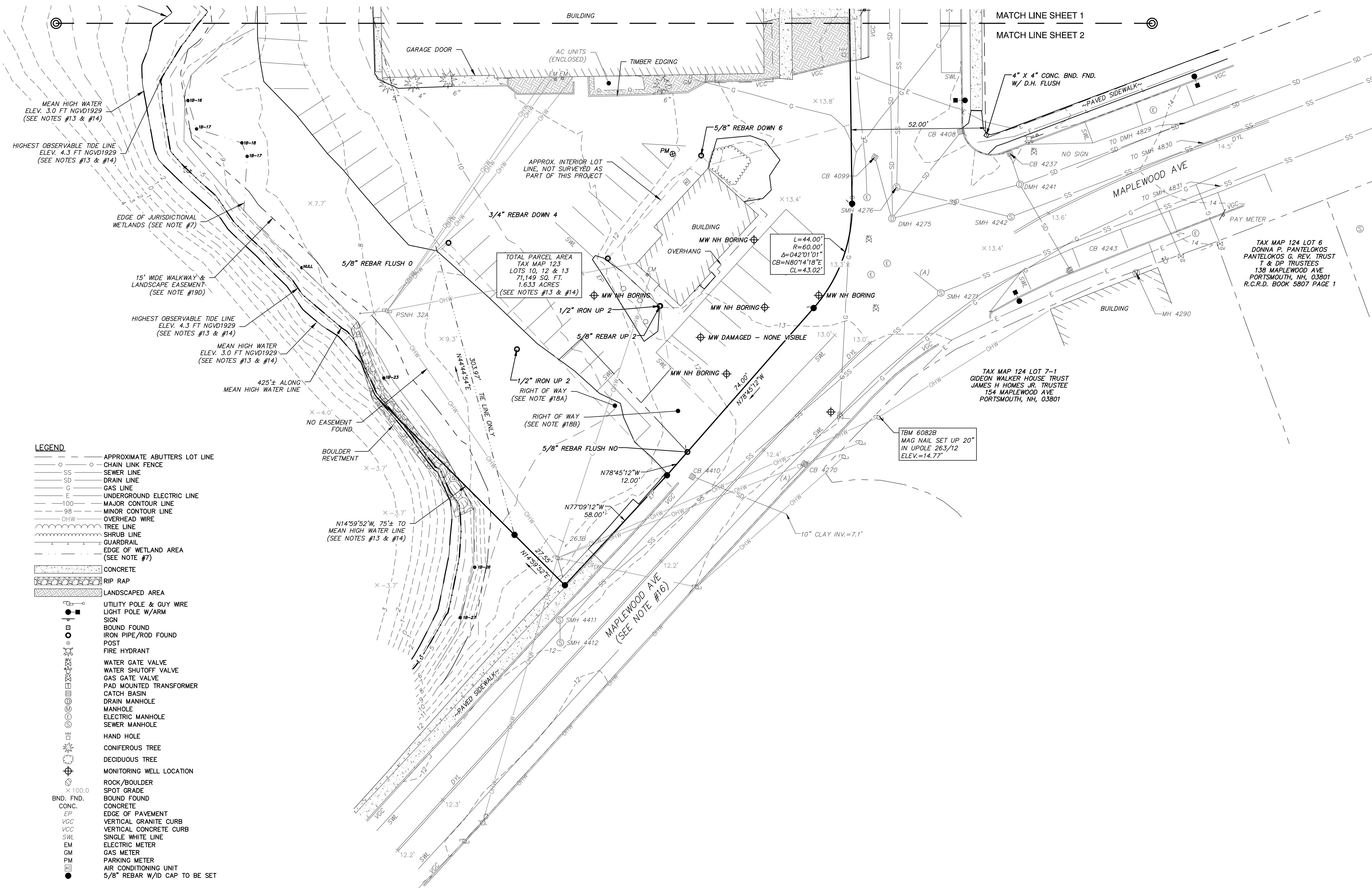
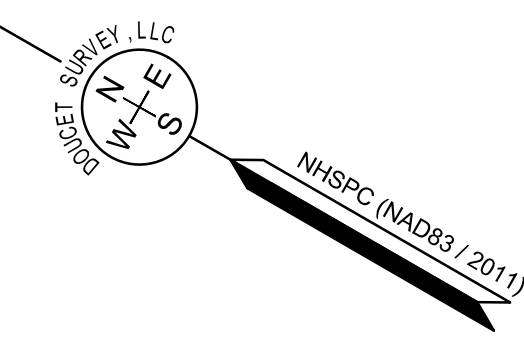
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	JUNE 17, 2020
CHECKED BY:	M.W.F.	DRAWING NO.:	6082B
JOB NO.:	6082	SHEET	2 OF 3

DOUCET SURVEY
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6560
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
<http://www.doucetsurvey.com>

FILE NAME: Y:\PROJECTS\6082 - COMMERCIAL DATA\6082-44-1\6082B.DWG (SHEET) 19-2019.dwg PLOTTED: 16/09/2020 10:19:20 AM LAYOUT NAME: TIGHE PLAN (2) PLOTTED: 16/09/2020 10:19:20 AM

MATCH LINE SHEET 1
MATCH LINE SHEET 2



- LEGEND**
- APPROXIMATE ABUTTERS LOT LINE
 - CHAIN LINK FENCE
 - SS SEWER LINE
 - SD DRAIN LINE
 - G GAS LINE
 - E UNDERGROUND ELECTRIC LINE
 - 100 MAJOR CONTOUR LINE
 - 93 MINOR CONTOUR LINE
 - OHW OVERHEAD WIRE
 - TREE LINE
 - SHRUB LINE
 - GUARDRAIL
 - EDGE OF WETLAND AREA (SEE NOTE #7)
 - CONCRETE
 - RIP RAP
 - LANDSCAPED AREA
 - UTILITY POLE & GUY WIRE
 - LIGHT POLE W/ARM
 - SIGN
 - BOUND FOUND
 - IRON PIPE/ROD FOUND
 - POST
 - FIRE HYDRANT
 - WATER GATE VALVE
 - WATER SHUTOFF VALVE
 - GAS GATE VALVE
 - PAD MOUNTED TRANSFORMER
 - CATCH BASIN
 - DRAIN MANHOLE
 - MANHOLE
 - ELECTRIC MANHOLE
 - SEWER MANHOLE
 - HAND HOLE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - MONITORING WELL LOCATION
 - ROCK/BOULDER
 - SPOT GRADE
 - BOUND FOUND
 - CONCRETE
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - VERTICAL CONCRETE CURB
 - SINGLE WHITE LINE
 - ELECTRIC METER
 - GAS METER
 - PARKING METER
 - AIR CONDITIONING UNIT
 - 5/8" REBAR W/ID CAP TO BE SET

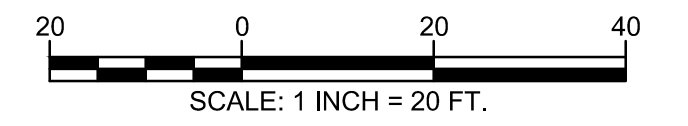
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE (NHRSA TITLE LXIV) AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

L.L.S. #989
DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

TAX MAP 124 LOT 6
DONNA P. PANTELAKOS
PANTELAKOS & REV. TRUST
T & DP TRUSTEES
138 MAPLEWOOD AVE
PORTSMOUTH, NH, 03801
R.C.R.D. BOOK 5807 PAGE 1

TAX MAP 124 LOT 7-1
GIDEON WALKER HOUSE TRUST
JAMES H HOMES JR. TRUSTEE
154 MAPLEWOOD AVE
PORTSMOUTH, NH, 03801



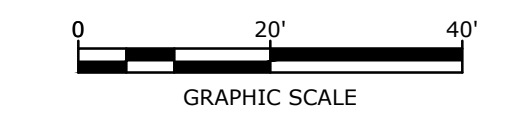
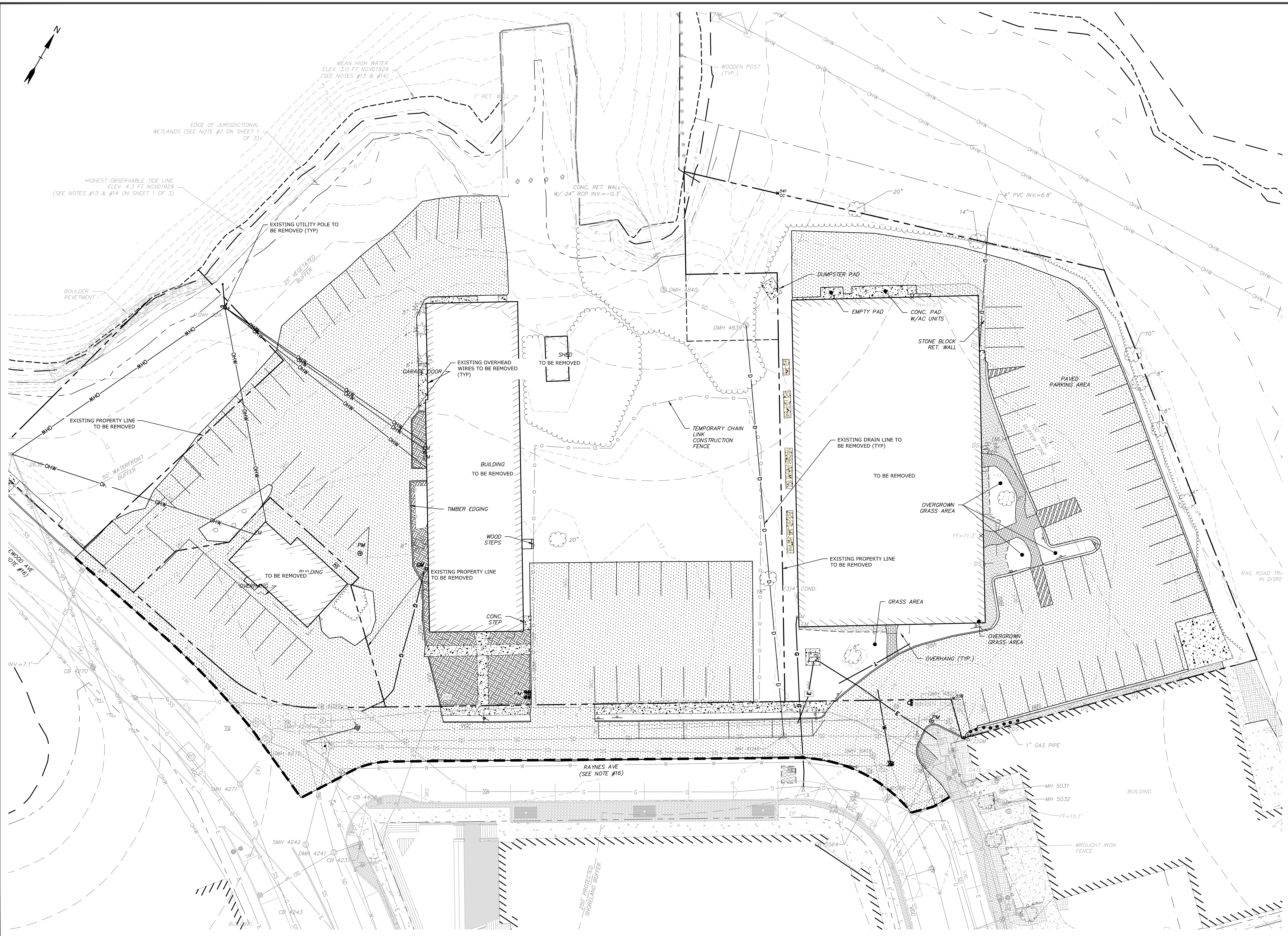
EXISTING CONDITIONS PLAN
FOR
TIGHE & BOND
LAND OF
31 RAYNES LLC
(TAX MAP 123, LOTS 10 & 13)
203 MAPLEWOOD AVENUE LLC
(TAX MAP 123, LOT 12)
&
ONE RAYNES AVENUE LLC
(TAX MAP 123, LOT 14)
MAPLEWOOD AVENUE & RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION	BY

DRAWN BY:	E.D.P.	DATE:	JUNE 17, 2020
CHECKED BY:	M.W.F.	DRAWING NO.	6082B
JOB NO.	6082	SHEET	3 OF 3

DOUCET SURVEY
Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857 (603) 659-6560
2 Commerce Drive (Suite 202) Bedford, NH 03110 (603) 614-4060
10 Storer Street (Riverview Suite) Kennebunk, ME (207) 502-7005
http://www.doucetsurvey.com

FILE NAME: Y:\PROJECTS\6082-DRAWING\6082-D-14-0000.DWG (SHEETED 6-19-2020) PLOTTED: 6/19/2020 10:59:46 AM LAYOUT NAME: TIGHE PLAN (3) PLOTTED: 6/19/2020 10:59:46 AM



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

PROJECT NO: P-0595-007
 DATE: December 22, 2020
 FILE: P-0595-007-C-DSGN.DWG
 DRAWN BY: CJK
 CHECKED BY: NAH/PMC
 APPROVED BY: BLM

DEMOLITION PLAN

SCALE: AS SHOWN

C-101

Last Saved: 3/9/2021 10:40:10 AM By: CKrcrk
 Project: North Mill Pond Holdings, LLC
 Title: Proposed Mixed Use Development
 Figure: AutoCAD Sheet P-0595-007-C-DSGN.dwg

SITE DATA:

LOCATION: TAX MAP 123, LOT 10
 TAX MAP 123, LOT 12
 TAX MAP 123, LOT 13
 TAX MAP 123, LOT 14
 TAX MAP 123, LOT 12
 RAYNES AVENUE

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING
 HOTEL
 RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING):	REQUIRED	PROPOSED
MAXIMUM PRINCIPAL FRONT YARD:	15 FT	±5 FT
MAXIMUM SECONDARY FRONT YARD:	12 FT	±5 FT
SIDE YARD:	NR	NR
MINIMUM REAR YARD:	5 FT	N/A
MINIMUM FRONT LOT LINE BUILDOUT:	50%	±68.8%
BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	197 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<100 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	90%	±47.0%
MAXIMUM BUILDING FOOTPRINT:	*15,000 SF	17,565 SF 13,815 SF
MINIMUM LOT AREA:	NR	NR
MINIMUM LOT AREA PER DWELLING UNIT:	NR	10%
MINIMUM OPEN SPACE:	10%	25.3%
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	6,514 SF

*ZONING ORDINANCE 10.5A46.20 ALLOWS 30,000SF BUILDING FOOTPRINT WITH 20% COMMUNITY SPACE.

BUILDING FORM (PRINCIPAL BUILDING):	REQUIRED	PROVIDED
BUILDING HEIGHT:	**LOT 12 -25T, 35' **LOT 13 -35T, 40' **LOT 14 -45T, 50'	
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	12 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10 FT
FACADE GLAZING:		70%
SHOP FRONT FACADE TYPE	70%	70%
ALLOWED ROOF TYPES	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD

**ZONING ORDINANCE 10.5A46.20 ALLOWS A 1-STORY, UP TO 10' HEIGHT INCREASE WITH 20% COMMUNITY SPACE.

COMMUNITY SPACE:	REQUIRED	PROVIDED
	21,274 SF 20%	21,402 SF 20.1%

INCENTIVES TO DEVELOPMENT STANDARDS	REQUIRED	PROVIDED
MAXIMUM BUILDING FOOTPRINT PLUS 1-STORY, MAX 10 FT	30,000 SF **60 FT	20,155 SF 55 FT
MINIMUM SIDEWALK WIDTH	**14 FT	14 FT

***ZONING ORDINANCE 10.5A46.10, FOOTNOTE 4 REQUIRES THE SIDEWALK WIDTH TO BE 10 FT PLUS AN EXTRA 2 FT FOR EACH STORY OF BUILDING HEIGHT ABOVE 3 STORIES.

OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:	REQUIRED	PROVIDED
DWELLING UNITS:		
0 SF TO 500 SF, 0.5 SPACES PER UNIT	17 UNITS	8.5 SPACES
500 SF TO 750 SF, 1.0 SPACES PER UNIT	33 UNITS	33 SPACES
OVER 750 SF, 1.3 SPACES PER UNIT	10 UNITS	13 SPACES
TOTAL MINIMUM RESIDENTIAL SPACES REQUIRED =		55 SPACES

VISITORS:	REQUIRED	PROVIDED
1 SPACES PER 5 DWELLING UNITS	60 UNITS	12 SPACES

HOTEL:	REQUIRED	PROVIDED
0.75 SPACES PER GUEST ROOM	128 ROOMS	96 SPACES

DOWNTOWN OVERLAY DISTRICT - 4 SPACES

TOTAL MINIMUM PARKING SPACES REQUIRED = 159 SPACES

TOTAL PARKING SPACES PROVIDED: 111 SPACES

SIX (6) ADA ACCESSIBLE SPACES REQUIRED

PARKING STALL SIZE:	REQUIRED	PROVIDED
DRIVE AISLE:	8.5' X 19'	8.5' X 19'
	**22'	22'

***ZONING ORDINANCE 10.1114.21 ALLOWS MINIMUM 22' AISLE WIDTH FOR 90 DEGREE PARKING IN A PARKING STRUCTURE

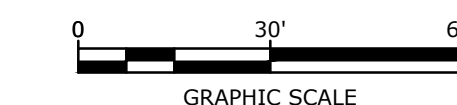
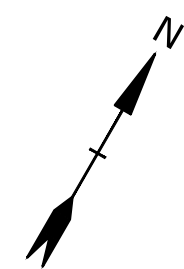
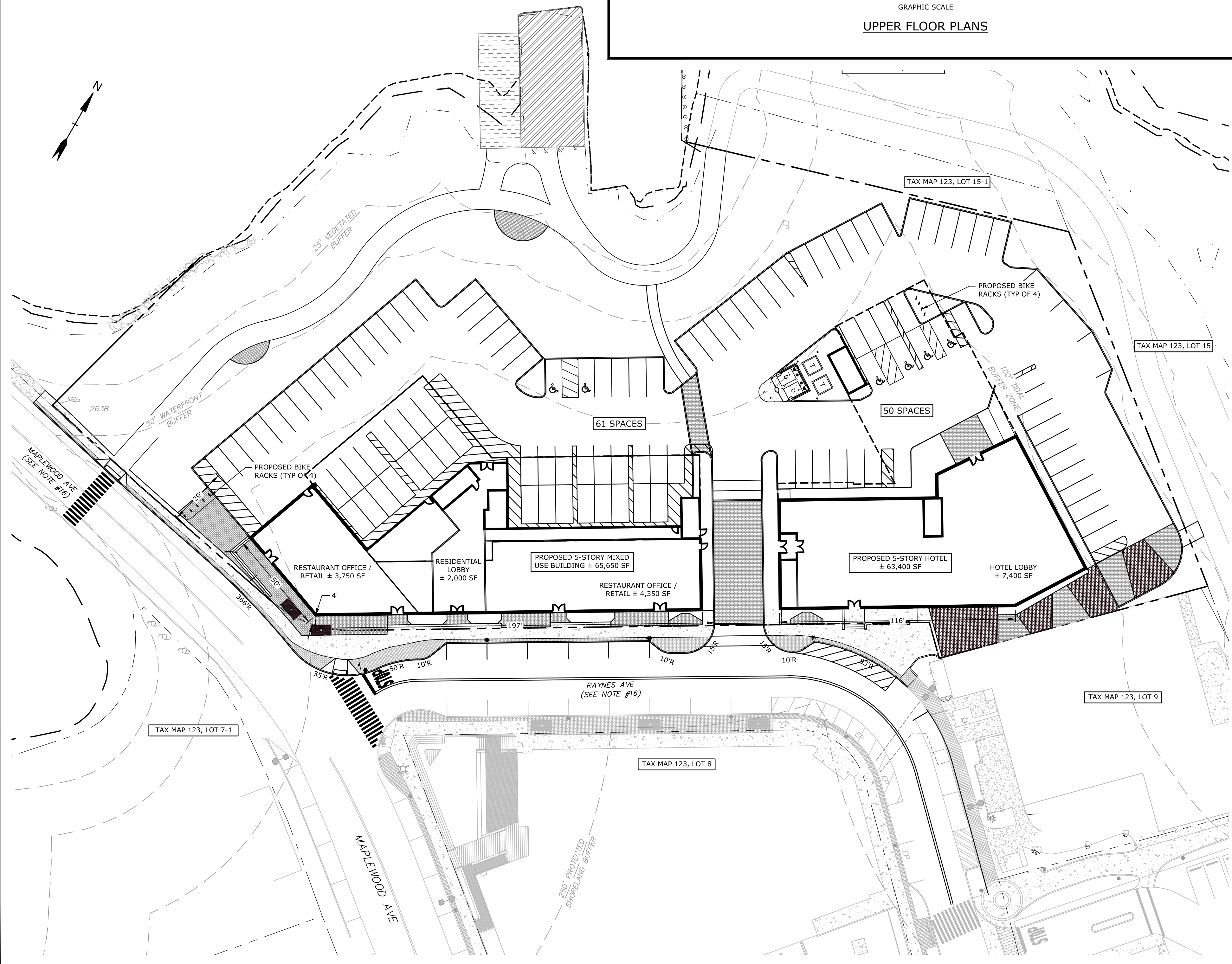
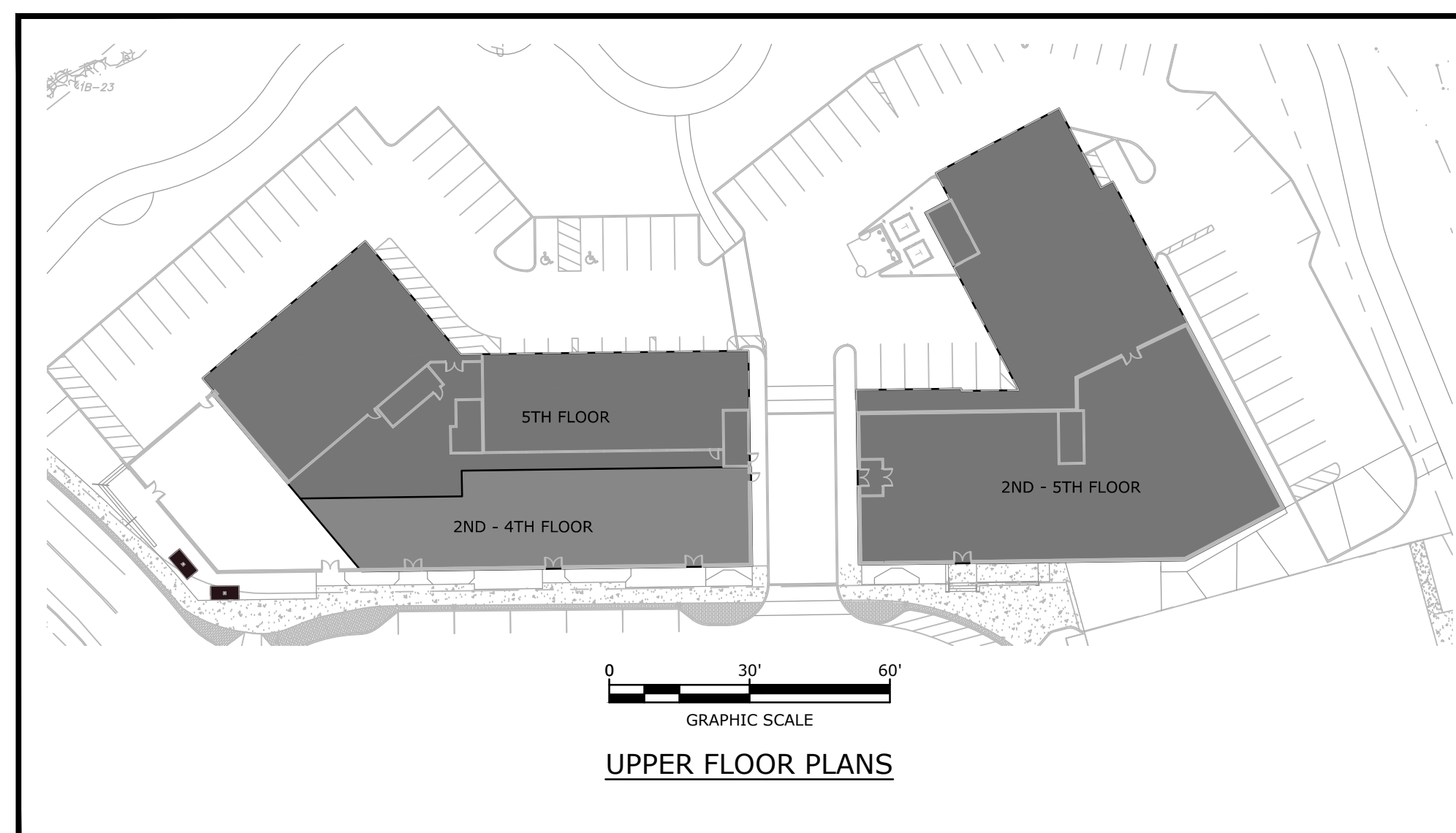
BIKE SPACES REQUIRED:	REQUIRED	PROVIDED
1 BIKE SPACE / 10 PARKING SPACES	159 SPACES	16 SPACES

PROPOSED HOTEL GROSS FLOOR AREA				
FLOOR	LOBBY (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	7,400	0	7,400	7,400
SECOND	0	32	14,000	14,000
THIRD	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
FOURTH	0	32	14,000	14,000
TOTAL	7,400	128	56,000	63,400

PROPOSED MIXED USE GROSS FLOOR AREA				
FLOOR	TENANT (SF)	UNITS	FLOOR AREA (SF)	TOTAL (SF)
FIRST	8,100	0	2,000	10,100
SECOND	0	17	15,200	15,200
THIRD	0	17	15,200	15,200
FOURTH	0	17	15,200	15,200
FOURTH	0	9	9,950	9,950
TOTAL	8,100	60	57,550	65,650

SITE RECORDING NOTES:

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

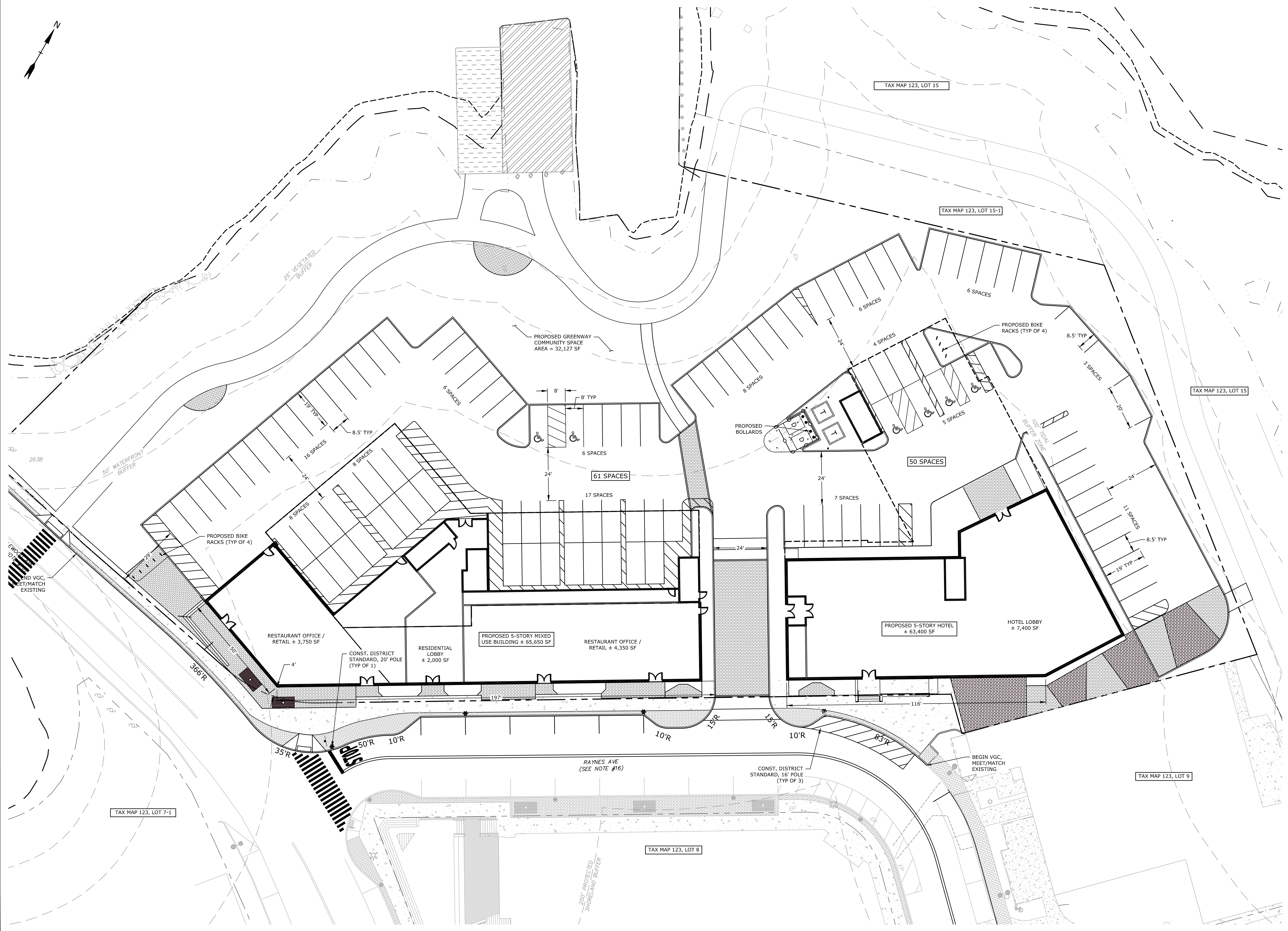
PROJECT NO:	P-0595-007
DATE:	December 22, 2020
FILE:	P-0595-007-C-DSGN.DWG
DRAWN BY:	CKJ
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

SITE PLAN

SCALE: AS SHOWN

C-102

Last Saved: 3/9/2021 10:02pm By: CKJ
 Plotted On: 10/19/2021 10:02am By: CKJ
 Title: C:\Users\ckj\Documents\Projects\0595-007\0595-007-C-DSGN.dwg



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session
MARK	DATE	DESCRIPTION

PROJECT NO:	P-0595-007
DATE:	December 22, 2020
FILE:	P-0595-007-C-DSGN.DWG
DRAWN BY:	CJK
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

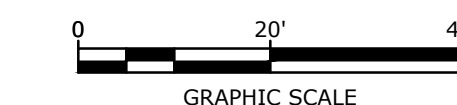
SITE PLAN

SCALE: AS SHOWN

C-102.1

Last Saved: 3/9/2021 10:02:14 AM By: CJK
 Plotted On: 12/1/2020 10:02:14 AM
 Title & Board: P-0595-007 C-DSGN.DWG
 Figure & Board: P-0595-007 C-DSGN.DWG
 Figures/AutoCAD/Sheet/P-0595-007-C-DSGN.dwg

DRAFT



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

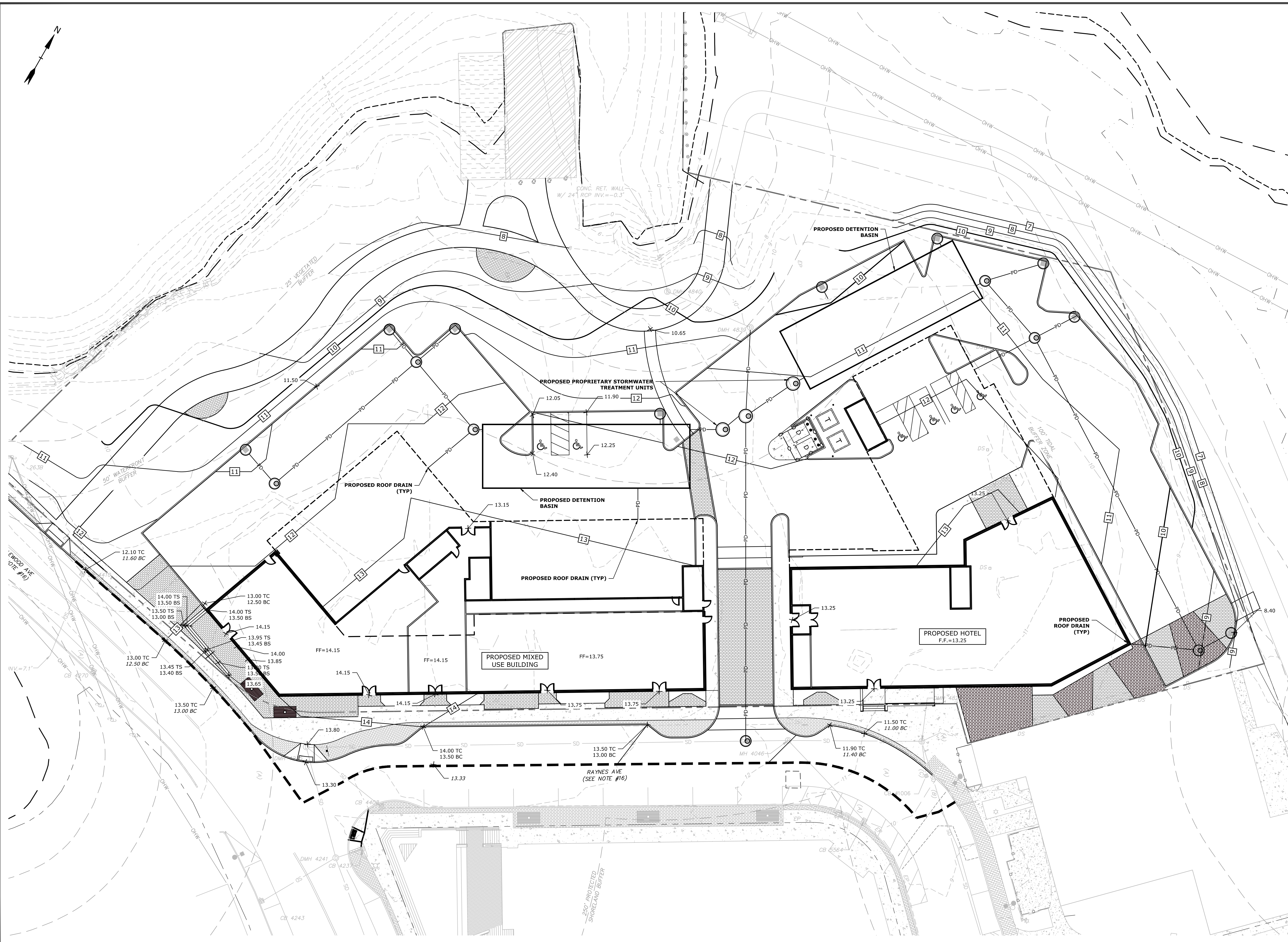
Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
A	3/9/2021	TAC Work Session
PROJECT NO: P-0595-007		
DATE: December 22, 2020		
FILE: P-0595-007-C-DSGN.DWG		
DRAWN BY: CJK		
CHECKED BY: NAH/PMC		
APPROVED BY: BLM		

GRADING, DRAINAGE AND EROSION CONTROL PLAN

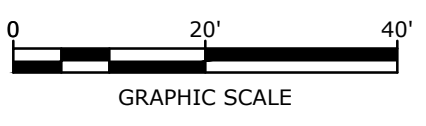
SCALE: AS SHOWN

C-103



Last Saved: 3/9/2021 10:09pm By: CJKrcuk
 Plotted On: 12/22/2020 10:09am By: CJKrcuk
 Title & Scale: P-0595-007_C-DSGN.DWG
 Figures: AutoCAD/Sheet/P-0595-007_C-DSGN.dwg

DRAFT



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

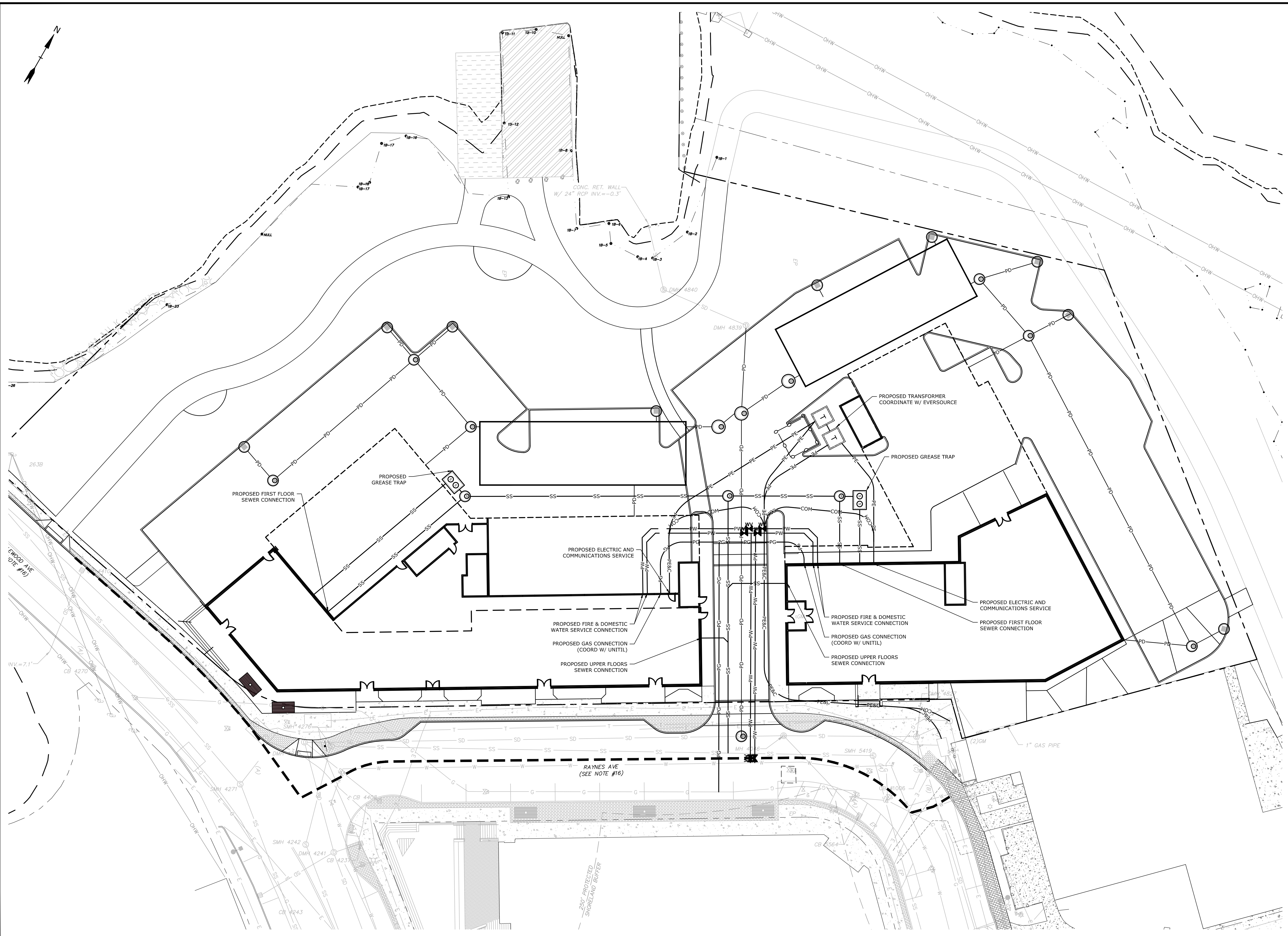
MARK	DATE	DESCRIPTION
A	3/9/2021	TAC Work Session

PROJECT NO:	P-0595-007
DATE:	December 22, 2020
FILE:	P-0595-007-C-DSGN.DWG
DRAWN BY:	CJK
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

UTILITIES PLAN

SCALE: AS SHOWN

C-104



Last Saved: 3/9/2021 10:06am By: CJKrcuk
 Plotted On: 10/05/2021 10:05am By: CJKrcuk
 Title & Scale: P-0595-007_C-DSGN.DWG
 Figures: AutoCAD/Sheet/P-0595-007_C-DSGN.dwg



MEAN HIGH WATER

OVERLOOK SEATING NICHE WITH FITNESS MULTIPURPOSE BENCH

RESTORATION SEED MIX

OVERLOOK SEATING NICHE WITH CHAIR BENCHES

50' WATER-FRONT BUFFER

NORTH MILL POND GREENWAY MULTI-USE PATH

WAYFINDING SIGNAGE

VIBRANT STREETSCAPE WITH RETAIL SPILL OUT ZONES, UNIT PAVERS, AND SEASONAL PLANTINGS

FUTURE GREENWAY COMMUNITY PARK

RECONSTRUCTED TIMBER PIER

CURRENT BOAT/KAYAK LAUNCH RAMP

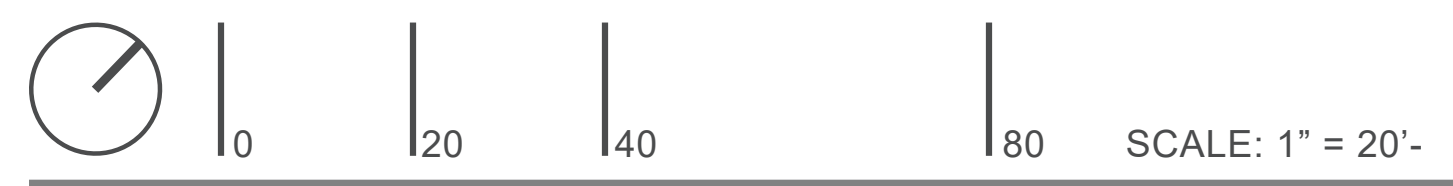
CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

WAYFINDING SIGNAGE



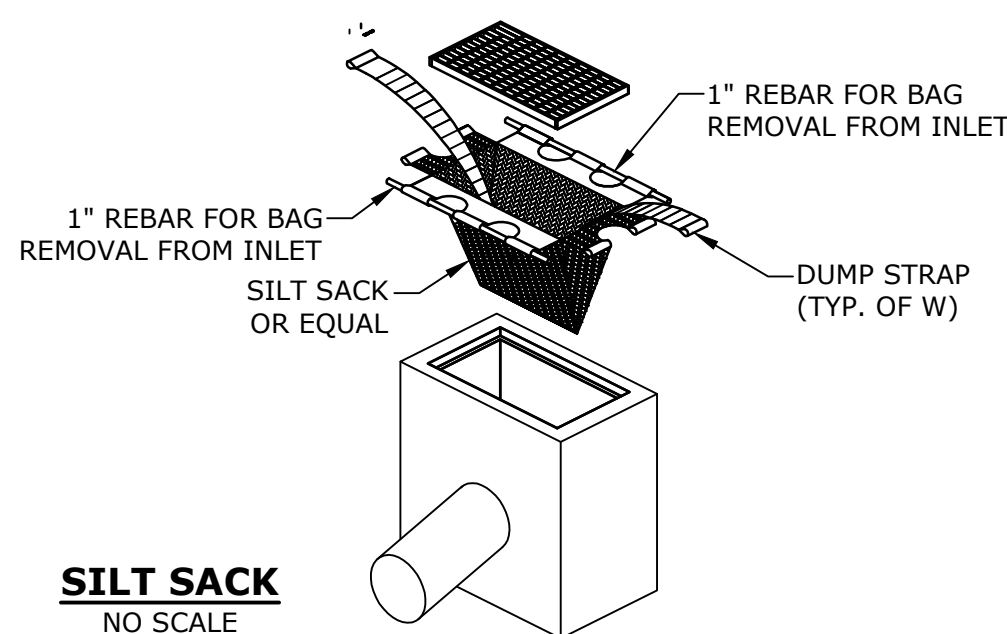
L-101

SITE LANDSCAPE PLAN

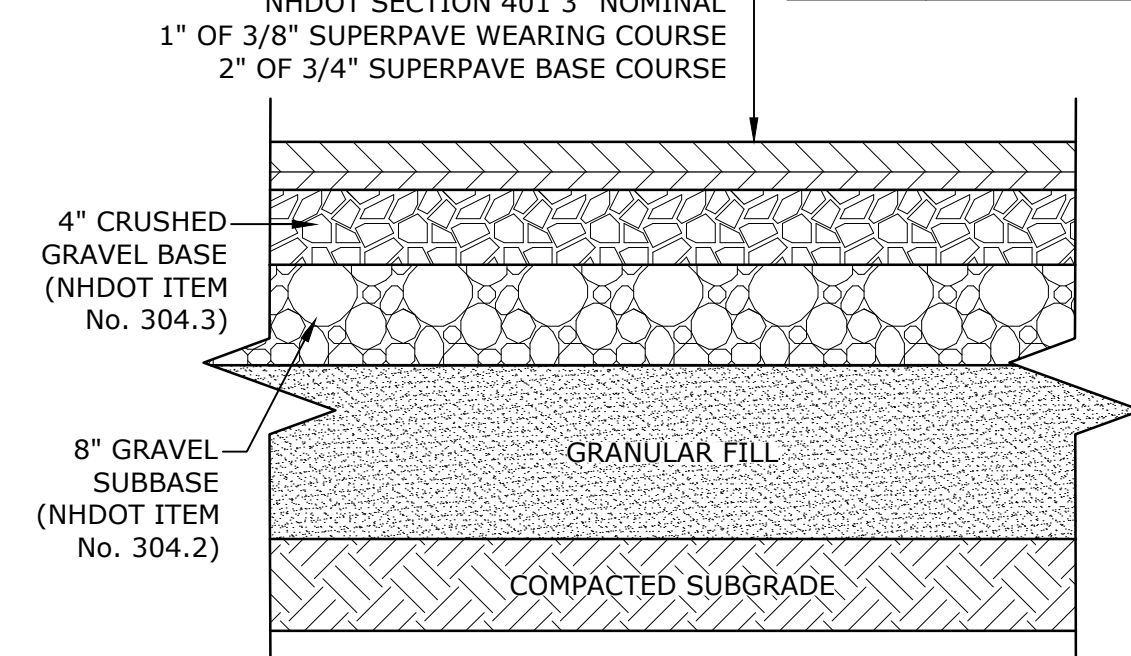
RAYNES AVE - PORTSMOUTH, NH

2/17/2021



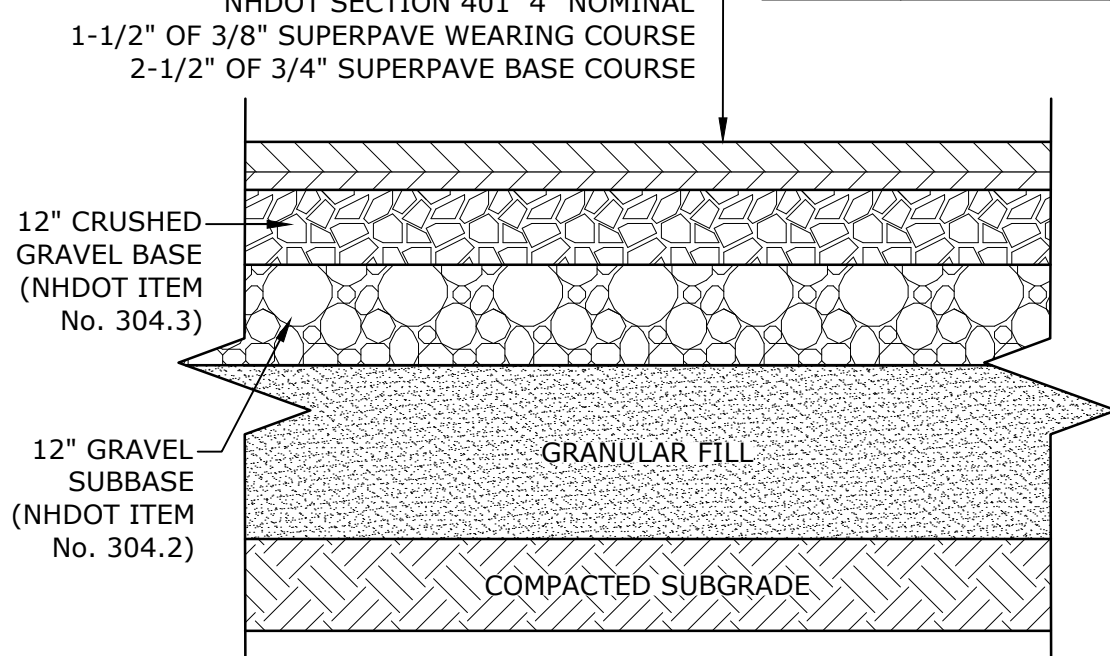


NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12

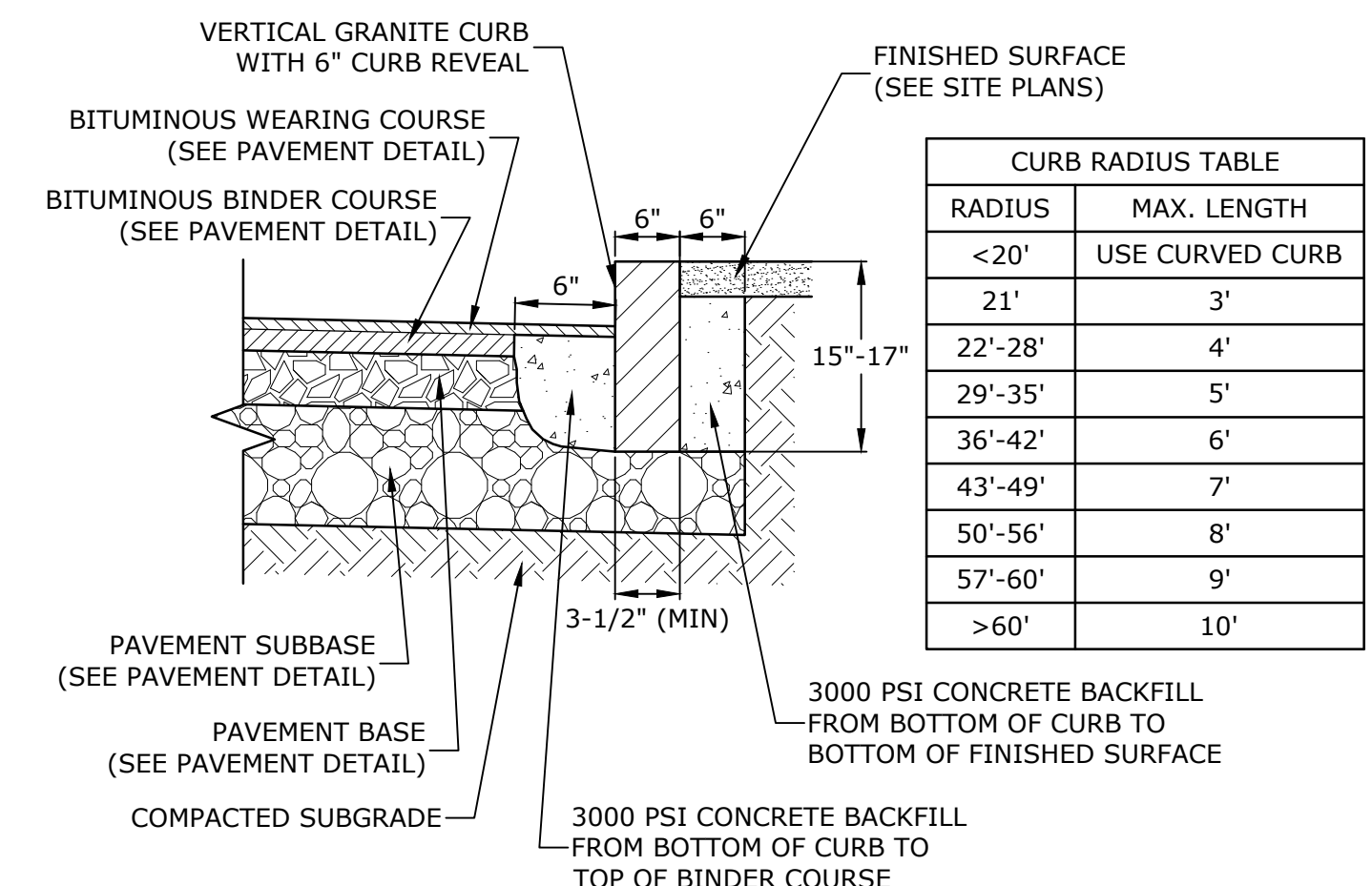


- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 - REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12

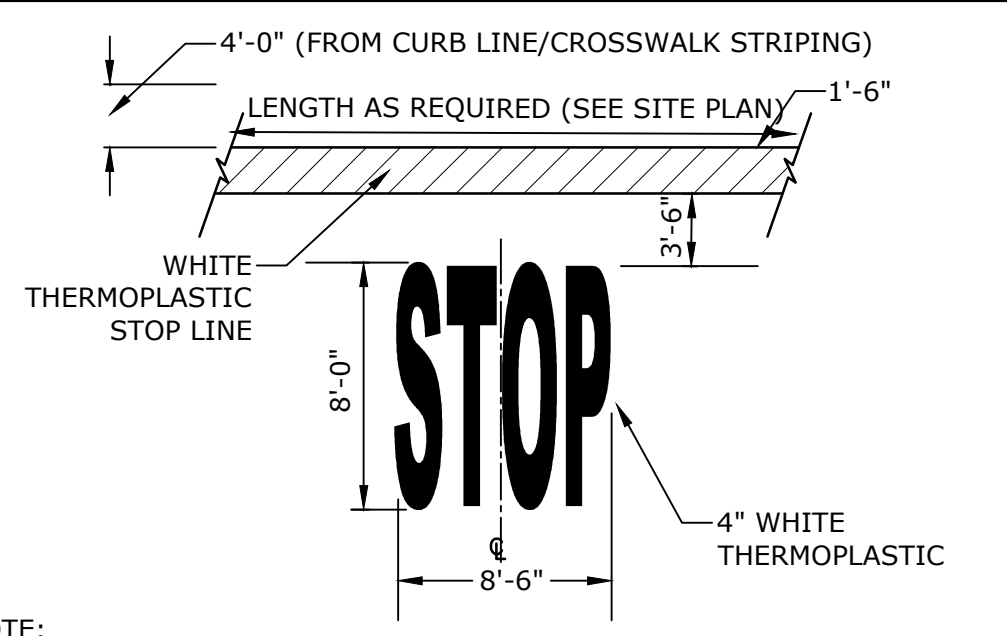


- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 - REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

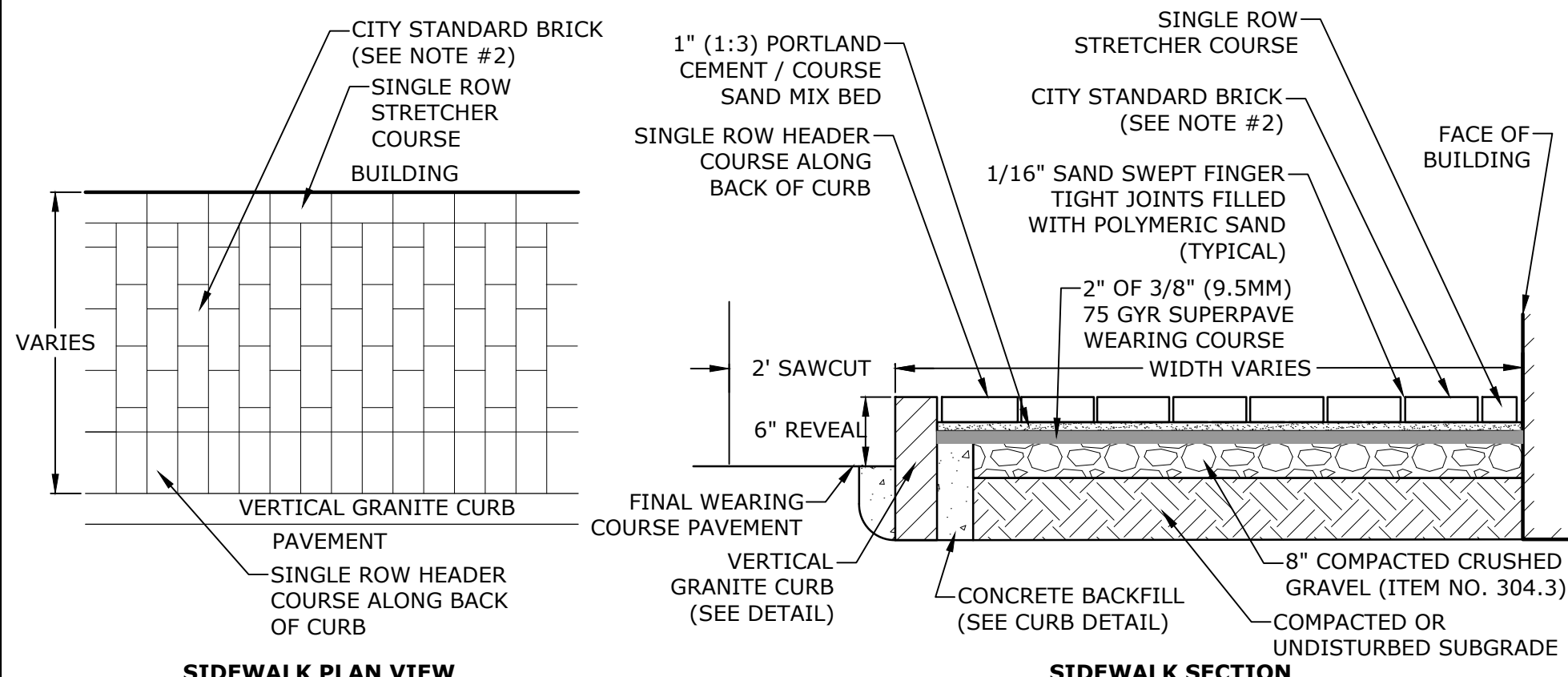
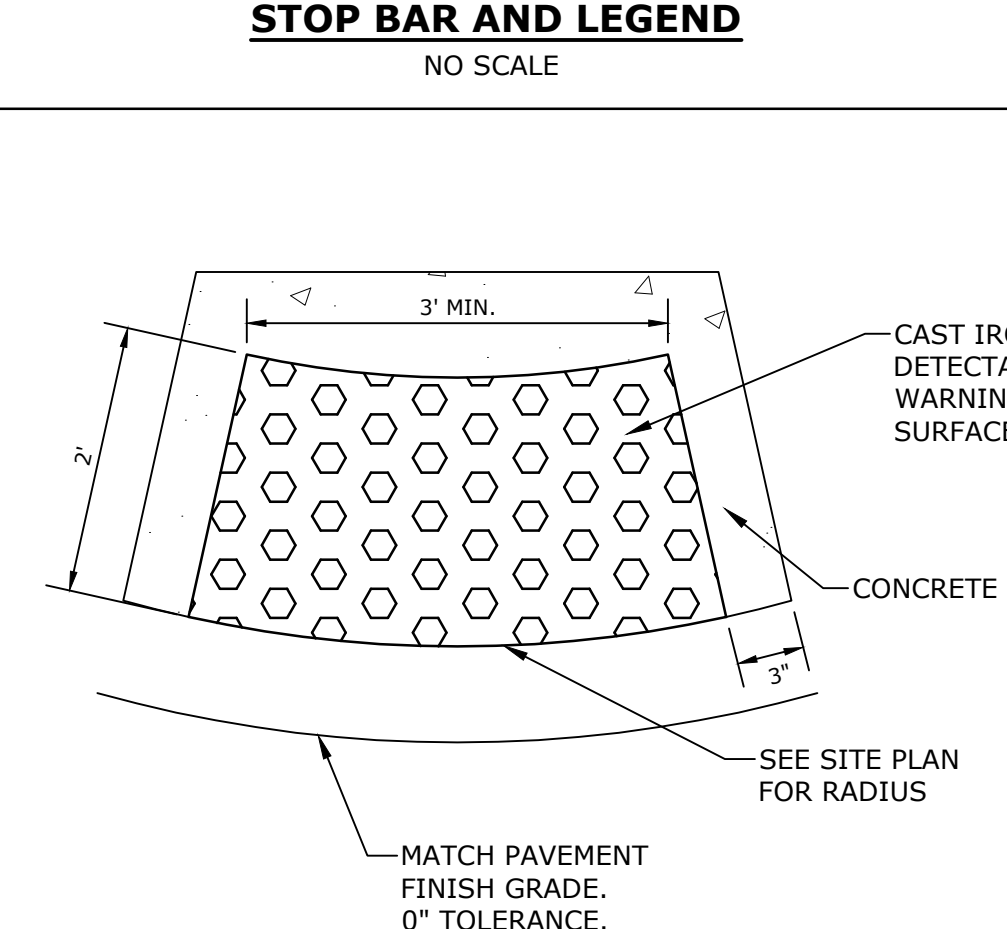


- NOTES:
- SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 - MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 - ALL RADII 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
 - JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

VERTICAL GRANITE CURB
NO SCALE

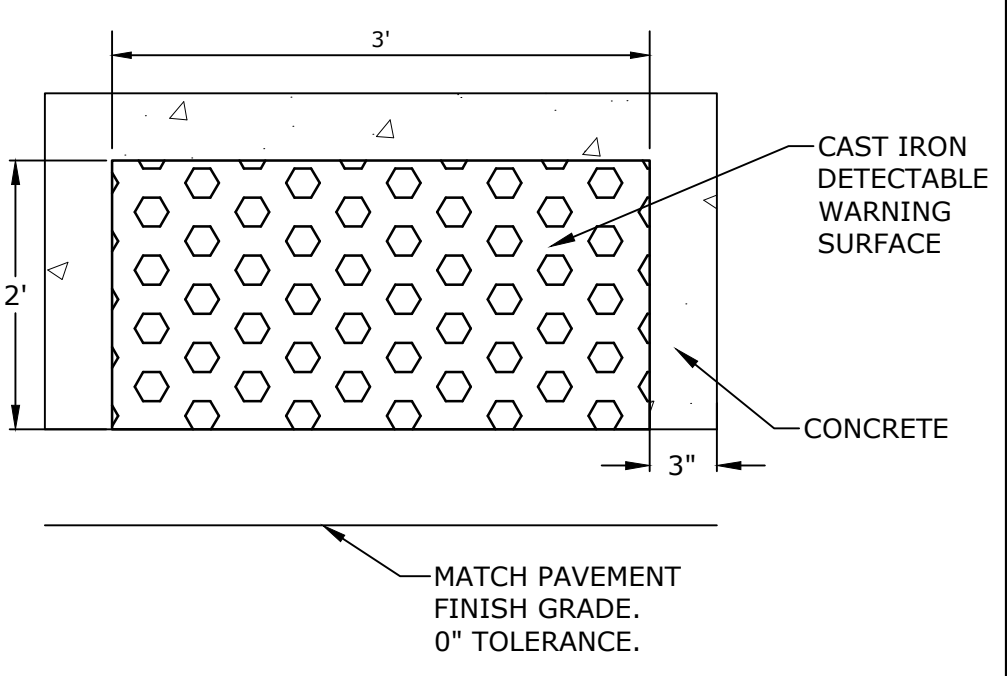


- NOTE:
- PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
 - STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505



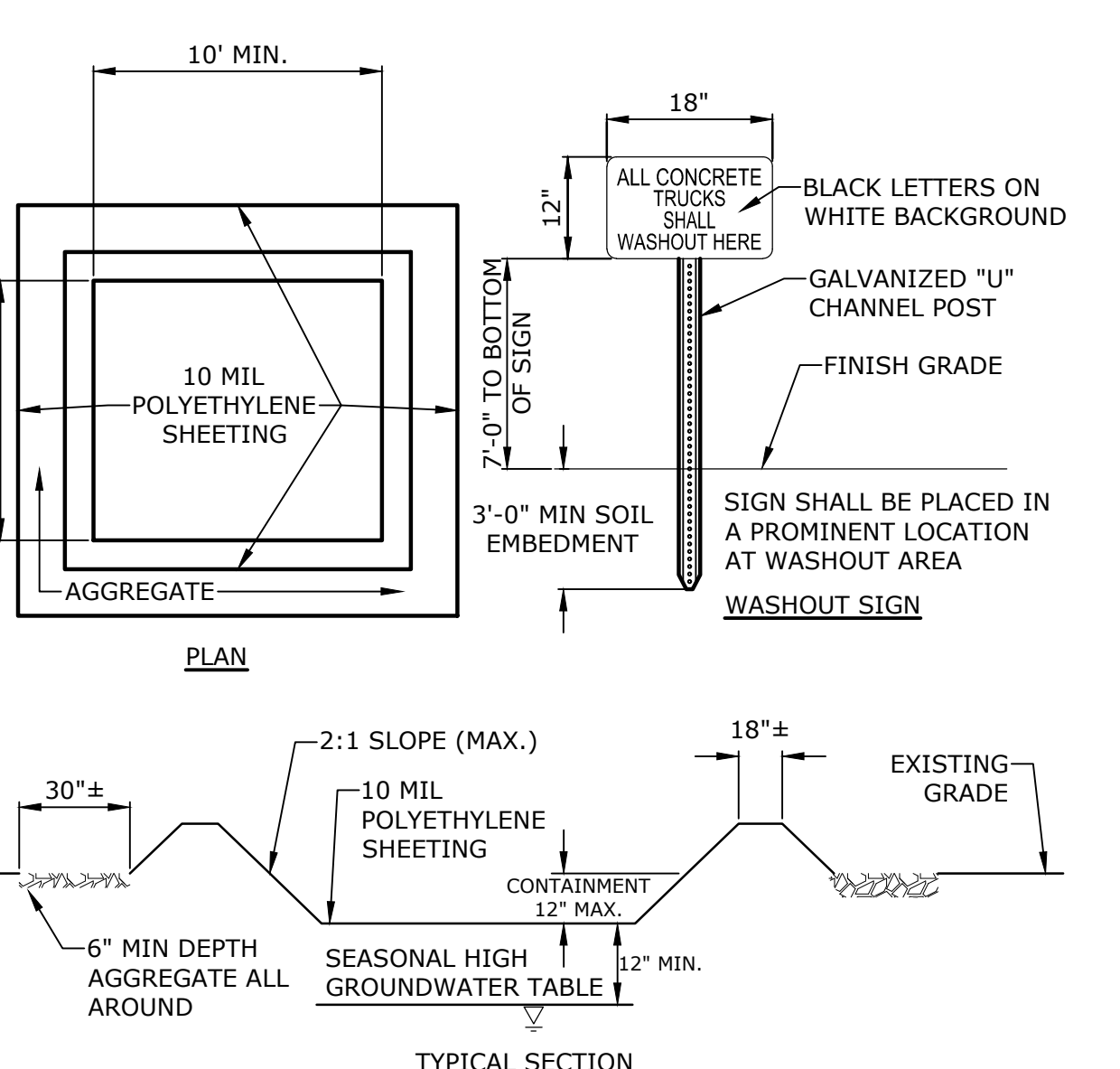
- NOTES:
- BRICK SIDEWALK SHALL BE INSTALLED AS DETAILED AND PER CITY OF PORTSMOUTH REQUIREMENTS/SPECIFICATIONS AND SHALL INCLUDE A CONTINUOUS APPROVED PAVER EDGE RESTRAINT SYSTEM AT ALL LOCATIONS NOT ADJACENT TO CURB OR BUILDINGS.
 - CITY STANDARD BRICK SHALL BE TRADITIONAL EDGE, PATHWAY, FULL RANGE 2.25"x4"x8" PAVER, BY PINE HALL BRICK, INC. BRICK MATERIAL SAMPLES SHALL BE PROVIDED TO DPW PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.
 - BEDDING MATERIAL SHALL BE A PORTLAND CEMENT / COURSE SAND MIX THAT IS 1 PART PORTLAND CEMENT AND 3 PARTS COURSE SAND. SAND SHALL CONFORM WITH ASTM C-33 AND CEMENT SHALL BE PORTLAND CEMENT TYPE I/TYPE II.

BRICK SIDEWALK
NO SCALE



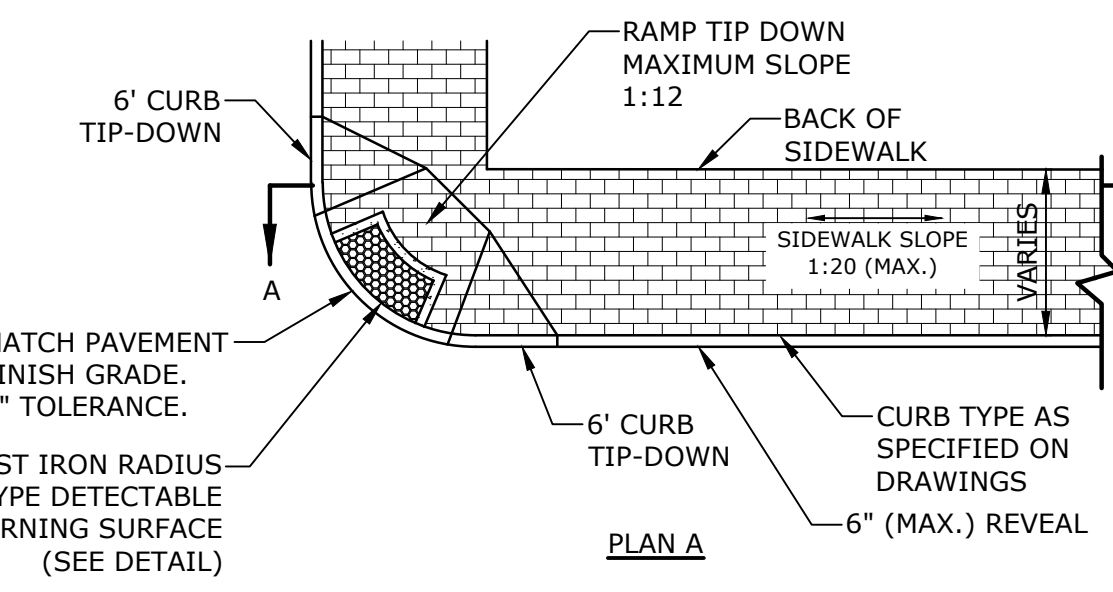
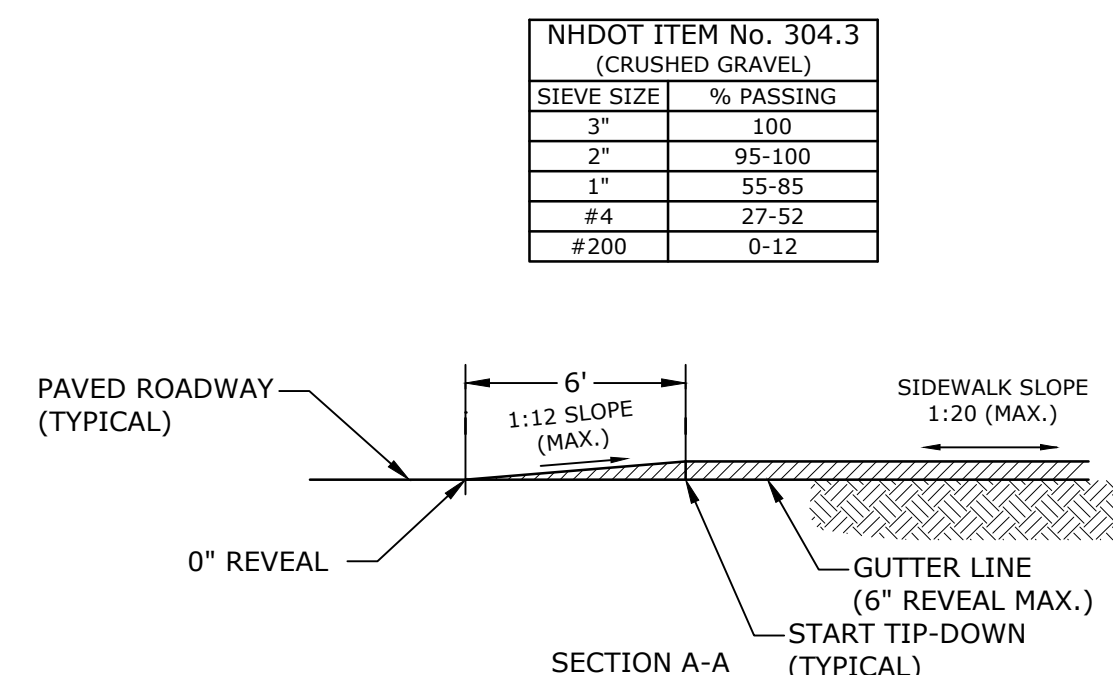
- NOTES:
- DETECTABLE WARNING SURFACE SHALL BE 2' X 3' CAST IRON PANEL SET IN CONCRETE.
 - DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

CAST IRON DETECTABLE WARNING SURFACE
NO SCALE



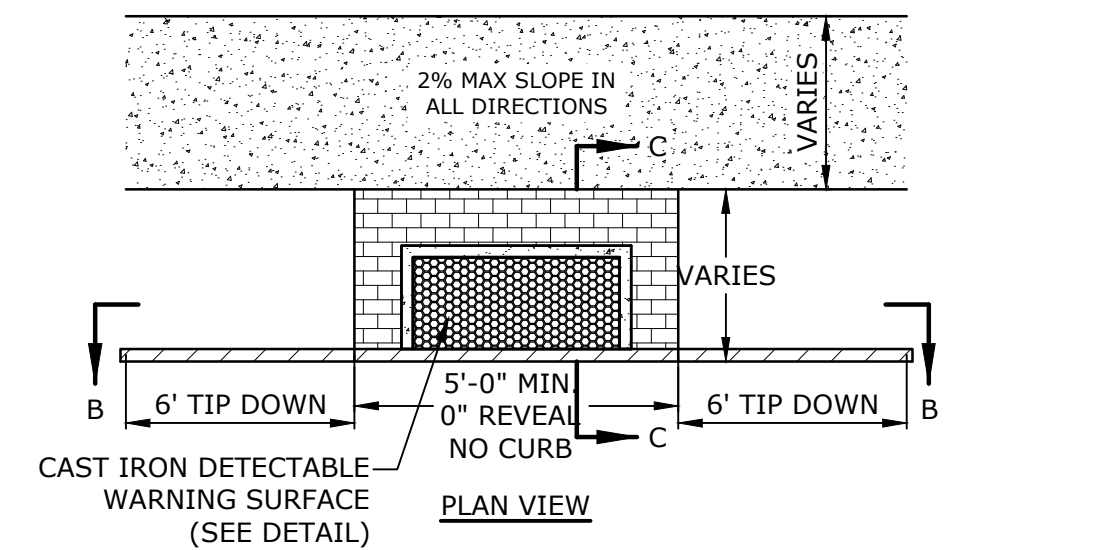
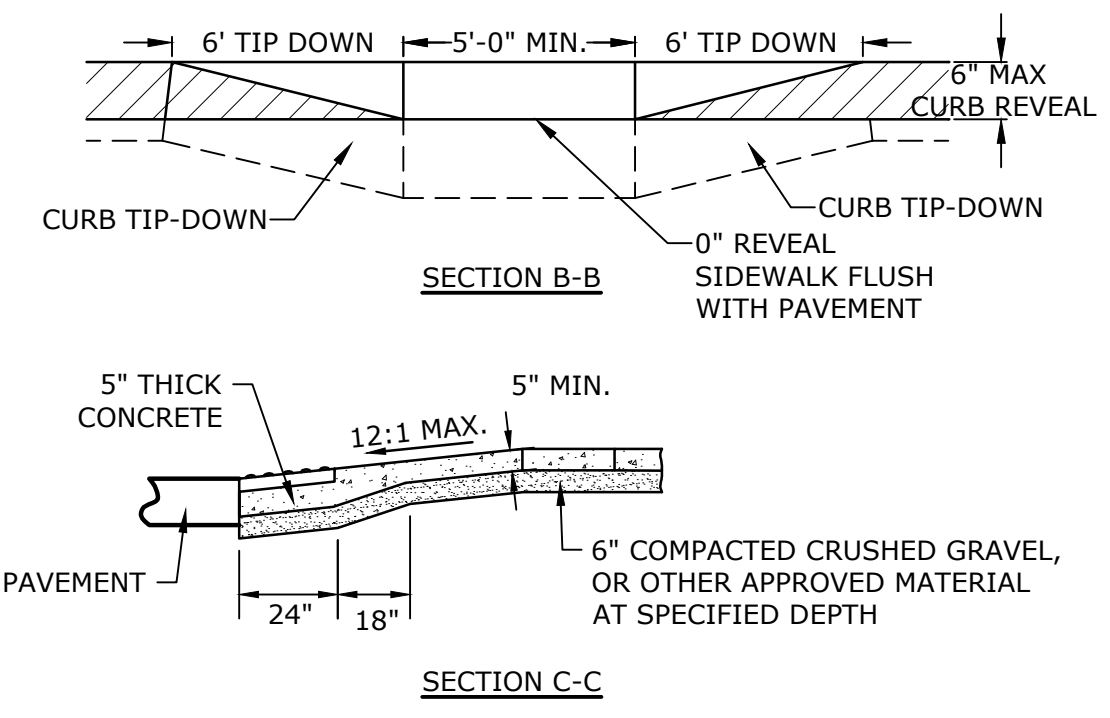
- NOTES:
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 - CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 - WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 - WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 - ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 - AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA
NO SCALE



- NOTES:
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
 - A 6" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.
 - DETECTABLE WARNING PANEL SHALL BE CAST IRON SET IN CONCRETE (SEE DETAIL.)
 - PROVIDE DETECTABLE WARNING SURFACES ANYTIME THAT A CURB RAMP, BLENDED TRANSITION, OR LANDING CONNECTS TO A STREET.
 - LOCATE THE DETECTABLE WARNING SURFACES AT THE BACK OF THE CURB ALONG THE EDGE OF THE LANDING.
 - THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 12:1, THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FT. FROM THE ROADWAY CURBLINE.
 - THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS.
 - DETECTABLE WARNING PANELS SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
 - THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT).

CONCRETE WHEELCHAIR ACCESSIBLE RAMP
NO SCALE



Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

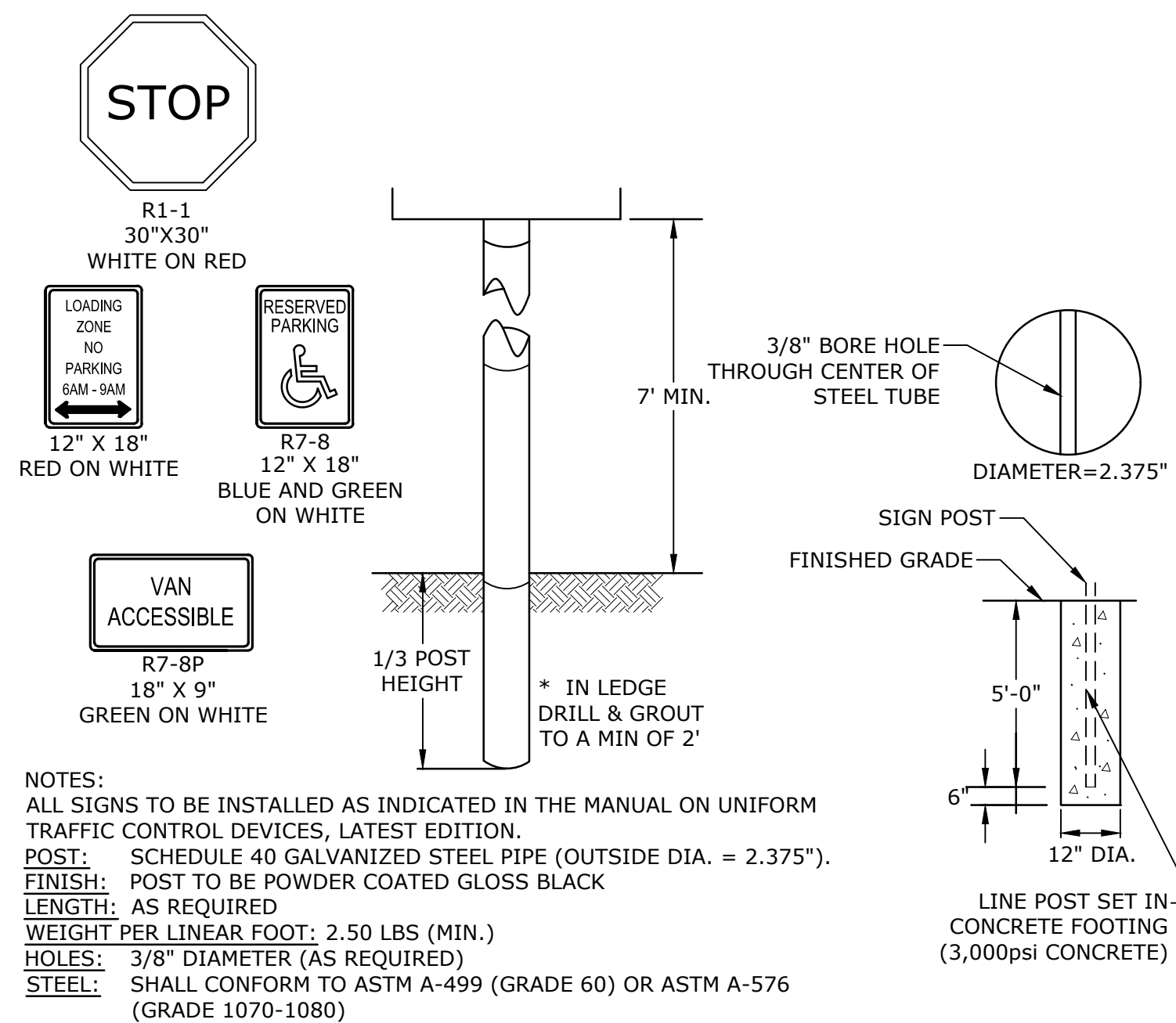
PROJECT NO:	P-0595-007
DATE:	December 22, 2020
FILE:	P-0595-007-DTLS.DWG
DRAWN BY:	CHK
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

DETAILS SHEET

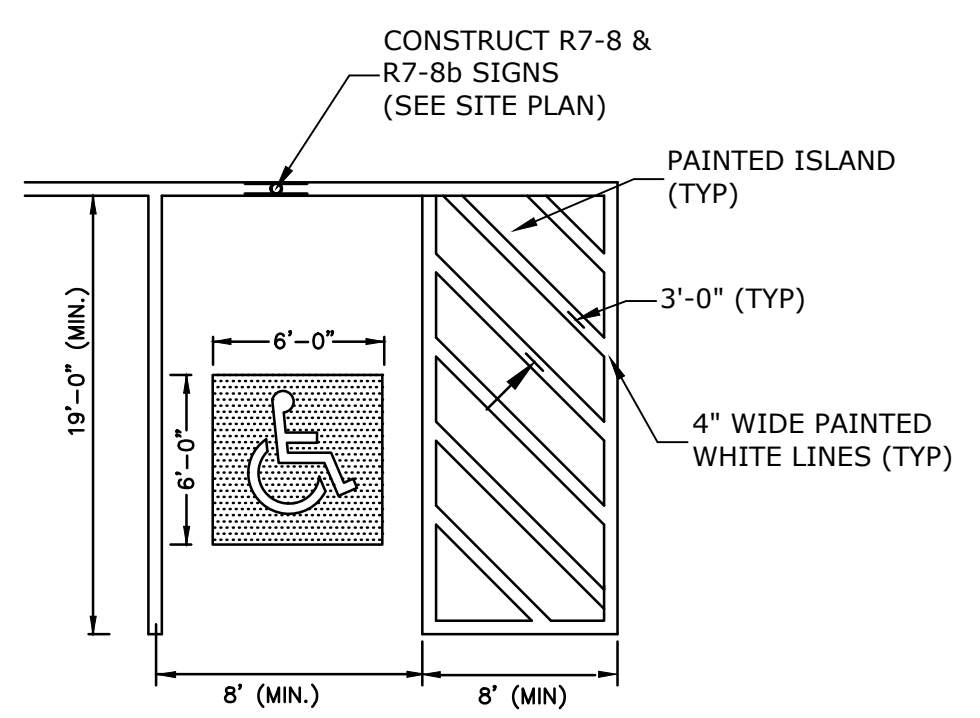
SCALE: AS SHOWN

C-502

Last Saved: 3/9/2021 10:41:41 AM By: CKR/CLK
 Title: On-Plan 05_202055 Pro Con General Proposal (P-0595-007) Baynes Ave. Hotel Drawings - Figures (AutoCAD) Sheet (P-0595-007-DTLS.dwg)

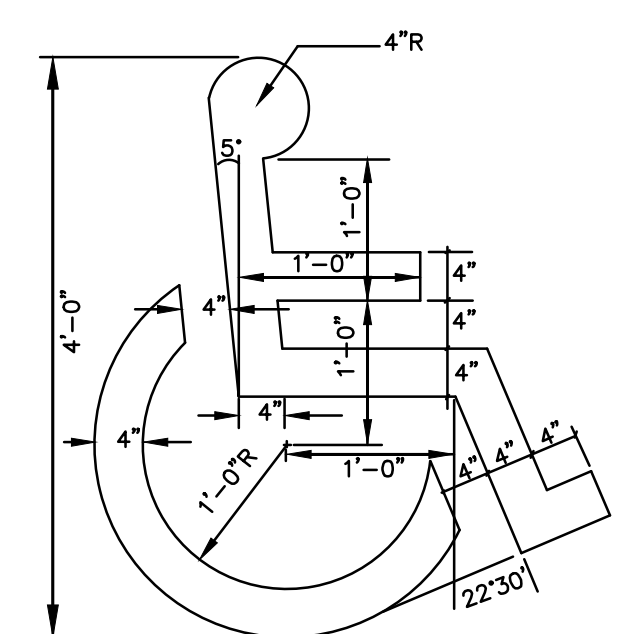


SIGN LEGEND & SIGN POST
NO SCALE



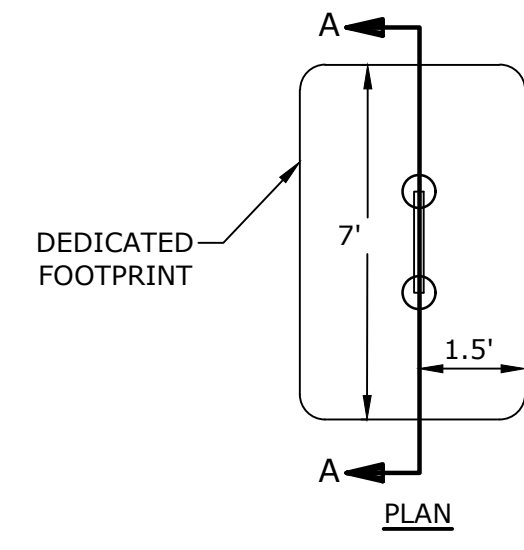
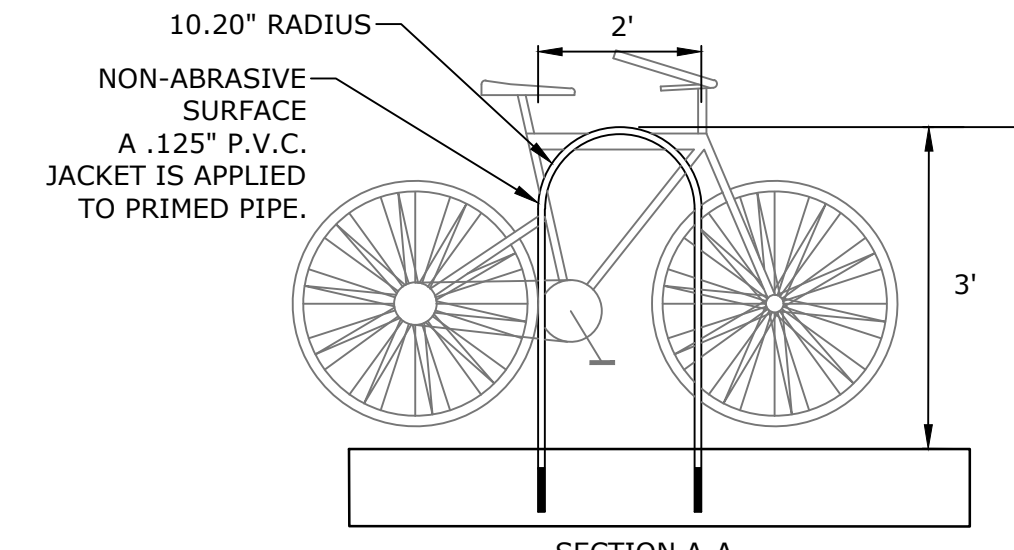
NOTES:
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN W/DISABILITIES ACT.

ACCESSIBLE PARKING STALL
NO SCALE

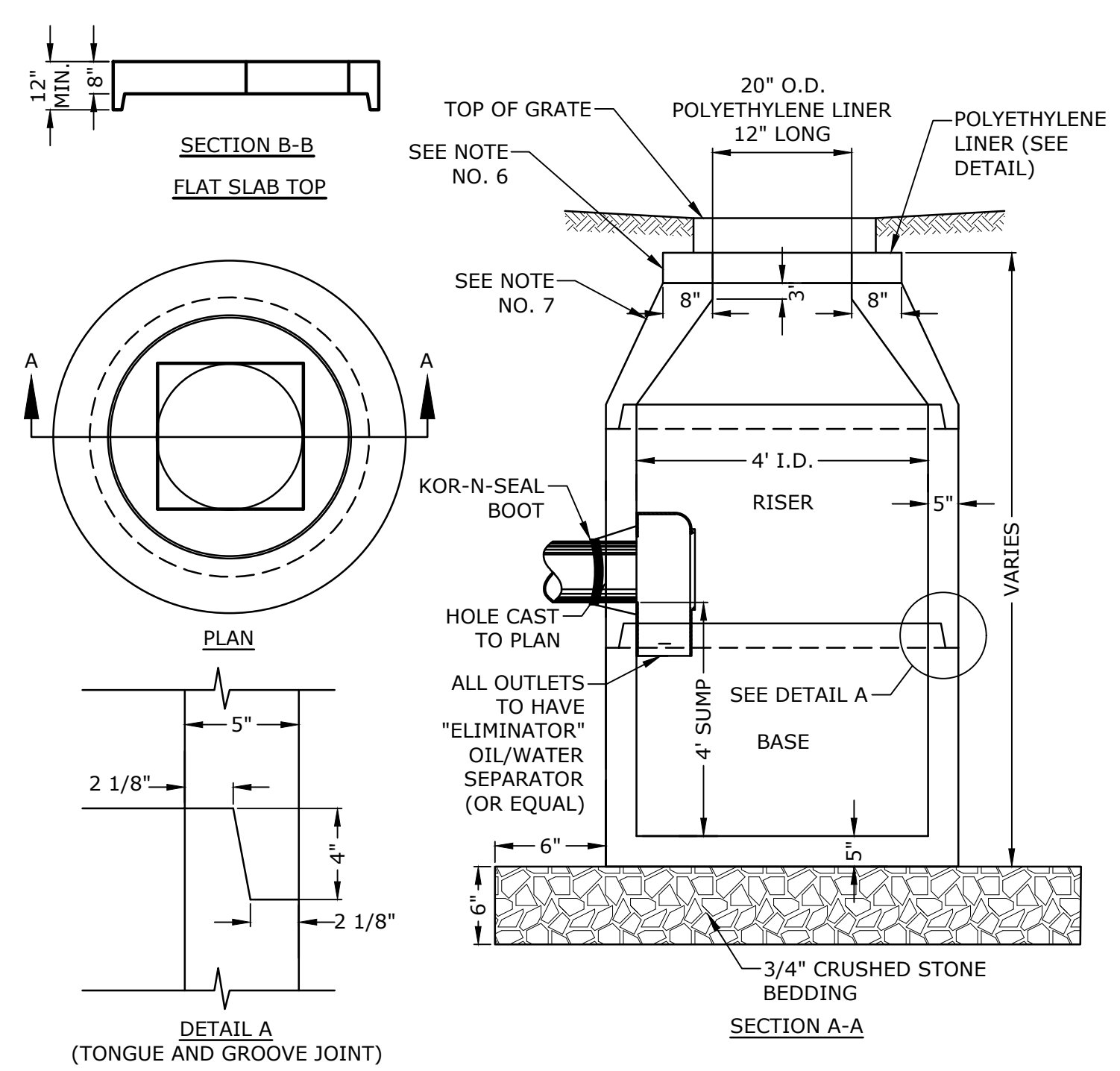


NOTES:
1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT PARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

ACCESSIBLE SYMBOL
NO SCALE



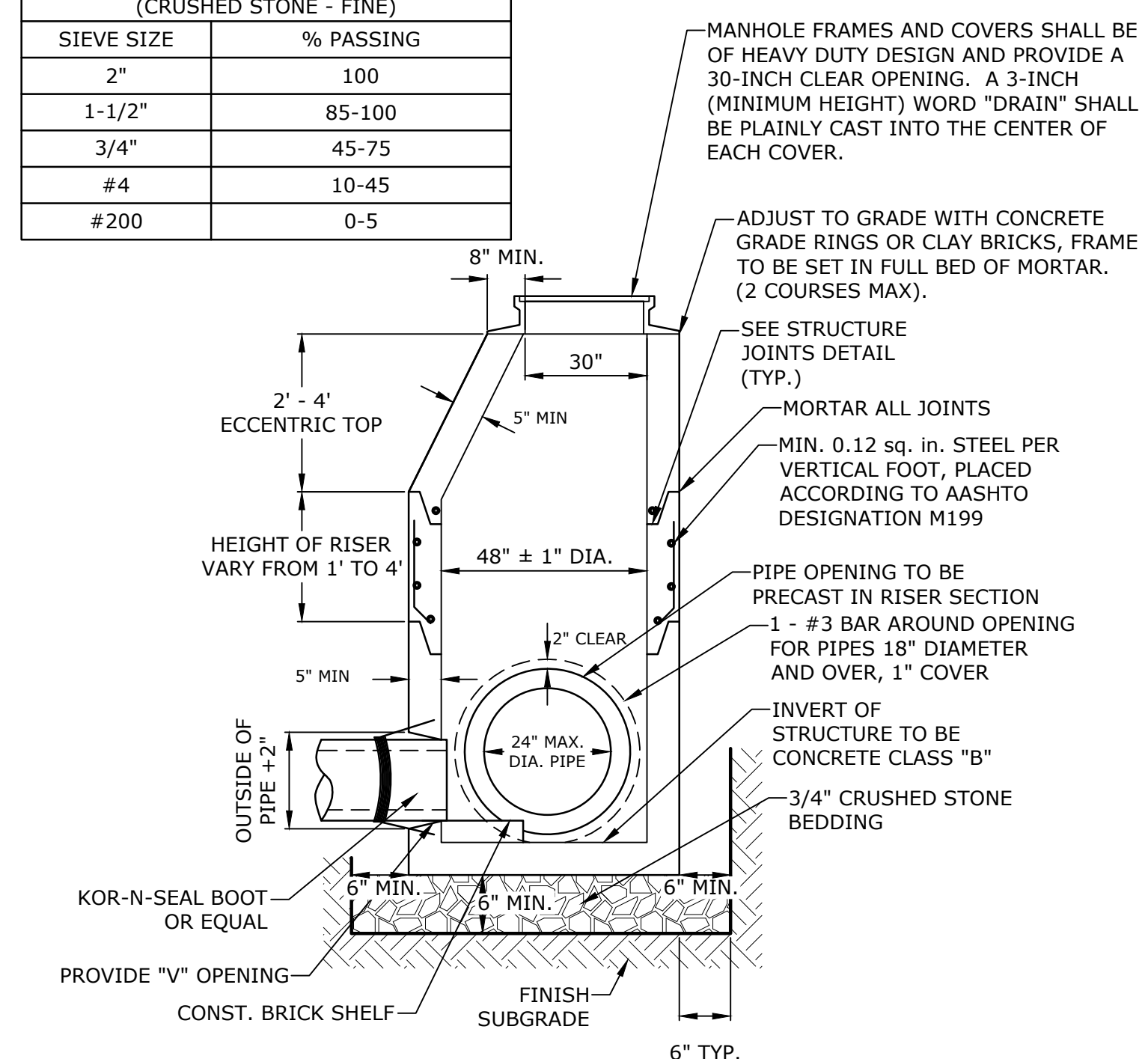
BIKE RACK
NO SCALE



NOTES:
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 PSI). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
2. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
3. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
5. FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.).
6. CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
7. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
8. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
9. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

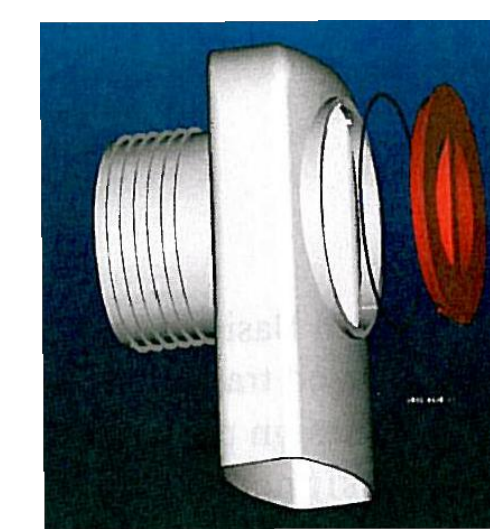
4' DIAMETER CATCHBASIN
NO SCALE

NHDOT ITEM No. 304.4 (CRUSHED STONE - FINE)	
SIEVE SIZE	% PASSING
2"	100
1-1/2"	85-100
3/4"	45-75
#4	10-45
#200	0-5



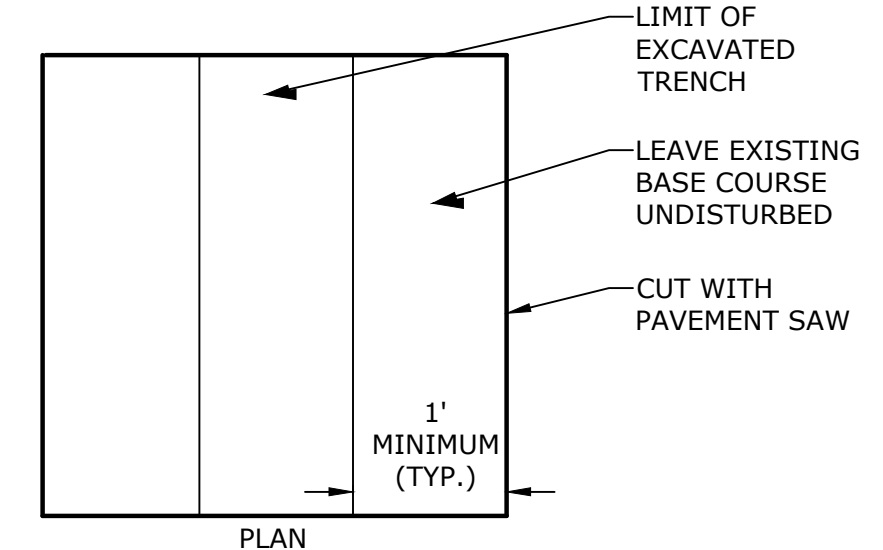
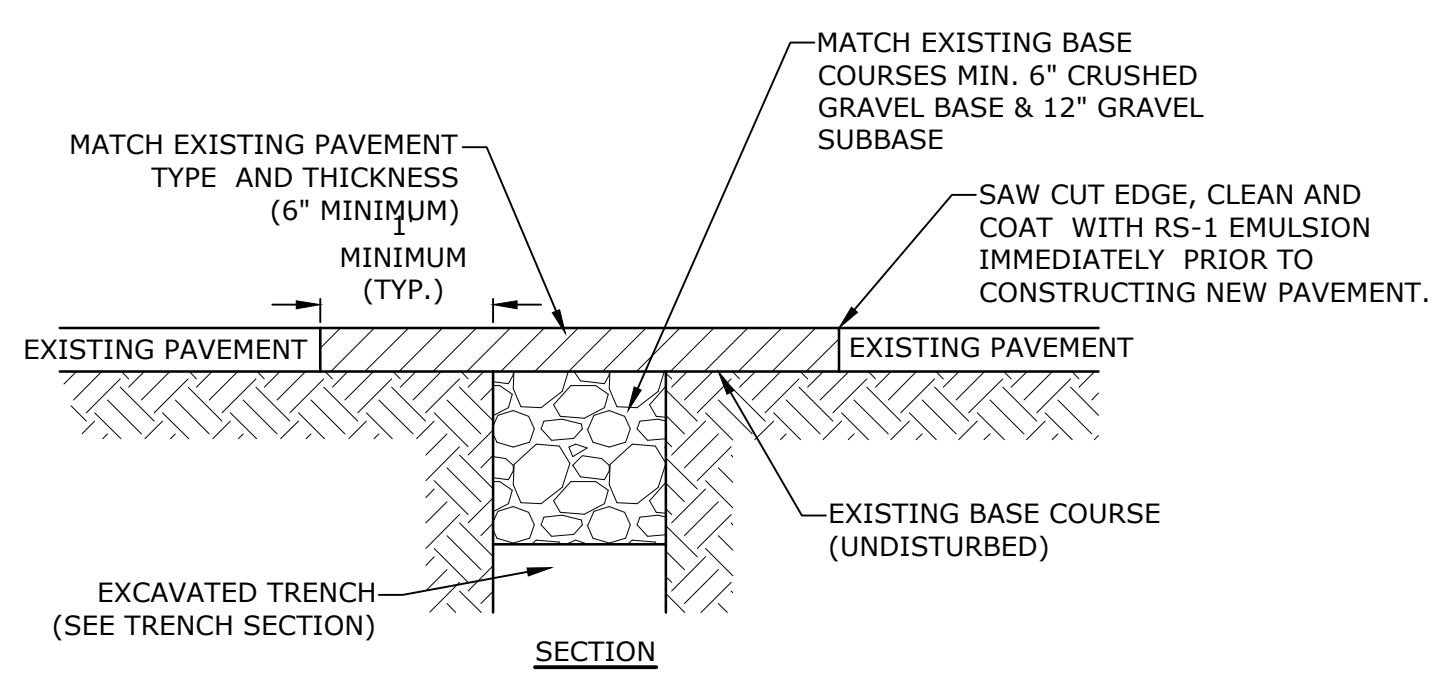
NOTES:
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4' DIAMETER DRAIN MANHOLE
NO SCALE



NOTES:
1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL FLOATING DEBRIS TRAP



NOTE:
COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

ROADWAY TRENCH PATCH
NO SCALE

Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

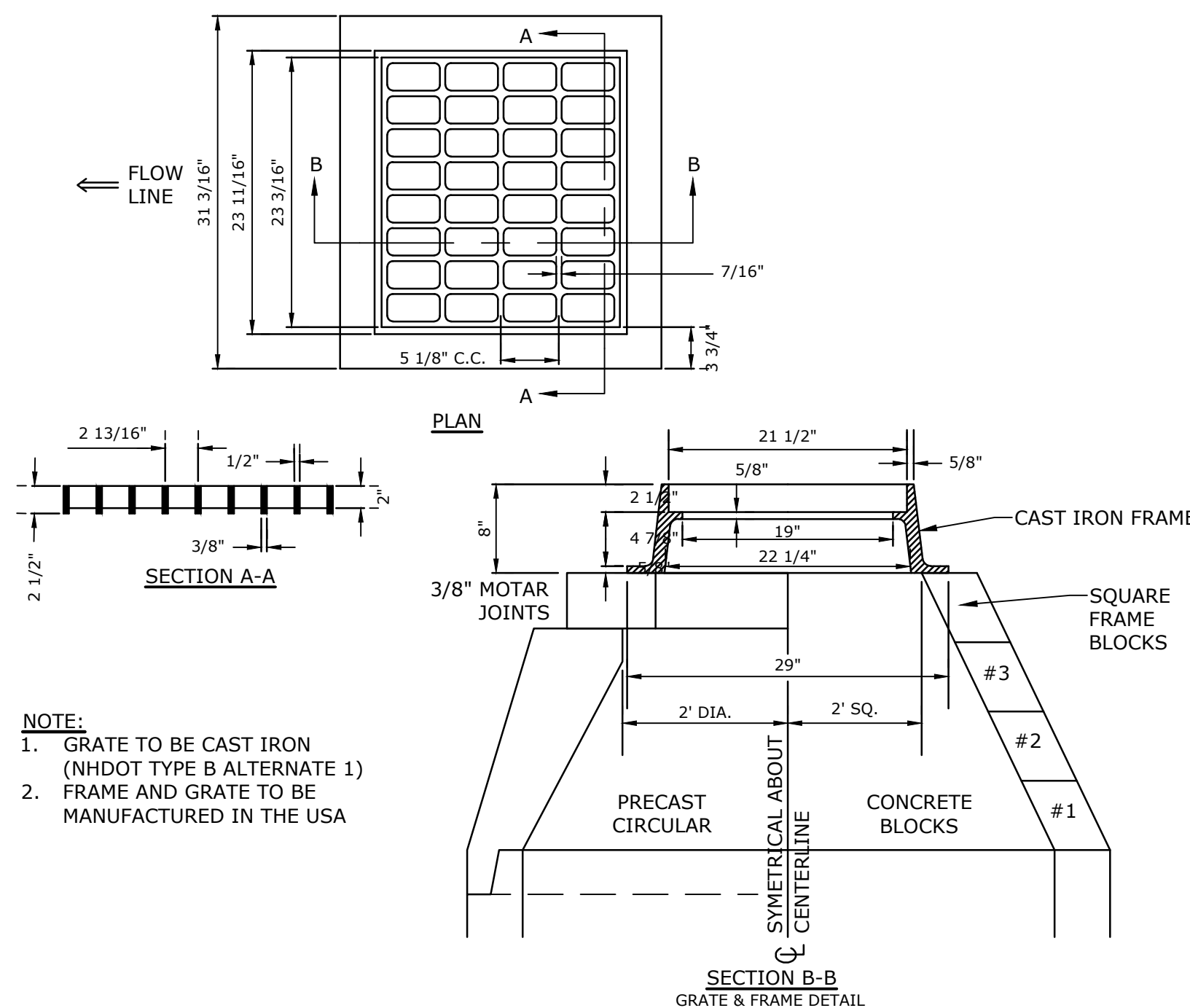
MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

PROJECT NO: P-0595-007
DATE: December 22, 2020
FILE: P-0595-007-DTLS.DWG
DRAWN BY: CJK
CHECKED BY: NAH/PMC
APPROVED BY: BLM

DETAILS SHEET

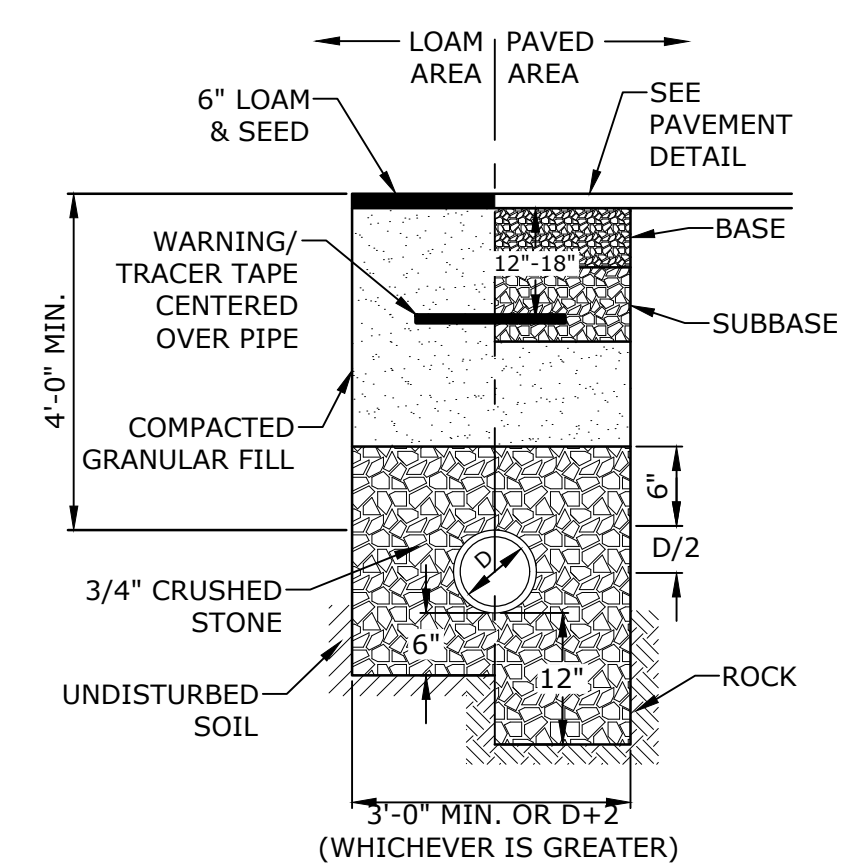
SCALE: AS SHOWN

Last Saved: 3/9/2021 10:44:10 AM By: CJK/CLK
Tighe & Bond 2100 Rogers Pro Con General Postoffice 0595-007 Baynes Ave. Hotel Drawings Figures/AutoCAD/Sheet/P-0595-007-DTLS.dwg



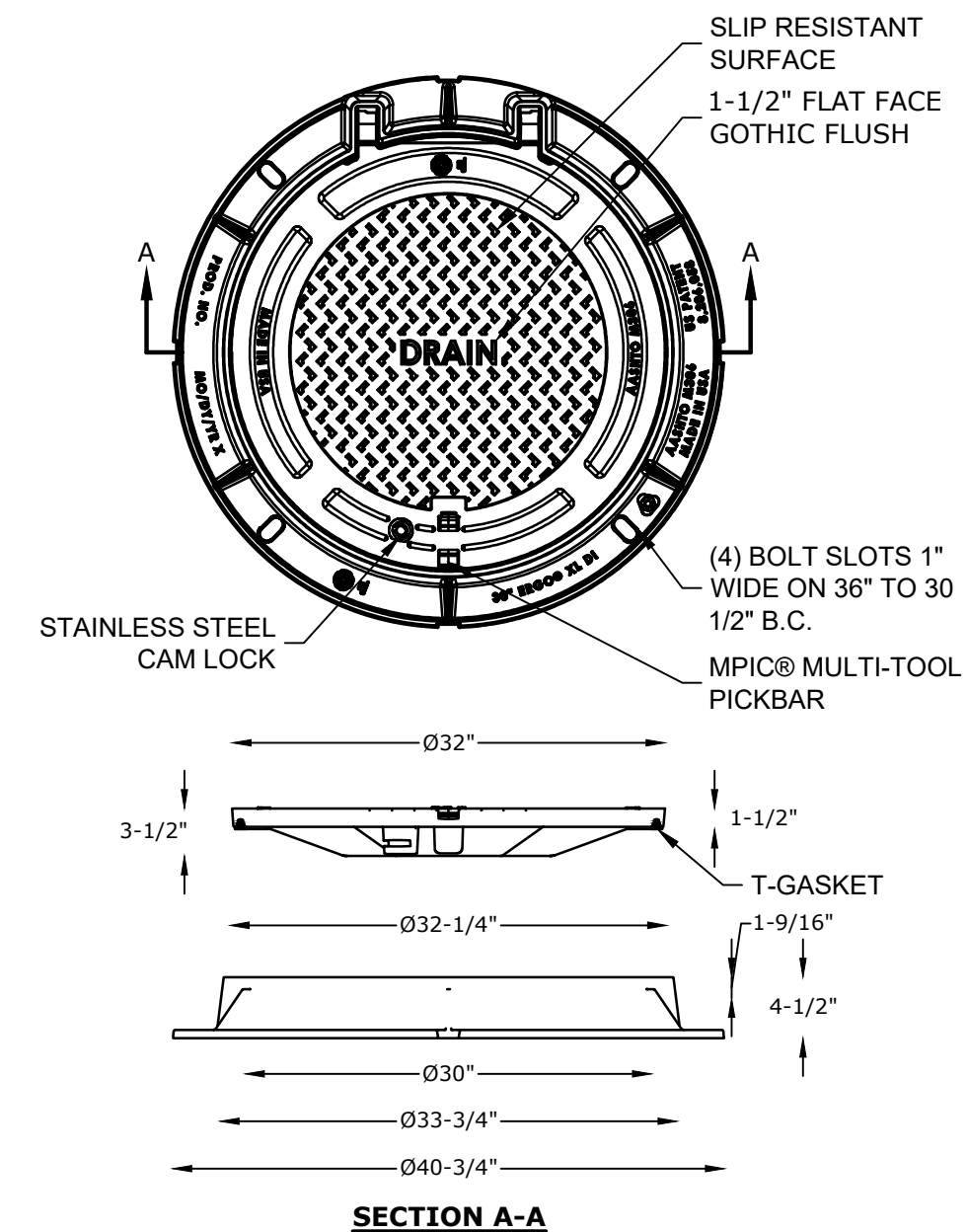
CATCH BASIN FRAME & GRATE
NO SCALE

NOTE:
1. GRATE TO BE CAST IRON (NHDOT TYPE B ALTERNATE 1)
2. FRAME AND GRATE TO BE MANUFACTURED IN THE USA



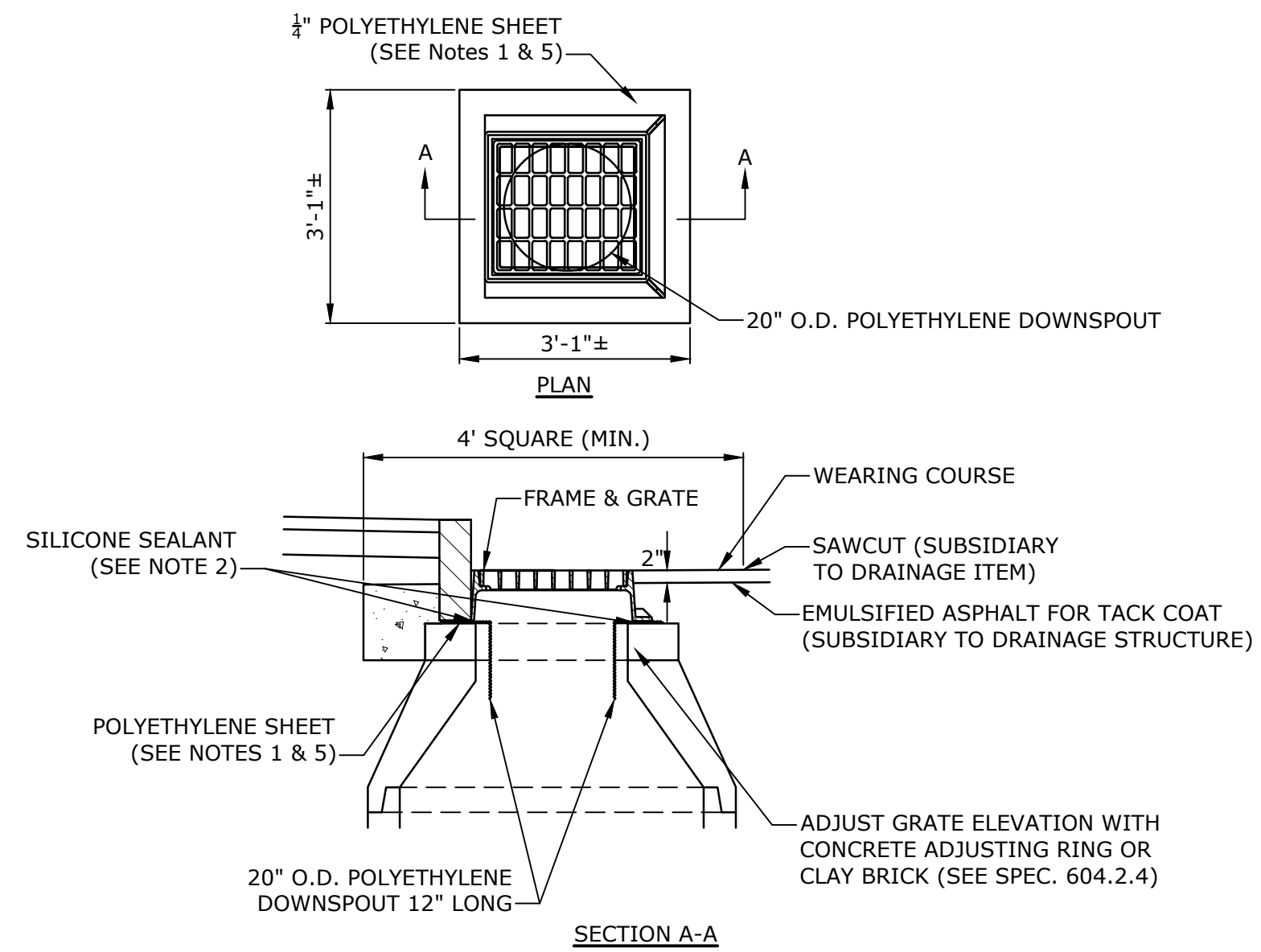
STORM DRAIN TRENCH
NO SCALE

NOTE:
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.



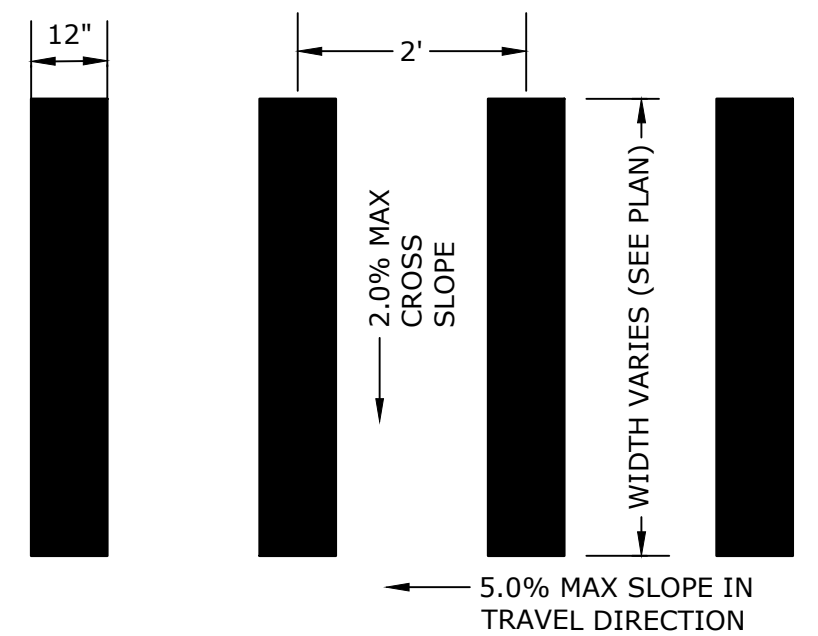
DRAIN MANHOLE FRAME & COVER
NO SCALE

NOTES:
1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL BY EJ CO.
2. ALL DIMENSIONS ARE NOMINAL.
3. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.



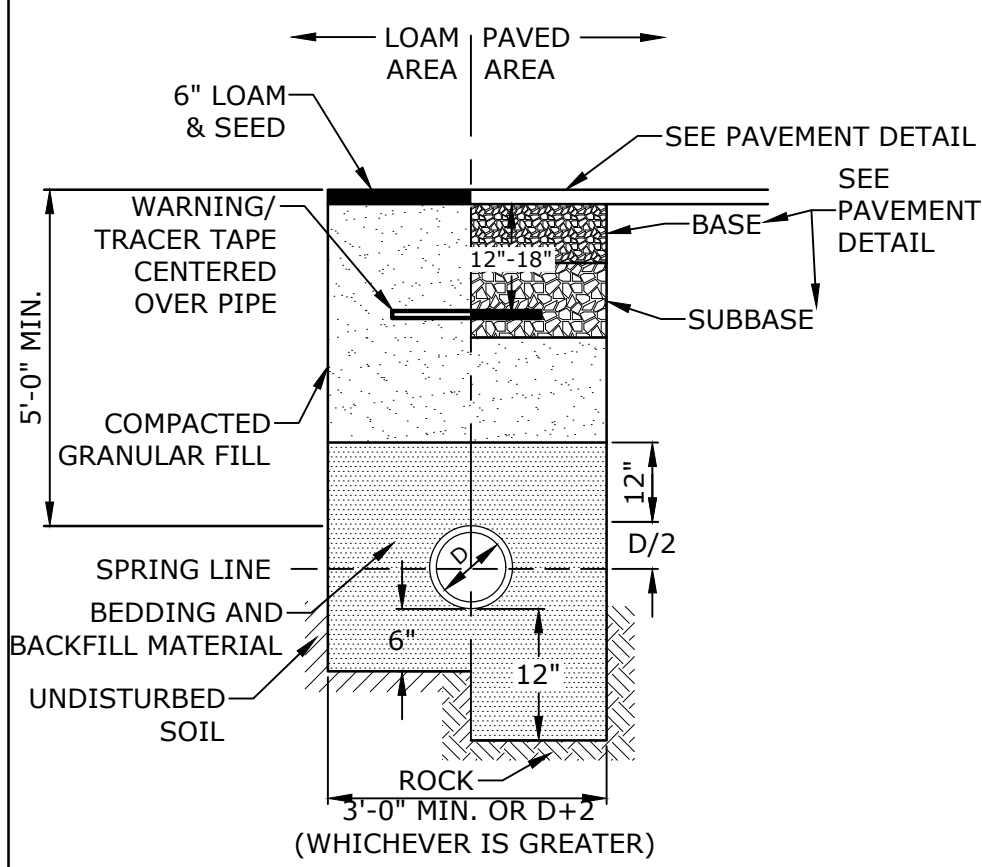
POLYETHYLENE LINER
NO SCALE

NOTES:
1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
4. USE ON DRAINAGE STRUCTURES 4' MIN. DIAMETER ONLY.
5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
7. PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
8. SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR ADDITIONAL INFORMATION.
9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER



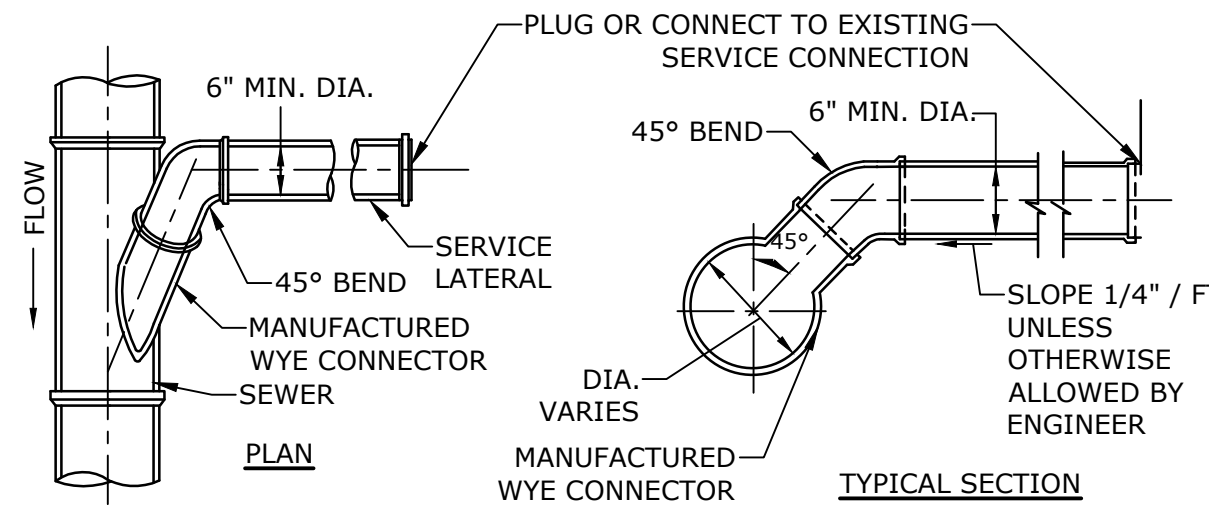
CROSSWALK STRIPING
NO SCALE

NOTE:
STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

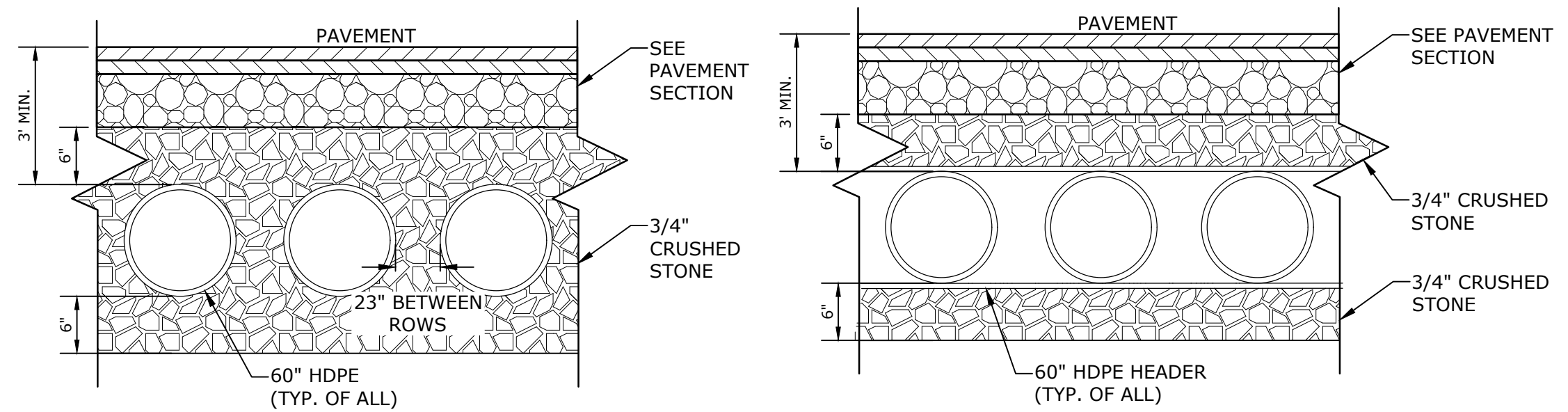


WATER TRENCH
NO SCALE

NOTES:
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
2. WATER MAIN SHALL BE INSTALLED PER CITY OF PORTSMOUTH STANDARDS. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.



STANDARD SERVICE LATERAL CONNECTION
NO SCALE

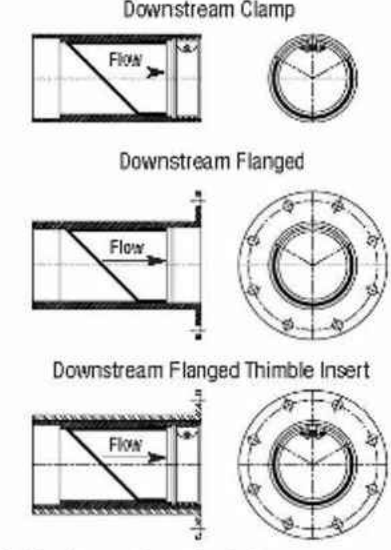


UNDERGROUND DETENTION SYSTEM DETAIL
NO SCALE

NOTES:
1. UNDERGROUND DETENTION SYSTEM TO BE 60" HDPE PIPE DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT PIPE SPECIFICATIONS AND FINAL MANUFACTURERS DESIGN TO ENGINEER FOR APPROVAL.
2. MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
3. THE DESIGN ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED PER THE APPROVED DESIGN PLAN.
4. REFER TO STANDARD DUTY PAVEMENT SECTION DETAIL FOR PAVEMENT SECTION.

NOMINAL PIPE SIZE I.D.*	OVERALL LENGTH**	NUMBER OF CLAMPS	CUFF DEPTH	BACK PRESSURE RATING
Inches	Millimeters	Inches	Millimeters	Feet
12	300	23	584	1
				2
				51
				40
				12

Mounting Styles and Configurations



Flange shape and bolt pattern can be customized. Flangeless thimble inserts are available.

TYPICAL BACK FLOW PREVENTER
NO SCALE

Proposed Mixed Use Development

North Mill Pond Holdings, LLC

Portsmouth, New Hampshire

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

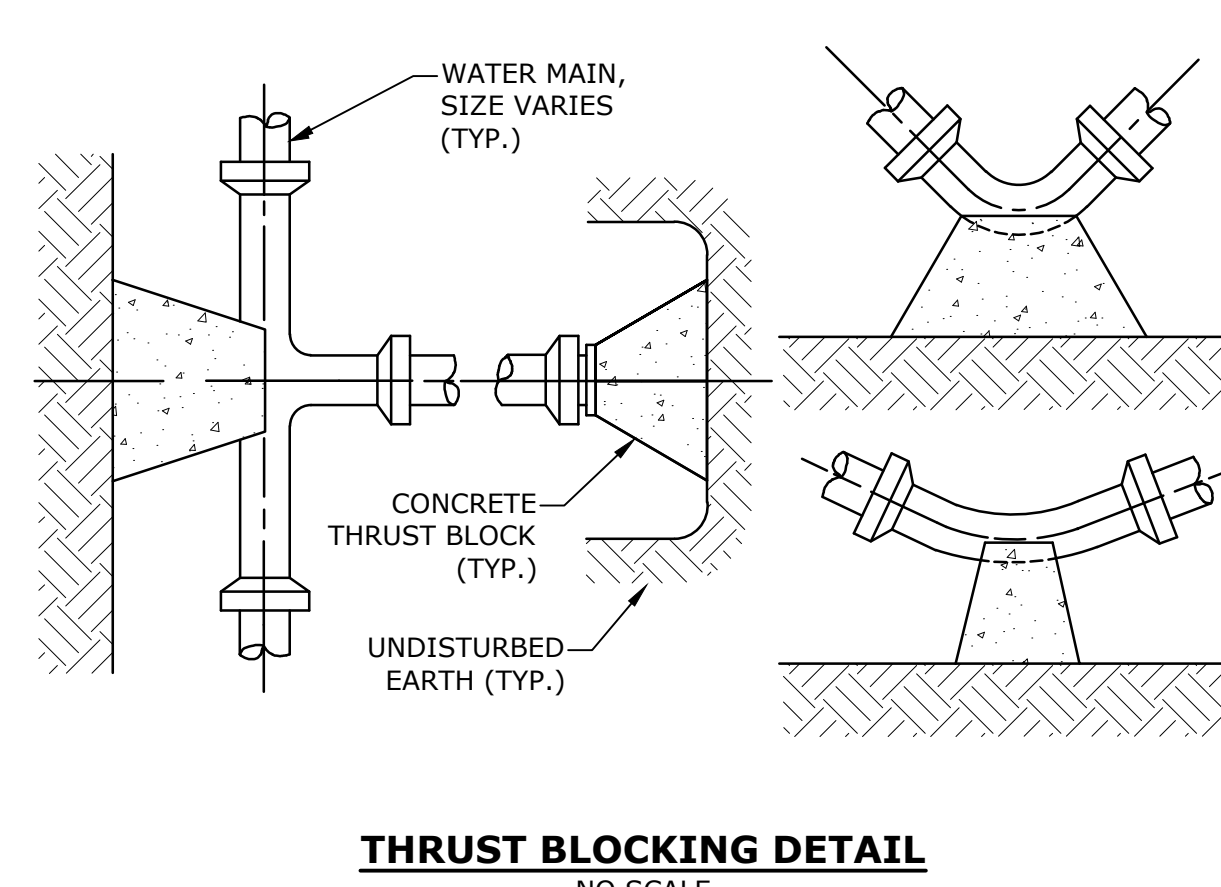
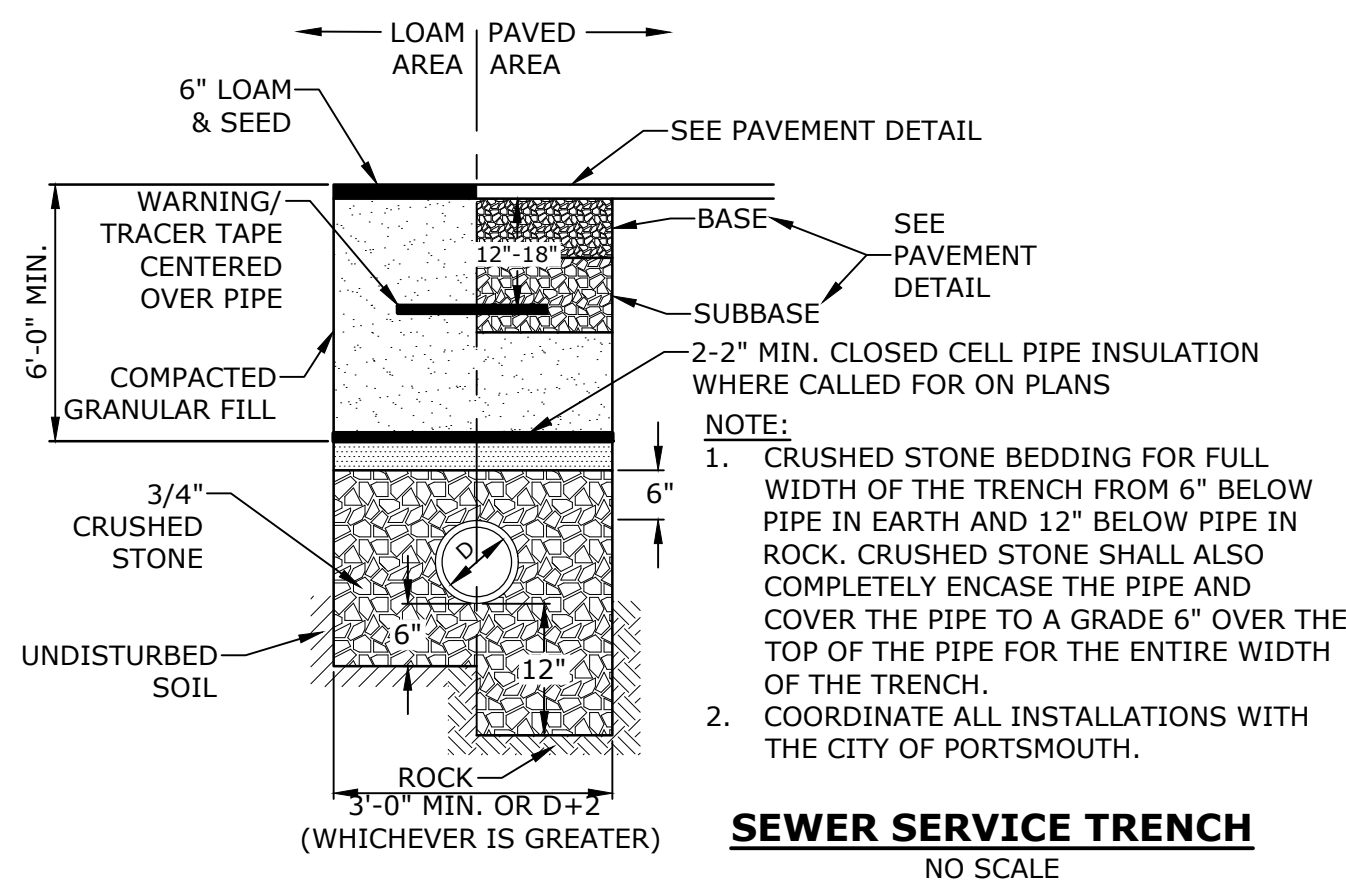
PROJECT NO:	P-0595-007
DATE:	December 22, 2020
FILE:	P-0595-007-DTLS.DWG
DRAWN BY:	CLK
CHECKED BY:	NAH/PMC
APPROVED BY:	BLM

DETAILS SHEET

SCALE: AS SHOWN

C-504

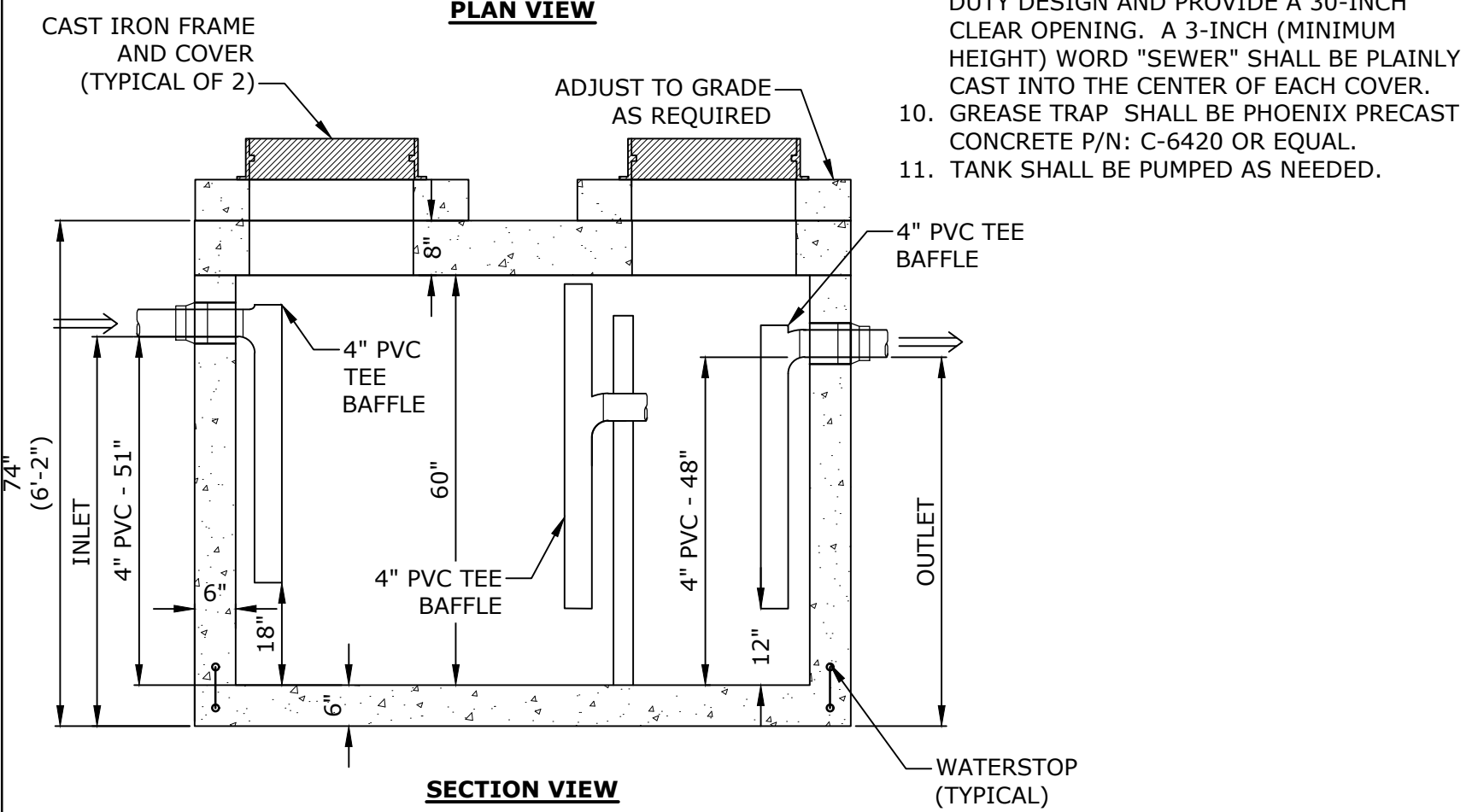
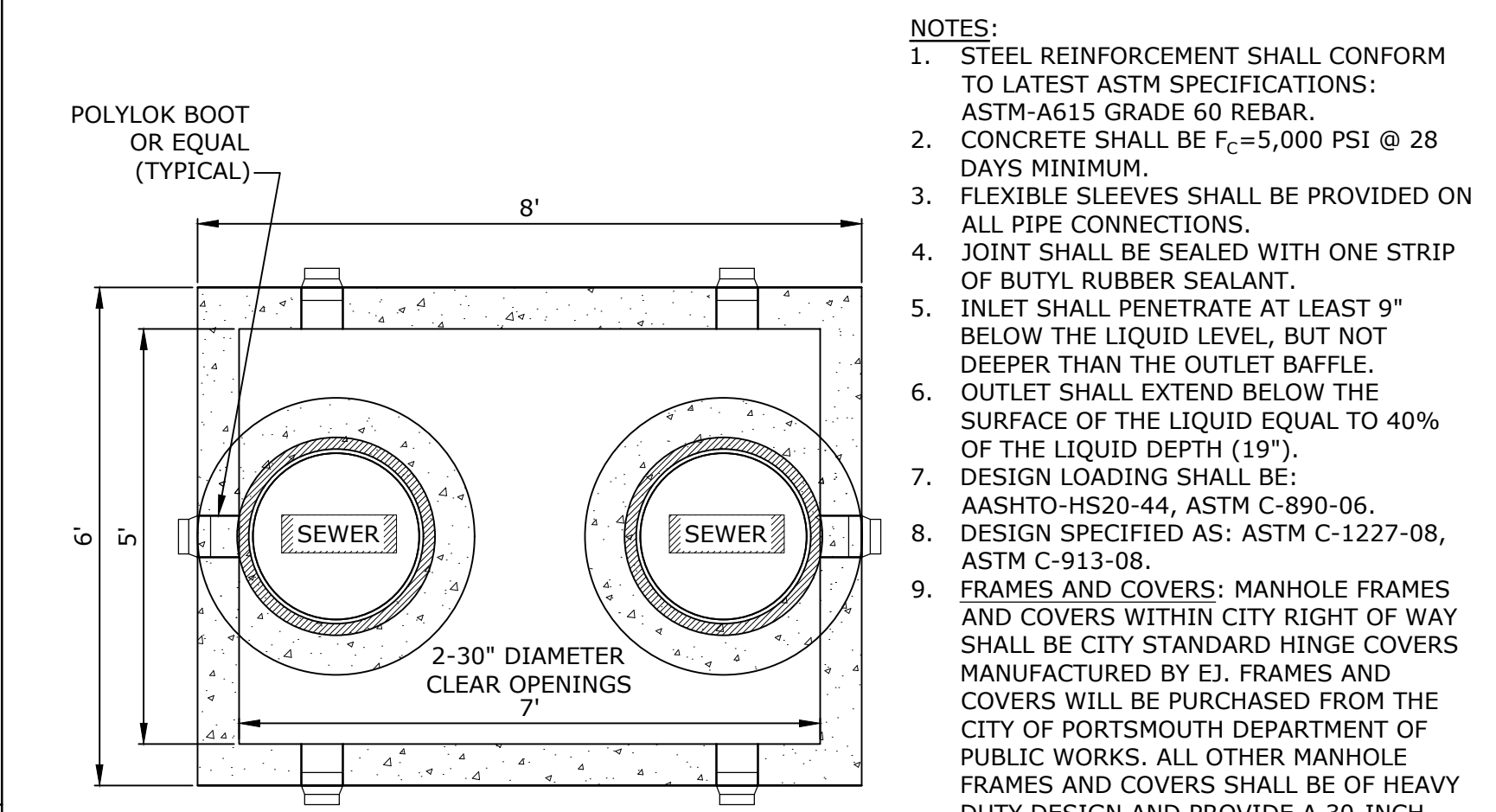
Last Saved: 3/9/2021 10:41:54 AM By: CLK/CLK
 Project: 0595-007-0595-007-Proposed Mixed Use Development
 Figure: AUC-CAD-Sheets P-0595-007-DTLS.dwg
 Title & Detail: P-0595-007-DTLS.dwg



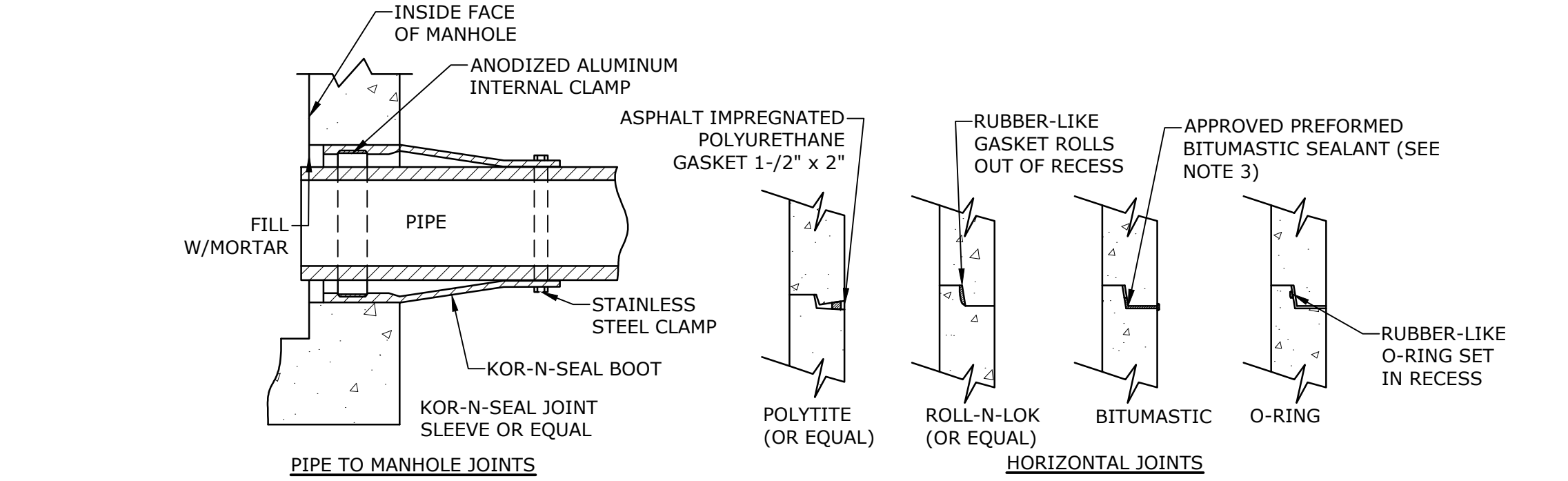
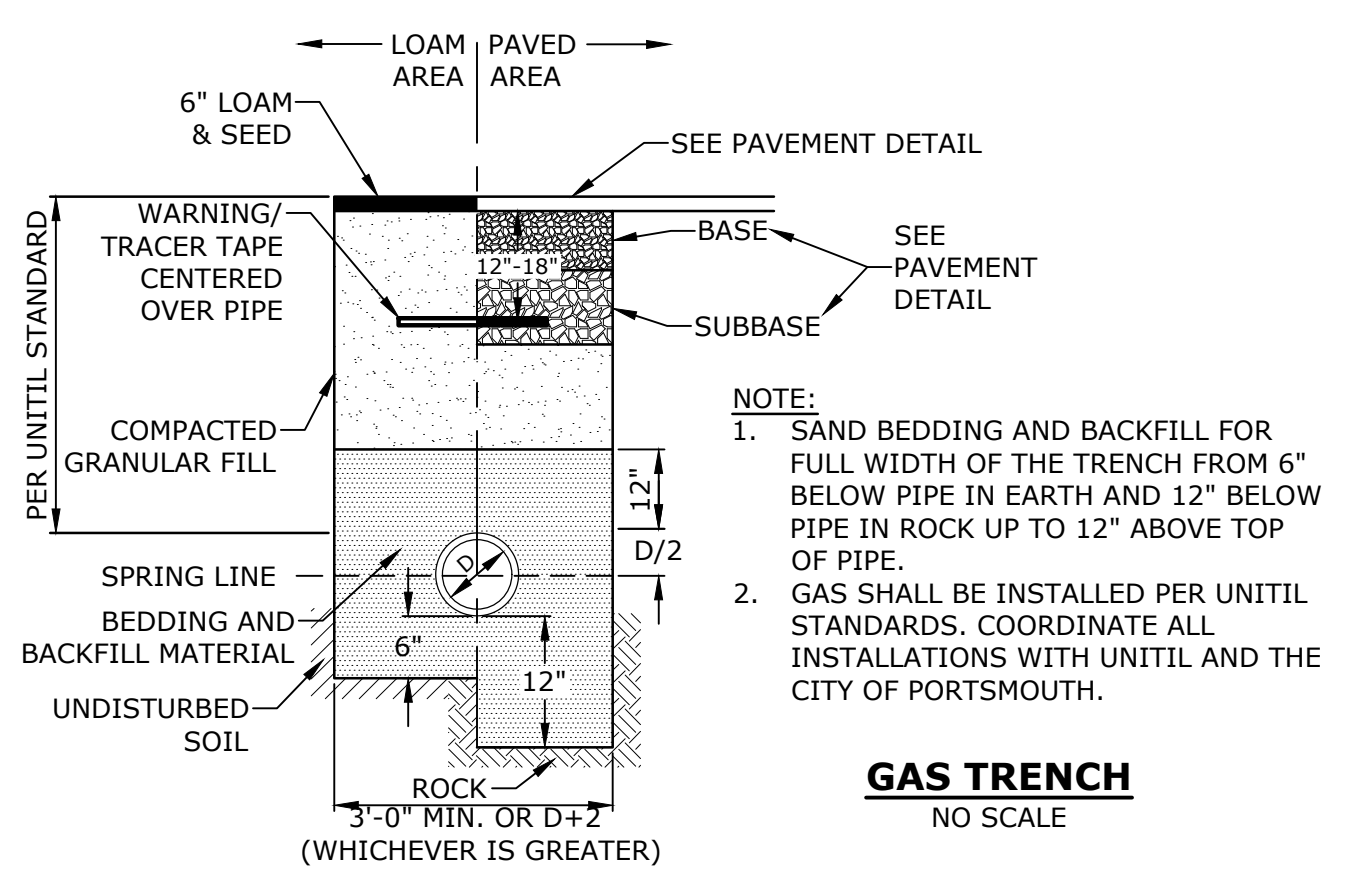
REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

TEST PRESSURE = 200psi

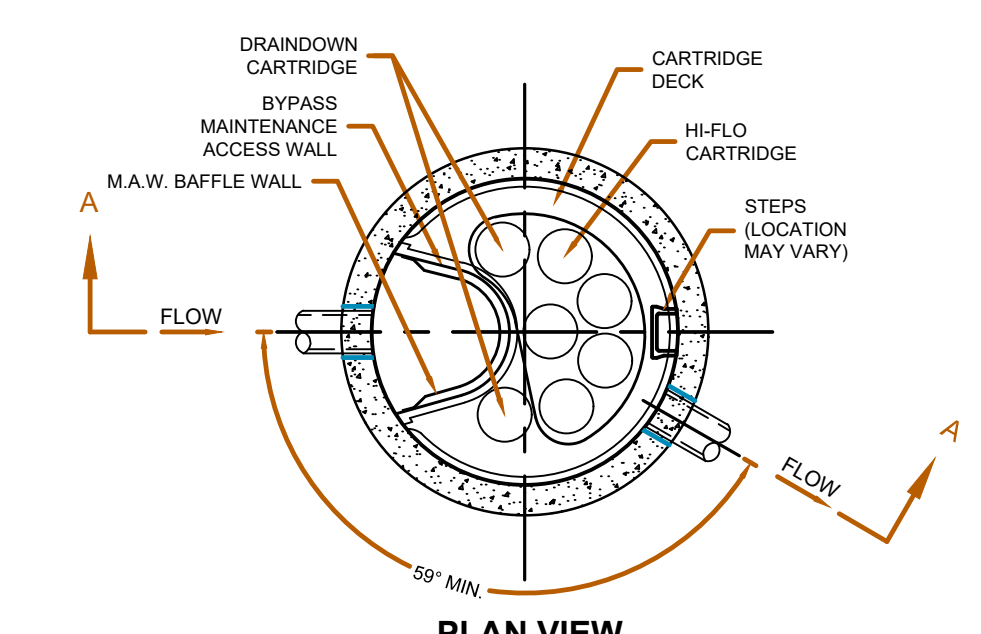
- NOTES:**
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 - WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
 - INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.



1,000 GALLON GREASE TRAP
NO SCALE



- NOTES:**
- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
 - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.
- MANHOLE JOINTS**
NO SCALE



JELLYFISH DESIGN NOTES

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. 60" MANHOLE JELLYFISH PEAK TREATMENT CAPACITY IS 1.16 CFS. AND MAXIMUM BYPASS CAPACITY IS 4.00 CFS. IF THE SITE CONDITIONS EXCEED TOTAL CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

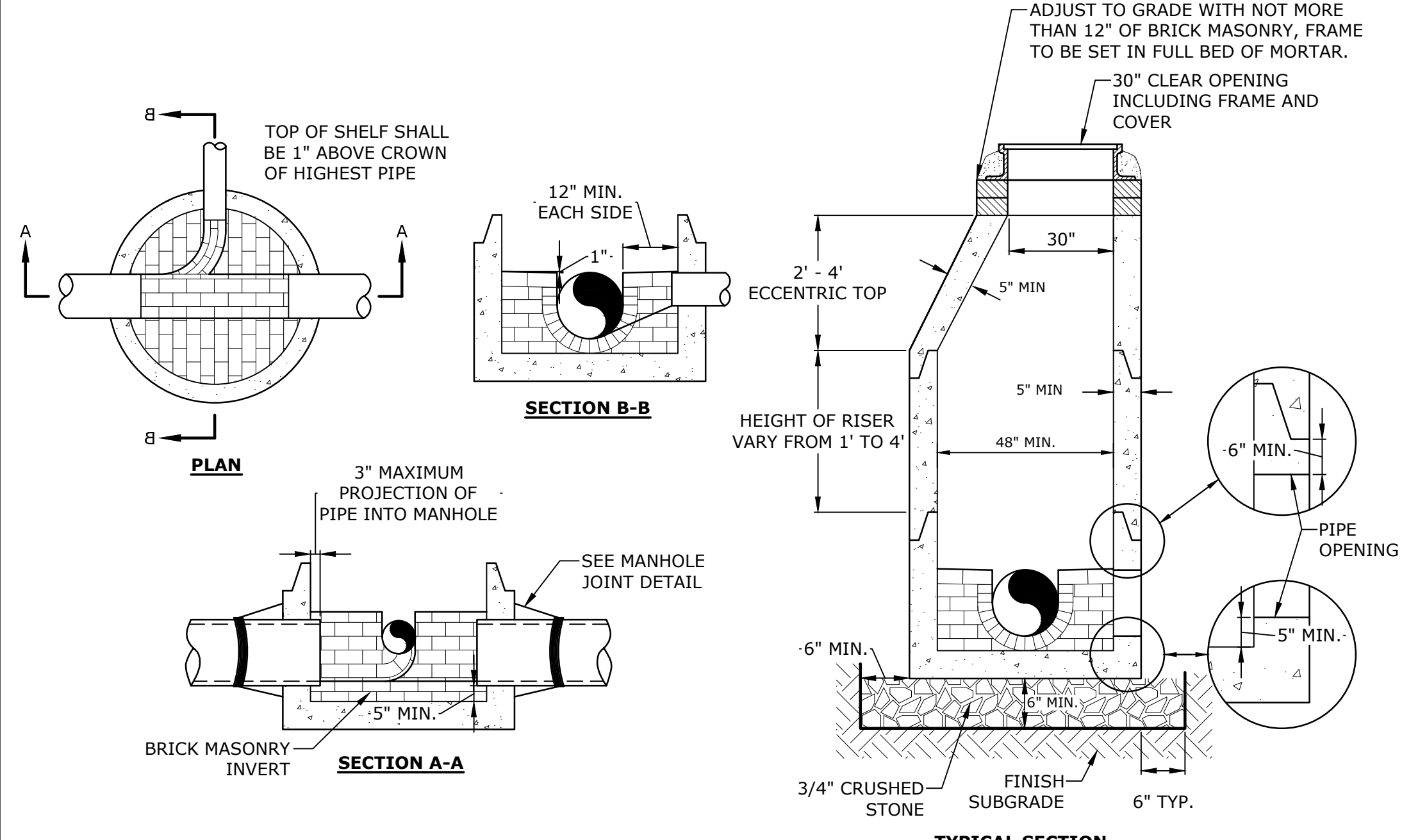
CARTRIDGE SELECTION	54"	40"	27"	15"
CARTRIDGE DEPTH	7'-5"	6'-3"	5'-2"	4'-2"
OUTLET INVERT TO STRUCTURE INVERT (A)	0.18 / 0.09	0.13 / 0.065	0.09 / 0.045	0.05 / 0.025
FLOW RATE HIGH-FLO / DRAINDOWN (cfs) (per cart)			6 / 1	
MAX. CARTS HIGH-FLO/DRAINDOWN			4.00	
MAX. BYPASS (cfs)				
MAX. TREATMENT (cfs)	1.16	0.87	0.58	0.32
MAX. TREATMENT AND BYPASS (cfs) (TOTAL CAPACITY)	5.16	4.87	4.58	4.32

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	6"
WATER QUALITY FLOW RATE (cfs)	0.91
BYPASS FLOW RATE (cfs)	5.00
PEAK FLOW RATE (cfs)	4.42
RETURN PERIOD OF PEAK FLOW (yrs)	50
# OF CARTRIDGES REQUIRED (HF / DD)	5/1
CARTRIDGE SIZE	54"

- GENERAL NOTES:**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 - FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE. www.contechES.com
 - JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 - STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0' - 3' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
 - STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 - INLET HGL NOT TO EXCEED 6' BELOW THE TOP OF THE M.A.W. DURING THE PEAK DESIGN STORM, OR 10-YEAR STORM (WHICHEVER IS GREATER).
 - INLET PIPE INVERT ELEVATION VARIES FROM 0' TO 6' MAXIMUM ABOVE THE OUTLET PIPE INVERT.
 - OUTLET PIPE INVERT IS EQUAL TO THE CARTRIDGE DECK ELEVATION.
 - THE OUTLET PIPE DIAMETER FOR NEW INSTALLATIONS IS TO BE ONE PIPE SIZE LARGER THAN THE INLET PIPE AT EQUAL OR GREATER SLOPE.
 - THE DIFFERENCE IN THE INLET AND OUTLET PIPE ELEVATIONS FOR RETROFIT INSTALLATIONS TO EXISTING STORM DRAIN PIPES SHALL BE EQUAL TO THE SLOPE OVER THE DIAMETER OF THE MANHOLE, NOT THE EXCEED 6" IN VERTICAL DIFFERENTIAL BETWEEN INLET AND OUTLET PIPES.
 - NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.
- INSTALLATION NOTES:**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHRINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 740-3318.

JELLYFISH JF6-5-1 ONLINE CONFIGURATION
NO SCALE



- NOTES:**
- INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
 - CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
 - INVERT BRICKS SHALL BE LAID ON EDGE.
 - TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
 - FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 - HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
 - BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO ASTM C478-06.

MARK	DATE	DESCRIPTION
B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session

PROJECT NO: P-0595-007
DATE: December 22, 2020
FILE: P-0595-007-DTLS.DWG
DRAWN BY: CLK
CHECKED BY: NAH/PMC
APPROVED BY: BLM

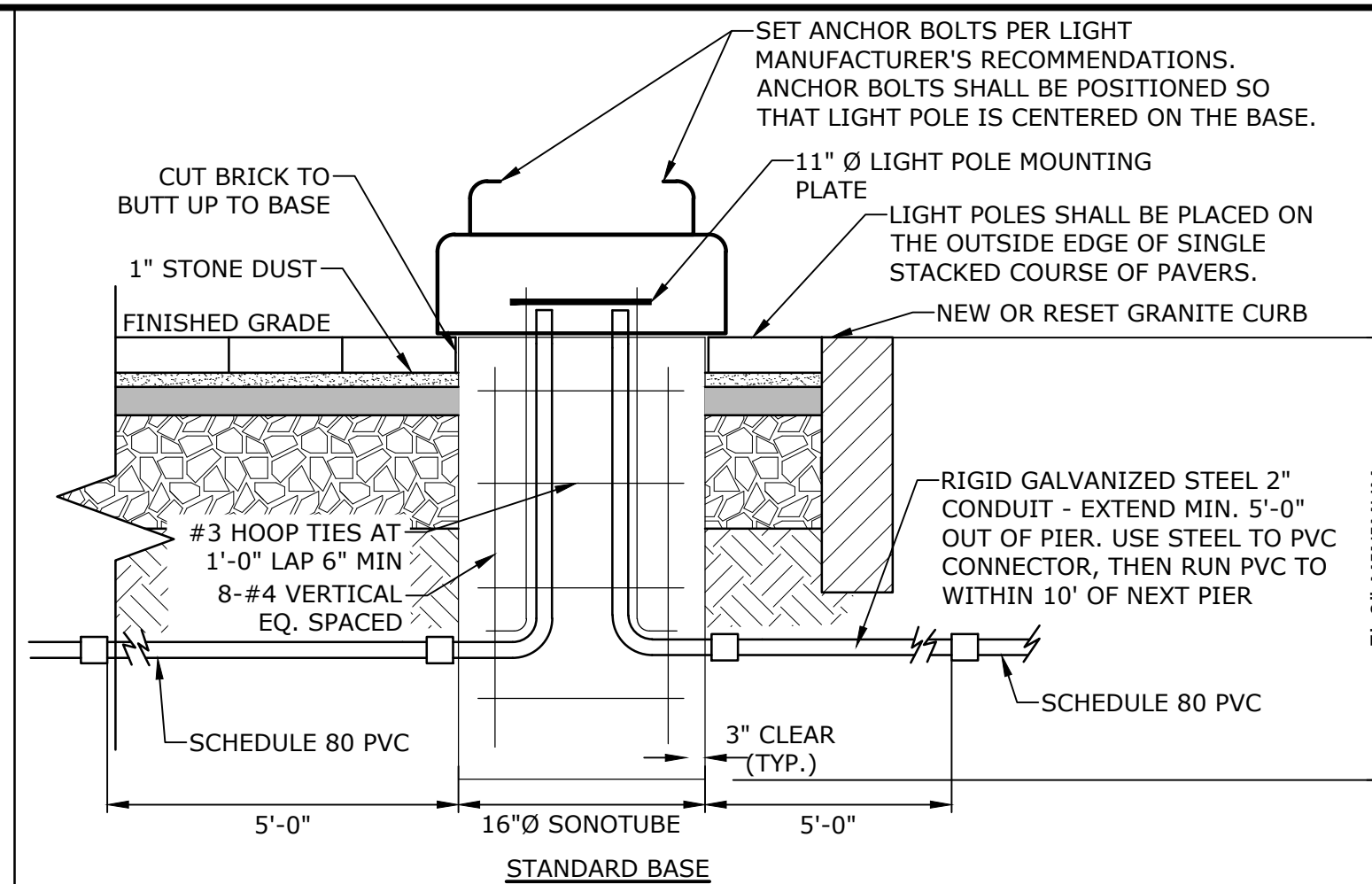
Last Saved: 3/9/2021 9:41:14 AM By: CLK/CLK
 Project: 0595-007-DTLS.DWG
 Title: 0595-007-DTLS.DWG
 Tighe & Bond 2100 Rogers Pro Con General Proposals 0595-007 Rogers Ave. Hotel Drawings Figures/AutoCAD/Sheet/P-0595-007-DTLS.dwg

B	3/10/2021	Design Review Resubmission
A	12/1/2020	TAC Work Session
MARK	DATE	DESCRIPTION
PROJECT NO:	P-0595-007	
DATE:	December 22, 2020	
FILE:	P-0595-007-DTLS.DWG	
DRAWN BY:	CJK	
CHECKED BY:	NAH/PMC	
APPROVED BY:	BLM	

DETAILS SHEET

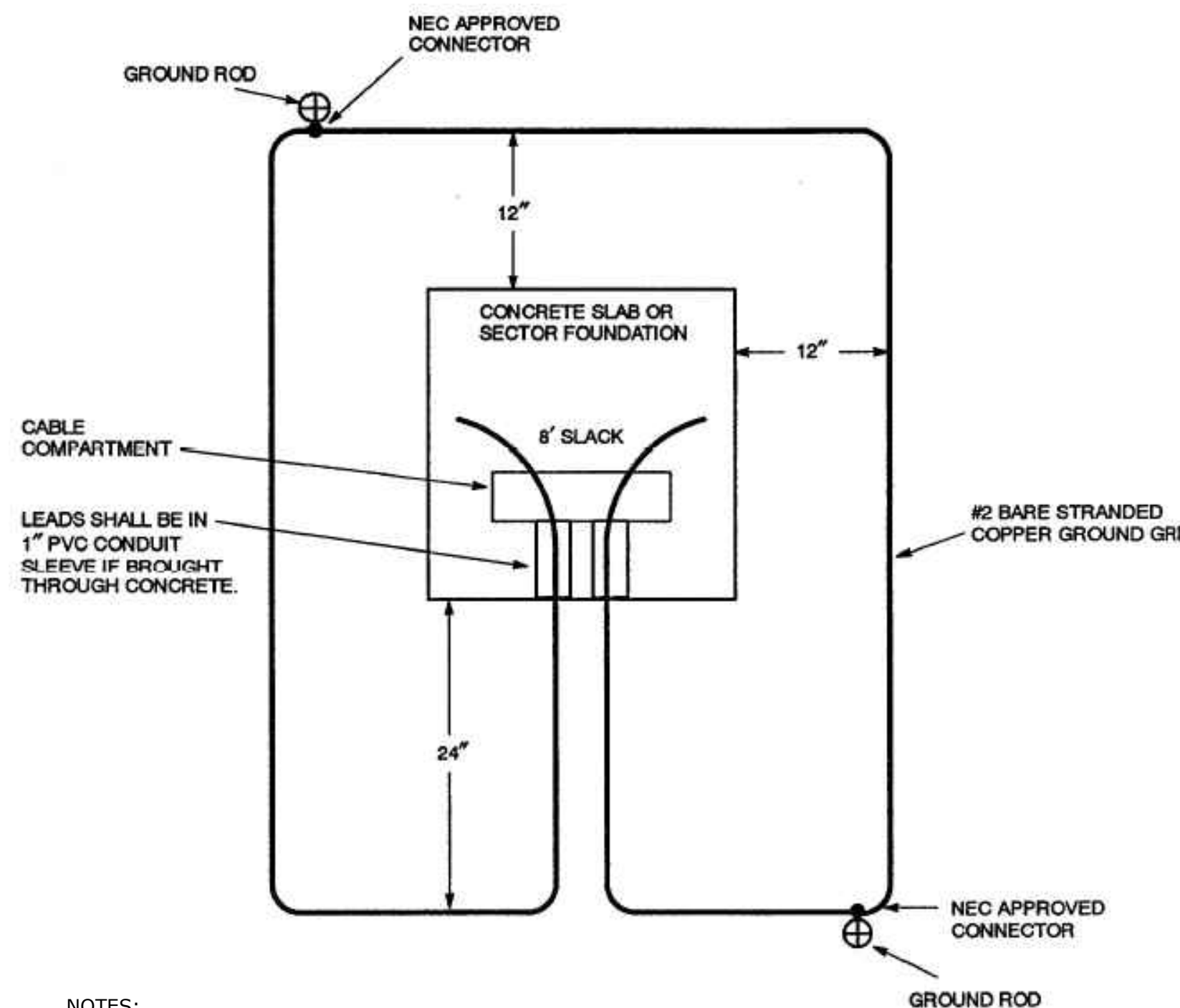
SCALE: AS SHOWN

C-506



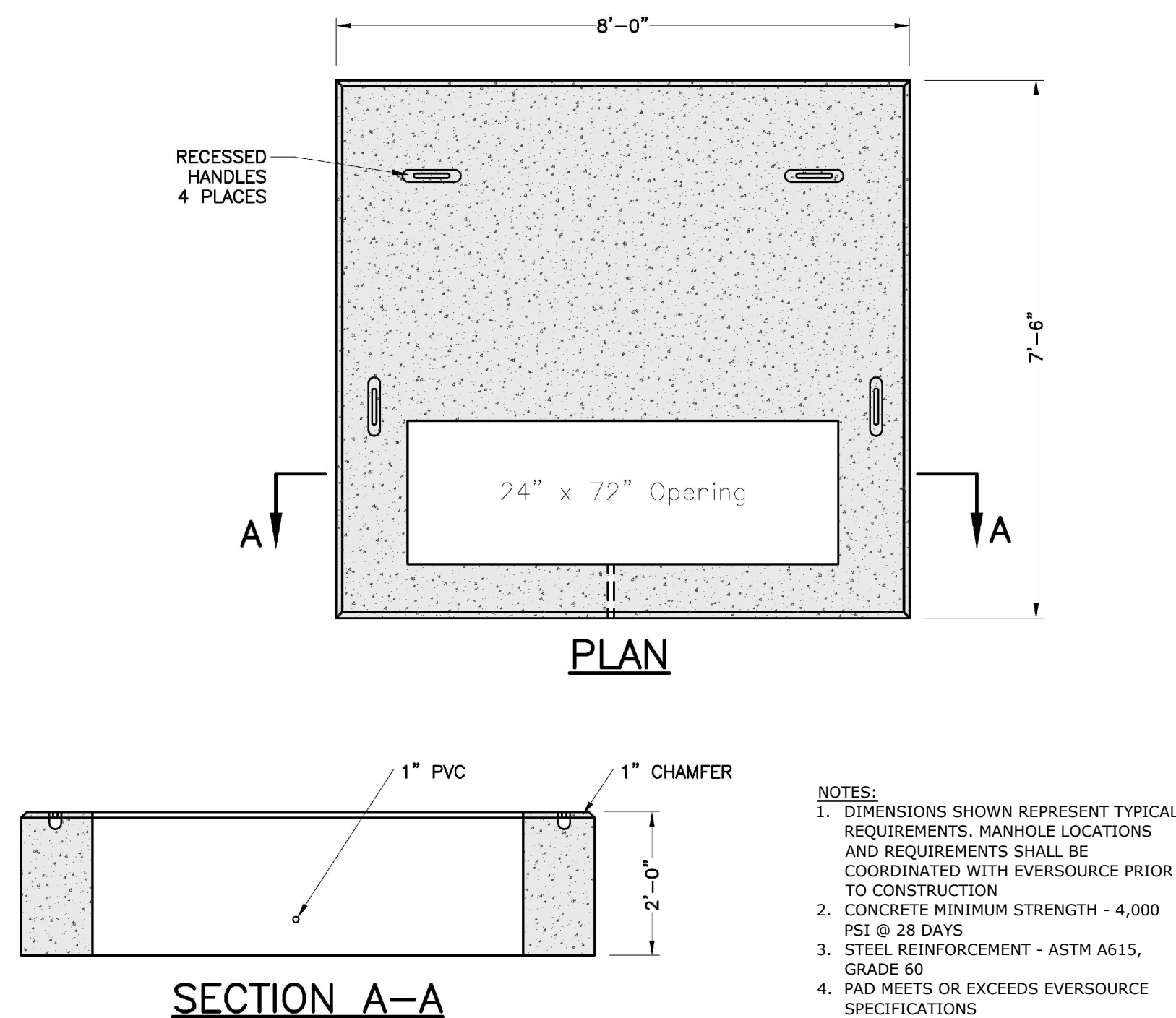
- NOTES:
- REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
 - CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
 - LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
 - STANDARD BASE SHALL BE CONSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. SPREAD FOOTING BASE SHALL BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK ELEVATION WILL CONFLICT WITH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS WHERE SPREAD FOOTINGS ARE REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL REQUIREMENTS.

HISTORIC LIGHT FIXTURE BASE
NO SCALE



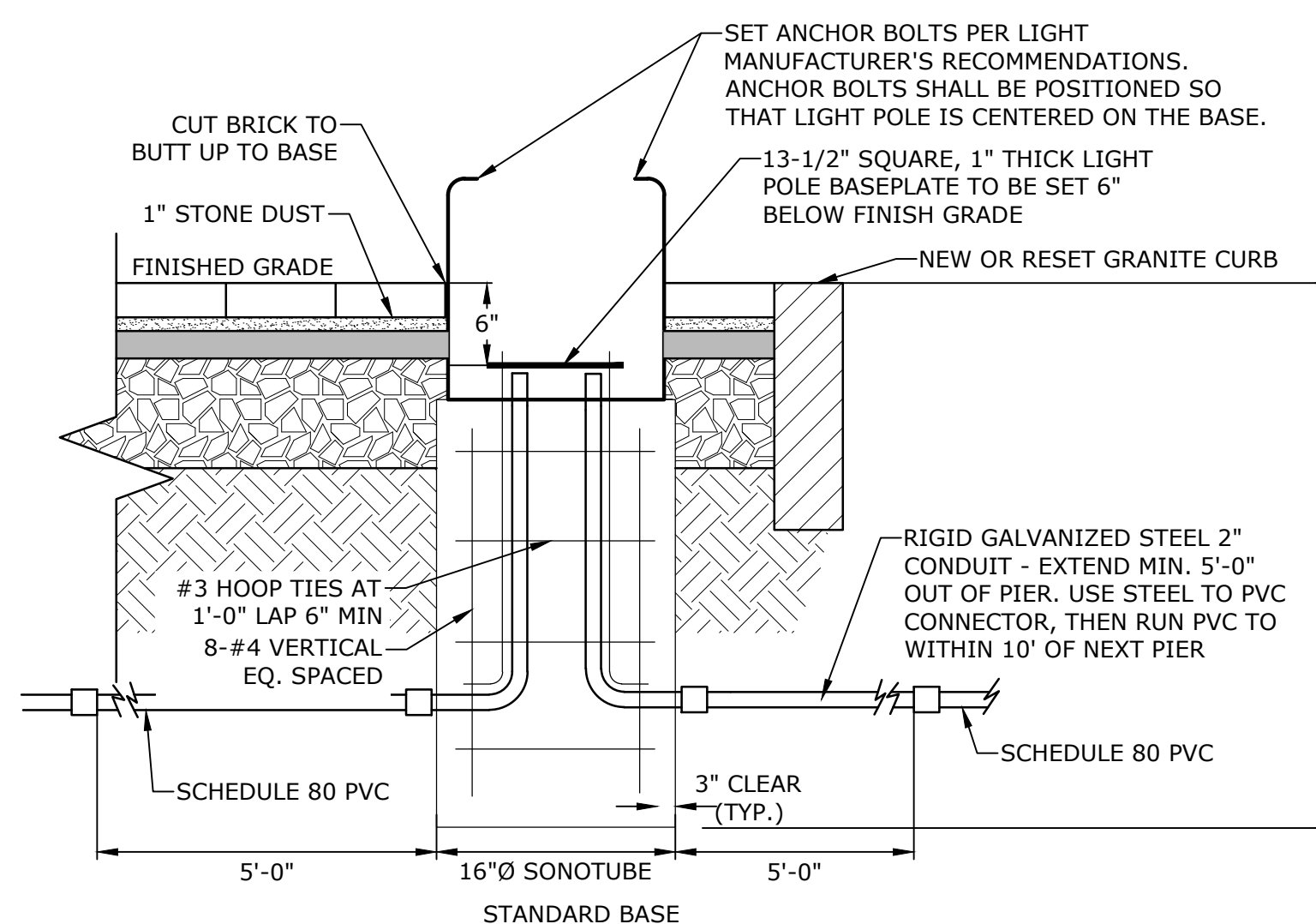
- NOTES:
- THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12 INCHES BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8-FOOT GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.

PAD-MOUNTED EQUIPMENT GROUNDING GRID DETAIL
NO SCALE



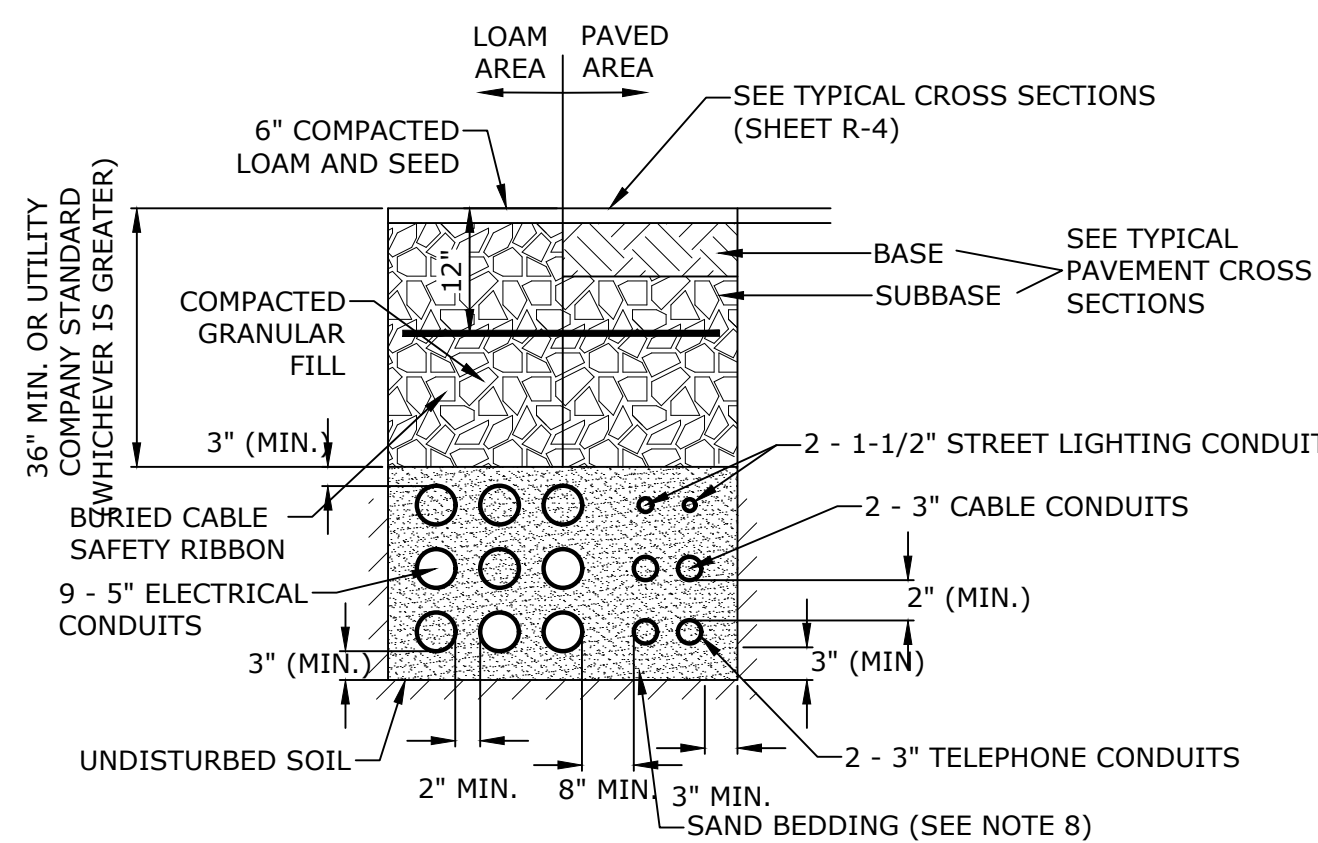
- NOTES:
- DIMENSIONS SHOWN REPRESENT TYPICAL REQUIREMENTS. MANHOLE LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED WITH EVERSOURCE PRIOR TO CONSTRUCTION
 - CONCRETE MINIMUM STRENGTH - 4,000 PSI @ 28 DAYS
 - STEEL REINFORCEMENT - ASTM A615, GRADE 60
 - PAD MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS

3-PHASE TRANSFORMER PAD
NO SCALE



- NOTES:
- REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
 - CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
 - LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
 - STANDARD BASE SHALL BE CONSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. SPREAD FOOTING BASE SHALL BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK ELEVATION WILL CONFLICT WITH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS WHERE SPREAD FOOTINGS ARE REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL REQUIREMENTS.

NORTH END LIGHT FIXTURE BASE
NO SCALE



- NOTES:
- NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
 - DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
 - A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
 - UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
 - ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
 - ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
 - SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
NO SCALE



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
1

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 1.1: Support The Continued Vitality Of The Urban Core Through Public Investment and Land Use Regulations.	✓
Action Item 1.1.1: Support reinvestment in underutilized buildings and land.	✓
Action Item 1.1.2: Enhance the quality and connectivity of pedestrian facilities.	✓
Action Item 1.1.3: Promote the creation of open spaces, seating areas and other outdoor amenities.	✓
Action Item 1.1.5: Encourage public access, use and enjoyment of the downtown waterfront.	✓



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END -
NEIGHBORHOOD DEVELOPMENT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
3



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITIONS
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
4



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

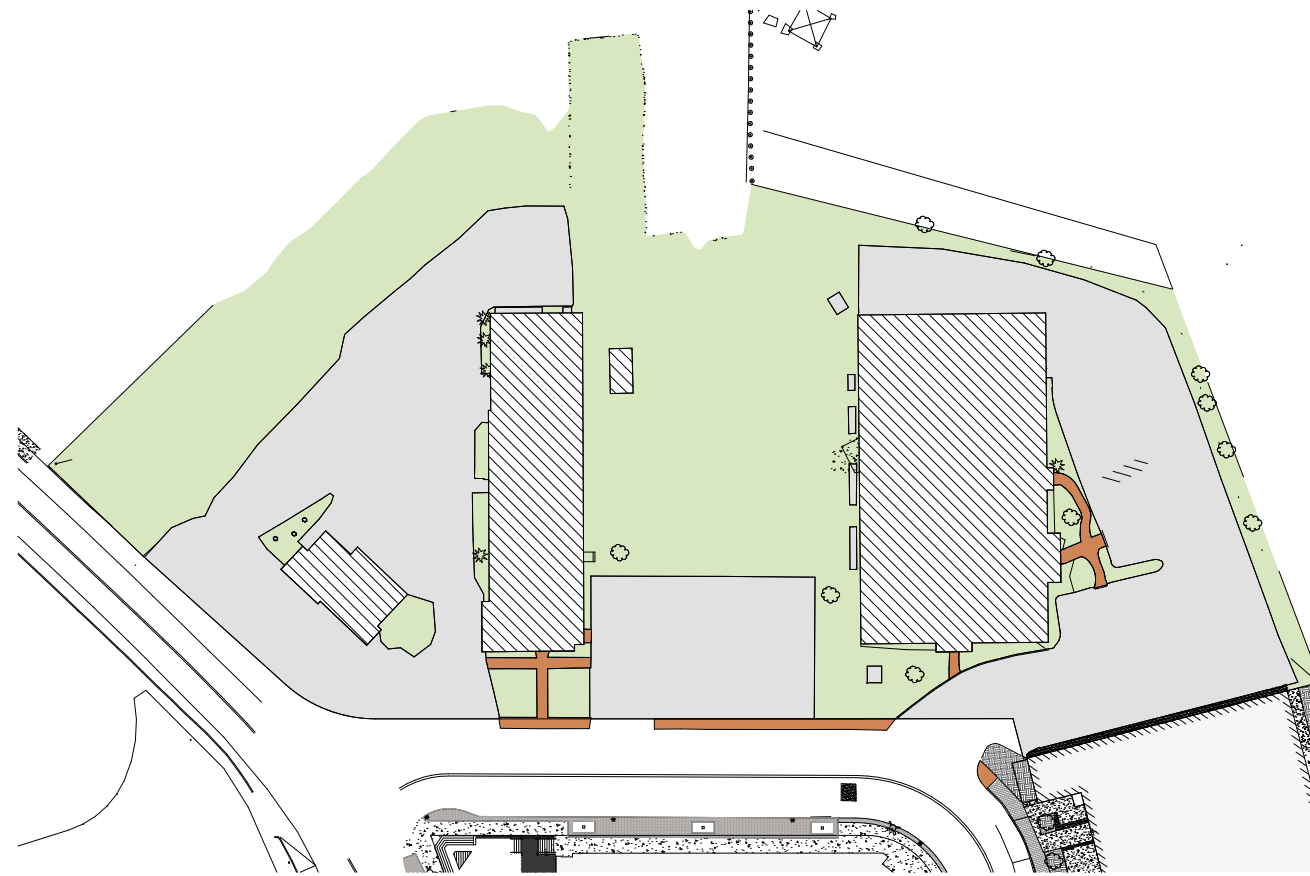


PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
5

SITE USAGE AREA		
	EXISTING CONDITION	FLOOR PROPOSED DEVELOPMENT
PEDESTRIAN*	1,537 SF	19,964 SF
OPEN SPACE	46,010 SF	30,933 SF
PARKING LOT	43,326 SF	31,720 SF
BUILDING	20,466 SF	32,074 SF

* INCLUDES IMPROVEMENTS TO PUBLIC RIGHT OF WAY



1 SITE USAGE - EXISTING
1" = 30'-0"



2 SITE USAGE - PROPOSED
1" = 30'-0"

MEAN HIGH WATER

OVERLOOK SEATING NICHE WITH FITNESS MULTIPURPOSE BENCH

RESTORATION SEED MIX

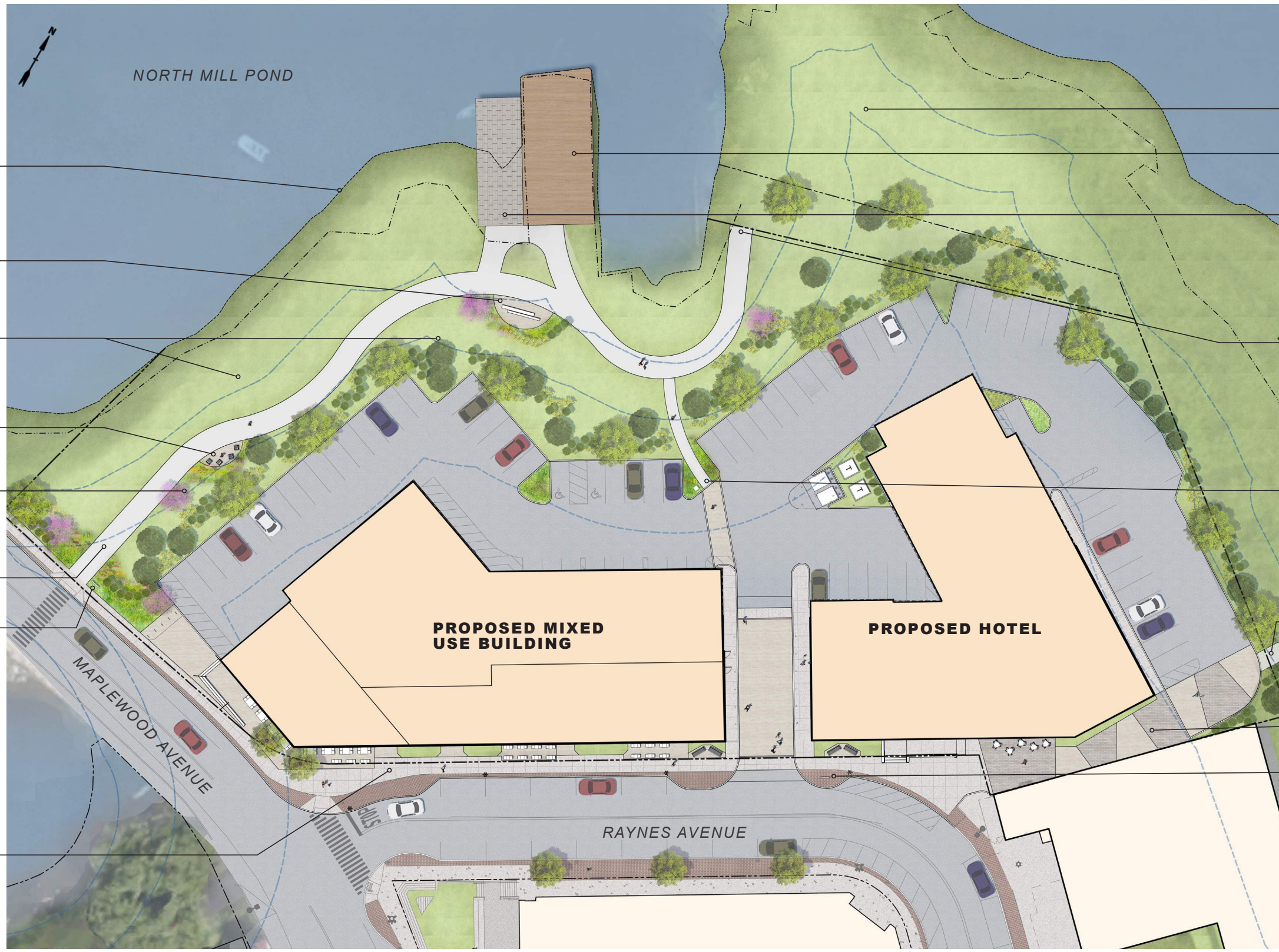
OVERLOOK SEATING NICHE WITH CHAIR BENCHES

50' WATER-FRONT BUFFER

NORTH MILL POND GREENWAY MULTI-USE PATH

WAYFINDING SIGNAGE

VIBRANT STREETSCAPE WITH RETAIL SPILL OUT ZONES, UNIT PAVERS, AND SEASONAL PLANTINGS



FUTURE GREENWAY COMMUNITY PARK

RECONSTRUCTED TIMBER PIER

CURRENT BOAT/KAYAK LAUNCH RAMP

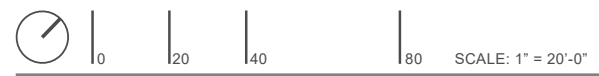
CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

WAYFINDING SIGNAGE



SITE LANDSCAPE PLAN



RAYNES AVE - PORTSMOUTH, NH
2/17/2021

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

EXHIBIT
7



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MARSH LANE PARK
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
8



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE BRIDGE
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
9



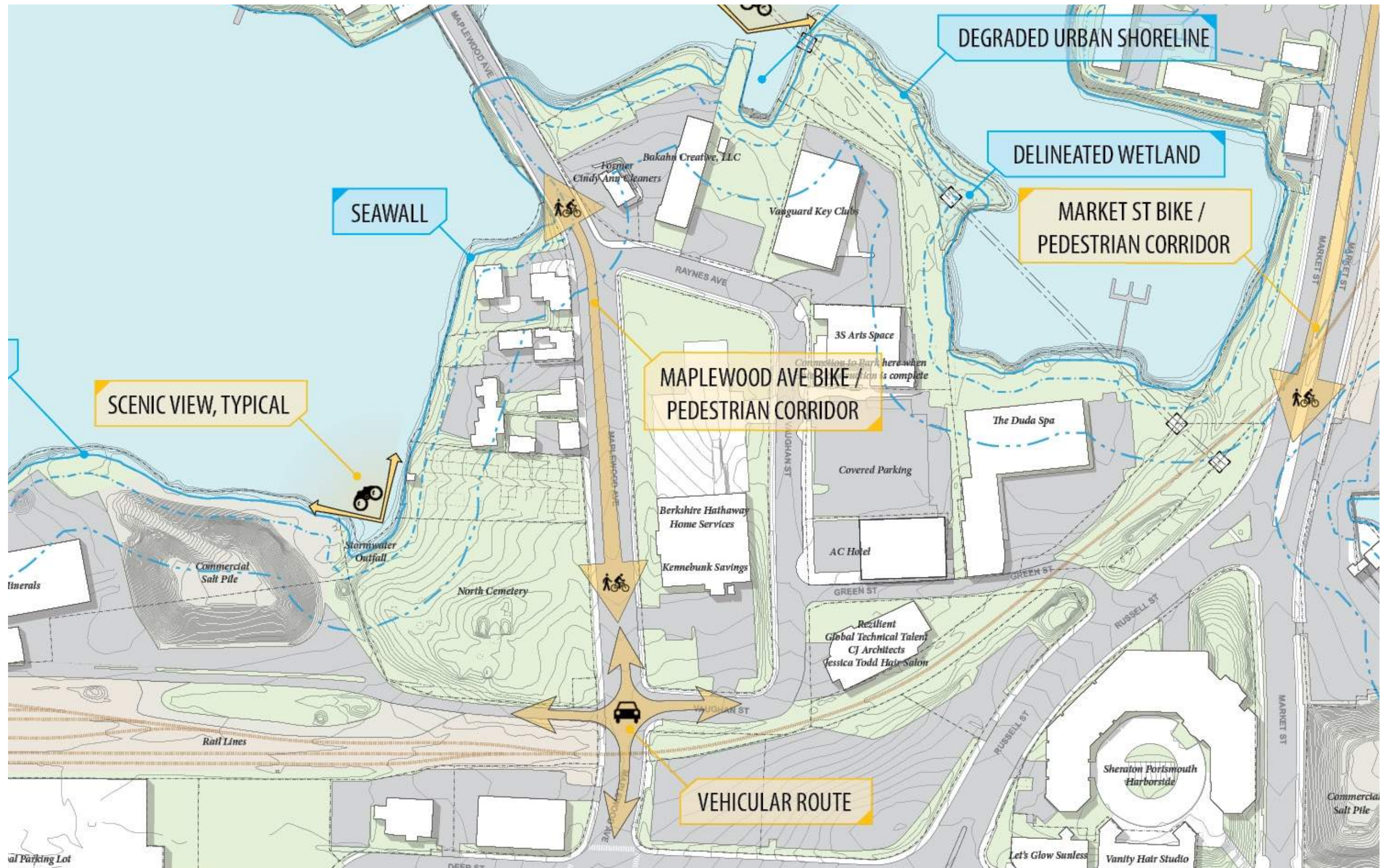
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE
PLANNING BOARD PRESENTATION: MAR 25, 2021



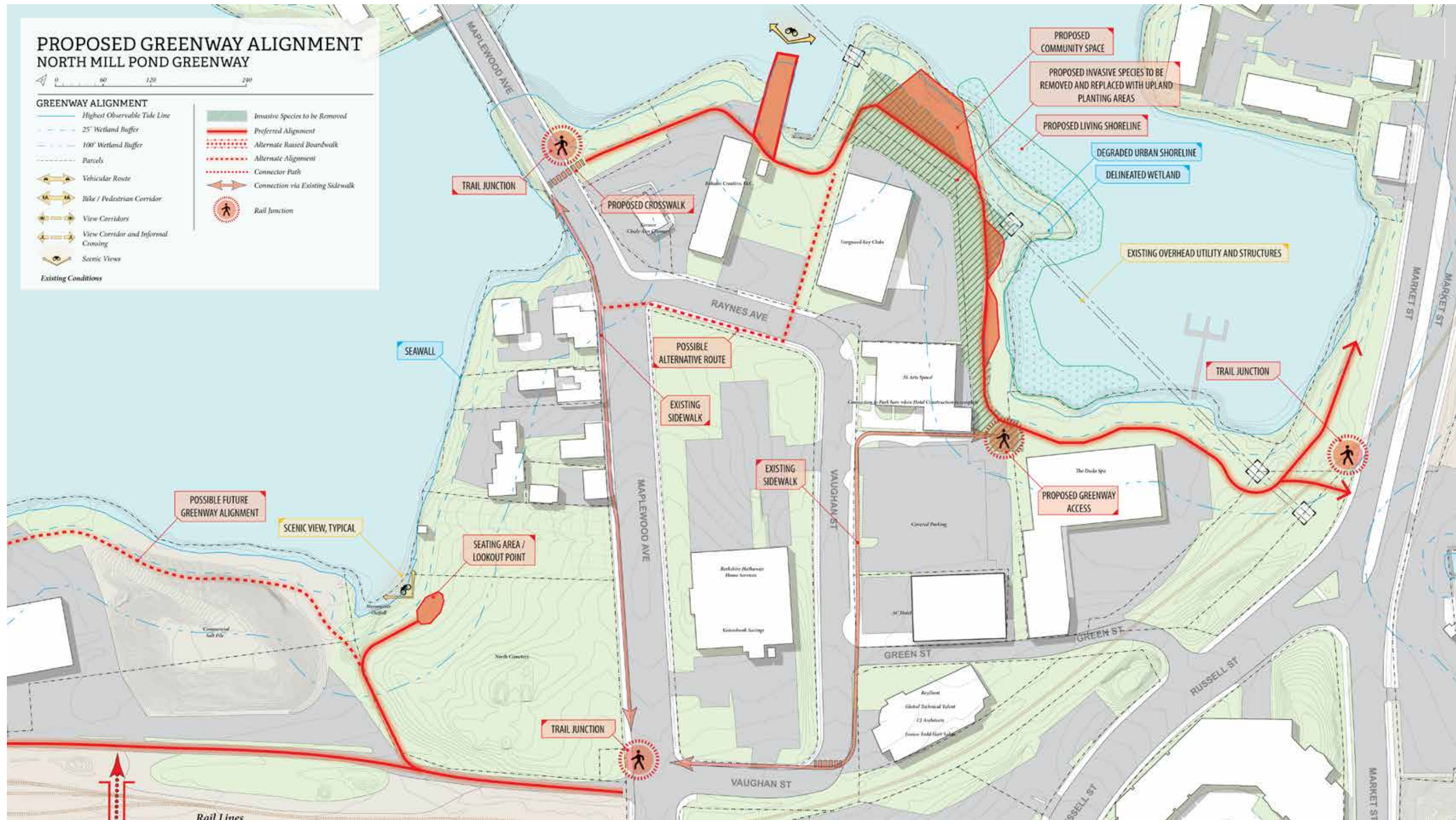
PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
10



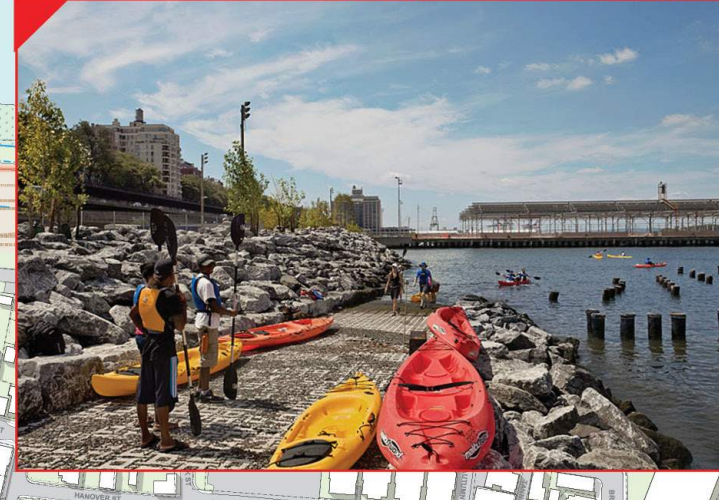
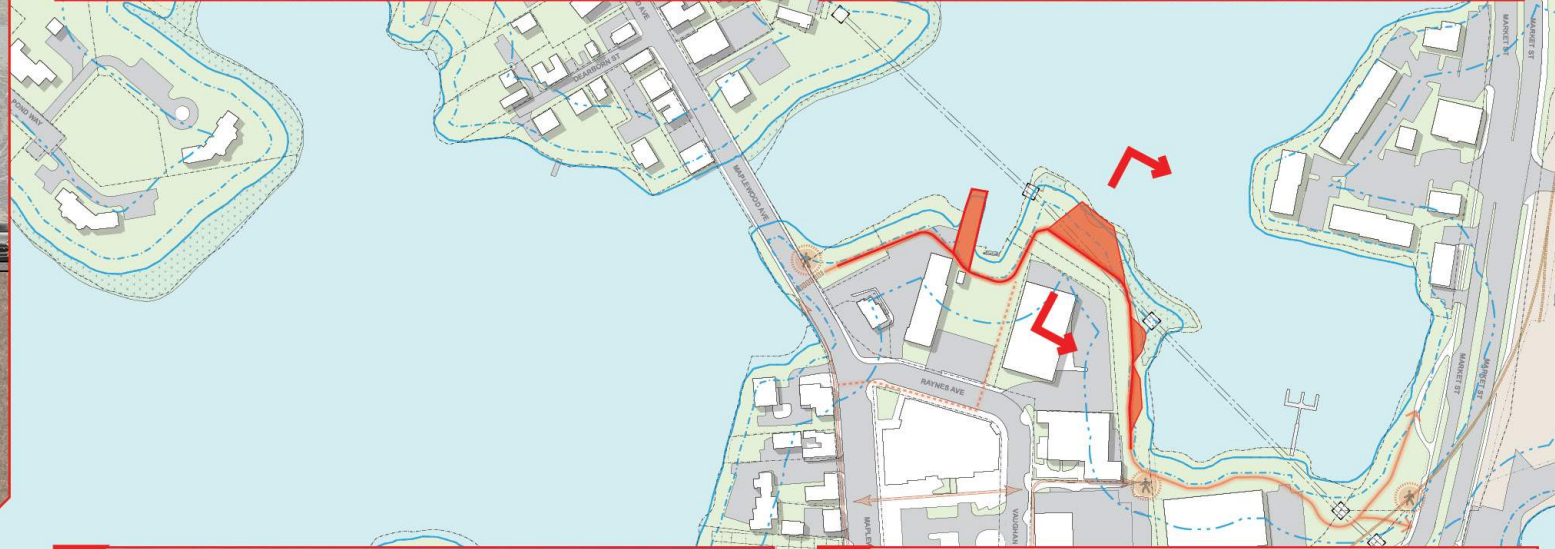
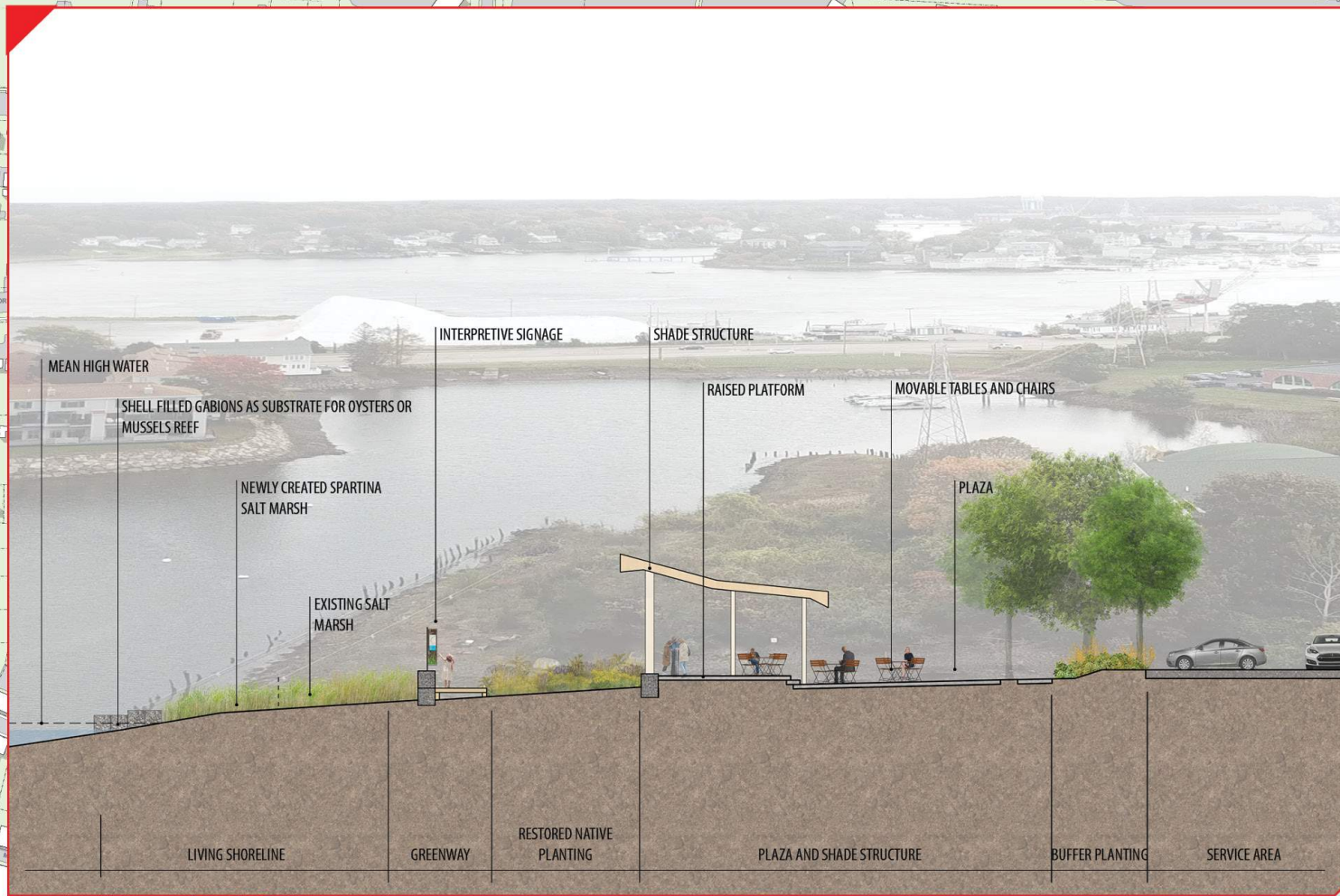
OVERALL CONCEPTUAL AREA 1 ENLARGEMENT

NORTH MILL POND COMMUNITY PARK AND GREENWAY TRAIL | 07/09/2020



COMMUNITY PARK: SECTIONS AND PRECEDENT IMAGES
NORTH MILL POND GREENWAY

0 60 120 240 480





RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
14



OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



AC HOTEL - 299 VAUGHAN STREET



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END -
NEIGHBORHOOD APPROVED PROJECTS
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
15



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM MARSH LANE PARK
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
16



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE BRIDGE
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
17



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM
MAPLEWOOD AVENUE
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
18



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RENDERING FROM THE CORNER OF
MAPLEWOOD & RAYNES AVENUE
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
19



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
20



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH END -
NEIGHBORHOOD DEVELOPMENT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
21

Master Plan and Zoning Ordinance Compliance

Our Plan complies with the City's Zoning Ordinance and requires no variances:

- Both hotel and multifamily uses are permitted by right in the CD4 district
- Building heights comply with height standards in the CD4 district and North End Incentive Overlay District
- Design complies with density and dimensional requirements of the CD4 district
- Consistent with recent development North End neighborhood
- Substantial reinvestment in four lots of presently underutilized buildings and land.





RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

BUILDING CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
23



OFFICE BUILDING CURRENTLY UNDER CONSTRUCTION - 145 MAPLEWOOD AVENUE



AC HOTEL - 299 VAUGHAN STREET



3S ARTSPACE - 319 VAUGHAN STREET



MIXED-USE LUXURY CONDOS AND OFFICES - 233 VAUGHAN STREET

Project Benefits to the Public Realm

1. Revitalizing the North End
2. Creation of the City's North Mill Pond Greenway and Park
3. Stewardship of Natural Resources



1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 1.1: Support The Continued Vitality Of The Urban Core Through Public Investment and Land Use Regulations.	✓
Action Item 1.1.1: Support reinvestment in underutilized buildings and land.	✓
Action Item 1.1.2: Enhance the quality and connectivity of pedestrian facilities.	✓
Action Item 1.1.3: Promote the creation of open spaces, seating areas and other outdoor amenities.	✓
Action Item 1.1.5: Encourage public access, use and enjoyment of the downtown waterfront.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 3.2: Accommodate The Housing Needs of Low and Moderate Income Residents	✓
<p>Action Item 3.2.2: Promote the development of mixed-income multifamily housing in appropriate locations with incentive zoning provisions; such a reduction in parking requirement and increased maximum heights</p>	✓
<p>Action Item 3.2.5: Encourage the creation of smaller housing units.</p>	✓
Goal 4.1: Ensure That transportation Improvements are designed to Create Convenient, Safe and Accessible Streets for all users.	✓
<p>Action Item 4.1.4: Complete implementation of citywide wayfinding program.</p>	✓
<p>Action Item 4.1.7: Incorporate 'green streets' sustainable stormwater strategies</p>	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 1.4: Improve Access To ... Outdoor Recreation Facilities Throughout The City	✓
Action Item 1.4.1: Enhance neighborhood parks, recreational facilities and playgrounds, and add new ones where appropriate.	✓
Action Item 1.4.3: Develop a consolidated recreation facility for residents of all ages and income levels.	✓
Action Item 1.4.4: Seek innovative partnerships for the development of recreational facilities where opportunities arise.	✓
Action Item 1.4.6: Create new public spaces that can be used for both recreation and flood-plain storage.	✓
Goal 2.3: Maintain and Establish Usable Public Access To and Along the Waterfront	✓
Action Item 2.3.2: Actively protect, enhance and acquire public waterfront access.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 4.2: Ensure That Biking and Walking are Safe, Convenient and Comfortable Throughout the City.	✓
<p>Action Item 4.2.1: Implement Bicycle and Pedestrian Plan priorities in the neighborhoods.</p>	✓
<p>Action Item 4.2.4: Identify and implement off-road multi-use paths along North Mill Pond and other transportation corridors.</p>	✓
Goal 4.3: Manage Public and Private Parking Supply to Serve Development Needs Without Compromising Community Character.	✓
<p>Action Item 4.3.4: Develop strategies for determining parking requirements for large projects, including parking study requirement, shared parking provisions and site coverage maximums.</p>	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 5.1: Implement Best Management Practices and Site Design Standards To Ensure Sustainability and Resilience of Public and Private infrastructure.	✓
Action Item 5.1.3: Adjust site design standards to include sustainable stormwater measures, increase on-site infiltration, improve water quality, and reduce downstream erosion, sedimentation, and flooding impacts.	✓
Goal 5.2: Manage Public Open Spaces for Passive Recreation and Environmental Preservation	✓
Action Item 5.2.1: Identify and prioritize undeveloped land for acquisition and preservation.	✓
Action Item 5.2.2: Pursue open space acquisitions that create wildlife corridors and ecological connections.	✓
Action Item 5.2.4: Create a passive recreational program focused on expansion and maintenance of recreational trails.	✓
Action Item 5.2.6: Develop wayfinding and environmental design consistency for all public open space parcels.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 5.3: Promote Effective Stewardship To Enhance The City’s Natural Resources.	✓
Action Item 5.3.1: Implement watershed restoration measures and plans to improve water quality and habitat values.	✓
Action Item 5.3.2: Protect and care for existing trees, native vegetation and woodlands, and identify areas for new plantings.	✓
Action Item 5.3.3: Evaluate health of wetlands and implement restoration measures where necessary.	✓
Action Item 5.4.7: Use sustainable design and construction rating systems such as LEED.	✓

1. Furthering the Goals of the Master Plan

Master Plan Goals	Our Plan
Goal 5.4: Promote Efficient Use and Management of Resources.	✓
Action Item 5.4.3: Strengthen site design standards to prioritize low impact stormwater treatment systems to protect water quality and habitat value	✓
Action Item 5.4.4: Promote use of low-emission and alternative energy vehicles through incentives, preferred parking, charging stations and other means.	✓
Action Item 5.4.6: Identify and protect wildlife habitat corridors through acquisition, easements, and other preservation methods.	✓
Action 5.4.7: Use sustainable design and construction rating systems such as LEED.	✓

Description: Steep wetland bank armored with riprap along the southern wetland edge just off Maplewood Avenue.

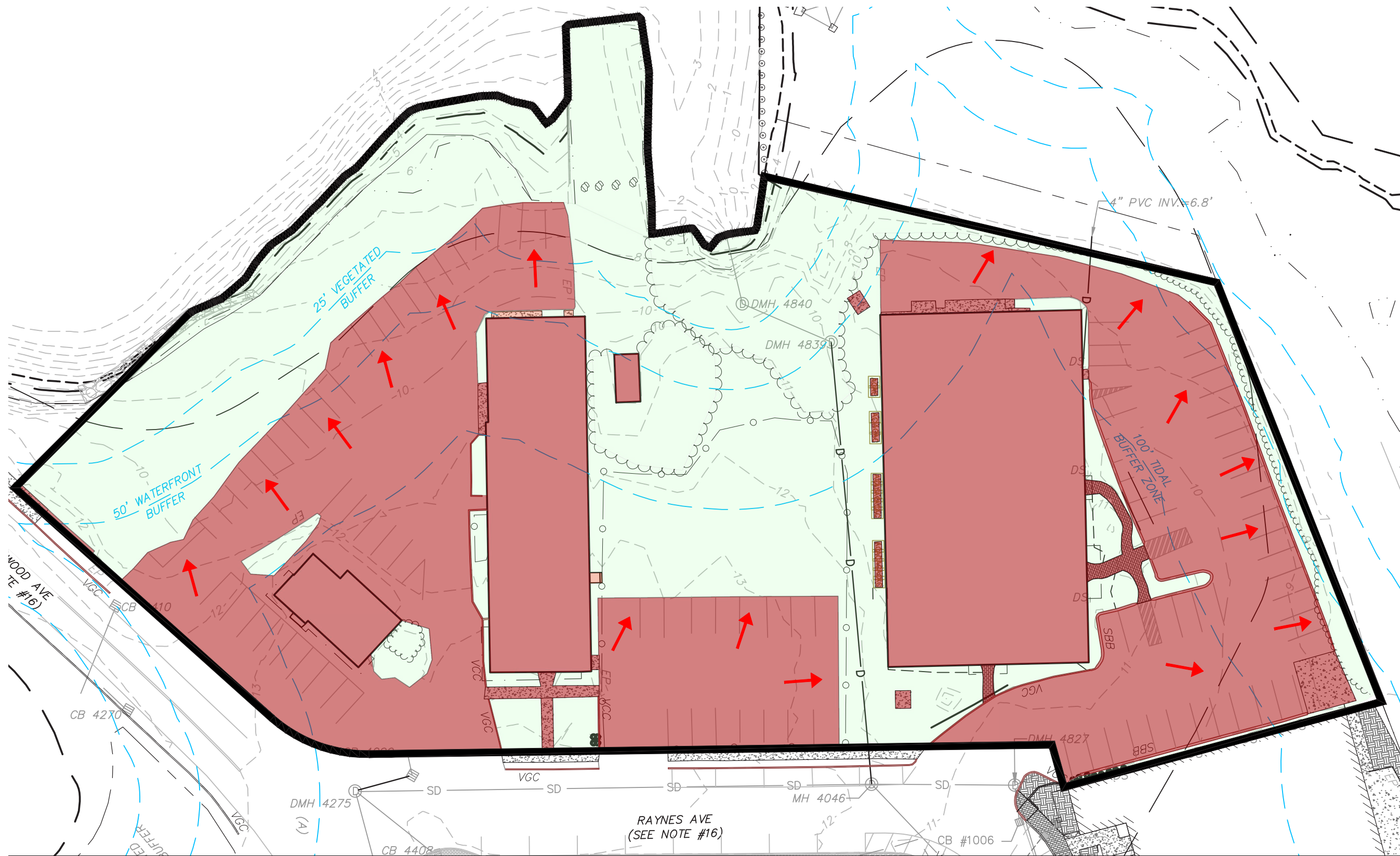


Description: Culvert outlet, steep bank, and filled pier along the northeast edge of 31 Raynes Avenue.



Description: Commercial buildings and parking lot in the tidal buffer viewed from near the wetland edge, with the 31 Raynes Avenue building to the left and 203 Maplewood building to the right.





LEGEND

PRE-DEVELOPMENT PERVIOUS AREA

PRE-DEVELOPMENT IMPERVIOUS AREA NOT TREATED

PRE-DEVELOPMENT IMPERVIOUS TREATMENT AREA

IMPERVIOUS TREATED	0.00%	0 SF
IMPERVIOUS NOT TREATED	100.00%	64,085 SF

EXISTING DRAINAGE AREA

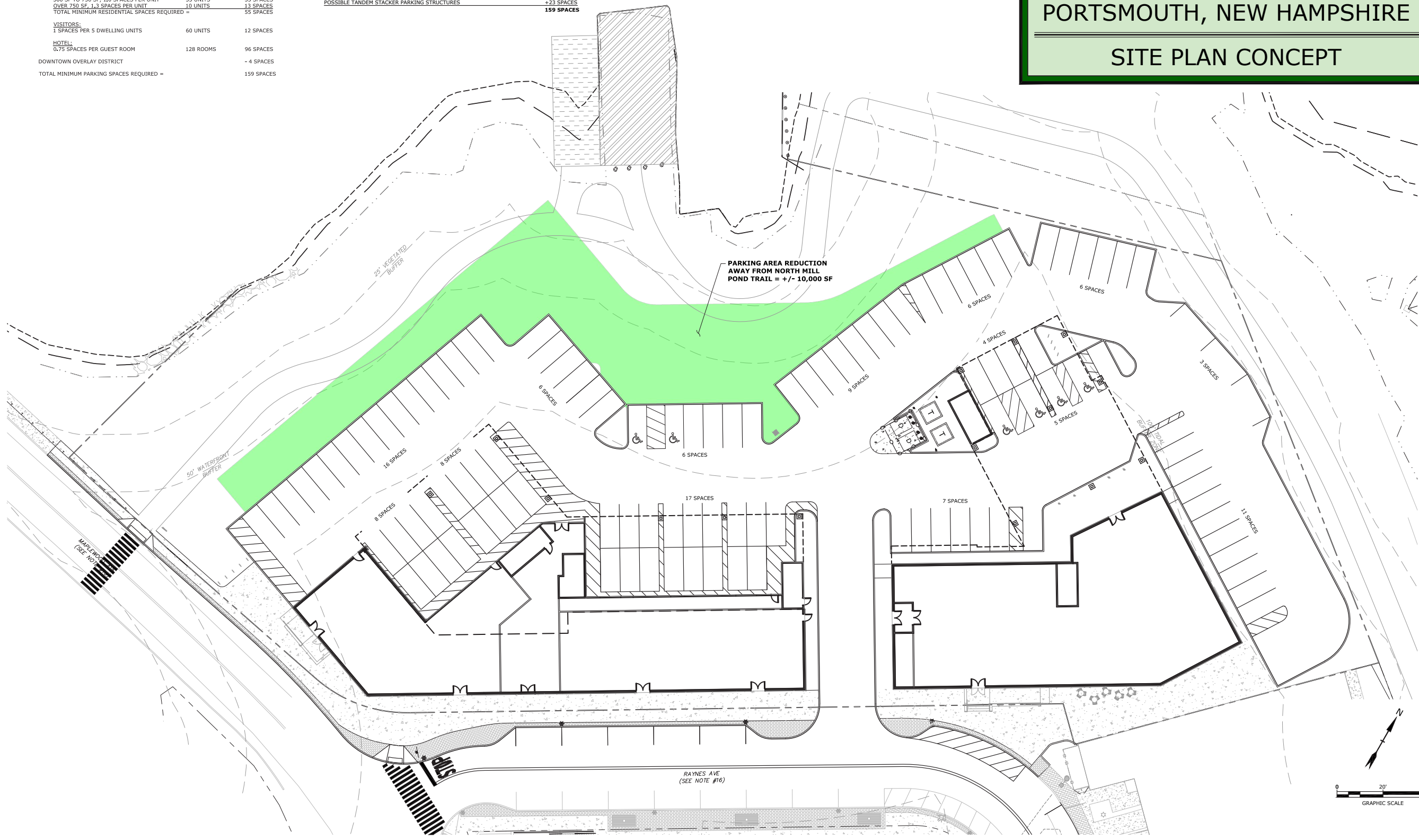
**PROPOSED MIXED USE
DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE**

SITE PLAN CONCEPT

OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:		
DWELLING UNITS:		
0 SF TO 500 SF, 0.5 SPACES PER UNIT	17 UNITS	8.5 SPACES
500 SF TO 750 SF, 1.0 SPACES PER UNIT	33 UNITS	33 SPACES
OVER 750 SF, 1.3 SPACES PER UNIT	10 UNITS	13 SPACES
TOTAL MINIMUM RESIDENTIAL SPACES REQUIRED =		
		55 SPACES
VISITORS:		
1 SPACES PER 5 DWELLING UNITS	60 UNITS	12 SPACES
HOTEL:		
0.75 SPACES PER GUEST ROOM	128 ROOMS	96 SPACES
DOWNTOWN OVERLAY DISTRICT		
		- 4 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		
		159 SPACES

PROPOSED PARKING:	
SURFACE PARKING PROVIDED	111 SPACES
PRIVATELY SHARED OFF-SITE PARKING	+25 SPACES
136 SPACES	
POSSIBLE TANDEM STACKER PARKING STRUCTURES	
	+23 SPACES
159 SPACES	



January 29, 2021
P-0595-007-C-DSGN.dwg

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

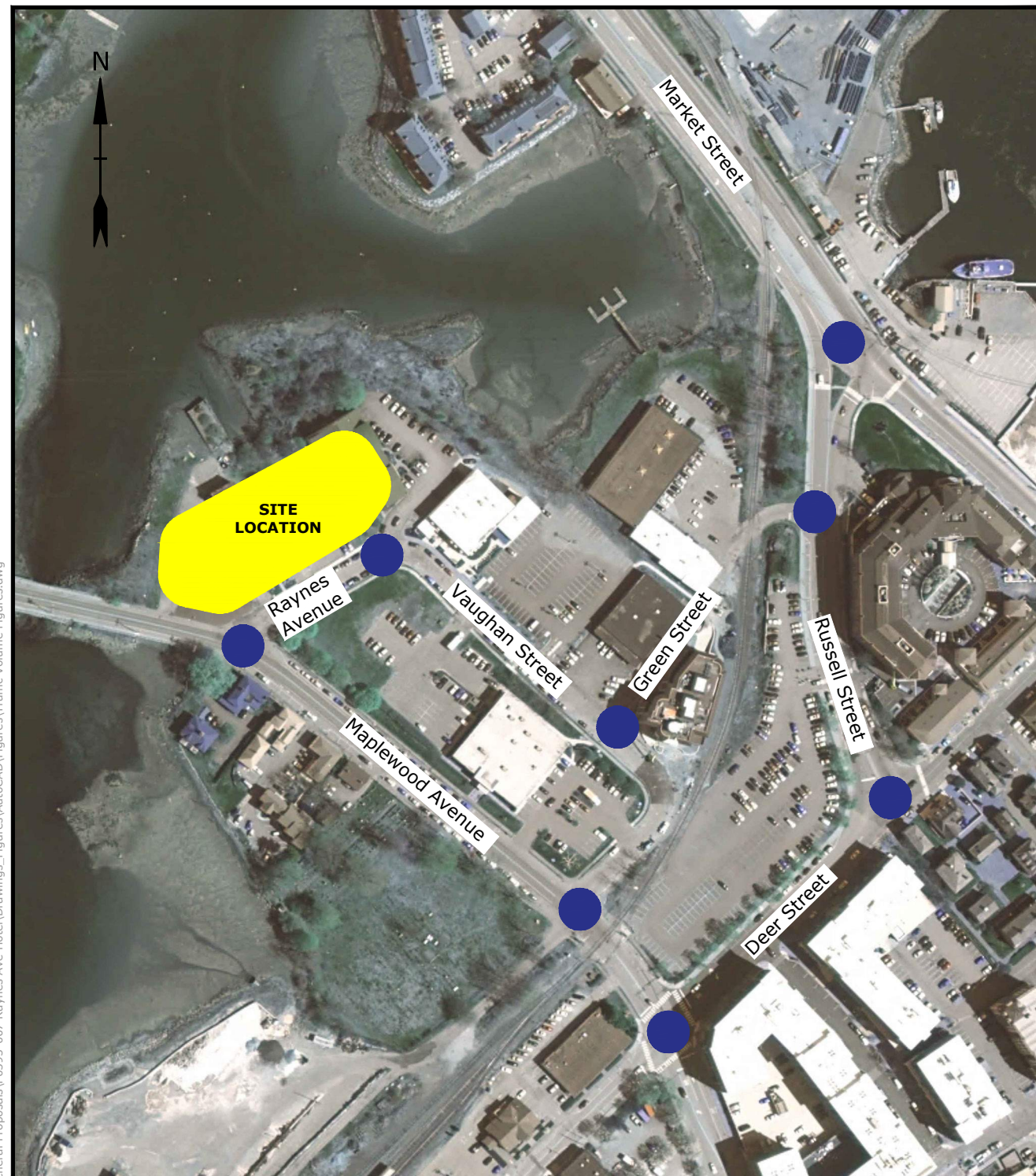
PROPOSED SITE PLAN
PLANNING BOARD PRESENTATION: MAR 25, 2021






CONNECT • CREATE • CONSTRUCT

**EXHIBIT
37**



Nov 24, 2020 3:37pm Plotted By: MStoutz
Tighe & Bond, Inc. J:\P\0595 Pro Con General Proposals\0595-007 Raynes Ave Hotel\Drawings_Figures\AutoCAD\Figures\Traffic_Volume Figures.dwg

<p>Legend</p> <p> Study Area Intersection</p>	<p>Proposed Hotel Raynes Avenue, Portsmouth, NH</p>
	<p>Study Area</p>
<p>DATE: 11/12/2020</p> <p>SCALE: 1" = 200'</p> <p>FIGURE 1</p>	<p>Tighe & Bond www.tighebond.com</p>

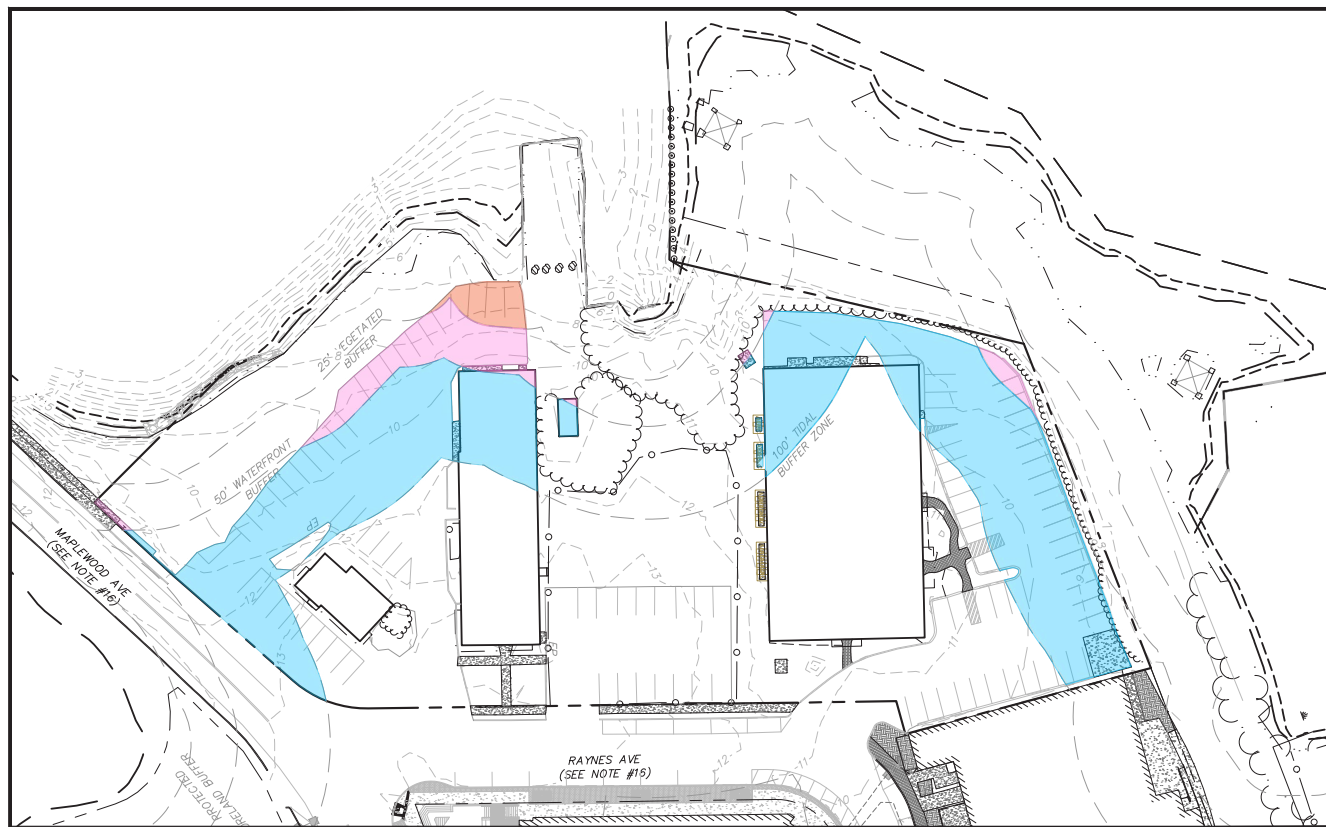
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

TRAFFIC STUDY
PLANNING BOARD PRESENTATION: MAR 25, 2021

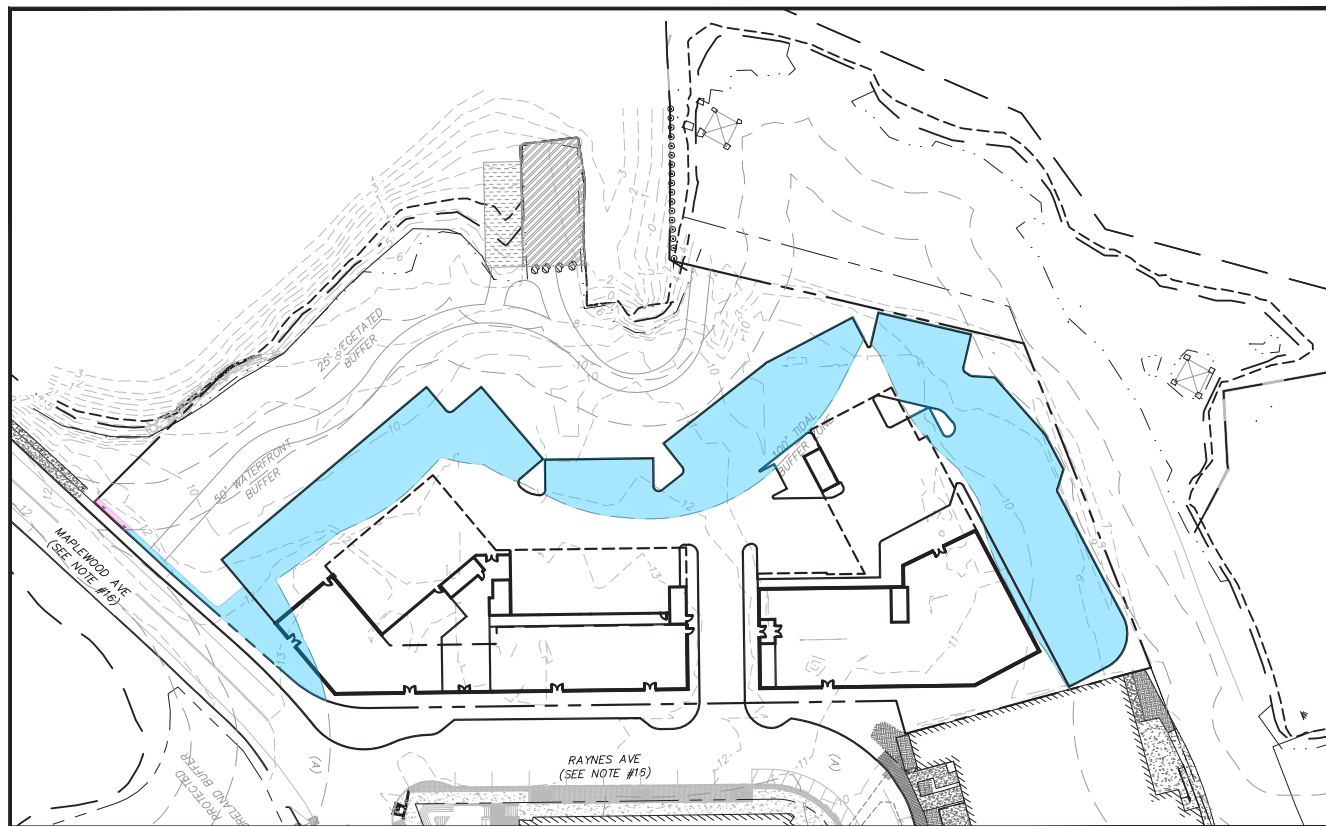


PROCON Tighe & Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
38



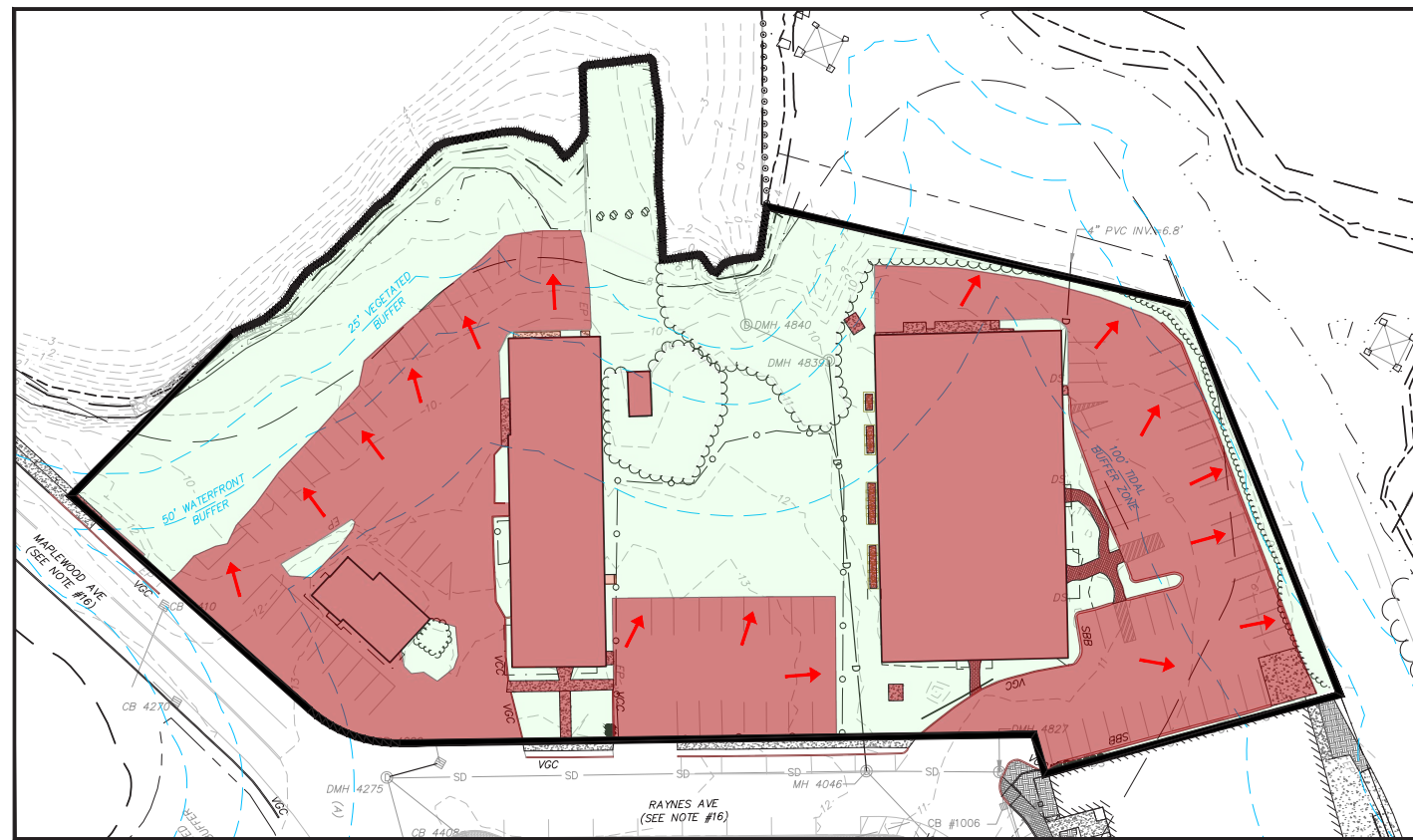
**EXISTING CONDITIONS
BUFFER IMPACTS**



**PROPOSED DEVELOPMENT
BUFFER IMPACTS**

Buffer Impact Area for Project			
Wetland Buffer Setback	Buffer Impact		
	Existing Condition	Previous TAC Work Session	Proposed Development
0 - 25 FT	848 SF	220 SF	0 SF
25 - 50 FT	3,006 SF	3,762 SF	67 SF (1)
50 - 100 FT	24,473 SF	28,411 SF	24,528 SF
Total Lot Impact	28,327 SF	32,393 SF	24,595 SF

(1) Existing City Sidewalk Area



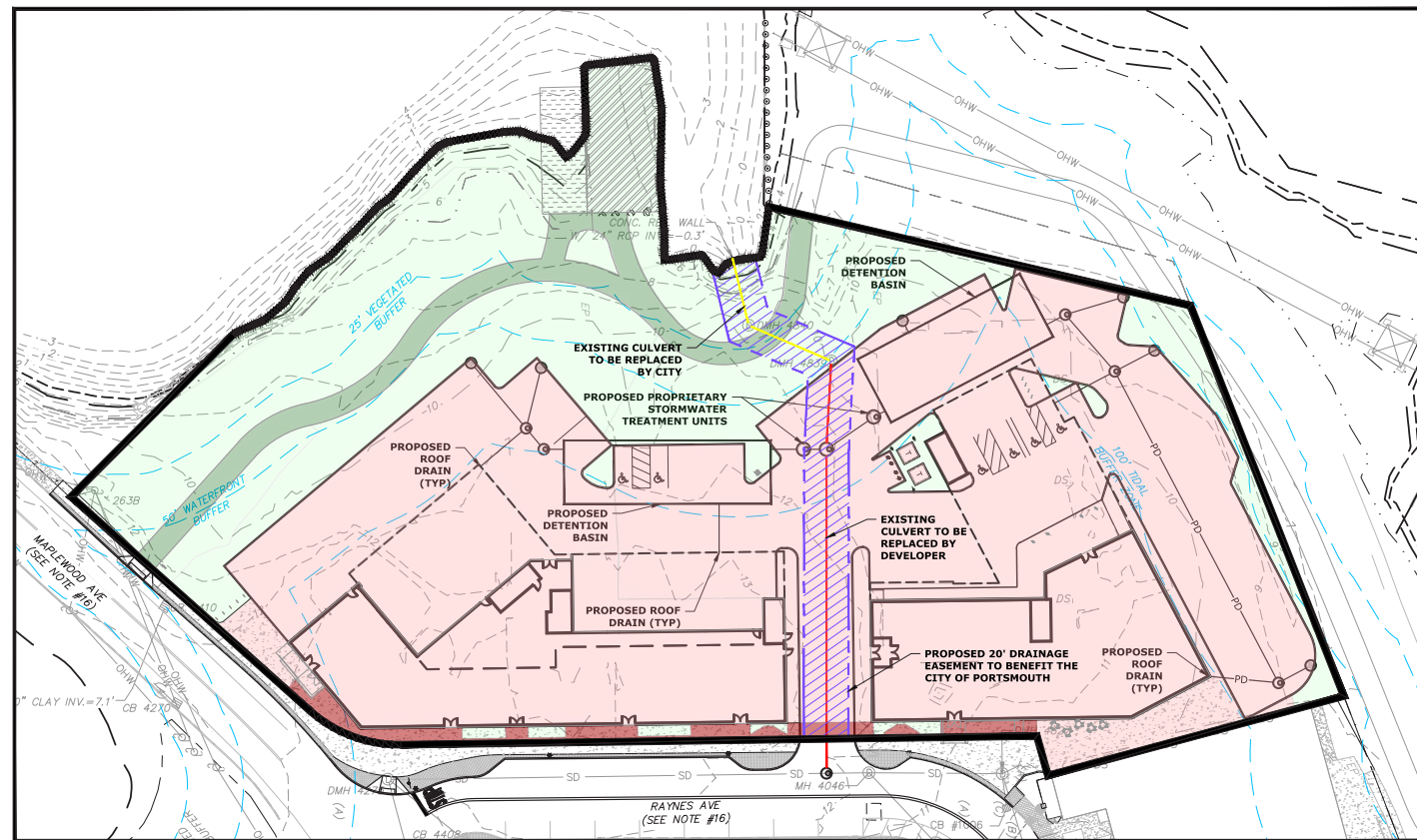
EXISTING DRAINAGE AREA

LEGEND

- PRE-DEVELOPMENT PERVIOUS AREA
- PRE-DEVELOPMENT IMPERVIOUS AREA NOT TREATED

PRE -DEVELOPMENT IMPERVIOUS TREATMENT AREA

IMPERVIOUS TREATED	0.00%	0 SF
IMPERVIOUS NOT TREATED	100.00%	64,085 SF



PROPOSED DRAINAGE AREA

LEGEND

- POST-DEVELOPMENT PERVIOUS AREA
- POST-DEVELOPMENT NORTH MILL POND MULTI-USE PATH
- POST-DEVELOPMENT IMPERVIOUS AREA TREATED
- POST-DEVELOPMENT IMPERVIOUS ARE NOT TREATED (WIDE CITY SIDEWALK)
- PROPOSED 20' DRAINAGE EASEMENT TO BENEFIT THE CITY OF PORTSMOUTH
- EXISTING CULVERT TO BE REPLACED BY DEVELOPER
- EXISTING CULVERT TO BE REPLACED BY CITY

POST -DEVELOPMENT IMPERVIOUS TREATMENT AREA

IMPERVIOUS TREATED	97.20%	69,072 SF
IMPERVIOUS NOT TREATED	2.80%	1,984 SF

MEAN HIGH WATER

OVERLOOK SEATING NICHE WITH FITNESS MULTIPURPOSE BENCH

RESTORATION SEED MIX

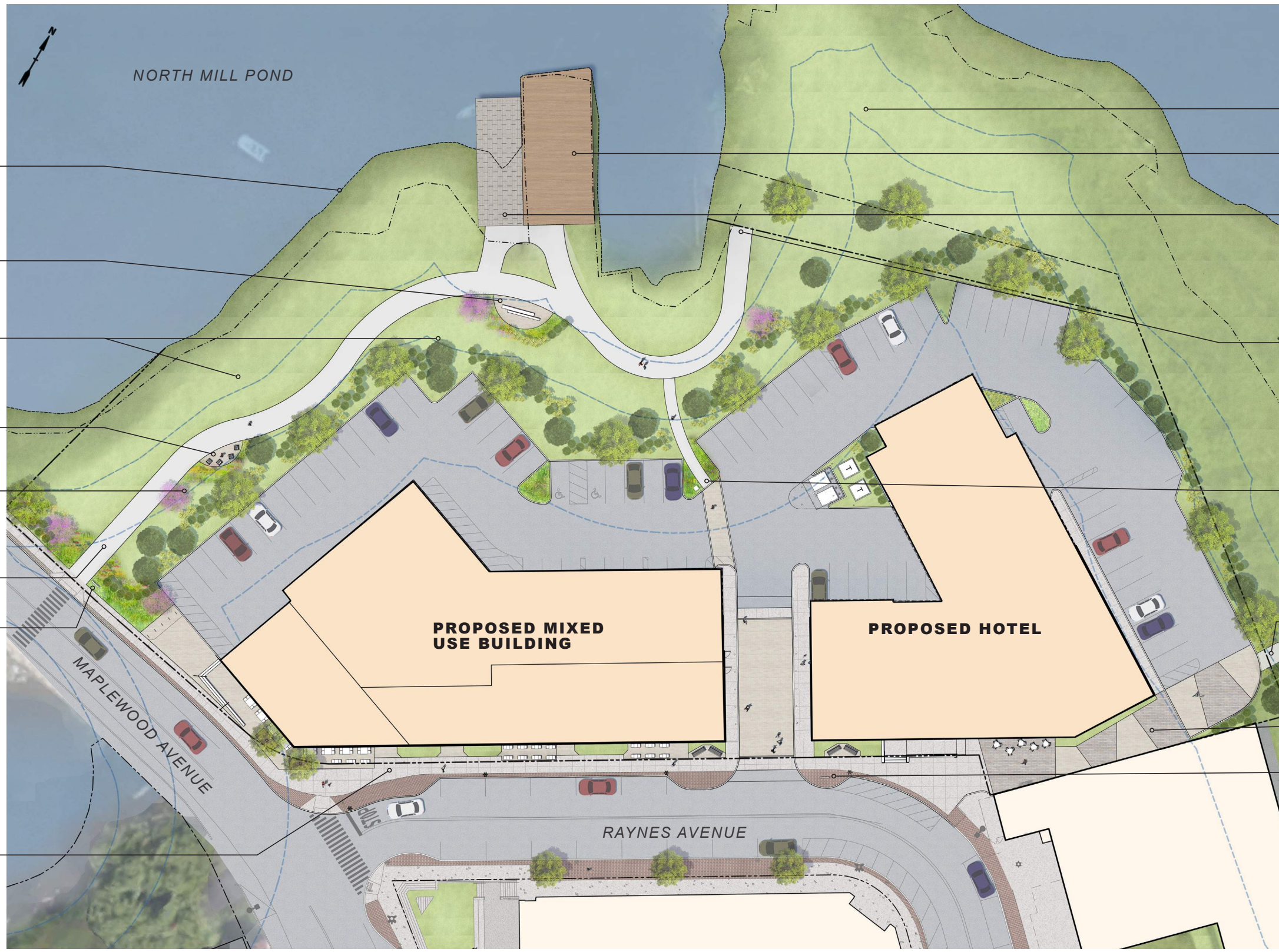
OVERLOOK SEATING NICHE WITH CHAIR BENCHES

50' WATER-FRONT BUFFER

NORTH MILL POND GREENWAY MULTI-USE PATH

WAYFINDING SIGNAGE

VIBRANT STREETSCAPE WITH RETAIL SPILL OUT ZONES, UNIT PAVERS, AND SEASONAL PLANTINGS



FUTURE GREENWAY COMMUNITY PARK

RECONSTRUCTED TIMBER PIER

CURRENT BOAT/KAYAK LAUNCH RAMP

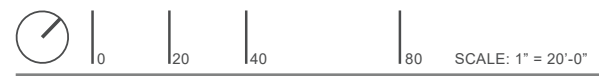
CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

NORTH MILL POND GREENWAY MULTI-USE PATH CONNECTION

CONNECTION TO FUTURE GREENWAY COMMUNITY PARK

VEHICULAR UNIT PAVER ALLEY FOR FLEXIBLE PROGRAM USE; FIRE EMERGENCY ACCESS

WAYFINDING SIGNAGE



SITE LANDSCAPE PLAN



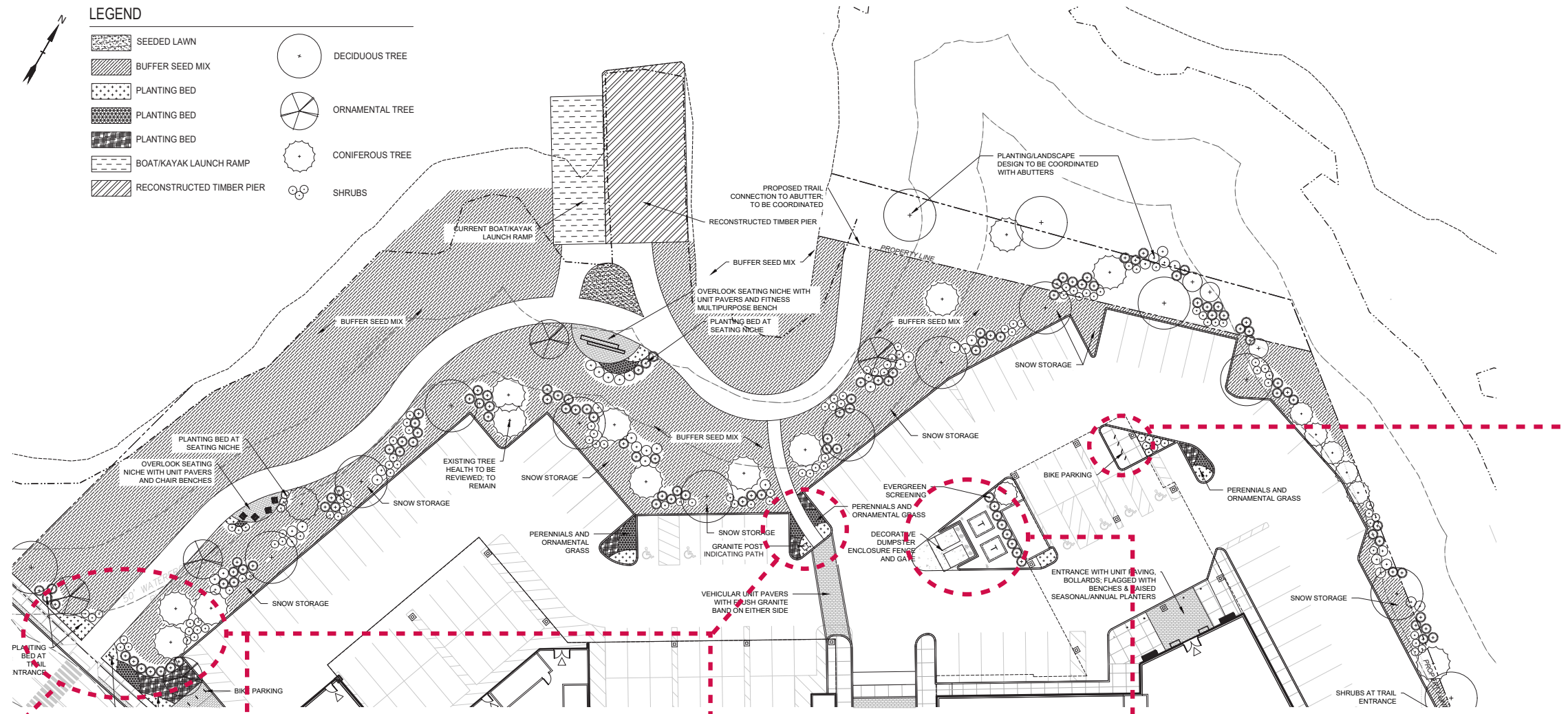
RAYNES AVE - PORTSMOUTH, NH
2/17/2021

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

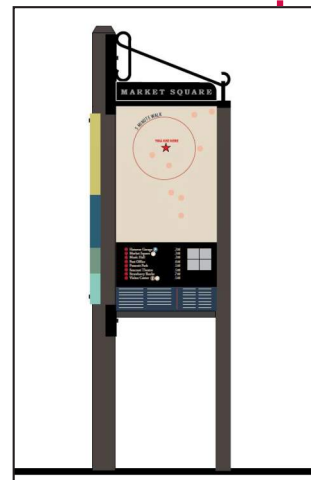
PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

XSS HOTELS  **PROCON Tighe&Bond**
CONNECT • CREATE • CONSTRUCT

EXHIBIT
41



PORTSMOUTH KIOSK 1



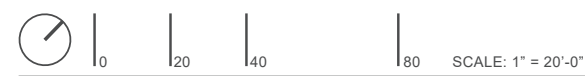
TRAIL ENTRANCE PLANTINGS



DUMPSTER ENCLOSURE



BIKE PARKING



RAYNES AVE - PORTSMOUTH, NH
1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY



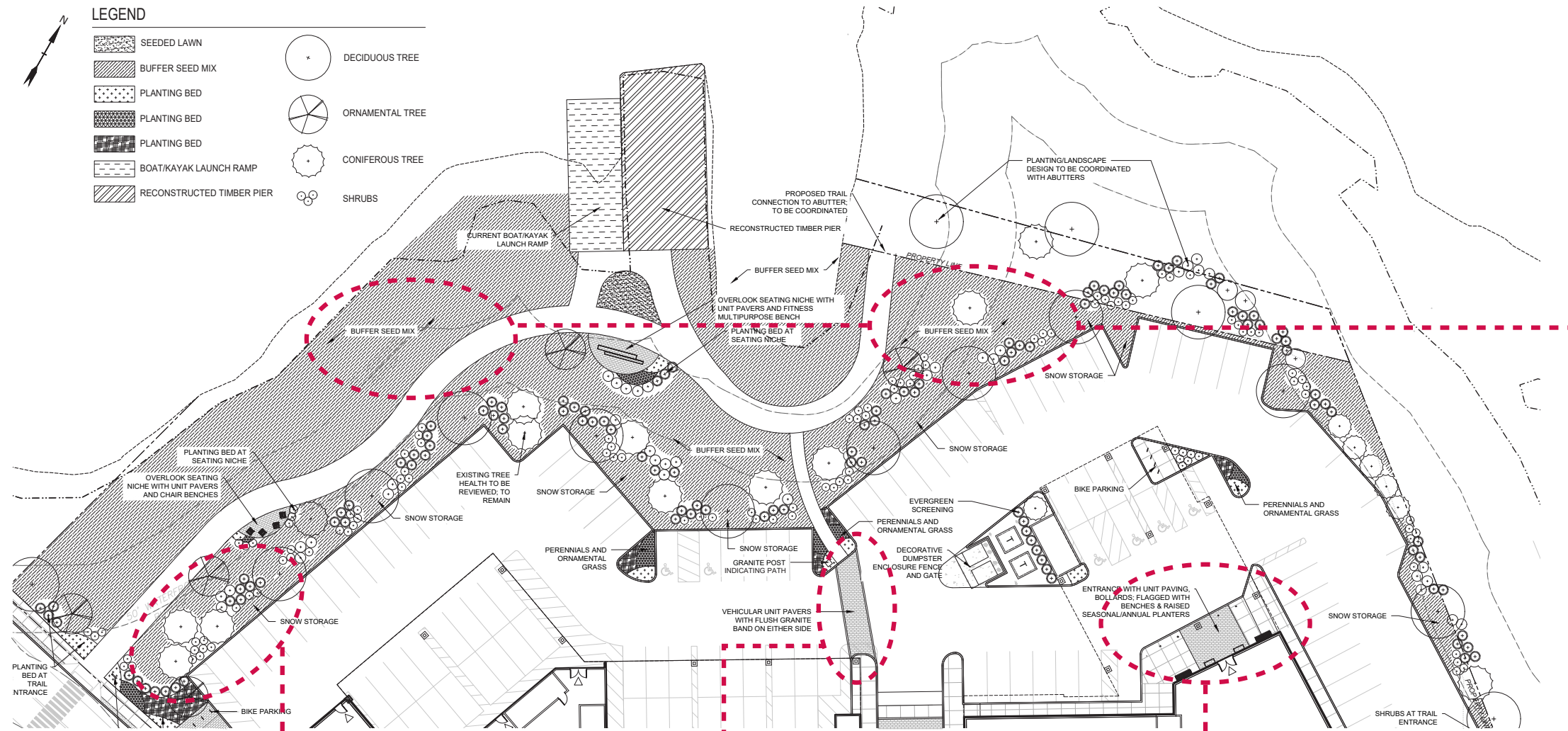
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021

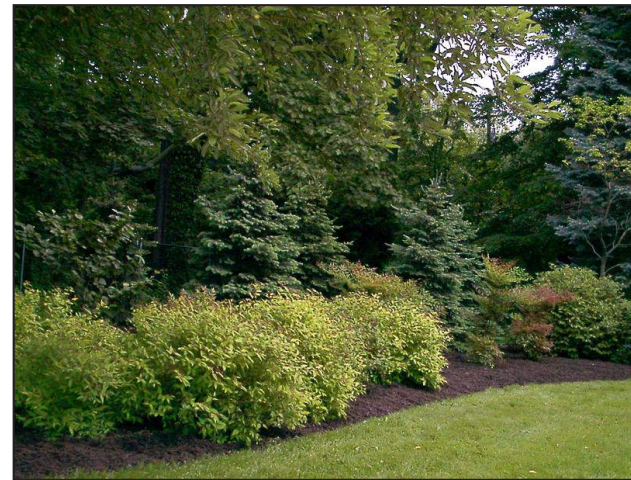


PROCON Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
42



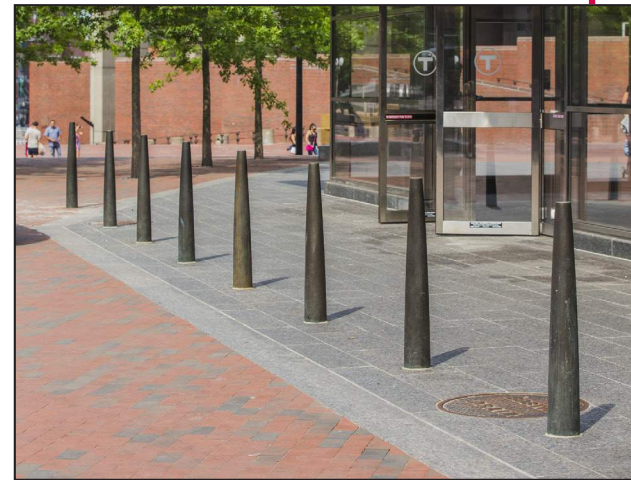
MIXED HEIGHT PARKING BUFFER



PEDESTRIAN CROSSING



HOTEL ENTRANCE



SEEDED BUFFER



RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

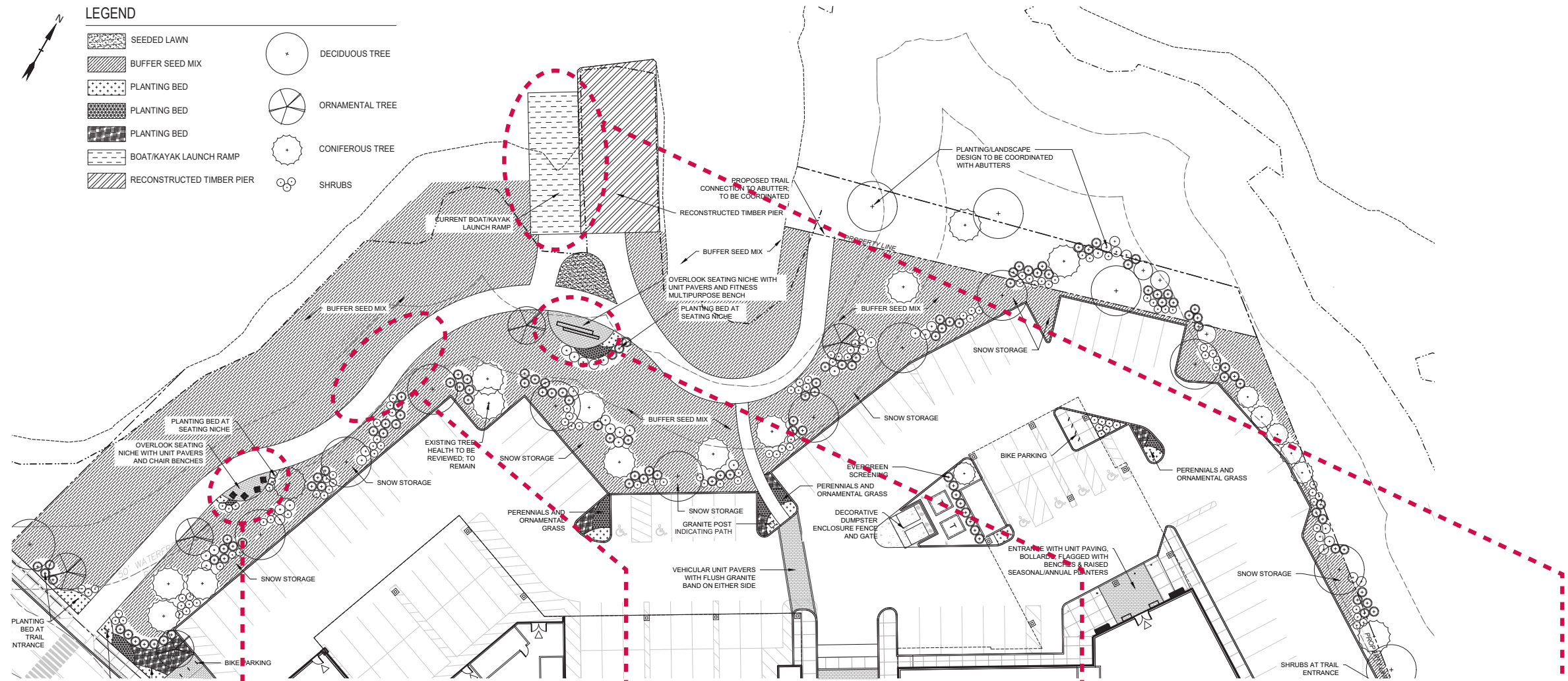
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
43



SEATING NICHE ONE



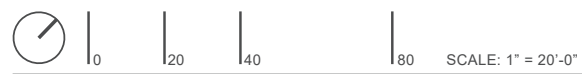
TRAIL



SEATING NICHE TWO



KAYAK BOAT LAUNCH



SCALE: 1" = 20'-0"

RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY



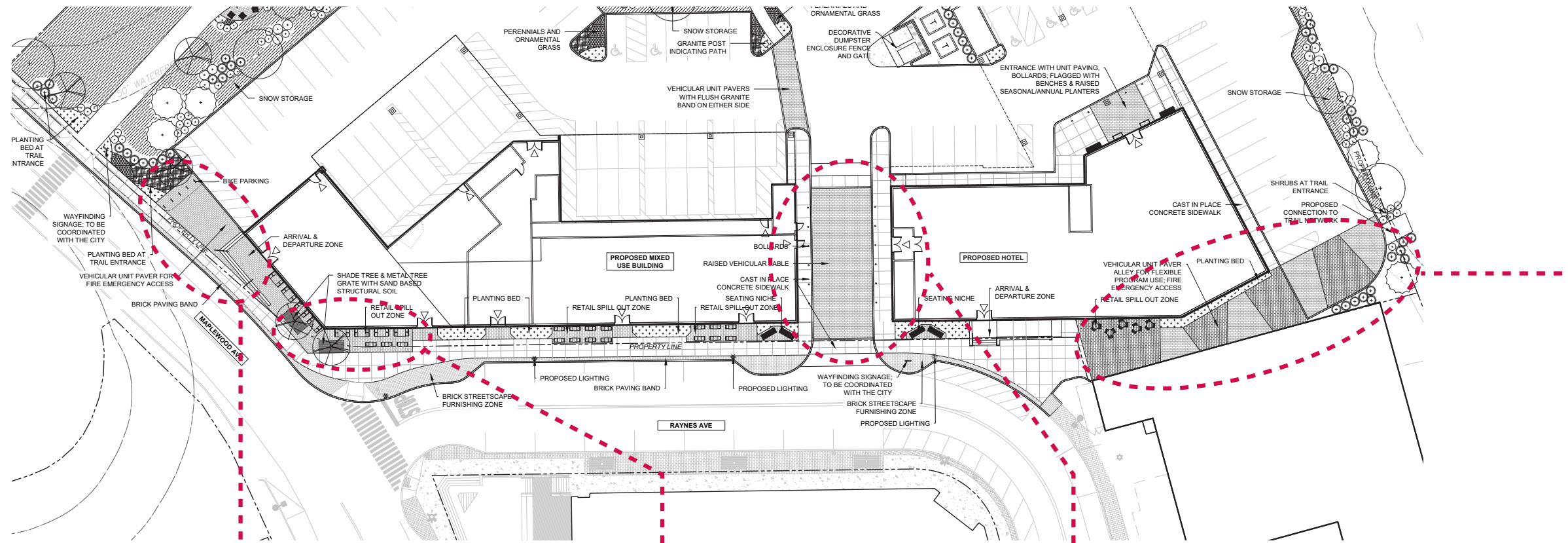
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
44



BRICK PAVING FIELD / CONCRETE SIDEWALK



RETAIL SPILL OUT AT CORNER



RAISED UNIT PAVER TABLE



ALTERNATING PAVING PATTERN



RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

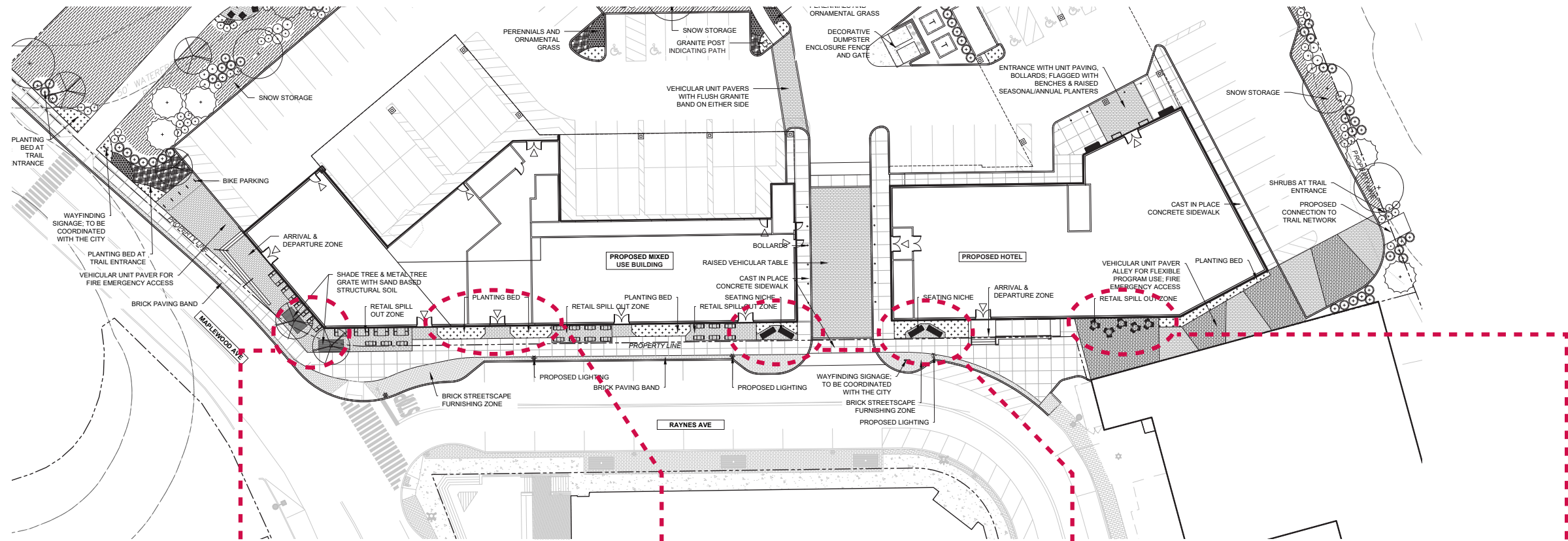
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
45



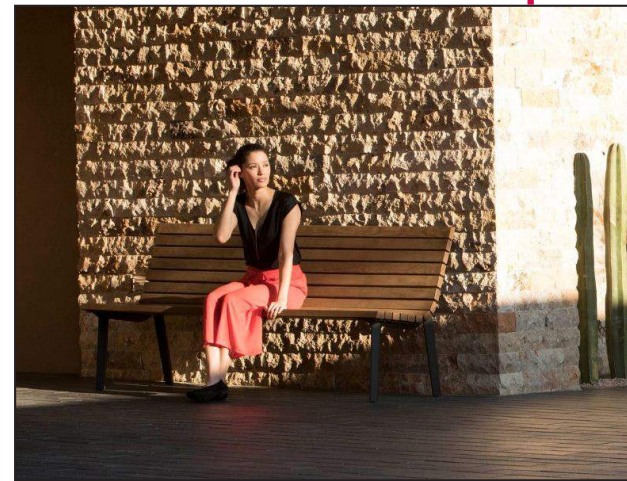
TREE GRATE



PLANTING BED AT LOBBY



SEATING NICHE



MOVABLE CAFE TABLES/CHAIRS



RAYNES AVE - PORTSMOUTH, NH

1/29/2021

SITE LANDSCAPE PRECEDENT IMAGERY

Tighe&Bond

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED LANDSCAPE CONCEPT
PLANNING BOARD PRESENTATION: MAR 25, 2021



PROCON Tighe&Bond
CONNECT • CREATE • CONSTRUCT

EXHIBIT
46

Description: Shrubby vegetation in the tidal buffer at the northeast corner of 31 Raynes Avenue.



EXISTING SHORELINE BUFFER



PROPOSED SHORELINE BUFFER PRECEDENT