

March 28, 2024

Re: 1 Rockaway Street ZBA Application

Dear Chairperson and Board Members,

My client and homeowner Torben Arend at 1 Rockaway Street is seeking your approval for a front setback relief to allow for a mudroom addition and front covered porch to his home.

The existing structure is a single-family residence with approximately 2,950 s.f. of living space within a cape style home with a one car attached garage. The lot is approximately .72 acres (31,363 s.f.) in the Single Residence B (SRB) zoning district. The existing structure conforms with all current zoning dimensional requirements for the SRB district.

The new 6-foot addition on the front of the existing house would create a new proposed front setback of 24 feet where 30 feet is required. Currently there is no mudroom or front entry area and as you can imagine in older cape homes the front door is typically right in front of the stairs to the second floor making it very crowded to navigate around. The new mudroom is only 6 feet deep by 9 feet – 6 inches wide and will allow a much more comfortable transition of an entry space into the home. The remainder of the 6-foot front addition will be an open covered porch to keep the style and feel of the cape house intact as well as providing relief from weather upon entering the home. The structure will also remain a single-family residence.

We feel the variance will not be contrary to the public interest because the design and style is harmonious with the current house and looks as though it belongs naturally from the beginning. The house is also on the end of a dead-end street with very minimal traffic.

The spirit of the ordinance will be observed in that all of the neighboring homes are also 20 feet or less from their front property line so it will fit in with the rest of the neighborhood.

We also believe this is why substantial justice will be done and the values of surrounding properties will not be diminished if this application is approved because all of the surrounding properties are similar in scale and depth to the street or are even closer than 24 feet and this new addition will therefore fit in seamlessly with the neighborhood and not be more detrimental.

Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship in that the new entryway provides a much easier way to navigate through the front entry of the home as well as a closer travel distance from the street, especially as the homeowner plans to age in place. A small ramp could also be added to the side of the covered porch in the future to allow easier accessibility to the home. Also, again, we feel it would only be fair for the homeowner to have the same rights as his neighbors to have his structure closer to the street.

We appreciate your time and consideration for this application.

Sincerely,

Chris Crump
CWC Design LLC
978-397-3233
chris@cwc-design.com

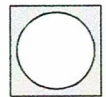
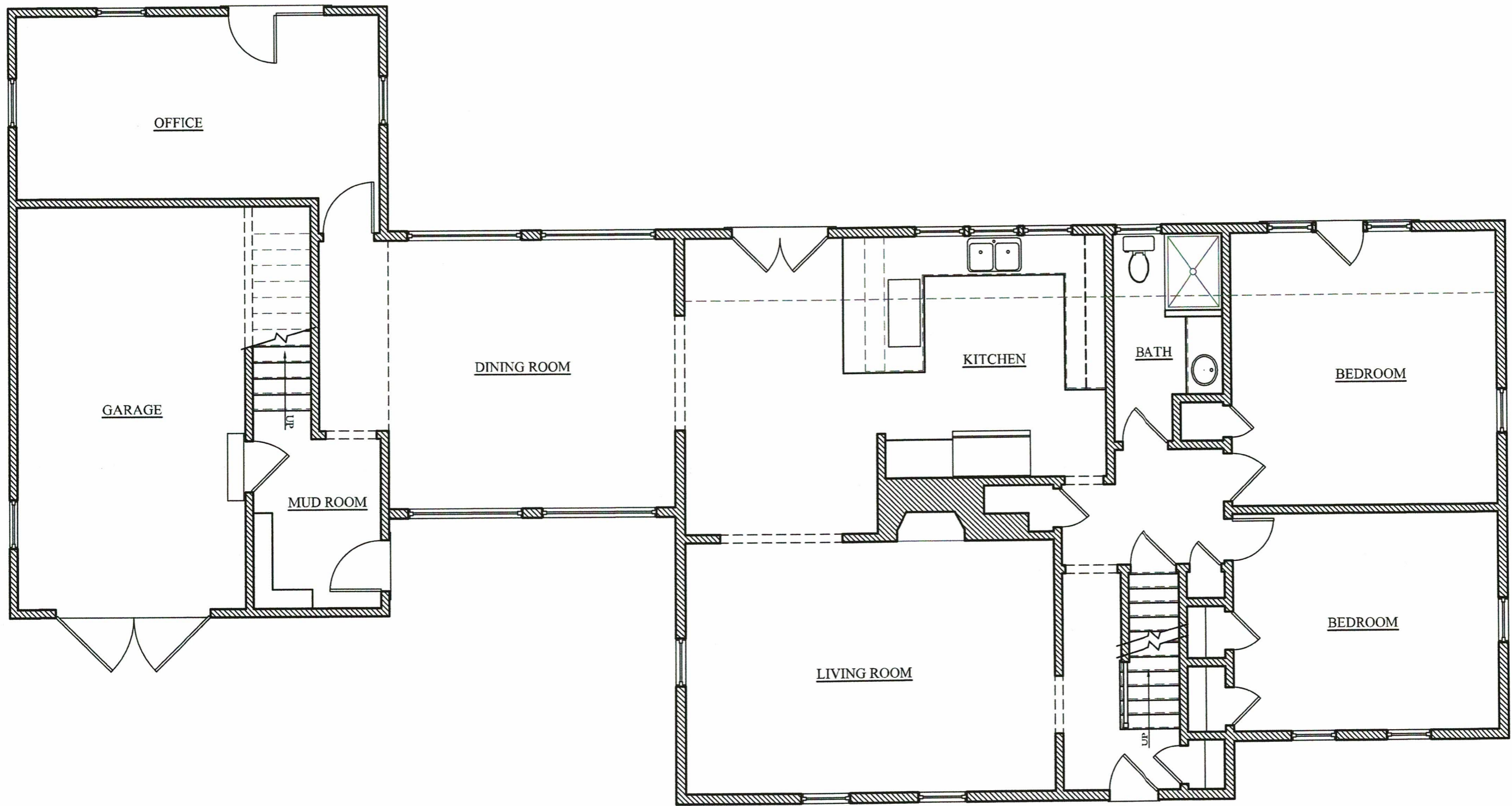
The Arend Residence

1 Rockaway Street
Portsmouth, NH

Design Set
February 14, 2024

CW Design LLC

19 Inn Street
Newburyport, MA 01950 (978) 397 - 3233
www.cwc-design.com



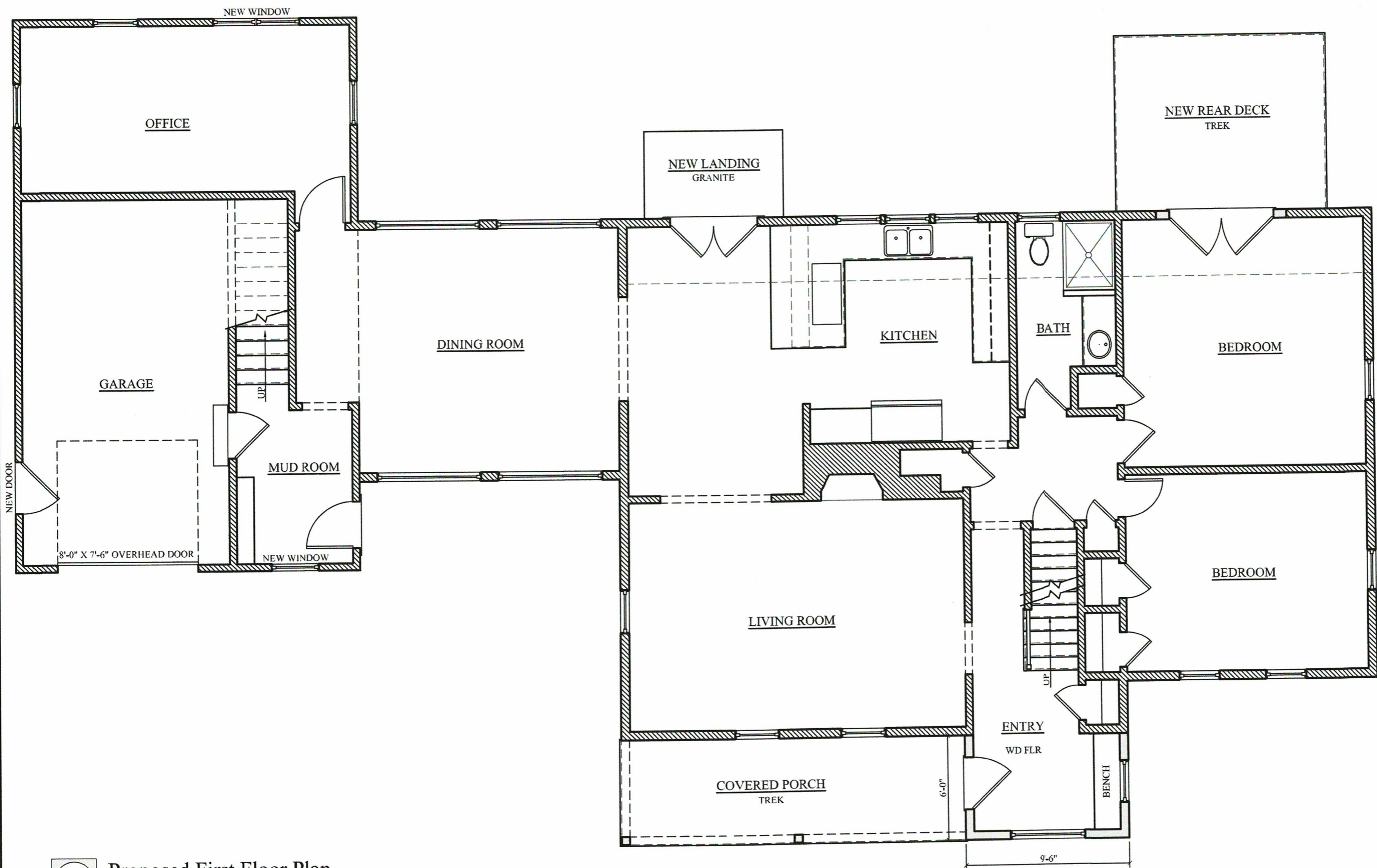
Existing First Floor Plan
 3/16" = 1'-0"

CWC Design LLC
 19 Inn Street
 Newburyport, MA 01950 (978) 397 - 3233
 www.cwc-design.com

The Arend Residence
 1 Rockaway Street
 Portsmouth, NH

DATE: 4-28-23
 REV:
 REV:
 REV:

EX-1.1



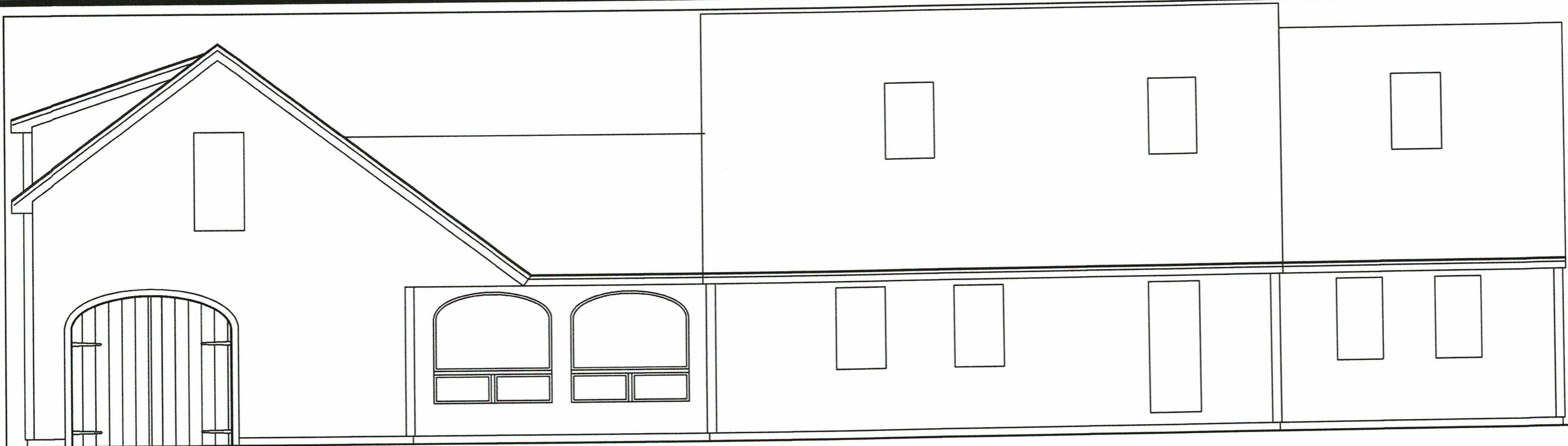
 **Proposed First Floor Plan**
3/16" = 1'-0"

CWC Design
 19 Inn Street
 Newburyport, MA 01950 (978) 397 - 3233
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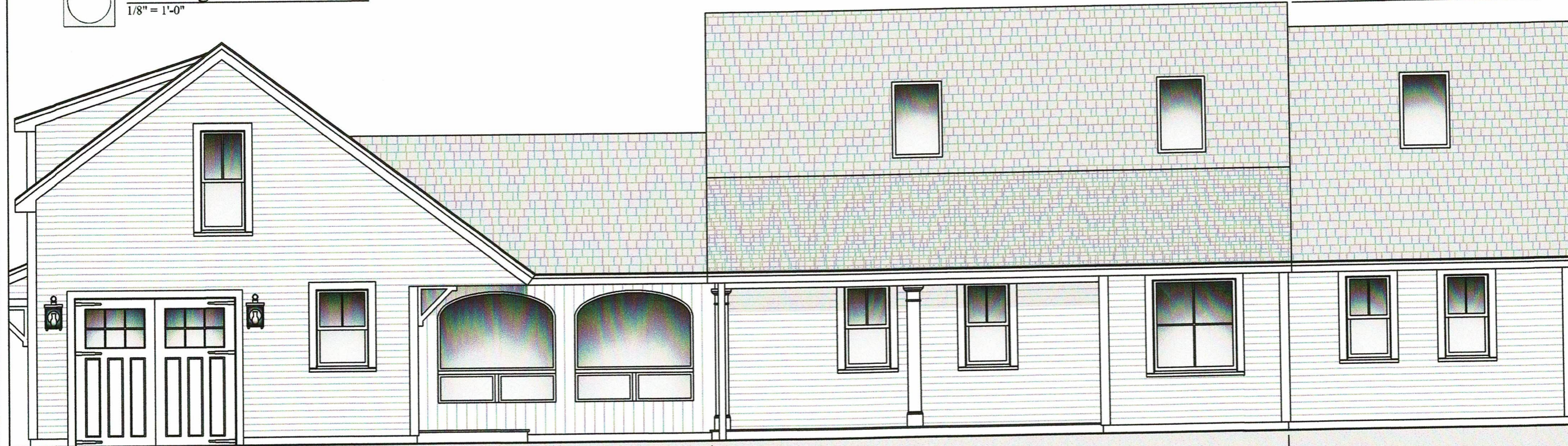
The Arend Residence
 1 Rockaway Street
 Portsmouth, NH

DATE: 4-28-23
 REV: 2-1-24
 REV: 2-14-24
 REV:

A-1.1



Existing Front Elevation
1/8" = 1'-0"



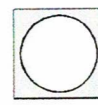
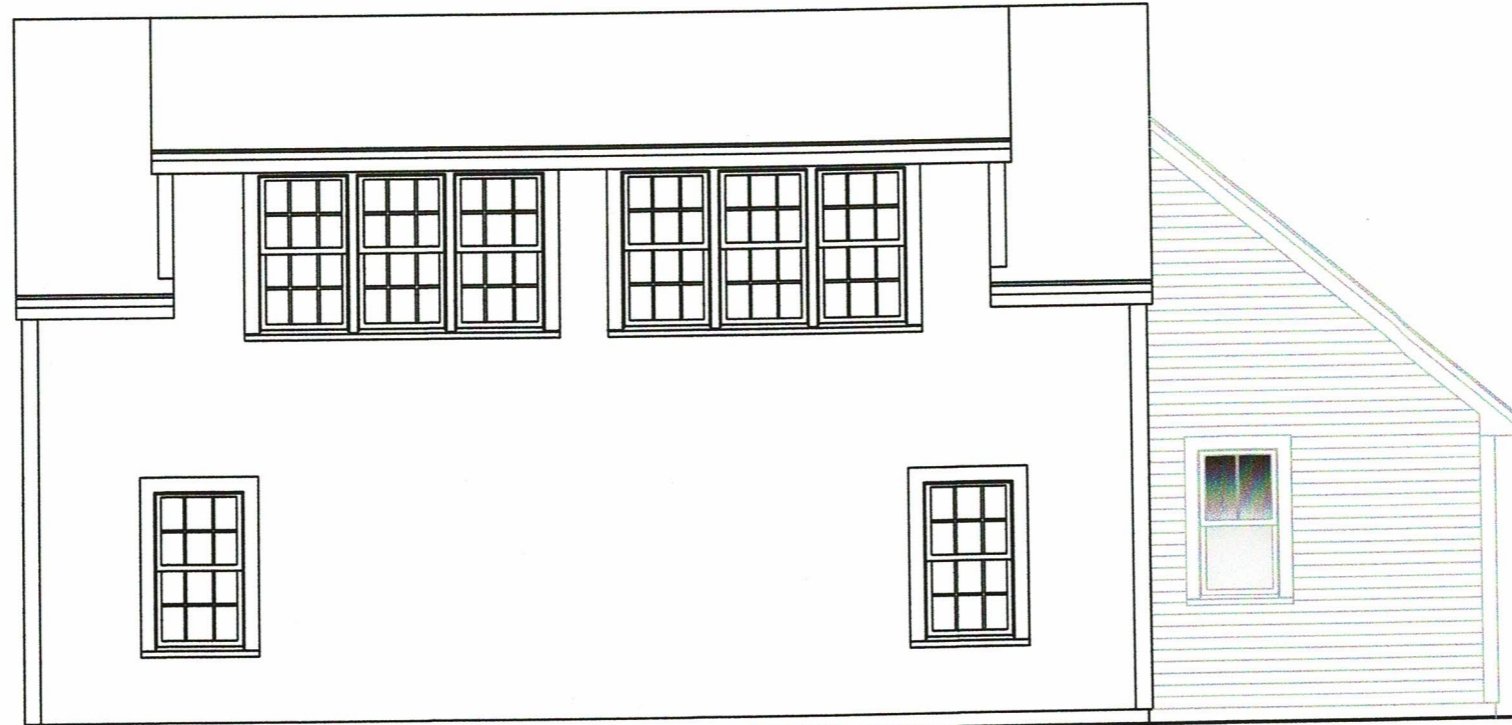
Proposed Front Elevation
1/8" = 1'-0"

CWC Design
 19 Inn Street
 Newburyport, MA 01950 (978) 397 - 3233
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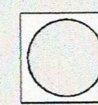
The Arend Residence
 1 Rockaway Street
 Portsmouth, NH

DATE: 4-28-23
 REV: 2-1-24
 REV: 2-14-24
 REV:

A-2.0

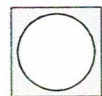
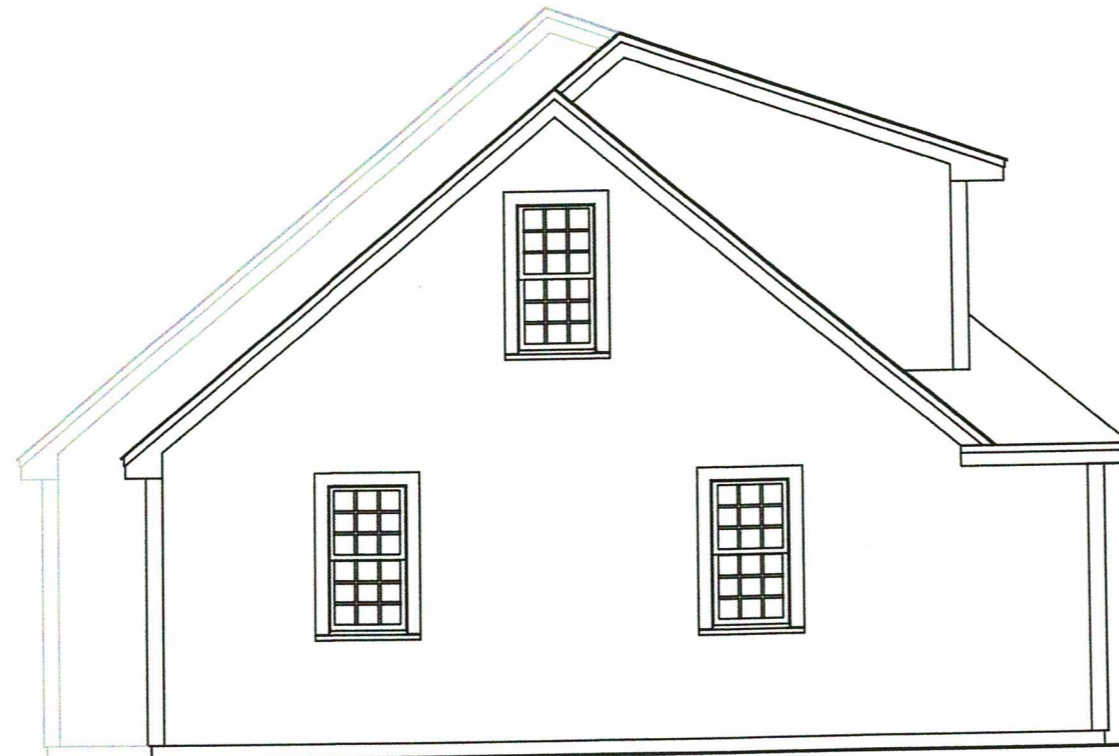


Existing Left Elevation
3/16" = 1'-0"



Proposed Left Elevation
3/16" = 1'-0"

NEW ADDITION



Existing Right Elevation
3/16" = 1'-0"



Proposed Right Elevation
3/16" = 1'-0"

CWC Design
19 Inn Street
Newburyport, MA 01950 (978) 397-3233
www.cwc-design.com

The Arend Residence
1 Rockaway Street
Portsmouth, NH

DATE: 2-1-24
REV: 2-14-24
REV:
REV:

A-2.2

MAP R-30 LOT 17
N/F
ELVIRA E. ROWE
14 E. GROVE ST.
RRINGTON, N.H. 03835

LOT 18
M. CYR
562
IH 03801
9

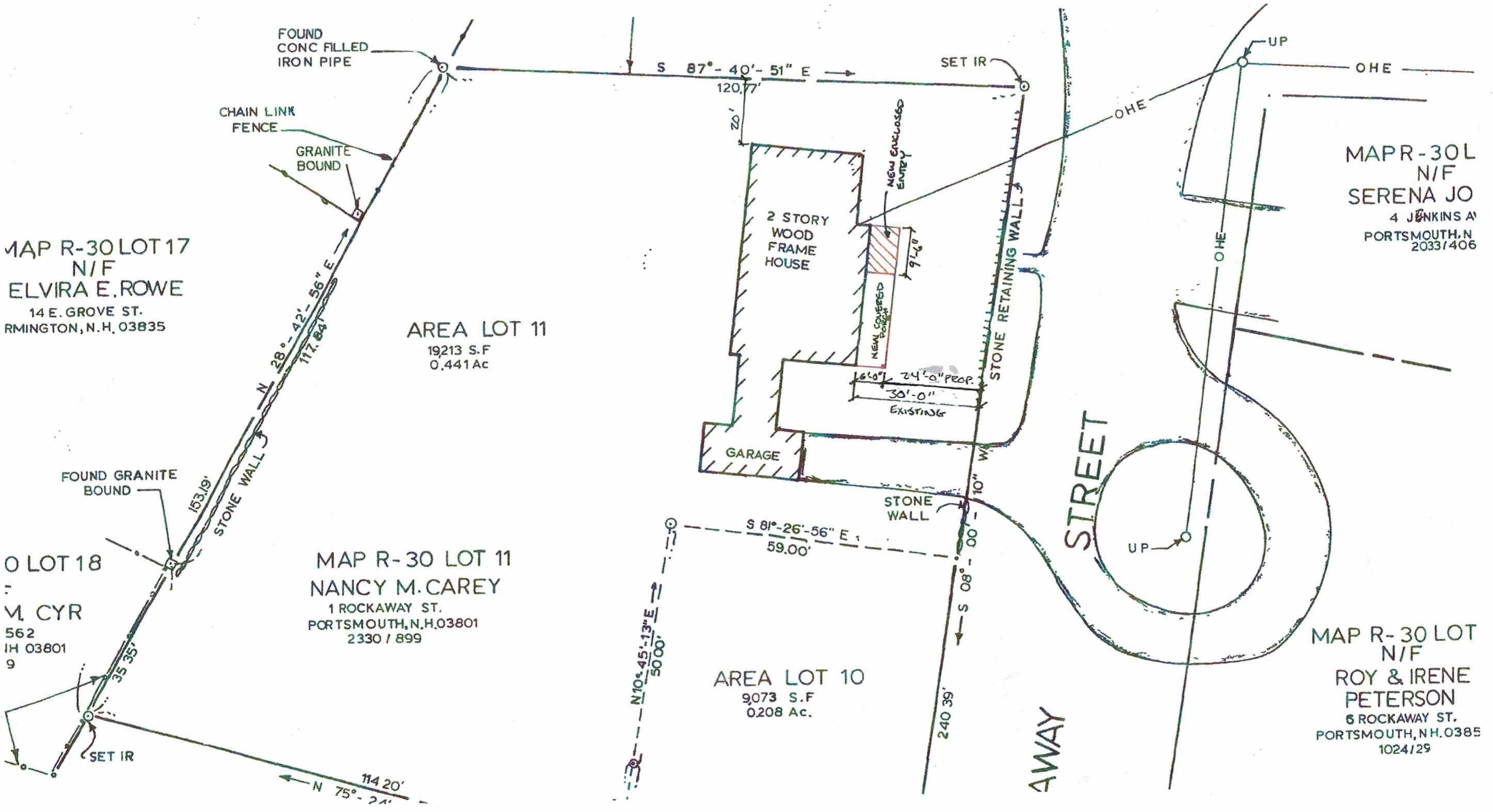
MAP R-30 LOT 11
NANCY M. CAREY
1 ROCKAWAY ST.
PORTSMOUTH, N.H. 03801
2330 / 899

AREA LOT 11
19213 S.F
0.441 Ac

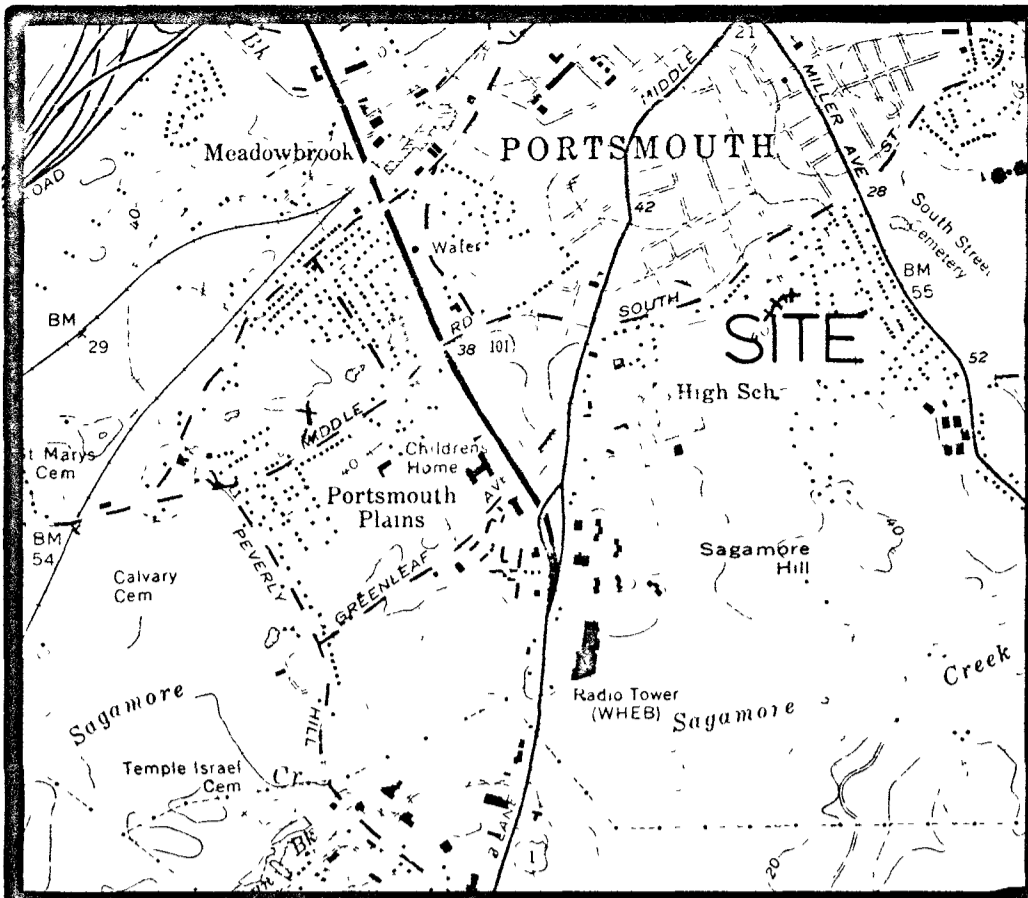
AREA LOT 10
9073 S.F
0.208 Ac.

MAP R-30L
N/F
SERENA JO
4 JENKINS A
PORTSMOUTH, N.
2033/406

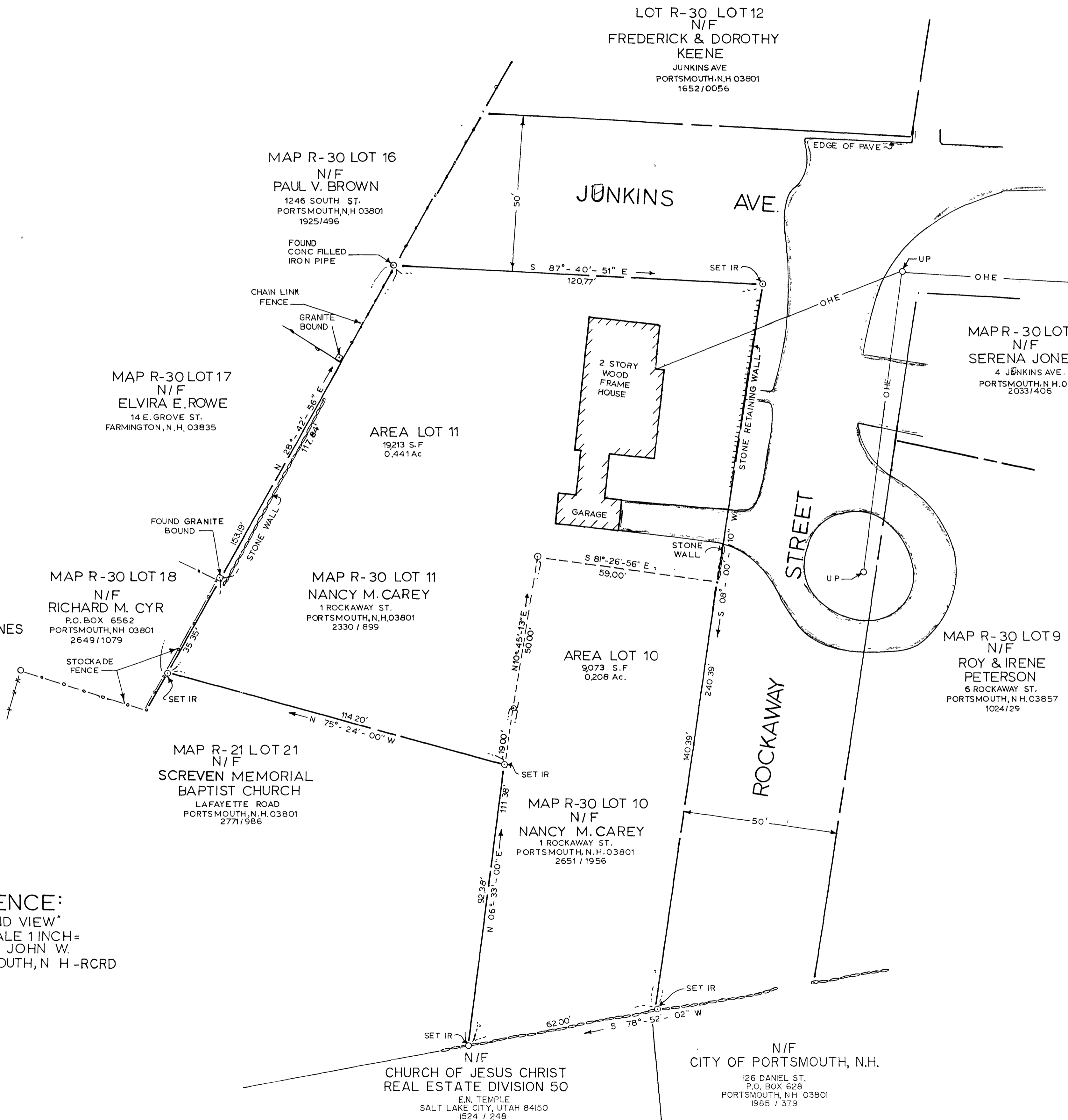
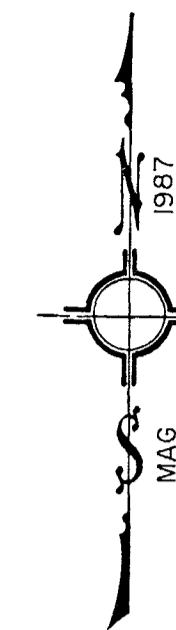
MAP R-30 LOT
N/F
ROY & IRENE
PETERSON
6 ROCKAWAY ST.
PORTSMOUTH, N.H. 0385
1024/29



94.5'



LOCATION PLAN



NOTES:

- 1) THESE PARCELS ARE DESCRIBED IN R.C.R.D. BK.2330 PG.899, 8 2651-1956
- 2) " " " SHOWN ON PORTSMOUTH ASSESSORS MAP R-30 AS LOT 10 & 11.
- 3) " " " NOT LOCATED IN A FLOOD HAZARD ZONE.
- 4) " " " LOCATED IN ZONE SR2 (SINGLE RESIDENCE 2).
- 5) OWNER OF RECORD NANCY M.CAREY 1 ROCKAWAY STREET PORTSMOUTH, N.H.
- 6) THIS PARCEL IS SUBJECT TO RESTRICTIONS, CONDITIONS AND RESERVATIONS DESCRIBED IN R.C.R.D. BK.923 PG.368 AND BK.934 PG.69.
- 7) TOTAL AREA OF PARCEL = 28,286 S.F.=0.65 Ac

LEGEND:

- UP UTILITY POLE
- OHE OVERHEAD ELECTRIC
- SET IR SET IRON ROD

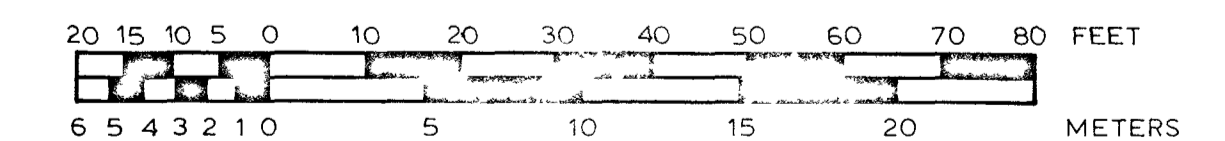
I CERTIFY THAT THIS SURVEY PLAT SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIPS AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

Richard P. Millette 1-8-87
 LICENSED LAND SURVEYOR DATE

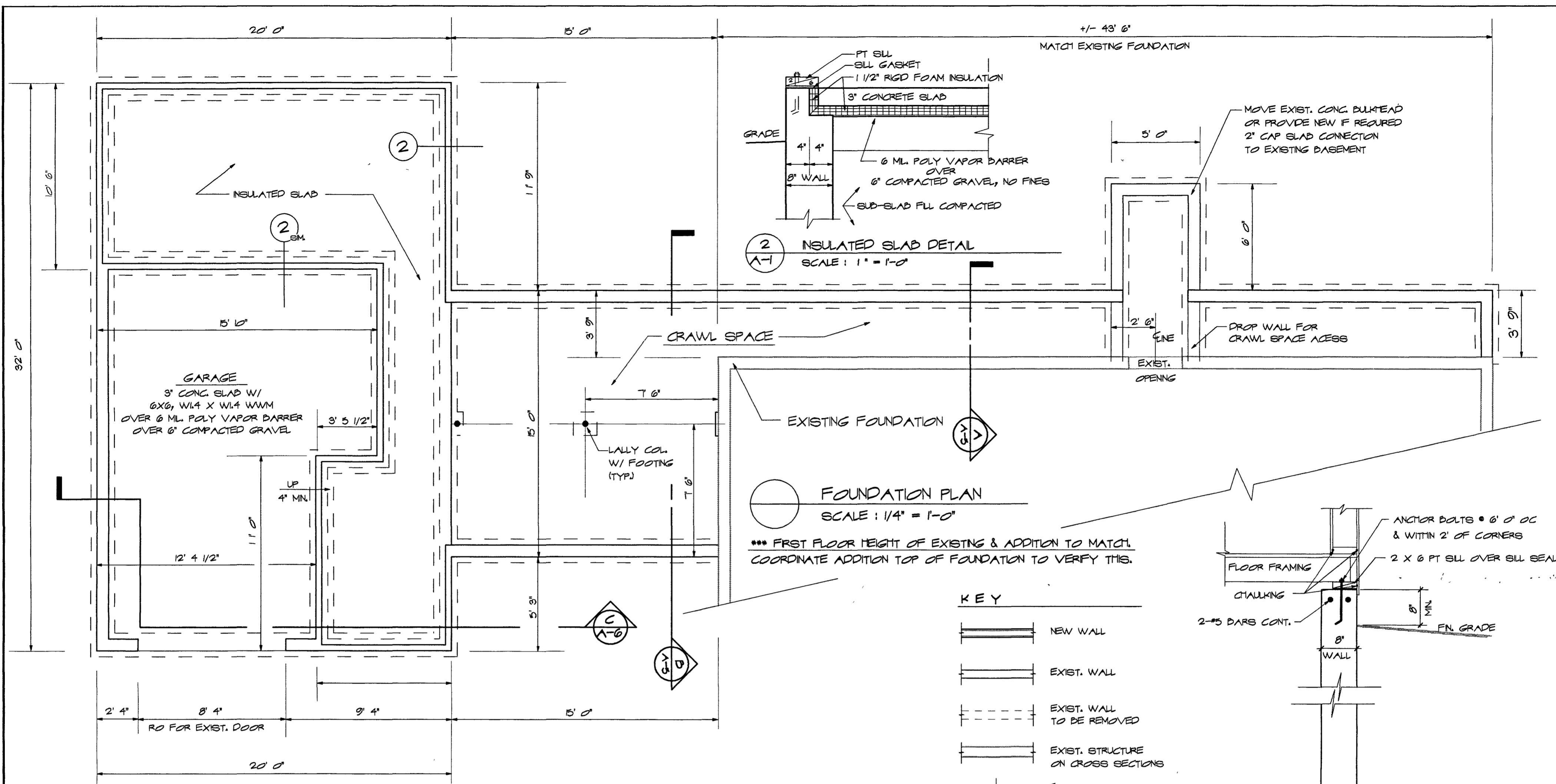
PLAN REFERENCE:
 SEE "PLAN OF HIGHLAND VIEW"
 PORTSMOUTH, N.H. SCALE 1 INCH =
 40 FEET, JULY 1919 BY JOHN W.
 DURGIN C.E. PORTSMOUTH, N.H. -RCRD
 PLAN No. 0248.

PLAN OF LAND
 FOR
NANCY M. CAREY
 ROCKAWAY STREET
 COUNTY OF ROCKINGHAM
 PORTSMOUTH, N.H.

SCALE: 1" = 20' DATE: APRIL 1987
 REV. 10/6/87



RICHARD P. MILLETTE AND ASSOCIATES
 NOBLE'S ISLAND, 500 MARKET STREET
 PORTSMOUTH, N.H. 03801



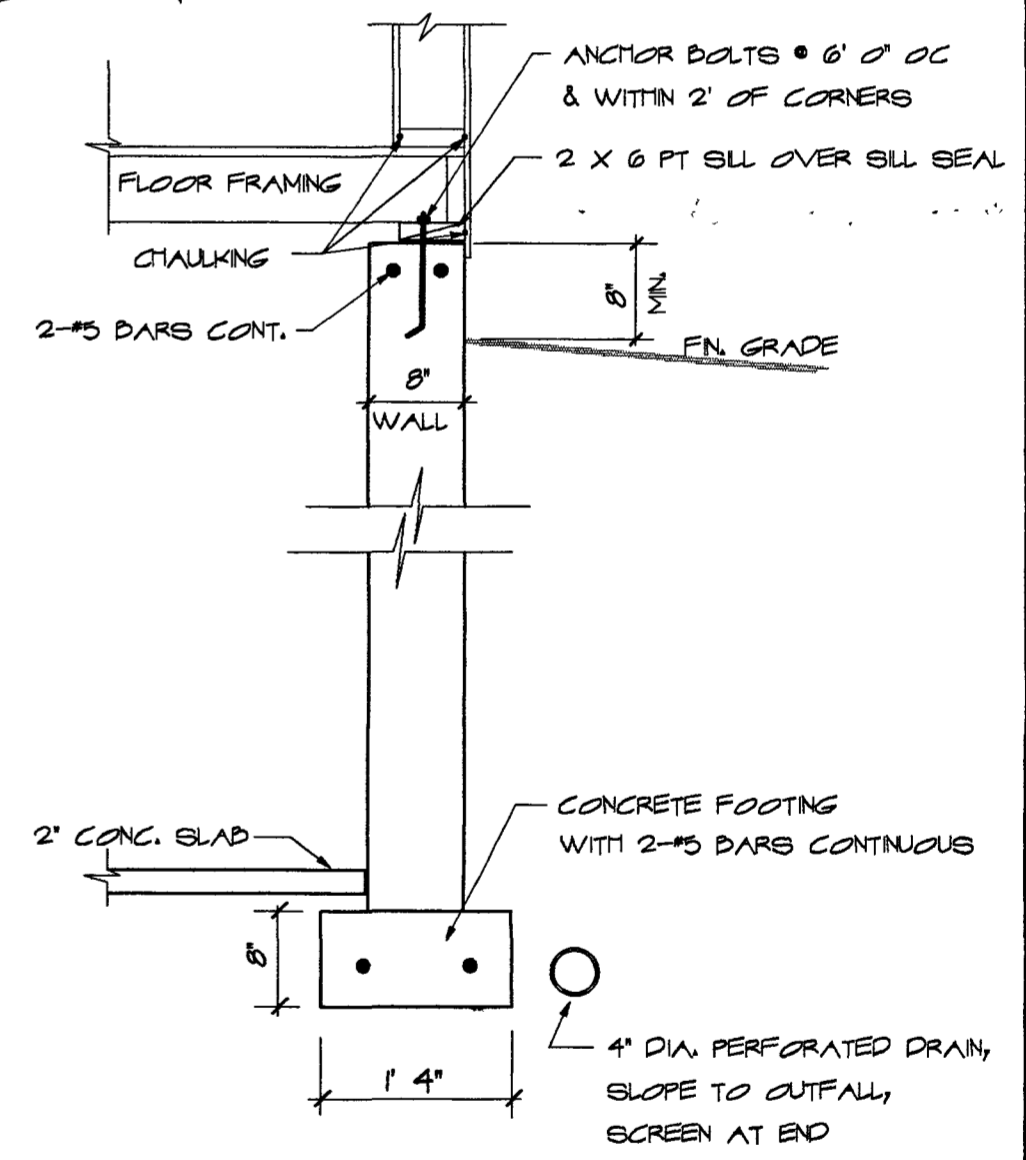
2 INSULATED SLAB DETAIL
SCALE: 1" = 1'-0"

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

*** FIRST FLOOR HEIGHT OF EXISTING & ADDITION TO MATCH. COORDINATE ADDITION TOP OF FOUNDATION TO VERIFY THIS.

KEY

- NEW WALL
- EXIST. WALL
- EXIST. WALL TO BE REMOVED
- EXIST. STRUCTURE ON CROSS SECTIONS
- LINE OF WALL
- FACE OF STUD
- EXIST. DOOR
- NEW DOOR
(SIZE W X H)



1 TYPICAL FOUNDATION WALL DETAIL
SCALE: 3/4" = 1'-0"

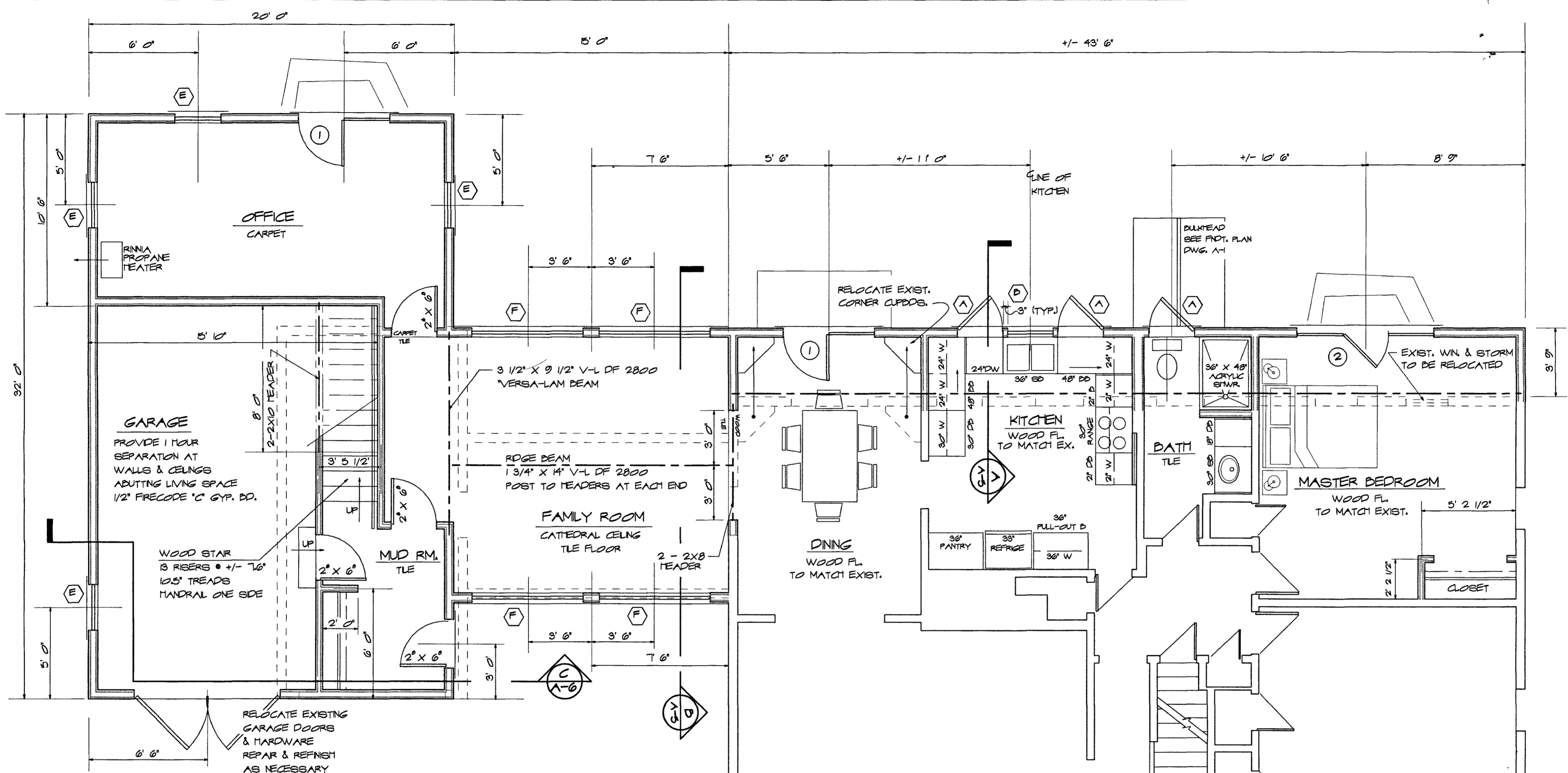
GENERAL NOTES:

1. Dimensions where provided shall take precedent over scale of Drawings. Contractor to measure and verify all dimensions at work.
2. Interpretation of Contract Documents: Contractor shall promptly notify the Architect of any ambiguity, inconsistency or error which they may discover upon examination of the Contract Documents, the Site or Local Conditions. If the Contractor knowingly does not notify the Architect of any such ambiguity, inconsistency or error they therefore accept such conditions and will make such additions or corrections necessary to properly complete the work, at their expense
3. Perform all work of this CONTRACT according to all Local, State or National Codes and/or Ordinances. Secure all Permits Required.
4. Coordinate with the OWNER installation of:
 - hardwired smoke alarms
 - cable tv & audio wiring
 - telephone & computer wiring

MAY RESIDENCE
1 ROCKAWAY STREET PORTSMOUTH, NH
DRAWING LIST

- A - 1 FOUNDATION PLAN
- A - 2 FIRST FLOOR PLAN
- A - 3 SECOND FLOOR PLAN & ELEVATIONS
- A - 4 FRONT & REAR ELEVATIONS
- A - 5 CROSS SECTIONS
- A - 6 GARAGE CROSS SECTION

FOUNDATION PLAN ADDITIONS & RENOVATIONS, MAY RESIDENCE 1 ROCKAWAY STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832		Project: # 2014 Date: 6/23/00
	ANNE WHITNEY ARCHITECT		A-1



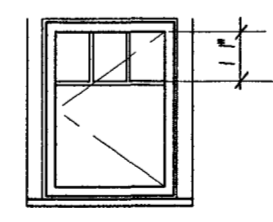
WINDOW SCHEDULE

SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
A	CMT 2634	type 1	2'-6 1/2" X 3'-4 1/2"	Eagle Inc., CLAD CASEMENT w/ 7/8" Modern Divided Lites, Low E Glazing, White Interior Hardware, Cladding & Screen Color - WHITE & Prime Interior.	3
B	CMT 2634	type 1	2'-6 1/2" X 3'-4 1/2"	DITTO, fixed window	1
C	DHG 2640	6/1	2'-6 1/2" X 4'-0 1/2"	Eagle Inc., TILT CLAD DOUBLE-HUNG w/ 7/8" Modern Divided Lites, Low E Glazing, White Interior Hardware, Cladding & Screen Color - WHITE & Prime Interior.	10
D	DHG 2646 2 WIDE	6/1	5'-0 1/2" X 4'-6 1/2"	DITTO	2
E	DHG 2646	6/1	2'-6 1/2" X 4'-6 1/2"	DITTO	5
F	ellipse picture over 2 - AWW2030	type 2	MANUF. DETERMINE	Eagle Inc., CLAD CUSTOM ELLIPTICAL PICTURE & AWNING, Low E Glazing, White Interior Hardware, Cladding & Screen Color - WHITE & Prime Interior.	4
G	Relocate Exist. 6x8	12/12	+/- 2' 6" x 4' 9" field determine	Relocate existing double hung & storm window	1
H	VS-306		30 1/2" X 46 7/8"	"VELUX", ventilating skylight, w/ screen & 6' to 10' manual rod.	2

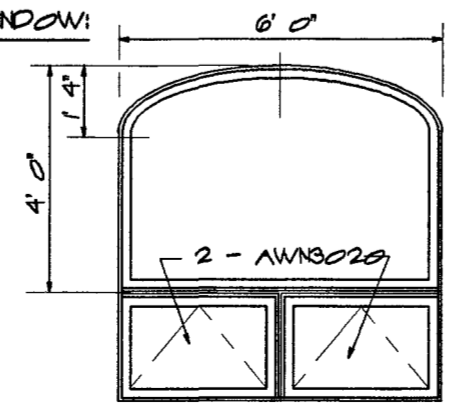
WINDOW NOTES:

- SUBMIT FINAL WINDOW ORDER TO ARCHITECT BEFORE ORDERING
- EXTERIOR WINDOW TRIM TO MATCH EXISTING.

3. TYPE 1 LITES:



4. TYPE 2 WINDOW:



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PATIO DOOR SCHEDULE

SYM.	SIZE W X H	HARDWARE	TYPE
1	FDI 5028 A/1 R0 = 80 1/2" X 80 1/2"	manuf. lockset	Eagle Inc., CLAD PATIO DOOR Low E Glazing, Cladding & Screen Color - White, prime interior.
2	FDI 2668 X 3 1/4/1 R0 = 80 1/2" X 80 1/2"	ditto	ditto, triple unit

1ST FLOOR PLAN

ADDITIONS & RENOVATIONS, MAY RESIDENCE

1 ROCKAWAY STREET PORTSMOUTH, NH

9 Sheafe Street
Portsmouth
NH 03901
603-427-2832

AW

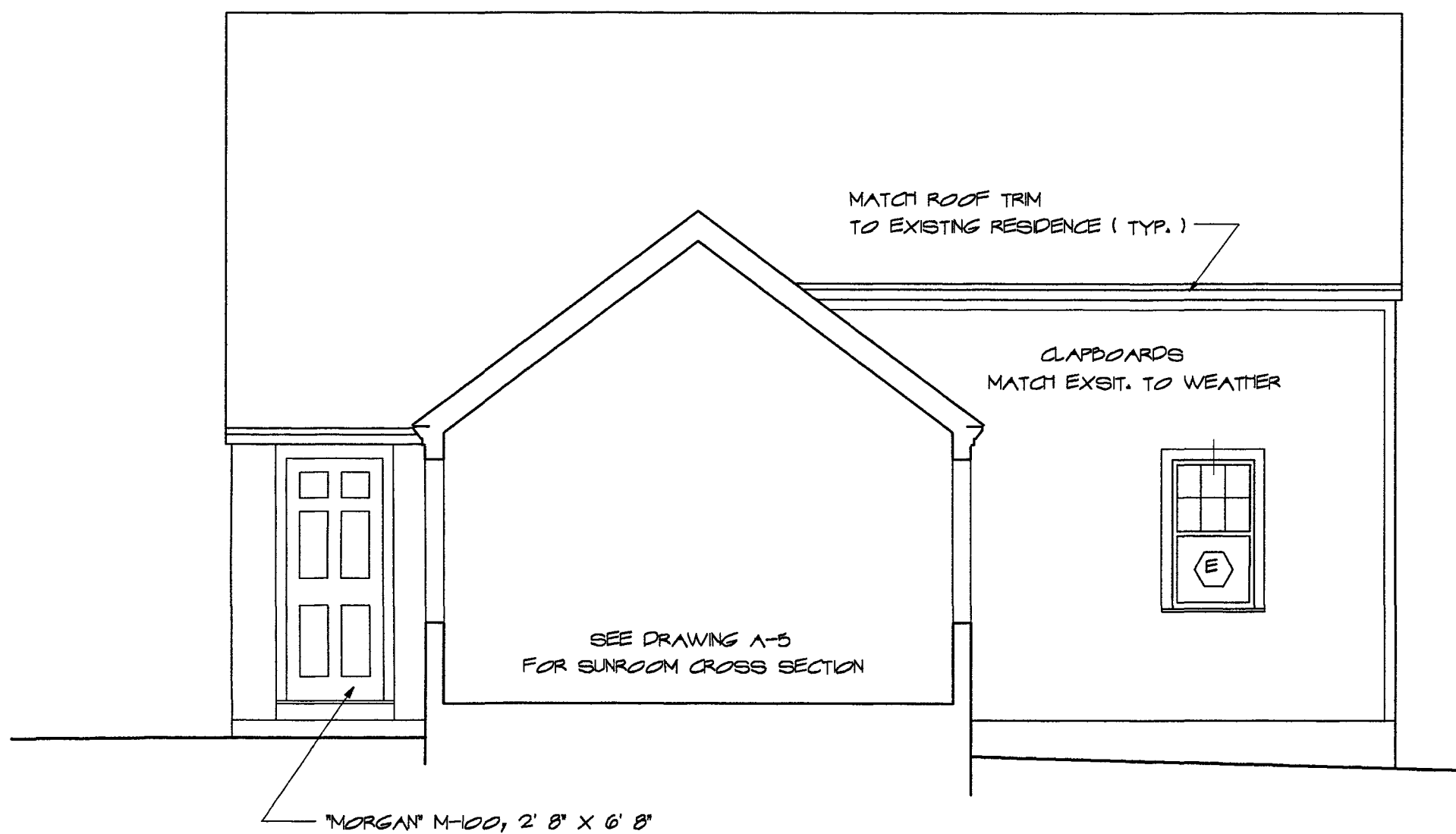
ANNE WHITNEY ARCHITECT

Project: 204

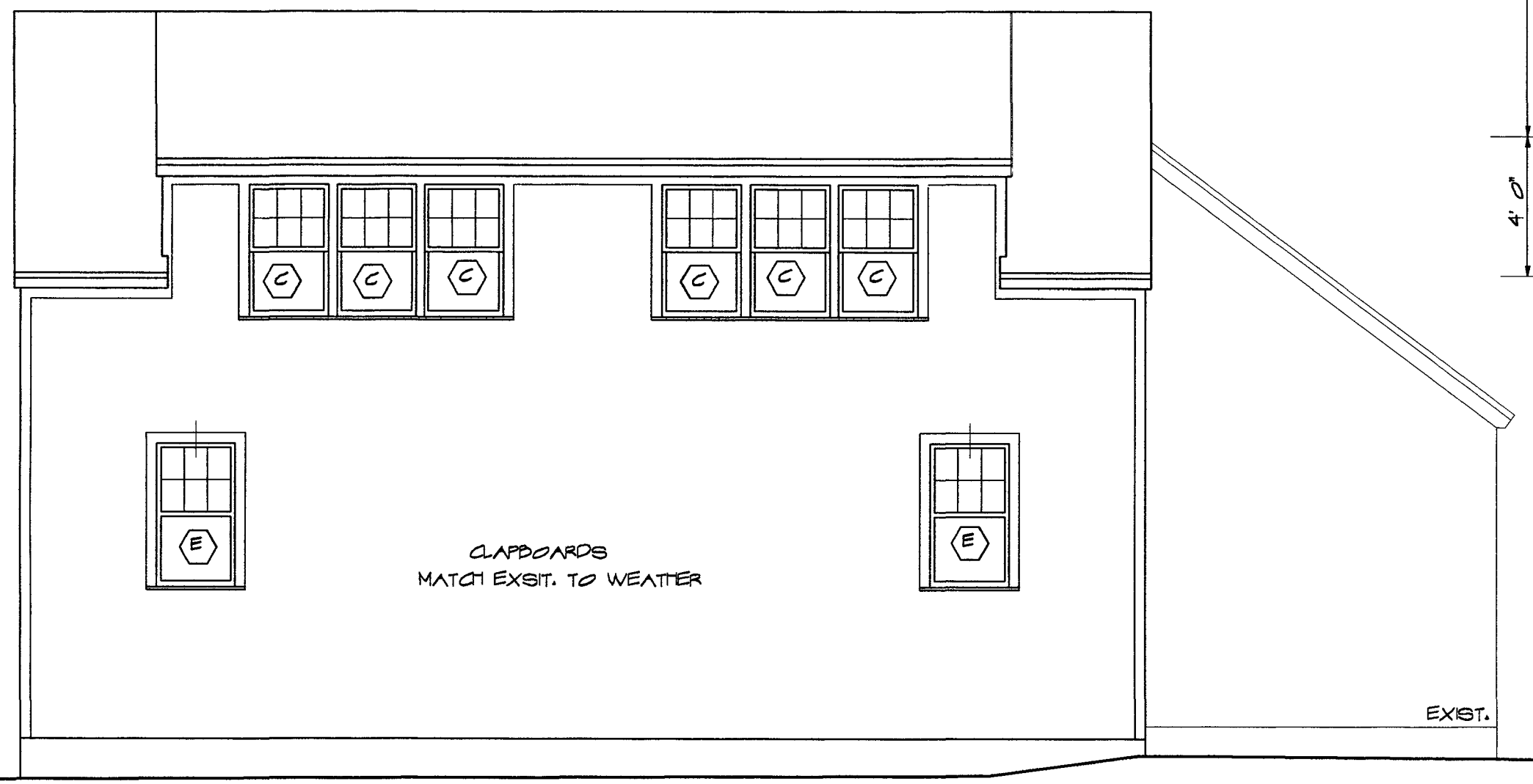
Date: 6/23/00

Revisions:

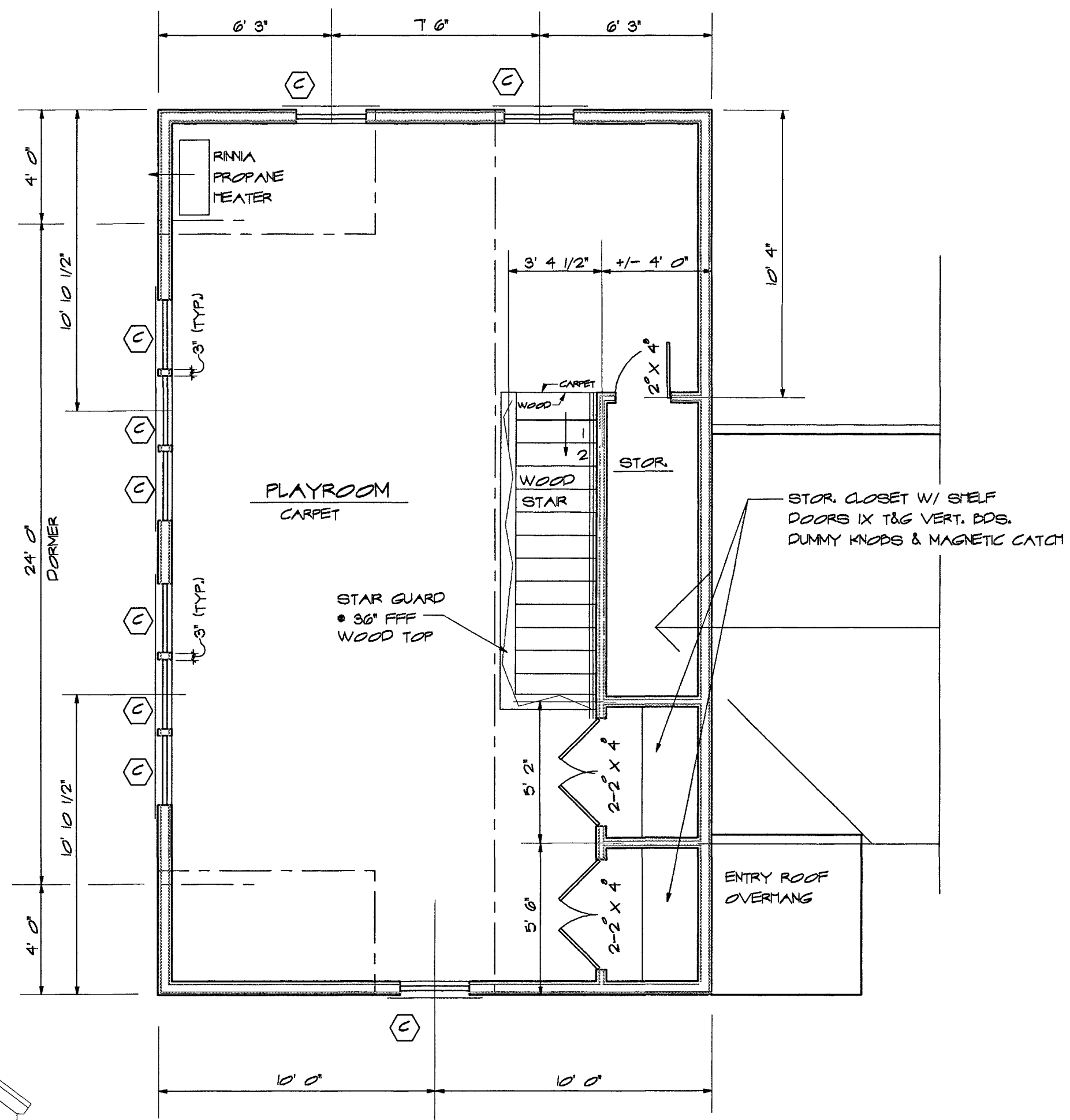
A-2



GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



GARAGE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



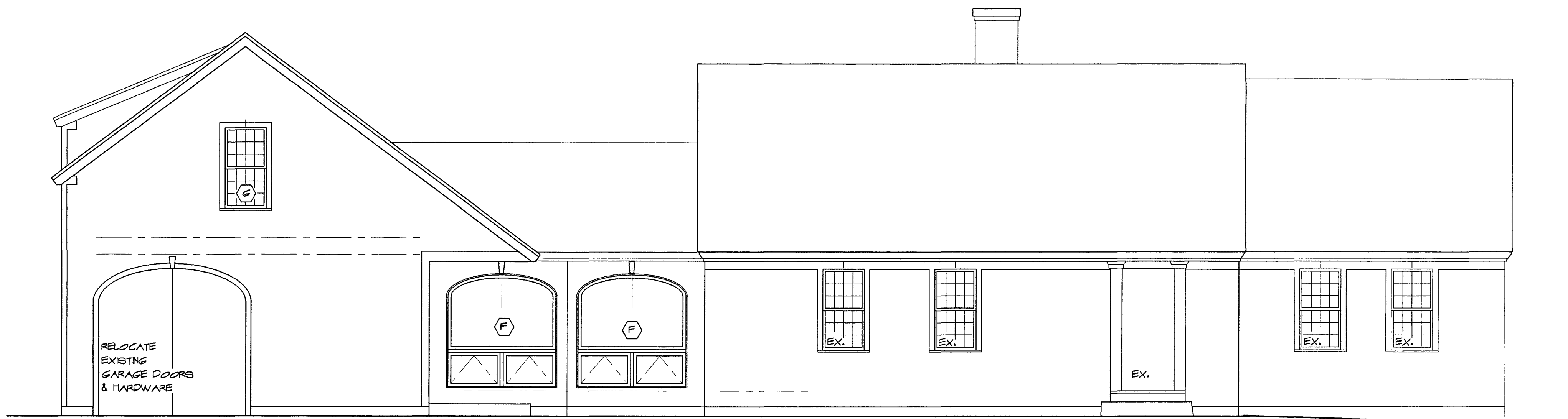
2ND FLOOR GARAGE PLAN
SCALE: 1/4" = 1'-0"

NOTES: 1. DIMENSIONS WHERE PROVIDED SHALL TAKE PRECEDENT OVER SCALE OF DRAWINGS. CONTRACTOR SHALL MEASURE & VERIFY ALL DIMENSIONS AT WORK.

2ND FL. GARAGE PLAN GARAGE SIDE ELEVATIONS	9 Sheafe Street Portsmouth NH 03901 603-427-2832		Project: # 2014 Date: 6/23/00
	ANNE WHITNEY ARCHITECT ADDITIONS & RENOVATIONS, MAY RESIDENCE 1 ROCKAWAY STREET PORTSMOUTH, NH		Revisions: A-3



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

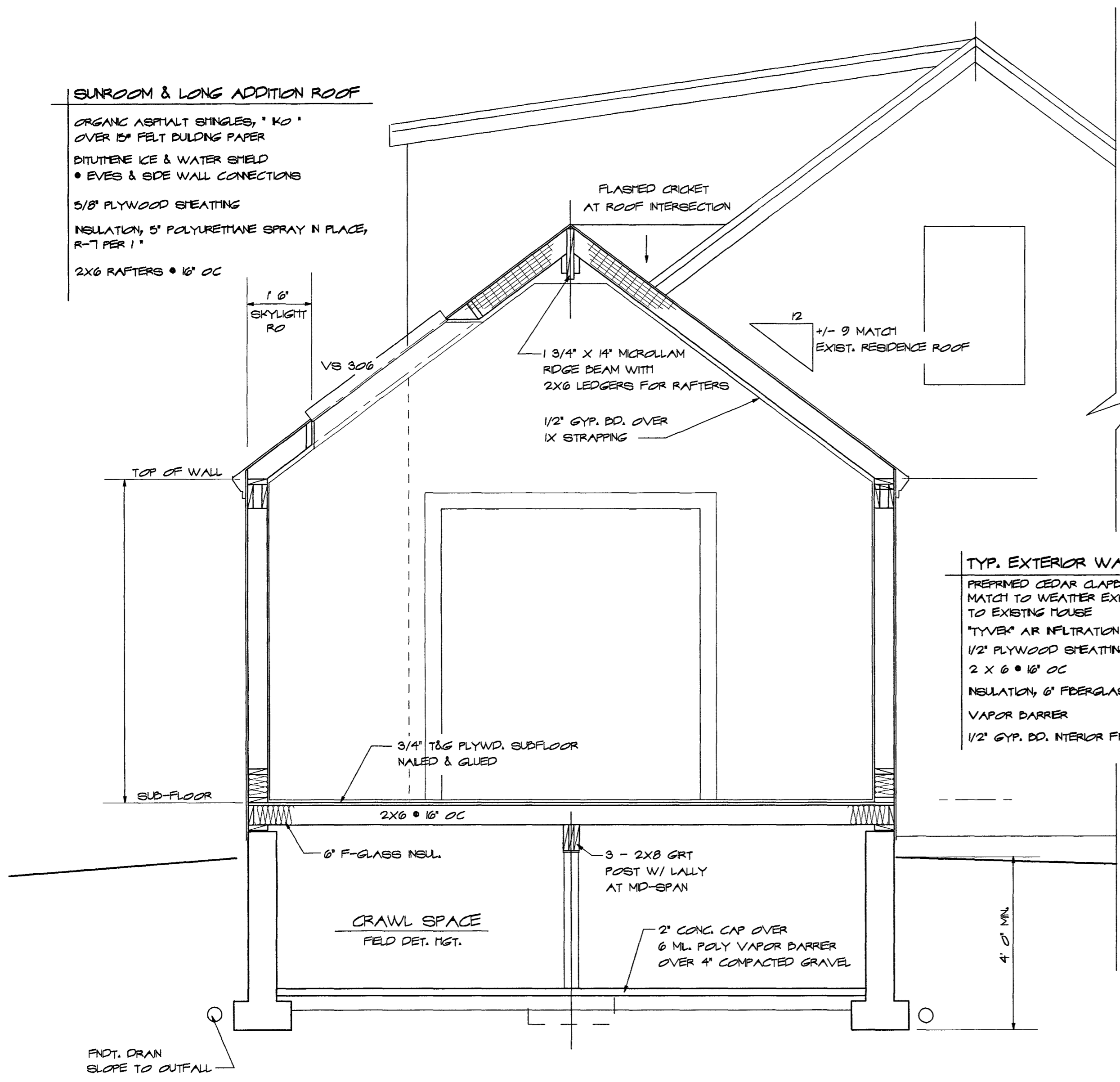
ADDITION
EXISTING

NOTES: 1. DIMENSIONS WHERE PROVIDED SHALL TAKE PRECEDENT OVER SCALE OF DRAWINGS.
CONTACTOR SHALL MEASURE & VERIFY ALL DIMENSIONS AT WORK.

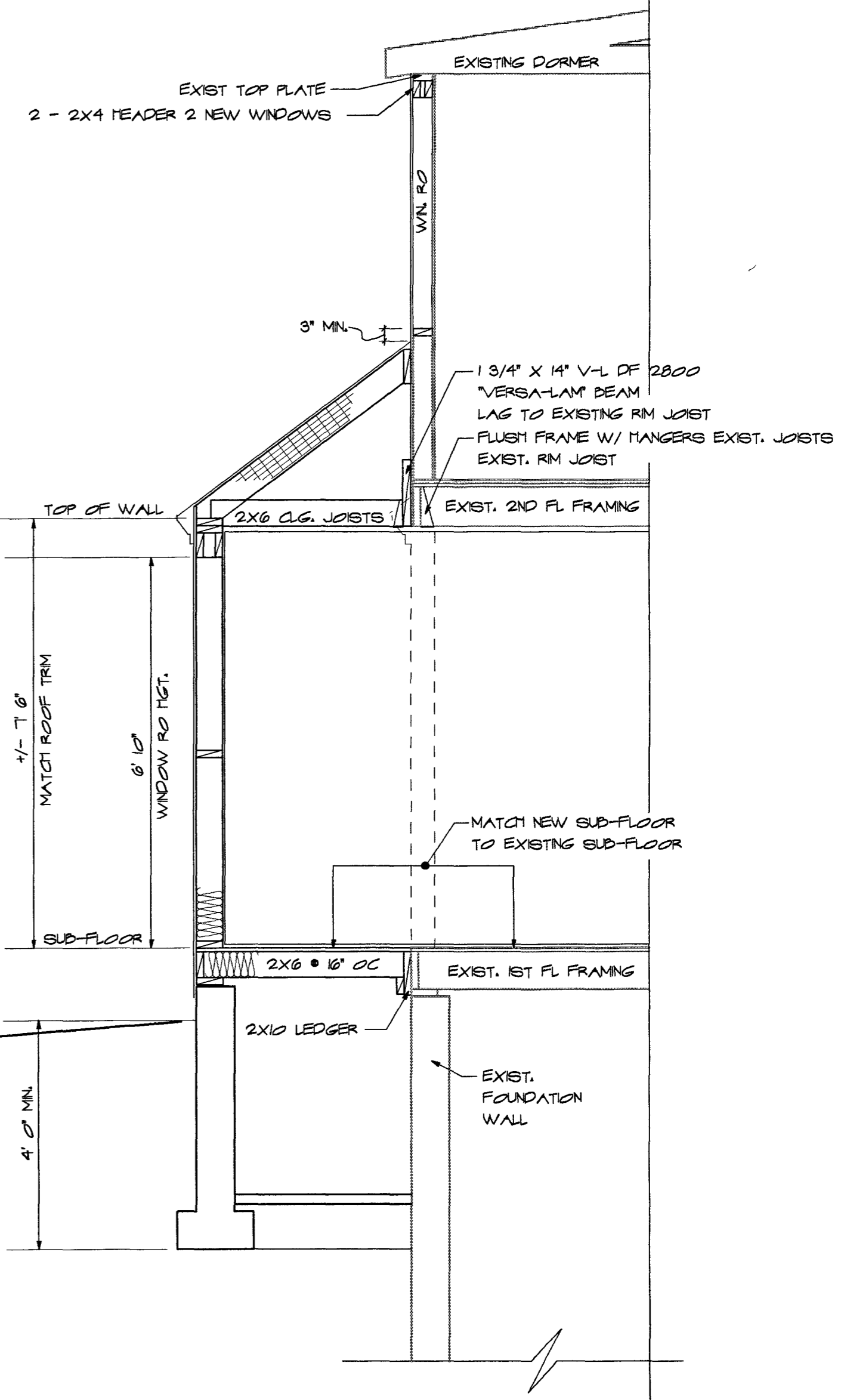
<p>FRONT & REAR ELEVATIONS</p>	<p>9 Smealie Street Portsmouth NH 03801 603-427-2832</p>		<p>Project: 2014</p>
			<p>Date: 6/23/00</p>
<p>ANNE WHITNEY ARCHITECT</p>		<p>Revisions:</p>	<p>A-4</p>
<p>ADDITIONS & RENOVATIONS, MAY RESIDENCE</p>			
<p>1 ROCKAWAY STREET PORTSMOUTH, NH</p>			

SUNROOM & LONG ADDITION ROOF

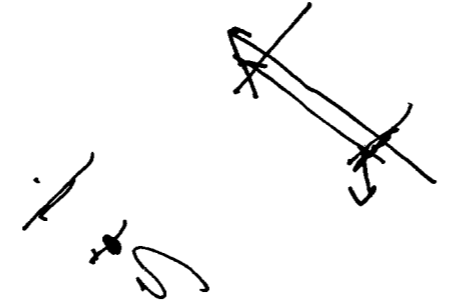
- ORGANIC ASPHALT SHINGLES, "KO"
- OVER 15" FELT BUILDING PAPER
- DITURENE ICE & WATER SHIELD
- EVES & SIDE WALL CONNECTIONS
- 5/8" PLYWOOD SHEATHING
- INSULATION, 5" POLYURETHANE SPRAY IN PLACE, R-7 PER 1"
- 2X6 RAFTERS @ 16" OC



B SECTION AT SUNROOM
SCALE: 1/2" = 1'-0"



A SECTION AT LONG ADDITION
SCALE: 1/2" = 1'-0"

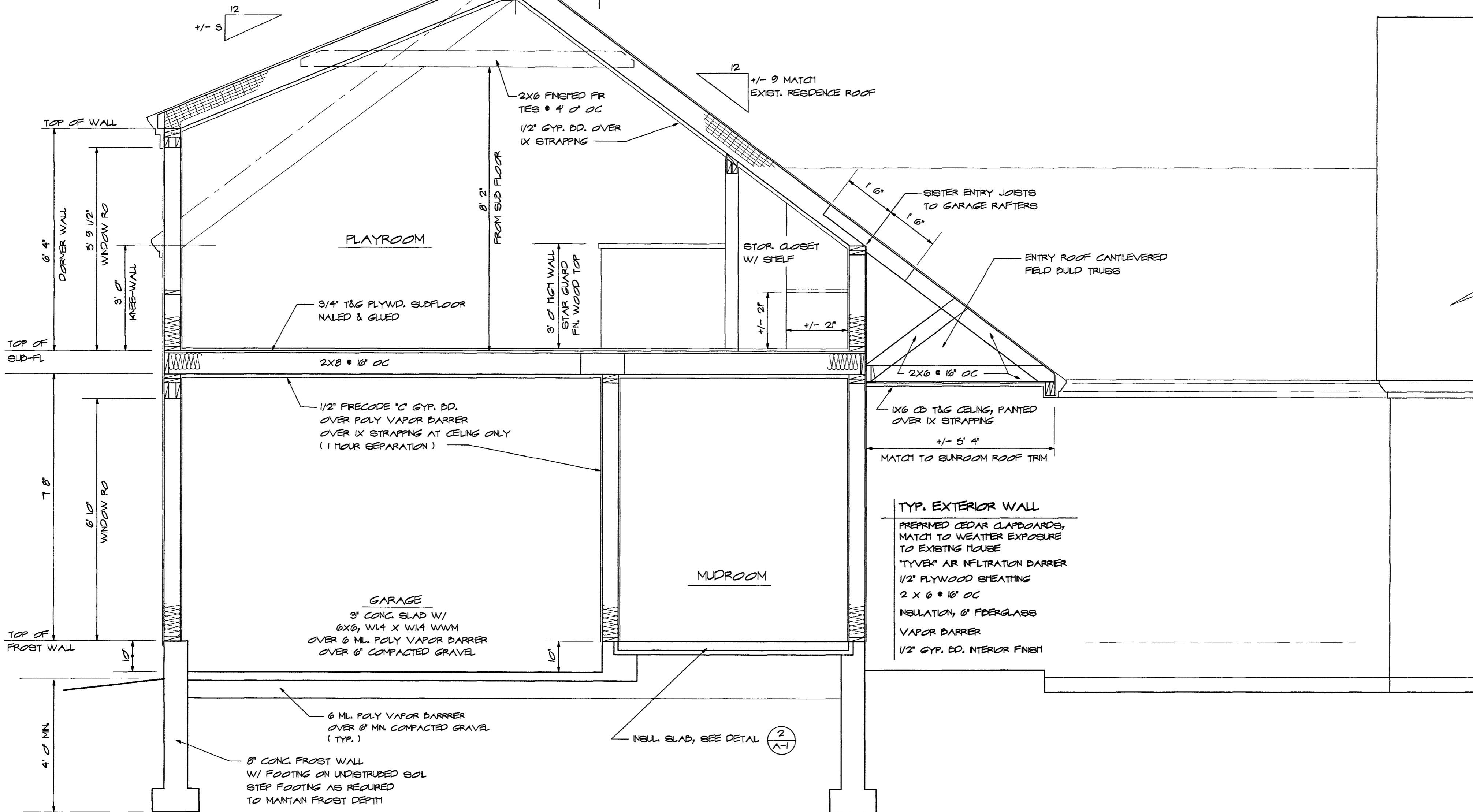


SUNROOM & LONG ADDITION SECTIONS ADDITIONS & RENOVATIONS, MAY RESIDENCE 1 ROCKAWAY STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832		Project: 2014
			Date: 6/23/10
ANNE WHITNEY ARCHITECT		Revisions:	A-5

GARAGE ROOF

ORGANIC ASPHALT SHINGLES, "KO"
 OVER 15° FELT BUILDING PAPER
 DITUTHERE ICE & WATER SHIELD
 • EAVES & SIDE WALL CONNECTIONS

 5/8" PLYWOOD SHEATHING
 INSULATION, 5" POLYURETHANE SPRAY IN PLACE,
 R-7 PER 1"
 2X8 • 16' OC W/ 2X10 RIDGE



C GARAGE SECTION
 SCALE: 1/2" = 1'-0"

<p>GARAGE SECTION</p>	<p>8 Sheeple Street Portsmouth NH 03801 603-427-2832</p>		Project: 2014
			Date: 6/23/00
<p>ANNE WHITNEY ARCHITECT</p>		<p>Revisions:</p>	<p>A-6</p>
<p>ADDITIONS & RENOVATIONS, MAY RESIDENCE</p>			
<p>1 ROCKAWAY STREET PORTSMOUTH, NH</p>			



