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October 3, 2024

SUBMITTED ONLINE VIA CITY OF PORTSMOUTH – OPENGOV PORTAL

Rick Chellman
Chairman, Planning Board
1 Junkins Avenue
Portsmouth, NH 03801

RE: 2 Russell Street (LU-22-111) – Request for Extension

Dear Chair Chellman,

I represent Port Harbor Land, LLC as to the development of property located at 2 Russell Street. As to this development, Port Harbor Land, LLC has obtained all necessary City of Portsmouth Planning Board and Historic District Commission Approvals to construct three new buildings, containing eighty residential dwelling units, commercial space, parking, associated community space, landscaping, and other improvements.

On September 28, 2023, the Planning Board was kind enough to grant my Client a six-month extension as to your Subdivision Approval, which expired on June 15, 2024. You also provided my Client with a one-year extension of your Site Plan Approval and two Conditional Use Permit Approvals, set to expire on December 15, 2024.

I want to confirm that my Client timely met all the requirements of the Subdivision Approval prior to the June 15, 2024 deadline. These requirements included but were not limited to: finalizing and recording the Subdivision Plan; completion of the Certificate of Monumentation; addressing necessary sewer easement matters; and providing the City with three Quitclaim Deeds to allow for the realignment of the Deer and Russell Streets intersection, and for the City’s future construction of a roundabout at Russell and Market Streets.

Because of the complexity of this Project, we are now requesting, pursuant to Site Plan Review Regulation Section 2.14, an additional one-year extension of the Planning Board’s Site Plan Approval through December 15, 2025. While my Client has worked diligently to move the Project forward in advance of the upcoming expiration, this Project is unique in its complexity and has warranted additional time in planning & design. The realignment of Russell and Deer Streets, the proximity to the railroad, the relocation of utility easements, and the extent of ledge removal, all contribute to the time and effort in planning. The abnormal shape of the site also added time to my Client’s design efforts. Specifically, the shape of the buildings made parking layouts challenging, as the details of our building design became more evolved

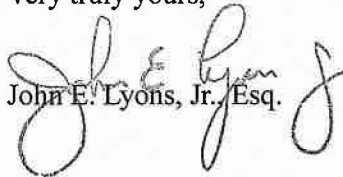
than it typically is at Site Plan Approval. We are currently in the process of requesting Approval of a Parking Variance with the Zoning Board of Adjustment related to the first and second floors of the parking garage contained within Building 2 for dimensional relief that is a result of column placements and necessary mechanical space. The result is actually an improvement to the parking as six (6) spaces have been added while reducing the number of less-desirable tandem spaces, but the Variance request was necessary due to the dimensions of a few spaces being slightly smaller than the standard. We are also working through the complex CMMP, and the issues related thereto involving multiple parties and a tight site in an urban environment. I would also add that we continue to work cooperatively to move all other outstanding issues forward with the City staff and appreciate their professionalism.

On a side note, we will also be filing new Conditional Use Permit (“CUP”) Applications as to the previously granted CUP for Shared Parking (*See* Section 10.1112.62 of the Zoning Ordinance); and the previously granted CUP for the Maximum Building Footprint (*See* Section 10.5A43.43 of the Zoning Ordinance). Those CUP Applications will be filed on or before October 30, 2024, so that we may be heard in this regard at the November 21, 2024, Planning Board Meeting.

In support of this request, we have submitted the previously approved Plans with City administrative approvals through the portal and will be requesting an October 8, 2024, TAC Work Session. We have updated these plans to reflect the revised parking layout from the aforementioned Variance request. We will also deliver a hard copy of this Letter, the previously approved Plans, and the new Parking Layout, to the Planning Department.

We would respectfully request this matter be scheduled for Hearing before the Planning Board at its next Meeting scheduled for October 17, 2024. Thank you for your continued assistance in this matter.

Very truly yours,


John E. Lyons, Jr., Esq.

JEL/dhb

cc: Peter Britz – plbritz@cityofportsmouth.com
Peter Stith – pmstith@cityofportsmouth.com
Trevor McCourt – tmccourt@cityofportsmouth.com
Vincent Hayes – vjhayes@cityofportsmouth.com
Ryan D. Plummer – ryan@twointernationalgroup.com

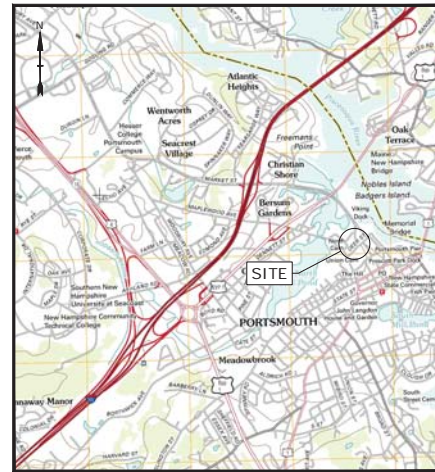
NORTH END MIXED USE DEVELOPMENT

RUSSELL STREET & DEER STREET PORTSMOUTH, NEW HAMPSHIRE

MAY 24, 2022

LAST REVISED SEPTEMBER 24, 2024

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	9/24/2024
S-1	LOT LINE RELOCATION PLAN	11/23/2022
S-2	SURVEY NOTES	11/23/2022
S-3	ACCESS EASEMENT PLAN	11/23/2022
S-4	ACCESS EASEMENT PLAN	11/23/2022
S-5	UTILITIES EASEMENT PLAN	11/23/2022
S-6	COMMUNITY SPACE EASEMENT PLAN	11/23/2022
G-100	GENERAL NOTES AND LEGEND	5/22/2023
C-101	EXISTING CONDITIONS & DEMOLITION PLAN	5/22/2023
C-102	OVERALL SITE PLAN	9/24/2024
C-102.1	SITE PLAN	9/24/2024
C-103	GRADING & DRAINAGE PLAN	9/24/2024
C-104	UTILITIES PLAN	9/24/2024
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	5/22/2023
C-502	DETAILS SHEET	12/5/2022
C-503	DETAILS SHEET	12/5/2022
C-504	DETAILS SHEET	12/5/2022
C-505	DETAILS SHEET	12/5/2022
C-506	DETAILS SHEET	5/22/2023
C-507	DETAILS SHEET	5/22/2023
C-508	DETAILS SHEET	12/5/2022
C-509	DETAILS SHEET	12/5/2022
C-510	DETAILS SHEET	5/22/2023
L-100	LANDSCAPE MATERIAL PLAN, LEGEND AND NOTES	11/23/2022
L-101	LANDSCAPE SITE PLAN	11/23/2022
L-102	LANDSCAPE DETAILS	11/23/2022
L-103	LANDSCAPE DETAILS	11/23/2022
E-001	LIGHTING COVER SHEET	11/23/2022
E-100	EXTERIOR LIGHTING PLAN AND CALCULATIONS	11/23/2022
E-101	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-102	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-103	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
E-104	EXTERIOR LIGHTING CUTSHEETS	11/23/2022
A-101	BUILDING 1 AREA PLANS	5/24/2022
A-102	BUILDING 2 AREA PLANS	5/24/2022
A-103	BUILDING 3 AREA PLANS	5/24/2022
A-201	BUILDING 1 ELEVATION	5/24/2022
A-202	BUILDING 1 ELEVATION	5/24/2022
A-203	BUILDING 2 ELEVATION	5/24/2022
A-204	BUILDING 2 ELEVATION	5/24/2022
A-205	BUILDING 2 ELEVATION	5/24/2022
A-206	BUILDING 3 ELEVATION	5/24/2022
A-207	BUILDING 3 ELEVATION	5/24/2022
A-208	GLAZING STUDY	5/24/2022



LOCATION MAP
SCALE: 1" = 2,000'

WILDLIFE PROTECTION NOTES:	
1.	ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHGREVIEW@WILDLIFE.NH.GOV . EMAIL SUBJECT LINE: NHB22-2135, NORTH END MIXED USE DEVELOPMENT, WILDLIFE SPECIES OBSERVATION.
2.	PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
3.	IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG. IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
4.	THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT	APPROVED	12/23/2022
LOT LINE REVISION PERMIT	APPROVED	12/23/2022
CONDITIONAL USE PERMIT	APPROVED	12/23/2022
STATE		
NHDES - SEWER CONNECTION PERMIT	NOT SUBMITTED	
NHDES - ALTERATION OF TERRAIN PERMIT	APPROVED	5/25/2023

PREPARED BY:
Tighe & Bond
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

ARCHITECT:
SGA ARCHITECTURE
200 HIGH STREET, FLOOR 2
BOSTON MA, 02110
857-300-2610

OWNER/APPLICANT:
TAX MAP 118, LOT 28
TAX MAP 119, LOT 1-1A
TAX MAP 119, LOT 1-1C
TAX MAP 119, LOT 4
TAX MAP 124, LOT 12 &
TAX MAP 125, LOT 21

PORT HARBOR LAND, LLC
1000 MARKET STREET, BUILDING ONE
PORTSMOUTH, NEW HAMPSHIRE 03801

EXTENSION REQUEST SUBMISSION

COMPLETE SET 44 SHEETS

NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 205 OF 61, MAP NUMBER 330300205P WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- OWNER OF RECORD:
MAP 125 LOT 21: MAP 146 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
PORT HARBOR LAND LLC
1000 MARKET ST. BUILDING 1
PORTSMOUTH, NH 03801
RCRD BK#0804 PG#14

EXISTING AREA TABLE

MAP	LOT	S.F.	ACRES
118	28	48,417	1.115
119	1-1C	86,031	1.975
119	1-1A	2,640	0.060
119	4	9,787	0.223
124	12	19,055	0.4374
125	21	22,559	0.5179

PROPOSED AREA TABLE

MAP	LOT	S.F.	ACRES
118	28	50,875	1.1679
119	1-1C	84,604	1.9420
119	1-1C	1,427	0.033
119	1-1A	2,640	0.060
119	4	7,090	0.1600
119	4	2,673	0.0600
124	12	20,918	0.4852
125	21	18,237	0.4187

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:
I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN AUGUST 2019. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS.
I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

DRAFT

LICENSED LAND SURVEYOR _____ DATE _____

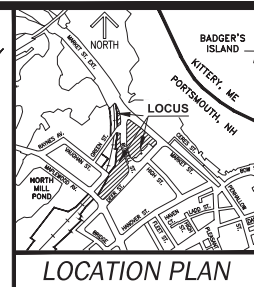
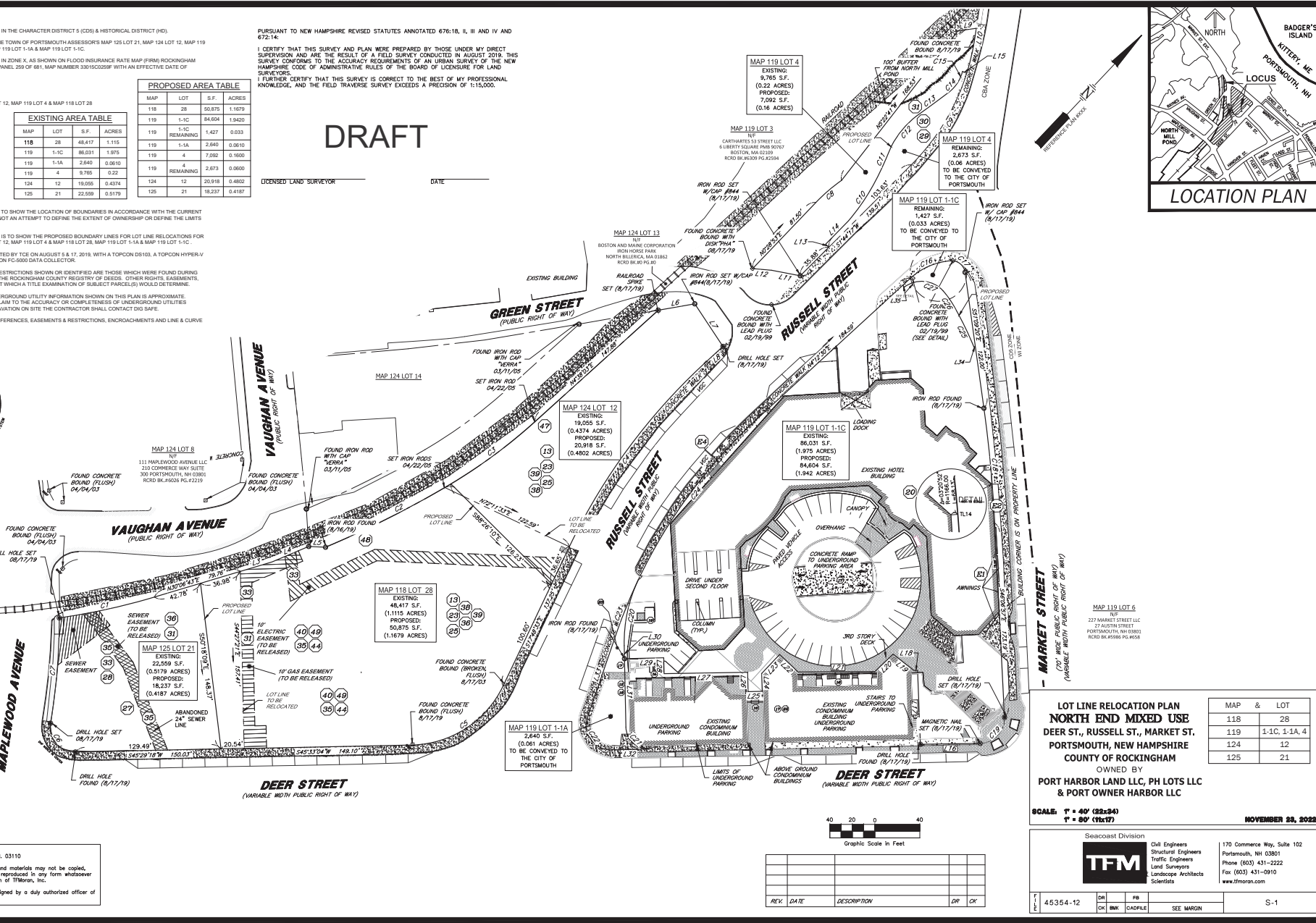


MAP 124 LOT 1
CITY OF PORTSMOUTH
PORTSMOUTH, NH 03801
RCRD BK # PG #

MAP 164 LOT 4
BOSTON AND MAINE CORPORATION
NORTH BELLERICA, MA 01862
RCRD BK#0 PG#0

MAP 125 LOT 12-3
EIGHTH/PH LLC
233 VAUGHN ST. UNIT 301
PORTSMOUTH, NH 03801
RCRD BK#0 PG#0, #2213

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**LOT LINE RELOCATION PLAN
NORTH END MIXED USE
DEER ST., RUSSELL ST., MARKET ST.
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM**

OWNED BY
**PORT HARBOR LAND LLC, PH LOTS LLC
& PORT OWNER HARBOR LLC**

MAP	LOT
118	28
119	1-1C, 1-1A, 4
124	12
125	21

SCALE: T = 40' (22x34)
T = 60' (15x17)

NOVEMBER 28, 2022

Seacoast Division

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

REV.	DATE	DESCRIPTION	DR.	CK.

NO.	DATE	DR.	CK.	FB	SEE MARGIN	S-1
45354-12		BNK	BNK	CADPLE		

EASEMENTS & RESTRICTIONS:

PARCEL 1 (MAP 119-1-10/Parcel 10)

- ITEM #10 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY BOSTON & MAINE RAILROAD AND WESTERN UNION TELEGRAPH COMPANY...
ITEM #11 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY ROBERT W. MESERVE AND BENJAMIN H. LACY, AS TRUSTEES OF BOSTON & MAINE CORPORATION...
ITEM #12 - TERMS AND CONDITIONS OF THE EASEMENT FROM SHELTER GROUP, INC. TO HARBORSIDE ASSOCIATES DATED AUGUST 30, 1985...
ITEM #13 - TERMS AND CONDITIONS OF THE PARKING ACCESS EASEMENT FROM HARBORSIDE ASSOCIATES TO HARBORSIDE ASSOCIATES...
ITEM #14 - EASEMENTS GRANTED TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY...
ITEM #15 - EASEMENT IS FOR THE "PURPOSE OF PROVIDING TELEPHONE SERVICE TO THE BUILDINGS WHICH ARE NOW OR WILL BE LOCATED ON PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 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996, 997, 998, 999, 1000.

EASEMENTS & RESTRICTIONS CONTINUED:

- PARCELS 2, 2A, 2B & 2C (MAP 119 LOT 4/Parcel 2B, MAP 124 LOT 12/Parcel 2A, MAP 118 LOT 28/Parcel 2 & MAP 125 LOT 21/Parcel 2C)
ITEM #27 - RIGHTS AND EASEMENTS FROM THE BOSTON AND MAINE RAILROAD TO THE CITY OF PORTSMOUTH DATED JANUARY 31, 1936...
ITEM #28 - EASEMENT GRANTED TO THE CITY OF PORTSMOUTH, RECORDED IN SAID REGISTRY AT BOOK 2245 PAGE 328...
ITEM #29 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY BOSTON & MAINE RAILROAD AND WESTERN UNION TELEGRAPH COMPANY...
ITEM #30 - RIGHTS AND EASEMENTS RESERVED IN A DEED FROM THE BOSTON AND MAINE RAILROAD TO JAY STATE REALTY CORPORATION...
ITEM #31 - RIGHTS AND EASEMENTS FROM PORTSMOUTH HOUSING AUTHORITY TO ALLIED GAS DIVISION OF NORTHERN UTILITIES, INC. AS SET FORTH IN AN INSTRUMENT DATED MARCH 8, 1974...
ITEM #32 - RIGHTS, RESTRICTIONS AND EASEMENTS RESERVED BY ROBERT W. MESERVE AND BENJAMIN H. LACY, AS TRUSTEES OF BOSTON & MAINE CORPORATION...
ITEM #33 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, NH FOR THE CITY OF PORTSMOUTH" DATED AUGUST 1, 1984...
ITEM #34 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "SHELTER GROUP EASEMENT PLAN PARCEL TWO" BY LANE, FRENCHMAN AND ASSOCIATES, DATED JULY 16, 1986...
ITEM #35 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "SURVEY OF HARBORSIDE AND HARBORPARK LAND IN PORTSMOUTH, N.H." DATED AUGUST 13, 1985...
ITEM #36 - SUBJECT TO AND WITH BENEFIT TO THE TERMS AND CONDITIONS OF A PARKING ACCESS EASEMENT...
ITEM #37 - EASEMENTS GRANTED TO NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY...
ITEM #38 - PARKING EASEMENT RIGHTS RESERVED IN A DEED FROM HARBORSIDE ASSOCIATES TO SHELTER GROUP, INC. DATED MAY 6, 1988...
ITEM #39 - PARKING EASEMENT (MARKET B WHARF #2) FROM HARBORSIDE ASSOCIATES TO HARBORSIDE INN, INC. DATED JUNE 6, 1988...
ITEM #40 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP, LLC AND BOSTON AND MAINE CORPORATION" DATED MARCH 14, 2005...
ITEM #41 - TERMS AND CONDITIONS OF AN ASSUMPTION AGREEMENT BETWEEN NITREPO FINANCIAL GROUP, INC., HARBORCORP, LLC, LODGEYS, INC. AND HARBORSIDE INN, INC. DATED APRIL 12, 1999...
ITEM #42 - SUBORDINATION AND STANDSTILL AGREEMENT BY AND AMONG HARBORCORP LLC, HARBORSIDE ASSOCIATES LP AND CW CAPITAL, LLC DATED NOVEMBER 30, 2005...
ITEM #43 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS, PROHIBITED USES AND RIGHTS OF PARTIES UNDERWRITING A DEED FROM THE BOSTON AND MAINE CORPORATION...
ITEM #44 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS AND RIGHTS OF PARTIES UNDER CERTAIN PARKING LOT LEASE DATED MAY 1, 2003 BETWEEN HARBORCORP, LLC, AS LANDLORD, AND HARBORSIDE ASSOCIATES, LP, AS TENANT...
ITEM #45 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS AND RIGHTS OF PARTIES UNDER CERTAIN PARKING LOT LEASE DATED MAY 1, 2003 BETWEEN HARBORCORP, LLC, AS LANDLORD, AND HARBORSIDE ASSOCIATES, LP, AS TENANT...
ITEM #46 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "STATION MAP-LANDS BOSTON & MAINE R.R. OPERATED BY THE BOSTON AND MAINE R.R. STATION 2966+0/2967+20 DATED JUNE 20, 1994..."
ITEM #47 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP, LLC DATED APRIL 15, 2005...
ITEM #48 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP, LLC DATED MAY 9, 2014...
ITEM #49 - ELECTRIC UTILITY EASEMENT AND GAS MAIN EASEMENT AS SHOWN ON PLAN ENTITLED "ELECTRIC UTILITY EASEMENT PARCEL 2" DATED JANUARY 1974...
ITEM #50 - VARIATIONS BETWEEN THE DESCRIPTIONS CONTAINED BETWEEN THE DESCRIPTION OF SAID PARCELS ONE AND TWO, AS SET FORTH IN BOOK 1609 PAGE 2533 AND THE DESCRIPTIONS OF SAID PARCELS IN PLAN D-38256...

- ITEM #44 - SUCH STATE OF FACTS AS SHOWN ON A PLAN ENTITLED "LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP, LLC AND BOSTON AND MAINE CORPORATION" DATED APRIL 24, 2014...
ITEM #45 - TERMS, CONDITIONS, PROVISIONS, COVENANTS, RESTRICTIONS AND RIGHTS OF PARTIES UNDER CERTAIN PARKING LOT LEASE DATED MAY 1, 2003 BETWEEN HARBORCORP, LLC, AS LANDLORD, AND HARBORSIDE ASSOCIATES, LP, AS TENANT...
ITEM #46 - SUCH STATE OF FACTS AS SHOWN ON PLAN ENTITLED "STATION MAP-LANDS BOSTON & MAINE R.R. OPERATED BY THE BOSTON AND MAINE R.R. STATION 2966+0/2967+20 DATED JUNE 20, 1994..."
ITEM #47 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP, LLC DATED APRIL 15, 2005...
ITEM #48 - TERMS AND CONDITIONS, RIGHTS AND EASEMENT SET FORTH IN A DEED FROM THE BOSTON AND MAINE CORPORATION TO HARBORCORP, LLC DATED MAY 9, 2014...
ITEM #49 - ELECTRIC UTILITY EASEMENT AND GAS MAIN EASEMENT AS SHOWN ON PLAN ENTITLED "ELECTRIC UTILITY EASEMENT PARCEL 2" DATED JANUARY 1974...
ITEM #50 - VARIATIONS BETWEEN THE DESCRIPTIONS CONTAINED BETWEEN THE DESCRIPTION OF SAID PARCELS ONE AND TWO, AS SET FORTH IN BOOK 1609 PAGE 2533 AND THE DESCRIPTIONS OF SAID PARCELS IN PLAN D-38256...

ENCROACHMENTS:

- ON THE WEST, UTILITY TOWER OVER RECORD LINE;
ON THE EAST, ELECTRIC PEDESTAL OVER THE RECORD LINE, WITHOUT AN EASEMENT;
ON THE NORTHEAST, SEWER MANHOLE OVER RECORD LINE, WITHOUT AN EASEMENT;
ON THE SOUTHEAST, SIGNAL BOX OVER RECORD LINE, WITHOUT AN EASEMENT.

PLAN REFERENCES:

- "SUBDIVISION PLAN OF LOTS 1B & 1C & 1A IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED OCTOBER 1, 1987, ROP PLAN #0-1749.
"SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED AUGUST 1, 1984, REV. JUNE 25, 1985, ROP PLAN #0-1798.
"MARKET WHARF #1 A CONDOMINIUM SITE PLAN, PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, DATED APRIL 11, 1988, ROP PLAN #0-1809.
"MARKET WHARF #2 AND MARKET WHARF #3 CONDOMINIUM SITE PLAN, PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED AUGUST 13, 1985, REVISED AUGUST 27, 1985, ROP PLAN #0-14043.
"SUBDIVISION PLAN OF PARCELS 1 & 2 IN PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED AUGUST 13, 1985, REVISED AUGUST 27, 1985, ROP PLAN #0-14043.
"MARKET WHARF #1 A CONDOMINIUM SITE PLAN, PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, INC., DATED 16 JULY 86, ROP PLAN #0-14042.
"MARKET WHARF #2 AND MARKET WHARF #3 CONDOMINIUM SITE PLAN, PORTSMOUTH, N.H." BY BRIGGS ASSOCIATES, DATED NOVEMBER 1987, ROP PLAN #0-17417.
"VALGAIN STREET URBAN RENAISSANCE PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, ELECTRIC UTILITY EASEMENT, PARCEL 2" BY ANDERSON-NICHOLS & CO., INC., DATED JAN. 1974, ROP PLAN #0-4337.
"PORTSMOUTH HOUSING AUTHORITY, PORTSMOUTH, NEW HAMPSHIRE, ROOMING HOUSE, VAUGHAN STREET PROJECT, PROJECT NO. NH. R-10, FIRE ALARM SYSTEM AND ELECTRICAL DISTRIBUTION PLAN" BY METCALF & EDDY ENGINEERS-PLANNERS, DATED MAY 5, 1966, ROP PLAN #0-2420.
"VALGAIN STREET URBAN RENAISSANCE PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, APPROVED AS SHOWING VAUGHAN STREET URBAN RENAISSANCE PROJECT BOUNDARIES AND AREA ONLY, CONDEMNATION MAP" BY ANDERSON-NICHOLS & CO., INC., DATED FEB. 1971, ROP PLAN #0-2425.
"LAND IN PORTSMOUTH, N.H., BOSTON AND MAINE RAILROAD FOR ROSE R. WOLFSON" DATED JUNE 1954, ROP BK. 1324 PG. 45.
"PORTSMOUTH HOUSING AUTHORITY, PORTSMOUTH, NEW HAMPSHIRE, ROOMING HOUSE, VAUGHAN STREET PROJECT, PROJECT NO. NH. R-10, RIGHT OF WAY ADJUSTMENTS PLAN" BY METCALF & EDDY ENGINEERS-PLANNERS, DATED MAY 5, 1966, ROP PLAN #0-2413.
"STATION MAP-LANDS, CONCORD AND PORTSMOUTH R.R. OPERATED BY THE BOSTON MAINE R.R., STATION 40+0 TO STATION 43+07" BY THE OFFICE OF VALUATION ENGINEER, DATED JUNE 30, 1914, NOT RECORDED.
"STATION MAP-LANDS, BOSTON AND MAINE R.R., OPERATED BY THE BOSTON MAINE R.R., STATION 2966+20 TO STATION 2919+0" BY THE OFFICE OF VALUATION ENGINEER, DATED JUNE 30, 1914, NOT RECORDED.
"ALTA/ACSM LAND TITLE SURVEY FOR HARBORSIDE ASSOCIATES, MARKET, DEER & RUSSEL STREETS, COUNTY OF ROCKINGHAM, N.H." BY MALLETT, SPRAGUE & COLWELL, INC., DATED FEBRUARY 24, 1994, LAST REVISED 04-09-98, NOT RECORDED.
"LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP, LLC AND BOSTON AND MAINE CORPORATIONS" BY AMES MSC ARCHITECTS AND ENGINEERS DATED MARCH 14, 2005 WITH REVISION DATE OF 05/03/05, ROP PLAN #0-29573.
"LOT LINE RELOCATION PLAN, MAP 124, LOTS 12 & 13, MAP 118 LOT 28 PROPERTY OF HARBORCORP, LLC AND BOSTON AND MAINE CORPORATIONS" BY MSC CIVIL ENGINEERS AND LAND SURVEYERS, INC. DATED APRIL 24, 2014 WITH REVISION 2 DATED 05/19/14, ROP PLAN #0-37826.
"LAND IN PORTSMOUTH, N.H., BOSTON AND MAINE RAILROAD TO RAYLEN REALTY COMPANY" BY ASST. CHIEF ENGR, DATED APRIL 1961, ROP PLAN #0-20226.
"EASEMENT FOR SEWER PORTSMOUTH, N.H." BY ASST. CHIEF ENGR, DATED DEC. 1936, ROP #0202.
"RECORDS OF THE URBAN SURVEY OF PORTSMOUTH, N.H., R-10 REVISED DISPOSITION PLAN PARCEL 20" BY ANDERSON-NICHOLS & CO., INC., DATED JULY 1974, ROP PLAN #0-4701.
"RECORDS OF THE URBAN SURVEY OF PORTSMOUTH, N.H., R-10 REVISED DISPOSITION PLAN PARCEL 20" BY ANDERSON-NICHOLS & CO., INC., DATED JULY 1974, ROP PLAN #0-4701.
"ALTA/ACSM LAND TITLE SURVEY SHERRATON HOTEL 250 MARKET STREET PORTSMOUTH NEW HAMPSHIRE" BY TFMORAN, INC. DATED AUGUST 19, 2019, PLAN NOT RECORDED.

Table with columns: CURVE #, RADIUS, LENGTH, DELTA, CHORD DIRECTION, CHORD LENGTH. Contains curve data for the project.

Table with columns: LINE #, BEARING, DISTANCE. Contains line data for the project.

DRAFT

DISCLOSED LAND SURVEYOR DATE

TAX MAPS 119, 124, 118, 125 LOTS 4, 12, 28 & 21

NOTES
NORTH END MIXED USE
DEET ST., RUSSELL ST., MARKET ST.
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
PORT HARBOR LAND LLC, PH LOTS LLC
& PORT OWNER HARBOR LLC

SCALE: NO SCALE NOVEMBER 23, 2022

Seacoast Division TFM logo and contact information for Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, and Scientists.

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Table with columns: REVISION #, DATE, DESCRIPTION, DR, ES, CH, CA, RPL, FB, 559, S-2.

Map 119-1-10 (08/2022) - 10 (08/2022) - F:\MSD_Planets\03534 - Market Street - Portsmouth\03534-12 (Port Harbor Land, LLC - 250 Market St, Concord, New Hampshire) - 12 (Lot Line Relocation) - Examined (Prints-R1) - (Map)

NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 1-1A & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE K, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, MAP NUMBER 30150229P WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- GENERAL RECORDS:**
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 808044 P05E14

MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 808193 P05E07

MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 808044 P05E03
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON PC-6000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TITANIAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

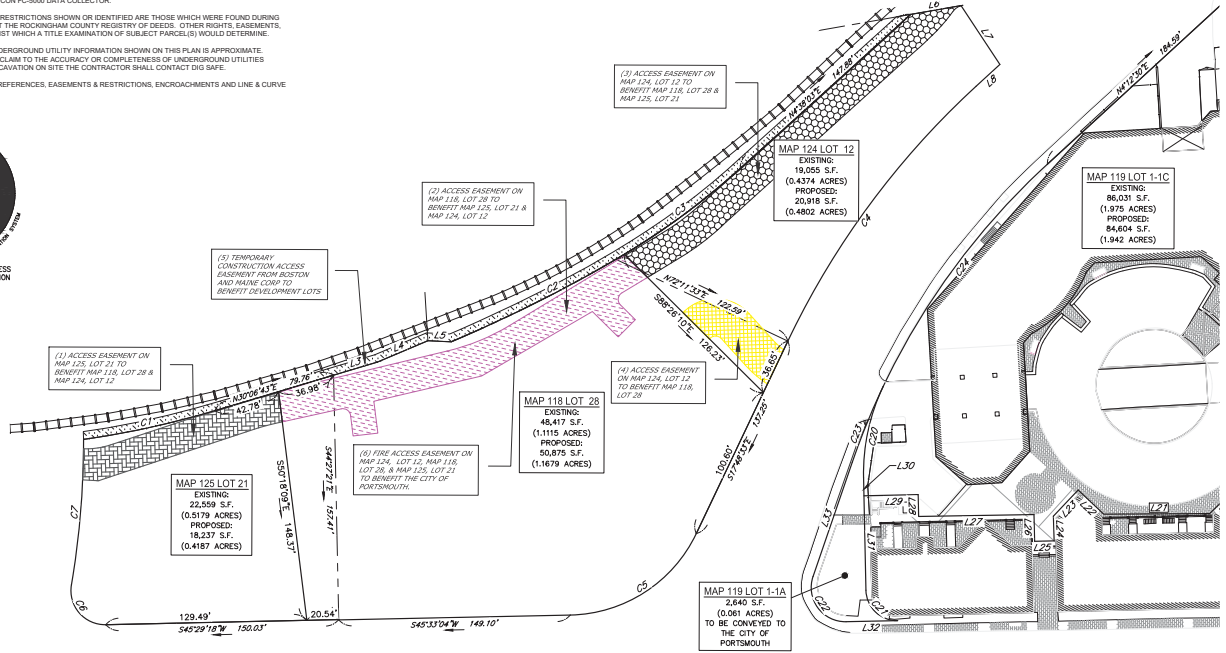
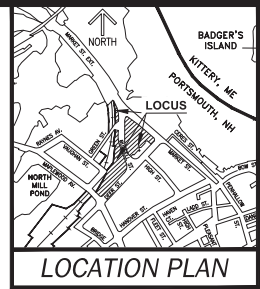
DRAFT

LICENSED LAND SURVEYOR _____

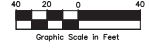
DATE _____

ACCESS EASEMENTS:

- (1) ACCESS EASEMENT ON MAP 125, LOT 21 TO BENEFIT MAP 118, LOT 28 & MAP 124, LOT 12.
- (2) ACCESS EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21 & MAP 124, LOT 12.
- (3) ACCESS EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28 & MAP 125, LOT 21.
- (4) ACCESS EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28.
- (5) TEMPORARY CONSTRUCTION ACCESS EASEMENT FROM BOSTON AND MAINE CORP TO BENEFIT DEVELOPMENT LOTS.
- (6) FIRE ACCESS EASEMENT ON MAP 124, LOT 12, MAP 118, LOT 28, & MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.



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REV	DATE	DESCRIPTION	DR	CK

ACCESS EASEMENT PLAN
NORTH END MIXED USE
 DEER ST., RUSSELL ST., MARKET ST.
 PORTSMOUTH, NEW HAMPSHIRE
 COUNTY OF ROCKINGHAM
 OWNED BY
 PORT HARBOR LAND LLC, PH LOTS LLC
 & PORT OWNER HARBOR LLC

MAP	&	LOT
118		28
119	1-1C, 1-1A, 4	
124		12
125		21

SCALE: 1" = 40' (32x24)
 1" = 80' (11x17)

NOVEMBER 28, 2022

Seacoast Division

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 www.tfmoran.com

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910

45354-12	DR	FB			
	CK	BK	CAD/PLE	SEE MARGIN	S-3

Nov 23, 2022 - 10:23am
 F:\MSP\Projects\45354 - Market Street - Portsmouth\45354-12 Port Harbor Land, LLC - 250 Market St\Location Survey\DWG\45354-12 Loc Line Revision Easement Plans-RT.dwg

NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSORS MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE "A" AS SHOWN ON FLOOD INSURANCE RATE MAP #FIRM/ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 61, MAP NUMBER 301302289 WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- COUNCIL OF RECORD:**
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 369604 P0314

 MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 369604 P0314

 MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCID 369604 P0314
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPERV GPS RECEIVER, AND A TOPCON PC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TRADIAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR, THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

DENSED LAND SURVEYOR _____ DATE _____

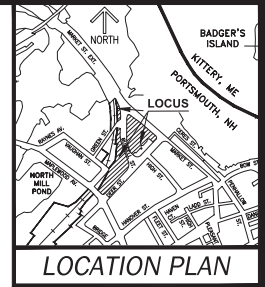
DRAFT

LEGEND

- BOOK / PAGE
- DELTA
- RADIUS
- LENGTH OF CURVE
- NOW OR FORMERLY
- ELEVATION
- ROCKINGHAM COUNTY REGISTRY OF DEEDS
- SQUARE FEET
- APPROXIMATE ABUTTER LINE
- PROPERTY LINE
- WOOD FENCE
- CHAINLINK FENCE
- RAILROAD TRACKS
- BRICK
- GRAVEL
- CONCRETE

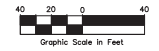
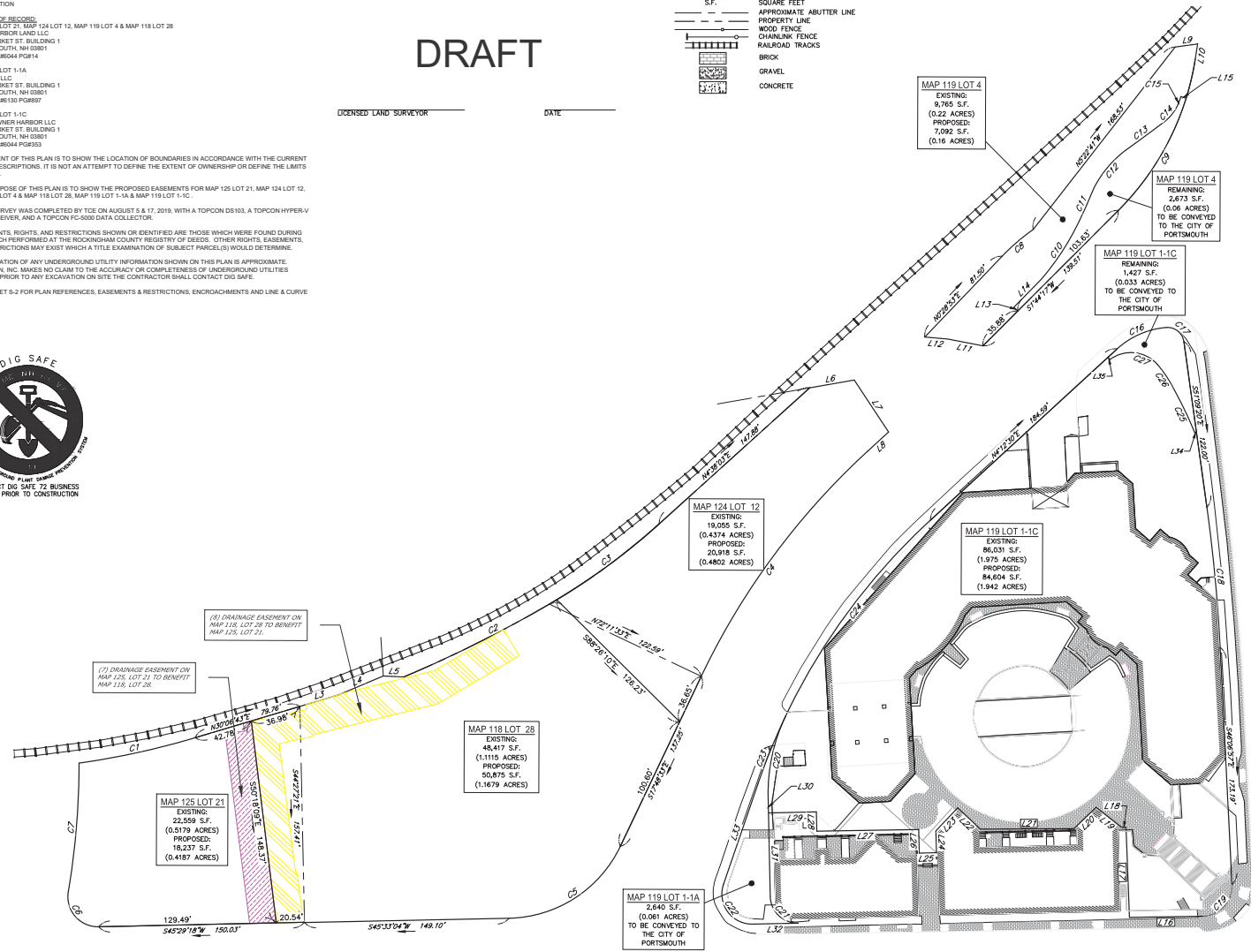
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 This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



DRAINAGE EASEMENTS:

- (7) DRAINAGE EASEMENT ON MAP 125, LOT 21 TO BENEFIT MAP 118, LOT 28.
- (8) DRAINAGE EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21.



REV.	DATE	DESCRIPTION	DR	CK

ACCESS EASEMENT PLAN		MAP & LOT	
NORTH END MIXED USE		118	28
DEER ST., RUSSELL ST., MARKET ST.		119	1-1C, 1-1A, 4
PORTSMOUTH, NEW HAMPSHIRE		124	12
COUNTY OF ROCKINGHAM		125	21
OWNED BY			
PORT HARBOR LAND LLC, PH LOTS LLC & PORT OWNER HARBOR LLC			

SCALE: 1" = 40' (22x34)
 1" = 80' (11x17)
 NOVEMBER 23, 2022

45364-12	DR	FB	SEE MARGIN	S-4
	CK	CA/PLF		

Nov 23, 2022 - 10:24am F:\MISC\Projects\45364-12 Port Harbor Land, LLC - 250 Market St\Location Survey\Drawings\45364-12 Lot Line Revision Easement Plans-S1.dwg




NOTES:

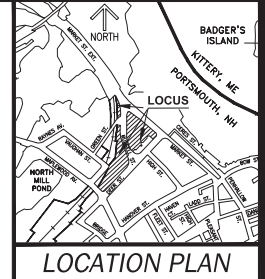
- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) & HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 250 OF 881, MAP NUMBER 3301C0205F WITH AN EFFECTIVE DATE OF JANUARY 03, 2021.
- SEE SECTION
- OWNER OF RECORD:
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST., BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK96044 PG#14
 MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST., BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK96130 PG#67
 MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST., BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK96044 PG#63
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 5 & 17, 2019, WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON SC-9000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET S-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MONTH, YEAR, THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSEURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

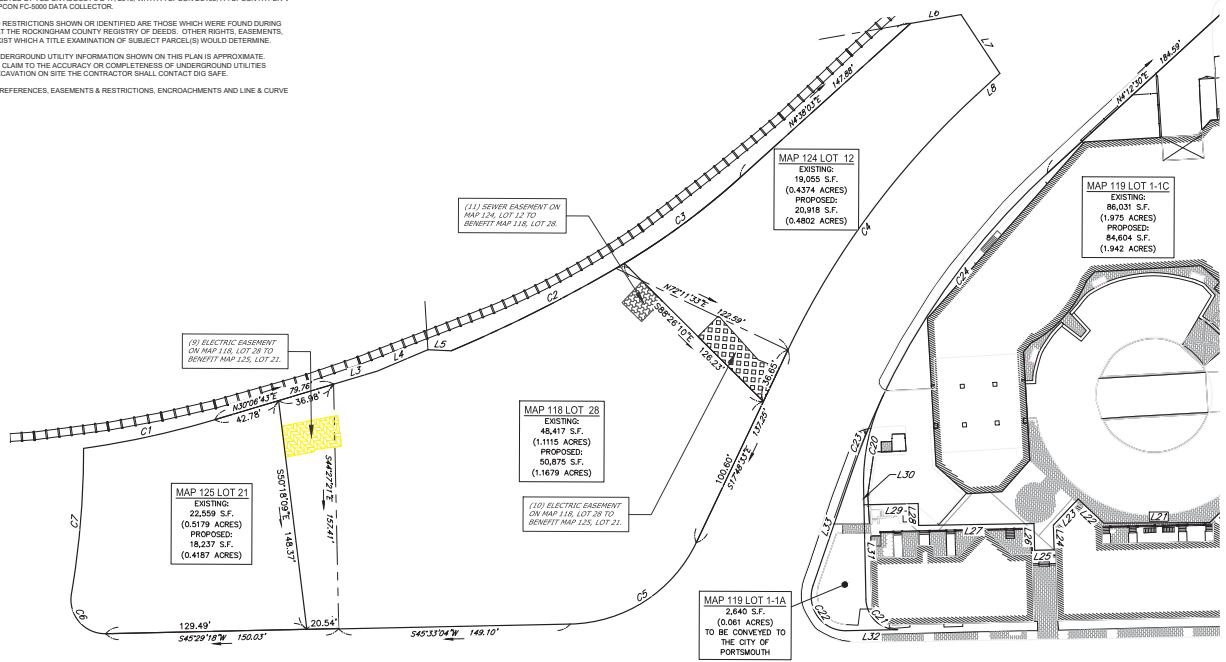
UTILITIES EASEMENTS:

-  (9) ELECTRIC EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 125, LOT 21.
-  (10) ELECTRIC EASEMENT ON MAP 118, LOT 28 TO BENEFIT MAP 124, LOT 12.
-  (11) SEWER EASEMENT ON MAP 124, LOT 12 TO BENEFIT MAP 118, LOT 28.



DRAFT

LICENSED LAND SURVEYOR _____ DATE _____



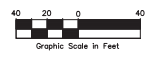
UTILITIES EASEMENT PLAN
NORTH END MIXED USE
 DEER ST., RUSSELL ST., MARKET ST.
 PORTSMOUTH, NEW HAMPSHIRE
 COUNTY OF ROCKINGHAM
 OWNED BY
 PORT HARBOR LAND LLC, PH LOTS LLC
 & PORT OWNER HARBOR LLC

MAP & LOT	
118	28
119	1-1C, 1-1A, 4
124	12
125	21

SCALE: 1" = 40' (22x34)
 1" = 80' (11x17)


NOVEMBER 29, 2022

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 This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



REV.	DATE	DESCRIPTION	DR	CK

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

45354-12	DR	FB	SEE MARGIN	S-5
	CK	BNK		

Nov 23, 2022 - 10:23am
 F:\MISC Projects\45354 - Market Street - Portsmouth\45354-12 Port Harbor Land, LLC - 250 Market St\Location Survey\DWG\45354-12 Lot Line Revision Easement Plans-RT.dwg

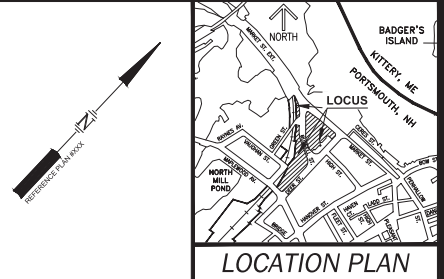
NOTES:

- THE PARCELS ARE LOCATED IN THE CHARACTER DISTRICT 5 (CD5) HISTORICAL DISTRICT (HD).
- THE PARCELS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 125 LOT 21, MAP 124 LOT 12, MAP 124 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- THE PARCELS ARE LOCATED IN ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 461, MAP NUMBER 330162039 WITH AN EFFECTIVE DATE OF JANUARY 29, 2021.
- SEE SECTION
- OWNER OF RECORD:**
 MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28
 PORT HARBOR LAND LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK46130 PG4897
 MAP 119 LOT 1-1A
 PH LOTS LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK46130 PG4897
 MAP 119 LOT 1-1C
 PORT OWNER HARBOR LLC
 1000 MARKET ST. BUILDING 1
 PORTSMOUTH, NH 03801
 RCRD BK46044 PG3533
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS FOR MAP 125 LOT 21, MAP 124 LOT 12, MAP 119 LOT 4 & MAP 118 LOT 28, MAP 119 LOT 1-1A & MAP 119 LOT 1-1C.
- FIELD SURVEY WAS COMPLETED BY TCE ON AUGUST 8 & 17, 2019. WITH A TOPCON DS103, A TOPCON HYPER-V GPS RECEIVER, AND A TOPCON FC-5000 DATA COLLECTOR.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCELS WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMoran, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG SAFE.
- SEE SHEET 9-2 FOR PLAN REFERENCES, EASEMENTS & RESTRICTIONS, ENCROACHMENTS AND LINE & CURVE TABLES.

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:16, II, III AND IV AND 672:14:
 I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN WORK, YET AS THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSES FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

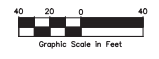
DRAFT

LICENSED LAND SURVEYOR _____ DATE _____



- COMMUNITY SPACE EASEMENTS:**
- (12) WIDE SIDEWALK EASEMENT ON MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.
 - (13) WIDE SIDEWALK EASEMENT ON MAP 118, LOT 28 TO BENEFIT THE CITY OF PORTSMOUTH.
 - (14) WIDE SIDEWALK EASEMENT ON MAP 124, LOT 12 TO BENEFIT THE CITY OF PORTSMOUTH.
 - (15) PEDESTRIAN ALLEY ON MAP 125, LOT 21 TO BENEFIT THE CITY OF PORTSMOUTH.
 - (16) PEDESTRIAN ALLEY ON MAP 118, LOT 28 TO BENEFIT THE CITY OF PORTSMOUTH.
 - (17) PEDESTRIAN ALLEY ON MAP 124, LOT 12 TO BENEFIT THE CITY OF PORTSMOUTH.
 - (18) PARK AREA COMMUNITY EASEMENT MAP 119, LOT 4 TO BENEFIT THE CITY OF PORTSMOUTH.

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REV.	DATE	DESCRIPTION	DR	CK

COMMUNITY SPACE EASEMENT PLAN
NORTH END MIXED USE
DEER ST., RUSSELL ST., MARKET ST.
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
PORT HARBOR LAND LLC, PH LOTS LLC
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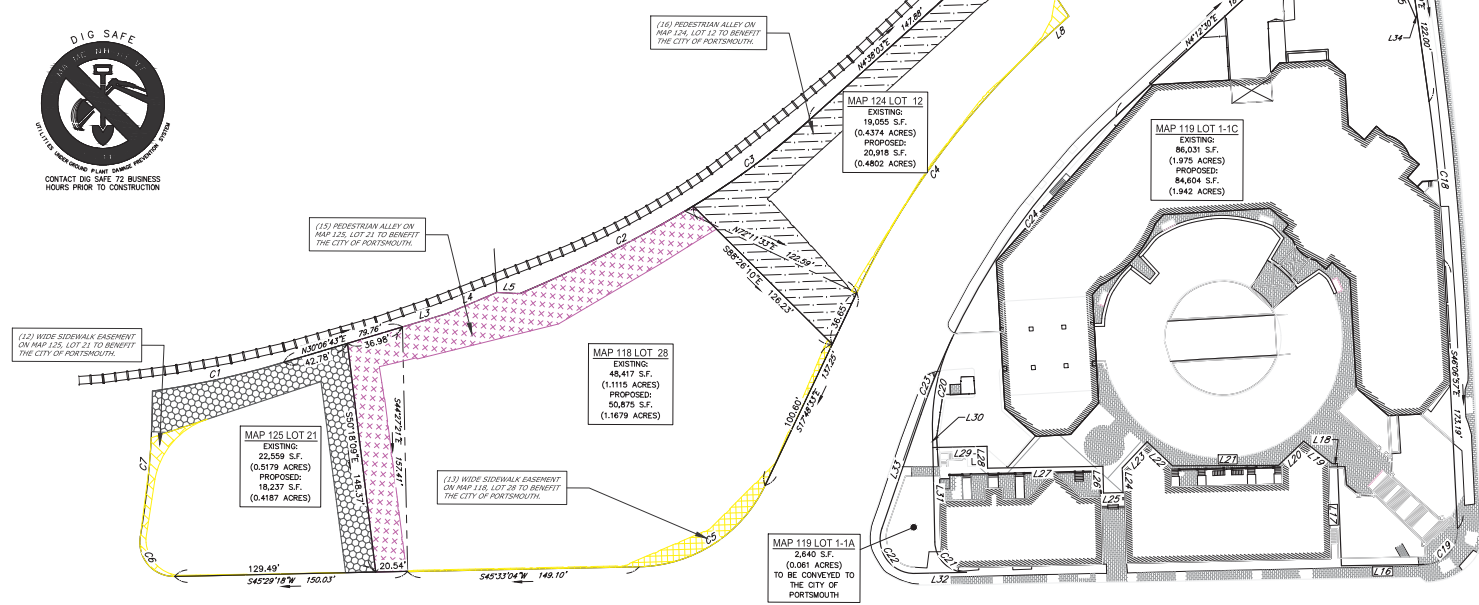
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45354-12	DR	PK	SEE MARGIN	S-6
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Nov 23, 2022 - 10:23am
 F:\MISC\Projects\45354-12 Port Harbor Land, LLC - 250 Market St Location Survey\DWG\45354-12 Lot Line Revision Easement Plans-RT.dwg

- GENERAL NOTES:**
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
 - COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
 - THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CALL DIGI DIG-AND LOCATE 24 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND OBTAIN PERMITS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, WATER AND SEWER SERVICES, TELEPHONE SERVICES, TARIFFED SERVICE SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
 - ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROADS AND BRIDGE CONSTRUCTION", CURRENT EDITION.
 - CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (DWG AND PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
 - CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 - SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
 - APPLICANT SHALL SUBMIT, AS PART OF THE FINAL POST APPROVAL PROCEDURES, RELEVANT FTAP INFORMATION USING THE MOST RECENT ONLINE DATA PORTAL CURRENTLY MANAGED BY THE UNH STORMWATER CENTER. THE PLANNING DEPARTMENT SHALL BE NOTIFIED AND COPIED OF THE FTAP DATA SUBMISSION.
 - A VIDEO INSPECTION OF THE EXISTING SEWER AND DRAIN LINES ON MAPLEWOOD AVENUE, DEER STREET AND RUSSELL STREET SHALL BE COMPLETED AND PROVIDED TO PORTSMOUTH DPW BOTH BEFORE AND AFTER CONSTRUCTION.
 - CONTRACTOR SHALL INSTALL INTERSECTION VIDEO DETECTION FOR MAPLEWOOD AVENUE AND DEER STREET INTERSECTION. COORDINATE WITH THE CITY OF PORTSMOUTH TRAFFIC DEPARTMENT.

- DEMOLITION NOTES:**
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
 - ALL MATERIALS SHALL BE REMOVED FROM THE PROPERTY BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND LAWS.
 - COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
 - ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
 - SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT IS TO BE REMOVED OR RECONSTRUCTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK IDENTIFIED BY OTHERS.
 - ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINAGE AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY FOUND AND MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
 - PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTORS CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATIVE CONSTRUCTION TO VERIFY LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
 - CONTRACTOR SHALL REMOVE AND DISPOSAL OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS UNLESS OTHERWISE NOTED TO REMAIN. STRUCTURES SHALL INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLE, CATCH BASIN, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS BARRIERS, BULLDOZERS, FOUNDATION, TREES AND LANDSCAPING.
 - REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORKS. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
 - CONTRACTOR SHALL PROTECT ALL CITY DEMOLITION AND CONSTRUCTION OPERATIONS. CONTRACTOR SHALL MAINTAIN THESE OPERATIONS SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO RELOCATE OR RESTORE DISTURBED MONUMENTS.
 - PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS BEING REMOVED FROM CONSTRUCTION. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/4" THE DESIGN DEPTH OF THE BARRIER.
 - CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS TO REMAIN.
 - THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

- CONSTRUCTION PLAN NOTES:**
- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC., SEE REFERENCE PLAN #1.
 - "EXISTING FEATURES PLAN #118 LOT 20, MAP 119 LOT 4, MAP 124 LOT 12 AND MAP 125 LOT 21" PREPARED BY MSC CIVIL ENGINEERS AND LAND SURVEYORS, INC., DATED JANUARY 16, 2015.

- GENERAL NOTES:**
- CONTRACTOR REQUIREMENTS:
 - BLOW PAVED OR CONCRETE AREAS 95%
 - TRENCH BEDDING MATERIAL AND SAND UNDERLAY 95%
 - BELOW LOAM AND SEED AREAS 90%
 - *ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557. METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
 - ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR H-Q, 405 N-12 OR EQUAL) UNLESS OTHERWISE SPECIFIED.
 - ADJUST ALL MANHOLE, CATCH BASINS, CURB ROWES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
 - ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE A LOAM, SEED FERTILIZER AND MULCH.
 - ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 - ALL PROPOSED CATCH BASIN SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.

- EROSION CONTROL NOTES:**
- SEE SHEET S-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.

- UTILITY NOTES:**
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - NATURAL GAS - URBEL
 - WATER/SEWER - CITY OF PORTSMOUTH
 - ELECTRIC - EVERSOURCE
 - COMMUNICATIONS - COMCAST/CONSOLIDATED COMMUNICATIONS/FIRST LIGHT
 - ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
 - ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
 - ALL SEWER PIPE SHALL BE PVC 3035 UNLESS OTHERWISE STATED.
 - CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTER PROPERTIES THROUGHOUT CONSTRUCTION.
 - CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
 - EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
 - ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
 - THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
 - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTIONS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
 - CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
 - A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES: AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS TO REMAIN.
 - HORNANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
 - COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
 - ALL SEWER PIPE WITH LESS THAN 4" OF COVER IN PAVED AREAS OR LESS THAN 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
 - CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
 - SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
 - CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10" OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
 - FINAL LOCATIONS OF ALL UTILITY LINES SHALL BE APPROVED BY THE CITY OF PORTSMOUTH DPW PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PERFORM TEST FITS TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IF LOCATIONS DIFFER FROM PLAN.
 - CONTRACTOR SHALL COMPLETE PIPE AND POST BLAST SURVEY AND MONITORING OF THE EXISTING SEWER LINE ALONG DEER STREET.

- LANDSCAPE NOTES:**
- SEE SHEET L-100 FOR LANDSCAPE NOTES.

- REFERENCE PLANS:**
- "EXISTING FEATURES PLAN #118 LOT 20, MAP 119 LOT 4, MAP 124 LOT 12 AND MAP 125 LOT 21" PREPARED BY MSC CIVIL ENGINEERS AND LAND SURVEYORS, INC., DATED JANUARY 16, 2015.

- GRADING AND DRAINAGE NOTES:**
- CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND OBTAIN PERMITS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
 - THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, WATER AND SEWER SERVICES, TELEPHONE SERVICES, TARIFFED SERVICE SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
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- DEMOLITION NOTES:**
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
 - ALL MATERIALS SHALL BE REMOVED FROM THE PROPERTY BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND LAWS.
 - COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
 - ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
 - SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT IS TO BE REMOVED OR RECONSTRUCTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK IDENTIFIED BY OTHERS.
 - ALL UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINAGE AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY UTILITY FOUND AND MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
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 - REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORKS. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
 - CONTRACTOR SHALL PROTECT ALL CITY DEMOLITION AND CONSTRUCTION OPERATIONS. CONTRACTOR SHALL MAINTAIN THESE OPERATIONS SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO RELOCATE OR RESTORE DISTURBED MONUMENTS.
 - PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS BEING REMOVED FROM CONSTRUCTION. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/4" THE DESIGN DEPTH OF THE BARRIER.
 - CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS TO REMAIN.
 - THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

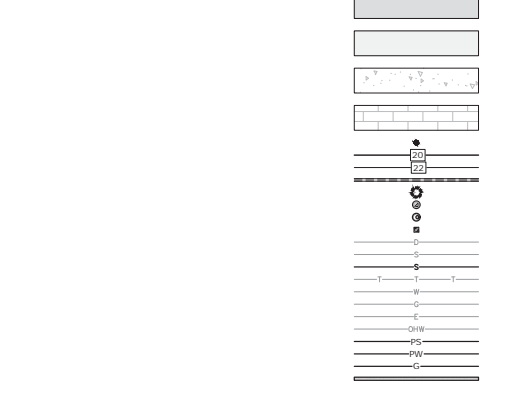
- CONSTRUCTION PLAN NOTES:**
- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY PERFORMED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC., SEE REFERENCE PLAN #1.
 - "EXISTING FEATURES PLAN #118 LOT 20, MAP 119 LOT 4, MAP 124 LOT 12 AND MAP 125 LOT 21" PREPARED BY MSC CIVIL ENGINEERS AND LAND SURVEYORS, INC., DATED JANUARY 16, 2015.

- GENERAL NOTES:**
- PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTER LINES. ALL MARKINGS EXCEPT CENTER LINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF ASHOTO M24H 2011. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTER LINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF ASHOTO M24B TYPE "P".
 - ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 - SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
 - CENTURIES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
 - PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
 - STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.
 - CLEAN AND CONT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH HS-1 EXCAVATOR IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 - CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
 - ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
 - COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
 - SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
 - THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
 - ALL TREES PLANTED ARE TO BE INSTALLED UNDER THE SUPERVISION OF THE CITY OF PORTSMOUTH DPW USING STANDARD INSTALLATION METHODS.
 - A TEMPORARY SUPPORT OF EXCAVATION (SOE) PLAN SHALL BE PREPARED BY THE APPLICANT'S CONTRACTOR TO CONFIRM ANY TEMPORARY ENCUMBRANCES OF THE CITY'S RIGHT-OF-WAY. IF LICENSES ARE REQUIRED FOR THE SOE, THE APPLICANT WILL BE REQUIRED TO OBTAIN THESE FROM THE CITY PRIOR TO CONSTRUCTION.
 - THE PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. ALL SNOW REMOVAL WILL BE HALLED OFF-SITE AND LEGALLY DISPOSED OF.
 - THE STREET LIGHTING TYPE TO BE HISTORIC STYLE FIXTURES AND POLE TO MATCH EXISTING LIGHTING ON SOUTH SIDE OF DEER STREET.
 - CONSTRUCTION SEQUENCING OF NORTH COMMUNITY PARK SHALL BE COORDINATED WITH MARKET STREET AND RUSSELL STREET INTERSECTION CONSTRUCTION. NORTH COMMUNITY PARK SHALL NOT BE CONSTRUCTED UNTIL THE INTERSECTION ROUNDABOUT HAS BEEN CONSTRUCTED.
 - THE PROPOSED LOADING ZONE SHALL BE REVIEWED BY THE PARKING & TRAFFIC SAFETY COMMITTEE FOR RECOMMENDATION TO CITY COUNCIL.
 - THE APPLICANT'S CONTRACTOR SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMP) FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING DEPARTMENTS.
 - THE FINAL STYLE AND COLOR OF THE RRFB POLES SHALL BE APPROVED BY PORTSMOUTH DPW PRIOR TO CONSTRUCTION.
 - THE FINAL LOCATION OF THE RRFB SHALL BE DETERMINED IN FIELD.

- LANDSCAPE NOTES:**
- SEE SHEET L-100 FOR LANDSCAPE NOTES.

- REFERENCE PLANS:**
- "EXISTING FEATURES PLAN #118 LOT 20, MAP 119 LOT 4, MAP 124 LOT 12 AND MAP 125 LOT 21" PREPARED BY MSC CIVIL ENGINEERS AND LAND SURVEYORS, INC., DATED JANUARY 16, 2015.

- ABBREVIATIONS**
- | | |
|----------|---------------------------|
| BRG | TO BE REMOVED |
| BUILDING | BUILDING |
| TP | TYPICAL |
| COORD | COORDINATE |
| 30R | CURB RADIUS |
| SSWL | SINGLE SOLID WHITE LINE |
| DVYL | DOUBLE SOLID YELLOW LINE |
| VGC | VERTICAL GRANITE CURB |
| SQC | SLOPED GRANITE CURB |
| FGC | FLUSH GRANITE CURB |
| TC | TOP OF CURB |
| BC | BOTTOM OF CURB |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |
| TS | TOP OF STEP |
| BS | BOTTOM OF STEP |
| HDFE | HIGH-DENSITY POLYETHYLENE |
| FF | FINISH FLOOR |
| VF | VERIFY IN FIELD |



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

I	5/22/2023	Act1 Resubmission
H	12/5/2023	Act1 Submission
G	11/23/2022	PS Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	T5037-002	
DATE:	May 24, 2022	
FILE:	T5037-002-C-050A.DWG	
DRAWN BY:	CRK	
CHECKED:	MMH	
APPROVED:	PKC	

GENERAL NOTES AND LEGEND

SCALE: AS SHOWN

G-100

North End Mixed Use Development - 118 Lot 20, 119 Lot 4, 124 Lot 12, 125 Lot 21 - 05/23/2023
 Mark & Robert A. (1/27/2023) 118 Lot 20, 119 Lot 4, 124 Lot 12, 125 Lot 21 - 05/23/2023
 Mark & Robert A. (1/27/2023) 118 Lot 20, 119 Lot 4, 124 Lot 12, 125 Lot 21 - 05/23/2023



North End Mixed Use Development

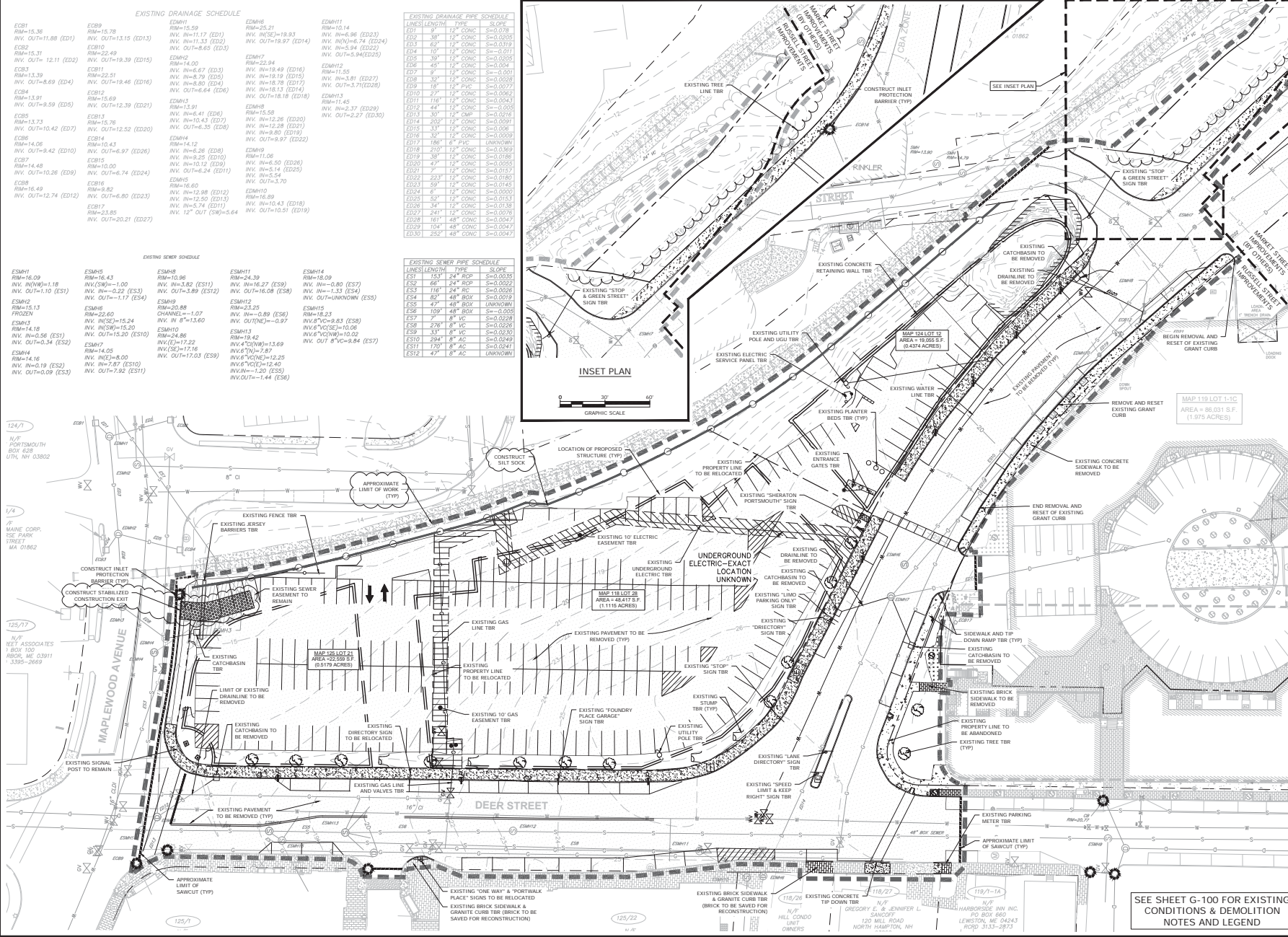
Two International Group

Russell Street & Deer Street Portsmouth, NH

I	5/22/2023	Act Resubmission
H	12/5/2023	Act Submission
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B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	T5037-002	
DATE	May 24, 2022	
FILE	T5037-002-C-DSGN.DWG	
DRAWN BY:	CJK	
CHECKED:	NHM	
APPROVED:	PAC	

EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN

SCALE: AS SHOWN



EXISTING DRAINAGE SCHEDULE

ECB1 RM=15.36 INV. OUT=11.88 (ED1)	ECB9 RM=15.78 INV. OUT=13.15 (ED13)	EDM1 RM=15.58 INV. IN=11.17 (ED1)	EDM6 RM=15.21 INV. INSE=19.93 INV. OUT=18.97 (ED14)	EDM11 RM=15.14 INV. IN=6.96 (ED23)
ECB2 RM=15.31 INV. OUT=12.11 (ED2)	EDB10 RM=22.49 INV. OUT=19.39 (ED15)	EDM2 RM=14.00 INV. IN=14.67 (ED3)	EDM7 RM=22.94 INV. IN=15.49 (ED16)	EDM12 RM=11.55 INV. IN=18.19 (ED15)
ECB3 RM=23.39 INV. OUT=6.69 (ED4)	EDB11 RM=22.21 INV. IN=8.79 (ED15)	EDM3 RM=14.12 INV. IN=18.43 (ED7)	EDM8 RM=15.58 INV. IN=12.38 (ED20)	EDM13 RM=11.55 INV. IN=18.19 (ED15)
ECB4 RM=13.91 INV. OUT=9.59 (ED5)	EDB12 RM=15.69 INV. OUT=12.39 (ED21)	EDM4 RM=14.12 INV. IN=6.50 (ED26)	EDM9 RM=11.55 INV. IN=18.19 (ED15)	EDM14 RM=11.55 INV. IN=18.19 (ED15)
ECB5 RM=13.71 INV. OUT=10.42 (ED7)	EDB13 RM=15.78 INV. OUT=12.52 (ED20)	EDM5 RM=14.12 INV. IN=6.50 (ED26)	EDM10 RM=11.55 INV. IN=18.19 (ED15)	EDM15 RM=11.55 INV. IN=18.19 (ED15)
ECB6 RM=14.06 INV. OUT=9.42 (ED10)	EDB14 RM=14.12 INV. IN=6.50 (ED26)	EDM6 RM=15.58 INV. IN=12.38 (ED20)	EDM11 RM=15.14 INV. IN=6.96 (ED23)	EDM16 RM=11.55 INV. IN=18.19 (ED15)
ECB7 RM=14.48 INV. OUT=10.26 (ED9)	EDB15 RM=15.69 INV. OUT=12.39 (ED21)	EDM7 RM=22.94 INV. IN=15.49 (ED16)	EDM12 RM=11.55 INV. IN=18.19 (ED15)	EDM17 RM=11.55 INV. IN=18.19 (ED15)
ECB8 RM=15.49 INV. OUT=12.74 (ED12)	EDB16 RM=16.00 INV. IN=6.50 (ED26)	EDM8 RM=15.58 INV. IN=12.38 (ED20)	EDM13 RM=11.55 INV. IN=18.19 (ED15)	EDM18 RM=11.55 INV. IN=18.19 (ED15)
ECB9 RM=15.49 INV. OUT=12.74 (ED12)	EDB17 RM=16.00 INV. IN=6.50 (ED26)	EDM9 RM=11.55 INV. IN=18.19 (ED15)	EDM14 RM=11.55 INV. IN=18.19 (ED15)	EDM19 RM=11.55 INV. IN=18.19 (ED15)
ECB10 RM=15.49 INV. OUT=12.74 (ED12)	EDB18 RM=16.00 INV. IN=6.50 (ED26)	EDM10 RM=11.55 INV. IN=18.19 (ED15)	EDM15 RM=11.55 INV. IN=18.19 (ED15)	EDM20 RM=11.55 INV. IN=18.19 (ED15)

EXISTING DRAINAGE PIPE SCHEDULE

LINE#	LENGTH	TYPE	SLOPE
ED1	9'	12" CONC	S=-0.078
ED2	38'	12" CONC	S=-0.025
ED3	62'	12" CONC	S=-0.019
ED4	10'	12" CONC	S=-0.071
ED5	35'	12" CONC	S=-0.025
ED6	45'	12" CONC	S=-0.024
ED7	9'	12" CONC	S=-0.023
ED8	32'	12" CONC	S=-0.028
ED9	18'	12" CONC	S=-0.071
ED10	22'	12" CONC	S=-0.023
ED11	176'	12" CONC	S=-0.041
ED12	44'	12" CONC	S=-0.025
ED13	30'	12" CONC	S=-0.028
ED14	200'	12" CONC	S=-0.091
ED15	33'	12" CONC	S=-0.026
ED16	32'	12" CONC	S=-0.029
ED17	188'	8" PVC	S=-0.0081
ED18	210'	12" CONC	S=-0.063
ED19	38'	12" CONC	S=-0.018
ED20	42'	12" CONC	S=-0.025
ED21	7'	12" CONC	S=-0.017
ED22	223'	12" CONC	S=-0.080
ED23	59'	12" CONC	S=-0.045
ED24	6'	12" CONC	S=-0.020
ED25	32'	12" CONC	S=-0.023
ED26	34'	12" CONC	S=-0.018
ED27	241'	12" CONC	S=-0.028
ED28	161'	48" CONC	S=-0.041
ED29	104'	48" CONC	S=-0.047
ED30	355'	48" CONC	S=-0.041

EXISTING SEWER SCHEDULE

ESM9 RM=16.09 INV. IN(W)=1.18 INV. OUT=1.10 (ES1)	ESM10 RM=16.43 INV. IN(W)=1.00 INV. OUT=1.10 (ES1)	ESM11 RM=16.39 INV. IN=3.82 (ES1)	ESM12 RM=24.39 INV. IN=16.27 (ES8)	ESM13 RM=18.09 INV. IN=0.80 (ES7)
ESM13 RM=15.13 PROZEN	ESM14 RM=14.18 INV. IN=0.56 (ES1)	ESM15 RM=14.18 INV. IN=0.56 (ES1)	ESM16 RM=14.18 INV. IN=0.56 (ES1)	ESM17 RM=14.18 INV. IN=0.56 (ES1)
ESM18 RM=14.18 INV. IN=0.56 (ES1)	ESM19 RM=14.18 INV. IN=0.56 (ES1)	ESM20 RM=14.18 INV. IN=0.56 (ES1)	ESM21 RM=14.18 INV. IN=0.56 (ES1)	ESM22 RM=14.18 INV. IN=0.56 (ES1)
ESM23 RM=14.18 INV. IN=0.56 (ES1)	ESM24 RM=14.18 INV. IN=0.56 (ES1)	ESM25 RM=14.18 INV. IN=0.56 (ES1)	ESM26 RM=14.18 INV. IN=0.56 (ES1)	ESM27 RM=14.18 INV. IN=0.56 (ES1)
ESM28 RM=14.18 INV. IN=0.56 (ES1)	ESM29 RM=14.18 INV. IN=0.56 (ES1)	ESM30 RM=14.18 INV. IN=0.56 (ES1)	ESM31 RM=14.18 INV. IN=0.56 (ES1)	ESM32 RM=14.18 INV. IN=0.56 (ES1)

EXISTING SEWER PIPE SCHEDULE

LINE#	LENGTH	TYPE	SLOPE
ES1	153'	24" RCP	S=-0.035
ES2	66'	24" RCP	S=-0.022
ES3	176'	24" RCP	S=-0.025
ES4	85'	48" BOX	S=-0.079
ES5	47'	48" BOX	S=-0.0081
ES6	109'	48" BOX	S=-0.025
ES7	6'	VIC	S=-0.028
ES8	278'	8" VIC	S=-0.026
ES9	33'	8" VIC	S=-0.020
ES10	294'	AC	S=-0.049
ES11	170'	8" AC	S=-0.041
ES12	47'	8" AC	S=-0.041

124/1
N/P
PORTSMOUTH
BOX 628
UTL, NH 03802

1/1
A MAINE CORP.
102 PARK
STREET
MA 01862

125/71
N/P
SEET ASSOCIATES
1 BOX 100
RBOR, ME 03911
3395-2669

125/72
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/73
N/P
GREGORY E. & JENNIFER L. SANDOZ
120 MILL ROAD
NORTH HAMPTON, NH

125/74
N/P
HILL CONDO UNIT OWNERS

125/75
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/76
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/77
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/78
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/79
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/80
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/81
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

125/82
N/P
HARBORSIDE INV. INC.
PO BOX 660
LEWISTON, ME 04243
603-243-2833

SITE DATA:
 LOCATION: TAX MAP 118 LOT 28 OWNER: PORT HARBOR LAND LLC
 TAX MAP 119 LOT 1-1A 1000 MARKET ST
 TAX MAP 119 LOT 1-1C BUILDING ONE
 PORTSMOUTH, NH 03801
 TAX MAP 119 LOT 4
 TAX MAP 124 LOT 12
 TAX MAP 125 LOT 21

ZONING DISTRICT: CHARACTER DISTRICT 5 (CD5)
 DOWNTOWN OVERLAY DISTRICT
 NORTH END INCENTIVE OVERLAY DISTRICT
 HISTORIC DISTRICT

PROPOSED USE: MIXED USE, RESIDENTIAL, RETAIL

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING)	REQUIRED	PROPOSED	MAP 118 LOT 28	MAP 124 LOT 12	MAP 125 LOT 21
MAXIMUM PRINCIPAL FRONT YARD:	5 FT	MAP 125 LOT 21 6 FT ⁽¹⁾	MAP 118 LOT 28 10 FT ⁽¹⁾	MAP 124 LOT 12 10 FT ⁽¹⁾	MAP 125 LOT 21 10 FT ⁽¹⁾
SIDE YARD:	NR	NR	NR	NR	NR
MINIMUM REAR YARD:	5 FT	20 FT	20 FT	20 FT	20 FT
FRONT LOT LINE LENGTH:	NR	81%	100%	84%	80%
MINIMUM FRONT LOT LINE BULBOUT:	80%				
BUILDING AND LOT OCCUPATION:	REQUIRED	PROPOSED	MAP 118 LOT 28	MAP 124 LOT 12	MAP 125 LOT 21
MAXIMUM BUILDING BLOCK LENGTH:	225 FT	107 FT	104 FT	225 FT	107 FT
MAXIMUM FACADE MODULATION LENGTH:	150 FT	<100 FT	<100 FT	<100 FT	<100 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	95%	65%	71%	58%	65%
MAXIMUM BUILDING FOOTPRINT:	40,000 SF ⁽²⁾	11,950 SF	39,255 SF	11,210 SF	11,950 SF
MINIMUM LOT AREA:	NR	NR	33%	42%	33%
MINIMUM OPEN SPACE:	5%	15,000 SF	7,975 SF	10,419 SF	15,000 SF
MAXIMUM GROUND FLOOR GFA PER USE:					
BUILDING FORM (PRINCIPAL BUILDING)	REQUIRED	PROPOSED	MAP 118 LOT 28	MAP 124 LOT 12	MAP 125 LOT 21
BUILDING HEIGHT:	2-4 STORIES	4 STORIES	5 STORIES ⁽³⁾	5 STORIES ⁽³⁾	4 STORIES
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	0 IN	0 IN	0 IN	36 IN
MINIMUM GROUND STORY HEIGHT:	12 FT	16.5 FT	14.0 FT	13.0 FT	12 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10 FT	10.5 FT	10.5 FT	10 FT
FACADE GLAZING:	SHOP FRONT	70% MIN.	75%	73%	71%
ALLOWED ROOF TYPES:	FLAT, GABLE, HIP	FLAT	FLAT	FLAT	FLAT
	GABRIEL, MANSARD				

OFF-STREET PARKING REQUIREMENTS

PARKING SPACES REQUIRED:	REQUIRED	PROPOSED
COMMERCIAL:	NO REQUIREMENT IN DDD	0 SPACES
DWELLING UNITS:	OVER 750 SF, 1.3 SPACES PER UNIT	80 UNITS 104 SPACES
VISITOR SPACES:	1 SPACE PER 5 DWELLING UNITS	80 UNITS 16 SPACES
EXISTING HOTEL:	0.75 SPACES PER GUEST ROOM	181 ROOMS 136 SPACES
EXISTING SEATED CONDO SPACES:	SHERATON CONDOS	24 SPACES
	DEER STREET CONDOS	58 SPACES
DOWNTOWN OVERLAY DISTRICT:		4 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED:		334 SPACES
TOTAL PARKING SPACES PROVIDED:		154 SPACES
EXISTING SHERATON HOTEL PARKING ON SITE SURFACE PARKING:		154 SPACES
TOTAL SPACES PROVIDED:		340 SPACES

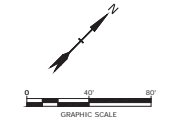
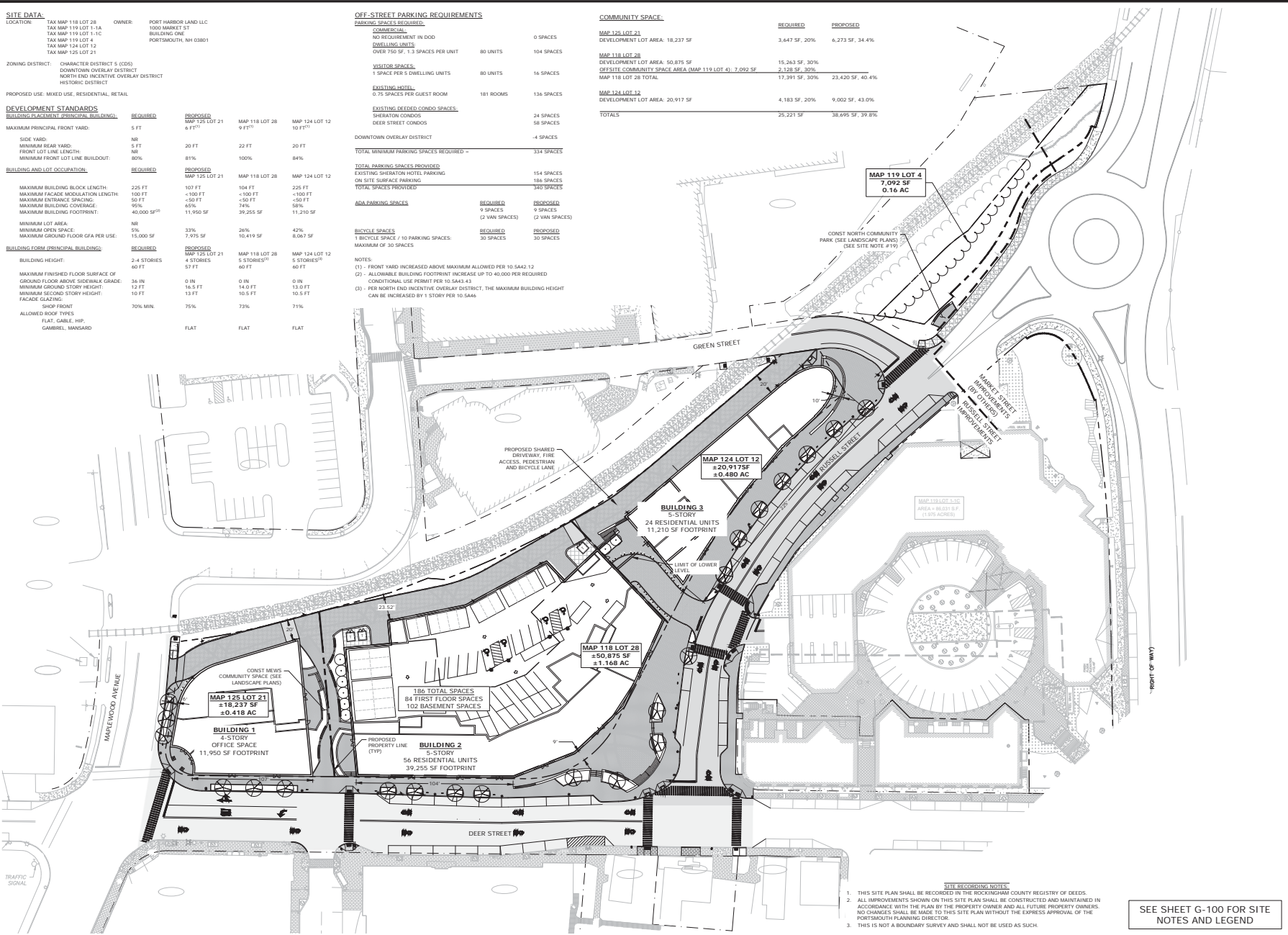
ADA PARKING SPACES: REQUIRED 9 SPACES (2 VAN SPACES) PROPOSED 9 SPACES (2 VAN SPACES)

BICYCLE SPACES: REQUIRED 1 BICYCLE SPACE + 10 PARKING SPACES PROPOSED 30 SPACES

NOTES:
 (1) - FRONT YARD INCREASED ABOVE MAXIMUM ALLOWED PER 10 SA42.12
 (2) - ALLOWABLE BUILDING FOOTPRINT INCREASE UP TO 40,000 PER REQUIRED
 (3) - PER NORTH END INCENTIVE OVERLAY DISTRICT, THE MAXIMUM BUILDING HEIGHT CAN BE INCREASED BY 1 STORY PER 10 SA44.

COMMUNITY SPACE:

	REQUIRED	PROPOSED
MAP 125 LOT 21 DEVELOPMENT LOT AREA: 18,237 SF	3,647 SF, 20%	6,273 SF, 34.4%
MAP 118 LOT 28 DEVELOPMENT LOT AREA: 50,875 SF	15,263 SF, 30%	
OFF-SITE COMMUNITY SPACE AREA (MAP 119 LOT 4): 7,092 SF	2,128 SF, 30%	
MAP 118 LOT 28 TOTAL:	17,941 SF, 30%	23,420 SF, 40.4%
MAP 124 LOT 12 DEVELOPMENT LOT AREA: 20,917 SF	4,183 SF, 20%	9,002 SF, 43.0%
TOTALS:	25,221 SF	38,895 SF, 39.8%



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
 Portsmouth, NH

K	9/24/2024	Extension Request Submission
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APPROVED:	PAC	

OVERALL SITE PLAN

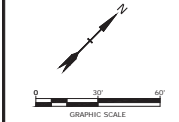
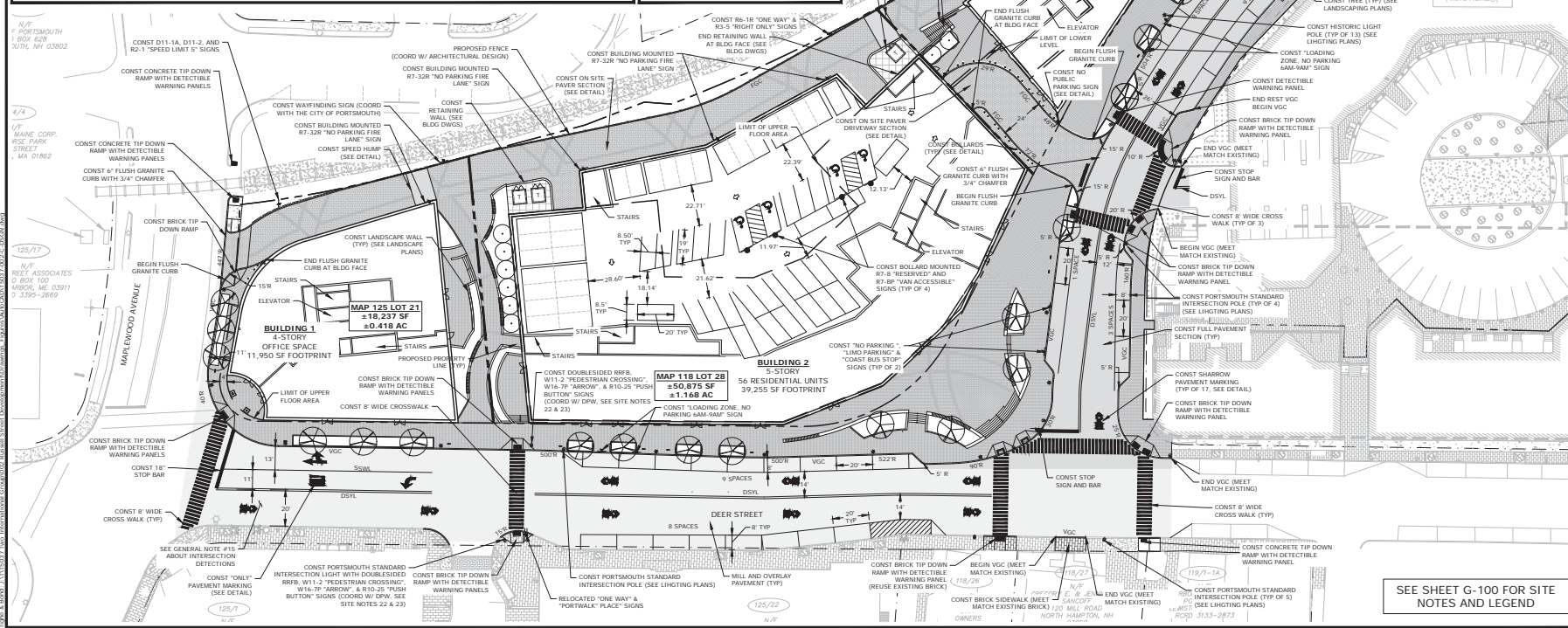
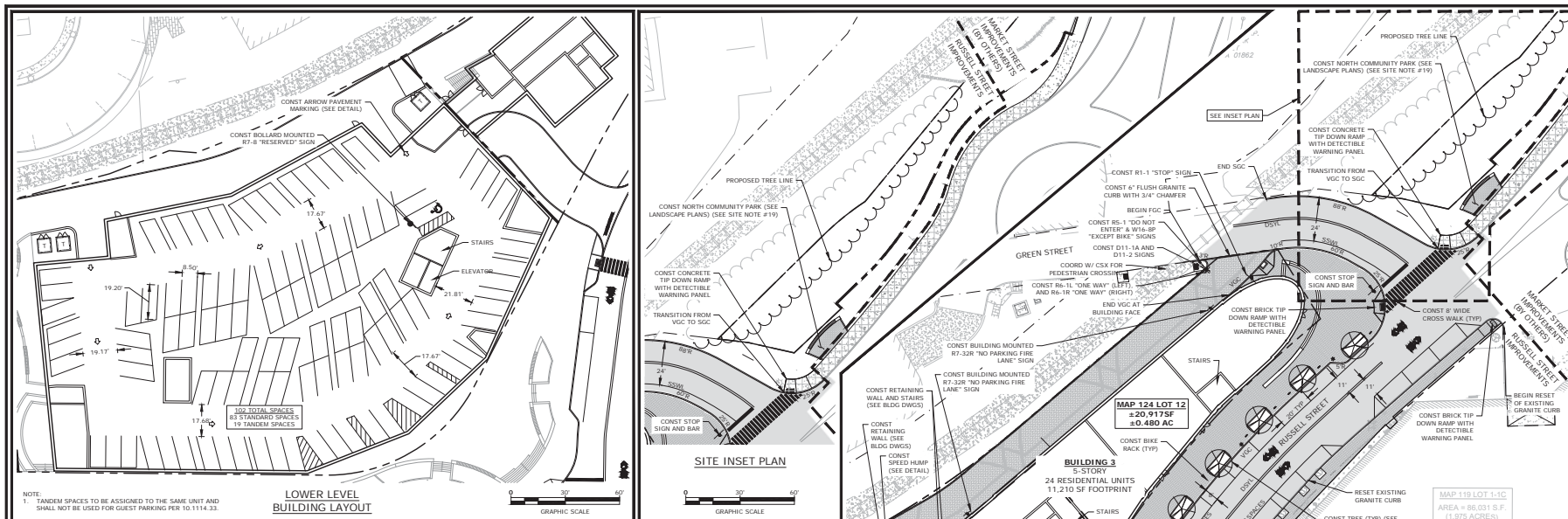
SCALE: AS SHOWN

C-102

- SITE RECORDING NOTES:**
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 - THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

SEE SHEET G-100 FOR SITE NOTES AND LEGEND

Mark & Robert Architects, Inc. 333 State St., Portsmouth, NH 03801
 603.433.1111 FAX 603.433.1112
 1000 MARKET STREET, PORTSMOUTH, NH 03801



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

K	9/24/2024	Extension Request Submission
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E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
MARK	DATE	DESCRIPTION
PROJECT NO.	T5037-002	
DATE	May 24, 2022	
FILE:	T5037-002-C-03GN.DWG	
DRAWN BY:	C.K	
CHECKED:	N.M	
APPROVED:	PAC	

SITE PLAN

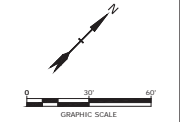
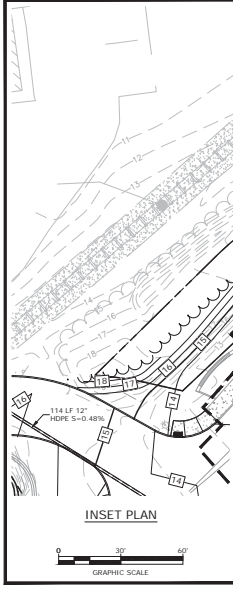
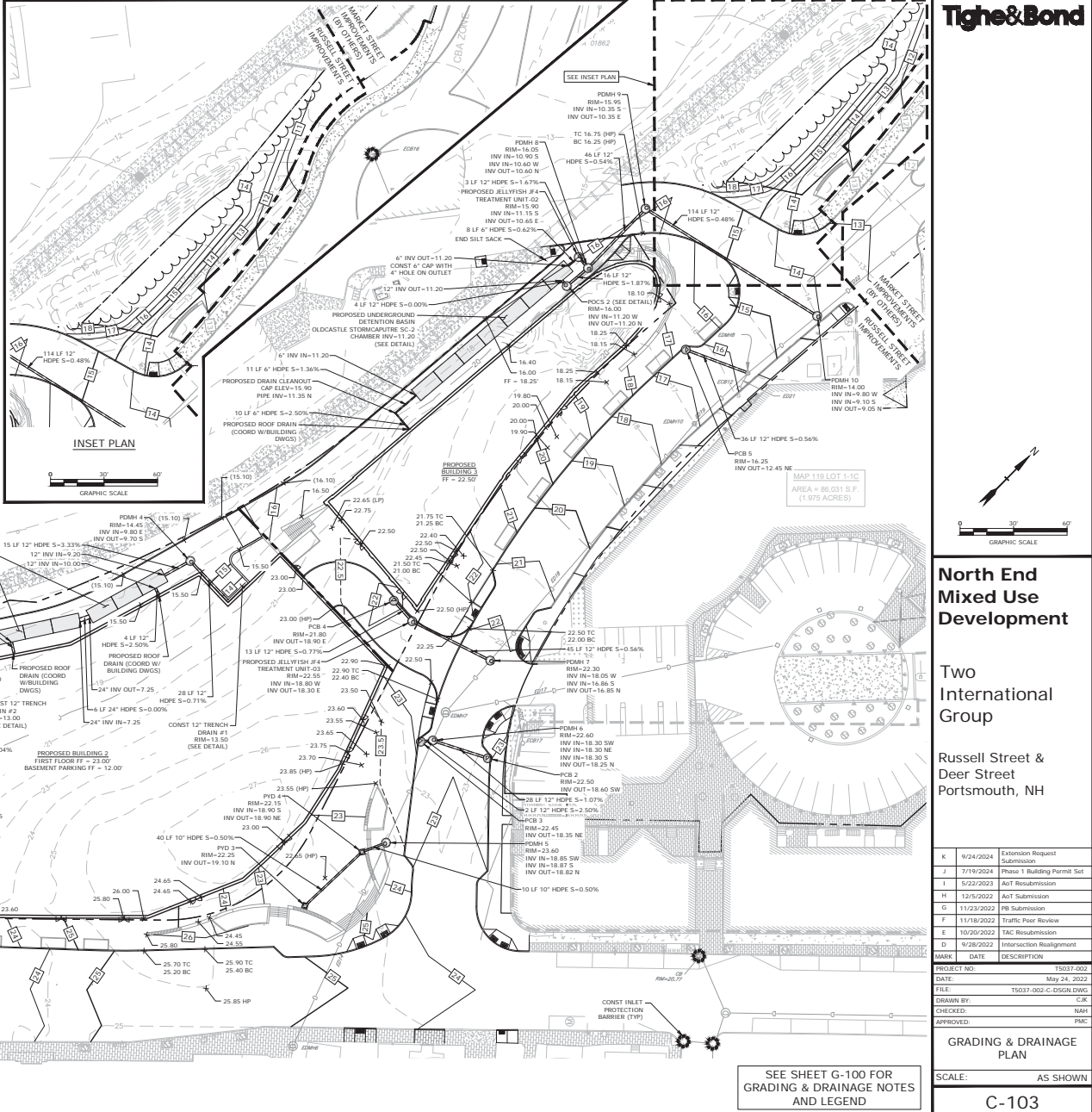
SCALE: AS SHOWN
C-102.1

EXISTING DRAINAGE SCHEDULE

ECB1 RM=15.36 INV. OUT=11.88 (ED1) ECB2 RM=15.31 INV. OUT=12.11 (ED2) ECB3 RM=15.39 INV. OUT=8.69 (ED3) ECB4 RM=15.31 INV. OUT=9.59 (ED4) ECB5 RM=15.73 INV. OUT=10.42 (ED5) ECB6 RM=14.26 INV. OUT=8.42 (ED6) ECB7 RM=14.48 INV. OUT=10.26 (ED7) ECB8 RM=16.49 INV. OUT=12.74 (ED8) ECB9 RM=15.78 INV. OUT=13.15 (ED9) ECB10 RM=22.49 INV. OUT=19.39 (ED10) ECB11 RM=22.51 INV. OUT=19.46 (ED11) ECB12 RM=15.69 INV. OUT=12.39 (ED12) ECB13 RM=15.76 INV. OUT=12.52 (ED13) ECB14 RM=14.26 INV. OUT=6.97 (ED14) ECB15 RM=14.48 INV. OUT=6.74 (ED15) ECB16 RM=16.49 INV. OUT=6.80 (ED16) ECB17 RM=23.85 INV. OUT=20.21 (ED17)	EDM1 RM=15.59 INV. IN=11.17 (ED1) INV. IN=11.13 (ED2) INV. OUT=7.62 (ED3) EDM2 RM=14.00 INV. IN=6.87 (ED3) INV. IN=6.79 (ED4) INV. IN=6.80 (ED4) INV. OUT=6.64 (ED4) EDM3 RM=15.91 INV. IN=6.41 (ED6) INV. IN=10.43 (ED7) INV. OUT=12.52 (ED10) EDM4 RM=14.12 INV. IN=6.26 (ED8) INV. IN=9.25 (ED10) INV. IN=10.02 (ED11) INV. OUT=6.74 (ED14) EDM5 RM=16.60 INV. IN=12.98 (ED12) INV. IN=12.50 (ED13) INV. IN=5.74 (ED17) INV. OUT=20.21 (ED17)	EDM11 RM=15.74 INV. IN=6.96 (ED23) INV. IN=6.74 (ED24) INV. OUT=5.94 (ED25) EDM12 RM=11.55 INV. IN=19.49 (ED16) INV. IN=18.19 (ED15) INV. IN=18.29 (ED15) INV. IN=18.13 (ED14) INV. OUT=18.18 (ED18) EDM13 RM=11.45 INV. IN=3.7 (ED29) INV. OUT=2.27 (ED30) EDM14 RM=11.55 INV. IN=12.26 (ED20) INV. IN=12.28 (ED21) INV. OUT=9.97 (ED22) EDM15 RM=11.26 INV. IN=5.50 (ED26) INV. IN=5.74 (ED25) INV. OUT=3.70 EDM16 RM=6.89 INV. IN=10.43 (ED18) INV. OUT=10.31 (ED18)
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EXISTING DRAINAGE PIPE SCHEDULE

LINE#	LENGTH	TYPE	SLOPE
ED2	9'	12" CONC	S=0.078
ED3	38'	12" CONC	S=0.028
ED4	62'	12" CONC	S=0.019
ED5	10'	12" CONC	S=0.071
ED6	19'	12" CONC	S=0.020
ED7	45'	12" CONC	S=0.004
ED8	7'	12" CONC	S=0.020
ED9	18'	12" CONC	S=0.0028
ED10	10'	12" CONC	S=0.0077
ED11	22'	12" CONC	S=0.0062
ED12	116'	12" CONC	S=0.0041
ED13	44'	12" CONC	S=0.0066
ED14	10'	12" CONC	S=0.026
ED15	202'	12" CONC	S=0.0097
ED16	43'	12" CONC	S=0.008
ED17	12'	12" CONC	S=0.0099
ED18	188'	8" PVC	(UNDESIGNED)
ED19	210'	12" CONC	S=0.0369
ED20	38'	12" CONC	S=0.0196
ED21	42'	12" CONC	S=0.0050
ED22	7'	12" CONC	S=0.0157
ED23	233'	12" CONC	S=0.0180
ED24	59'	12" CONC	S=0.0148
ED25	61'	12" CONC	S=0.0050
ED26	36'	12" CONC	S=0.0151
ED27	241'	12" CONC	S=0.0078
ED28	161'	48" CONC	S=0.0041
ED29	104'	48" CONC	S=0.0047
ED30	250'	48" CONC	S=0.0047



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MARK	DATE	DESCRIPTION
PROJECT NO.	T5037-002	
DATE	May 24, 2022	
FILE:	T5037-002-C-DSGN.DWG	
DRAWN BY:	C.K	
CHECKED:	N.M	
APPROVED:	PAC	

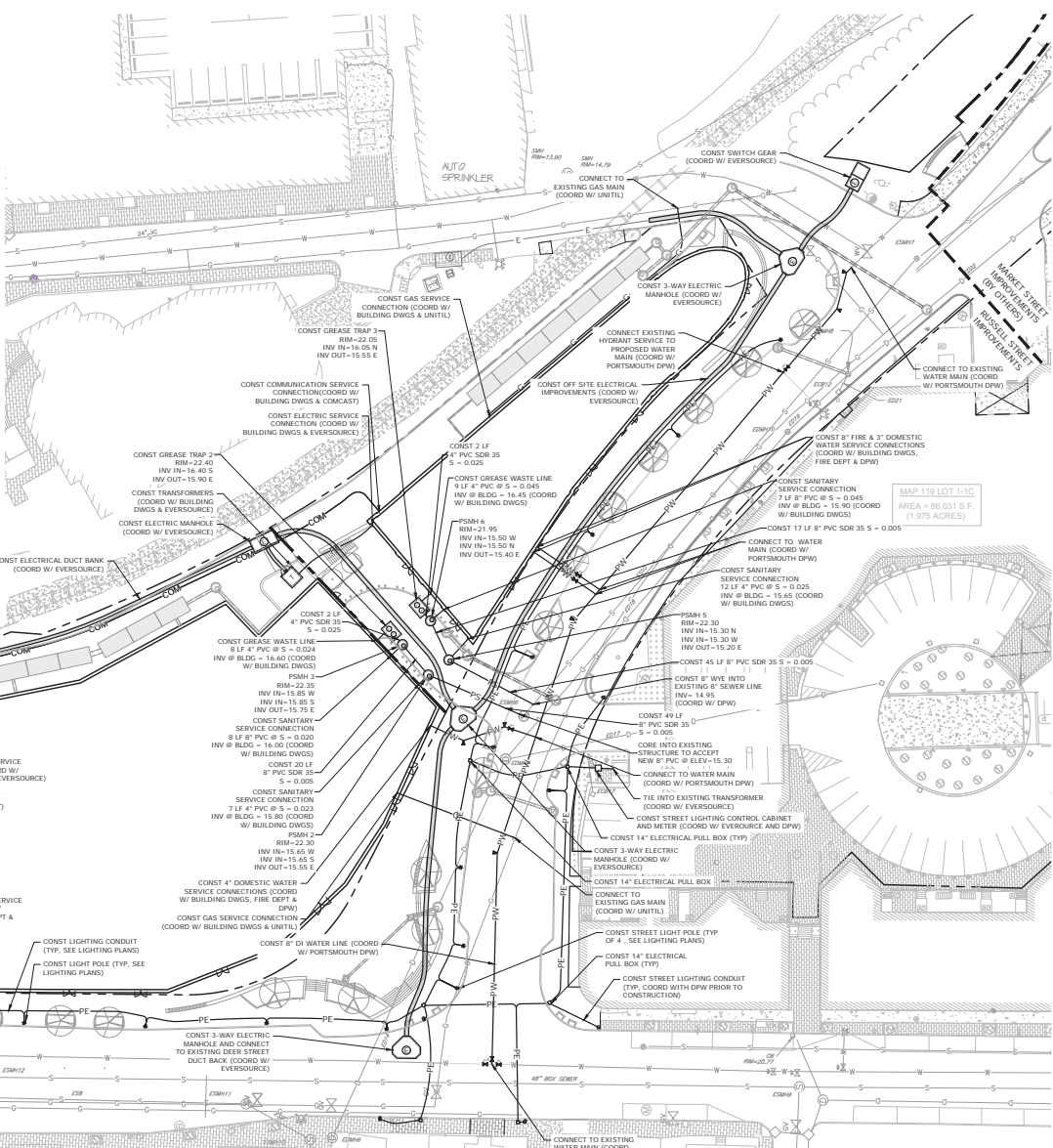
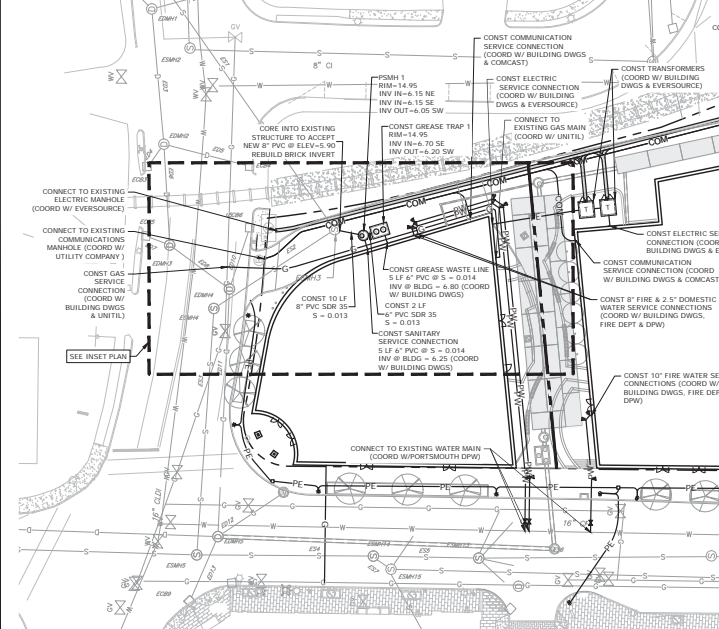
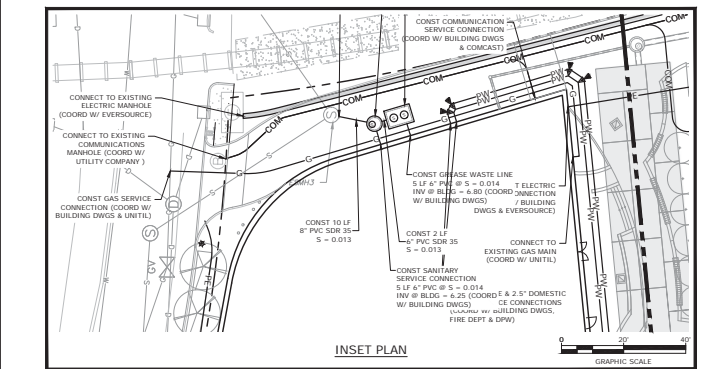
SEE SHEET G-100 FOR GRADING & DRAINAGE NOTES AND LEGEND

GRADING & DRAINAGE PLAN

SCALE: AS SHOWN

DATE PLOTTED: 5/24/2024 10:53:30 AM
 PLOT FILE: T:\Projects\2024\North End Mixed Use Development\Drawings\Grading\Grading\G-103.dwg
 PLOT SCALE: 1"=30'-0"

EXISTING SEWER SCHEDULE		EXISTING SEWER PIPE SCHEDULE	
LINE#	LENGTH	TYPE	SLOPE
ES1	153'	24" RCP	S=0.0035
ES2	66'	24" RCP	S=0.0032
ES3	116'	24" RCP	S=0.0026
ES4	38'	48" BOX	S=0.0012
ES5	47'	48" BOX	UNKNOWN
ES6	109'	48" BOX	S=0.0025
ES7	7'	8" VC	S=0.0225
ES8	276'	8" VC	S=0.0226
ES9	13'	8" VC	S=0.0230
ES10	24'	8" VC	S=0.0249
ES11	170'	8" VC	S=0.0241
ES12	47'	8" VC	UNKNOWN



North End Mixed Use Development

Two International Group

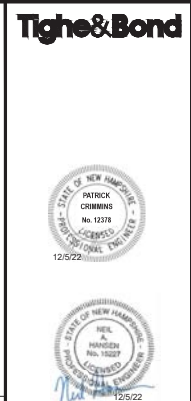
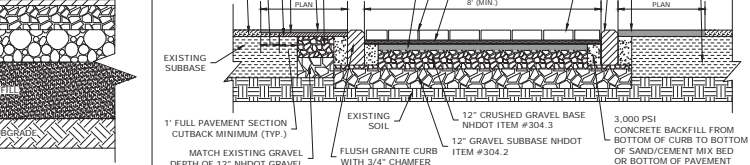
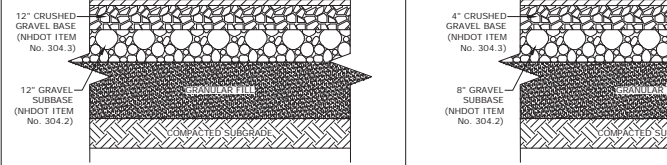
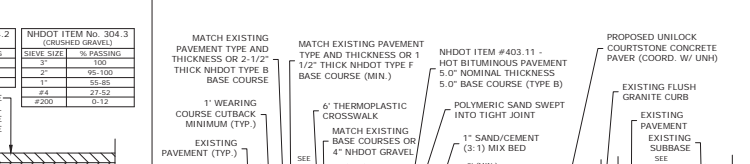
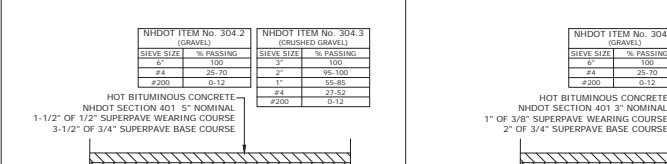
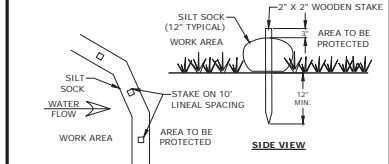
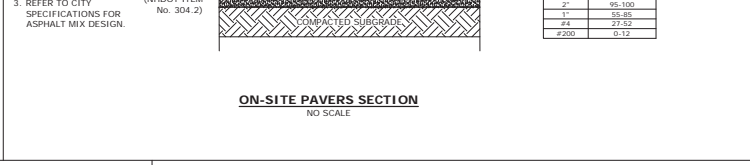
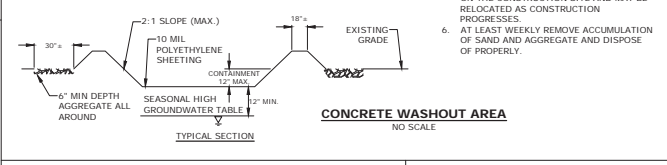
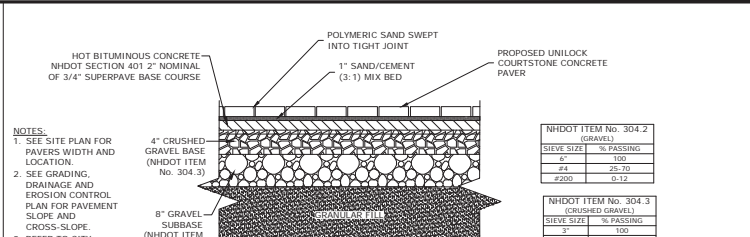
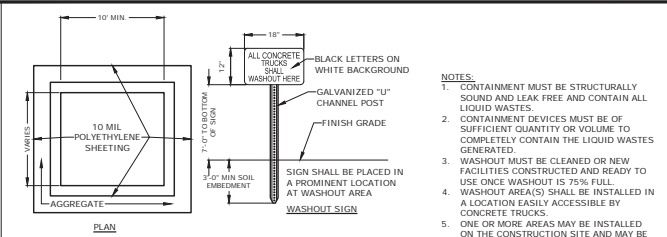
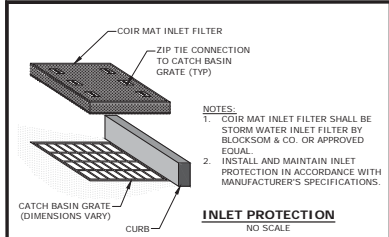
**Russell Street & Deer Street
Portsmouth, NH**

MARK	DATE	DESCRIPTION
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D	9/28/2022	Intersection Realignment

PROJECT NO.	T5037-002
DATE	May 24, 2022
FILE	T5037-002-C-DGN.DWG
DRAWN BY	CJK
CHECKED	NAM
APPROVED	PAC

SEE SHEET G-100 FOR UTILITIES NOTES AND LEGEND

DATE: 5/24/2024 10:42:00 AM
 USER: CJK
 PLOT: T5037-002-C-DGN.DWG
 PLOT SCALE: 1"=100'



North End Mixed Use Development

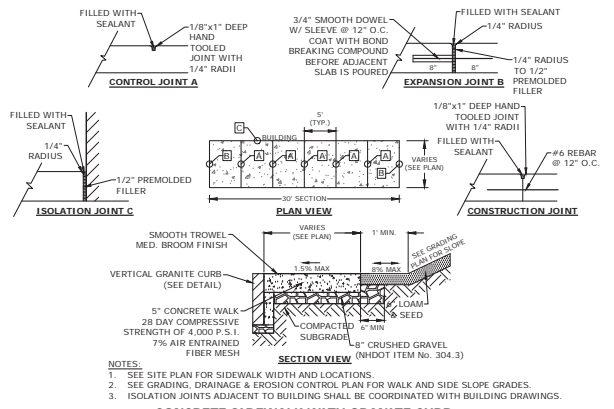
Two International Group

Russell Street & Deer Street
Portsmouth, NH

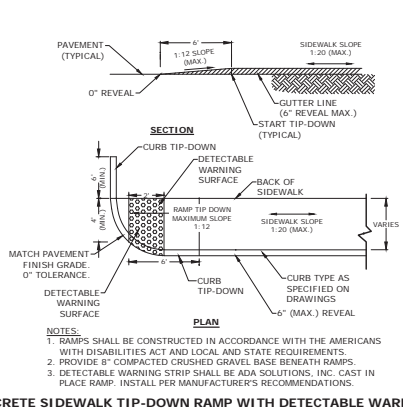
H	12/5/2022	ACT Submission
G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	TS037-002	
DATE	May 24, 2022	
FILE	TS037-002-c-015.DWG	
DRAWN BY	CK	
CHECKED	NH	
APPROVED	PAC	

DETAILS SHEET

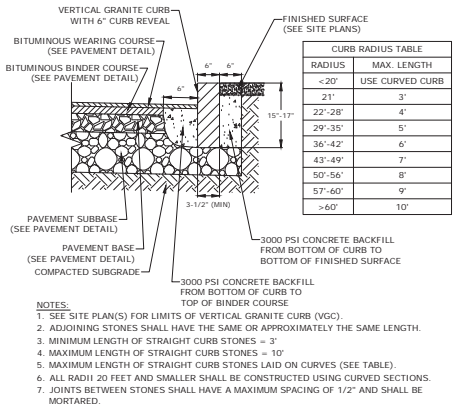
SCALE: AS SHOWN



CONCRETE SIDEWALK WITH GRANITE CURB
NO SCALE



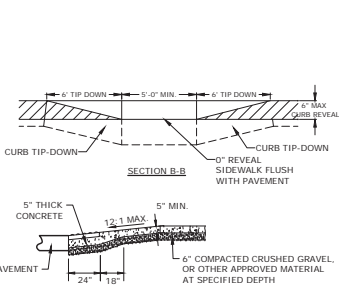
CONCRETE SIDEWALK TIP-DOWN RAMP WITH DETECTABLE WARNING PANEL
NO SCALE



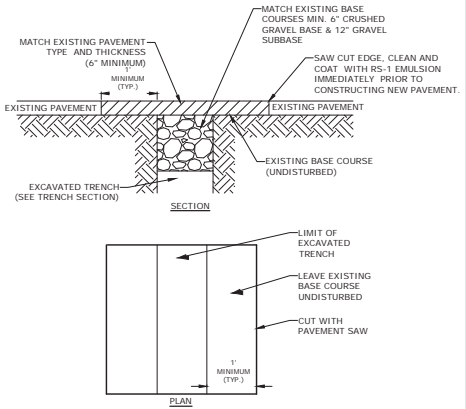
VERTICAL GRANITE CURB
NO SCALE

NHDOT ITEM No. 304.3
(CRUSHED GRAVEL)

SEIVE SIZE	% PASSING
100	100
75	95-100
48	85-95
30	70-85
15	50-65
7.5	30-45
#200	10-12

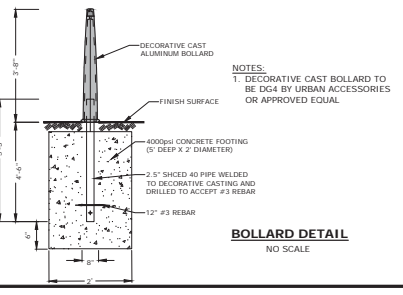


CONCRETE WHEELCHAIR ACCESSIBLE RAMP
NO SCALE

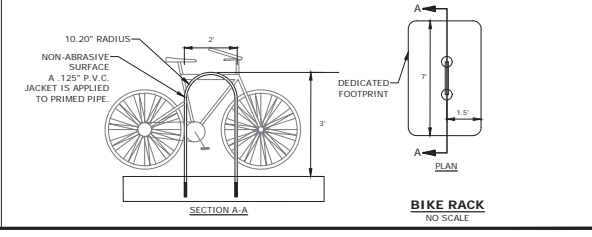


ROADWAY TRENCH PATCH
NO SCALE

SIGN LEGEND & SIGN POST
NO SCALE



BOLLARD DETAIL
NO SCALE



BIKE RACK
NO SCALE

North End Mixed Use Development

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Portsmouth, NH

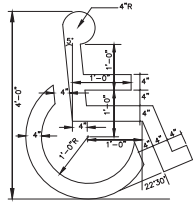
MARK	DATE	DESCRIPTION
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B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

DETAILS SHEET

SCALE: AS SHOWN

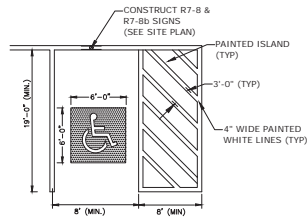
C-503

DATE: 10/19/2022 9:48 AM BY: CJK
 DRAWN BY: CJK
 CHECKED: NWH
 APPROVED: PAC



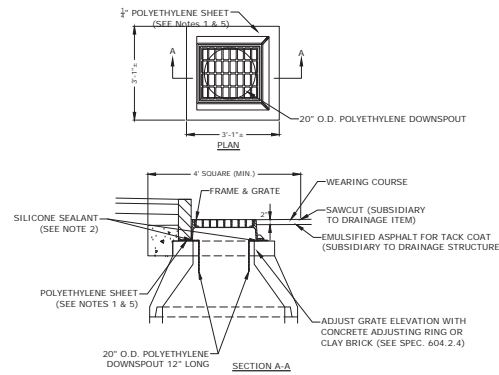
- NOTES:**
1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
 2. SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

ACCESSIBLE SYMBOL
NO SCALE



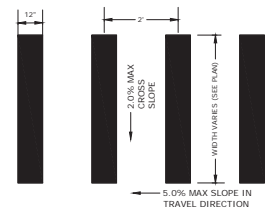
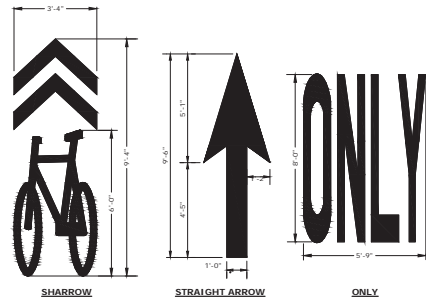
- NOTES:**
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN W/DISABILITIES ACT.

ACCESSIBLE PARKING STALL
NO SCALE



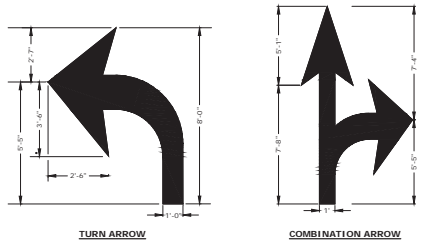
- NOTES:**
1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
 2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
 3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
 4. USE ON DRAINAGE STRUCTURES 4" MIN. DIAMETER ONLY.
 5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
 6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 4" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
 7. PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
 8. SEE NIDOT DR-04, '01-08, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS', FOR ADDITIONAL INFORMATION.
 9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER.

POLYETHYLENE LINER
NO SCALE



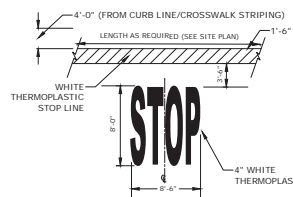
- NOTE:**
1. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

CROSSWALK STRIPING
NO SCALE



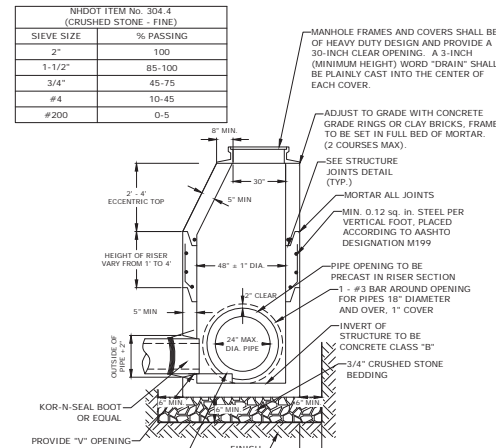
- NOTES:**
1. ALL WORDS AND SYMBOLS SHALL BE RETROREFLECTIVE WHITE AND SHALL CONFORM TO THE LATEST VERSION OF THE MUTCD.
 2. MULTI-WORD MESSAGES SHALL READ "UP"; THAT IS, THE FIRST WORD SHALL BE NEAREST THE APPROACHING DRIVER.
 3. THE WORD "ONLY" SHALL NOT BE USED WITH THROUGH OR COMBINATION ARROWS, AND SHALL NOT BE USED ADJACENT TO A BROKEN LANE LINE. A WORD/SYMBOL SHALL PRECEED THE WORD "ONLY".
 4. COMBINATION ARROWS MAY BE COMPRISED OF 2 SINGLE ARROWS (e.g. TURN AND THROUGH ARROWS). HOWEVER, THE SHAPTS OF THE ARROWS SHALL COINCIDE AS SHOWN.
 5. PREFORMED WORDS AND SYMBOLS SHALL BE PRE-CUT BY THE MANUFACTURER.
 6. WRONG-WAY ARROWS SHALL NOT BE SUBSTITUTED FOR THROUGH ARROWS.
 7. ALL STOP BARS, WORDS, SYMBOLS AND ARROW SHALL BE THERMOPLASTIC.

PAVEMENT MARKINGS
NO SCALE



- NOTES:**
1. PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
 2. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.

STOP BAR AND LEGEND
NO SCALE



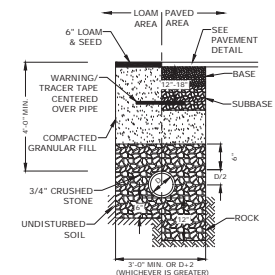
- NOTES:**
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 4. THE STRUCTURES SHALL BE DESIGNED FOR HOV LOADING.
 5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS).
 6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 1:1 ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4" DIAMETER DRAIN MANHOLE
NO SCALE



- NOTES:**
1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL).
 2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP.

"ELIMINATOR" OIL FLOATING DEBRIS TRAP



- NOTES:**
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.
 2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

STORM DRAIN TRENCH
NO SCALE

North End Mixed Use Development

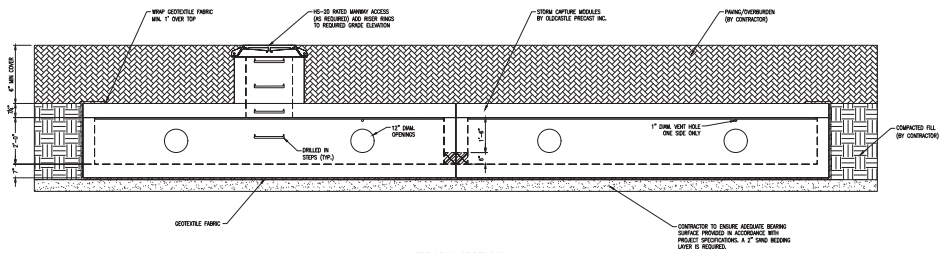
Two International Group

Russell Street & Deer Street
Portsmouth, NH

NO.	DATE	DESCRIPTION
H	12/5/2022	ACT Submission
G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

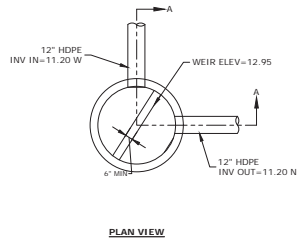
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C-504

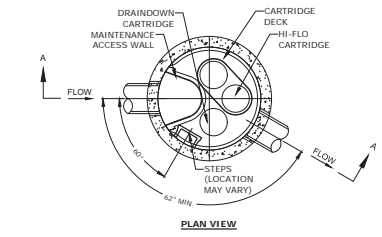


- NOTES:**
1. UNDERGROUND DETENTION SYSTEM TO BE OLDCASTLE STORMCAPTURE SC-2 DESIGNED FOR H-20 LOADING. CONTRACTOR TO SUBMIT BASIN SPECIFICATIONS AND FINAL MANUFACTURER'S DESIGN TO ENGINEER FOR APPROVAL.
 2. MANUFACTURER TO SUBMIT PLANS STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW HAMPSHIRE.
 3. A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND DETENTION BASINS.

OLDCASTLE SC-2 DETAIL
NO SCALE



PLAN VIEW



PLAN VIEW

JELLYFISH TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN. 60\"/>

CARTRIDGE SELECTION	
CARTRIDGE DEPTH	54"
OUTLET INVERT TO STRUCTURE INVERT (A)	6'-5"
FLOW RATE HIGH-FLO / DRAINDOWN (cfs) (per cart)	0.18 / 0.09
MAX. CARTS HIGH-FLO / DRAINDOWN	2 / 1

SITE SPECIFIC DATA REQUIREMENTS

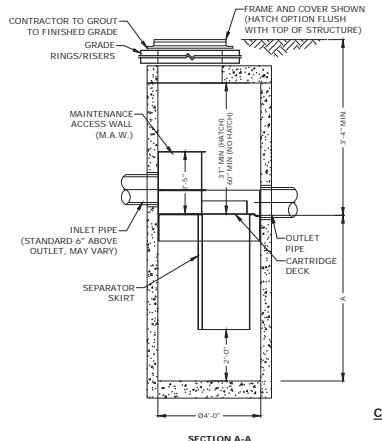
STRUCTURE ID	2	3
WATER QUALITY FLOW RATE (cfs)	0.26	0.05
# OF CARTRIDGES REQUIRED (HF / DD)	(2/1)	(1/1)
CARTRIDGE SIZE	54"	54"

- GENERAL NOTES:**
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS REPRESENTATIVE, www.contechcs.com.
 3. JELLYFISH WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. STRUCTURE SHALL MEET AASHTO HS-20 OR PER APPROVING JURISDICTION REQUIREMENTS, WHICHEVER IS MORE STRINGENT, ASSUMING EARTH COVER OF 0'-3" AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 LOAD RATING AND BE CAST WITH THE CONTECH LOGO.
 5. STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.
 6. NO PRODUCT SUBSTITUTIONS SHALL BE ACCEPTED UNLESS SUBMITTED 10 DAYS PRIOR TO PROJECT BID DATE, OR AS DIRECTED BY THE ENGINEER OF RECORD.

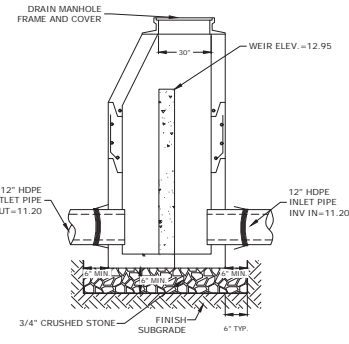
- INSTALLATION NOTES**
- A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 - B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STRUCTURE (LIFTING CLUTCHES PROVIDED).
 - C. CONTRACTOR WILL INSTALL AND LEVEL THE STRUCTURE, SEALING THE JOINTS, LINE ENTRY AND EXIT POINTS (NON-SHINK GROUT WITH APPROVED WATERSTOP OR FLEXIBLE BOOT).
 - D. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 - E. CARTRIDGE INSTALLATION, BY CONTECH, SHALL OCCUR ONLY AFTER SITE HAS BEEN STABILIZED AND THE JELLYFISH UNIT IS CLEAN AND FREE OF DEBRIS. CONTACT CONTECH TO COORDINATE CARTRIDGE INSTALLATION WITH SITE STABILIZATION AT (866) 740-3318.

- NOTE:**
1. A QUALIFIED ENGINEER SHALL PROVIDE SUFFICIENT INSPECTION TO CERTIFY THAT THE SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED DESIGN PLANS PER THE REQUIREMENTS OF THE ALTERATION OF TERRAIN PERMIT. CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO THE CONSTRUCTION OF THE UNDERGROUND FILTRATION UNITS.

CONTECH JELLYFISH (JF4)
NO SCALE



SECTION A-A



POS-02
NO SCALE

- NOTES:**
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE (TYPE 1 CEMENT).
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER OF THE THIRD WALL.
 3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
 5. ALL JOINTS ON THE STRUCTURE AND PIPING SHALL BE WATERTIGHT.

North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

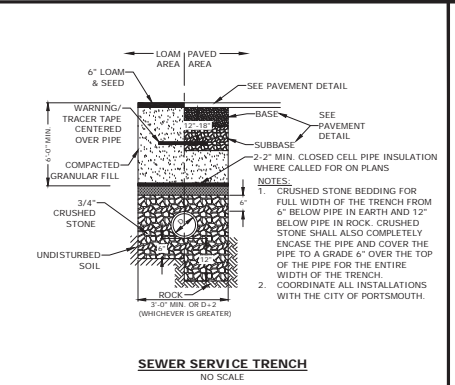
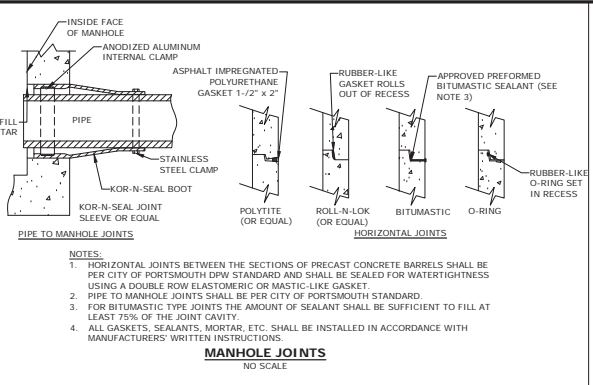
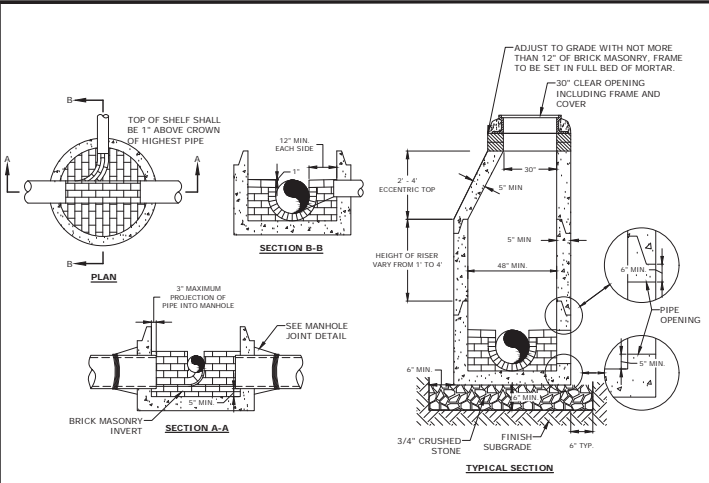
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I	5/22/2023	Act Resubmission
H	12/5/2023	Act Submission
G	11/23/2022	PS Submission
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C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

DETAILS SHEET

SCALE: AS SHOWN

C-507

DATE: 05/23/2023 10:19:02 AM
DRAWN BY: CJK
CHECKED BY: NWH
APPROVED BY: PAC



MANHOLE JOINTS
NO SCALE

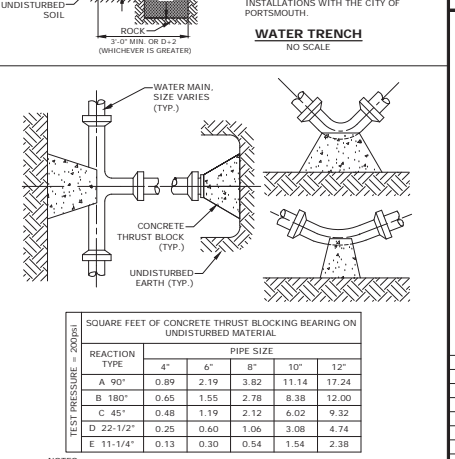
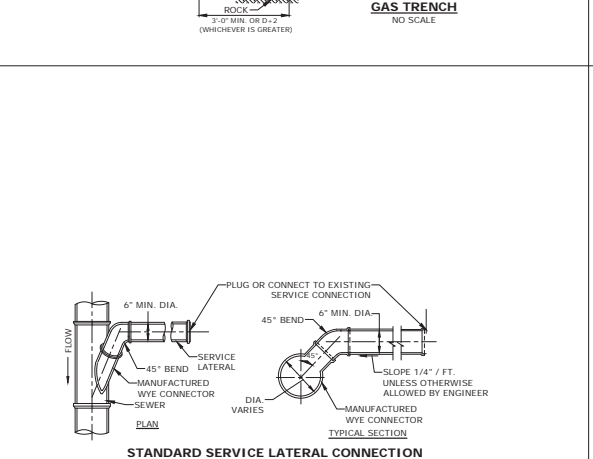
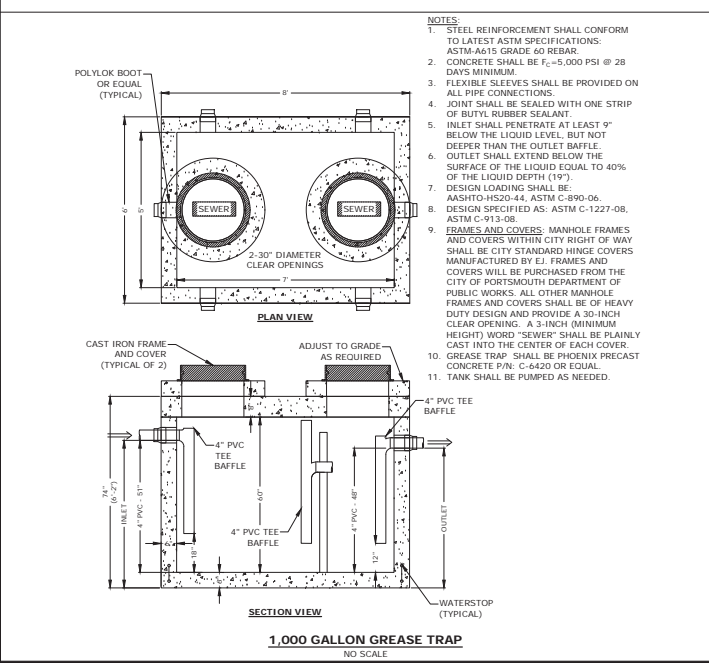
NOTES:
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

SEWER SERVICE TRENCH
NO SCALE

NOTES:
1. CRUSHED STONE BEDDING FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK. CRUSHED STONE SHALL ALSO COMPLETELY ENCASE THE PIPE AND COVER THE PIPE TO A GRADE 6" OVER THE TOP OF THE PIPE FOR THE ENTIRE WIDTH OF THE TRENCH.
2. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

GAS TRENCH
NO SCALE

NOTE:
1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE TOP OF PIPE.
2. GAS SHALL BE INSTALLED PER UNITS STANDARDS. COORDINATE ALL INSTALLATIONS WITH UNITS AND THE CITY OF PORTSMOUTH.



1,000 GALLON GREASE TRAP
NO SCALE

NOTES:
1. STEEL REINFORCEMENT SHALL CONFORM TO LATEST ASTM SPECIFICATIONS. ASTM-A615 GRADE 60 REBAR.
2. CONCRETE SHALL BE $f_c = 5,000$ PSI @ 28 DAYS MINIMUM.
3. FLEXIBLE SLEEVES SHALL BE PROVIDED ON ALL PIPE CONNECTIONS.
4. JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
5. INLET SHALL PENETRATE AT LEAST 9" BELOW THE LIQUID LEVEL, BUT NOT DEEPER THAN THE OUTLET BAFFLE.
6. OUTLET SHALL EXTEND BELOW THE SURFACE OF THE LIQUID EQUAL TO 40% OF THE LIQUID DEPTH (19").
7. DESIGN LOADING SHALL BE ASHOTO-1520-44, ASTM C-890-06.
8. DESIGN SPECIFIED AS: ASTM C-1227-08, ASTM C-913-08.
9. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY E.J. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 30-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
10. GREASE TRAP SHALL BE PHOENIX PRECAST CONCRETE P/N: C-6420 OR EQUAL.
11. TANK SHALL BE PUMPED AS NEEDED.

THRUST BLOCKING DETAIL
NO SCALE

NOTES:
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL

REACTION TYPE	PIPE SIZE			
	4"	6"	8"	12"
A 90°	0.89	2.19	3.82	11.14
B 180°	0.65	1.55	2.78	8.38
C 45°	0.48	1.19	2.12	6.02
D 22-1/2°	0.25	0.60	1.06	3.08
E 11-1/4°	0.13	0.30	0.54	1.54

TEST PRESSURE = 20PSI

NOTES:
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

North End Mixed Use Development

Two International Group

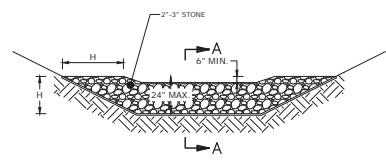
Russell Street & Deer Street
Portsmouth, NH

DETAILS SHEET

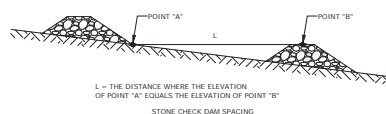
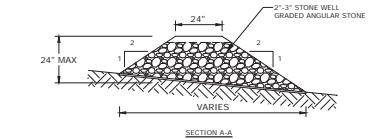
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C-508

DATE: 05/01/2023 10:09:02 AM
 DRAWN BY: CJK
 CHECKED: NWH
 APPROVED: PAC
 PROJECT NO: 15037-002
 DATE: May 24, 2022
 FILE: 15037-002-C-DTLS.DWG
 DRAWN BY: CJK
 CHECKED: NWH
 APPROVED: PAC

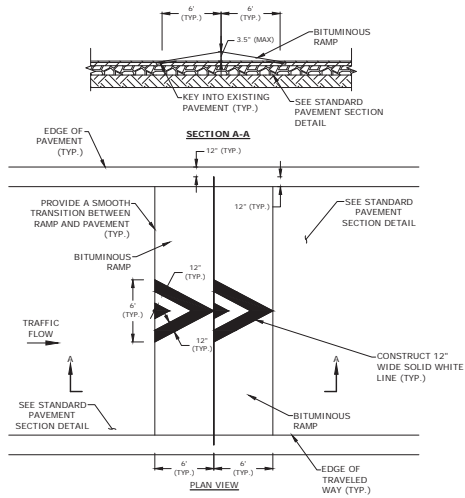


BERM STONE SIZE	
SIEVE DESIGNATION (US CUSTOMARY)	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES
12 IN	100
6 IN	84-100
3 IN	68-83
1 IN	42-55
NO. 4	8-12



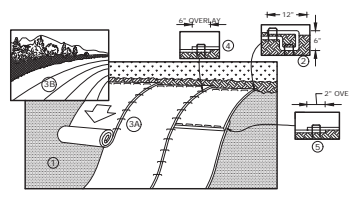
STONE CHECK DAM
NO SCALE

- NOTES:
- CHECK DAMS SHOULD BE INSTALLED BEFORE RUNOFF IS DIRECTED TO THE SWALE OR DRAINAGE DITCH.
 - THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE DAM SHOULD BE LESS THAN ONE ACRE.
 - THE CHECK DAM SHOULD NOT BE USED IN A FLOWING STREAM.
 - CHECK DAMS SHOWN ON THE DRAWINGS SHOULD BE LEFT IN PLACE PERMANENTLY.
 - CHECK DAMS INSTALLED AS PART OF TEMPORARY EROSION CONTROL MEASURE SHALL BE REMOVED ONCE THE SWALE OR DITCH HAS BEEN STABILIZED.
 - a. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS SHOULD BE REMOVED AND THE DITCH FILLED IN WHEN IT IS NO LONGER NEEDED.
 - b. IN PERMANENT STRUCTURES, CHECK DAMS SHOULD BE REMOVED WHEN PERMANENT LINING HAS BEEN ESTABLISHED. IF THE PERMANENT LINING IS VEGETATION, THEN THE CHECK DAM SHOULD BE RETAINED UNTIL THE GRASS HAS MATURED TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAM MUST BE SEED AND MULCHED IMMEDIATELY AFTER REMOVAL.



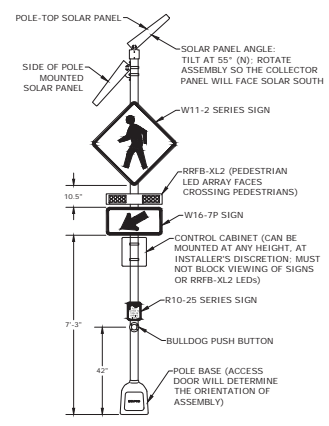
NOTE:
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

SPEED HUMP CROSS SECTION
NO SCALE



- NOTES:
- EROSION CONTROL BLANKET SHALL BE AN ALL NATURAL PRODUCT WITH NO PHOTO DEGRADABLE COMPONENTS. NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL.
 - STAKES SHALL BE BIODEGRADABLE BIOSTAKES OR ALL NATURAL WOOD ECOSTAKES OR APPROVED EQUAL. THE LENGTH OF STAKES SHALL BE BASED OFF OF THE MANUFACTURERS RECOMMENDATION.
 - PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, COMPOST AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE, 36" OVER THE GRADE BREAK, BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UPSLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAKES IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAKING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAKES ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAKES IN APPROPRIATE LOCATIONS AS SHOWN ON THE MANUFACTURERS PATTERN GUIDE.
 - THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8" INCHES MATERIAL UTILIZED.

EROSION CONTROL BLANKET
NO SCALE



RAPID RECTANGULAR FLASHING BEACON (RRFB)
NO SCALE

North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

MARK	DATE	DESCRIPTION
I	1/22/2023	Act Resubmission
H	12/5/2022	Act Submission
G	11/23/2022	FB Submission
F	11/18/2022	Traffic Peer Review
A	10/26/2022	TAC Resubmission

PROJECT NO: 15037-002
DATE: May 24, 2022
FILE: 15037-002-C-DTLS.DWG
DRAWN BY: CLK
CHECKED: NWH
APPROVED: PAC

DETAILS SHEET

SCALE: AS SHOWN

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 FILE: \\snp\shared\15037-002-C-DTLS.DWG
 PLOT SCALE: 1.0000
 PLOT SHEET: C-510

PLANT SCHEDULE

Symbol	Quantity	Botanical Name	Common Name	Size	Spacing	Notes
TREES						
AC BO	7	<i>Acer rubrum</i> 'Bowhall'	Bowhall Maple	4-5" Cal.		Single-stem, matched
CA CA	6	<i>Carpinus caroliniana</i>	American Hornbeam	4-5" Cal.		Single-stem, matched
CO SP	2	<i>Cornus</i> 'Rutgan' Stellar Pink	Stellar Pink Dogwood	3-4" Cal.		B&B; matched
GI BI	4	<i>Ginkgo biloba</i> 'Magyar'	Magyar Ginkgo	5-6" Cal.		B&B; matched
LI WO	5	<i>Liquidambar styraciflua</i> 'Worpleston'	Worpleston Sweetgum	4-5" Cal.		B&B; matched
QU RP	6	<i>Quercus x vareii</i> 'Long' Regal Prince	Regal Prince Oak	4-5" Cal.		B&B; matched
SHRUBS						
Co Pe		<i>Comptonia peregrina</i>	Sweet Fern	#3 Container	36" O.C.	
Co Ra		<i>Cornus sericea</i> 'Cardinal'	Cardinal Red Twig Dogwood	#5 Container	36" O.C.	
De Gr		<i>Deutzia gracilis</i> 'Nikko'	Nikko Deutzia	#3 Container	30" O.C.	
Fo Ga		<i>Fothergilla gardenii</i> 'Mount Airy'	Mount Airy Fothergilla	#5 Container	36" O.C.	
Hy Qu		<i>Hydrangea quercifolia</i> 'Pee Wee'	Oakleaf Hydrangea	#5 Container	48" O.C.	
Li Be		<i>Lindera Benzoin</i>	Spice Bush	#5 Container	36" O.C.	
Ix Gl		<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	#5 Container	36" O.C.	
Il Jj		<i>Ilex verticillata</i> 'Jim Dandy'	Jim Dandy Winterberry	#5 Container	48" O.C.	
Il Ve		<i>Ilex verticillata</i> 'Red Sprite'	Red Sprite Winterberry	#5 Container	48" O.C.	
My Pe		<i>Myrica pensylvanica</i>	Northern Bayberry	#5 Container	48" O.C.	
Rh Gl		<i>Rhus aromatica</i> 'Gro-Low'	Fro-Low Fragrant Sumac	#3 Container	30" O.C.	
Rh Mh		<i>Rhododendron x 'Marie Hoffman'</i>	Mare Hoffman Azalea	#5 Container	48" O.C.	
Sp To		<i>Spiraea tomentosa</i>	Steeplebush	#3 Container	30" O.C.	
PERENNIALS						
am hu		<i>Amsonia x 'Blue Ice'</i>	Blue Star Flower	#2 Container	18" O.C.	
as ob		<i>Aster oblongifolius</i> 'Raydon's Favorite'	Raydon's Favorite Aster	#2 Container	24" O.C.	
ba bi		<i>Baptisia australis</i>	Blue False Indigo	#3 Container	30" O.C.	
ga od		<i>Galium odoratum</i>	Sweet Woodruff	#2 Container	12" O.C.	
ge ro		<i>Geranium x 'Rozanne'</i>	Rozanna Cranesbill	#2 Container	18" O.C.	
he vi		<i>Heuchera villosa</i> 'Autumn Bride'	Autumn Bride Coral Bells	#2 Container	18" O.C.	
he hr		<i>Hemerocallis 'Happy Returns'</i>	Happy Returns Daylily	#2 Container	24" O.C.	
li sp		<i>Liriope spicata</i>	Lilyturf	4" Container	10" O.C.	
os ci		<i>Osmundastrum cinnamomeum</i>	Cinnamon Fern	#2 Container	30" O.C.	
po od		<i>Polygonatum odoratum</i> var. <i>pluriflorum</i> 'Variegatum'	Variegated Solomon's Seal	#2 Container	15" O.C.	
ti co		<i>Tiarella cordifolia</i>	Foamflower	#2 Container	15" O.C.	
va an		<i>Vaccinium angustifolium</i>	Lowbush Blueberry	#2 Container	15" O.C.	
ORNAMENTAL GRASSES						
bo cu		<i>Bouteloua curtipendula</i>	Side Oats Grama	#2 Container	30" O.C.	
ca pe		<i>Carex pennsylvanica</i>	Pennsylvania Sedge	#2 Container	30" O.C.	
ca ca		<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	#3 Container	30" O.C.	
de ce		<i>Deschampsia cespitosa</i> 'Pixie Fountain'	Tufted Hair Grass	#2 Container	30" O.C.	
mi si		<i>Miscanthus sinensis</i> 'Adagio'	Dwarf Silver Grass	#2 Container	30" O.C.	
pe al		<i>Pennisetum alopecuroides</i> 'Hamelin'	Hamelin Dwarf Fountain Grass	#2 Container	24" O.C.	
SEED MIXES						
Buffer Seed Mx		<i>Ernst Seed Fescue Mix composed of 45% Creeping Red Fescue/ 27.5% Hard Fescue 'Minimus' / 27.5% Hard Fescue 'Beacon'</i>				

PLANTING NOTES

- LANDSCAPE ARCHITECT TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE.
- PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
- SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED BY LANDSCAPE ARCHITECT.
- LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICTS TO LANDSCAPE ARCHITECT.
- PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
- NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
- PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
- WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
- REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK
- SOAK ALL PERENNIALS FOR 24 HOURS PRIOR TO INSTALLATION
- BUFFER SEED MIX AREA TO BE WATERED AND MONITORED DURING ESTABLISHMENT TO ENSURE SEED COVERAGE AND ESTABLISHMENT IS UNIFORM AND HEALTHY AND UNTIL ACCEPTANCE.
- MOWING OF THE BUFFER SEED MIX AREA FOLLOWING ESTABLISHED AND ACCEPTANCE SHALL OCCUR TWICE A YEAR - IN SPRING PRIOR TO NEW GROWTH AND THE AUTUMN AFTER DORMANCY. MOWING IS NOT TO OCCUR IN THE HEAT OF SUMMER, MOWING ENCOURAGES ESTABLISHMENT VIA ROOT SYSTEM GROWTH AND MITIGATES GROWTH OF WEEDS, UNDESIRABLE AND INVASIVE SPECIES.
- MOWING HEIGHT TO BE NOT LESS THAN 3".



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

F	11/23/2022	PS Submission
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	TS037-002	
DATE	May 24, 2022	
FILE:	TS037-002-L-05GN-WORKING.DWG	
DRAWN BY:	OS	
CHECKED:	RU	
APPROVED:	RU	

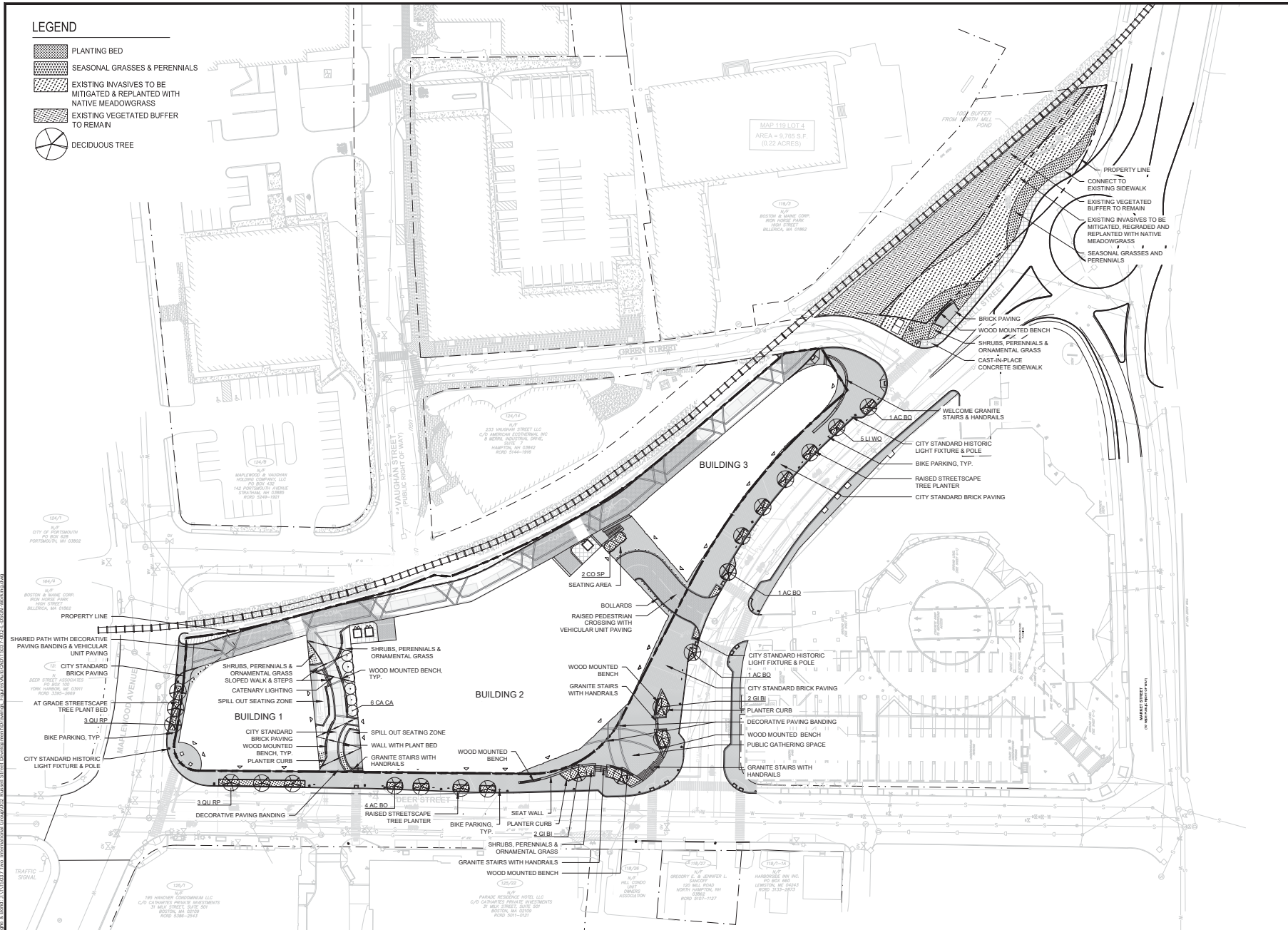
LANDSCAPE MATERIAL PLAN, LEGEND AND NOTES

SCALE: AS SHOWN

L-100

LEGEND

-  PLANTING BED
-  SEASONAL GRASSES & PERENNIALS
-  EXISTING INVASIVES TO BE MITIGATED & REPLANTED WITH NATIVE MEADOWGRASS
-  EXISTING VEGETATED BUFFER TO REMAIN
-  DECIDUOUS TREE



North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

MARK	DATE	DESCRIPTION
F	11/23/2022	PS Submission
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission

PROJECT NO. TS037-002

DATE: May 24, 2022

FILE: TS037-002-L-05GN-WORKING.DWG

DRAWN BY: OS

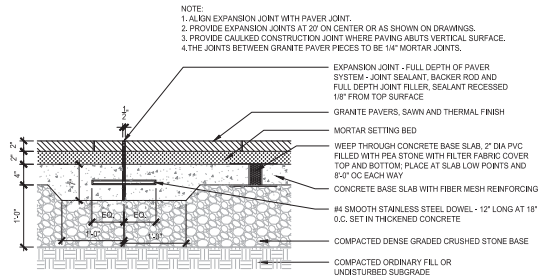
CHECKED: RJU

APPROVED: RJU

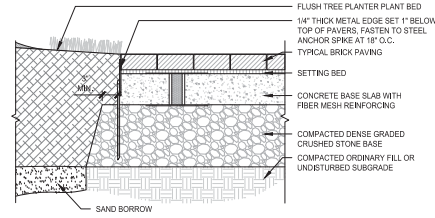
LANDSCAPE SITE PLAN

SCALE: AS SHOWN

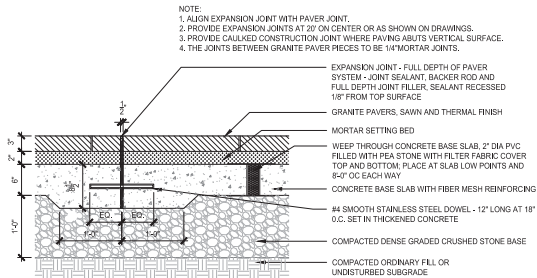
L-101



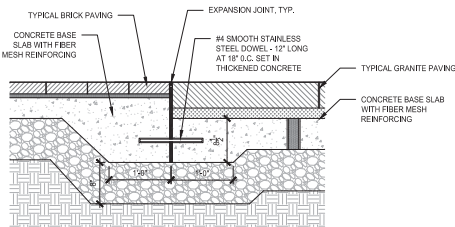
1 GRANITE PAVERS ON CONCRETE BASE - PEDESTRIAN
SCALE: 1"=1'-0"



4 METAL EDGE AT BRICK PAVING ABUTTING PLANTING BED
SCALE: 1"=1'-0"



2 GRANITE PAVERS ON CONCRETE BASE - VEHICULAR
SCALE: 1"=1'-0"



3 GRANITE TO BRICK PAVING TRANSITION
SCALE: 1"=1'-0"

North End Mixed Use Development

Two International Group

Russell Street & Deer Street
Portsmouth, NH

F	11/23/2022	PS Submission
E	10/20/2022	TAC Resubmission
D	9/28/2022	Intersection Realignment
C	9/22/2022	TAC Resubmission
B	8/25/2022	TAC Resubmission
A	7/21/2022	TAC Resubmission
MARK	DATE	DESCRIPTION
PROJECT NO.	TS037-002	
DATE	May 24, 2022	
FILE	TS037-002-L-05GN-WORKING.DWG	
DRAWN BY:	OS	
CHECKED:	RU	
APPROVED:	RU	

LANDSCAPE DETAILS

SCALE: AS SHOWN



NEW YORK OFFICE: SUITE 1201
NEW YORK, NY 10101
NEW YORK OFFICE: 212.904.9200

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1 NEW HAMPSHIRE AVENUE, SUITE 1201
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CIVIL ENGINEER
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LANDSCAPE DESIGN
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33 MARKET STREET
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LIGHTING DESIGN
LIGHTBOX STUDIOS
80 FINE STREET
NEW YORK, NY 10005
(845) 810-2000

SCALE
NONE
DATE ISSUED: 09/09/02
PROJECT NO: 27009 N.001
DRAWN BY: JR
CHECKED BY: BM

REVISIONS:
No. Date Description

SUBMISSIONS:
Date Revised File
1/10/02 1/10/02 SUBMISSION 01
2/10/02 2/10/02 SUBMISSION 02
3/10/02 3/10/02 SUBMISSION 03

SCALE: NONE
DATE ISSUED: 09/09/02
PROJECT NO: 27009 N.001
DRAWN BY: JR
CHECKED BY: BM

PROJECT:
Russell Street Mixed Development

2 Russell Street, Portsmouth NH
Two International Group

REVISIONS:
No. Date Description

SUBMISSIONS:
Date Revised File
1/10/02 1/10/02 SUBMISSION 01
2/10/02 2/10/02 SUBMISSION 02
3/10/02 3/10/02 SUBMISSION 03

SCALE: NONE
DATE ISSUED: 09/09/02
PROJECT NO: 27009 N.001
DRAWN BY: JR
CHECKED BY: BM

PROJECT:
Russell Street Mixed Development

2 Russell Street, Portsmouth NH
Two International Group

REVISIONS:
No. Date Description

SUBMISSIONS:
Date Revised File
1/10/02 1/10/02 SUBMISSION 01
2/10/02 2/10/02 SUBMISSION 02
3/10/02 3/10/02 SUBMISSION 03

SHEET NUMBER	DRAWING NUMBER	SHEET TITLE	DATE		
			THIS DRAWING	DATE SUBMITTED	DATE ISSUED
1	L-001	LIGHTING OVER SHEET: FIXTURE SCHEDULE AND DRAWING INDEX	•	•	•
2	L-002	EXTENSION LIGHTING OVER SHEET NO. 2	•	•	•
3	L-003	EXTENSION LIGHTING OVER SHEET NO. 3	•	•	•
4	L-004	EXTENSION LIGHTING OVER SHEET NO. 4	•	•	•
5	L-005	EXTENSION LIGHTING OVER SHEET NO. 5	•	•	•
6	L-006	EXTENSION LIGHTING OVER SHEET NO. 6	•	•	•

FIXTURE SYMBOL	FIXTURE DESCRIPTION	FIXTURE DETAIL	LOCATION	QUANTITY	LUMENS							SPECIES	MANUFACTURER/CATALOG NUMBER						
					NET	RAW	DIFF	PLANT	REFLECT	PLANT	REFLECT			PLANT					
					LM	LM	LM	LM	LM	LM	LM								
PS	PORTSMOUTH HISTORIC STREET FIXTURES		STREET LIGHTING	16	2	1200	200	240	240	240	240	240	240	240	240	240	240	240	240
PL	PLANTER LIGHTING WITH RECYCLED GLASS PLANTER		PLANTERS	8	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
PS	FLUORESCENT FIXTURE		CORNER COMMUNITY SPACE	35	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED REEF LIGHT		CORNER COMMUNITY SPACE	14	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
PL	LED TREE LIGHTS		CORNER COMMUNITY SPACE	12	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
TOTAL LIGHTING LUMENS (OUTSIDE THE PROPERTY LINE)											54,934								

FIXTURE SYMBOL	FIXTURE DESCRIPTION	FIXTURE DETAIL	LOCATION	QUANTITY	LUMENS							SPECIES	MANUFACTURER/CATALOG NUMBER						
					NET	RAW	DIFF	PLANT	REFLECT	PLANT	REFLECT			PLANT					
					LM	LM	LM	LM	LM	LM	LM								
SL	LED CYLINDER SOURCE WITH FORMER THROUGH DISTRIBUTION		BUILDING FACADE	16	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
PL	LED REEF LIGHT WITH RECYCLED GLASS PLANTER		REEF LIGHTING	14	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED REEF LIGHT		SPRINKLER RAIL	16	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED REEF LIGHT		COMMUNITY SPACE	14	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED REEF LIGHT		GENERAL EXTERIOR	8	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	FLUORESCENT FIXTURE		WENDO	16	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED STEPLIGHT		STAIRS	10	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED TREE LIGHTS		LANDSCAPE	4	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED REEF LIGHT		COMMUNITY SPACE	4	1	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
SL	LED SOURCE		BUILDING FACADE	16	2	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000	1000
TOTAL LIGHTING LUMENS (WITHIN PROPERTY LINE)											112,764								
SITE AREA											207 ACRES								
TOTAL LUMEN/NET ACRE											54,753								
ZONING ORDINANCE MAXIMUM NEAR LUMENS PER NET ACRE ALLOWANCE											55,000								

CONTROL TYPE LEGEND	
NO	NON-DIM
DIM	DIM
MLV	MANUFACTURED

SHEET TITLE:
LIGHTING COVER SHEET, FIXTURE SCHEDULE, AND DRAWING INDEX E-001



NEW YORK OFFICE: Suite 1201
 NEW YORK, NY 10101
 NY 212-691-1100 | BOSTON ARCH OFFICE

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2500 UTICHA DESIGN
DESIGN CONSULTING
 ENGINEERS
 310 MARKET STREET
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MEP ENGINEER
 J&M
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LIGHTING DESIGN
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 BOSTON, MA 02111
 (617) 534-0200

LIGHTING DESIGN
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 NEWTON, NY 10825
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SIGNATURE

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 06/2022

PROJECT:

Russell Street Mixed
 Development
 2 Russell Street, Portsmouth
 NH
 Two International Group

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Submitted For

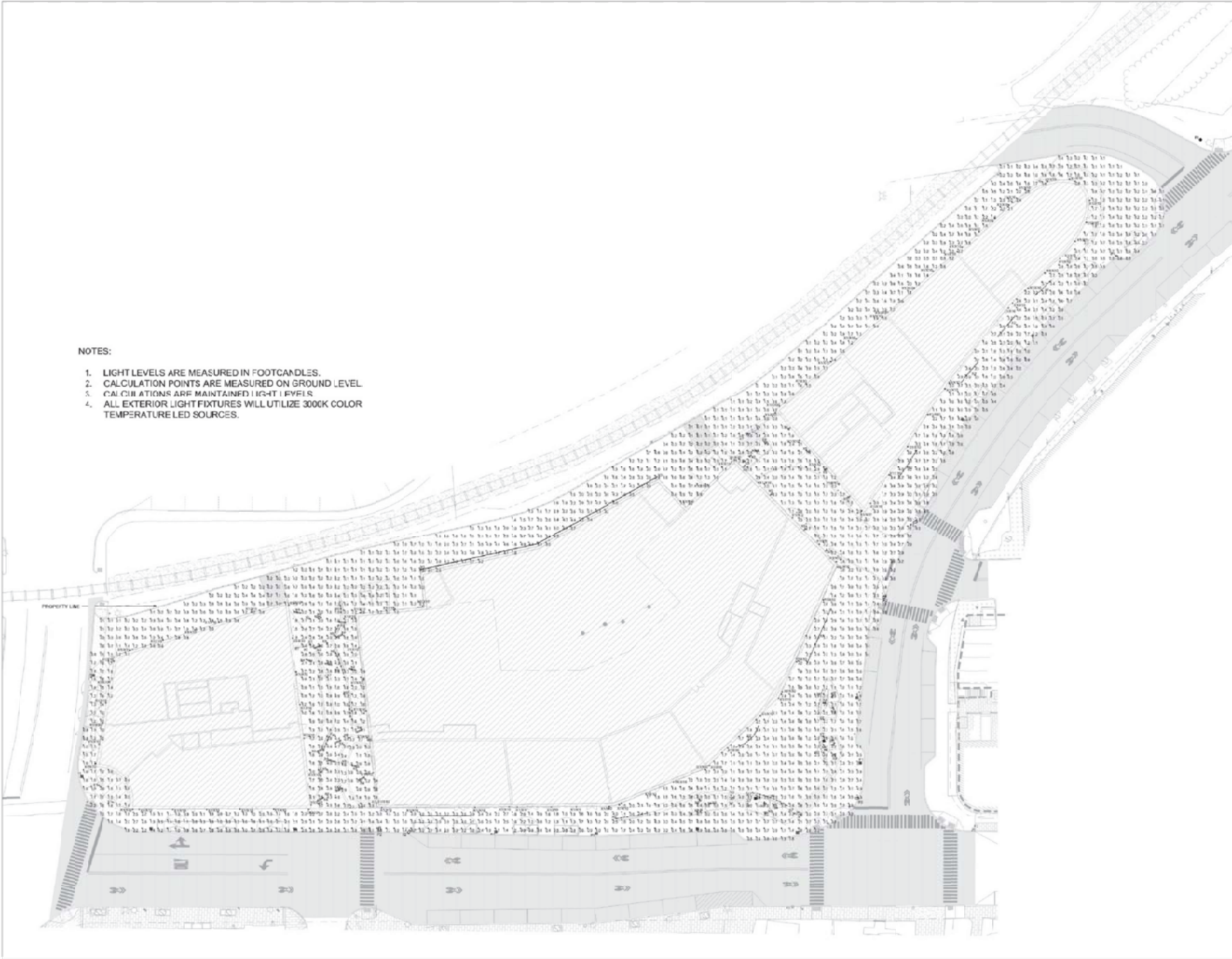
SCALE: 1" = 20'-0"
 DATE ISSUED: 06/06/22
 PROJECT NO: 24009.N.001
 DRAWN BY: JH
 CHECKED BY: SM

SHEET TITLE:
 EXTERIOR
 LIGHTING
 PLAN AND
 CALCULATIONS

E-100

NOTES:

1. LIGHT LEVELS ARE MEASURED IN FOOTCANDLES.
2. CALCULATION POINTS ARE MEASURED ON GROUND LEVEL.
3. CALCULATIONS ARE MAINTAINED LIGHT LEVELS.
4. ALL EXTERIOR LIGHT FIXTURES WILL UTILIZE 3000K COLOR TEMPERATURE LED SOURCES.





NEW 2nd Street, Suite 100
NEW YORK, NY 10013
PH: 202.535.1111 | WWW.SCA-ARCH.COM

PROJECT TEAM
CLIENT: TWO INTERNATIONAL GROUP
ARCHITECT OF RECORD: MARKET SQUARE ARCHITECTS

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(603) 501-0200
CIVIL ENGINEER
TISH & BOND
177 CONGRESS STREET
PORTSMOUTH, NH 03801
(603) 433-9616

LEAD ARCHITECT
DESIGN: MALCOLMSON
250 WASHINGTON STREET
BOSTON, MA 02111
(617) 531-0300
DESIGN: MALCOLMSON
DESIGNING CONSULTING ENGINEER
31 MILK STREET
BOSTON, MA 02108
(617) 531-4142

MEP ENGINEER
J&J
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BOSTON, MA 02111
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LIGHTING DESIGN
LIGHTBOX STUDIOS
100 WASHINGTON STREET
NEW YORK, NY 10038
(845) 819-3000

REVISIONS:
No. Date Description
1 08/06/22
2 08/06/22
3 08/06/22
4 08/06/22
5 08/06/22
6 08/06/22
7 08/06/22
8 08/06/22
9 08/06/22
10 08/06/22

SUBMISSIONS:
Date: Revised File:
1. 08/06/22: 08-0000-01-01
2. 08/06/22: 08-0000-01-02
3. 08/06/22: 08-0000-01-03

SCALE: NONE
DATE ISSUED: 08/06/22
PROJECT NO.: 24009.N.001
DRAWN BY: JK
CHECKED BY: SM

SHEET TITLE:
EXTERIOR LIGHTING CUTSHEETS NO. 1

E-101

GreenCobra™ LED Street Light GC1 F-Series Specification Data Sheet



GreenCobra™ LED Street Light GC1 F-Series Specification Data Sheet



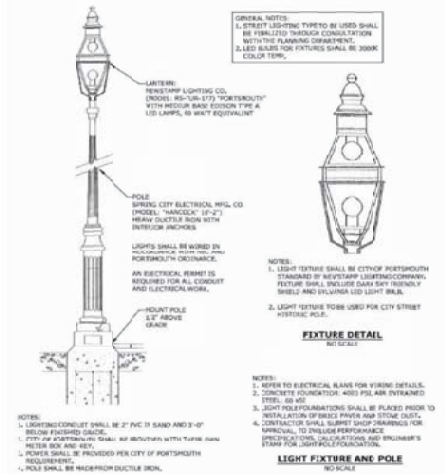
Performance Data

Number of LEDs: 100
Wattage: 25W
Beam Spread: 120°
Color Temperature: 4000K
Lumen Output: 2500lm

Item #	Qty	Unit Price	Total Price	Notes
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	
GC1	100	\$25.00	\$2,500.00	

Ordering Information

Order #	Part #	Qty	Unit Price	Total Price	Notes
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	
GC1	GC1	100	\$25.00	\$2,500.00	

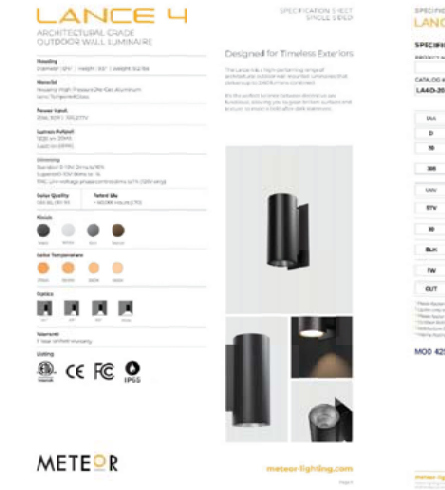
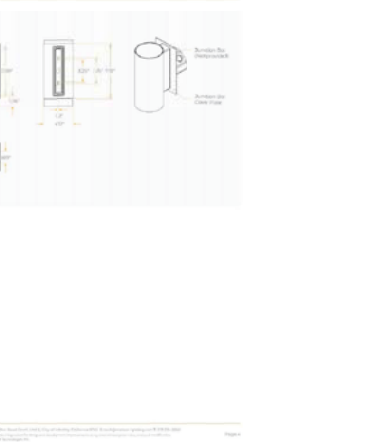


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METEOR SPECIFICATION SHEET / SINGLE BEED LANCE 4 ARCHITECTURAL CORK OUTDOOR WALL LAMINARE



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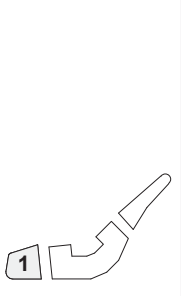
FIXTURE TYPE 'X1' BUILDING MOUNTED LIGHT FIXTURE

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200 HIGH ST. BOSTON, MA 02110
857.300.2610 | SGA-ARCH.COM

PROJECT TEAM:



SEAL / SIGNATURE

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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE **As indicated**
DATE ISSUED **05/23/22**
PROJECT NO **4979.00**
DRAWN BY **Author**
CHECKED BY **Checker**

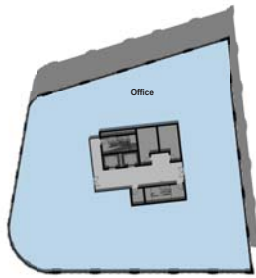
SHEET TITLE:

**BUILDING 1
AREA PLANS**

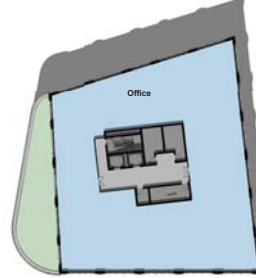
A - 101



1 **B1 - LEVEL 1**
1/32" = 1'-0"



2 **B1 - LEVEL 3**
1/32" = 1'-0"



3 **B1 - LEVEL 4**
1/32" = 1'-0"

GROSS AREA CALCULATIONS

B1 - LEVEL 1	
Back of House	1,061 SF
Lobby	2,574 SF
Office	7,974 SF
11,609 SF	
B1 - LEVEL 2	
Back of House	956 SF
Lobby	663 SF
Office	10,312 SF
11,932 SF	
B1 - LEVEL 3	
Back of House	956 SF
Lobby	663 SF
Office	10,313 SF
11,932 SF	
B1 - LEVEL 4	
Back of House	956 SF
Lobby	663 SF
Office	8,851 SF
10,471 SF	
GRAND TOTAL	45,944 SF

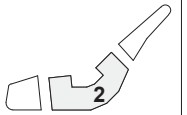
AREA LEGEND

	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



200 HIGH ST. BOSTON, MA 02110
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PROJECT TEAM:



SEAL / SIGNATURE

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05/23/22

PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

REVISIONS:

No.	Date	Description

SUBMISSIONS:

Date	Issued For:
05/23/22	TAC Work Session

SCALE: As indicated
DATE ISSUED: 05/23/22
PROJECT NO: 4979.00
DRAWN BY: Author
CHECKED BY: Checker

SHEET TITLE:
**BUILDING 2
AREA PLANS**

A - 102

GROSS AREA CALCULATIONS

B2 - LEVEL 0	
Back of House	625 SF
Lobby	253 SF
Parking	38,270 SF
TOTAL	39,148 SF

B2 - LEVEL 1	
Back of House	1,263 SF
Lobby	2,441 SF
Parking	25,590 SF
Retail	10,440 SF
TOTAL	39,735 SF

B2 - LEVEL 2	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,109 SF
Lobby	2,619 SF
TOTAL	29,754 SF

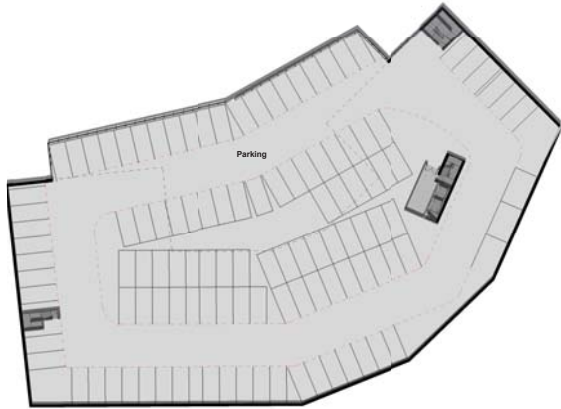
B2 - LEVEL 3	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
TOTAL	29,810 SF

B2 - LEVEL 4	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
TOTAL	29,810 SF

B2 - LEVEL 5	
Back of House	1,082 SF
Balcony	944 SF
Condo	25,395 SF
Lobby	2,391 SF
TOTAL	29,810 SF
GRAND TOTAL	198,068 SF

AREA LEGEND

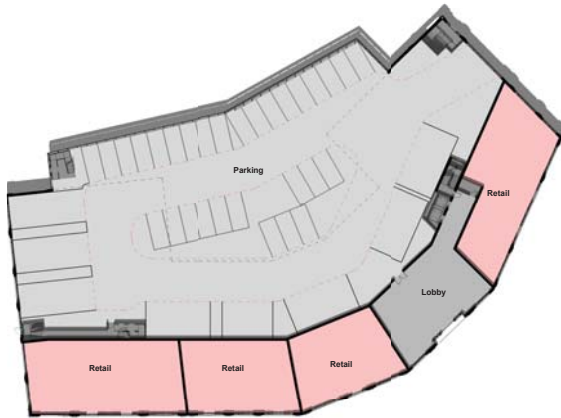
	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



1 B2 - LEVEL 0
1/32" = 1'-0"



3 B2 - LEVEL 2
1/32" = 1'-0"



2 B2 - LEVEL 1
1/32" = 1'-0"

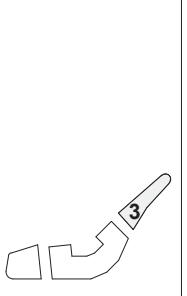


4 B2 - LEVEL 3-5
1/32" = 1'-0"



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PROJECT:

Russell Street Mixed Use Scheme

Russell Street, Portsmouth NH

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No.	Date	Description

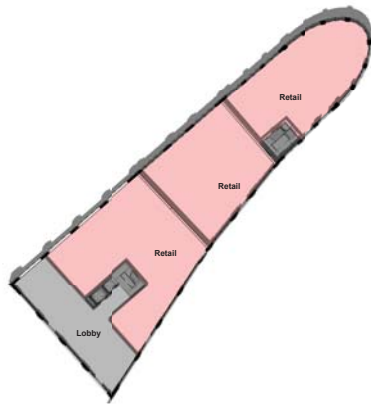
SUBMISSIONS:

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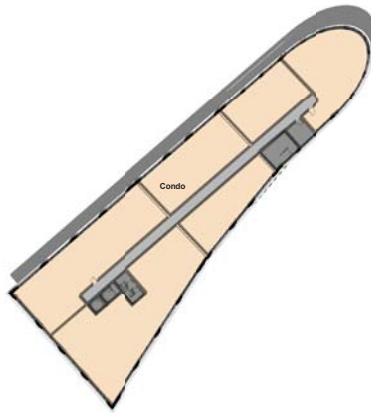
SCALE: As indicated
DATE ISSUED: 05/23/22
PROJECT NO: 4979.00
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SHEET TITLE:
**BUILDING 3
AREA PLANS**

A - 103



1 B3 - LEVEL 1
1/32" = 1'-0"



2 B3 - LEVEL 2-5
1/32" = 1'-0"

GROSS AREA CALCULATIONS

B3 - LEVEL 1	
Back of House	514 SF
Lobby	1,861 SF
Retail	8,829 SF
11,203 SF	
B3 - LEVEL 2	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
B3 - LEVEL 3	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
B3 - LEVEL 4	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
B3 - LEVEL 5	
Back of House	624 SF
Condo	9,675 SF
Lobby	904 SF
11,203 SF	
GRAND TOTAL	56,017 SF

AREA LEGEND

	OFFICE
	CONDO
	RETAIL
	PARKING
	LOBBY
	OUTDOOR SPACE
	BACK OF HOUSE



1 B1 - East Elevation
3/32" = 1'-0"



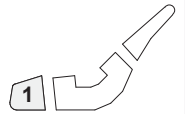
2 B1 - South Elevation
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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SHEET TITLE:

**BUILDING 1
ELEVATION**

A - 201



1 B1-West Elevation
3/32" = 1'-0"



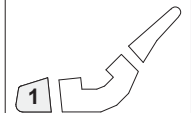
2 B1-North Elevation
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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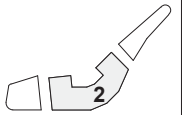
**BUILDING 1
ELEVATION**

A - 202



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SHEET TITLE:

**BUILDING 2
ELEVATION**

A - 203

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



1 B2 - North Elevation
3/32" = 1'-0"



2 B2 - East Elevation 1
3/32" = 1'-0"



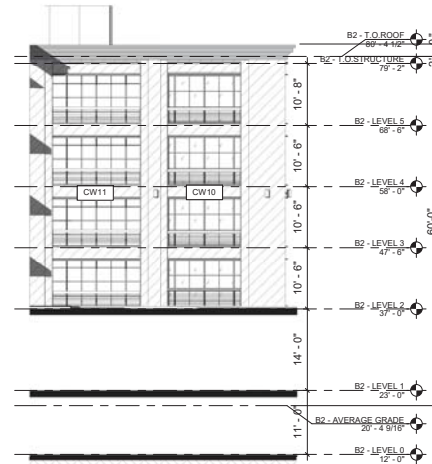
3 B2 - East Elevation 2
3/32" = 1'-0"



4 B2 - South-East Elevation 1
3/32" = 1'-0"



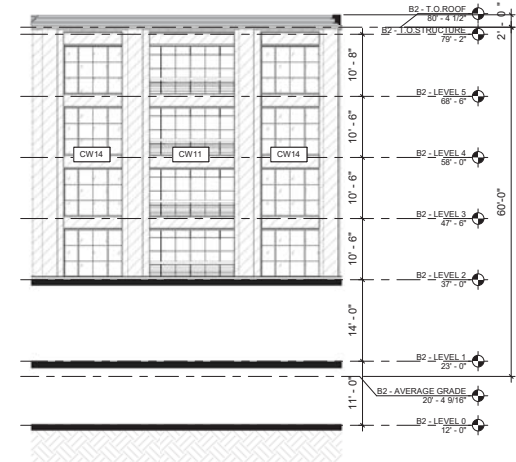
1 B2 - South-East Elevation 2
3/32" = 1'-0"



3 B2 - North Elevation 2
3/32" = 1'-0"



2 B2 - South Elevation
3/32" = 1'-0"



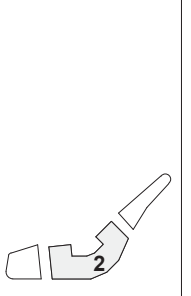
4 B2 - South-West Elevation 2
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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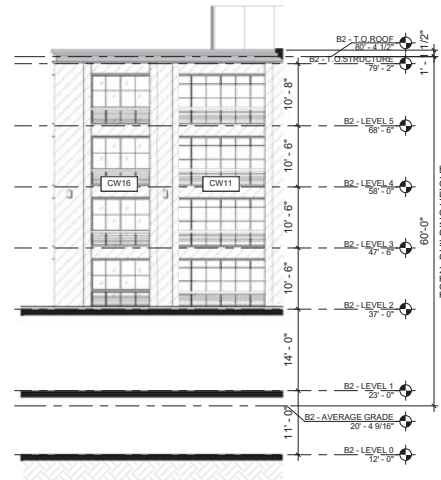
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SHEET TITLE:
BUILDING 2 ELEVATION

A - 204

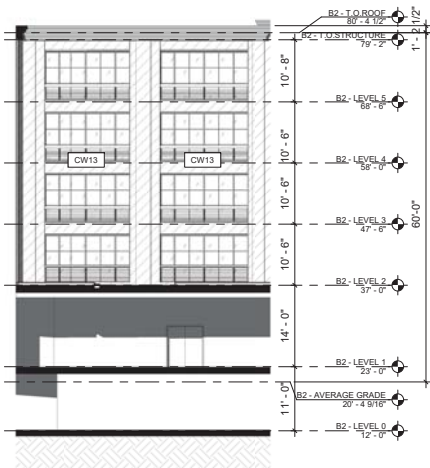


1 B2 - West Elevation 1
3/32" = 1'-0"

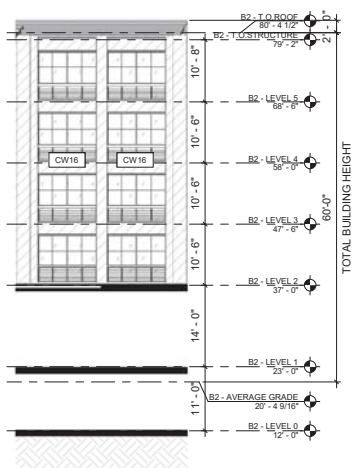


2 B2 - South Elevation 2
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



3 B2 - West Elevation 2
3/32" = 1'-0"



4 B2 - South West Elevation 1
3/32" = 1'-0"

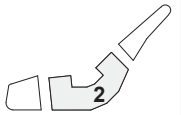


5 B2 - North-West Elevation
3/32" = 1'-0"



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**BUILDING 2
ELEVATION**

A - 205



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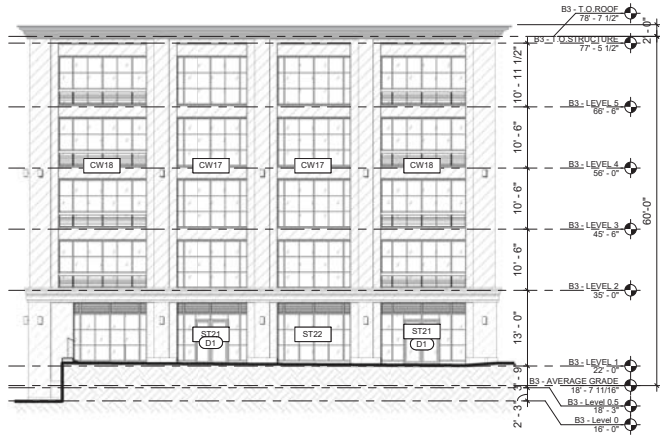
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SHEET TITLE:

**BUILDING 3
ELEVATION**

A - 206

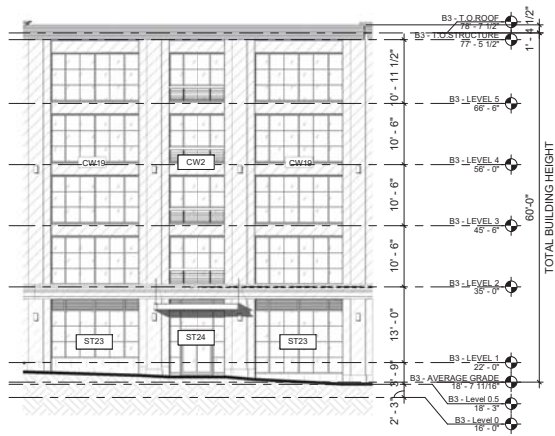
MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



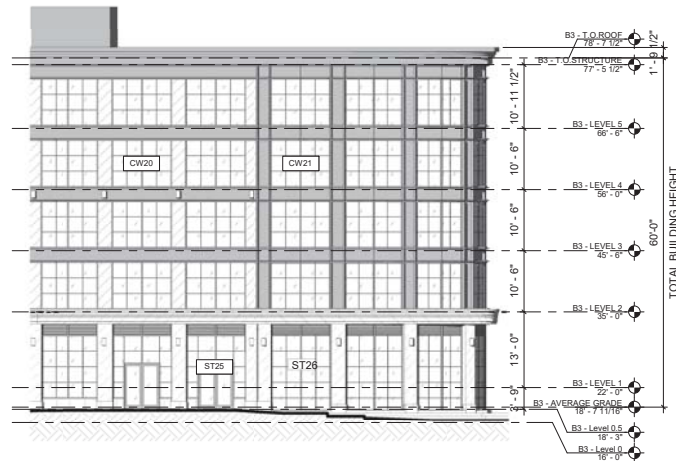
1 B3 - South Elevation
3/32" = 1'-0"



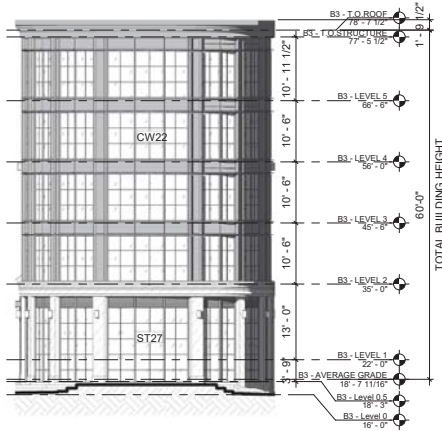
2 B3 - East Elevation 1
3/32" = 1'-0"



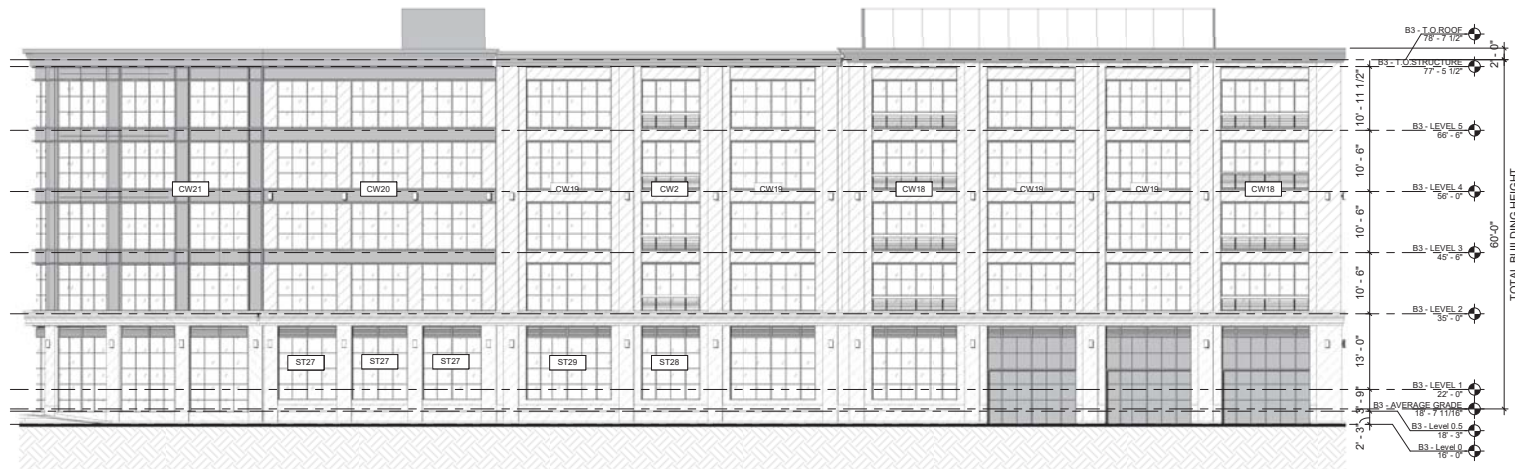
3 B3 - East Elevation 2
3/32" = 1'-0"



4 B3 - East Elevation 3
3/32" = 1'-0"



1 B3 - North Elevation
3/32" = 1'-0"



2 B3 - West Elevation
3/32" = 1'-0"

MATERIAL LEGEND	
	BRICK
	LIMESTONE
	GRANITE
	METAL



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**BUILDING 3
ELEVATION**

A - 207



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SHEET TITLE:

GLAZING STUDY

A - 208



1 B1 Unfolded Elevation Deer Street And Maplewood Avenue
1/16" = 1'-0"

Facade Glazing		
Facade	Glazing	Percentage
8884.76 SF	4059.69 SF	45.69%
Shopfront Facade		
Facade	Glazing	Percentage
3228.43 SF	2411.33 SF	74.69%



2 B2 Unfolded Elevation Russel Street and Deer Street
1/16" = 1'-0"

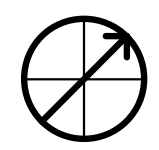
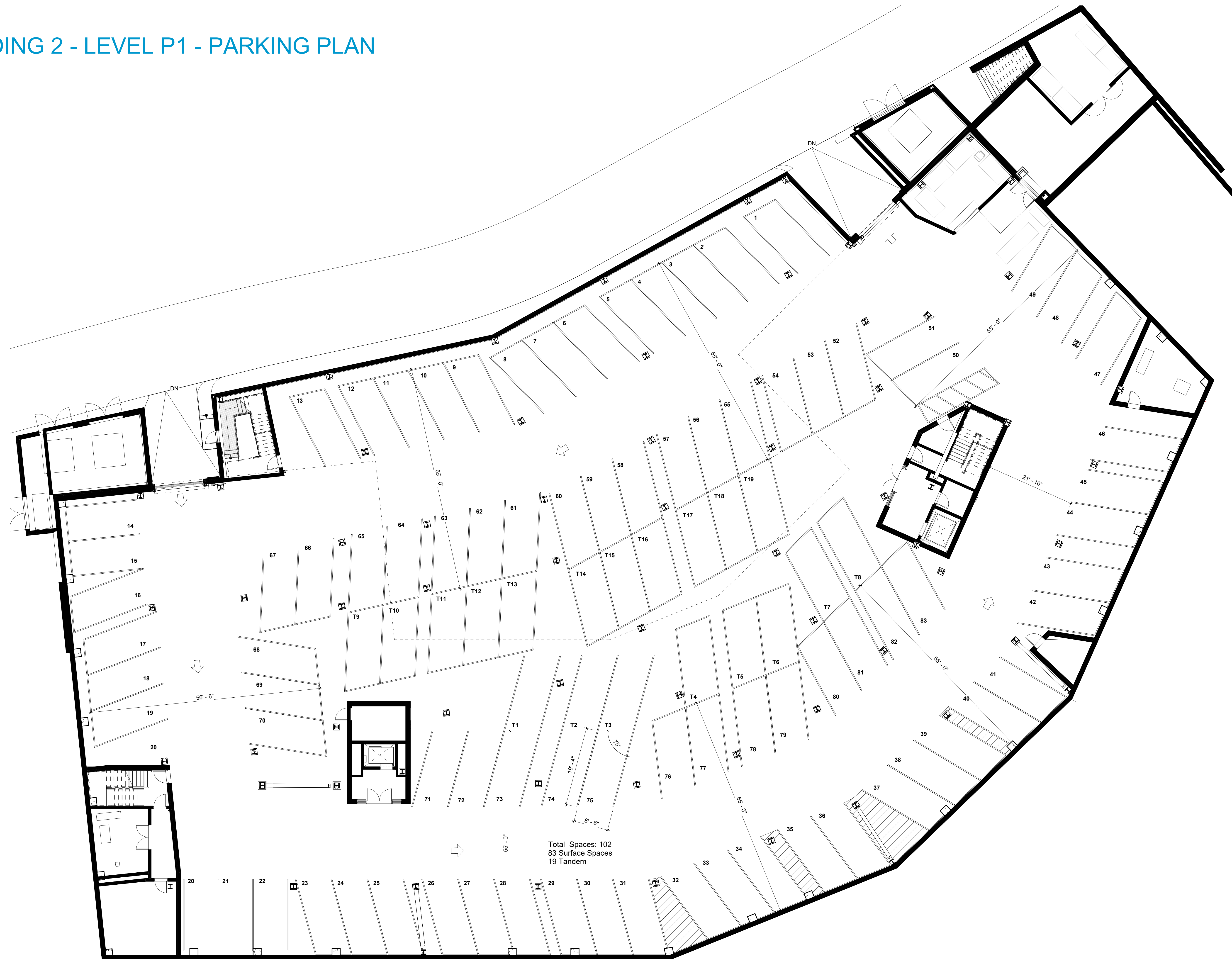
Facade Glazing		
Facade	Glazing	Percentage
16269.4 SF	7016.41 SF	43.13%
Shopfront Facade		
Facade	Glazing	Percentage
4171.77 SF	3041.62 SF	72.91%



3 B3 Unfolded Elevation Russel Street And Green Street
1/16" = 1'-0"

Facade Glazing		
Facade	Glazing	Percentage
13590.1 SF	6313.03 SF	46.45%
Shopfront Facade		
Facade	Glazing	Percentage
3892.94 SF	2769.66 SF	71.15%

BUILDING 2 - LEVEL P1 - PARKING PLAN



BUILDING 2 - LEVEL 1 - PARKING PLAN

