



200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

1 September 2023

Peter Stith, Chair, City of Portsmouth TAC  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Request for TAC Workshop Review at 1155 Sagamore Road, Site Development**

Dear Mr. Stith and TAC Members:

On behalf of Build America, we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **September 12, 2023**, Meeting. The project is the demolition of the existing building and proposed new construction of a 4-unit residential condominium with the associated and required site improvements.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions & Demolition Plan C1 – This plan shows the existing property boundaries and existing site conditions and notes the demolition.
- Site Plan C2 – This plan shows the site development in detail with the associated zoning development standards and circulation / layout.
- Grading Plan C3 – This plan shows proposed site grading. The site primarily flow to the west. Runoff will flow to a proposed rain garden.
- Utility Plan C4 – This plan shows proposed site utilities. The project will connect to the e-one system low pressure sewer in an existing connection constructed for the purpose and brought to the property line.
- Erosion Control Notes and Details D1 and D2 – These plans shows site details.

We look forward to TAC review of this submission and the Committees feedback on the proposed design.

Sincerely,

John R. Chagnon, PE

# PROPOSED BUILDING REPLACEMENT BUILD AMERICA 1155 SAGAMORE AVENUE PORTSMOUTH NEW HAMPSHIRE SITE PERMIT PLANS

**PROJECT PERMITS:**  
PORTSMOUTH SITE PLAN: PENDING

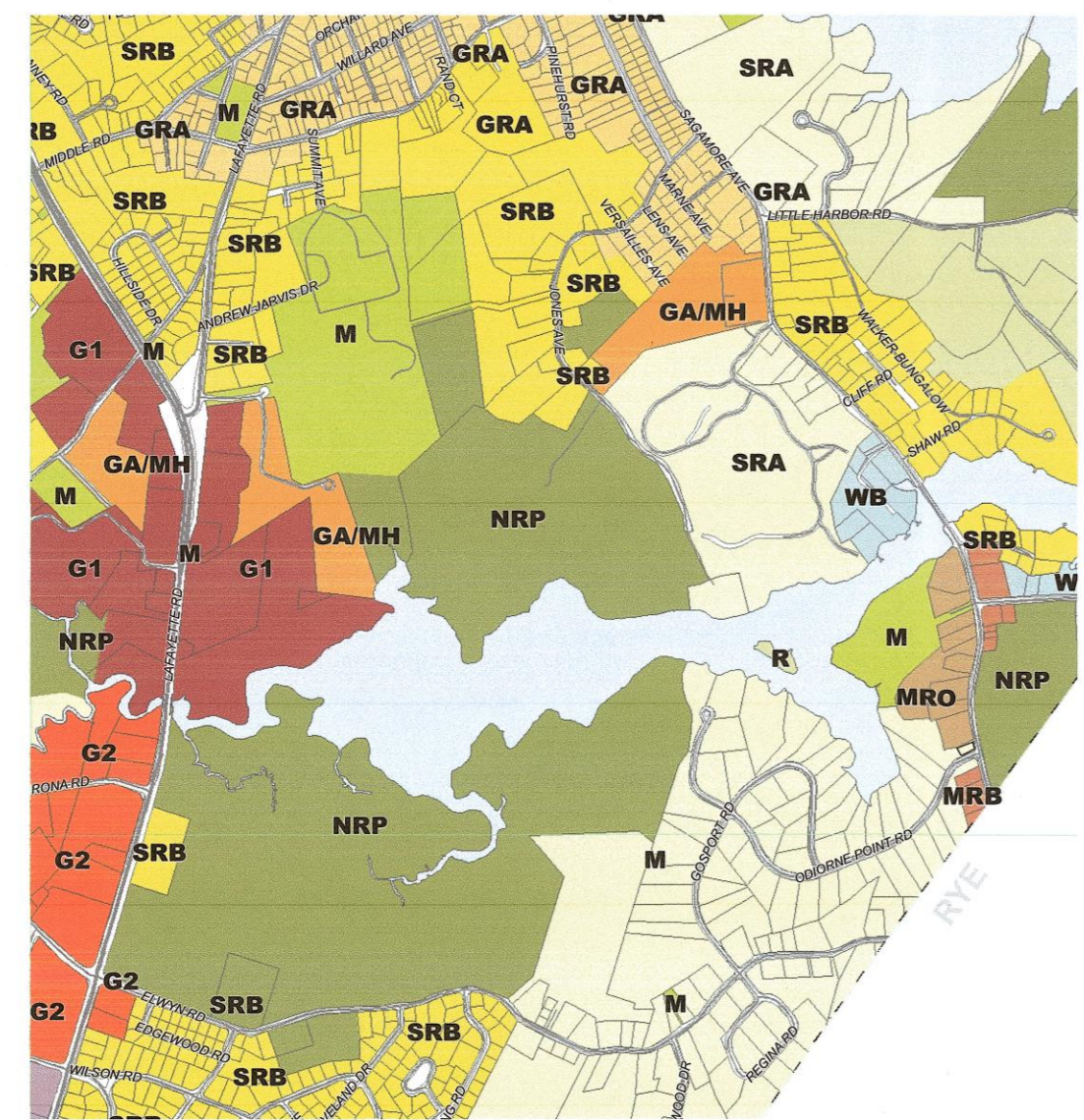
**OWNER:**  
MICHAEL A. VALINSKI &  
MAUREEN OAKMAN  
1155 SAGAMORE AVENUE  
PORTSMOUTH, NH 03802  
TEL. (617) 877-6711

**APPLICANT:**  
BUILD AMERICA  
PO BOX 1664  
PORTSMOUTH, NH 03802  
TEL. (617) 877-6711

**CIVIL ENGINEER & LAND SURVEYOR:**  
AMBIT ENGINEERING, INC.  
A DIVISION OF HALEY WARD, INC.  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, NH 03801  
TEL. (603) 430-9282

**ARCHITECT/DESIGNER:**  
BUILD AMERICA  
PO BOX 1664  
PORTSMOUTH, NH 03802  
TEL. (617) 877-6711

**PORTSMOUTH ZONING MAP**



**Legend**

**Character Districts**  
Character-Based Zoning Area  
(Refer to Zoning Map Sheet 2 of 2  
Character Districts Regulating Plan)

**Residential Districts**

- R Rural
- SRA Single Residence A
- SRB Single Residence B
- GRA General Residence A
- GRB General Residence B
- GRC General Residence C
- GA/MH Garden Apartment/Mobile Home Park

**Mixed Residential Districts**

- MRO Mixed Residential Office
- MRB Mixed Residential Business
- G1 Gateway Corridor
- G2 Gateway Center

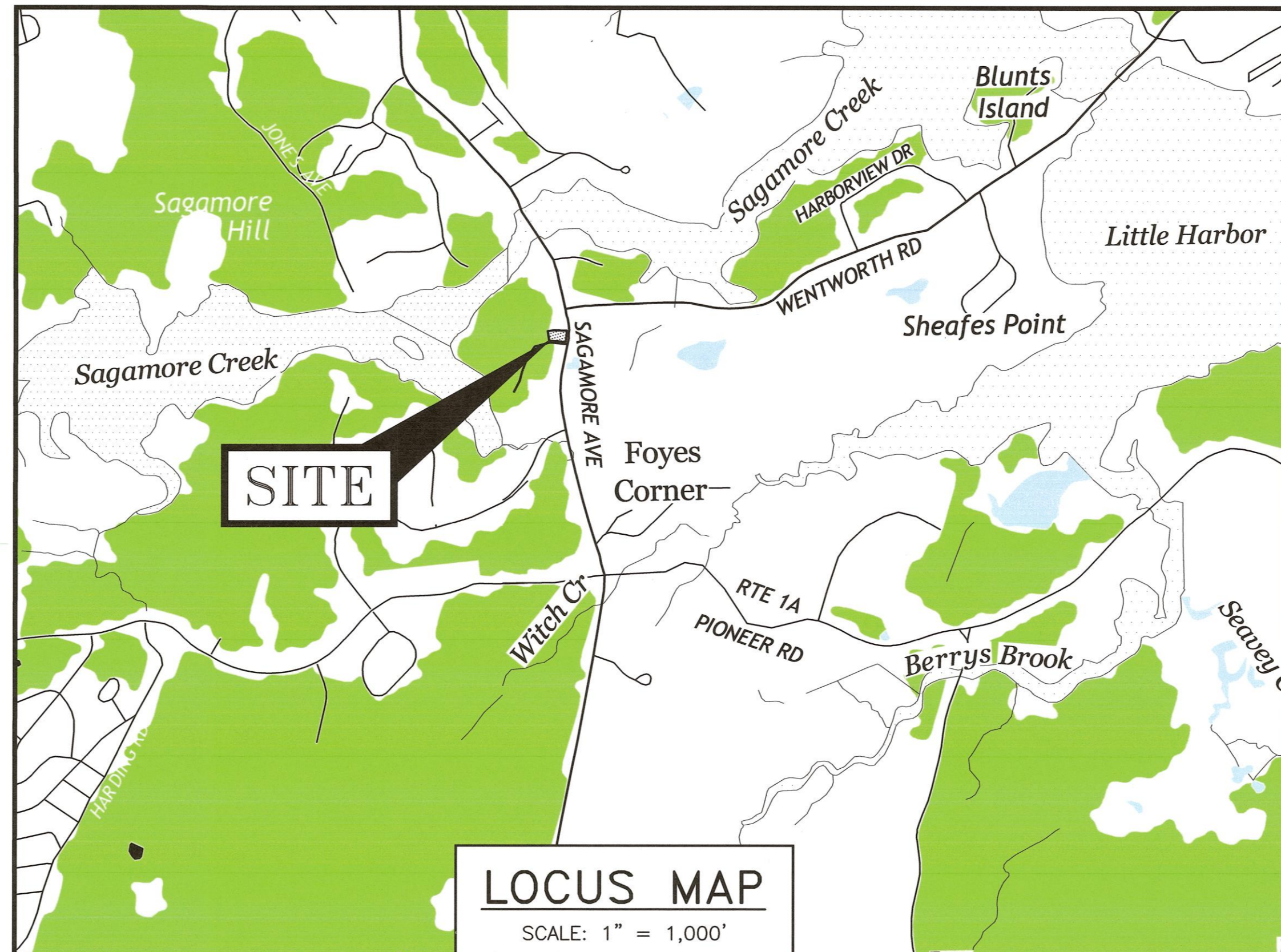
**Business Districts**

- GB General Business
- B Business
- WB Waterfront Business

**Industrial Districts**

- OR Office Research
- I Industrial
- WI Waterfront Industrial

**PROJECT SITE:**  
TAX MAP 224, LOT 18



**LOCUS MAP**  
SCALE: 1" = 1,000'

**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC/WIRES
FD	FD	FOUNDATION DRAIN
FM	FM	FORCED SEWER MAIN
---	---	EDGE OF PAVEMENT (EP)
---	---	WOODS / TREE LINE
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
○	○	UTILITY POLE
○	○	SIGNS
○	○	WALL MOUNTED EXTERIOR LIGHTS
○	○	METER (GAS, WATER, ELECTRIC)
○	○	TRANSFORMER ON CONCRETE PAD
○	○	ELECTRIC HANDHOLD
○	○	SHUT OFFS (WATER/GAS)
○	○	GATE VALVE
○	○	HYDRANT
○	○	CATCH BASIN
○	○	SEWER MANHOLE
○	○	DRAIN MANHOLE
○	○	TELEPHONE MANHOLE
○	○	PARKING SPACE COUNT
○	○	PARKING METER
○	○	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TO BE REMOVED
W.W.	W.W.	TYPICAL WINDOW WELL
		PHOTO LOCATION



**UTILITY CONTACTS**

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**COMMUNICATIONS:**  
CONSOLIDATED COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

**INDEX OF SHEETS**

DWG No.	Description
C1	EXISTING CONDITIONS & DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING PLAN
C4	UTILITY PLAN
D1-D2	DETAILS & EROSION CONTROL

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

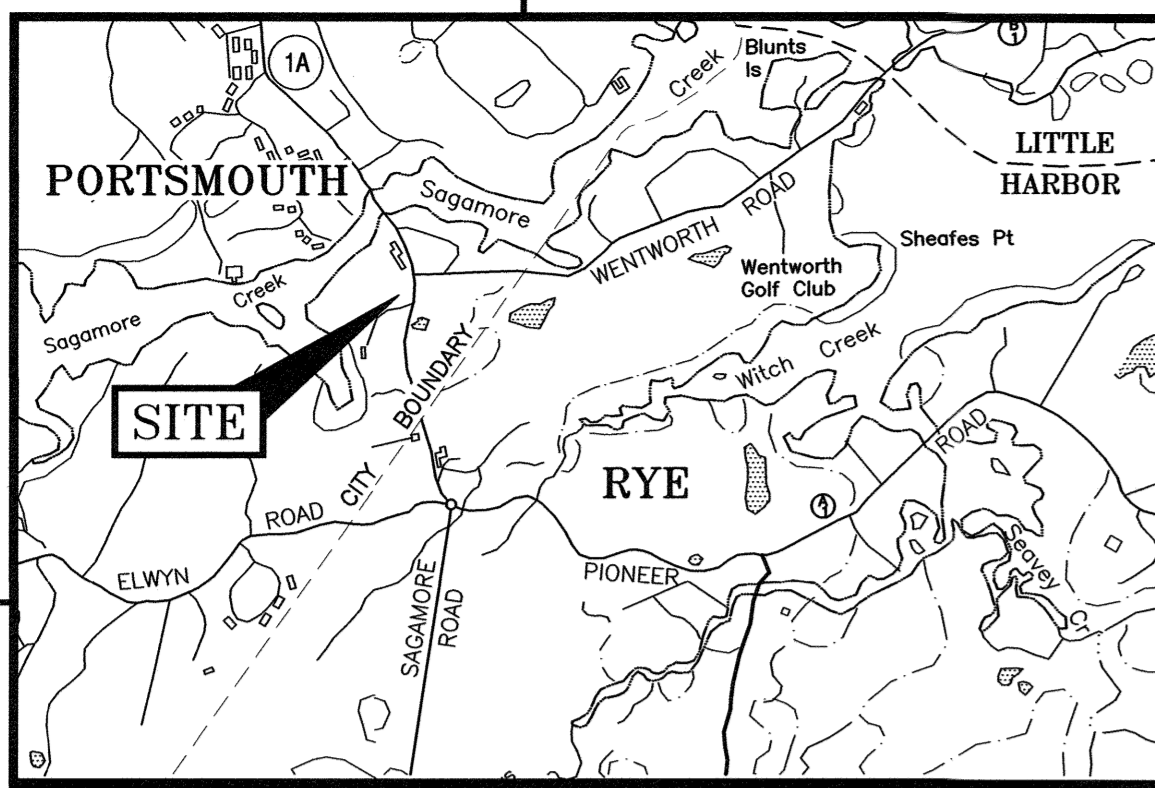
**PROPOSED BUILDING REPLACEMENT  
BUILD AMERICA  
1155 SAGAMORE AVENUE  
PORTSMOUTH, NH**



200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

WWW.HALEYWARD.COM

PLAN SET SUBMITTAL DATE: 5 SEPTEMBER 2023



LOCATION MAP SCALE: 1" = 2000'

LEGEND: SEE COVER SHEET

ABUTTERS:

- 201 22 N/F WENTWORTH-SAGAMORE LLC 1150 SAGAMORE AVENUE PORTSMOUTH, NH 03801 5629/0040
- 201 23 N/F WENTWORTH-SAGAMORE LLC 1150 SAGAMORE AVENUE PORTSMOUTH, NH 03801 5689/0881
- 201 24 N/F WENTWORTH-SAGAMORE LLC 1150 SAGAMORE AVENUE PORTSMOUTH, NH 03801 5689/0877

LENGTH TABLE

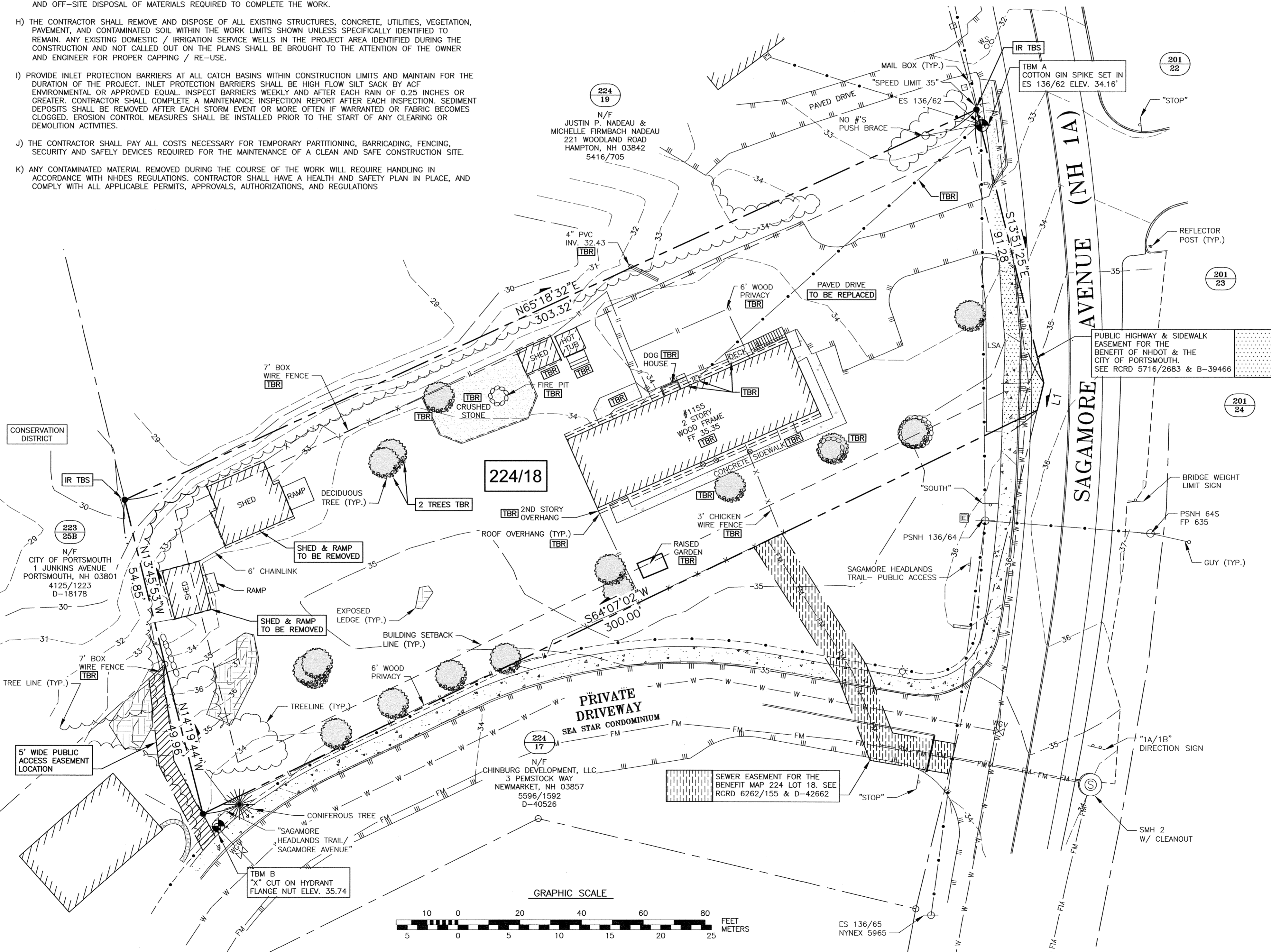
LINE	BEARING	DISTANCE
L1	S13°36'10"W	9.05'

PLAN REFERENCES:

- 1) PLAN OF LAND ON SAGAMORE CREEK, PORTSMOUTH, N.H. OWNED BY JOSIAH F. ADAMS, SURVEYED BY E.M.HUNT, JUN. ENGR., SCALE: 1"=1000', DATED: MARCH 1908, RCRD PLAN# 00254.
- 2) PLAN OF LAND PORTSMOUTH, N.H. FOR NORMAN J. & JANET S. SMITH, SCALE: 1" = 100FT., DATED: NOV. 1964, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD PLAN# 1549.
- 3) BOUNDARY LINE CHANGE LODGE 444 LOYAL ORDER OF MOOSE AND ROBERT & STUART SHAINES, SAGAMORE AVENUE, PORTSMOUTH, NEW HAMPSHIRE, SCALE: 1" = 50', DATED MAY 1984, PREPARED BY K.E.MOORE & B.G.STAPLES LAND SURVEYORS, RCRD D-13349.
- 4) SUBDIVISION OF LAND PORTSMOUTH & RYE, N.H. FOR R & S TRUST, SCALE: 1" = 100', DATED: DEC. 13, 1984, PREPARED BY JOHN W. DURGIN ASSOCIATES, INC., RCRD D-13415.
- 5) SUBDIVISION OF LAND PORTSMOUTH, N.H. FOR STUART SHAINES & ROBERT SHAINES, SCALE: 1" = 40', DATED JAN. 15, 1988, PREPARED BY DURGIN SCHOFIELD ASSOCIATES, RCRD D-18178.
- 6) STANDARD BOUNDARY SURVEY & PROPOSED EASEMENT PLAN TAX MAP 224 LOT 17, OWNER: CHINBURG DEVELOPMENT, LLC, LAND LOCATED AT: 1163 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1" = 50', DATED: JANUARY 2015, RCRD D-39476
- 7) STATE HIGHWAY EASEMENT PLAN TAX MAP 224 LOT 18, OWNERS: MICHAEL A. VALINSKI & MAUREEN OAKMAN, 1155 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1" = 20', DATED JANUARY 2016, RCRD B-39466.
- 8) SEA STAR COVE CONDOMINIUM SITE PLAN TAX MAP 224 LOT 17, OWNER: CHINBURG DEVELOPMENT, LLC, LAND LOCATED AT 1163 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: 1" = 50', DATED: APRIL 2016, RCRD D-40526
- 9) SEWER EASEMENT PLAN SEA STAR COVE CONDOMINIUM TAX MAP 224 LOT 17, OWNER OF RECORD / DECLARANT: CHINBURG DEVELOPMENT, LLC, TO BENEFIT MICHAEL A. VALINSKI & MAUREEN OAKMAN, LAND LOCATED AT 1163 SAGAMORE AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, SCALE: AS SHOWN, DATED: MARCH 2021, RCRD D-42662.

DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- J) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- K) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 224 AS LOT 18.
- 2) OWNERS OF RECORD: MICHAEL A. VALINSKI & MAUREEN OAKMAN 1155 SAGAMORE AVENUE PORTSMOUTH, NH 03801 3991/781  
APPLICANT: BUILD AMERICA PO BOX 1664 PORTSMOUTH, NH 03802
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0286F. EFFECTIVE JANUARY 29, 2021.
- 4) EXISTING LOT AREA: 30,264 S.F. 0.6948 ACRES
- 5) PARCEL IS LOCATED IN MIXED RESIDENTIAL OFFICE (MRO) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 7,500 S.F.  
FRONTAGE: 100 FEET  
SETBACKS: FRONT 5 FEET, REAR 10 FEET, SIDE 15 FEET  
MAXIMUM STRUCTURE HEIGHT: 40 FEET  
SLOPED ROOF 30 FEET  
FLAT ROOF  
MAXIMUM BUILDING COVERAGE: 40%  
MINIMUM OPEN SPACE: 25%
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITION ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

0	9/05/23	ISSUED FOR APPROVAL	CSA	JRC
No.	DATE	DESCRIPTION	BY	CHK.

NOT FOR CONSTRUCTION



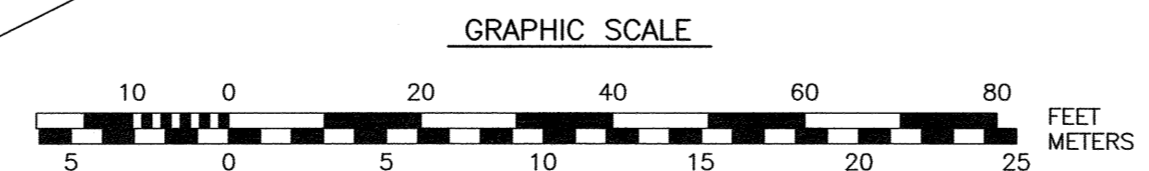
WWW.HALEYWARD.COM  
200 Griffin Road, Unit 3 Portsmouth, NH 03801 603.430.9282

PROJECT: BUILD AMERICA  
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

EXISTING CONDITIONS & DEMOLITION PLAN

DATE: JULY 2023	SCALE: 1" = 20'	
DRAWN BY: CSA	DESIGNED BY: JRC	CHECKED BY: JRC
PROJECT NO: 5010314.417.01	FIELD BOOK & PAGE: FB 450 PG 1	
<b>SHEET 1 C1</b>		

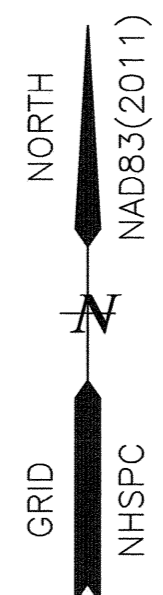
"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."  
JOHN R. CHAGNON, LLS #738 DATE 1-5-23



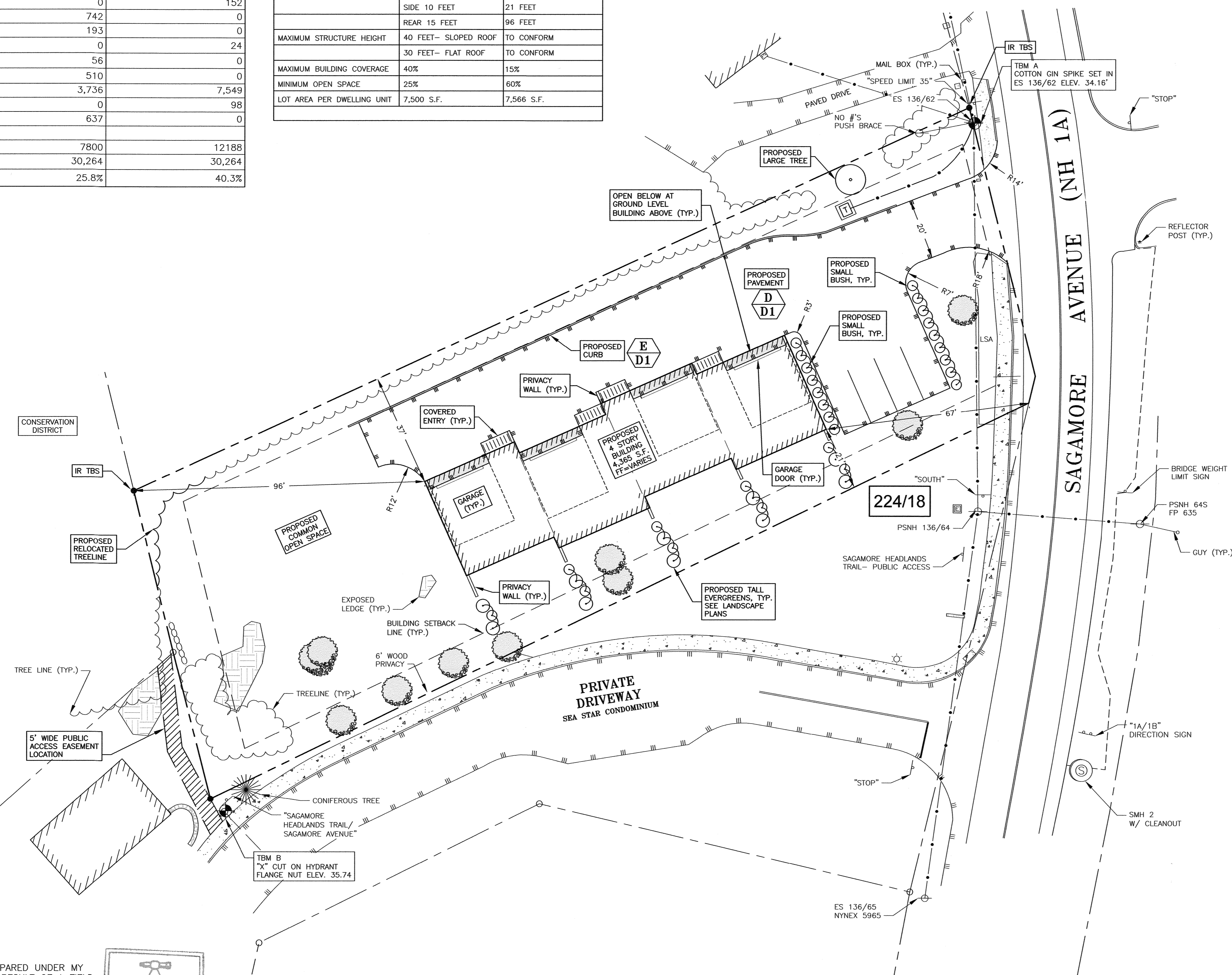
LEGEND: SEE COVER SHEET

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	1,926	4,365
PORCHES	0	152
SHEDS	742	0
DECKS, STAIRS & RAMPS	193	0
PRIVACY WALL	0	24
HOT TUB	56	0
CONCRETE/WALKWAYS	510	0
PAVEMENT	3,736	7,549
CURB	0	98
CRUSHED STONE	637	0
TOTAL	7800	12188
LOT SIZE	30,264	30,264
% LOT COVERAGE	25.8%	40.3%

ZONING DATA DIMENSIONAL REQUIREMENTS		
	REQUIRED	PROPOSED
MIN. LOT AREA	7,500 S.F.	30,264 S.F.
FRONTAGE	100 FEET	100.33 FEET
SETBACKS	FRONT 5 FEET	67 FEET
	SIDE 10 FEET	21 FEET
	REAR 15 FEET	96 FEET
MAXIMUM STRUCTURE HEIGHT	40 FEET- SLOPED ROOF	TO CONFORM
	30 FEET- FLAT ROOF	TO CONFORM
MAXIMUM BUILDING COVERAGE	40%	15%
MINIMUM OPEN SPACE	25%	60%
LOT AREA PER DWELLING UNIT	7,500 S.F.	7,566 S.F.

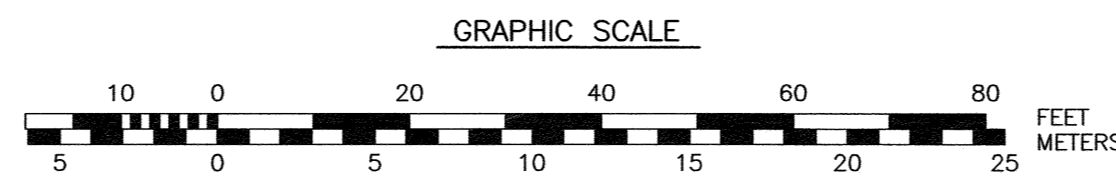
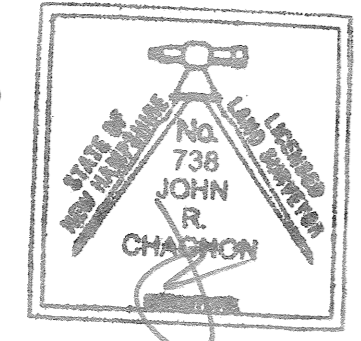


- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 224 AS LOT 18.
  - 2) OWNERS OF RECORD:  
MICHAEL A. VALINSKI &  
MAUREEN OAKMAN  
1155 SAGAMORE AVENUE  
PORTSMOUTH, NH 03801  
3991/781  
  
APPLICANT:  
BUILD AMERICA  
PO BOX 1664  
PORTSMOUTH, NH 03802
  - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0286F. EFFECTIVE JANUARY 29, 2021.
  - 4) EXISTING LOT AREA:  
30,264 S.F.  
0.6948 ACRES
  - 5) PARCEL IS LOCATED IN MIXED RESIDENTIAL OFFICE (MRO) ZONING DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:  
MIN. LOT AREA: 7,500 S.F.  
FRONTAGE: 100 FEET  
SETBACKS: FRONT 5 FEET, SIDE 10 FEET, REAR 15 FEET  
MAXIMUM STRUCTURE HEIGHT: 40 FEET, SLOPED ROOF 30 FEET, FLAT ROOF  
MAXIMUM BUILDING COVERAGE: 40%  
MINIMUM OPEN SPACE: 25%
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE STRUCTURE REPLACEMENT ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
  - 8) VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
  - 9) TRASH PICKUP TO BE CURBSIDE.
  - 10) REQUIRED PARKING:  
1.3 PER UNIT X 4 = 5  
PROVIDED: 12
  - 11) PROPOSAL IS TO CREATE A 4 UNIT RESIDENTIAL CONDOMINIUM ON THE PROPERTY.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

*John R. Chagnon*  
JOHN R. CHAGNON, LLS #738  
DATE: 9-5-23



0	9/5/23	ISSUED FOR APPROVAL	CSA	JRC
No.	DATE	DESCRIPTION	BY	CHK.

NOT FOR CONSTRUCTION

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

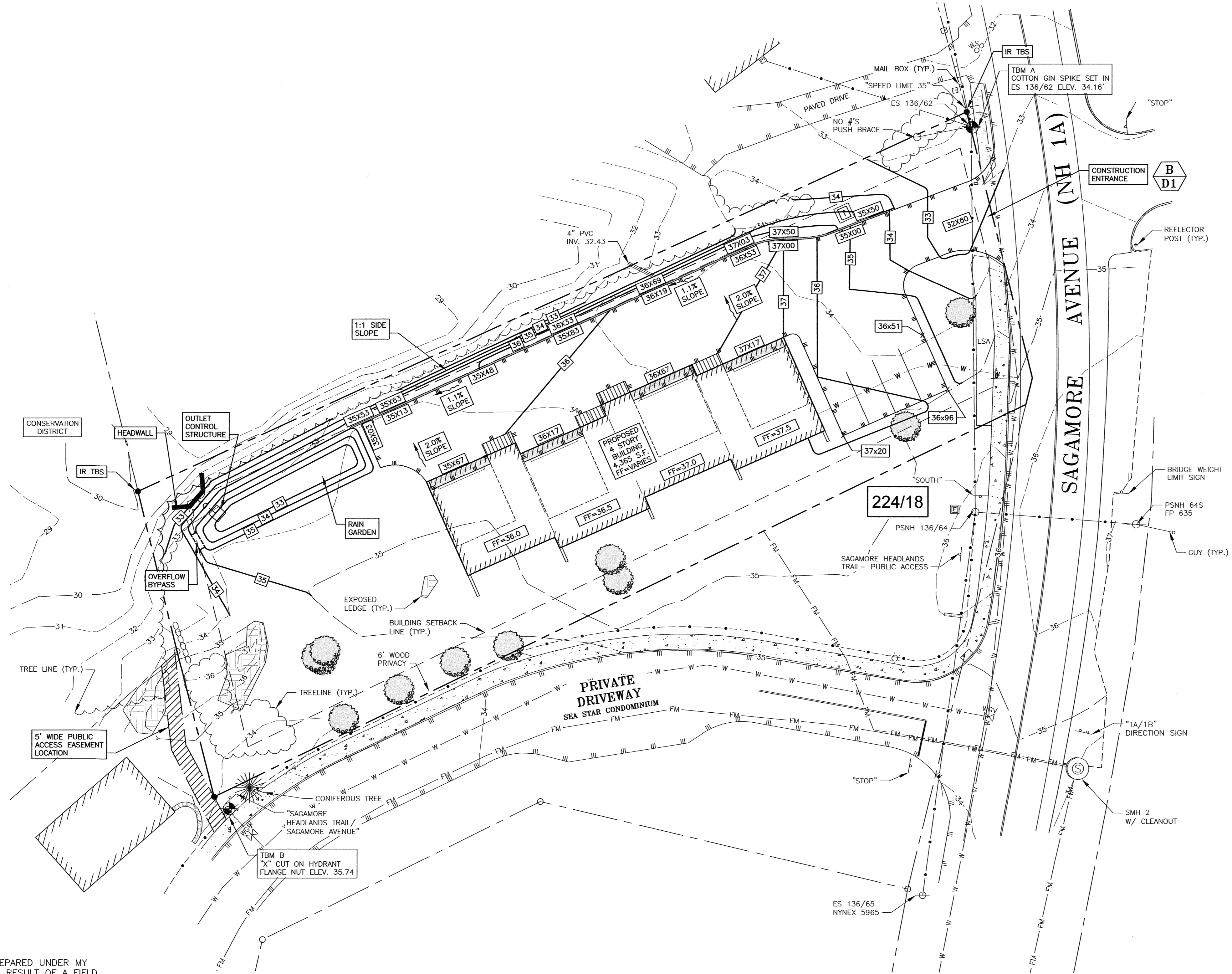
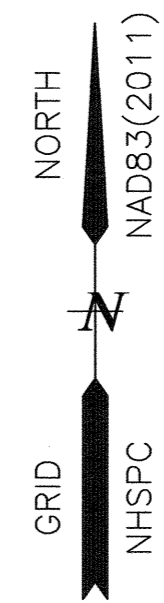
WWW.HALEYWARD.COM

**BUILD AMERICA**  
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

**SITE PLAN**

DATE	AUGUST 2023	SCALE	1" = 20'
DRAWN BY	OMS	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT No.	5010314.417.01
FIELD BOOK & PAGE	FB 450 PG 1	SHEET	
<b>SHEET 2</b>		<b>C2</b>	

LEGEND: SEE COVER SHEET



**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 224 AS LOT 18.
- 2) OWNERS OF RECORD:  
MICHAEL A. VALINSKI &  
MAUREEN OAKMAN  
1155 SAGAMORE AVENUE  
PORTSMOUTH, NH 03801  
3991/781
- APPLICANT:  
BUILD AMERICA  
PO BOX 1664  
PORTSMOUTH, NH 03802
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE GRADING ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 10) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 11) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 12) GARAGE SLAB SHALL BE 4" BELOW FLOOR ELEVATION LISTED.

0	9/5/23	ISSUED FOR APPROVAL	OMS	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS  
**NOT FOR CONSTRUCTION**

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

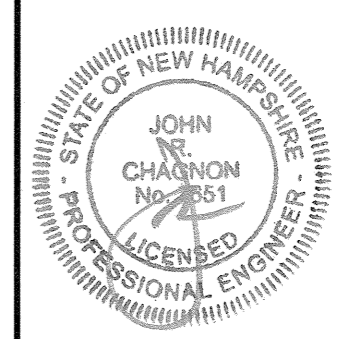
200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

WWW.HALEYWARD.COM

**BUILD AMERICA**  
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

**GRADING PLAN**

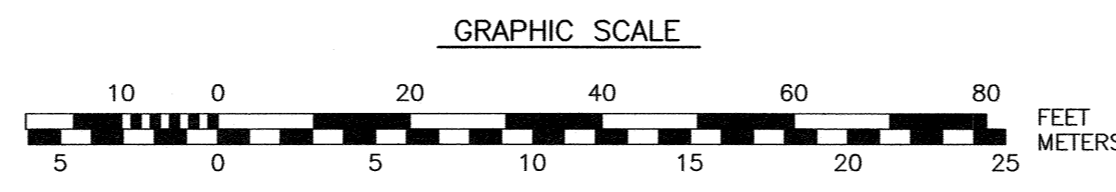
DATE	AUGUST 2023	SCALE	1" = 20'
DRAWN BY	OMS	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT No.	5010314.417.01
FIELD BOOK & PAGE	FB 450 PG 1	SHEET	



**SHEET 3** C3

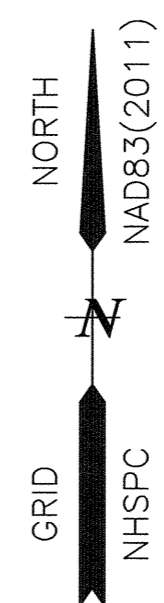
"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

*[Signature]*  
JOHN R. CHAGNON, LLS #738  
DATE 9.5.23



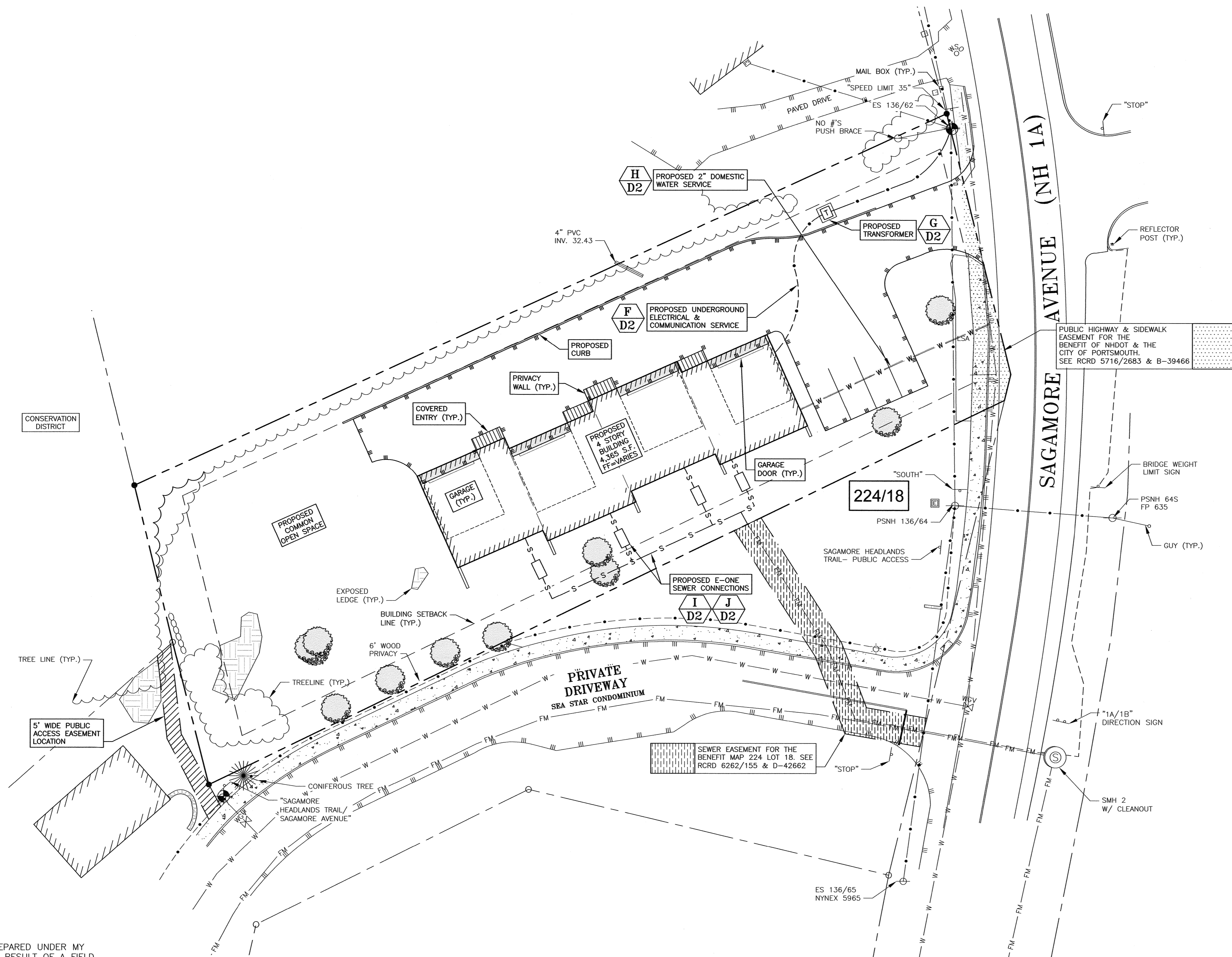
P:\NH\2023\1155 Sagamore Ave. Portsmouth\20230823.Dwg (1155 Sagamore Ave. Portsmouth) 9/5/23 10:14 AM (1155 Sagamore Ave. Portsmouth) 9/5/23 10:14 AM

LEGEND: SEE COVER SHEET



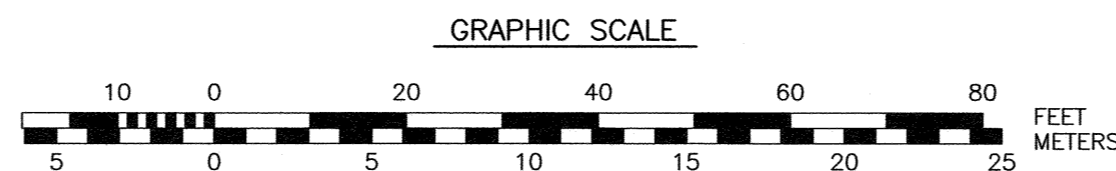
**NOTES:**

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 224 AS LOT 18.
- 2) OWNERS OF RECORD:  
MICHAEL A. VALINSKI &  
MAUREEN OAKMAN  
1155 SAGAMORE AVENUE  
PORTSMOUTH, NH 03801  
3991/781  
  
APPLICANT:  
BUILD AMERICA  
PO BOX 1664  
PORTSMOUTH, NH 03802
- 3) THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE IMPROVEMENTS ON ASSESSOR'S MAP 224 LOT 18 IN THE CITY OF PORTSMOUTH.
- 4) VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 5) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 6) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 7) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 8) IRRIGATION WILL BE PROVIDED.



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS #738 DATE



0	9/05/23	ISSUED FOR APPROVAL	OMS	JRC
No.	DATE	DESCRIPTION	BY	CHK

NOT FOR CONSTRUCTION

**AMBIT ENGINEERING, INC.**  
A DIVISION OF HALEY WARD, INC.

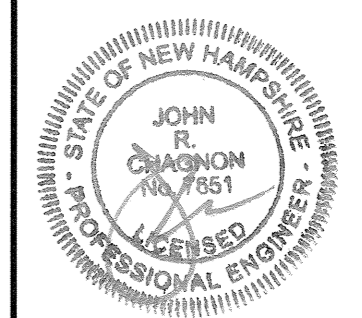
200 Griffin Road, Unit 3  
Portsmouth, NH 03801  
603.430.9282

WWW.HALEYWARD.COM

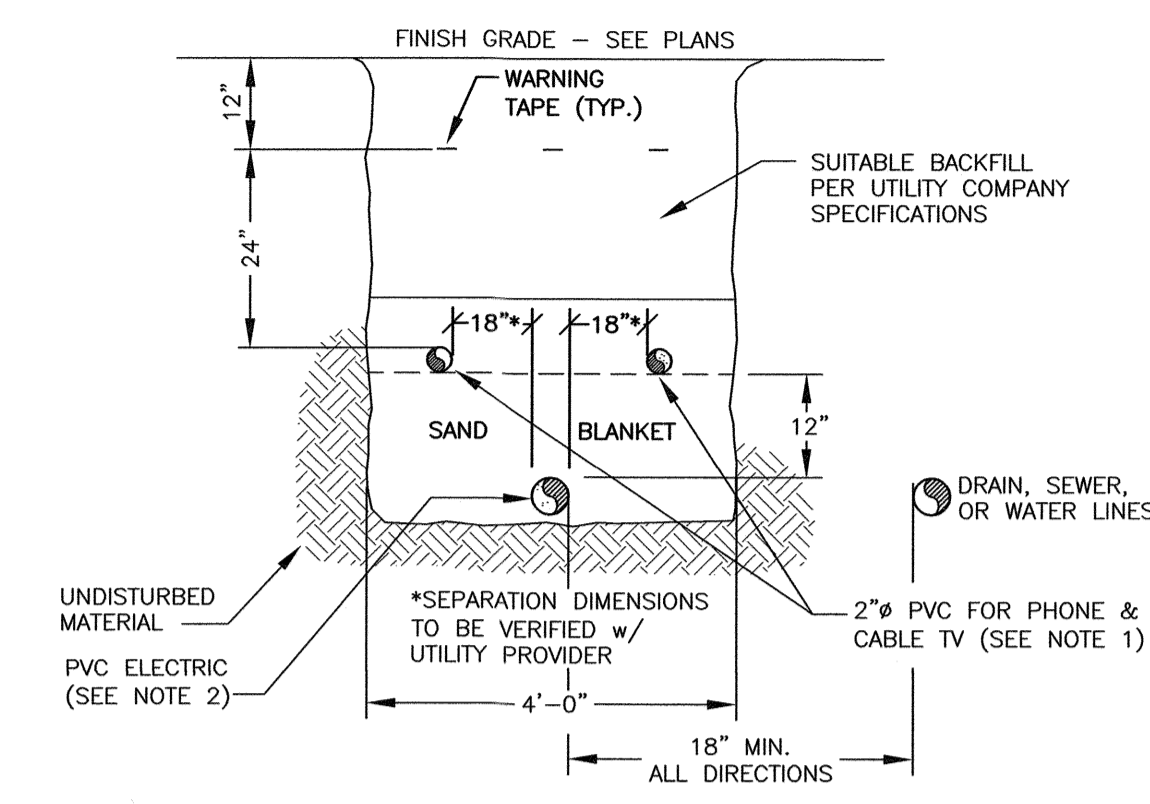
**BUILD AMERICA**  
1155 SAGAMORE AVENUE, PORTSMOUTH, NH 03801

**UTILITY PLAN**

DATE	AUGUST 2023	SCALE	1" = 20'
DRAWN BY	OMS	DESIGNED BY	JRC
CHECKED BY	JRC		
PROJECT No.	5010314.417.01	FIELD BOOK & PAGE	FB 450 PG 1
SHEET	<b>SHEET 4</b>		
	<b>C4</b>		

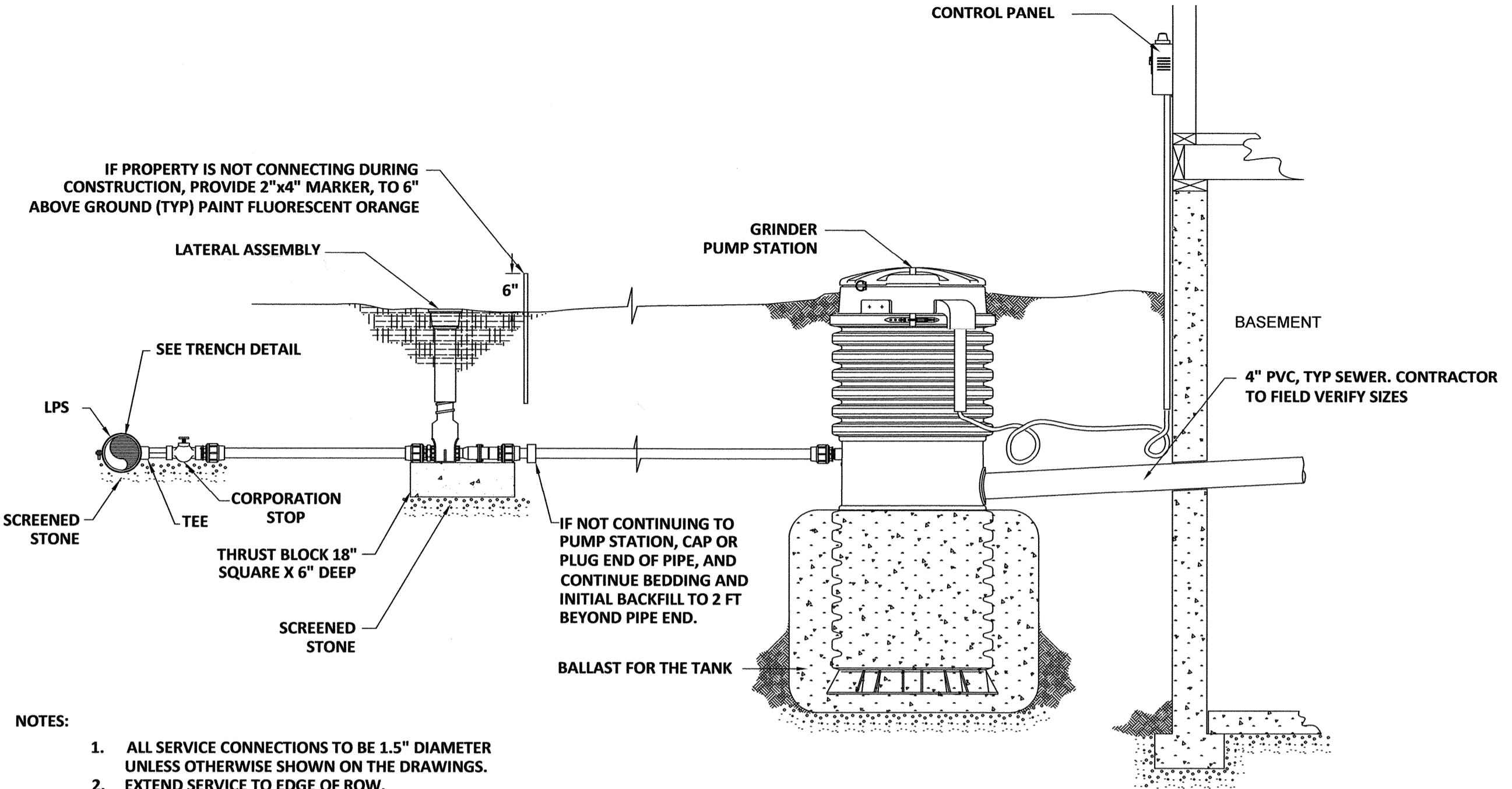






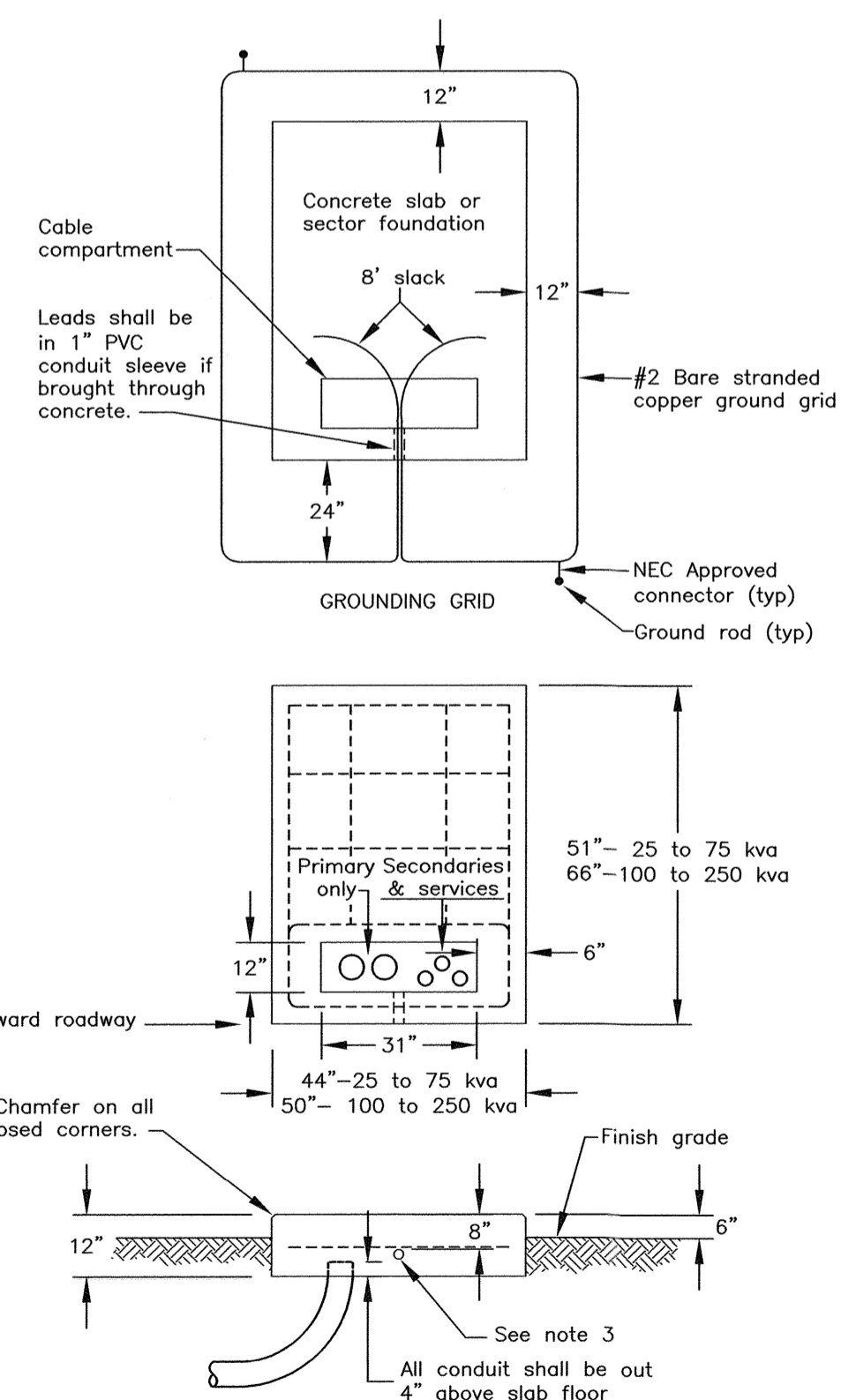
- NOTES:
- 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCH. 40 FOR THE REMAINDER.
  - 2) NORMAL CONDUIT SIZES FOR CMP ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
  - 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
  - 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
  - 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION.

**F** UTILITY TRENCH  
C4 ELECTRIC/PHONE/CABLE NTS



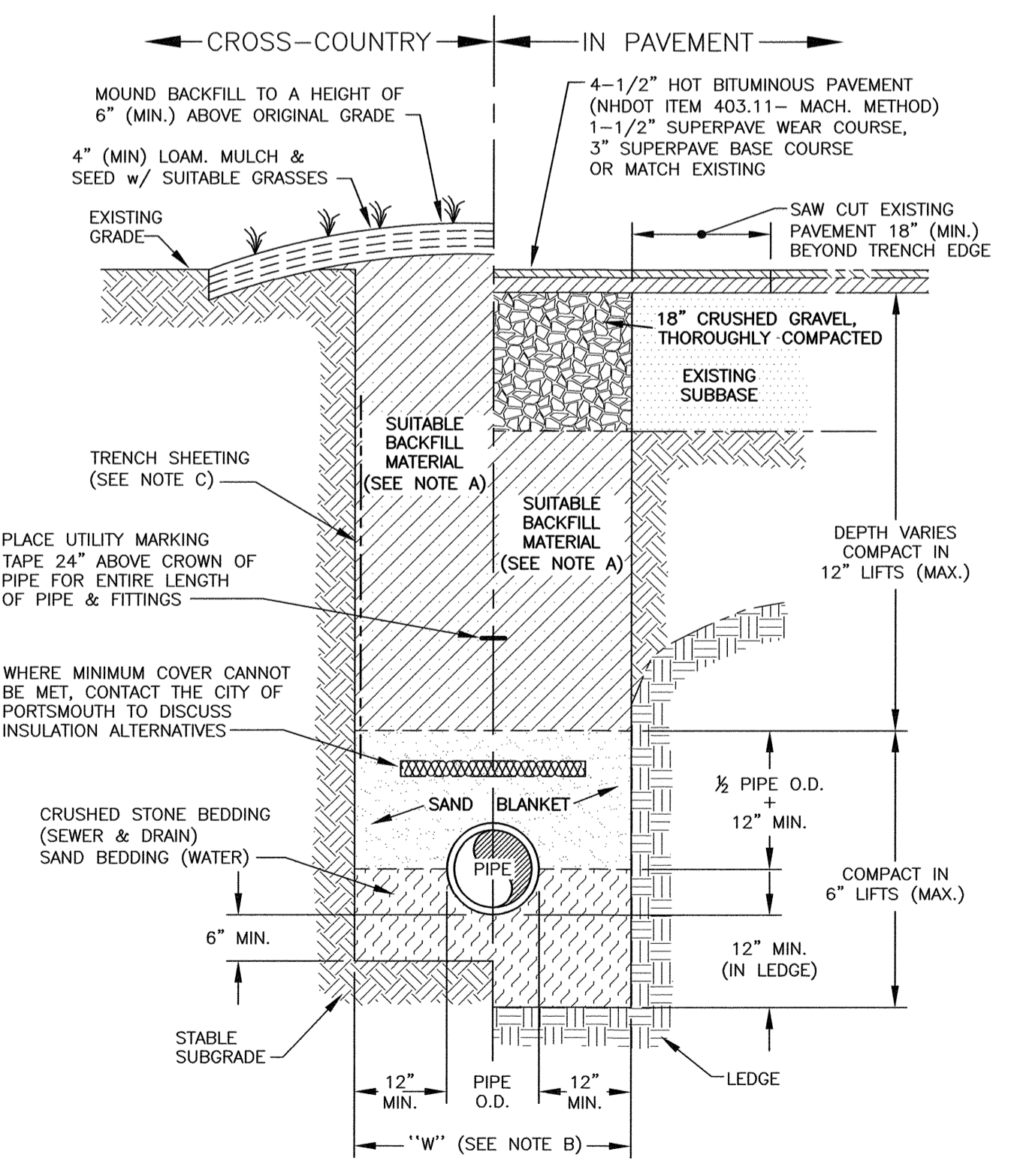
- NOTES:
1. ALL SERVICE CONNECTIONS TO BE 1.5" DIAMETER UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
  2. EXTEND SERVICE TO EDGE OF ROW.

**I** LPS SERVICE CONNECTION DETAIL  
C4 COORDINATE WITH CITY OF PORTSMOUTH DPW NTS



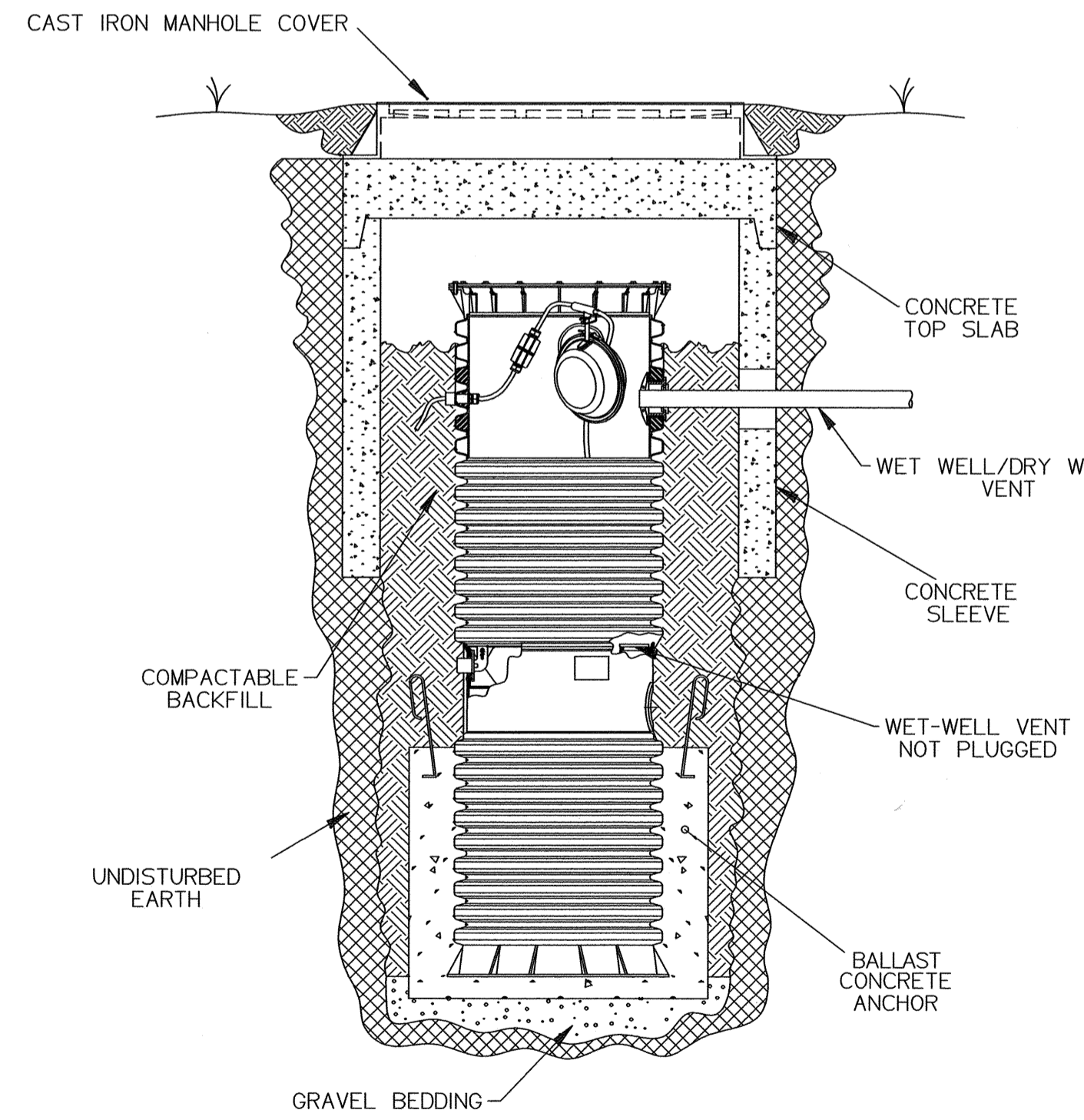
- NOTES:
1. See sheet "Requirements for Padmounted Transformer Slab Details".
  2. All reinforcing to be #6 bars.
  3. 1" PVC conduit sleeve for ground grid leads.
  4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transformer. The two 8' ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

**G** TRANSFORMER PAD  
C4 NTS



- TRENCH NOTES:
- A) TRENCH BACKFILL:  
- IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY. ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
- IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
- B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..
- C) TRENCH SHEETING:  
IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):  
6" MINIMUM FOR SEWER (IN PAVEMENT)  
4" MINIMUM FOR SEWER (CROSS COUNTRY)  
3" MINIMUM FOR STORMWATER DRAINS  
5" MINIMUM FOR WATER MAINS
- E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

**H** TYPICAL PIPE TRENCH  
C4 NTS



NOTE:  
1. THIS SKETCH IS FOR CONCEPTUAL PURPOSES ONLY

**J** OPTIONAL MANHOLE INSTALLATION  
C4 NTS

- NOTES:
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008)".

0	09.05.2023	ISSUED FOR COMMENT	DT	JC
No.	DATE	DESCRIPTION	BY	CHK.

NOT FOR CONSTRUCTION



PROJECT: BUILDING EXPANSION PLAN  
PORTSMOUTH AUTO BODY CENTER  
700 PEVERLY HILL ROAD, PORTSMOUTH, NH

TITLE: DETAILS

DATE	SEPTEMBER 2023	SCALE	NTS
DRAWN BY	DT	DESIGNED BY	JC
CHECKED BY	JC	PROJECT No.	5010314.417.01
FIELD BOOK & PAGE	FB 450 PG 1	DRAWING No.	
<b>SHEET 6</b>		<b>D2</b>	